



## 5. Required Submittal Materials

- Application Form**
- Letter of Intent**
  - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
  - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development Plans** (Refer to checklist on Page 4 for plan details)
- Filing fee**
- Electronic Submittal\***
- Notification to the District Alder**
  - Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

*\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to [udcapplications@cityofmadison.com](mailto:udcapplications@cityofmadison.com). The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

Each submittal must include fourteen (14) 11" x 17" collated paper copies. Landscape and Lighting plans (if required) must be full-sized and legible. Please refrain from using plastic covers or spiral binding.

## 6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Kevin Firchow on May 5th, 2022.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Namdi Alexander Relationship to property Architectural Designer  
 Authorizing signature of property owner W. T. Alexander Date 06.27.2022

## 7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX): \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

## Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

## Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

## Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

# URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

UDC

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

## 1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

### Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1" = 40' or larger

**\*\* All plans must be legible, including the full-sized landscape and lighting plans (if required)**

## 2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

## 3. Final Approval

All the requirements of the Initial Approval (see above), plus:

- Grading Plan
- Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

## 4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

# ZOR SHRINE WEST

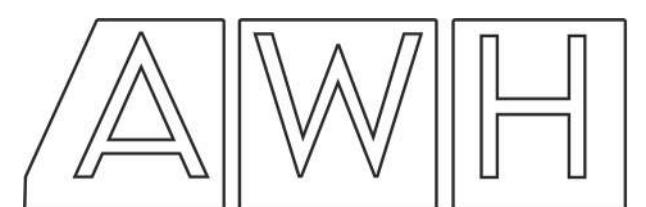
## SITE LOCATION

### 100 UNIT ACTIVE ADULT MULTI-FAMILY HOUSING

LOCATED ON THE FORMER ZOR SHRINE HEADQUARTERS SITE.

FALLS WITHIN THE ODANA AREA PLAN DEVELOPMENT ZONE.

LOTS 2, 3 AND 4 CURRENTLY UNDER DEVELOPMENT AS MARKET RATE MULTI-FAMILY HOUSING



# ZOR SHRINE WEST

## BACK TO THE DRAWING BOARD

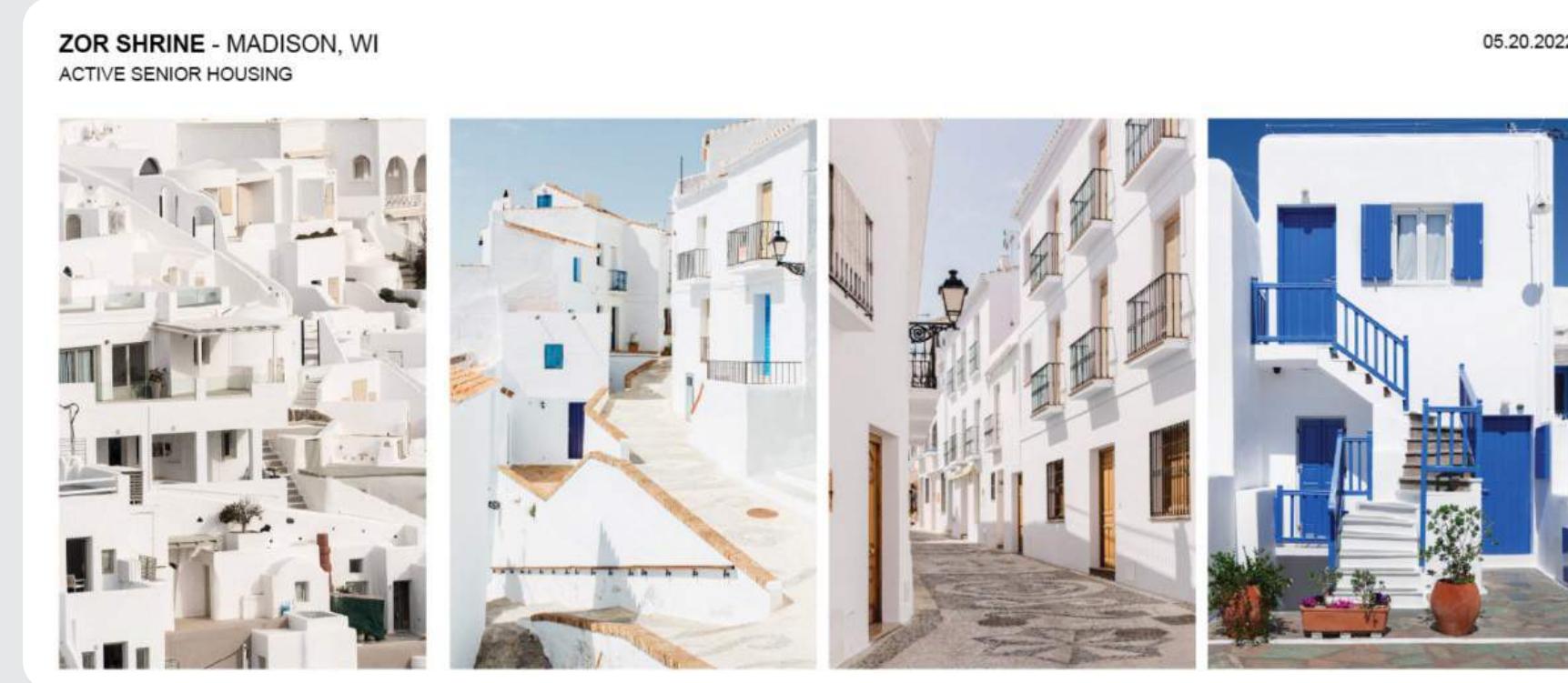


IN RESPONSE TO THE FEEDBACK RECEIVED DURING THE INFORMATIONAL PRESENTATION ON 07.13.2022, THE DESIGN TEAM BEGAN RE-EXPLORING AN EARLIER CONCEPT THAT FEELS MORE APPROPRIATE FOR THE SITE AND MORE IN-LINE WITH THE COMMENTS AND SUGGESTIONS PROVIDED DURING THE PRESENTATION.

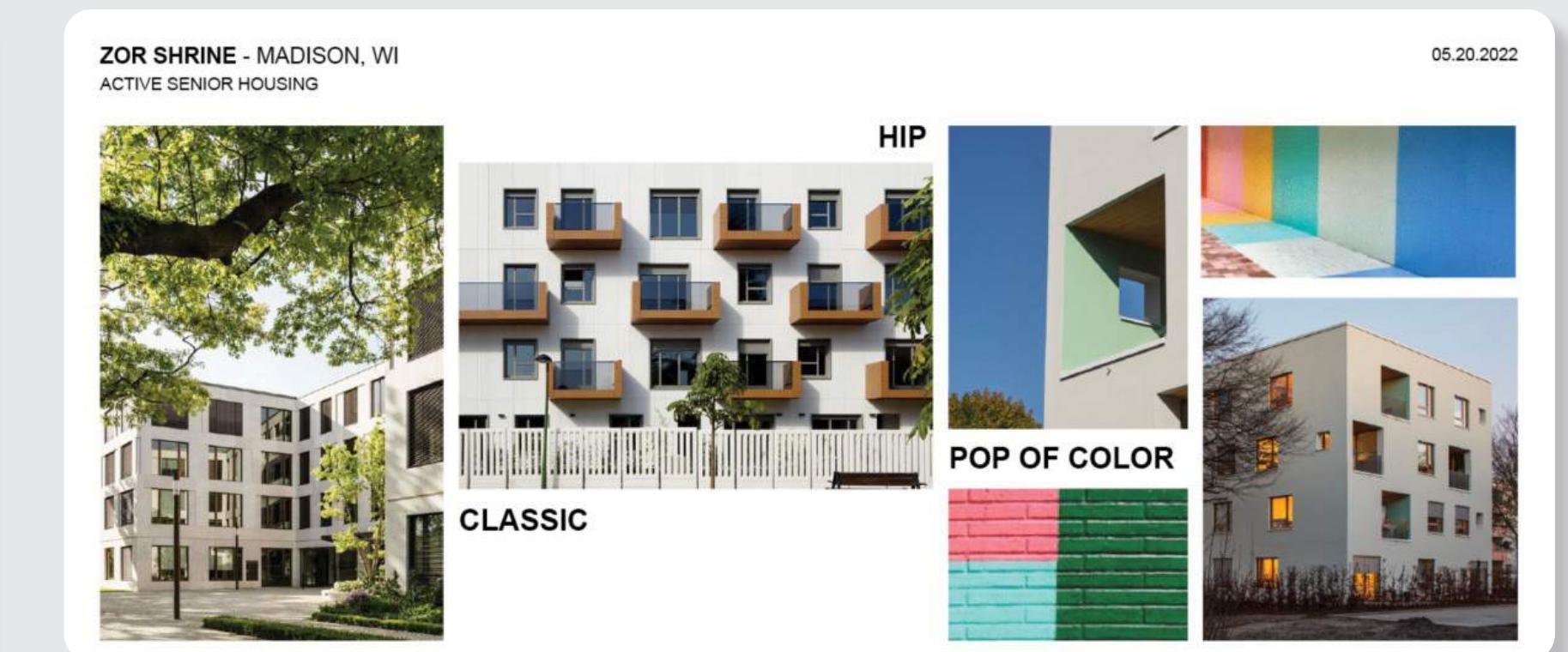
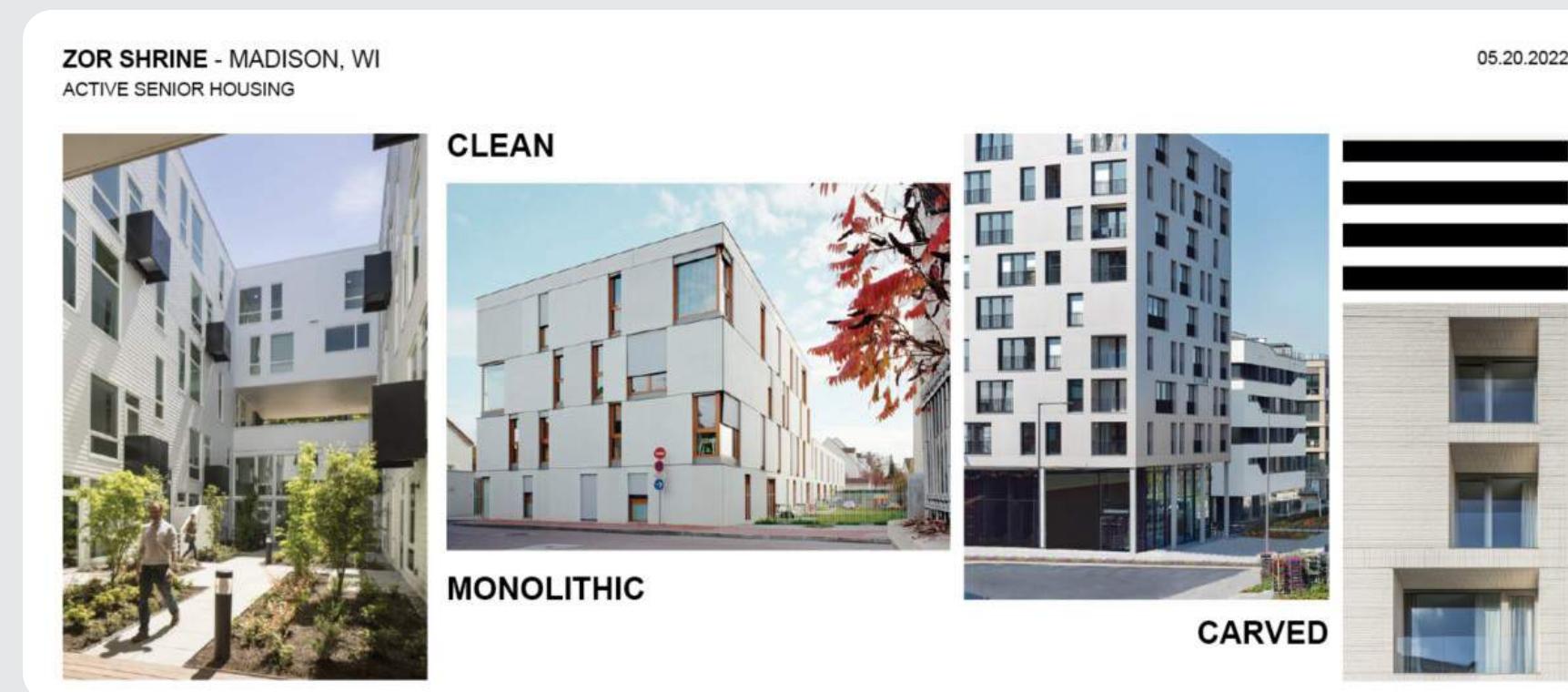
CREATING A SPACE THAT HELPS RESIDENTS TRANSITION INTO THE NEXT CHAPTER OF THEIR LIVES REMAINED A PRIORITY FOR THE DESIGN TEAM. RATHER THAN FOCUSING ON GABLED ROOFS AND RUSTIC DETAILS, THE UPDATED DESIGN STRIVES TO INSPIRE THROUGH A CLASSIC, ELEVATED MATERIAL PALETTE APPLIED WITH INTENTION AND RESTRAINT.

FEATURES LIKE THE SCREENED PORCHES AND ENGAGING AMENITY DECK HAVE BEEN CARRIED FORWARD IN THE UPDATED DESIGN.

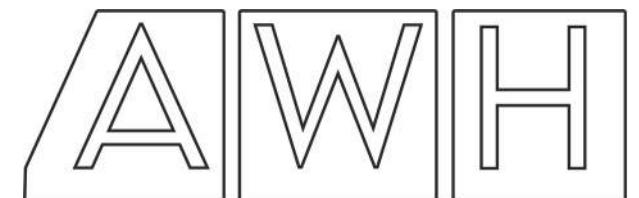
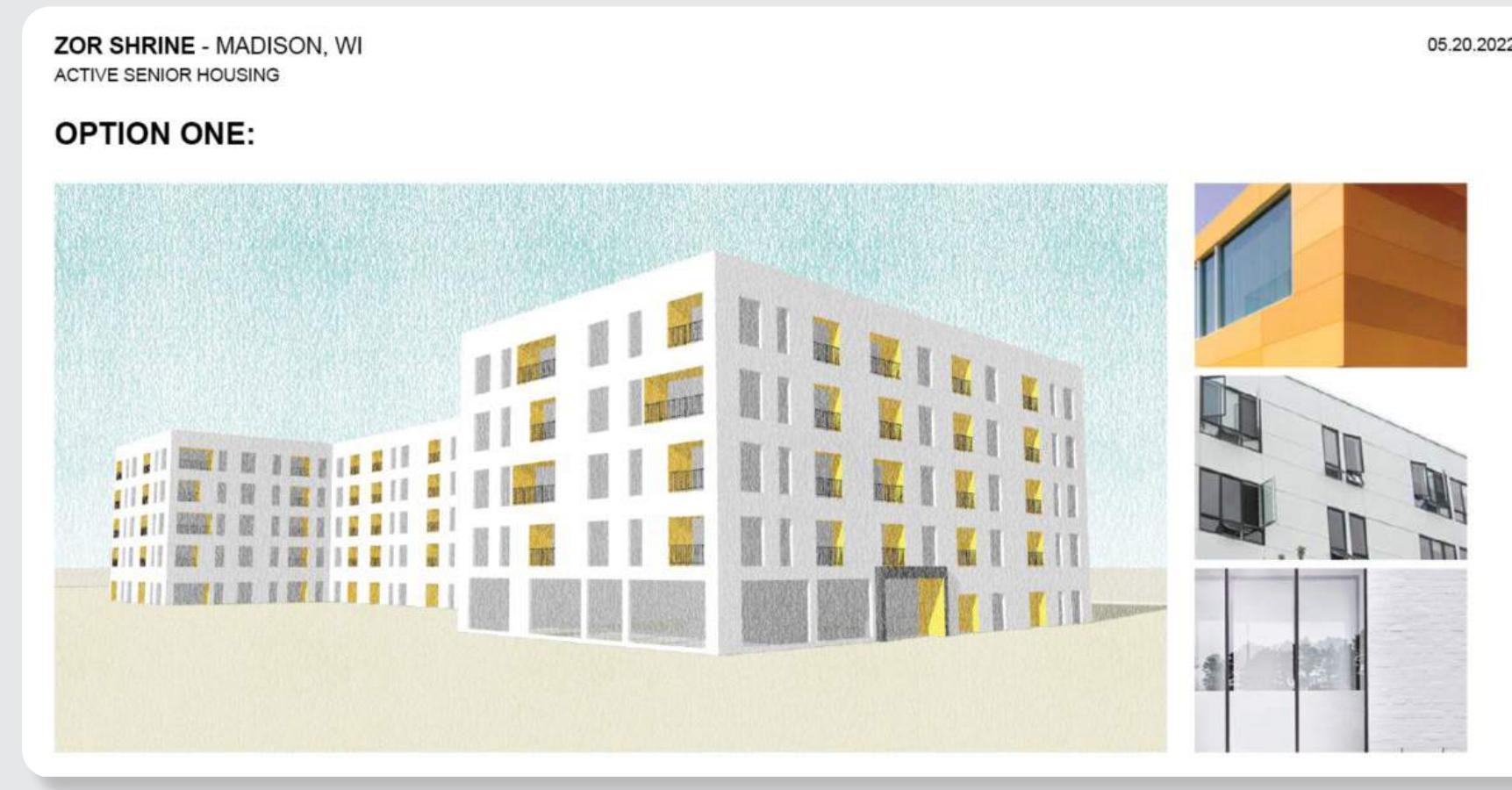
### INSPIRATION:



### PRECEDENT:



### DESIGN CONCEPTS:



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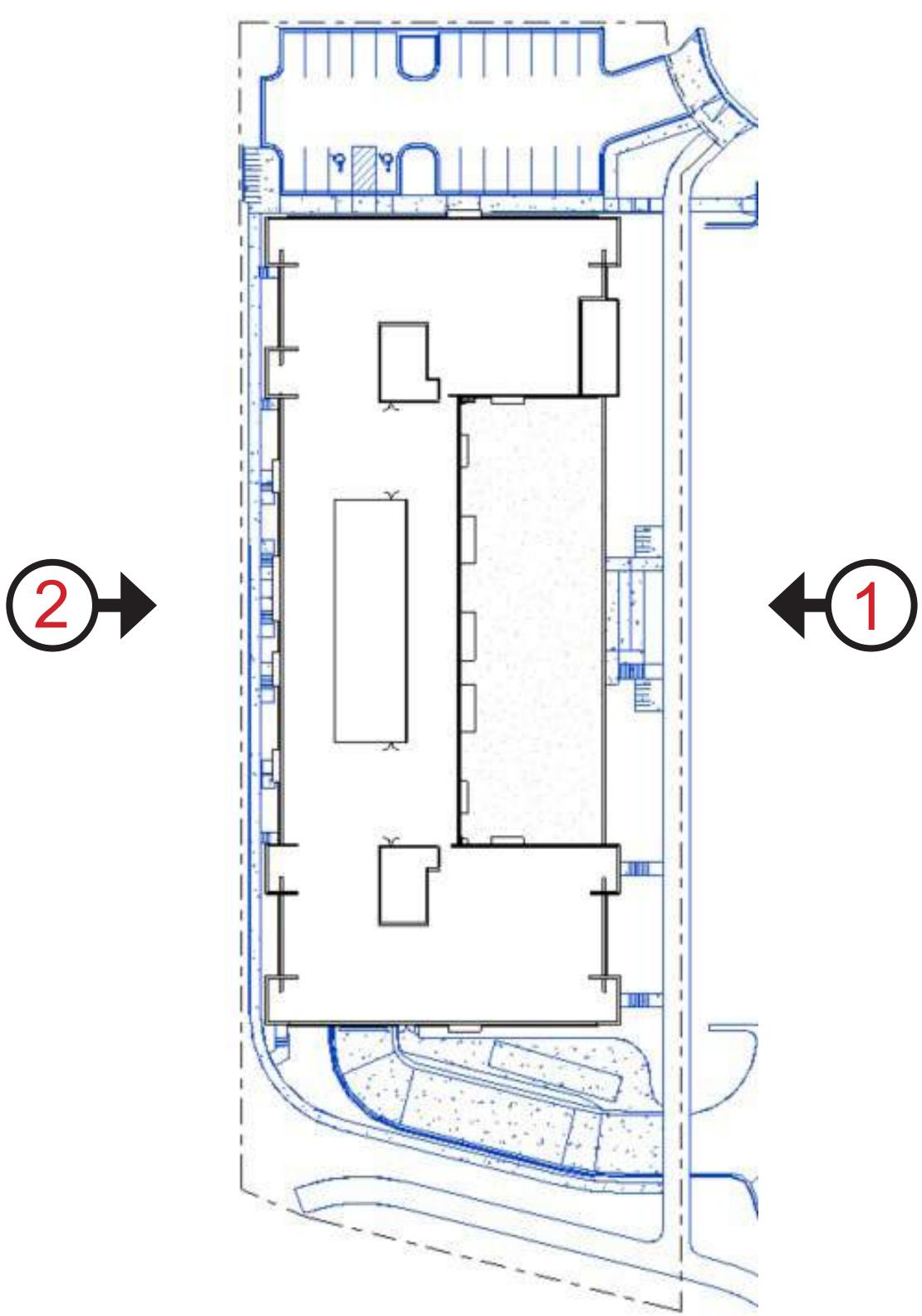
# ZOR SHRINE WEST

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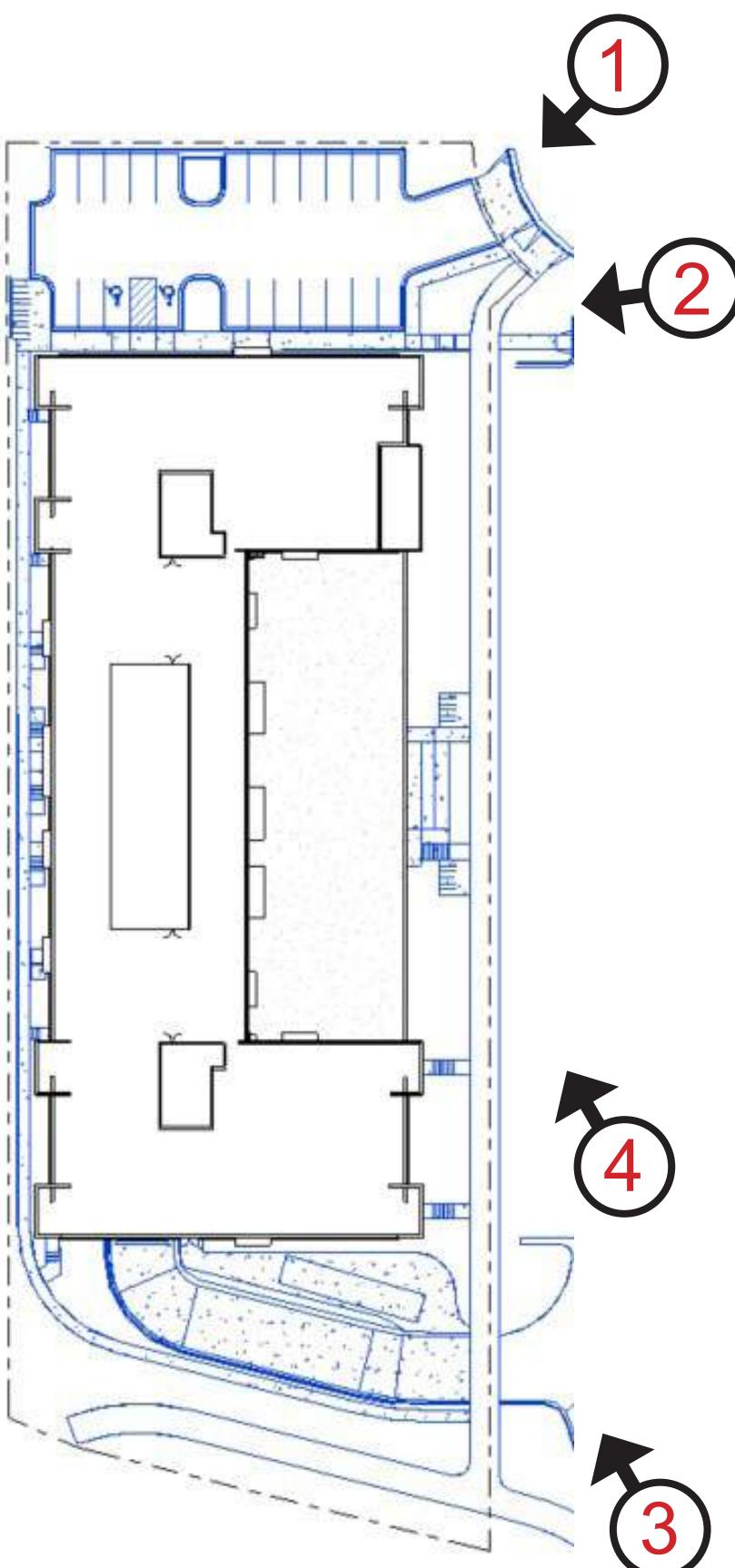
# ZOR SHRINE WEST

## RNDERED ELEVATIONS



# ZOR SHRINE WEST

RNDERED PERSPECTIVES



# ZOR SHRINE WEST

## MATERIAL PALETTE



FIBER-CEMENT LAP SIDING



UTILITY BRICK



FIBER-CEMENT SIDING - ACCENT MATERIAL



FIBER-CEMENT LAP SIDING

# ZOR SHRINE WEST

## ADJACENT CONTEXT



# ZOR SHRINE WEST

## SITE PLAN

**SITE PLAN NOTES:**

1. CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED BASE COURSE UNLESS OTHERWISE NOTED.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE COURSE OF 5" COMPACTED SAND OR CRUSHED STONE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
4. CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS TO BE RESTORED WITH TOPSOIL AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
5. CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
6. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
7. SEE ARCHITECTS PLANS FOR THE BUILDING DIMENSIONS. ALL BUILDING DIMENSIONS SHALL BE COORDINATED AND VERIFIED WITH THE ARCHITECTS PLANS. ALL DIMENSIONS TO BUILDINGS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.

### PARKING LOT SITE INFORMATION BLOCK

SITE ADDRESS: 575 ZOR SHRINE PLACE  
SITE ACREAGE (TOTAL) = 1.79 ACRES (LOT 3 OF PENDING CSM)

NUMBER OF BUILDING STORIES (ABOVE GRADE): 5  
BUILDING HEIGHT: 77'  
DLHR TYPE OF CONSTRUCTION: TYPE 3B RESIDENTIAL, 2B PARKING  
USE OF PROPERTY: SENIOR HOUSING  
GROSS SQUARE FT OF BUILDING: 175,065 GSF  
GROSS SQUARE FT OF COMMERCIAL/OFFICE AREA: 0 GSF  
NUMBER OF EMPLOYEES: 3  
NUMBER OF EMPLOYEES IN PRODUCTION AREA: N/A  
CAPACITY OF RESTAURANT/PLACE OF ASSEMBLY: N/A

NUMBER OF BICYCLE STALLS SHOWN: 99 INTERNAL + 22 EXTERNAL = 121

NUMBER OF PARKING STALLS:

PROPOSED SITE	23
PROPOSED COVERED	98
ELECTRIC VEHICLE	2% EV INSTALLED, 10% EV READY.
ACCESSIBLE	5 TOTAL, 0 ON SITE, 5 COVERED.
VAN ACCESSIBLE	2 ON SITE, 1 COVERED.
TOTAL	121

NUMBER OF TREES SHOWN: SEE LANDSCAPE PLAN

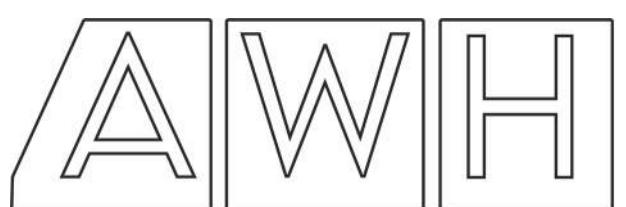
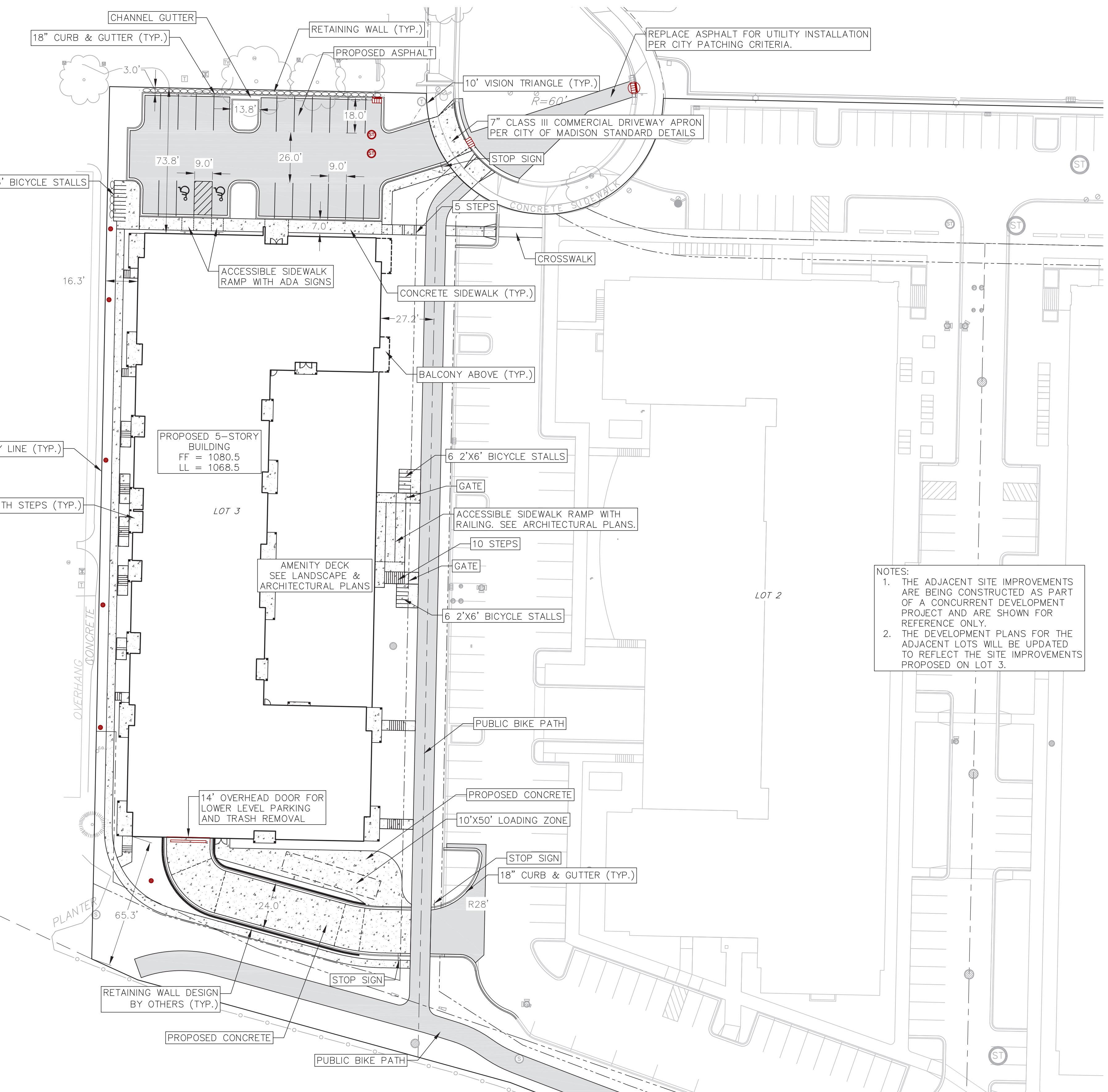
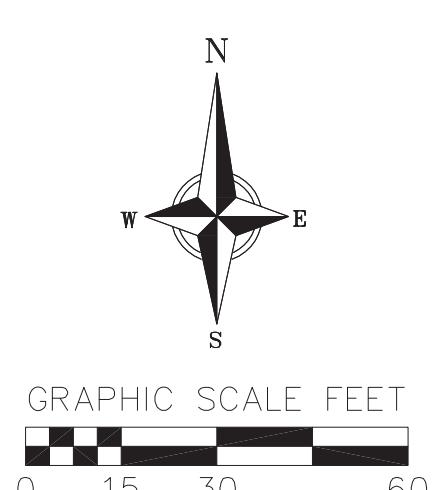
### LOT COVERAGE & USABLE OPEN SPACE CALCULATIONS

SITE AREA: 77,825 SF  
LOT COVERAGE: 57015 SF  
LOT COVERAGE: 73%  
LOT COVERAGE MAXIMUM: 80%

NUMBER OF DWELLING UNITS: 100  
REQUIRED USABLE OPEN SPACE = 40 SF/D.U. = 4,000 SF  
SITE USABLE OPEN SPACE AREA: 3,040 SF  
BUILDING USABLE OPEN SPACE AREA (BALCONIES & COURTYARD AREA): 17,823 SF  
(CAN ACCOUNT FOR 75% OF USABLE OPEN SPACE REQUIREMENT)

TOTAL USABLE OPEN SPACE: 20,863 SF

SITE PLAN LEGEND	
PROPERTY BOUNDARY	
CURB AND GUTTER (REVERSE CURB HATCHED)	
PROPOSED CHAIN LINK FENCE	
PROPOSED WOOD FENCE	
PROPOSED CONCRETE	
PROPOSED LIGHT-DUTY ASPHALT	
PROPOSED HEAVY-DUTY ASPHALT	
PROPOSED SIGN	
PROPOSED LIGHT POLE	
PROPOSED BOLLARD	
PROPOSED ADA DETECTABLE WARNING FIELD	
PROPOSED HANDICAP PARKING	



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# ZOR SHRINE WEST

## RENDERED LANDSCAPE PLAN



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# ZOR SHRINE WEST

## LANDSCAPE PLAN

### PLANT MATERIAL NOTES:

- ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
- ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
- CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
- ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.

### LANDSCAPE MATERIAL NOTES:

- CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION." PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEDEDDED/SODDED.
- LANDSCAPE BEDS TO BE MULCHED WITH UNDYED SHREDDED HARDWOOD BARK MULCH TO 3" DEPTH MIN. AND EDGED WITH COMMERCIAL GRADE ALUMINUM LANDSCAPE EDGING, PERMALOC CLEANLINE,  $\frac{1}{2}''$ "X4" OR EQUAL, COLOR BLACK ANODIZED.
- ALL TREES AND/OR SHRUBS PLANTED IN LAWN AREAS TO BE INSTALLED WITH A 5" DIAMETER MULCH RING AND SHOVEL CUT EDGE. A PRE-EMERGENT GRANULAR HERBICIDE, WEED-PREVENTER SHOULD BE MIXED WITH MULCH AS WELL AS TOPICALLY APPLIED TO TREE RING.

### SEEDING AND PLUG PLANTING NOTES:

- ALL DISTURBED AREAS, UNLESS OTHERWISE NOTED, TO BE SEDEDDED WITH 'MADISON PARKS' MIX BY 'LACROSSE SEED COMPANY' OR EQUIVALENT, PER MANUFACTURER'S SPECIFIED APPLICATION RATES. ALL SEDEDDED AREAS ARE TO BE WATERED DAILY TO MAINTAIN ADEQUATE SOIL MOISTURE FOR PROPER GERMINATION. AFTER VIGOROUS GROWTH IS ESTABLISHED, APPLY  $2''$  WATER TWICE WEEKLY UNTIL FINAL ACCEPTANCE.

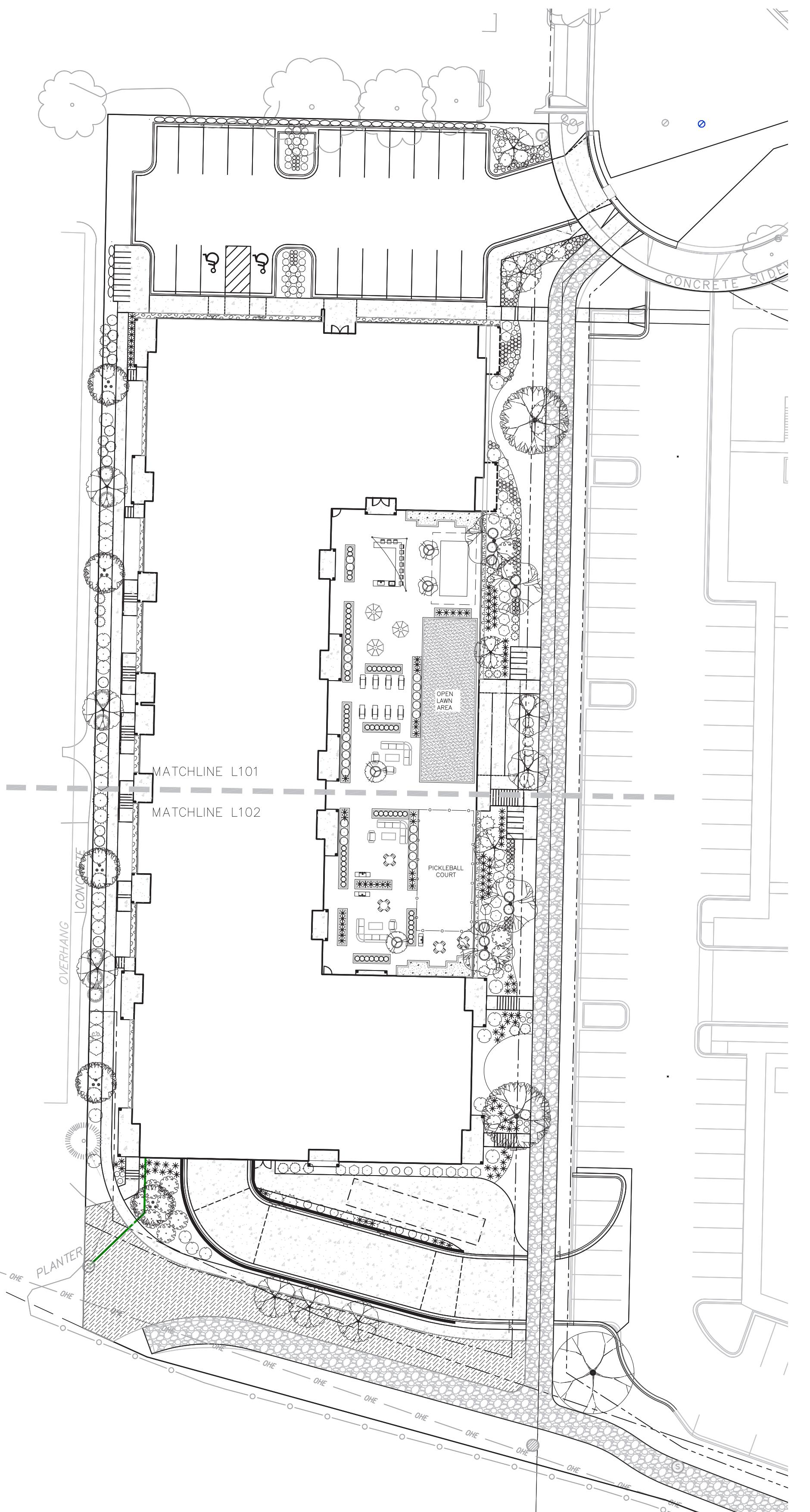
### GROUNDCOVER SCHEDULE

	SHORTGRASS PRAIRIE SEED MIX	3,093 sf
	ROOF DECK PLANTER- LOW MIX	247 sf
	STONE MAINTENANCE STRIP	667 sf
	ARTIFICIAL TURF	1,121 sf

### PLANT SCHEDULE

CANOPY TREES				
AF	BOTANICAL / COMMON NAME	Acer x freemanii 'Ed Gartner'	/ Ed Gartner Freeman Maple	ROOT COND.
		B & B	2.5"Cal	SIZE
GT		B & B	2.5"Cal	NOTES
QB		B & B	2.5"Cal	QTY
UNDERSTORY TREES				
AC	BOTANICAL / COMMON NAME	Amelanchier x grandiflora 'Autumn Brilliance'	/ Autumn Brilliance Apple Serviceberry	ROOT COND.
BA		B & B	6" ht.	SIZE
MF		B & B	6" ht.	NOTES
MP		Cont.	10 gal	QTY
MS		B & B	1.5" Cal	
SP		B & B	1.5"Cal	
SR		Cont.	10 gal	
		B & B	1.5" Cal	Standard
		Cont.	5 Gal	2
		B & B	1.5" Cal	1
DECIDUOUS SHRUBS				
Ab	BOTANICAL / COMMON NAME	Aronia arbutifolia 'Brilliantissima'	/ Brilliant Red Chokeberry	ROOT COND.
Cf		Cont.	5 Gal.	SIZE
Di		Cont.	3 Gal.	NOTES
Hpj		Cont.	3 Gal.	QTY
Hq		Cont.	5 Gal.	
Ra		Cont.	5 Gal.	
Sn		Cont.	3 Gal.	
Sj		Cont.	3 Gal.	
Vd		Cont.	3 Gal.	12
		Cont.	5 Gal.	20
		Cont.	5 Gal.	3
EVERGREEN SHRUBS				
Jcf	BOTANICAL / COMMON NAME	Juniperus chinensis 'Fairview'	/ Fairview Juniper	ROOT COND.
Jct		B & B	5" ht.	SIZE
Jcp		B & B	5" ht.	NOTES
Jp		Cont.	5 Gal.	QTY
Js		Cont.	5 Gal.	
Tm		Cont.	5 Gal.	
Tt		Cont.	5 Gal.	
Tom		Cont.	5 Gal.	
Toh		B & B	5" ht.	
PERENNIALS				
am	BOTANICAL / COMMON NAME	Amsinca x 'Blue Ice'	/ Blue Ice Bluestar	ROOT COND.
ca		Cont.	1 Gal.	SIZE
pvs		Cont.	1 Gal.	NOTES
pa		Cont.	1 Gal.	QTY
ss		Cont.	1 Gal.	
		Cont.	1 Gal.	63
		Cont.	1 Gal.	131
		Cont.	1 Gal.	17
		Cont.	1 Gal.	158

City of Madison Landscape Worksheet		Date:	1-Aug			
Address:		77,828	-	37,505	=	40,323 sf
Total Square Footage of Developed Area:		(Site Area)		(Building Footprint at Grade)		
Total Landscape Points Required (<5 ac):		40,323	/ 300 =	134	x 5 =	672
Landscape Points Required >5 ac:			/ 100 =	0	x 1 =	672
Plant Type / Element	Min. Size at Installation	Points	Quantity	Credits/ Existing Landscaping	New/ Proposed Landscaping	
Ovostory deciduous tree	2.5" cal	35	0	5	175	
Tall Evergreen Tree	5-6 feet tall	35	0	0	0	
Ornamental tree	1.5" cal	15	0	23	345	
Upright evergreen shrub	3-4 feet tall	10	0	42	420	
Shrub, deciduous	#3 gallon	3	0	111	333	
Shrub, evergreen	#3 gallon	4	0	56	224	
Ornamental grasses/perennials	#1 gallon	2	0	425	850	
Ornamental/decorative fencing or wall	n/a	4 per 10 LF	0	0	0	
Existing significant specimen tree	Min. Size 2.5" cal.	14 per caliper inch.	0	0	0	
Landscape Furniture for public seating and/or transit connections		5 points per "seat"	0	0	0	
<b>Sub Totals</b>			0	2347		
Total Points Provided: 2347						



**vierbicher**  
planners | engineers | advisors



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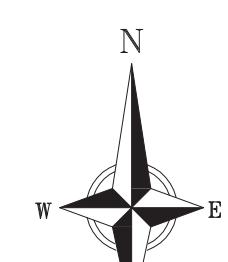
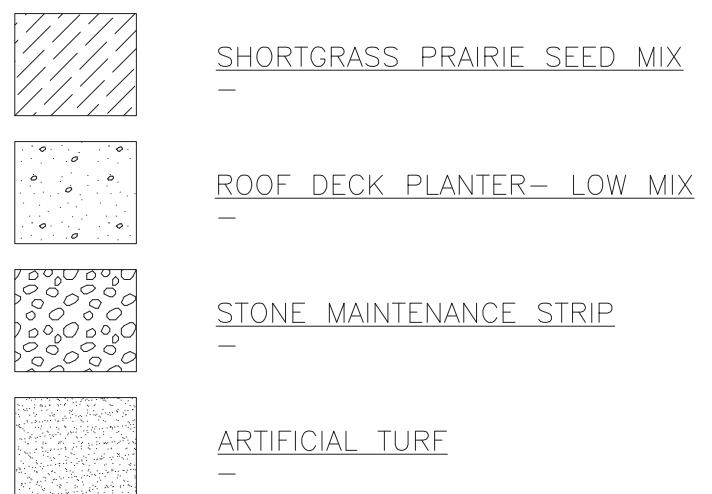
# ZOR SHRINE WEST

## ENLARGED LANDSCAPE PLAN

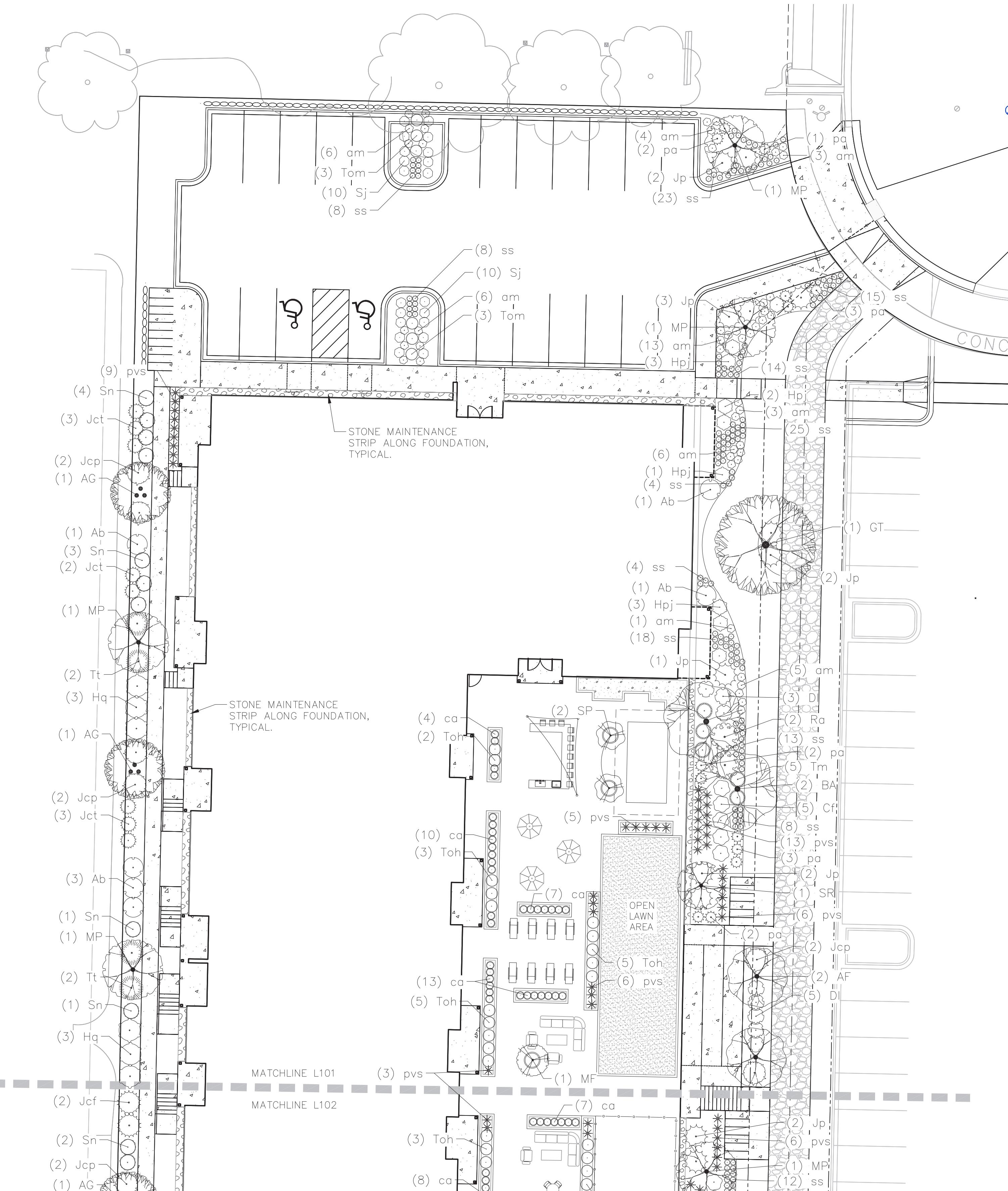
## PLANT SCHEDULE

<u>CANOPY TREES</u>	<u>BOTANICAL / COMMON NAME</u>
AF	<i>Acer x freemanii</i> 'Ed Gartner' / Ed Gartner Freeman Maple
GT	<i>Gleditsia triacanthos</i> inermis 'Shademaster' TM / Shademaster Locust
QB	<i>Quercus bicolor</i> / Swamp White Oak
<u>UNDERSTORY TREES</u>	<u>BOTANICAL / COMMON NAME</u>
AG	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry
BA	<i>Betula alleghaniensis</i> / Yellow Birch
MF	<i>Malus sargentii</i> 'Select A' TM / Firebird Sargent Crabapple
MP	<i>Malus x</i> 'Prairie Maid' / Prairie Maid Crabapple
MS	<i>Malus x</i> 'Spring Snow' / Spring Snow Crabapple
SP	<i>Syringa meyeri</i> 'Palibin' / Dwarf Korean Lilac
SR	<i>Syringa reticulata</i> 'Ivory Silk' / Ivory Silk Japanese Tree Lilac
<u>DECIDUOUS SHRUBS</u>	<u>BOTANICAL / COMMON NAME</u>
Ab	<i>Aronia arbutifolia</i> 'Brilliantissima' / Brilliant Red Chokeberry
Cf	<i>Cornus stolonifera</i> 'Farrow' TM / Arctic Fire Red Twig Dogwood
DI	<i>Diervilla lonicera</i> / Dwarf Bush Honeysuckle
Hpj	<i>Hydrangea paniculata</i> 'Jane' TM / Little Lime Hydrangea
Hq	<i>Hydrangea paniculata</i> 'Quick Fire' / Quick Fire Panicle Hydrangea
Ra	<i>Rhus aromatica</i> 'Gro-Low' / Gro-Low Fragrant Sumac
Sn	<i>Salix purpurea</i> 'Nana' / Dwarf Purple Osier Willow
Sj	<i>Spiraea japonica</i> 'Magic Carpet' / Magic Carpet Spirea
Vd	<i>Viburnum dentatum</i> 'Little Joe' / Little Joe Viburnum
<u>EVERGREEN SHRUBS</u>	<u>BOTANICAL / COMMON NAME</u>
Jcf	<i>Juniperus chinensis</i> 'Fairview' / Fairview Juniper
Jct	<i>Juniperus chinensis</i> 'Trautman' / Trautman Juniper
Jcp	<i>Juniperus horizontalis</i> 'Plumosa Compacta' / Creeping Juniper
Jp	<i>Juniperus procumbens</i> 'Nana' / Dwarf Japanese Garden Juniper
Js	<i>Juniperus sabina</i> 'Blue Forest' / Blue Forest Juniper
Tm	<i>Taxus x media</i> 'Everlow' / Everlow Yew
Tt	<i>Taxus x media</i> 'Tauntonii' / Taunton's Anglo-Japanese Yew
Tom	<i>Thuja occidentalis</i> 'Hetz Midget' / Hetz Midget Arborvitae
Toh	<i>Thuja occidentalis</i> 'Holmstrup' / Holmstrup Cedar
<u>PERENNIALS</u>	<u>BOTANICAL / COMMON NAME</u>
am	<i>Amsonia x</i> 'Blue Ice' / Blue Ice Bluestar
ca	<i>Calamagrostis x acutiflora</i> 'Karl Foerster' / Feather Reed Grass
pvs	<i>Panicum virgatum</i> 'Shenandoah' / Shenandoah Red Switch Grass
pa	<i>Perovskia atriplicifolia</i> / Russian Sage
ss	<i>Schizachyrium scoparium</i> / Little Bluestem Grass

## GROUNDCOVER SCHEDULE



A graphic scale for feet, showing a 16-foot length with a 32-foot extension. The 16-foot section is marked with a dashed line and labeled '16'. The 32-foot extension is marked with a dashed line and labeled '32'. The total length is 48 feet.



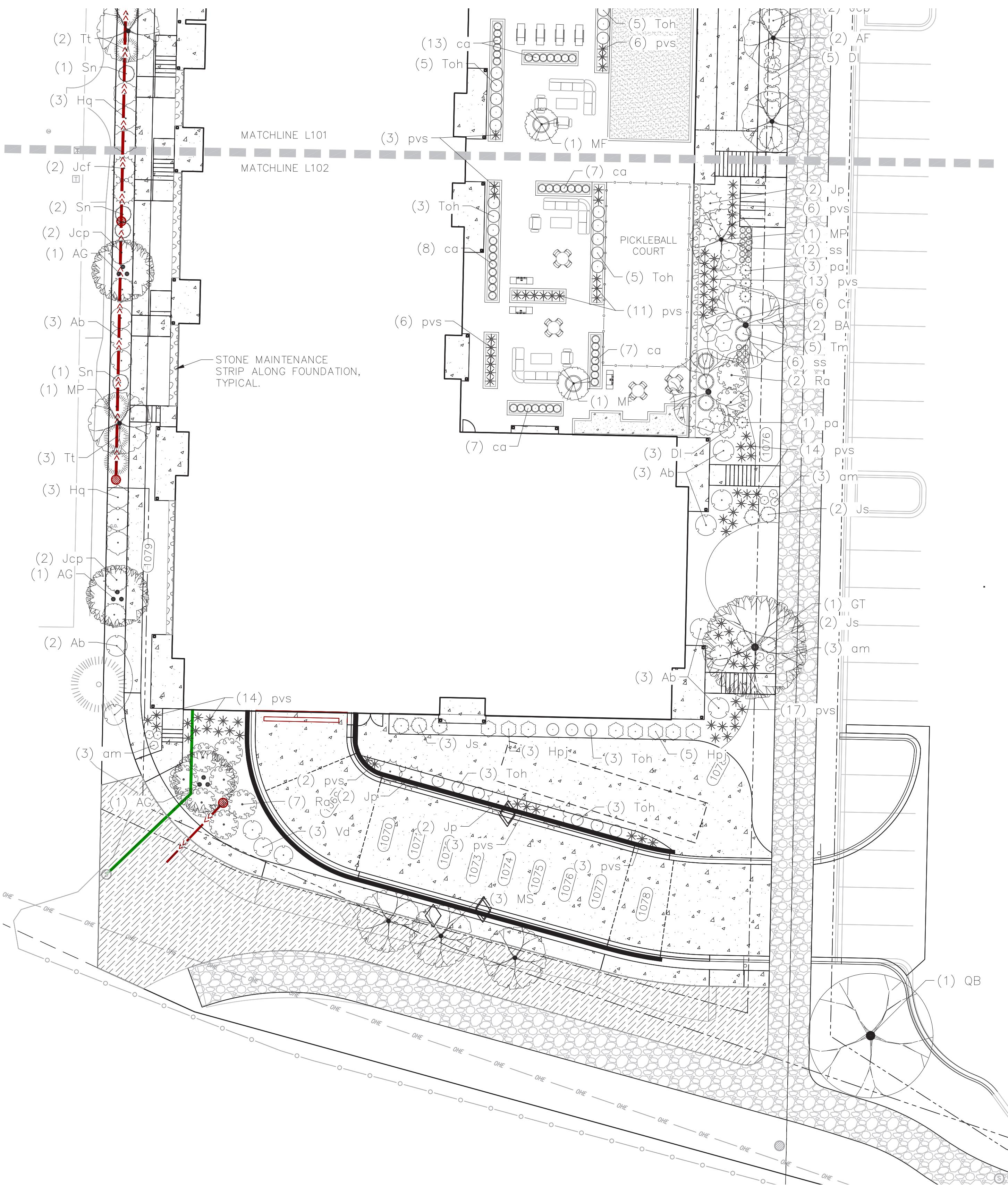
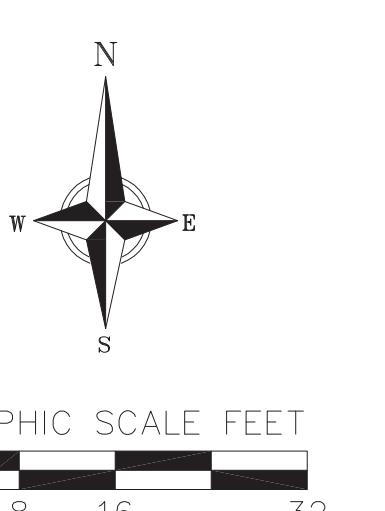
# ZOR SHRINE WEST

## ENLARGED LANDSCAPE PLAN

### PLANT SCHEDULE

CANOPY TREES		BOTANICAL / COMMON NAME
AF		<i>Acer x freemanii</i> 'Ed Gartner' / Ed Gartner Freeman Maple
GT		<i>Gleditsia triacanthos inermis</i> 'Shademaster' TM / Shademaster Locust
QB		<i>Quercus bicolor</i> / Swamp White Oak
UNDERSTORY TREES		BOTANICAL / COMMON NAME
AG		<i>Amelanchier x grandiflora</i> 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry
BA		<i>Betula alleghaniensis</i> / Yellow Birch
MF		<i>Malus sargentii</i> 'Select A' TM / Firebird Sargent Crabapple
MP		<i>Malus x 'Prairie Maid'</i> / Prairie Maid Crabapple
MS		<i>Malus x 'Spring Snow'</i> / Spring Snow Crabapple
SP		<i>Syringa meyeri</i> 'Palibin' / Dwarf Korean Lilac
SR		<i>Syringa reticulata</i> 'Ivory Silk' / Ivory Silk Japanese Tree Lilac
DECIDUOUS SHRUBS		BOTANICAL / COMMON NAME
Ab		<i>Aronia arbutifolia</i> 'Brilliantissima' / Brilliant Red Chokeberry
Cf		<i>Cornus stolonifera</i> 'Farrow' TM / Arctic Fire Red Twig Dogwood
DI		<i>Diervilla lonicera</i> / Dwarf Bush Honeysuckle
Hpj		<i>Hydrangea paniculata</i> 'Jane' TM / Little Lime Hydrangea
Hq		<i>Hydrangea paniculata</i> 'Quick Fire' / Quick Fire Panicle Hydrangea
Ra		<i>Rhus aromatica</i> 'Gro-Low' / Gro-Low Fragrant Sumac
Sn		<i>Salix purpurea</i> 'Nana' / Dwarf Purple Osier Willow
Sj		<i>Spiraea japonica</i> 'Magic Carpet' / Magic Carpet Spirea
Vd		<i>Viburnum dentatum</i> 'Little Joe' / Little Joe Viburnum
EVERGREEN SHRUBS		BOTANICAL / COMMON NAME
Jcf		<i>Juniperus chinensis</i> 'Fairview' / Fairview Juniper
Jct		<i>Juniperus chinensis</i> 'Trautman' / Trautman Juniper
Jcp		<i>Juniperus horizontalis</i> 'Plumosa Compacta' / Creeping Juniper
Jp		<i>Juniperus procumbens</i> 'Nana' / Dwarf Japanese Garden Juniper
Js		<i>Juniperus sabina</i> 'Blue Forest' / Blue Forest Juniper
Tm		<i>Taxus x media</i> 'Everlow' / Everlow Yew
Tt		<i>Taxus x media</i> 'Tauntonii' / Taunton's Anglo-Japanese Yew
Tom		<i>Thuja occidentalis</i> 'Hetz Midget' / Hetz Midget Arborvitae
Toh		<i>Thuja occidentalis</i> 'Holmstrup' / Holmstrup Cedar
PERENNIALS		BOTANICAL / COMMON NAME
am		<i>Amsonia x</i> 'Blue Ice' / Blue Ice Bluestar
ca		<i>Calamagrostis x acutiflora</i> 'Karl Foerster' / Feather Reed Grass
pvs		<i>Panicum virgatum</i> 'Shenandoah' / Shenandoah Red Switch Grass
pa		<i>Pervovskia atriplicifolia</i> / Russian Sage
ss		<i>Schizachyrium scoparium</i> / Little Bluestem Grass

### GROUNDCOVER SCHEDULE

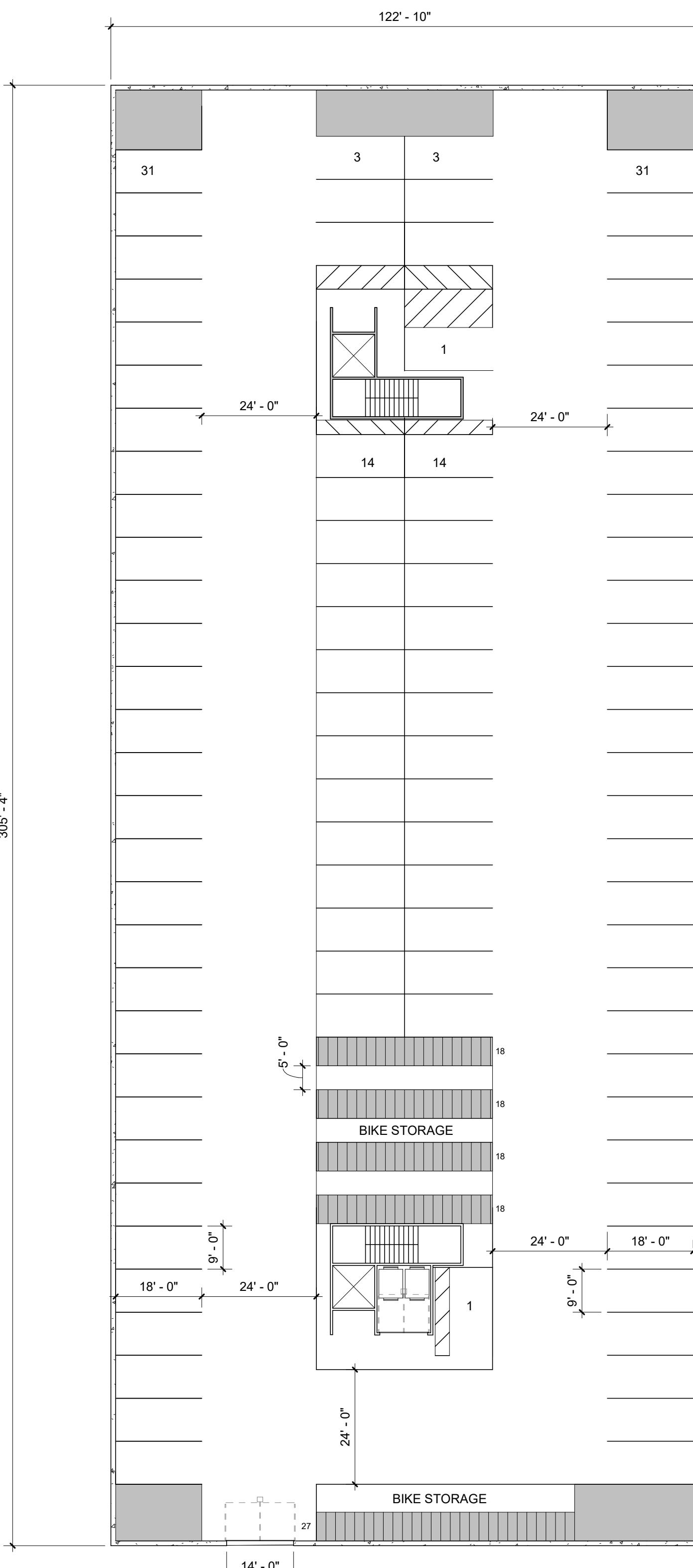


# ZOR SHRINE WEST

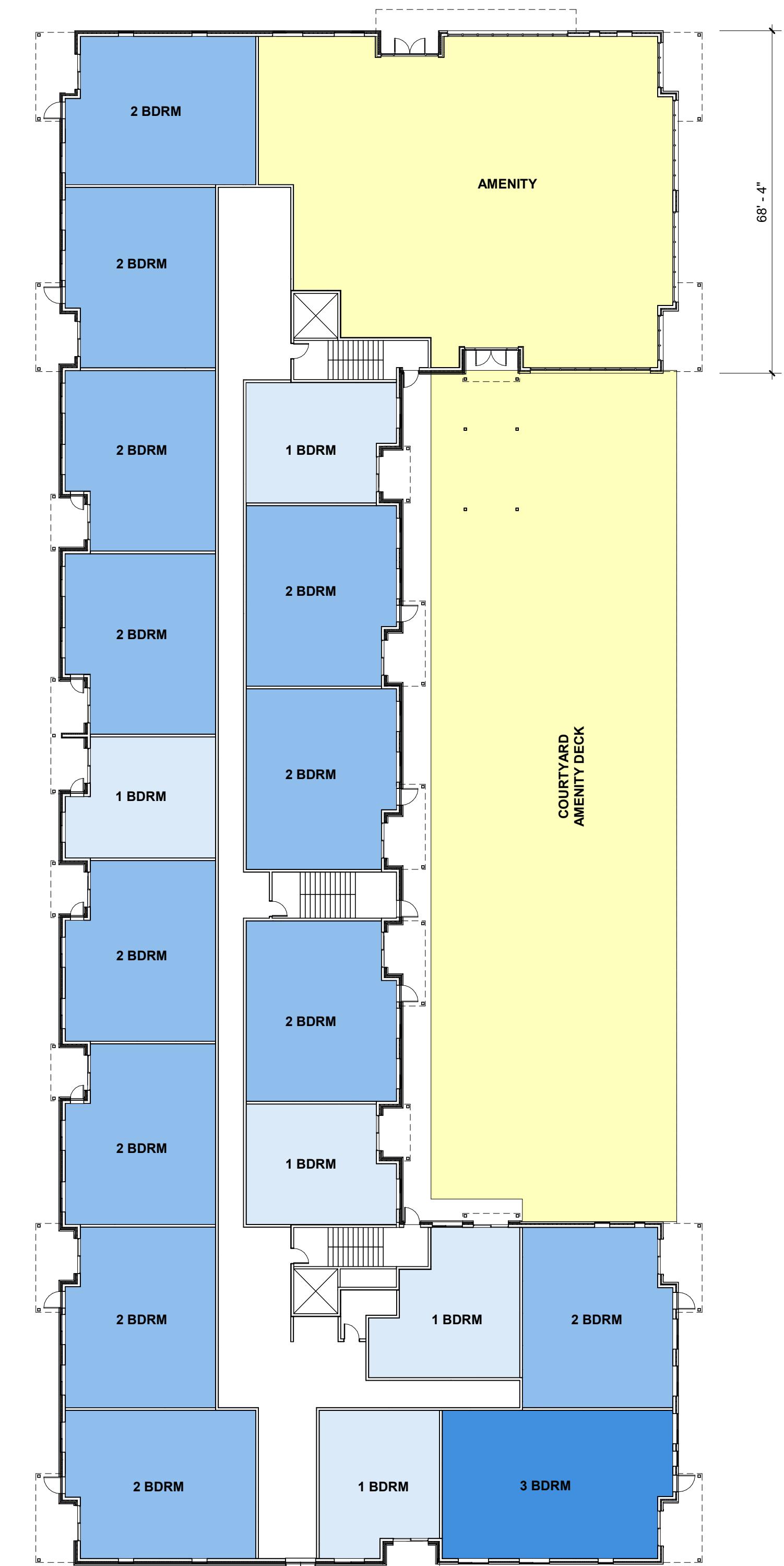
## FLOOR PLANS

UNITS			
TYPE	COUNT	SQFT	TOTAL SQFT
1 BEDROOMS	25	720	18,000
2 BEDROOMS	71	1,100	78,100
3 BEDROOMS	9	1,325	11,925
TOTAL			108,025

AMENITY			
TYPE	COUNT	SQFT	TOTAL SQFT
LVL 1 AMENITY (INT)	1	4,780	4,780
LVL 1 AMENITY (EXT)	1	8,440	8,440
LVL 5 AMENITY (INT)	1	750	750
LVL 5 AMENITY (EXT)	1	500	500
TOTAL			14,470



2 UNDERGROUND PARKING PLAN  
A1.1 1" = 20'-0"



1 LEVEL ONE FLOOR PLAN  
A1.1 1" = 20'-0"



# ZOR SHRINE WEST

## FLOOR PLANS

### UNITS

TYPE	COUNT	SQFT	TOTAL SQFT
1 BEDROOMS	25	720	18,000
2 BEDROOMS	71	1,100	78,100
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LVL 5 AMENITY (INT)	1	750	750
LVL 5 AMENITY (EXT)	1	500	500
TOTAL			14,470



1 TYPICAL FLOOR PLAN 2-4  
A1.2 1" = 20'-0"

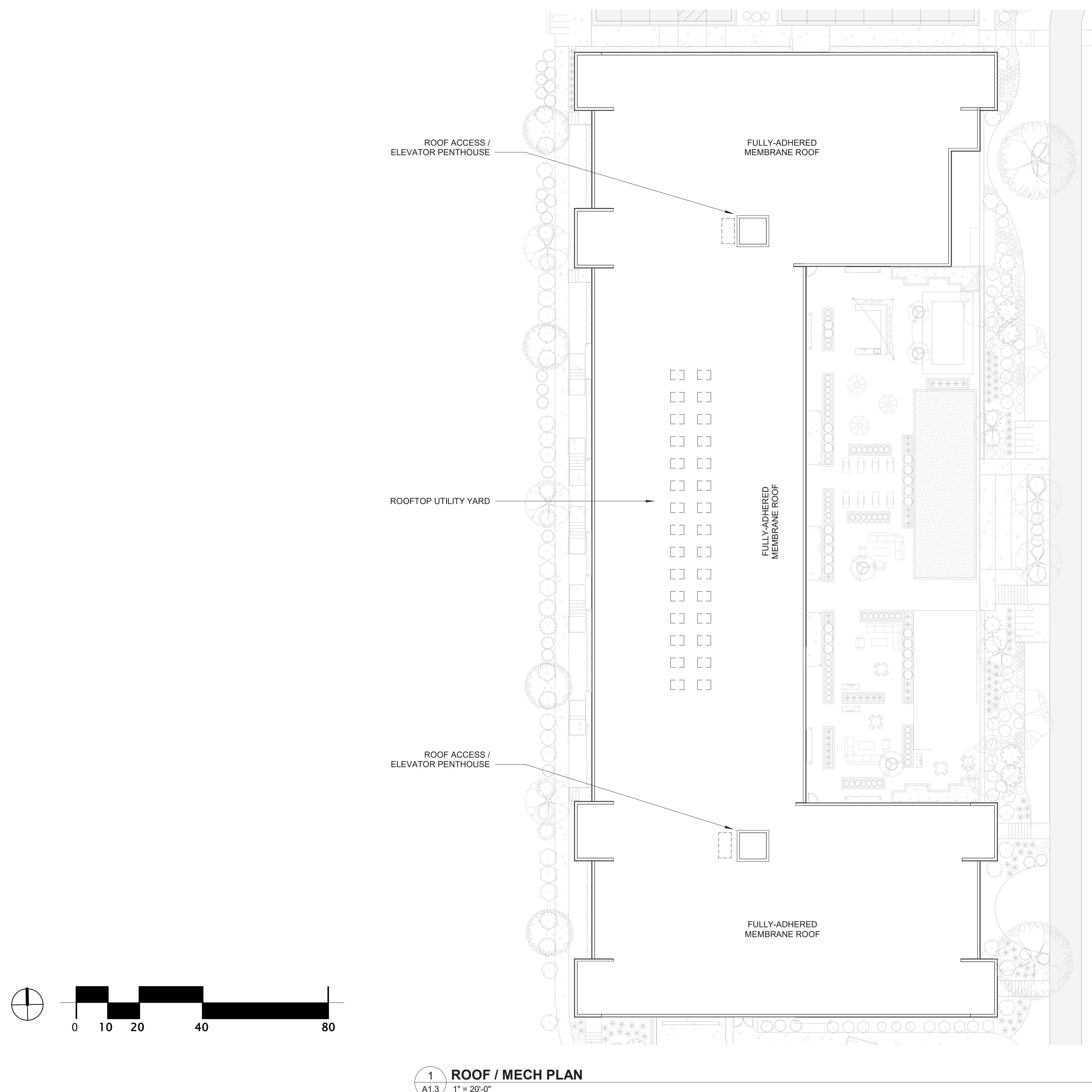


2 FIFTH FLOOR PLAN  
A1.2 1" = 20'-0"



# ZOR SHRINE WEST

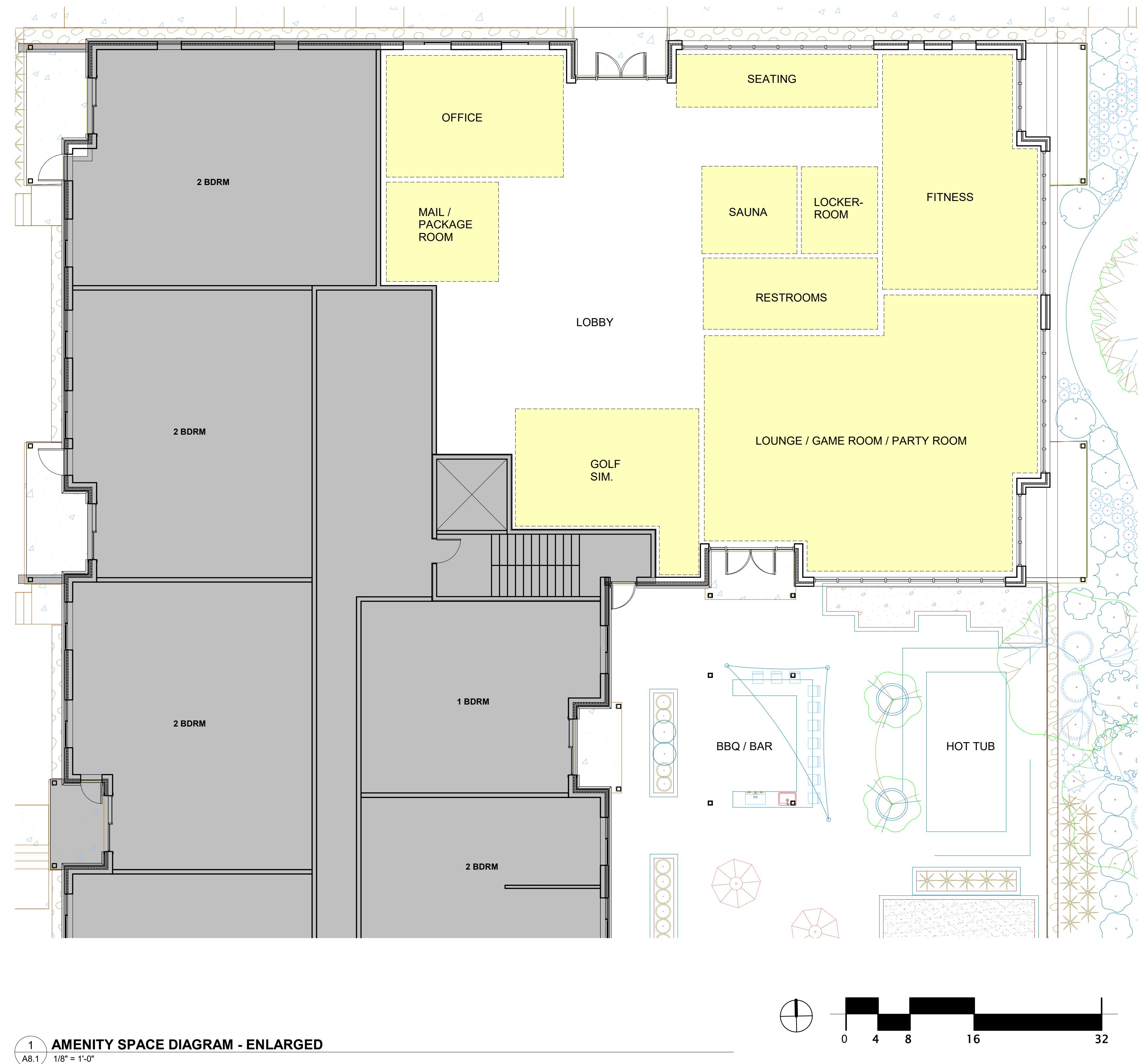
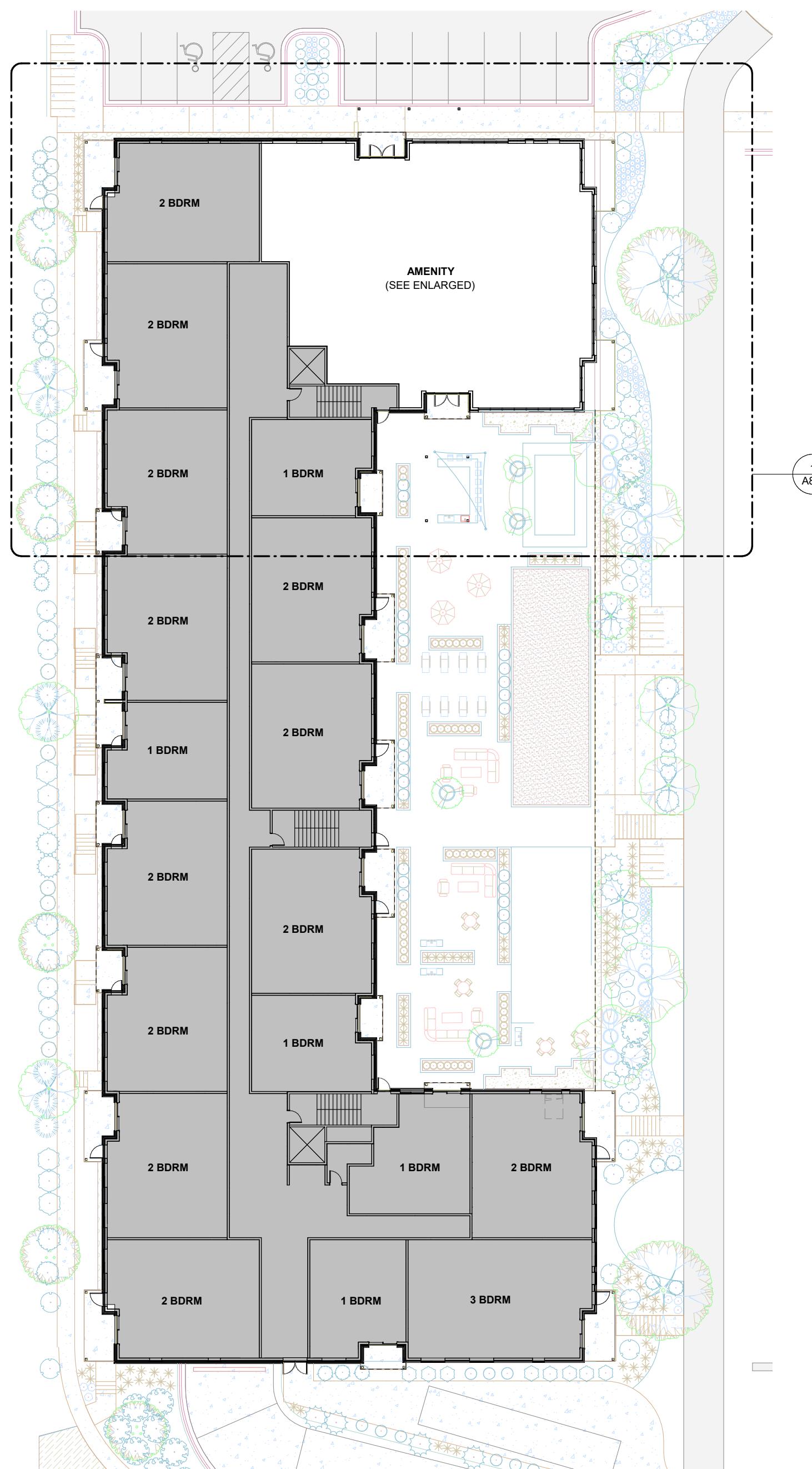
# ROOF PLAN



UDC REVIEW 08.17.2022

# ZOR SHRINE WEST

## ENLARGED PLAN - INTERIOR AMENITY



# ZOR SHRINE WEST

## EXTERIOR ELEVATIONS (COLOR)

### EXTERIOR MATERIAL KEYNOTES

E1A	ONYX; UTILITY BRICK
E2A	FIBER CEMENT LAP SIDING (COLOR: ARCTIC WHITE; STYLE: SMOOTH 8 1/4"; BOD: HARDIEPLANK)
E2B	FIBER CEMENT LAP SIDING AT LEVEL ONE (WOOD-LOOK PANELS - COLOR: VARIABLE CEDAR; STYLE: FIBER CEMENT PANEL 17 7/8'H IN STAGGERED PATTERN)
E2C	FIBER CEMENT LAP SIDING AT RECESSED BALCONIES (COLOR: CARAMEL; STYLE: SMOOTH 8 1/4"; BOD: HARDIEPLANK)
E2D	5/4 SMOOTH TRIM (COLOR: ARCTIC WHITE; STYLE: 3.5" FIBER CEMENT PANEL; BOD HARDI TRIM BOARD)
E3	STOREFRONT SYSTEM IN PAINTED BLACK OR DARK BRONZE ANNODIZED.
E4	SCREENED BALCONIES.
E6	WOOD SLAT SHADE CANOPY



E1A - UTILITY BRICK (ONYX)



E2A - FIBER CEMENT LAP SIDING



E2B - FIBER CEMENT (WOOD LOOK)



E2C - FIBER CEMENT LAP SIDING



UDC REVIEW 08.17.2022

# ZOR SHRINE WEST

## EXTERIOR ELEVATIONS (COLOR)

### EXTERIOR MATERIAL KEYNOTES

E1A	ONYX; UTILITY BRICK
E2A	FIBER CEMENT LAP SIDING (COLOR: ARCTIC WHITE; STYLE: SMOOTH 8 1/4"; BOD: HARDIEPLANK)
E2B	FIBER CEMENT SIDING AT LEVEL ONE (WOOD-LOOK PANELS - COLOR: VARIABLE CEDAR; STYLE: FIBER CEMENT PANEL 17 7/8"H IN STAGGERED PATTERN)
E2C	FIBER CEMENT LAP SIDING AT RECESSED BALCONIES (COLOR: CARAMEL; STYLE: SMOOTH 8 1/4"; BOD: HARDIEPLANK)
E2D	5/4 SMOOTH TRIM (COLOR: ARCTIC WHITE; STYLE: 3.5" FIBER CEMENT PANEL; BOD HARDI TRIM BOARD)
E3	STOREFRONT SYSTEM IN PAINTED BLACK OR DARK BRONZE ANNODIZED.
E4	SCREENED BALCONIES.
E6	WOOD SLAT SHADE CANOPY



E1A - UTILITY BRICK (ONYX)



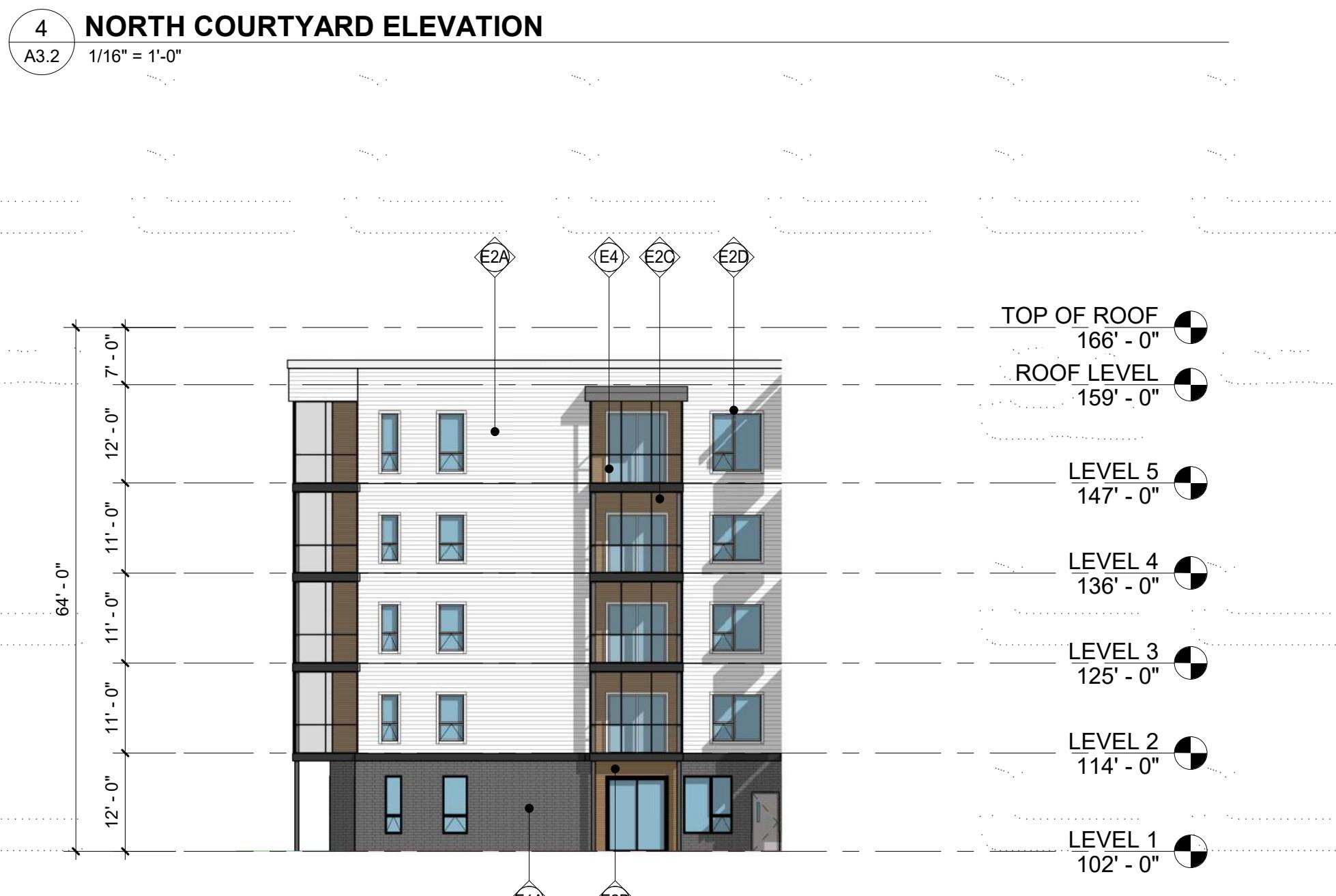
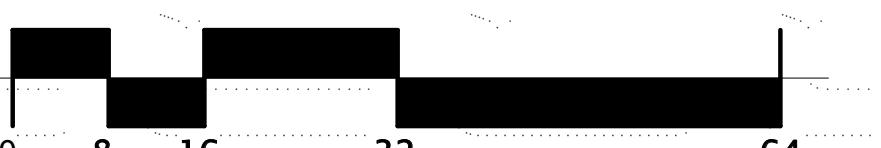
E2A - FIBER CEMENT LAP SIDING



E2B - FIBER CEMENT (WOOD LOOK)



E2C - FIBER CEMENT LAP SIDING



UDC REVIEW 08.17.2022

# ZOR SHRINE WEST

# EXTERIOR ELEVATIONS (B&W)



1  
A3.3      **WEST ELEVATION (B&W)**  
1/16" = 1'-0"



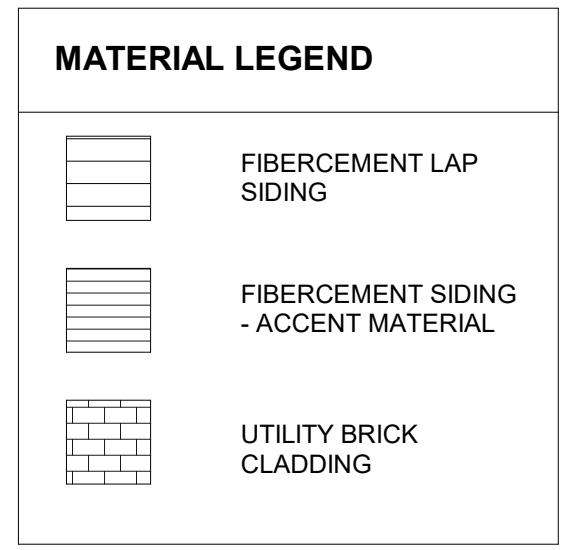
2  
A3.3    **EAST ELEVATION (B&W)**  
1/16" = 1'-0"



UDC REVIEW 08.17.2022

# ZOR SHRINE WEST

## EXTERIOR ELEVATIONS (B&W)



1 NORTH COURTYARD ELEVATION (B&W)  
A3.4 1/16" = 1'-0"



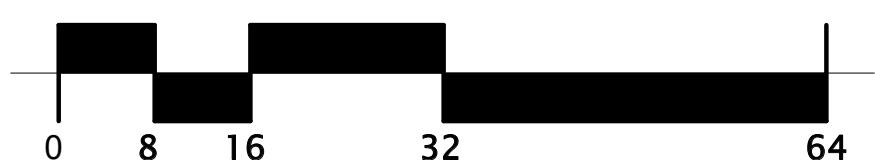
2 NORTH ELEVATION (B&W)  
A3.4 1/16" = 1'-0"



3 SOUTH COURTYARD ELEVATION (B&W)  
A3.4 1/16" = 1'-0"



4 SOUTH ELEVATION (B&W)  
A3.4 1/16" = 1'-0"



# ZOR SHRINE WEST

## SITE LIGHTING - PHOTOMETRIC STUDY

Luminaire Schedule

Symbol	Qty	Label	Manufacturer	Description	Arrangement	Lum. Lumens	Lum. Watts	LLF
●	4	OB	HUBBELL OUTDOOR	FN1-24LU-4K-DBT	SINGLE	1787	41.2	0.900
—■—	1	OP3	HUBBELL OUTDOOR	ASL1-160L-135-4K7-3-UNV	SINGLE	17778	133.1	0.900
—■—	2	OP4	HUBBELL OUTDOOR	ASL1-160L-135-4K7-4W-UNV	SINGLE	17568	133.1	0.900
■	4	OW	HUBBELL OUTDOOR	RWL1-48L-35-4K7-4W-UNV	SINGLE	4662	36.9	0.900
■	4	OW2	HUBBELL OUTDOOR	RWL1-48L-35-4K7-3-UNV	SINGLE	4727	36.9	0.900

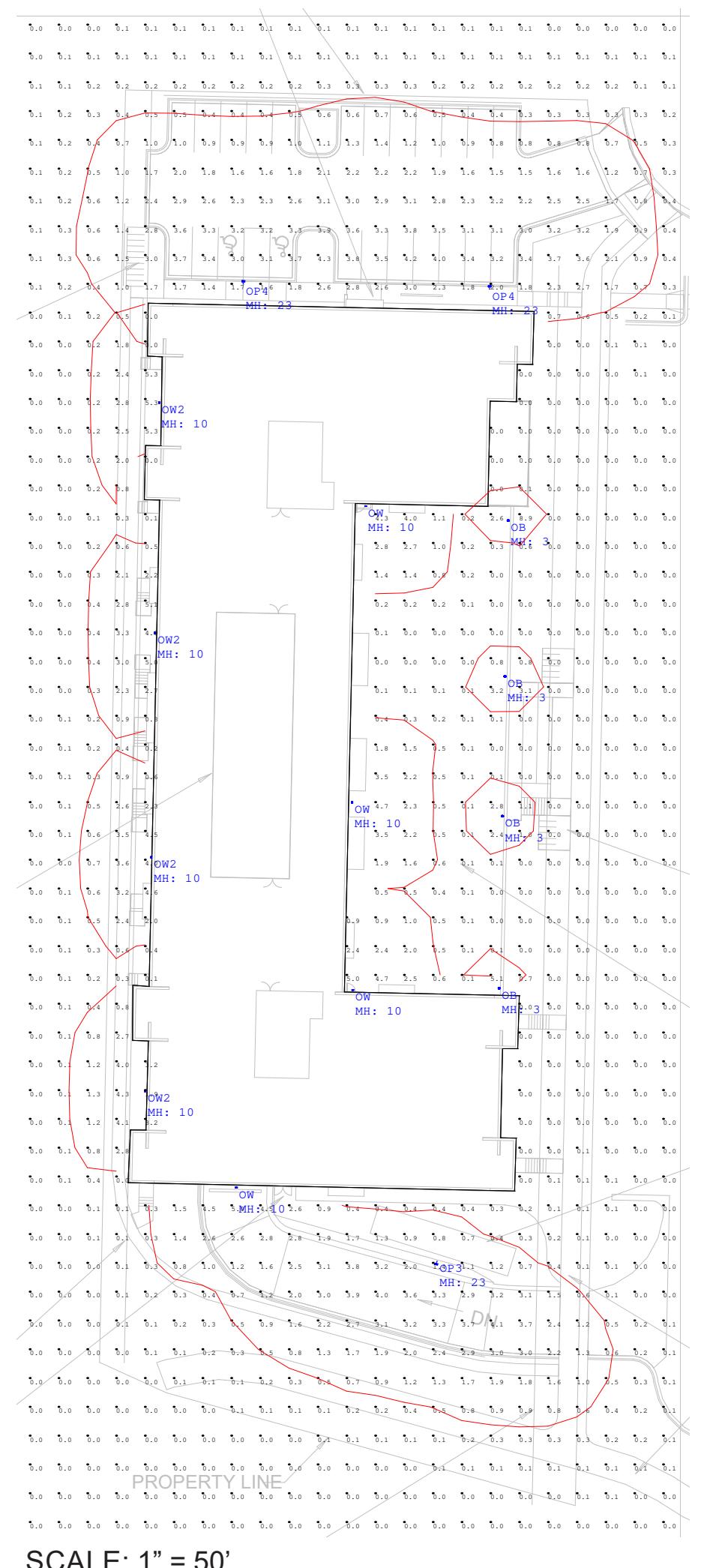
Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	0.72	8.9	0.0	N.A.	N.A.

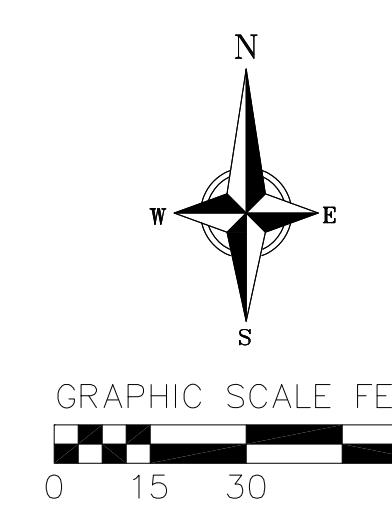


1. Lighting Reflectance of 80/50/20 used unless noted otherwise
2. Interior calc points shown at 30" A.F.F. unless noted otherwise
3. Exterior calc points shown at grade unless noted otherwise
4. Emergency egress calc points shown at 0" A.F.F.
5. Photometric drawings are for Design purposes only, not for Construction documents

\*FIXTURE CUT-SHEETS INCLUDED AT END OF DOCUMENT



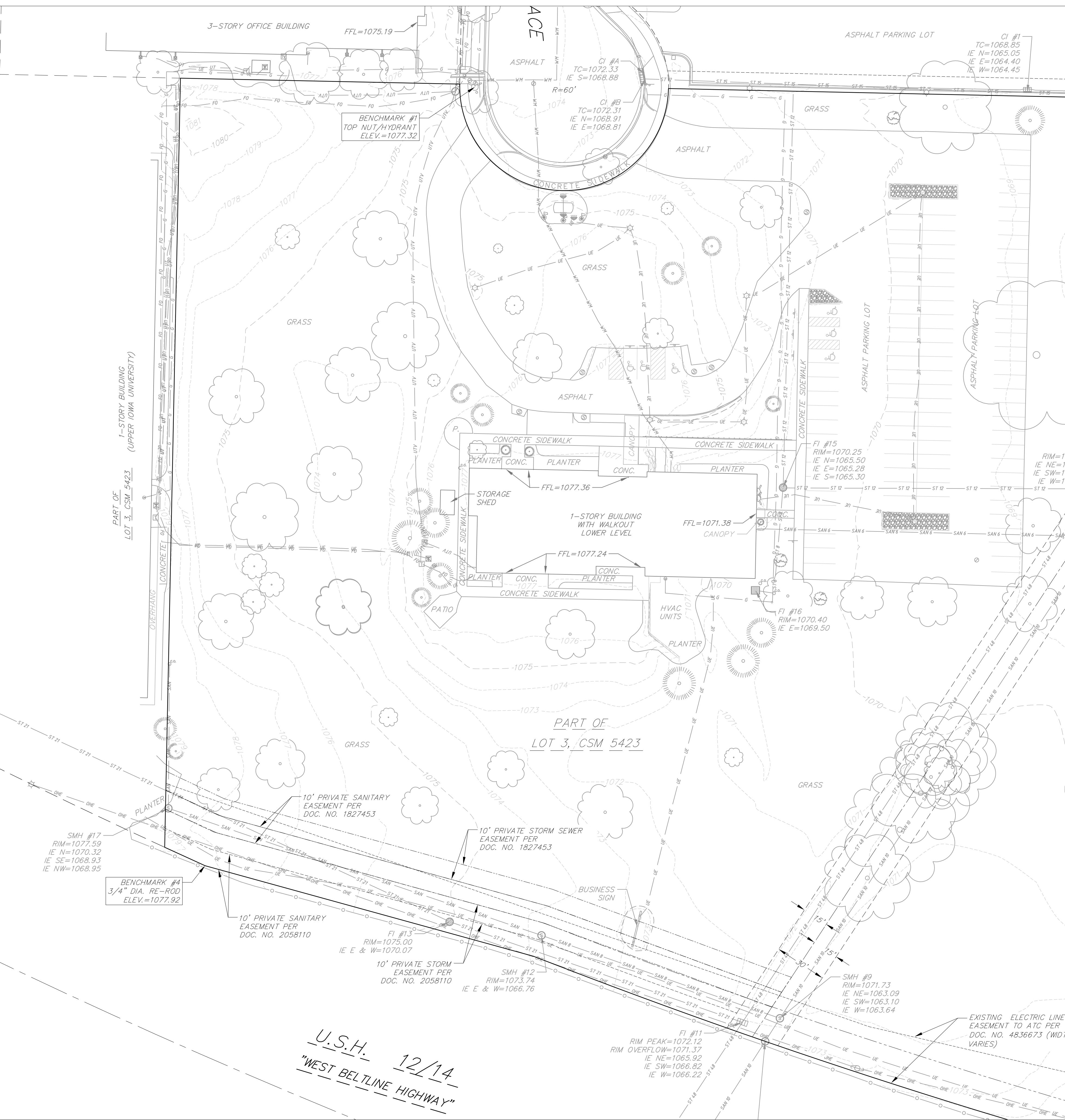
NOT FOR CONSTRUCTION



TOPOGRAPHIC SYMBOL LEGEND	
UTV	EXISTING UNDERGROUND CABLE TV
FO	EXISTING FIBER OPTIC LINE
UT	EXISTING UNDERGROUND TELEPHONE
RETAINING WALL	EXISTING RETAINING WALL
CHAIN LINK FENCE	EXISTING CHAIN LINK FENCE
G	EXISTING GAS LINE
UE	EXISTING UNDERGROUND ELECTRIC LINE
OHE	EXISTING OVERHEAD ELECTRIC LINE
SAN	EXISTING SANITARY SEWER LINE (SIZE NOTED)
ST	EXISTING STORM SEWER LINE (SIZE NOTED)
WM	EXISTING EDGE OF TREES
GUY	EXISTING GUY LINE
820	EXISTING MAJOR CONTOUR
818	EXISTING MINOR CONTOUR
WASHED STONE	EXISTING WASHED STONE

## NOTES:

- All underground utilities have been located per markings placed on the ground or maps provided by the utilities (owners) and/or their authorized representatives. Markings are per Digger's Hotline Ticket # 20203620098 and private locate by GLS Utility, LLC. Vierbicher does not warrant the locations marked or mapped by others.
- Field work for this map was completed on 9-15-2020. Any physical changes after this date on the site within the survey limits are not reflected on this map.
- This map is referenced to the Wisconsin County Coordinate System, Dane Zone NAD 83 (2011). Elevations are referenced to NAVD 88 datum. Field data was obtained using Robotic Total Station and GPS.
- Property lines and easements are based on a preliminary ALTA Survey by XCEL Consultants, dated June 1, 2020.
- The sewer and water structures shown were surveyed and measured. The underground water and sanitary sewer pipe sizes shown were taken from the City of Madison G1web maps. The storm sewer pipe sizes were measured during the survey.
- This plan was prepared at the request of Mark Lavery, Saturday Properties, LLC, 3546 Dakota Ave, S, Suite D, St. Louis Park, MN 55416.



LOT 1, CSM 13442

PART OF  
LOT 2, CSM 3422ZOR SHRINE WEST  
MADISON, WI

Date: 07/29/2022

ISSUE DATE

DEMOLITION PLAN

SHEET TITLE

C200

SHEET NO.

NOT FOR CONSTRUCTION

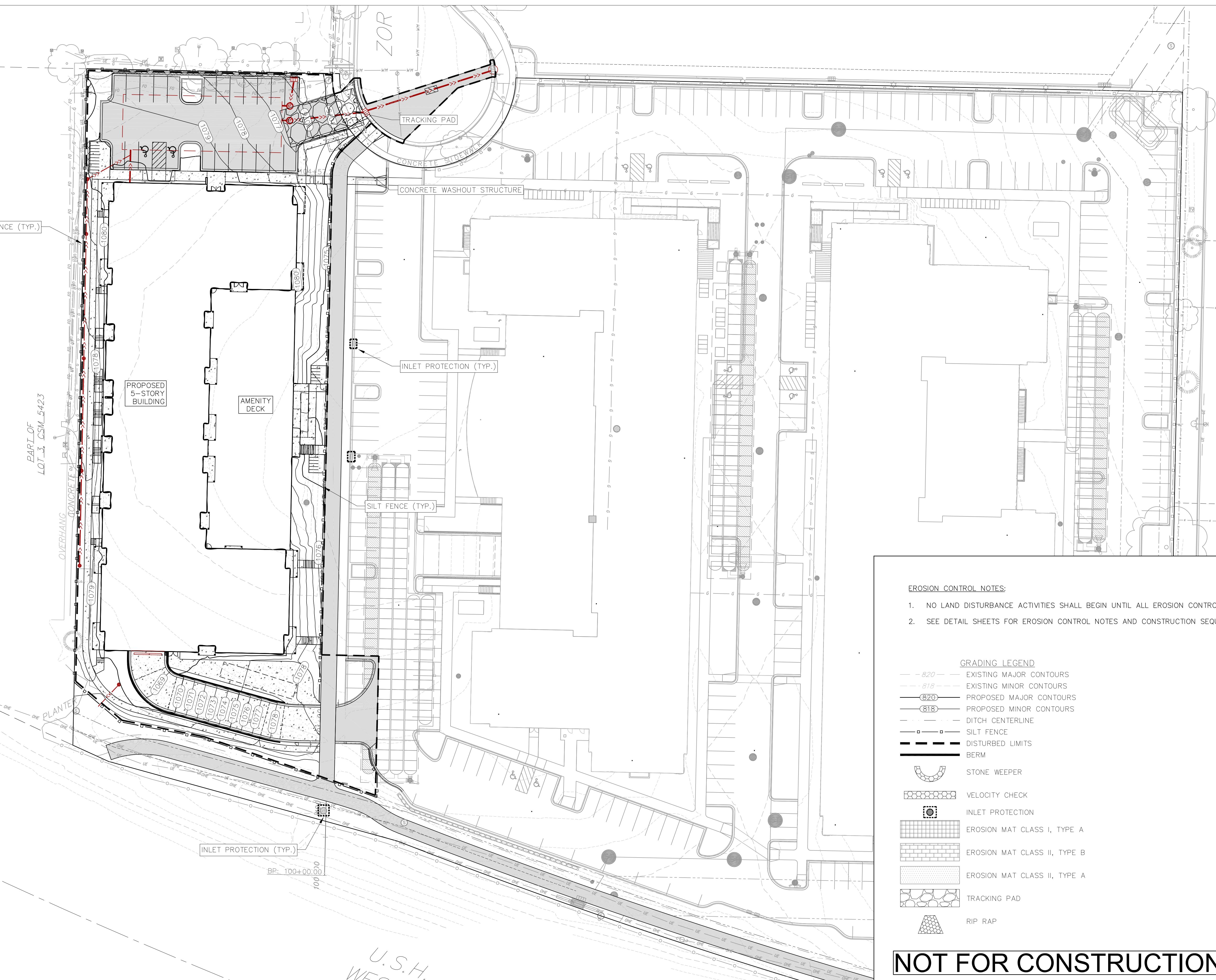
GRAPHIC SCALE FEET  
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IE SW=1055.95  
IE W=1057.6510' PUBLIC STORM  
EASEMENT PER  
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IE E=1061.43  
IE N=1065.58  
IE SE=1061.23  
IE SW=1065.58  
IE W=1065.58SMH #3  
RIM=1065.58  
IE E=1061.43  
IE N=1065.58  
IE SE=1061.23  
IE SW=1065.58  
IE W=1065.5810' PUBLIC STORM  
EASEMENT PER  
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IE W=1057.6510' PUBLIC STORM  
EASEMENT PER  
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EASEMENT PER  
DOC. NO. 1949454SMH #6  
RIM=1065.97  
IE NE=1062.95  
IE NW=1062.9130' PUBLIC STORM  
AND SANITARY SEWER  
EASEMENT PER  
CSM 3567 & CSM 542310' PUBLIC STORM  
EASEMENT PER  
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IE NE=1061.90  
IE SW=1062.25  
IE W=1064.6510' PUBLIC STORM  
EASEMENT PER  
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IE NE=1062.95  
IE NW=1062.9110' PUBLIC STORM  
EASEMENT PER  
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IE SW=1063.10  
IE W=1063.6410' PUBLIC STORM  
EASEMENT PER  
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IE NE=1063.09  
IE SW=1063.10  
IE W=1063.6410' PUBLIC STORM  
EASEMENT PER  
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OVERFLOW=1071.37  
IE NE=1065.92  
IE SW=1066.82  
IE W=1066.2210' PUBLIC STORM  
EASEMENT PER  
DOC. NO. 1949454SMH #12  
RIM=1073.74  
IE E & W=1066.7610' PUBLIC STORM  
EASEMENT PER  
DOC. NO. 2058110SMH #13  
RIM=1075.00  
IE E & W=1070.0710' PUBLIC STORM  
EASEMENT PER  
DOC. NO. 2058110SMH #14  
RIM=1077.59  
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IE SE=1068.93  
IE NW=1068.9510' PUBLIC STORM  
EASEMENT PER  
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IE S=1065.3010' PUBLIC STORM  
EASEMENT PER  
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IE SE=1068.93  
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EASEMENT PER  
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RIM=1077.59  
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IE NW=1068.9510' PUBLIC STORM  
EASEMENT PER  
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EASEMENT PER  
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IE NW=1068.9510' PUBLIC STORM  
EASEMENT PER  
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EASEMENT PER  
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RIM=1077.59  
IE N=1070.32  
IE SE=1068.93  
IE NW=1068.9510' PUBLIC STORM  
EASEMENT PER  
DOC. NO. 2058110SMH #26  
RIM=1077.59  
IE N=1070.32  
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IE NW=1068.9510' PUBLIC STORM  
EASEMENT PER  
DOC. NO. 2058110SMH #27  
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EASEMENT PER  
DOC. NO. 2058110SMH #28  
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IE NW=1068.9510' PUBLIC STORM  
EASEMENT PER  
DOC. NO. 2058110SMH #29  
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IE NW=1068.9510' PUBLIC STORM  
EASEMENT PER  
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RIM=1077.59  
IE N=1070.32  
IE SE=1068.93  
IE NW=1068.9510' PUBLIC STORM  
EASEMENT PER  
DOC. NO. 2058110SMH #31  
RIM=1077.59  
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IE SE=1068.93  
IE NW=1068.9510' PUBLIC STORM  
EASEMENT PER  
DOC. NO. 2058110SMH #32  
RIM=1077.59  
IE N=1070.32  
IE SE=1068.93  
IE NW=1068.9510' PUBLIC STORM  
EASEMENT PER  
DOC. NO. 2058110SMH #33  
RIM=1077.59  
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IE SE=1068.93  
IE NW=1068.9510' PUBLIC STORM  
EASEMENT PER  
DOC. NO. 2058110SMH #34  
RIM=1077.59  
IE N=1070.32  
IE SE=1068.93  
IE NW=1068.9510' PUBLIC STORM  
EASEMENT PER  
DOC. NO. 2058110SMH #35  
RIM=1077.59  
IE N=1070.32  
IE SE=1068.93  
IE NW=1068.9510' PUBLIC STORM  
EASEMENT PER  
DOC. NO. 2058110SMH #36  
RIM=1077.59  
IE N=1070.32  
IE SE=1068.93  
IE NW=1068.9510' PUBLIC STORM  
EASEMENT PER  
DOC. NO. 2058110SMH #37  
RIM=1077.59  
IE N=1070.32  
IE SE=1068.93  
IE NW=1068.9510' PUBLIC STORM  
EASEMENT PER  
DOC. NO. 2058110SMH #38  
RIM=1077.59  
IE N=1070.32  
IE SE=1068.93  
IE NW=1068.9510' PUBLIC STORM  
EASEMENT PER  
DOC. NO. 2058110SMH #39  
RIM=1077.59  
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EASEMENT PER  
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EASEMENT PER  
DOC. NO. 2058110SMH #41  
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IE NW=1068.9510' PUBLIC STORM  
EASEMENT PER  
DOC. NO. 2058110SMH #42  
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IE N=1070.32  
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DOC. NO. 2058110SMH #43  
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IE NW=1068.9510' PUBLIC STORM  
EASEMENT PER  
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EASEMENT PER  
DOC. NO. 2058110SMH #51  
RIM=1077.59  
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EASEMENT PER  
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EASEMENT PER  
DOC. NO. 2058110

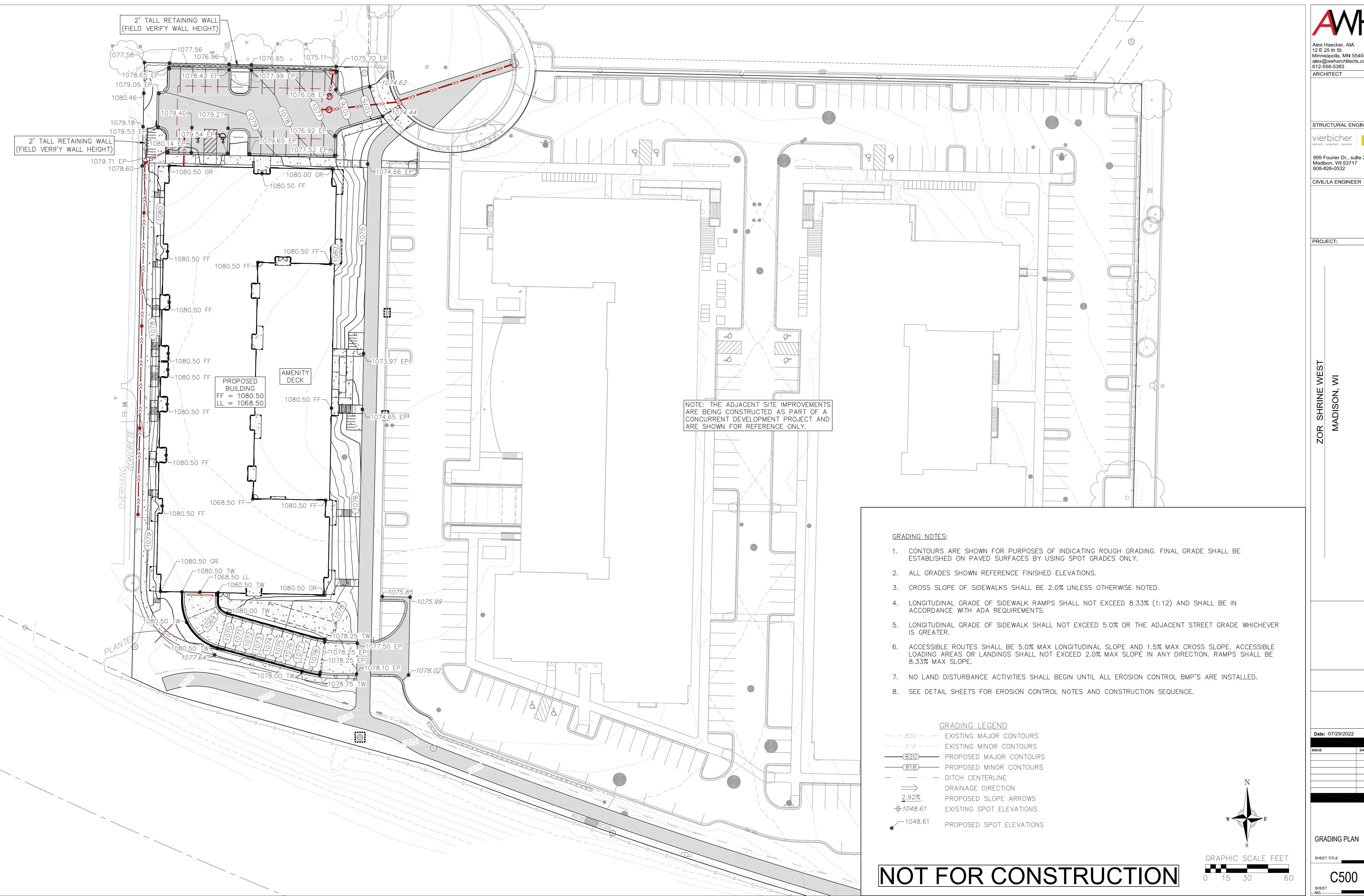
SMH #53&lt;br

LOT 1 CSM 13442

PART OF  
LOT 2 CSM 3422

ZOR SHRINE WEST  
MADISON, WI





# NOT FOR CONSTRUCTION

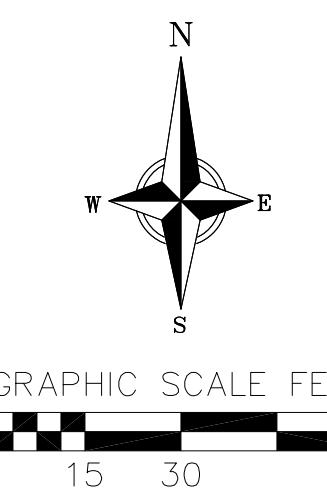
## UTILITY NOTES:

1. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
2. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
3. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
5. FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
6. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
7. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
8. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
9. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3).
10. UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
11. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4).
12. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 – SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(C).
13. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(H) AND SPS 382.40(8)(K).
14. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(B).
15. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
16. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
17. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE LOCAL MUNICIPALITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
18. CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES.
19. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
20. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
21. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
22. SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP.
23. INSTALL 1 SHEET OF 4'X8'X4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.
24. CONTRACTOR TO INSTALL BENDS AND CLEANOUTS AS NECESSARY ON WATER AND SEWER LATERALS.

## PROPOSED UTILITY LEGEND

- >>> STORM SEWER PIPE
- STORM SEWER MANHOLE
- > STORM SEWER ENDWALL
- > STORM SEWER CURB INLET
- > STORM SEWER CURB INLET W/MANHOLE
- > STORM SEWER FIELD INLET
- > ROOF DRAIN CLEANOUT
- > SANITARY SEWER PIPE (GRAVITY)
- > SANITARY SEWER LATERAL PIPE
- SANITARY SEWER MANHOLE
- > SANITARY SEWER CLEANOUT
- > WATER MAIN
- > WATER SERVICE LATERAL PIPE
- FIRE HYDRANT
- WATER VALVE
- > PROPOSED PIPE INSULATION
- > GAS MAIN
- > ELECTRIC SERVICE

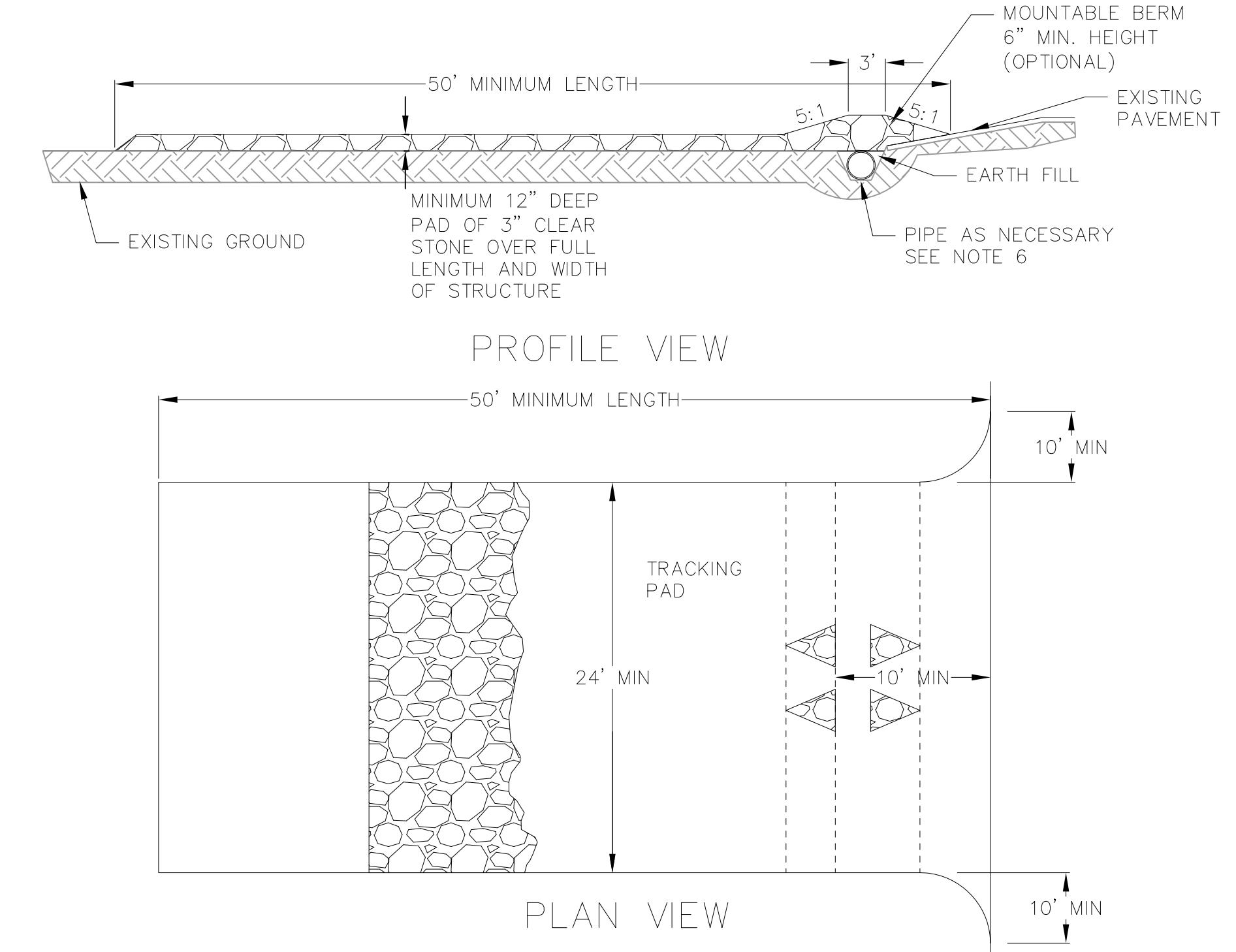
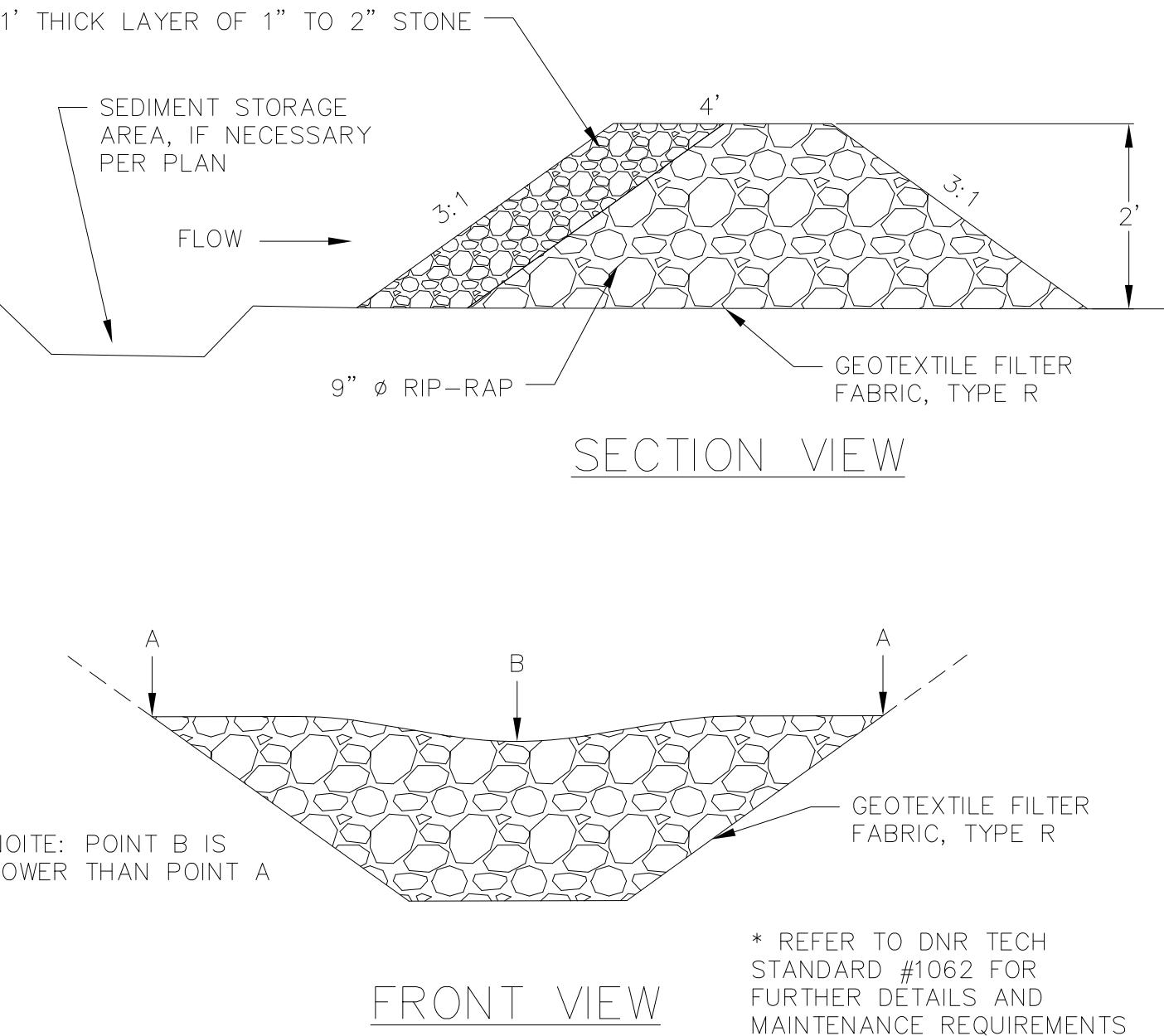
ABBREVIATIONS	
STMH	STORM MANHOLE
FI	FIELD INLET
CI	CURB INLET
CB	CATCH BASIN
EW	ENDWALL
SMH	SANITARY MANHOLE



NOT FOR CONSTRUCTION

## EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WisDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
8. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
9. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
10. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
11. SEE GRADING AND EROSION CONTROL PLAN FOR RIP-RAP SIZING. IN NO CASE WILL RIP-RAP BE SMALLER THAN 3" TO 6".
12. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. THE FILTERS SHALL BE MAINTAINED UNTIL THE DISTURBED AREAS ARE BOTH 70% RESTORED AND PAVED.
13. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
14. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
15. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
16. EROSION MAT (CLASS I, TYPE B PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
17. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
18. SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
19. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
20. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
21. ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
22. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
23. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY AND STATE.
24. THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.
25. THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEDED.





# STONE WEEPER

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1  
1 NOT TO SCALE

## T TO SCALE

## FEEDING RATES:

TEMPORARY:  
USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND  
SUMMER PLANTINGS.  
USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL  
PLANTINGS STARTED  
AFTER SEPTEMBER 15.

## PERMANENT:

## UTILIZING RATES: TEMPORARY AND PERMANENT:

## U.S. CHINC RATES

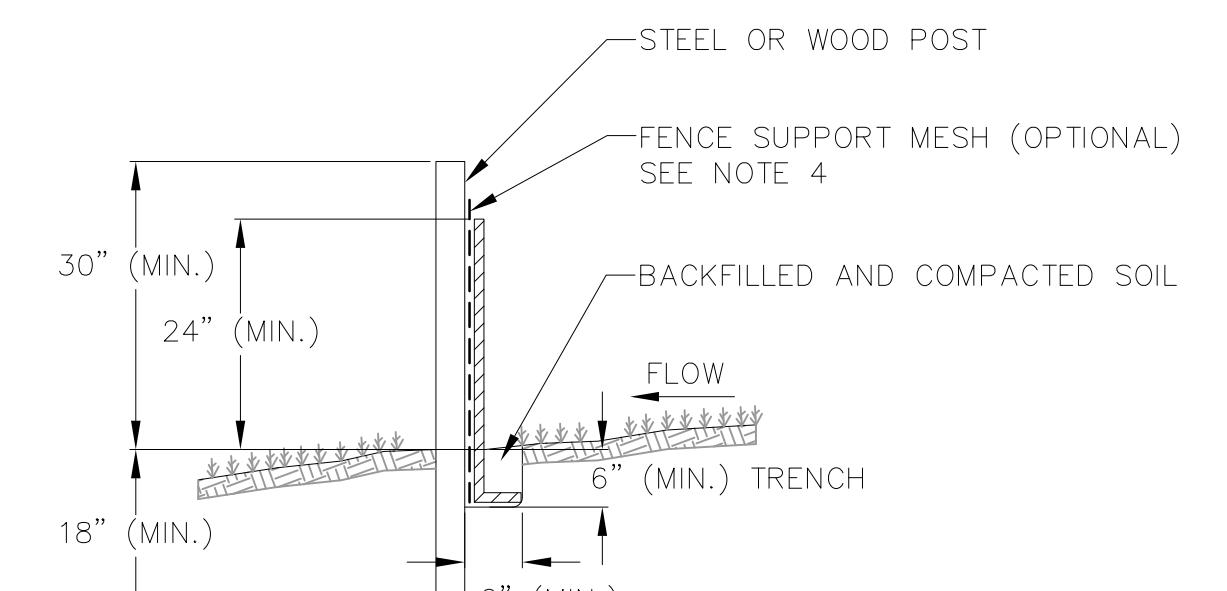
TEMPORARY AND PERMANENT:  
USE  $\frac{1}{2}$ " TO  $1\frac{1}{2}$ " STRAW OR HAY MULCH, CRIMPED PER  
SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SEC  
7, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR  
HIGHWAY AND STRUCTURE CONSTRUCTION.

## CONSTRUCTION SEQUENCE:

1. INSTALL EROSION CONTROL MEASURES
2. CONDUCT DEMOLITION
3. STRIP TOPSOIL  
(UNWORKED AREAS MAY REMAIN  
NON-STABILIZED FOR A MAXIMUM OF 14  
DAYS)
4. ROUGH GRADE SITE
5. CONSTRUCT UNDERGROUND UTILITIES
6. INSTALL INLET PROTECTION IN NEW INLETS
7. CONSTRUCT BUILDING
8. CONSTRUCT PAVEMENT
9. FINAL GRADE AND PERMANENTLY RESTORE  
DISTURBED AREAS
10. REMOVE EROSION CONTROL MEASURES AFTER  
DISTURBED AREAS ARE 70% RESTORED OR  
PAVED.



1      TRACKING PAD  
1      NOT TO SCALE



A diagram showing a horizontal line with a vertical line segment extending upwards from its left end. The vertical segment is divided into two equal parts by a horizontal line. The top part is labeled '1' and the bottom part is labeled '1'. To the right of the line, the text 'SILT FENCE' is written in large capital letters, followed by 'NOT TO SCALE' in smaller capital letters.

NOTES:

1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)  
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
4. SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

# CONSTRUCTION DETAILS - 1

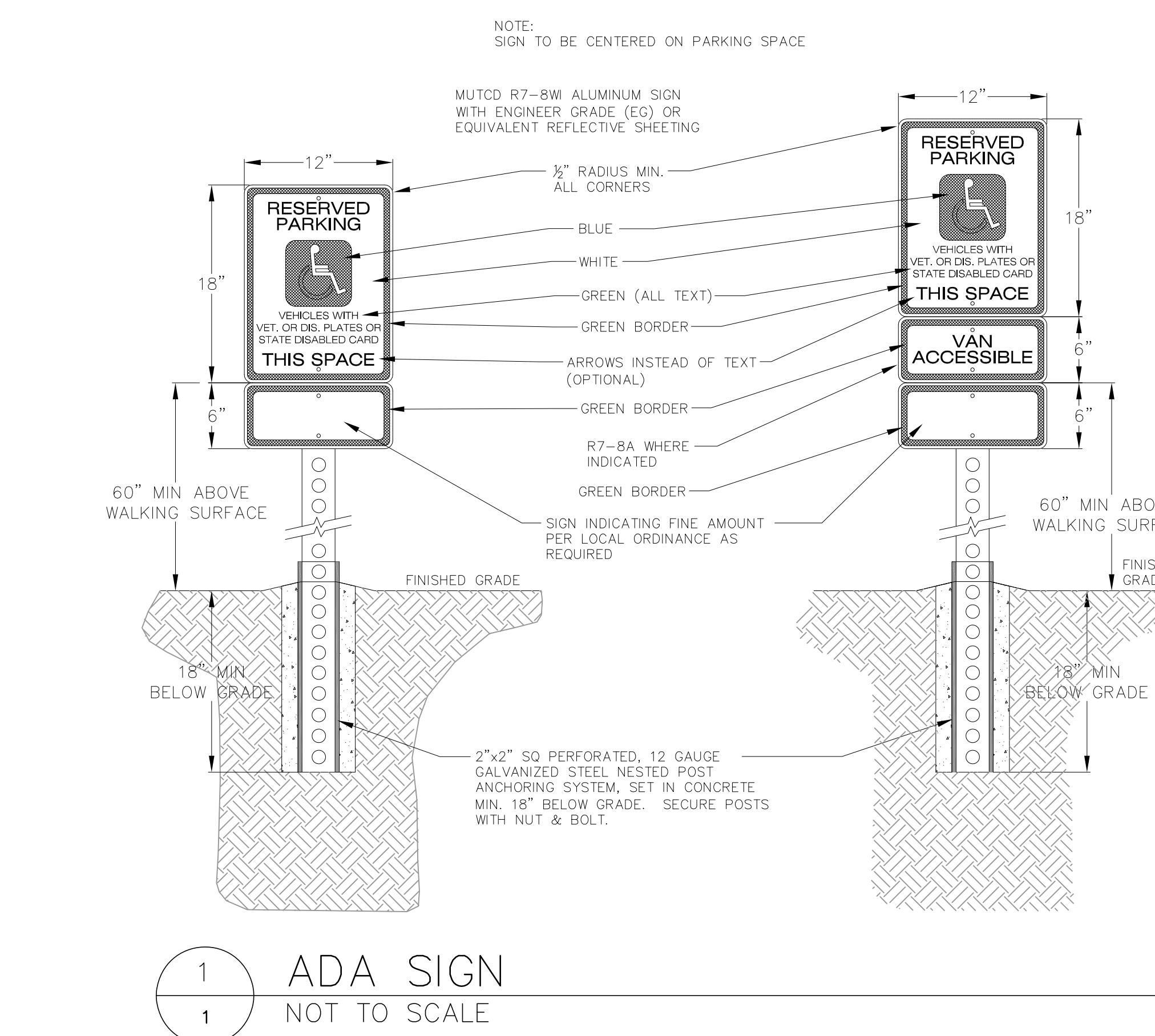
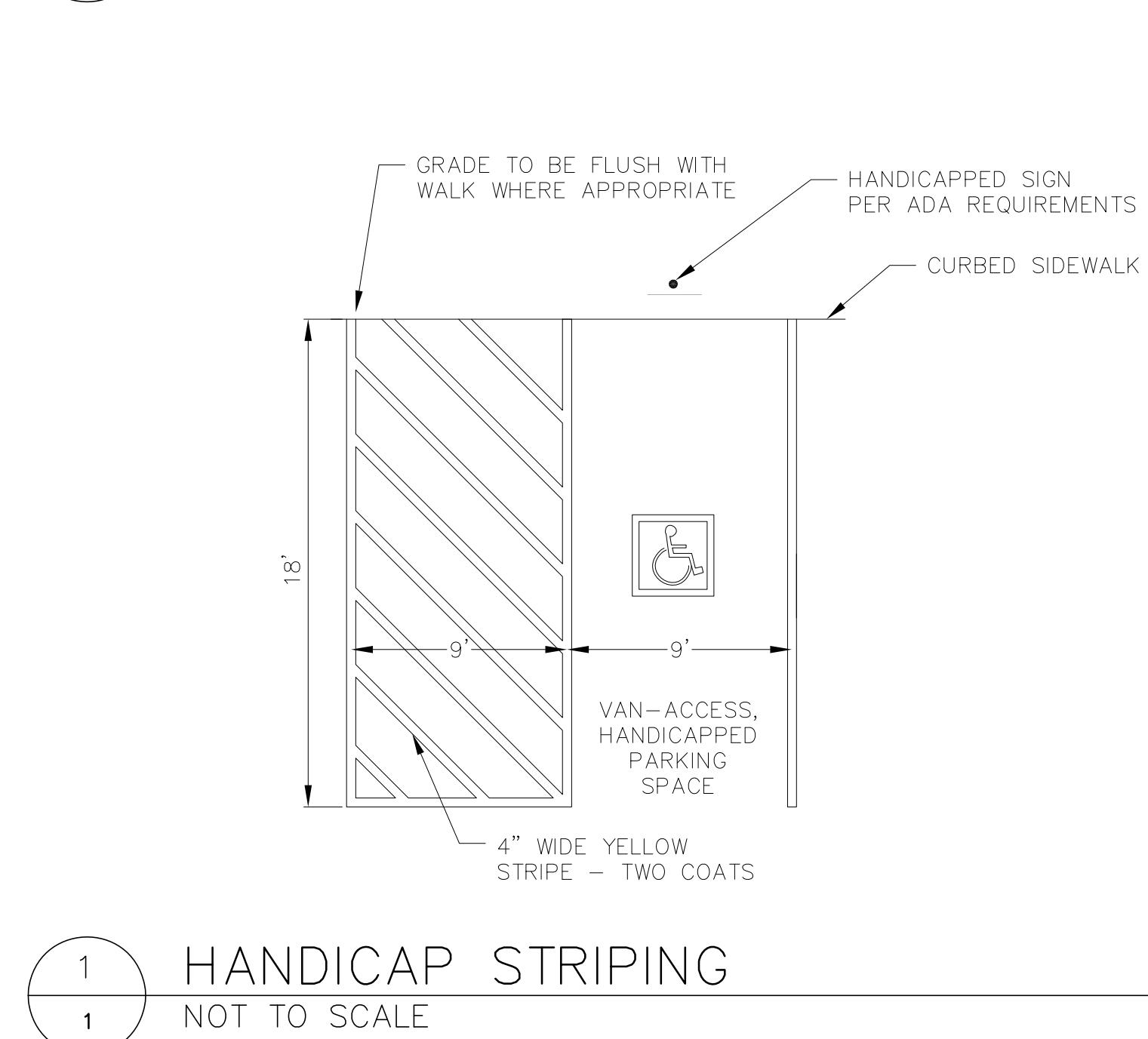
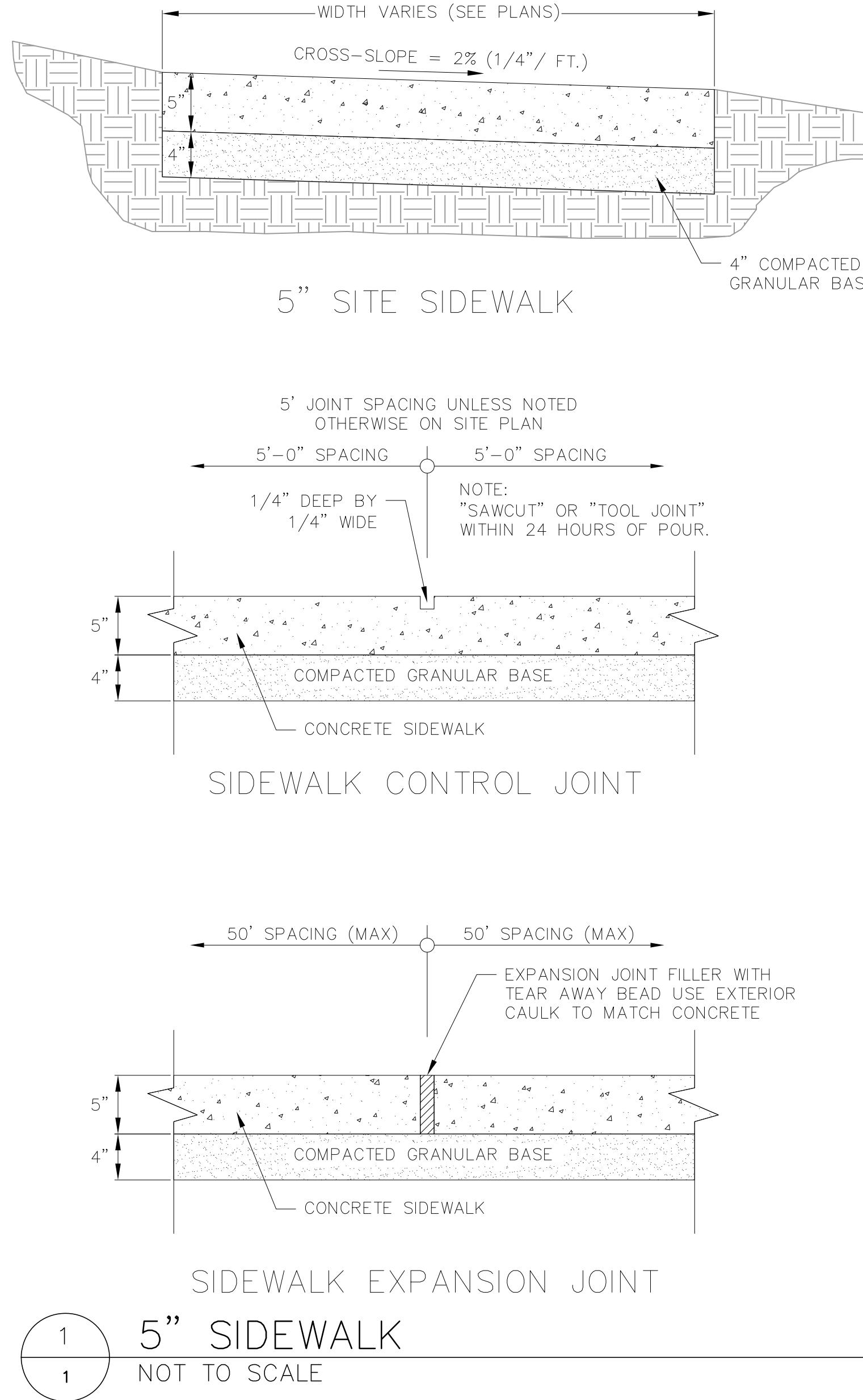
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C700

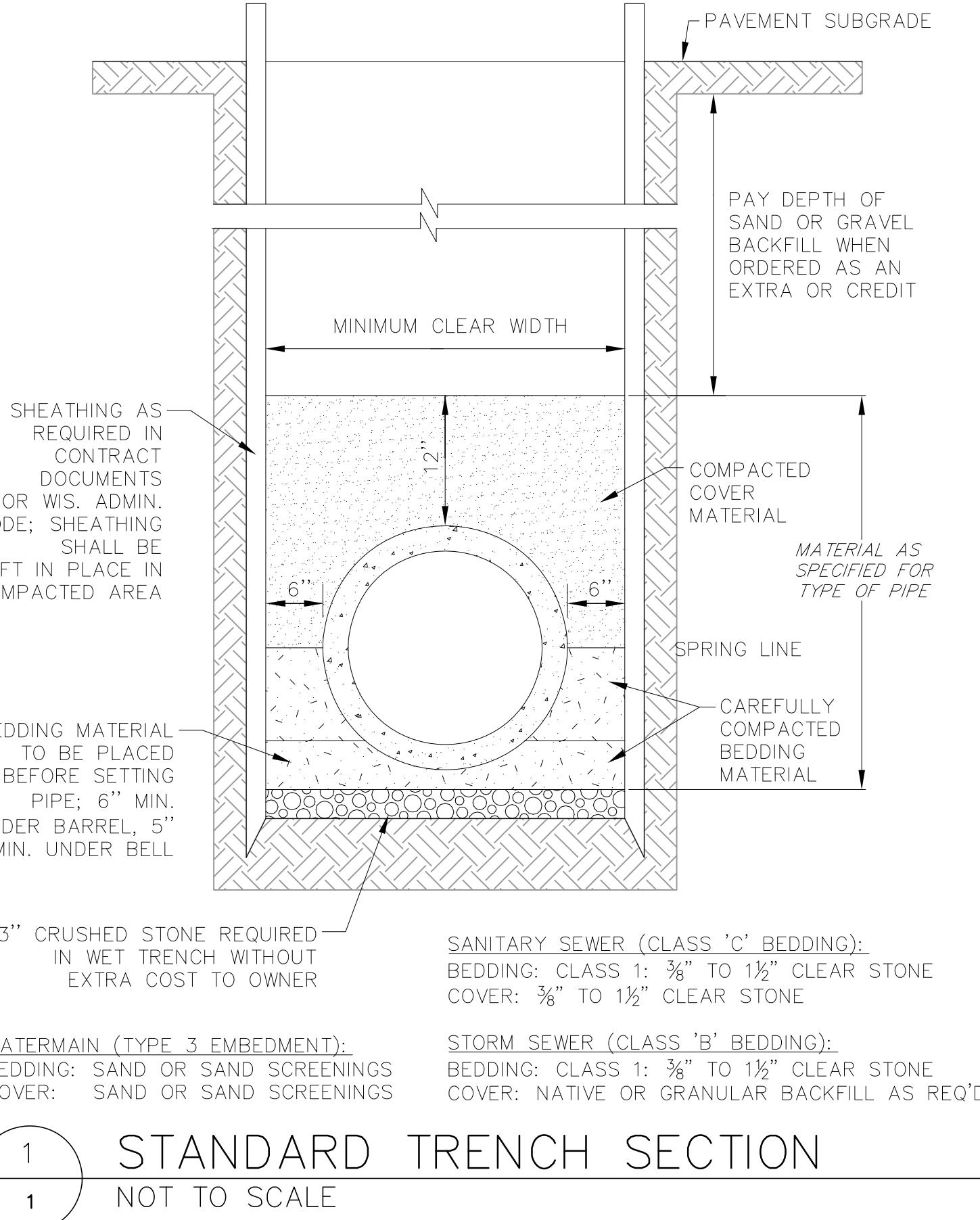
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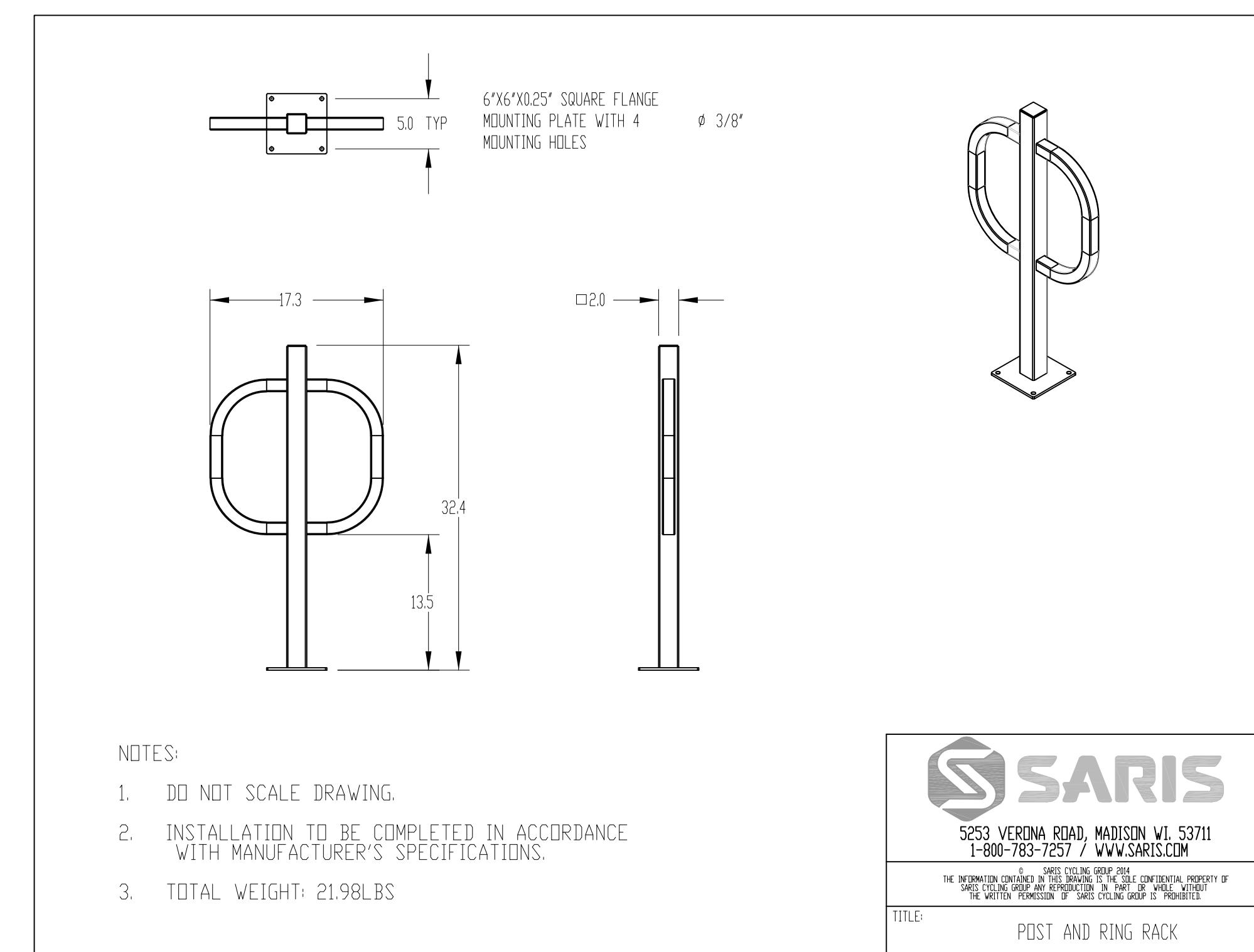




1 1 ADA SIGN  
NOT TO SCALE

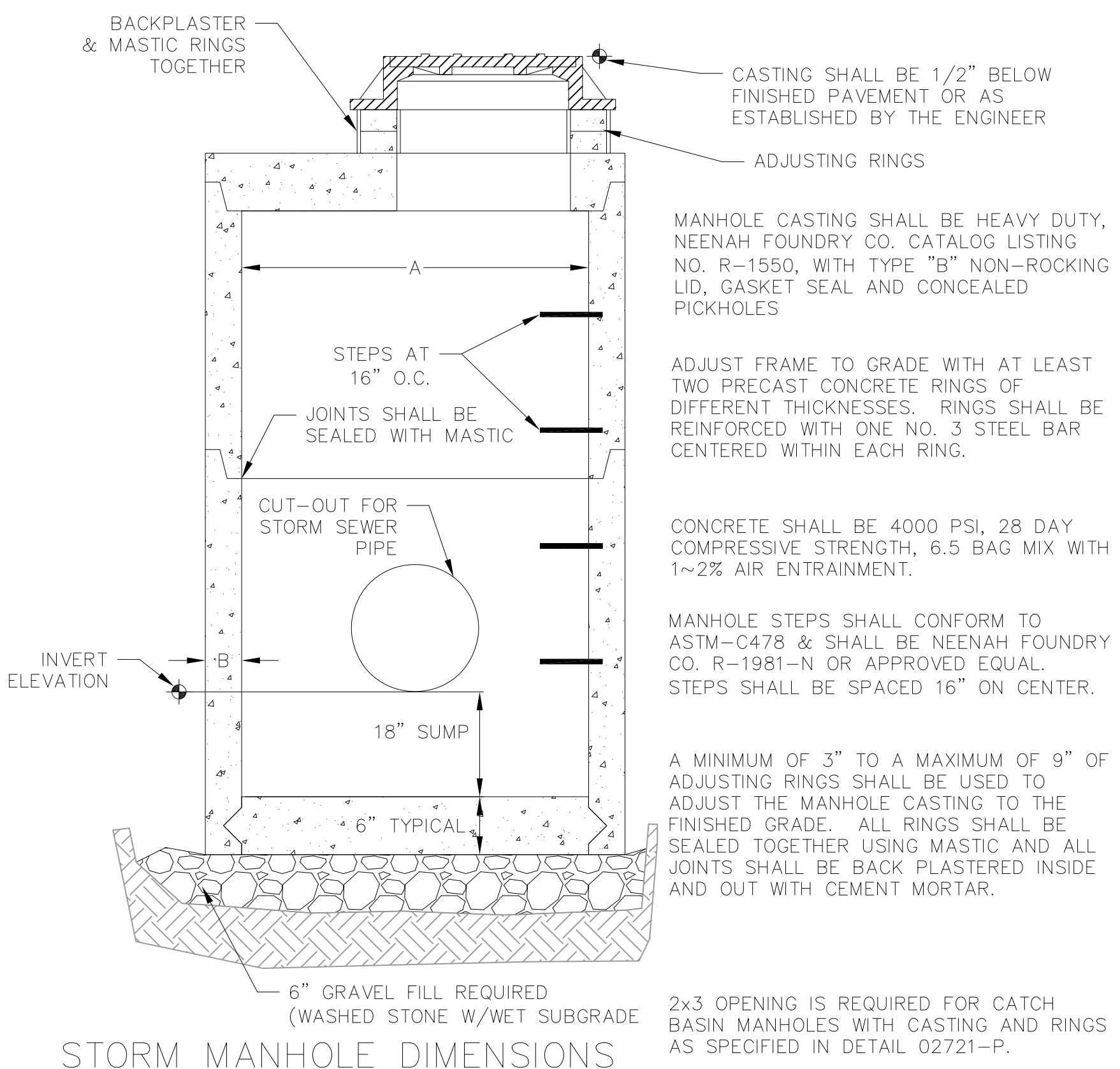


1 1 STANDARD TRENCH SECTION  
NOT TO SCALE



1 1 BIKE RACK DETAIL  
NOT TO SCALE

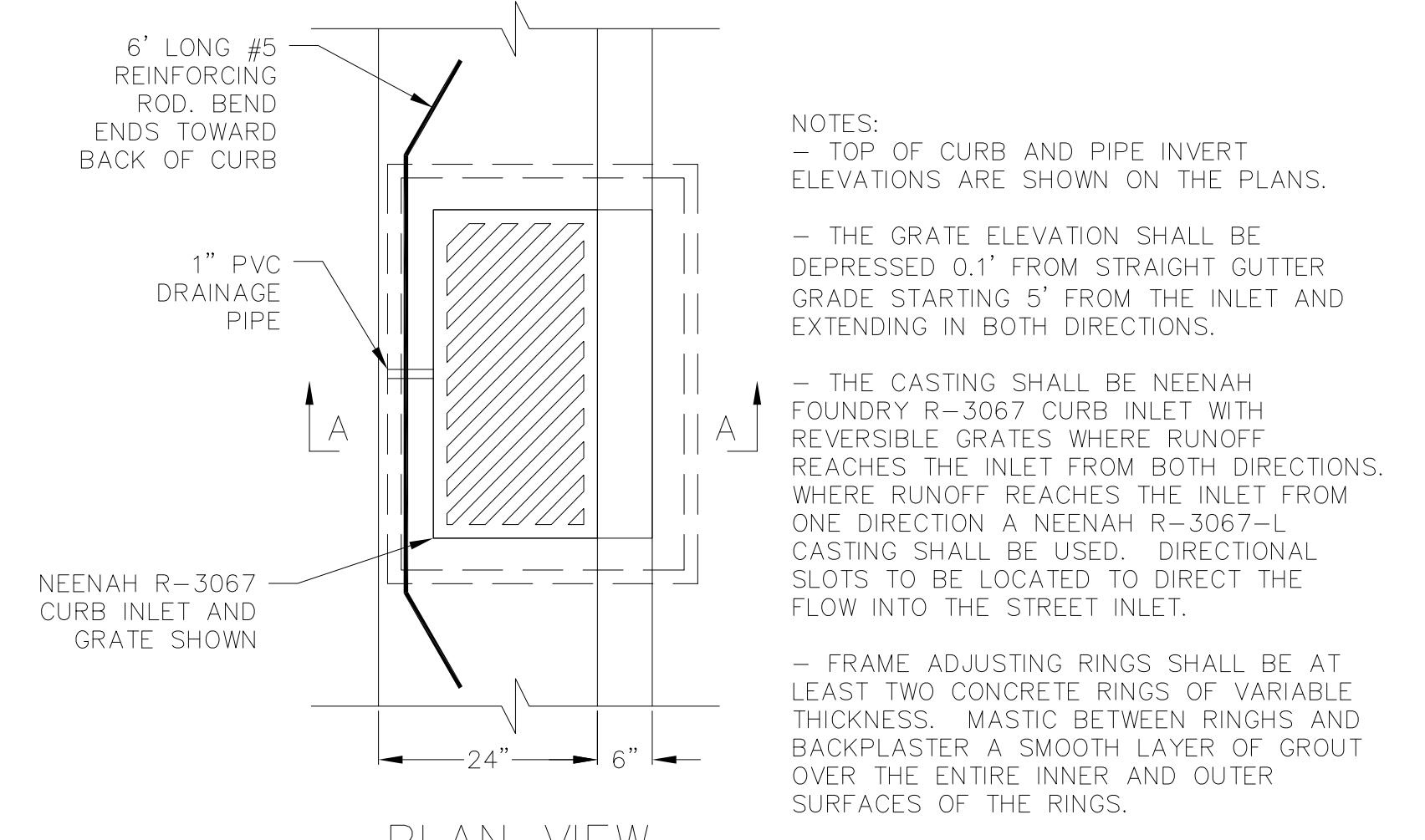
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STORM MANHOLE DIMENSIONS

MANHOLE SIZE	DIMENSION	
	A	B (MIN.)
48"	48"	5"
60"	60"	6"
72"	72"	7"
84"	84"	7"
96"	96"	9"

1 1 STORM SEWER MANHOLE CATCH BASIN  
NOT TO SCALE

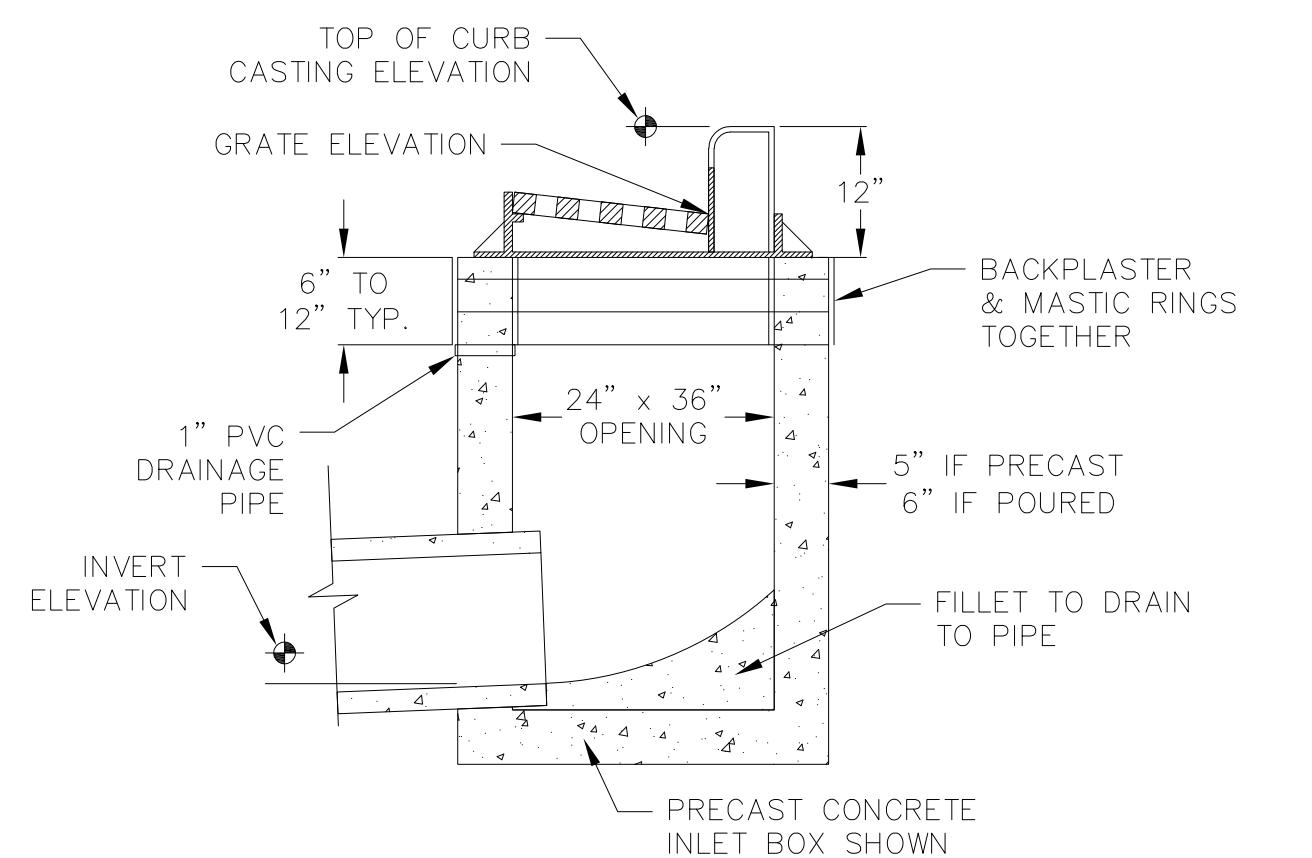


NOTES:  
- TOP OF CURB AND PIPE INVERT ELEVATIONS ARE SHOWN ON THE PLANS.

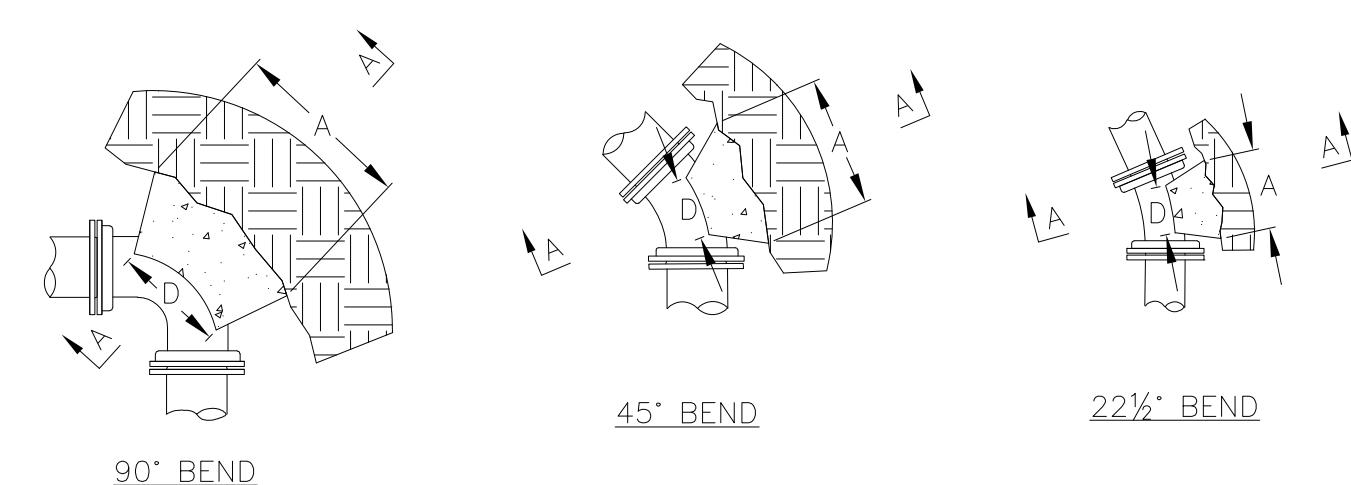
- THE GRATE ELEVATION SHALL BE DEPRESSED 0.1' FROM STRAIGHT GUTTER GRADE STARTING 5' FROM THE INLET AND EXTENDING IN BOTH DIRECTIONS.

- THE CASTING SHALL BE NEENAH FOUNDRY R-3067 CURB INLET WITH REVERSIBLE GRATES WHERE RUNOFF REACHES THE INLET FROM BOTH DIRECTIONS. WHERE RUNOFF REACHES THE INLET FROM ONE DIRECTION A NEENAH R-3067-L CASTING SHALL BE USED. DIRECTIONAL SLOTS TO BE LOCATED TO DIRECT THE FLOW INTO THE STREET INLET.

- FRAME ADJUSTING RINGS SHALL BE AT LEAST TWO CONCRETE RINGS OF VARIABLE THICKNESS. MASTIC BETWEEN RINGS AND BACKPLASTER A SMOOTH LAYER OF GROUT OVER THE ENTIRE INNER AND OUTER SURFACES OF THE RINGS.

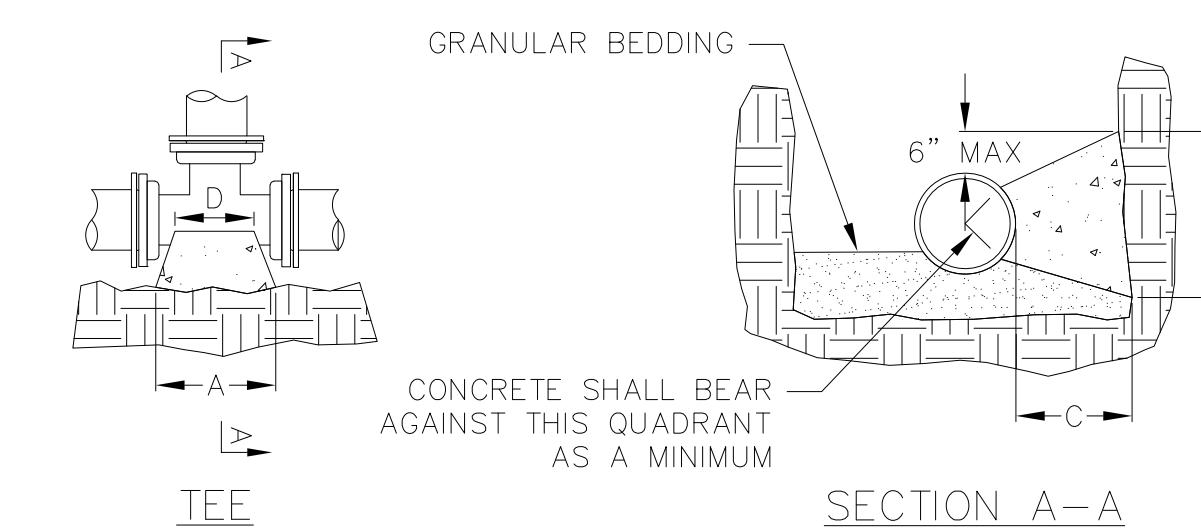


SECTION A-A



DIMENSION "D" SHALL BE AS LARGE AS POSSIBLE, BUT THE CONCRETE SHALL NOT INTERFERE WITH THE MECHANICAL JOINTS.

DIMENSION "C" SHALL BE AT LEAST 6 INCHES, AND LARGE ENOUGH TO MAKE THE "Q" ANGLE EQUAL TO OR GREATER THAN 45 DEGREES WITH THE DIMENSION "A" AS SHOWN ON THE TABLE, OR GREATER, AND WITH DIMENSION "D" AS LARGE AS POSSIBLE.



CONCRETE SHALL BE CLASS "C", SEE SECTION 03301

PIPE SIZE*	TEES		22.5° BEND		45° BEND		90° BEND	
	A	B	A	B	A	B	A	B
4" 0'-10" 1'-6"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-4"	1'-2"
6" 1'-6"	1'-8"	1'-0"	1'-0"	1'-4"	1'-2"	1'-10"	1'-6"	
8" 1'-9"	2'-4"	1'-4"	1'-4"	1'-10"	1'-10"	2'-8"	2'-3"	
10" 1'-9"	2'-4"	1'-10"	1'-8"	2'-6"	2'-4"	3'-10"	2'-10"	
12" 2'-3"	1'-7"	2'-4"	2'-0"	3'-3"	2'-10"	5'-0"	3'-4"	
16" 3'-8"	2'-10"	2'-10"	2'-4"	4'-0"	3'-3"	6'-4"	3'-10"	
20" 5'-0"	3'-10"	3'-6"	3'-0"	5'-4"	3'-10"	8'-0"	4'-8"	
24" 5'-4"	4'-8"							

DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 150 PSI AND SOIL RESISTANCE OF 2000 LBS/SQ FT

\* = FOR TEE THIS WILL BE THE BRANCH PIPE

1 1 BUTTRESS FOR BENDS  
NOT TO SCALE

NOT FOR CONSTRUCTION

# ZOR SHRINE WEST

## FIRE ACCESS PLAN



## City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506  
 Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: [fire@cityofmadison.com](mailto:fire@cityofmadison.com)

Project Address: 575 Zor Shrine Place West Lot

Contact Name & Phone #: Carter Lancer (Vierbicher) 608-831-3946

### FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If <b>non-sprinklered</b> , fire lanes extend to within 150-feet of all portions of the exterior wall?			
<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A			
If <b>sprinklered</b> , fire lanes are within 250-feet of all portions of the exterior wall?			
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A			
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the fire lane a minimum unobstructed width of at least 20-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Is the minimum inside turning radius of the fire lane at least 28-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
d) Is the grade of the fire lane not more than a slope of 8%?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
e) Is the fire lane posted as fire lane? (Provide detail of signage.)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the gate a minimum of 20-feet clear opening?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, does the area for turning around fire apparatus comply with IFC D103?			
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, see IFC 3206.6 for further requirements.			
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, answer the following questions:			
a) Is the aerial apparatus fire lane parallel to <u>one entire side</u> of the building and covering at least 25% of the perimeter?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
<b>See ladder diagrams.</b>			
b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Are there any overhead power or utility lines located across the aerial apparatus fire lane?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
<i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i>			
a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is there at least 40' between a hydrant and the building?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> N/A

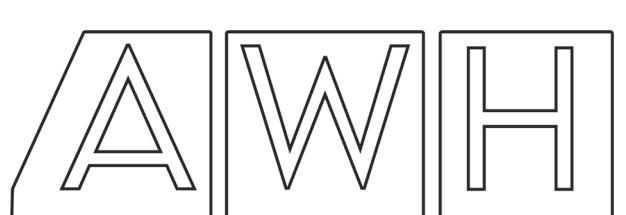
*Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.*

Attach an additional sheet if further explanation is required for **this phase**

**No new hydrants proposed for this phase**

This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.

Revised 1/21/2016



**vierbicher**  
 planners | engineers | advisors



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