



Location  
2406 Waunona Way

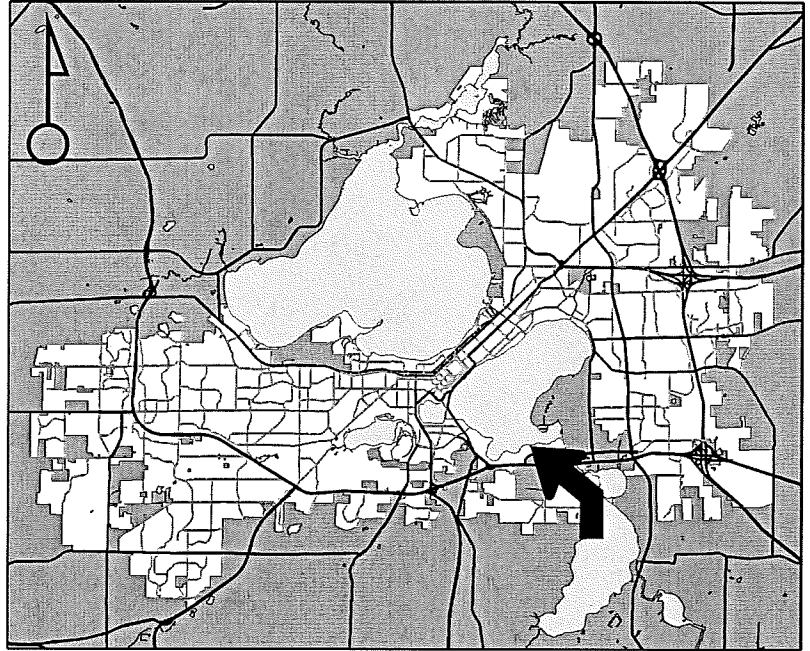
Project Name  
Koller Remodel

Applicant  
Wolfgang Koller/  
Jesus Abreu – Bouril Design Studio

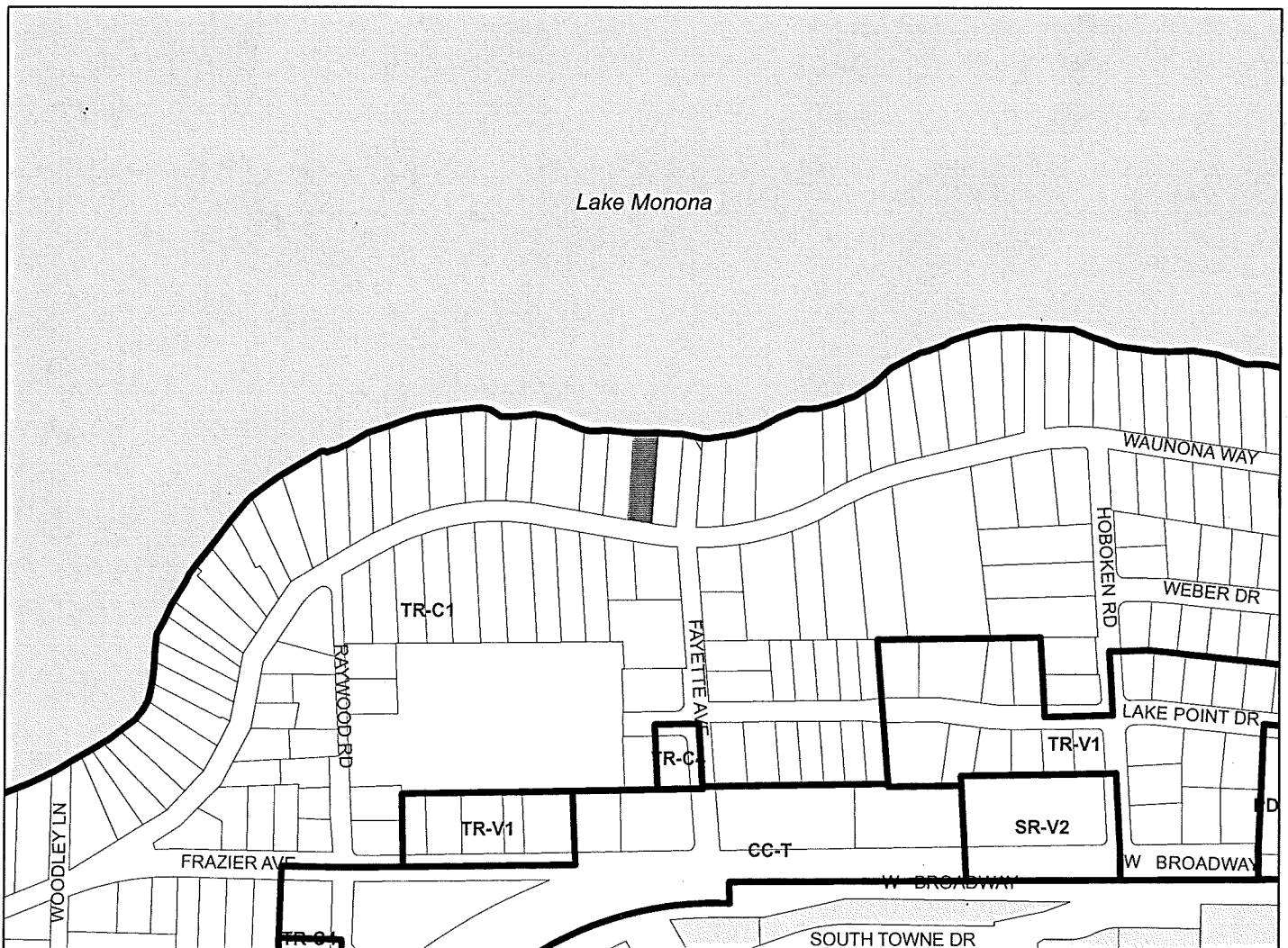
Existing Use  
Single-family residence

Proposed Use  
Construct addition to existing single-family residence and construct a detached accessory building on lakefront lot

Public Hearing Date  
Plan Commission  
16 November 2015



For Questions Contact: Kevin Firchow at: 267-1150 or [kfirchow@cityofmadison.com](mailto:kfirchow@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 12 November 2015





# LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:  
[www.cityofmadison.com/developmentcenter/landdevelopment](http://www.cityofmadison.com/developmentcenter/landdevelopment)

FOR OFFICE USE ONLY:	
Amt. Paid <u>600</u>	Receipt No. <u>8733-0003</u>
Date Received <u>10/7/15</u>	
Received By <u>PDA</u>	
Parcel No. <u>0710-194-0312-1</u>	
Aldermanic District <u>14 CARTER</u>	
Zoning District <u>TR-C1</u>	
Special Requirements _____	
Review Required By:	
<input type="checkbox"/> Urban Design Commission	<input checked="" type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. Project Address: 2406 WAWNONA WAY, MADISON WI  
 Project Title (if any): HOUSE ALTERATION/REMODEL & NEW GARAGE Bldg.

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from \_\_\_\_\_ to \_\_\_\_\_
- Major Amendment to Approved PD-GDP Zoning       Major Amendmei
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: \_\_\_\_\_

LNDUSE-2015-00058

3. Applicant, Agent & Property Owner Information:

Applicant Name: Wolfgang Koller Company: \_\_\_\_\_  
 Street Address: 2406 Wawnona Way City/State: MADISON, WI Zip: 53713  
 Telephone: (608) 395-2852 Fax: (414) 915-9110 Email: wolfgang.koller@dupont.com  
Cell

Project Contact Person: JESUS ABREU Company: BOURIL DESIGN STUDIO  
 Street Address: 6425 Odana Rd, #2 City/State: MADISON, WI Zip: 53719  
 Telephone: (608) 833-3400 Fax: (608) 206-2421 Email: jesusa@bourildesign.com  
Cell

Property Owner (if not applicant): \_\_\_\_\_  
 Street Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: Remodel MAIN LEVEL (Kitchen, Dining & Living), New Building Garage, and New MASTER SUITE (UPPER LEVEL).

Development Schedule: Commencement MARCH 01, 2016 Completion SEPTEMBER 02RD, 2016

**5. Required Submittal Information**

All Land Use applications are required to include the following:

- Project Plans including:\***
  - ✓ • Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
  - ✓ • Grading and Utility Plans (existing and proposed)
  - Landscape Plan (including planting schedule depicting species name and planting size)
  - ✓ • Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
  - ✓ • Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- Seven (7) copies of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- Twenty Five (25) copies of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- One (1) copy of the plan set reduced to fit onto 8 1/2 X 11-inch paper

\* For projects requiring review by the Urban Design Commission, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

**Letter of Intent: Provide one (1) Copy per Plan Set** describing this application in detail including, but not limited to:

- |   |   |  |
|---|---|--|
| • Project Team                                | • Building Square Footage                       | • Value of Land  |
| • Existing Conditions                         | • Number of Dwelling Units                      | • Estimated Project Cost                                     |
| • Project Schedule                            | • Auto and Bike Parking Stalls                  | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft <sup>2</sup> of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested                                   |
| • Hours of Operation                          |   |  |

**Filing Fee:** Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*. \$600

**Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to [pcapplications@cityofmadison.com](mailto:pcapplications@cityofmadison.com).

**Additional Information** may be required, depending on application. Refer to the Supplemental Submittal Requirements.

**6. Applicant Declarations**

**Pre-application Notification:** The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

**Pre-application Meeting with Staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: KEVIN FROZEW Date: 9-22-2015 Zoning Staff: JENNY KILGAT Date: 9-22-2015

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Wolfgang Koller Relationship to Property: Owner  
 Authorizing Signature of Property Owner Wolfgang Koller Date September 22, 2015 17



October 07, 2015

**LETTER OF INTENT**

PROJECT: 2406 Waunona Way  
Madison, WI 53713

Planning Commission – City of Madison, WI  
210 Martin Luther King, Jr. Blvd. Room 201  
Madison, WI

Dear members,

The intention of this submittal to receive the “Approved Conditional Use” to remodel/ Alteration of the property located at 2406 Waunona Way, Madison WI – Monona Lake front Lot.

I would like to do a brief explanation of the scope of the project described above.

The original house was constructed in 1942, with very little updates or renovations since it was built. The house has three main levels:

- Main Entrance or Intermediate level (Foyer, Kitchen, Living and dining areas),
- Lower level (1) Car garage, laundry and mechanical room, and
- Upper level (2) Bedrooms w/ (1) bath.

The actual square footage is 1,242 Sq.Ft., covering just a 10% of the lot.

The value of the land is: \$310,600 and Improvements is: \$184,400 (based on 2015 City Assessor records)

The scope of the project is:

Main entrance level: build a detached (3 stalls) car garage; expand the Foyer and Kitchen area.

Lower level: reconfigured and create a functional space based on owner needs.

Upper level: build a flexible space, and build the Master Suite (2<sup>nd</sup> floor).

Exterior Site: Adding a new courtyard area between new garage and the new kitchen expansion, adding some pervious walkways, and infill and regrade actual contours (covering more than 50% of the actual garage wall (lower level) to comply with the city ordinance.

For exterior wall finishes: Combination of Stucco (EIFS), Existing and new full brick wall finish (matching existing), and new vertical metal siding.

The entire roof will be replaced it; and we will be introducing a metal roof panel system.

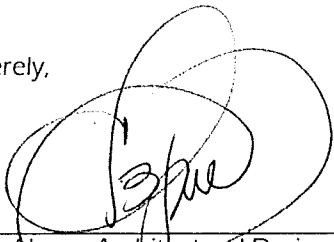
After the project is completed, the new footprint for the renovated house will be 3,660 Sq.Ft, with a lot coverage ratio of 30%.

About project schedule:

- Start Construction; March 01<sup>st</sup>, 2016.
- Completion: September 02<sup>nd</sup>, 2016.

Attached to this letter, you can find a few renderings of the proposed renovation.

Sincerely,



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Jesus Abreu, Architectural Designer  
Bouril Design Studio, LLC

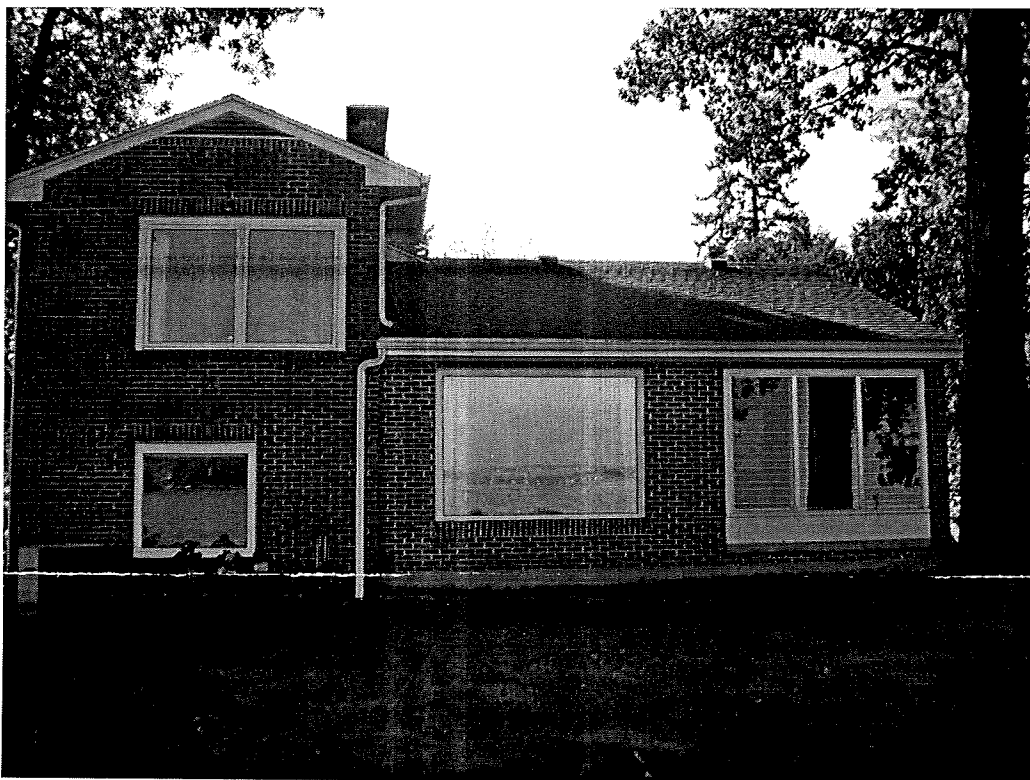




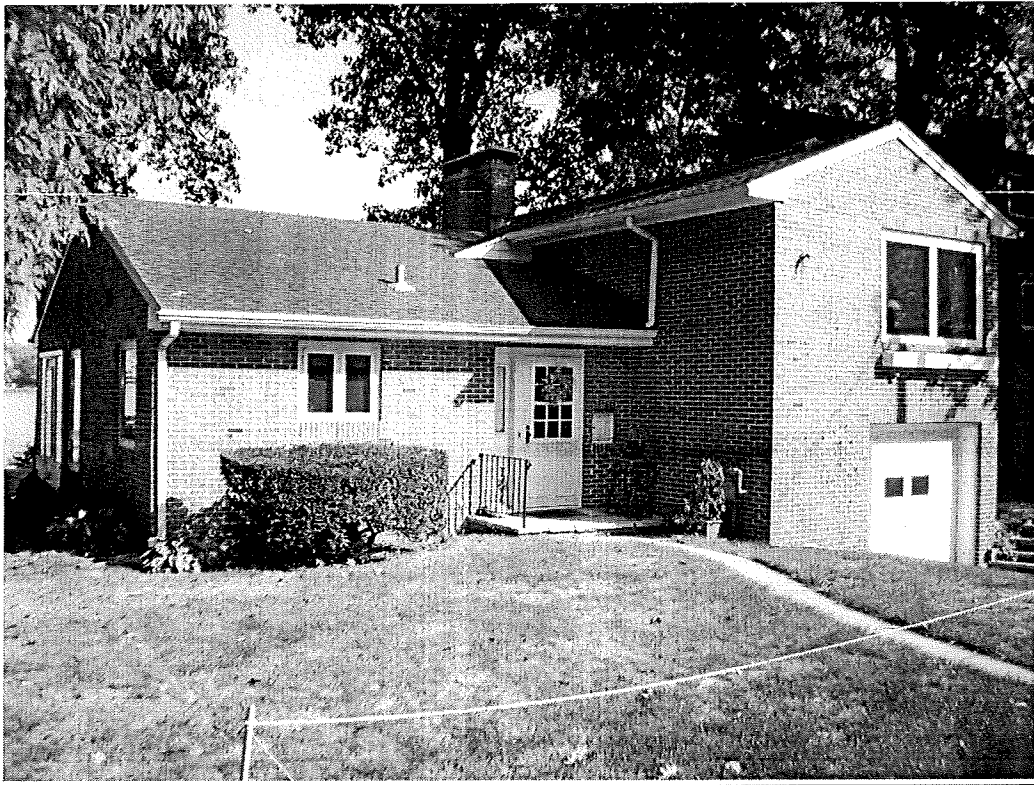
**2406 Waunona Way – Existing Conditions**



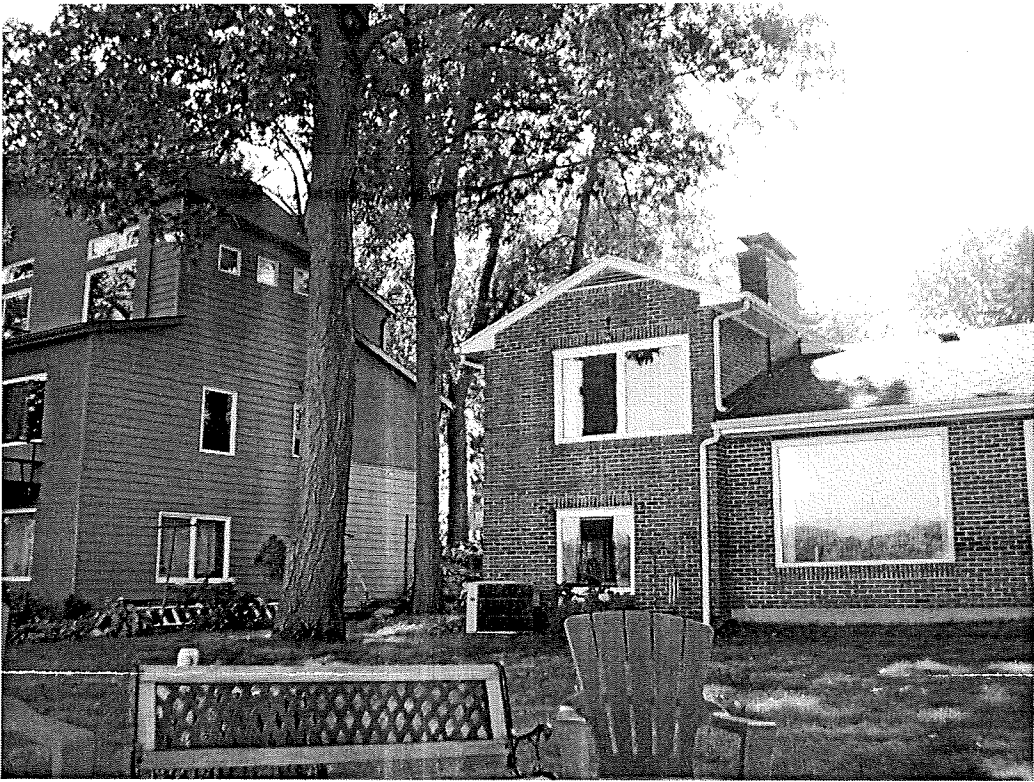
**STREET SIDE VIEW**



**LAKEFRONT VIEW**



KITCHEN/ MAIN FOYER VIEW



PROPERTY ACTUAL CONDITION



abbreviations	
A	air
AC	air conditioning
AD	air duct
AE	air exhauster
AF	air filter
AG	air grille
AH	air handler
AI	air inlet
AK	air knob
AL	air lock
AM	air manifold
AN	air nozzle
AO	air outlet
AP	air pressure
AQ	air quality
AR	air register
AS	air supply
AT	air terminal
AV	air vent
AW	air wiper
AX	air xerography
AY	air yoke
AZ	air zone
BA	back
BB	backboard
BC	back cover
BD	back door
BE	back edge
BF	back face
BG	back panel
BH	back panel
BI	back panel
BJ	back panel
BK	back panel
BL	back panel
BM	back panel
BN	back panel
BO	back panel
BP	back panel
BQ	back panel
BR	back panel
BS	back panel
BT	back panel
BV	back panel
BW	back panel
BX	back panel
BY	back panel
BZ	back panel
CA	caulk
CB	caulk
CC	caulk
CD	caulk
CE	caulk
CF	caulk
CG	caulk
CH	caulk
CI	caulk
CJ	caulk
CK	caulk
CL	caulk
CM	caulk
CN	caulk
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EM	east
EN	east
EO	east
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ES	east
ET	east
EV	east
EW	east
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EY	east
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FB	face
FC	face
FD	face
FE	face
FF	face
FG	face
FH	face
FI	face
FJ	face
FK	face
FL	face
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IJ	insulation
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IL	insulation
IM	insulation
IN	insulation
IO	insulation
IP	insulation
IQ	insulation
IR	insulation
IS	insulation
IT	insulation
IV	insulation
IW	insulation
IX	insulation
IY	insulation
IZ	insulation
JA	joint
JB	joint
JC	joint
JD	joint
JE	joint
JF	joint
JG	joint
JH	joint
JI	joint
JJ	joint
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LX	lath
LY	lath
LZ	lath
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MB	metal
MC	metal
MD	metal
ME	metal
MF	metal
MG	metal
MH	metal
MI	metal
MJ	metal
MK	metal
ML	metal
MM	metal
MN	metal
MO	metal
MP	metal
MQ	metal
MR	metal
MS	metal
MT	metal
MV	metal
MW	metal
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MY	metal
MZ	metal
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OI	oak
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OX	oak
OY	oak
OZ	oak
PA	panel
PB	panel
PC	panel
PD	panel
PE	panel
PF	panel
PG	panel
PH	panel
PI	panel
PJ	panel
PK	panel
PL	panel
PM	panel
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PO	panel
PP	panel
PQ	panel
PR	panel
PS	panel
PT	panel
PV	panel
PW	panel
PX	panel
PY	panel
PZ	panel
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QD	quarter
QE	quarter
QF	quarter
QG	quarter
QH	quarter
QI	quarter
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QM	quarter
QN	quarter
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QP	quarter
QQ	quarter
QR	quarter
QS	quarter
QT	quarter
QV	quarter
QW	quarter
QX	quarter
QY	quarter
QZ	quarter
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RC	radius
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RE	radius
RF	radius
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RJ	radius
RK	radius
RL	radius
RM	radius
RO	radius
RP	radius
RQ	radius
RR	radius
RS	radius
RT	radius
RV	radius
RW	radius
RX	radius
RY	radius
RZ	radius
SA	sash
SB	sash
SC	sash
SD	sash
SE	sash
SF	sash
SG	sash
SH	sash
SI	sash
SJ	sash
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ZI	zone
ZJ	zone
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ZL	zone
ZM	zone
ZN	zone
ZO	zone
ZP	zone
ZQ	zone
ZR	zone
ZS	zone
ZT	zone
ZV	zone
ZW	zone
ZX	zone
ZY	zone
ZZ	zone

# House Alteration/ Remodel for Wolfgang Koller & Patricia Gabarra



### material key

These items may be used in plan or section to indicate material used. The same pattern may be used for different materials. If the material identification is not available, the architect will determine the material to be used in the drawing. If there is a discrepancy between a list description of a material and a pattern as described in the material key, the list description shall prevail.

- brick
- plywood, OSB or other sheathing
- concrete
- grout or mortar
- CMU
- cut stone
- stone aggregate or granular fill
- compacted or engineered fill
- earth
- sand or soil fines
- wood (finish trim, board, or molding)
- nominal lumber (board, stud, or timber)
- loose fill insulation
- spray polyurethane foam insulation
- fiberglass blanket insulation

### symbol key

The following reference marks, symbols, and grading conventions may be used throughout the document. All dimensions and notes are in feet, unless otherwise noted. Symbols are used to identify items. Symbols are used to identify items. Symbols are used to identify items.

- detail reference
- section reference
- exterior elevation reference
- interior elevation reference
- structural grid line
- match line
- key note reference
- revision reference
- level line datum
- point datum
- door identification
- window identification
- elevation datum reference

### room reference

100 kitchen  
245 eat

Interior area (square feet)

Construction Line  
Hidden Construction Line  
Overhead Construction Line  
Center Line

Property or Boundary Line  
Right of Way Center Line  
Center of Sublot Line  
Easement or other described boundary  
Electric, buried (OE overhead)  
Cable, buried (OC overhead)  
Gas  
Sanitary Sewer  
Storm Sewer  
Barrier  
Fence  
Existing Contour  
New Contour

hinged door  
sliding door  
pocket door  
bifold door  
cased opening  
window  
cabinetry

gas service meter  
electric service meter  
fireplace direct vent  
furnace exhaust vent  
furnace air intake  
floor drain  
hose bibb  
junction box  
load center  
water softener  
water softener  
brine tank  
pressure tank  
septic pump and crock  
water heater  
gas fired forced air furnace  
clothes washer  
clothes dryer  
stacked clothes washer and dryer  
mop basin with wall faucet  
utility sink double basin  
utility sink single basin  
sinks and lavatories  
tubs and showers  
toilets and urinals

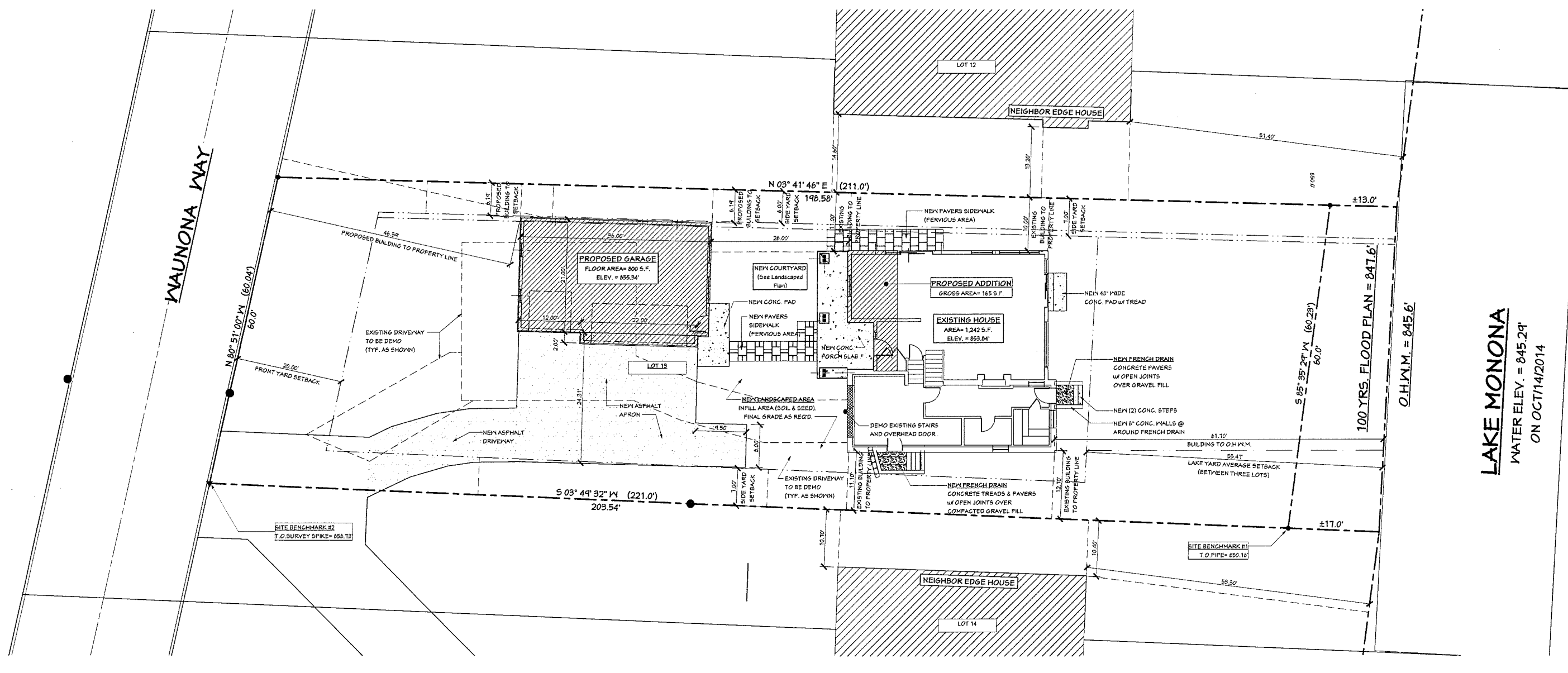
### project notes</

The design represented by these drawings is the sole property of Bouril Design Studio, LLC. These drawings, regardless of media or format, may not be copied or reproduced without the written consent of Bouril Design Studio, LLC, of Madison, Wisconsin.

Zoning Submittal - PCM  
Land Use Application - City of Madison  
Not for Construction

Bouril Design Studio, LLC  
6425 Odana Road Suite 2, Madison, WI 53719  
608-433-3400 www.bourilstudio.com

House Alteration/ Remodel for  
**Wolfgang & Patricia Koller**  
2406 Waunona Way, Madison WI 53713



**LAKE MONONA**  
WATER ELEV. = 845.2'  
ON OCT/14/2014

1 Site Plan  
SCALE: 1" = 20'-0"

**SITE PLAN SUMMARY**

Lot Area:	12,064 sq.ft. = 0.28 Acres (To Meaner Line)
Lot Coverage:	3,660 sq.ft./ 12,064 sq.ft. = 30.33% - Less than 50% (Driveways are included)
Proposed Building Footprint:	1,407 sq.ft. (Ground Level - Gross Area)
Proposed Accessory Building:	800 sq.ft. (Garage)
Proposed Conc. Porch:	170 sq.ft. (Covered)
Proposed Conc. Sidewalk & Pads:	81 sq.ft. (Ground Level)
Proposed Asphalt Pavement Area:	1,202 sq.ft. (New Driveway Area - Shaded)
<b>Demolition Structures:</b>	
Existing concrete sidewalks:	180.00 sq.ft.
Existing Asphalt driveways:	1,570.00 sq.ft.
<b>Building:</b>	
Proposed Stories:	02 Stories (After infill depressed actual garage area)
Maximum Height:	29'-6" (measured from 1st FIN. FLR. to Ridge Line)

**LANDSCAPING NOTES:**

Landscape: Finished grade, seed and mulch. (Typ.)

Site Plan Notes
1. Site plan information taken from Plat of Survey commissioned and provided by the Owner. Additional data was derived from the County Land Records System, aerial imagery, and field measurements.
2. Contractor to verify with the owner and the utility companies the locations and elevations of all utilities prior to the start of work.
3. Stockpile excavated material in locations to provide proper drainage and to minimize erosion. Coordinate use or removal of excess cut material with site work and the Owner.
4. Inspect rough grades for proper shape, angle and position prior to the start of finish grading. Uniformly grade areas to achieve a smooth finished surface with uniform levels or slopes between existing and new grades. Existing grades outside the area of land disturbing activity shall be maintained and repaired if damaged during the course of work. Finish grades shall be formed to provide positive drainage away from the building.
5. Examine finish surface, grades, topsoil, quality and depth of planting substrate. Do not begin work until unsatisfactory conditions have been corrected.
6. Disturbed areas shall receive grass seed and mulch. Coordinate planting and stabilization efforts with the landscape contractor.
7. Heavy duty landscape fabric to be used under all planting beds prior to the placement of mulch. Where beds are adjacent to lawn areas, edges of beds shall have heavy duty plastic edging secured with 12" stakes at 60" OC (min). All corners and splices to have manufactured joints. Bed edges to be no less than 18" from outer edge of plants at time of planting. Plant material to be in good condition, free of broken branches, bruises, or any other damage.
8. Crushed gravel walkways shall be composed of a wear layer of stabilized self-binding gravel compacted to a 4" depth laid over a sub-base layer of fine to medium aggregate compacted to a 4" depth laid over the graded and compacted sub-grade. Provide a heavy-duty geotextile separation fabric between the sub-grade and the sub-base. Self-binding gravel shall be by Kalpa Granite, 800-852-7415. Stabilizer: stabilized decomposed granite and crushed stone, color 'Beige Blend Marble', or equivalent.
9. Exterior concrete slabs, walkways, steps, driveways, and aprons shall receive a stiff broom finish perpendicular to the normal direction of travel.
10. Paved driveways shall be hot-mix asphalt laid in two lifts over a sub-base layer of fine to medium aggregate compacted to a 6" depth (min).

Construction Sequence
The construction sequence shall strive to minimize the exposure of bare earth to the action of wind, rain, and overhead flow. The sequence of major activities and BMPs are:
1. Installation of structural BMPs: stone tracking pad, sediment fencing, and diversion drains.
2. Strip site and perform rough grading. Stabilize with mulching and erosion control mats.
3. Excavate area of new construction. Stabilize with new gravel sub-base and mulch around perimeter.
4. Erect, enclose, and complete exterior construction, including gutters, drains, and other water management systems.
5. Perform finish grading. Stabilize by mulching, permanent seeding and landscaping.
6. Remove all structural BMPs.
Maintenance of all structural BMPs are required throughout the construction process. Inspections shall be performed at least weekly and after all storm events. All necessary repairs shall be made immediately.
1. Sediment will be removed from behind sediment fences and barriers before it reaches a depth that is equal to half the barrier's height. Breaks and gaps in sediment fences and barriers will be repaired immediately. Straw bales will be replaced at least every three months, or sooner if warranted by the site's condition and state of decay.
2. All sediment that moves off-site due to construction activity or weather events will be cleaned up before the end of the workday.
3. All installed BMPs will be maintained until the disturbed areas are completely stabilized.
Mulching, Seeding and Erosion Control Mats
1. Mulch shall be straw, hand applied at a rate of 2 tons/acre. Anchor mulch with a Class 1 biodegradable erosion net.
2. Seeding may be performed after April 15, 2015, when the soil has reached a stable temperature of 50°F.
3. Provide a minimum of 3-4" of topsoil at all areas to receive permanent seeding.
4. Apply by broadcast seeding at a rate of 21lbs/1000sqft. After application, the site shall be raked, firmed, and mulched.
5. Seed mixture (NDS DOT No. 40): Kentucky Bluegrass 55%, Red Fescue 20%, Hard Fescue 20%, Improved fine perennial Ryegrass 25%.
6. Add fertilizer and other soil amendments as necessary. Apply fertilizer at a rate of 10lbs/1000sqft. Fertilizer mixture (NDS DOT Type A): nitrogen not less than 16%, phosphoric acid not less than 6%, potash not less than 6%.
7. Inspect seeded areas weekly to ensure vegetation is adequately established and re-seed as necessary.
8. Water seeded areas regularly until they become established.

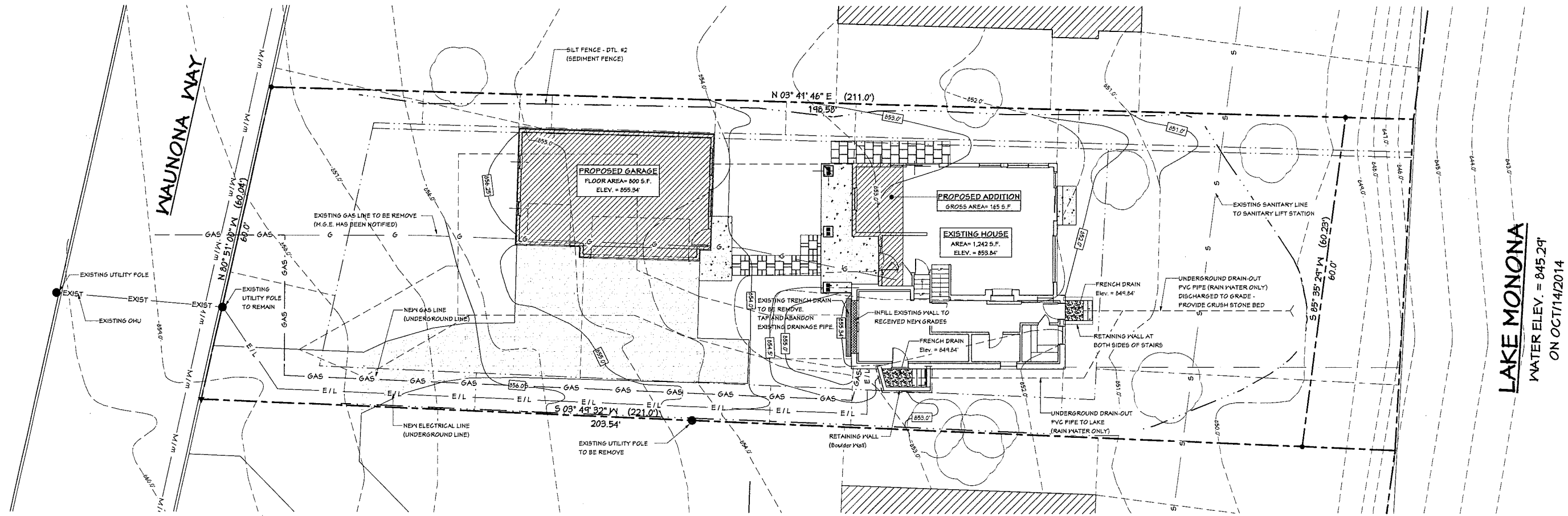
10/2015 Project: 15051 Koller, Wolfgang & Patricia, Patricia Koller, Design & Drafting 15051 Koller, Wolfgang & Patricia, Patricia Koller, Design & Drafting 10/7/2015 8:46:30 AM

revision index		
#	date	reference

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date: 10/7/2015  
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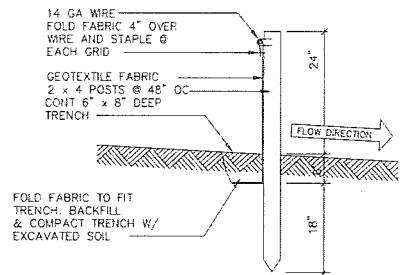
**SW1**

10/12/15 project: 15051 Koller, Wolfgang & Patricia, 2406 Waunona Way, Madison, WI 53713 DWG: 10/12/15 - 8:48:31 AM



**LAKE MONONA**  
 WATER ELEV. = 845.29'  
 ON OCT/14/2014

Erosion Control Best Management Practices	
<b>Non-Structural Practices</b>	<b>Structural Practices</b>
Construction sequencing	Sediment fencing
Mulching & erosion control nets	Stone tracking pad
Seeding, permanent	Diversion and slope drains
<b>Stone Tracking Pad</b>	
1. Tracking pad shall be at least 24" wide and 50' long, constructed of 3" to 6" washed stone to a 12" depth (min). Underlay with a heavy duty geotextile fabric to prevent stone from sinking into the soil. 2. Add stone if existing stone becomes buried or if sediment is not being effectively removed from vehicle tires.	
<b>Sediment Fence</b>	
1. Sediment fences shall be 14" high (min), measured from the top of the fabric to the soil surface. 2. Sediment fence material properties: is woven geotextile filter fabric, minimum grab strength of 100lbs, pore size between 50 and 100 microns, and a UV stability of 90% per ASTM D-4955. 3. Support fencing with 2x2 wood stakes, driven to a depth of 20" below grade (min), spaced at 6'-0" (max). 4. Staple filter fabric to each stake at top, center, and bottom. 5. Preserve vegetation within 5'-0" of up-slope side of fencing. 6. Seams shall be overlapped with the end stakes of each section wrapped together before driving into the ground. 7. Supplement the sediment fence where it crosses the concrete, pavement, or other impervious surface with straw bales immediately up-slope. Because there is no practical method of securing the straw bales to the impervious surface, stake the end bales and tie adjacent bales together, monitor their condition frequently to ensure they do not wash into and damage the sediment fence.	
<b>Diversion Drains</b>	
1. Roof discharge from the downspouts and leaders shall be diverted to established lawn areas using a 4" plastic drain tile perforated to discharge clear of the area of construction activity. The ends of the tile shall be turned gently up-slope so the discharge bleeds through the perforations instead of the outlet. Stabilize outlet with stacked straw bales.	



**1 Grading & Utility Plan**  
 SCALE: 1" = 20'-0"

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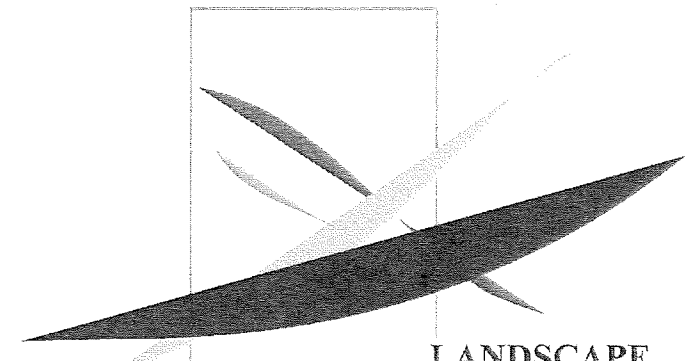
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 2406 Waunona Way, Madison WI 53713

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project: 15051  
 date: 10/1/2015  
 drawn by: ja

**SW2**





**LANDSCAPE ARCHITECTURE, LLC**  
Artistic Landscape Design & Project Management

2014 Total Landscape Care  
**landscaper**  
of the Year finalist

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**Design Development**  
for  
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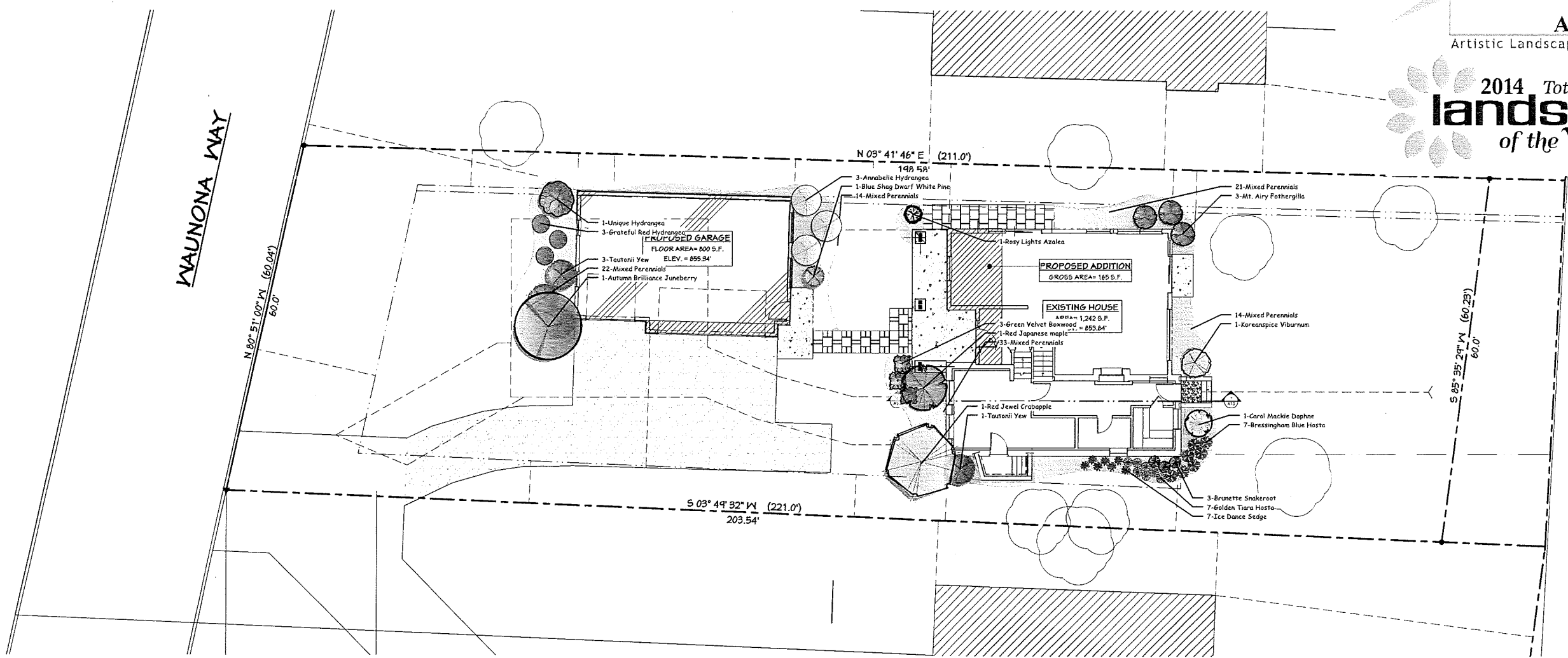
revision index		
#	date	reference

project: 15051  
date: 10/6/2015  
drawn by: ja

**L1**

**WAUNONA WAY**

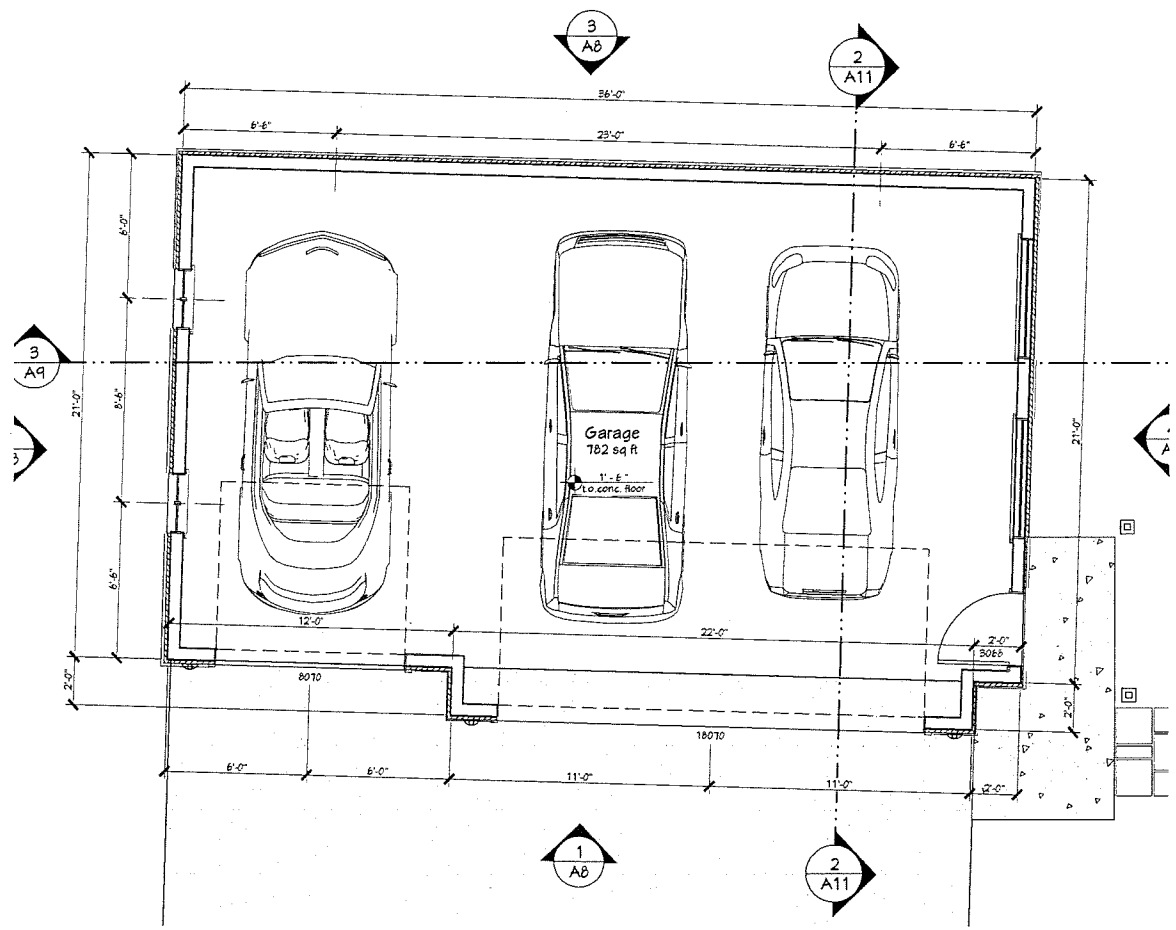
**LAKE MONONA**  
WATER ELEV. = 845.24'  
ON OCT/14/2014



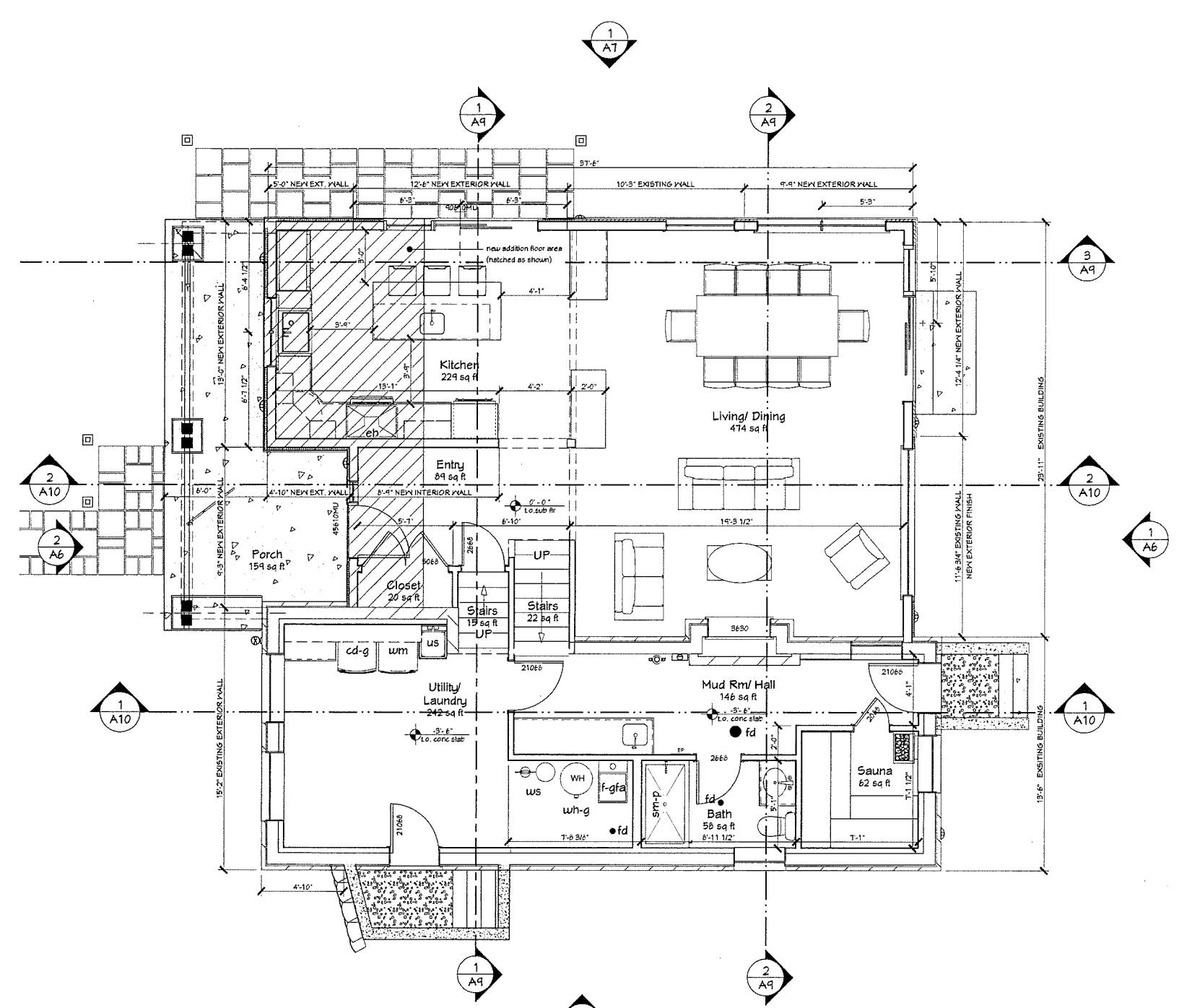
Latin Name	Common Name	Quantity	Scheduled Size
Acer palmatum 'Atropurpurea'	Red Japanese maple	1	#10
Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Juneberry	1	6ft BB
Azalea x 'Rosy Lights' (Northern Lights hybrid)	Rosy Lights Azalea	1	#3
Buxus x sempervirens 'Green Velvet'	Green Velvet Boxwood	3	#2
Carex maritima 'Ice Dance'	Ice Dance Sedge	7	4.5in Pot
Corniflora simplex 'Brunette'	Brunette Snakeroot	3	4.5in Pot
Daphne x barkwoodii 'Carol Mackie'	Carol Mackie Daphne	1	12-15in
Fothergilla oerdenii 'Mt. Airy'	Mt. Airy Fothergilla	3	#5
Hosta 'Bressingham Blue'	Bressingham Blue Hosta	7	1 Gal
Hosta 'Golden Tiara'	Golden Tiara Hosta	7	4.5in Pot
Hydrangea aborescens 'Annabelle'	Annabelle Hydrangea	3	#1 Grode
Hydrangea macrophylla 'Grateful Red'	Grateful Red Hydrangea	3	#5
Hydrangea paniculata 'Unique'	Unique Hydrangea	1	2ft
Molus 'Red Jewel'	Red Jewel Crabapple	1	2in BB
Mixed Perennials	Mixed Perennials	104	4.5in Pot
Pinus strobus 'Blue Shag'	Blue Shag Dwarf White Pine	1	2 Gal
Taxus x media 'Tautonii'	Tautonii Yew	4	#5
Viburnum carlesii	Koreanspice Viburnum	1	#5

1 **Landscaped Plan**  
SCALE: No Scale

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2 Garage - Proposed Floor Plan  
SCALE: 1/4" = 1'-0"



1 Main Entrance/ Lower Level Existing/ Proposed Floor Plan  
SCALE: 1/4" = 1'-0"

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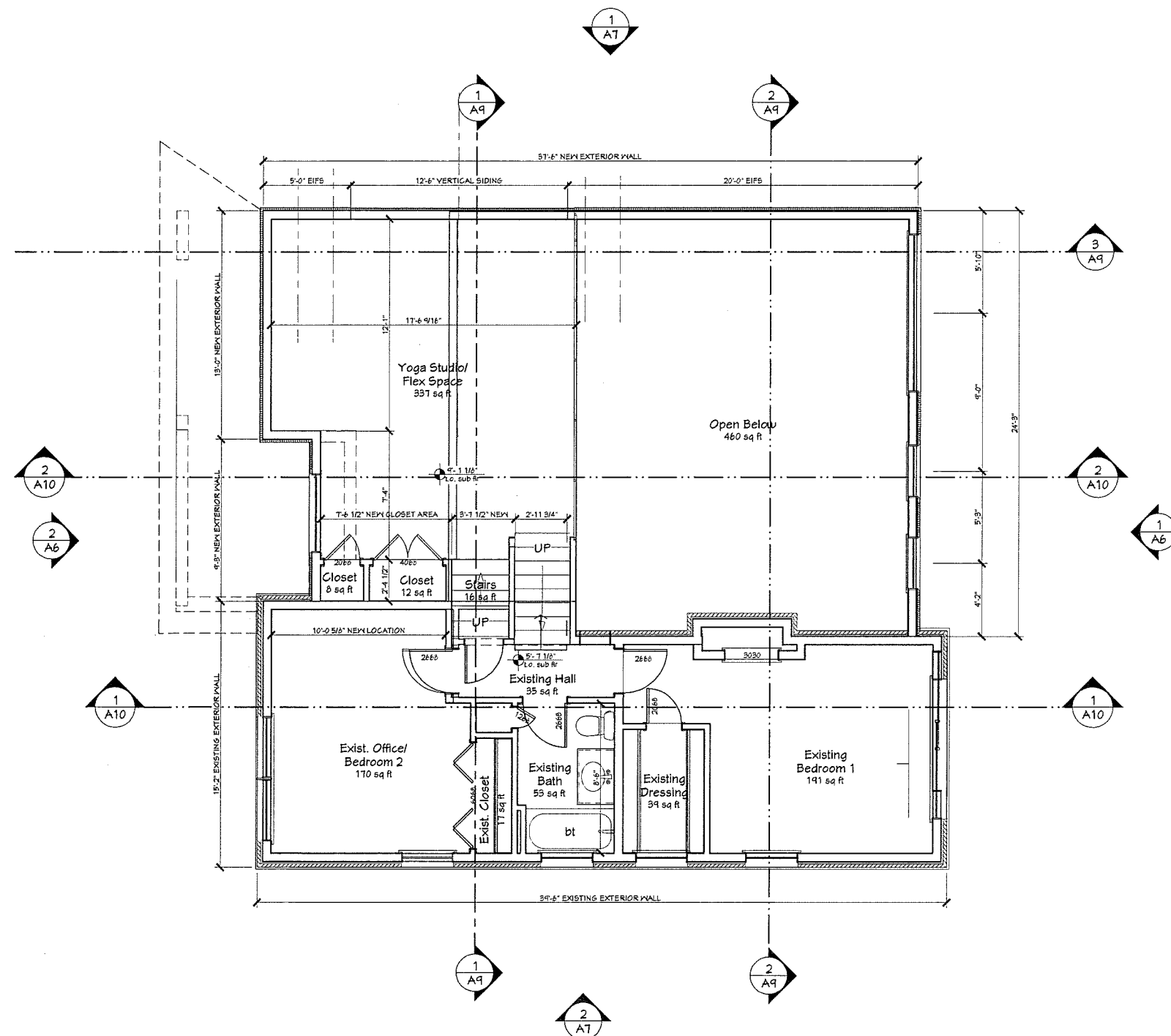
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A1



Intermediate Level

Existing/ Proposed Floor Plan

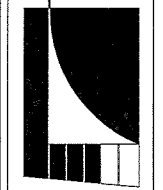
SCALE: 1/4" = 1'-0"



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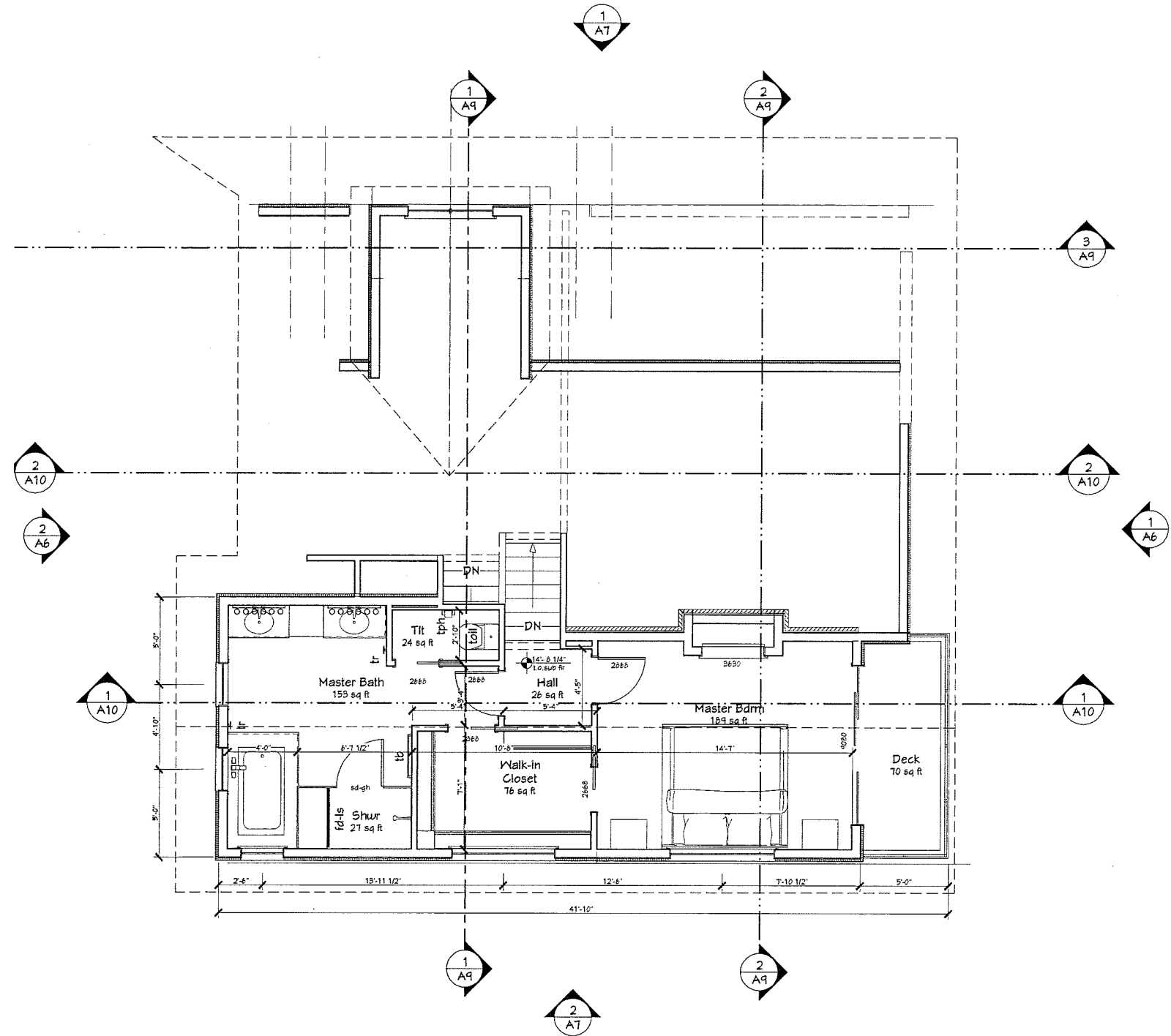
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A2





**1** Upper Level - Proposed Master Suite Floor Plan  
SCALE: 1/4" = 1'-0"

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**A3**

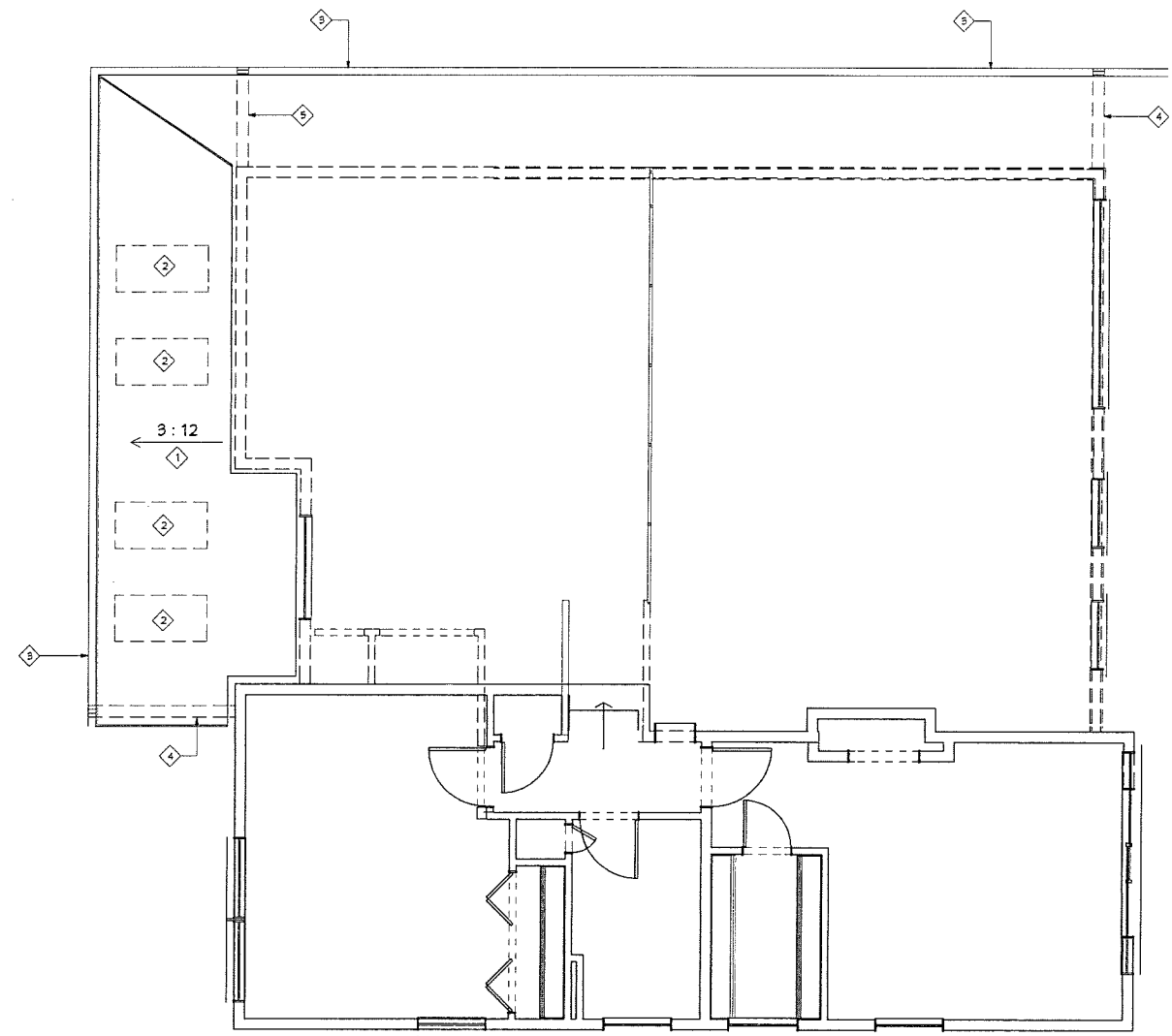
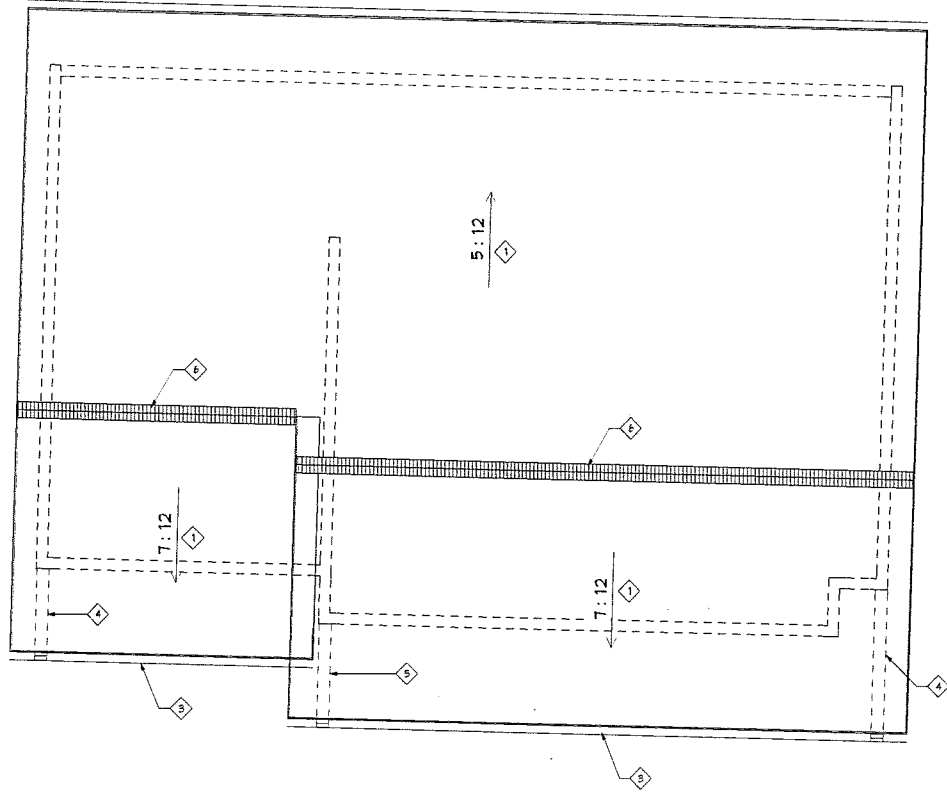
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1 Roof Plan - Garage & Porch  
SCALE: 1/4" = 1'-0"

**Roof Plan Notes**

1. All dimensions are to the face of dimensional members (stud, blocking, framing, board, etc). Dimensions do not reference sheathing, wall board, or other finish items unless noted otherwise.
2. Verify rough opening requirements for all framed openings (skylights, solar tubes, chimneys, etc).
3. Install waterproof membrane as follows: at all vertical penetrations through the roof, including chimneys, vents, and stacks; along the entire length of eaves to 12" inside the projected exterior wall line; in 36" wide strips along the entire length of valleys, intersecting walls, changes in roof pitch, and other vertical surfaces; over the entire surface of any roof, crickets, or over-balls with a slope less than 3:12. All areas not covered by waterproof membrane will be covered with 30# roofing felt applied horizontally from eave to ridge.
4. Install hip and ridge exhaust vents along all vented attic (cold roof) spaces. Vent intake will be accomplished with perforated soffit at all under-eave areas open to the vented attic space. Roof over-bulk areas should not be sheathed beneath the over-bulk framing to maintain free air flow throughout the attic volume.
5. Gutters, downspouts, and leaders shall be roll-formed from 0.032 aluminum coil stock in a color to match the eave fascia. Gutter lengths shall be seamless; profile shall be selected by the Owner, but shall provide 20sq/in (min) of net cross-sectional area and shall have a depth to width ratio of not less than 1.25 (eg a 4" deep x 5" high U-shaped gutter satisfies this requirement). All gutters shall receive a fully covered leaf guard system selected by the Owner. Downspouts and leaders shall be a 4"x3" rectangular profile. Downspouts which discharge to a leader at grade shall be provided with a decorative aggregate concrete splash block at the leader termination. Downspouts which discharge to a drain receptor shall terminate into a 4"x4" PVC offset downspout tie adaptor mated to a banded 4" BDR35 drain pipe receiver. Banded drain pipe shall slope at 1/4":12 and drain to daylight; all pipe fittings shall be permanently welded or use gaskets; all bends shall be 45 degrees or less.


**Roof Plan Keyed Notes**

1. Standing Seam Panel Roofing System - Tite-Loc Plus by PAC-Glas
2. Skylight - Model: FS-C06- Deck mounted
3. Gutter
4. Downspout and leader - discharge to grade.
5. Downspout - discharge into a drain receptor.
6. Roof Ridge Vent
7. Chimney
8. Cricket

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**A4**

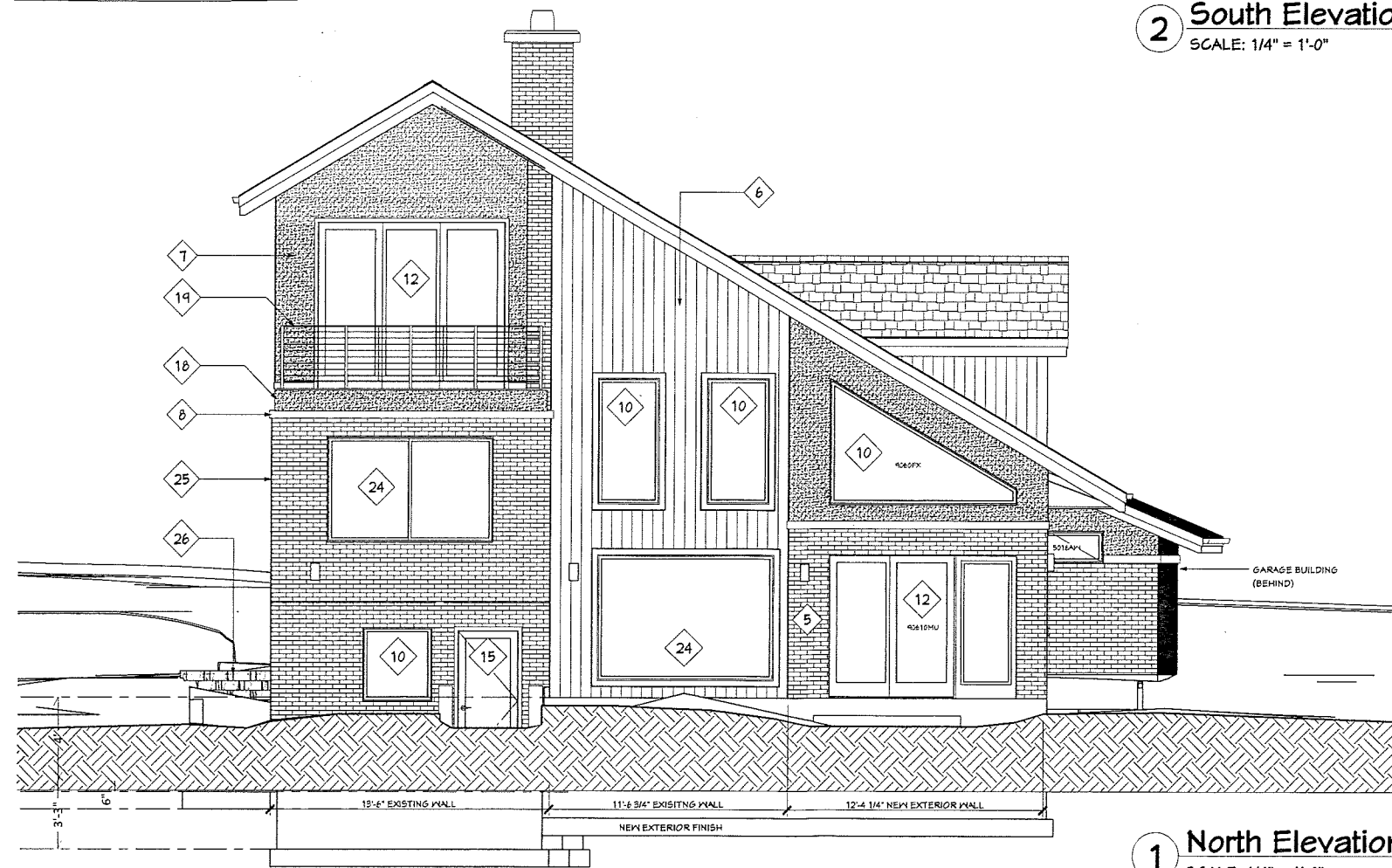




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**2 South Elevation**  
SCALE: 1/4" = 1'-0"



**1 North Elevation**  
SCALE: 1/4" = 1'-0"

**Exterior Elevation Notes**

1. All final material selections, colors, finishes, and other options to be coordinated with the Owner.

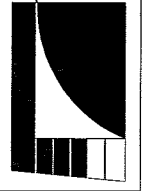
**Exterior Feature and Material Key**

1. Metal panel roofing: PAC-Glad Tile-Loc Plus standing seam panel roofing system; 22ga steel, smooth panel profile, 18" panel width; all flashings and trim to be fabricated by PAC-Glad.
2. Eave fascia: 5/4x4 LP SmartSide trim board. Paint to match siding.
3. Eave shadow board: LP SmartSide 4/4x4 trim board. Paint to match eave fascia.
4. Eave soffit: LP SmartSide Vented Soffit. Paint to match eave fascia.
5. Brick Veneer: Match existing brick - Color, size and pattern.
6. Vertical siding: Mega-Rite Galvanized Steel Panel by McElroy Metals.
7. Stucco: Total Coat EIFS Total Stop HD (Glass 1/2" drainage EIFS).
8. Plincoat Sill: Natural Stone Sill, Chiseled Edge, Straight and Corner sizes. By El Dorado Stone. Color: Buckskin.
9. Column Cap: Natural Stone Cap, 24"x24"x2.5" Chiseled Edge By El Dorado Stone. Color: Buckskin.
10. Windows - Integrity from Marvin, All-Ultrex Series - No casing (At EIFS and Brick finishes).
11. Windows - Integrity from Marvin, All-Ultrex Series w/ Flat casing (At vertical siding only).
12. Sliding Patio Door - Integrity by Marvin, All-Ultrex Series (Door provided by Window Manufacturer).
13. Insulated Fiberglass Entry Door System by Thermo-Tu, Classic-Craft Rustic Collection. Door style: 25 - 2 Panel. Glass style: Hermaword.
14. Insulated Carriage Garage Door, Canyon Ridge Collection by Clopay, Ultra-Grain Series. Color: Walnut Finish. Door Design: Serie 1 - #11, Top section: Window design: REC-11.
15. Insulated Hollow Metal Door. Finish: Painted. Color: Match entry door.
16. Fixed Skylight by Velux. Model: FS-C06-Deck mounted.
17. Deck post: Timber Column wrapped in LP SmartSide 4/4x4 trim board. Finish: Stained. Color: TBD.
18. Deck fascia: Stucco. Paint to match Stucco wall.
19. Deck rail system: 3/8" Guardrail Cable System w/ powder coated main frame and S.S. cables.
20. Gutter: 6" Alum. K-style gutters. Color to match eave fascia.
21. Downspout: 5"x4" Alum. Rectangular shape. Color to match siding.
22. Chimney cap and body: Extend existing body as req'd - Reuse the cap.
23. Dryer vent.
24. Existing window to remain.
25. Existing brick wall finish to remain.
26. Boulder Wall.

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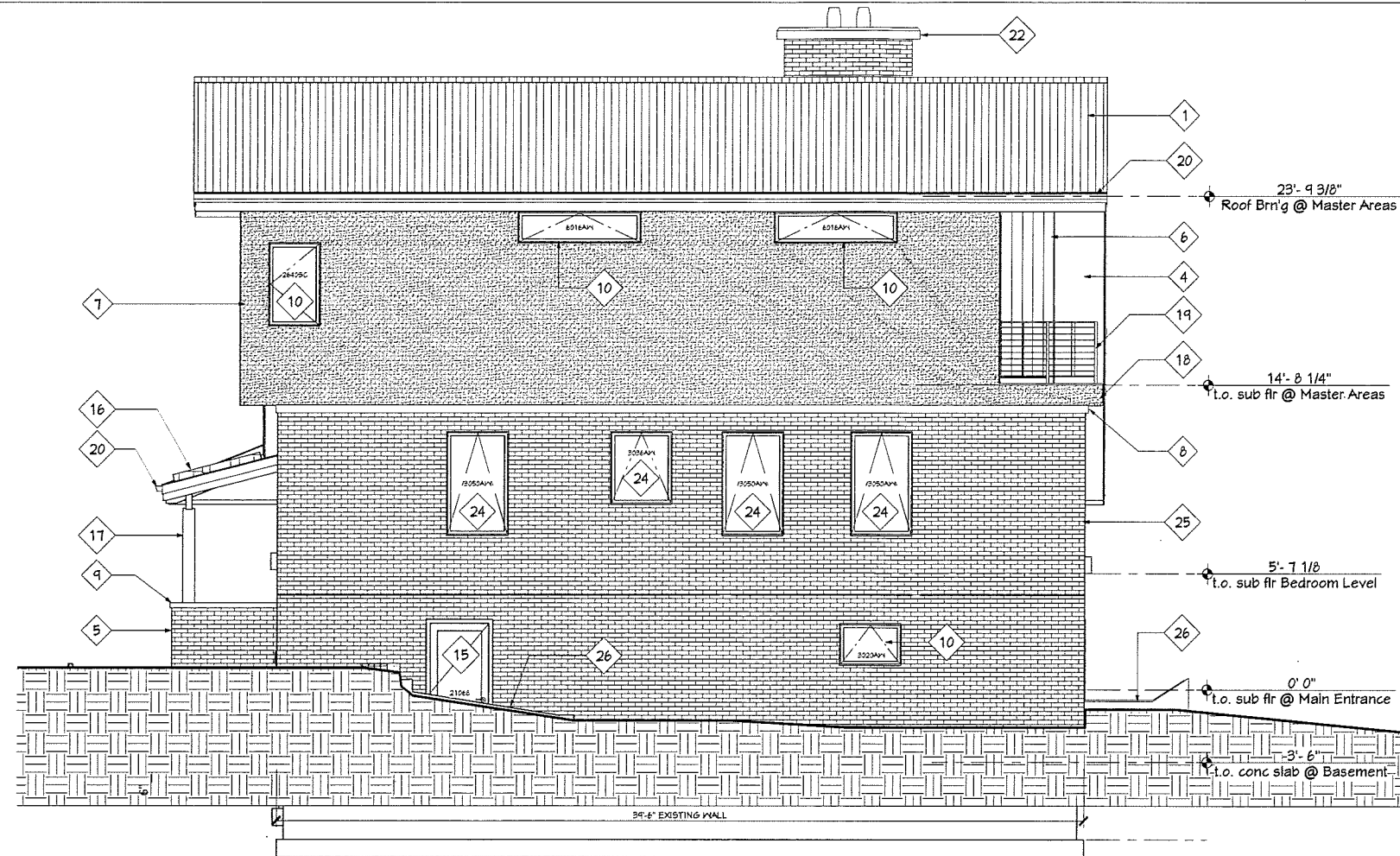
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**A6**

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**2 East Elevation**  
SCALE: 1/4" = 1'-0"



**1 West Elevation**  
SCALE: 1/4" = 1'-0"

**Exterior Elevation Notes**

1. All final material selections, colors, finishes, and other options to be coordinated with the Owner.

**Exterior Feature and Material Key**

1. Metal panel roofing: PAC-Glad Tile-Loc Plus standing seam panel roofing system; 22ga steel, smooth panel profile, 18" panel width, all flashings and trim to be fabricated by PAC-Glad.
2. Eave fascia: 5/4x8 LP SmartSide trim board. Paint to match siding.
3. Eave shadow board: LP SmartSide 4/4x4 trim board. Paint to match eave fascia.
4. Eave soffit: LP SmartSide Vented Soffit. Paint to match eave fascia.
5. Brick Veneer: Match existing brick - Color, size and pattern.
6. Vertical siding: Mega-Rib Galvanized Steel Panel by McElroy Metals.
7. Suction: Total Wall EIFS Total Stop MD (Class MD drainage EIFS)
8. Mansard Sill: Natural Stone Sill, Chiseled Edge, Straight and Corner sizes By El Dorado Stone. Color: Buckskin
9. Column Cap: Natural Stone Cap, 24"x24"x2.5" Chiseled Edge By El Dorado Stone. Color: Buckskin
10. Windows - Integrity by Marvin, All-Ultrex Series - No casing (At EIFS and Brick finishes)
11. Windows - Integrity by Marvin, All-Ultrex Series w/ Flat casing (At vertical siding only).
12. Sliding Patio Door - Integrity by Marvin, All-Ultrex Series (Door provided by Window Manufacturer).
13. Insulated Fiberglass Entry Door System by Thermo-Tu, Classic-Craft Rustic Collection. Door style: 2/5 - 2 Panel. Glass style: Homeward
14. Insulated Carriage Garage Door, Canyon Ridge Collection by Clopay, Ultra-Grain Series. Color: Walnut Finish. Door Design: Serie 1 - #11. Top section: Window design: REC-11.
15. Insulated Hollow Metal Door. Finish: Painted. Color: Match entry door.
16. Fixed Slight by Velux. Model: F5-C06-Deck mounted.
17. Deck post: Timber Column wrapped in LP SmartSide 4/4x4 trim board. Finish: Stained. Color: TBD
18. Deck fascia: Suction. Paint to match Suction.
19. Deck rail system: 3/8" Gussardall Capris System w/ powder coated main frame and 5.5. cables.
20. Gutter: 6" Alum. K-style gutters. Color to match eave fascia.
21. Downspout: 3"x4" Alum. Rectangular shape. Color to match siding.
22. Chimney cap and body: Extend existing body as req'd - Reuse the cap.
23. Dryer vent.
24. Existing window to remain
25. Existing brick wall finish to remain
26. Boulder Wall

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date: 10/17/2015  
drawn by: ja

**A7**

Exterior Elevation Notes

1. All final material selections, colors, finishes, and other options to be coordinated with the Owner.

Exterior Feature and Material Key

1. Metal panel roofing: PAC-Clad Tile-Loc Plus standing seam panel roofing system; 22ga steel, smooth panel profile. 18" panel width; all flashings and trim to be fabricated by PAC-Clad.
2. Eave fascia: 5/4x2 LP SmartSide trim board. Paint to match siding.
3. Eave shadow board: LP SmartSide 4/4x4 trim board. Paint to match eave fascia.
4. Eave soffit: LP SmartSide Vented Soffit. Paint to match eave fascia.
5. Brick Veneer: Match existing brick - Color, size and pattern.
6. Vertical siding: Mega-Rib Galvanized Steel Panel by McElroy Metals.
7. Shutter: Total Wrap EIFS Total Stop MD (Class MO drainage EIFS).
8. Windows: Natural Stone Sill, Chiseled Edge, Straight and Corner sizes. By El Dorado Stone. Color: Buckskin.
9. Column Cap: Natural Stone Cap, 24"x24"x2.5" Chiseled Edge By El Dorado Stone. Color: Buckskin.
10. Windows - Integrity from Marvin, All-Ultrex Series - No casing (At EIFS and Brick finishes).
11. Windows - Integrity from Marvin, All-Ultrex Series w/ Flat casing (At vertical siding only).
12. Sliding Patio Door - Integrity by Marvin, All-Ultrex Series (Door provided by Window Manufacturer).
13. Insulated Fiberglass Entry Door System by Thermo-Tu, Classic-Grat Rustic Collection. Door style: 2/3 - 2 Panel, Glass style: Homeward.
14. Insulated Garage Door, Canyon Ridge Collection by Clopay, Ultra-Grain Series. Color: Walnut Finish. Door Design: Serie 1 - #11, Top section: Window design: REC-11.
15. Insulated Hollow Metal Door. Finish: Painted. Color: Match entry door.
16. Fixed Shtight by Velux. Model: F5-C06-Deck mounted.
17. Deck post: Timber Column wrapped in LP SmartSide 4/4x trim board. Finish: Stained. Color: TBD.
18. Deck fascia: Shouze. Paint to match Shouze wall.
19. Deck rail system: 36" Guesenall Cable System w/ powder coated main frame and 5.5. cables.
20. Gutter: 4" Alum. K-style gutters. Color to match eave fascia.
21. Downspout: 5"x4" Alum. Rectangular shape. Color to match siding.
22. Chimney cap and body: Extend existing body as req'd. - Reuse the cap.
23. Dryer vent.
24. Existing window to remain.
25. Existing brick wall finish to remain.
26. Boulder Mat.

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Zoning Submittal - PCM  
Land Use Application - City of Madison  
Not for Construction

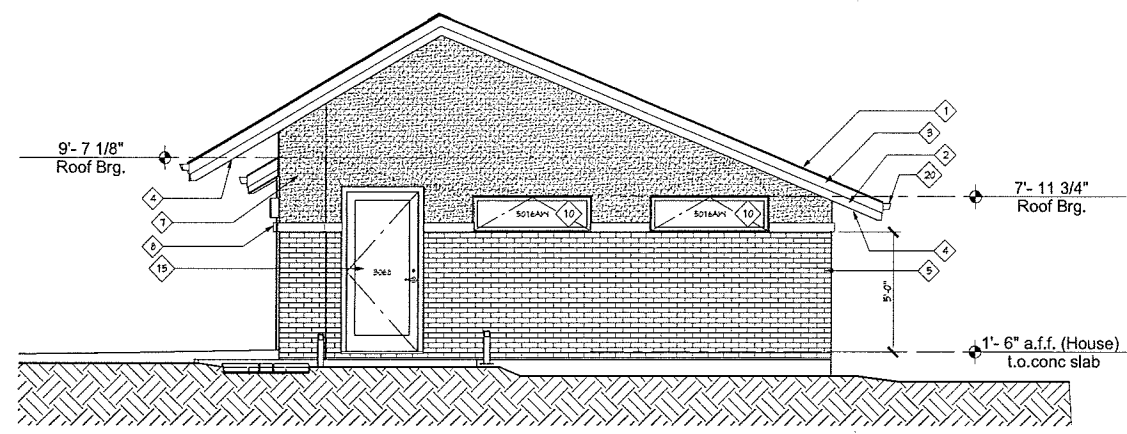
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House Alteration/ Remodel for  
**Wolfgang & Patricia Koller**  
2406 Maunona Way, Madison WI 53713

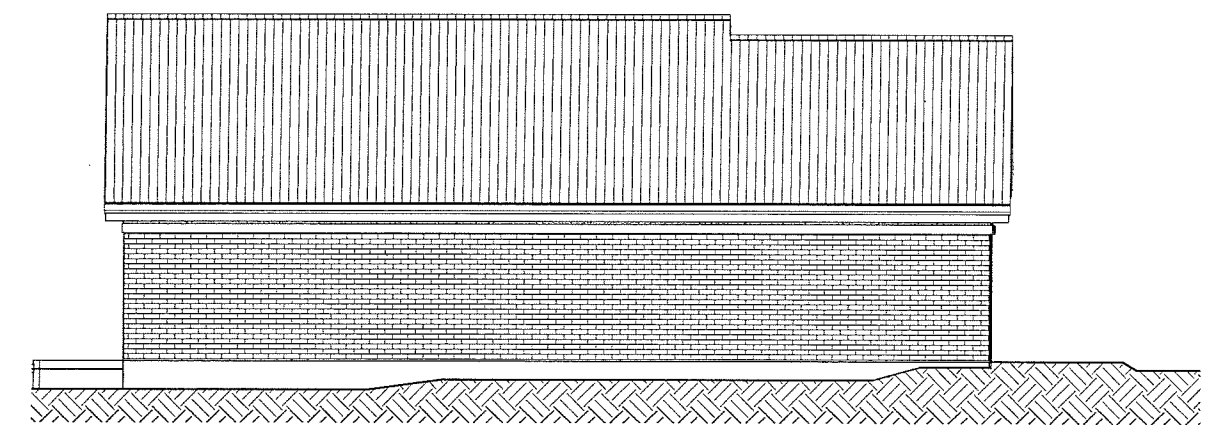
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#	date	reference

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date: 10/7/2015  
drawn by: ja

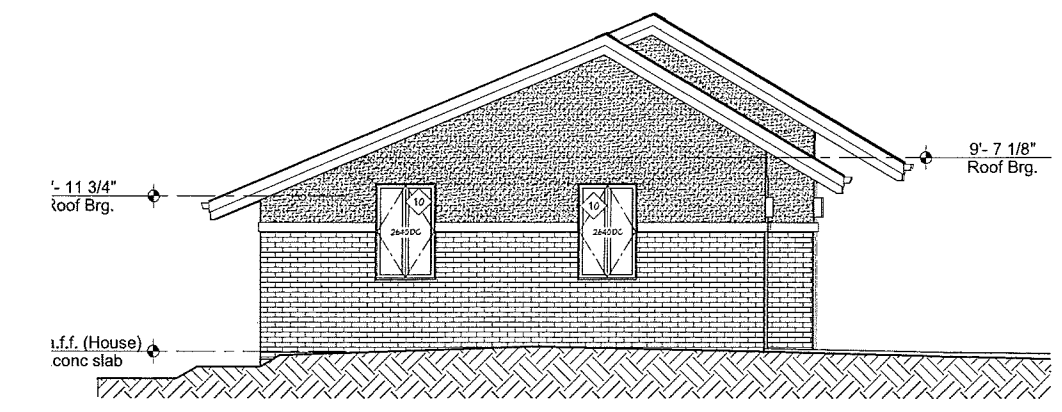
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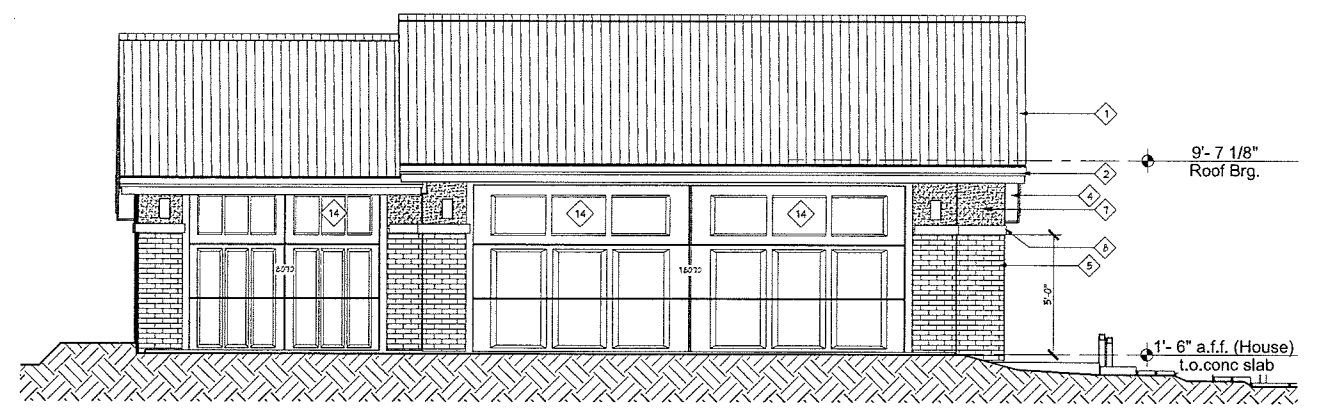
4 Garage North Elevation  
SCALE: 1/4" = 1'-0"



3 Garage West Elevation  
SCALE: 1/4" = 1'-0"



2 Garage South Elevation (Street Side)  
SCALE: 1/4" = 1'-0"



1 Garage East Elevation  
SCALE: 1/4" = 1'-0"

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