



Location

1802 Maplecrest Drive

Applicant

Jeff Haen – Haen Real Estate/
J. Randy Bruce – Knothe & Bruce Architects

From: R4

To: PUD-GDP-SIP

Existing Use

Three Existing 6-Unit Condo
Buildings and Undeveloped Land

Proposed Use

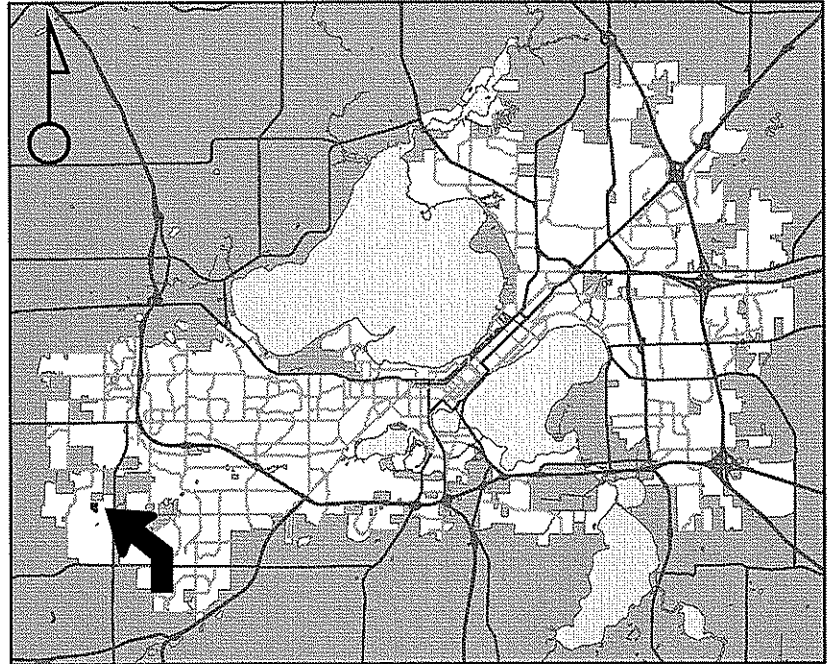
Construct a 112-Unit Residential
Condo Development in 28 Buildings

Public Hearing Date

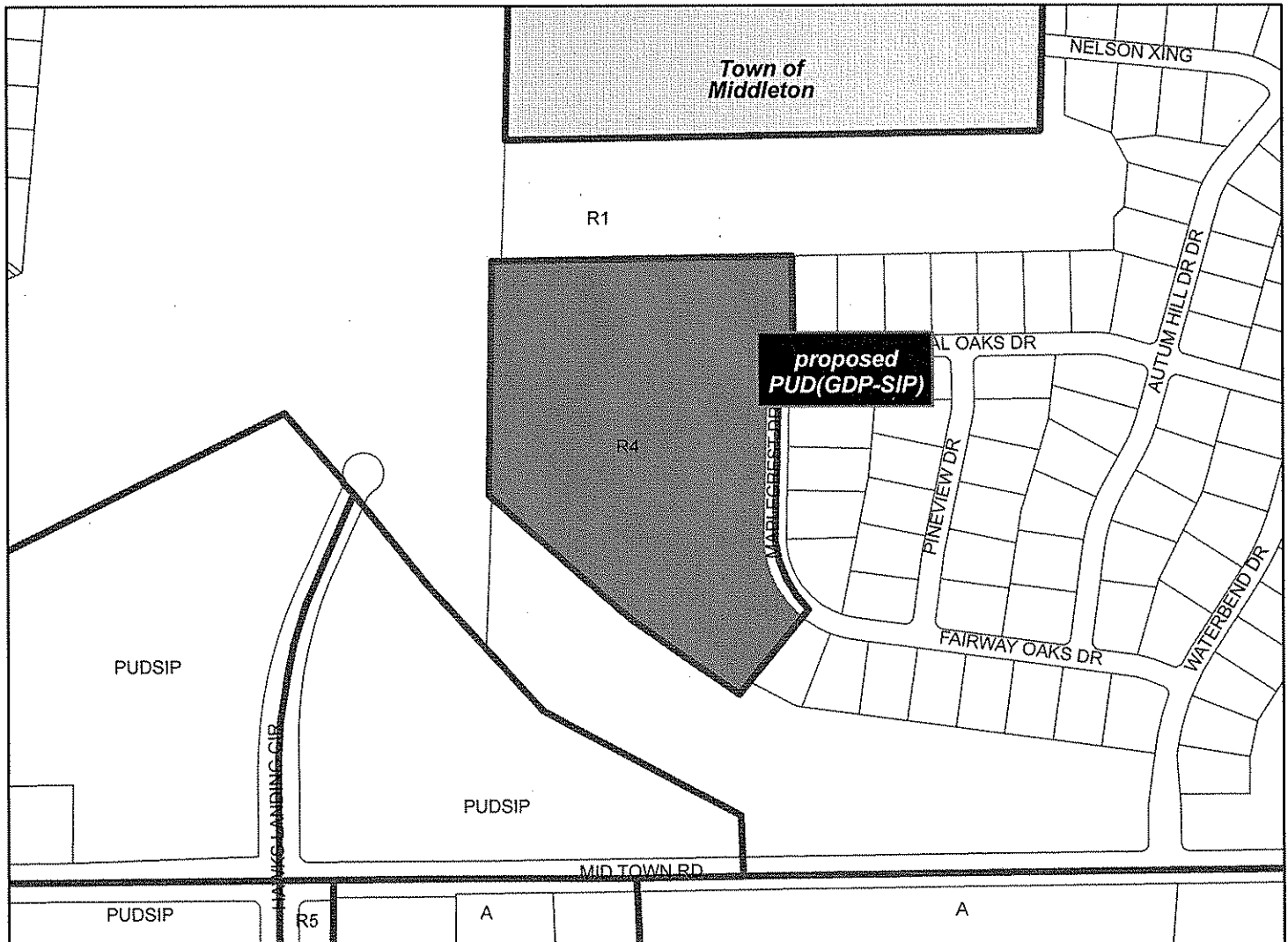
Plan Commission
16 November 2009

Common Council

08 December 2009



For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'





LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All Land Use Applications should be filed directly with the Zoning Administrator.

FOR OFFICE USE ONLY:	
Amt. Paid \$ <u>3850</u>	Receipt No. <u>103811</u>
Date Received <u>9/16/09</u>	
Received By <u>TDA</u>	
Parcel No. <u>0708-343-0728-7</u>	
Aldermanic District <u>#1 SAUBORN</u>	
GQ <u>EXIST. CIV.P.</u>	
Zoning District <u>R4</u>	
For Complete Submittal	
Application	Letter of Intent
IDUP	Legal Descript.
Plan Sets	Zoning Text
Alder Notification	Waiver
Ngbrhd. Assn Not.	Waiver
Date Sign Issued	

1. **Project Address:** 1802 Maplecrest Dr & 9002 Hawks Reserve Lane **Project Area in Acres:** 13.95 Acres
Project Title (if any): Hawks Reserve

2. This is an application for:

Zoning Map Amendment (check the appropriate box(es) in only one of the columns below)		
<input type="checkbox"/> Rezoning to a Non-PUD or PCD Zoning Dist.: Existing Zoning: _____ to _____ Proposed Zoning (ex: R1, R2T, C3): _____	Rezoning to or Amendment of a PUD or PCD District: <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-GDP <input checked="" type="checkbox"/> Ex. Zoning: <u>R4</u> to PUD/PCD-SIP <input type="checkbox"/> Amended Gen. Dev. <input type="checkbox"/> Amended Spec. Imp. Plan	
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Demolition Permit	<input type="checkbox"/> Other Requests (Specify): _____

3. **Applicant, Agent & Property Owner Information:**

Applicant's Name: Jeff Haen Company: Hawks Condominiums Corp. / Hawks Reserve Condo Assoc. / Haen Real Estate
 Street Address: 9 Hawks Landing Circle City/State: Verona, WI Zip: 53593
 Telephone: (608) 845-1550 Fax: (608) 848-8854 Email: jeff@haenrealestate.com
 Project Contact Person: J. Randy Bruce Company: Knothe + Bruce Architects, LLC
 Street Address: 7601 University Ave, Ste 201 City/State: Middleton, WI Zip: 53562
 Telephone: (608) 836-3690 Fax: (608) 836-6934 Email: rbruce@knothebruce.com
 Property Owner (if not applicant): (same)
 Street Address: _____ City/State: _____ Zip: _____

4. **Project Information:**

Provide a brief description of the project and all proposed uses of the site: _____
A 1/2 UNIT CONDOMINIUM DEVELOPMENT WITH 2 UNIT, 6 UNIT & 10 UNIT BUILDINGS
 Development Schedule: Commencement FALL 2009 Completion 2012

5. Required Submittals:

- Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - **7 copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - **7 copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - **1 copy** of the plan set reduced to fit onto 8 ½ inch by 11 inch paper
- Letter of Intent (12 copies):** describing this application in detail including, but not limited to: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail. For applications proposing rezoning to more than one district, a separate description of each district shall be submitted.
- Filing Fee: \$3,850** See the fee schedule on the application cover page. Make checks payable to: *City Treasurer*.
- Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

In Addition, The Following Items May Also Be Required With Your Application:

- For any applications proposing demolition or removal of existing buildings, the following items are required:
 - Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City **30 or 60 days prior to filing** their application using the online notification tool found at: <https://www.cityofmadison.com/developmentCenter/demolitionNotification/>
 - A photo array (6-12 photos) of the **interior and exterior** of the building(s) to be demolished or removed. A written assessment of the condition of the building(s) to be demolished or removed is highly recommended.
 - Note: A Reuse and Recycling Plan approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits and the start of construction.
- Zoning Text (12 copies):** must accompany Planned Community or Planned Unit Development (PCD/PUD) submittals.

6. Applicant Declarations:

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:
 - *The site is located within the limits of* Mid-Town Neighborhood Development *Plan, which recommends:*
Low-Med Density Residential *for this property.*
- Pre-application Notification:** Section 28.12 of the Zoning Code requires that the applicant notify the district alder and any nearby neighborhood & business associations in writing no later than **30** days prior to filing this request:
 - *List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:*
Jed Sanborn - District #1, Hawk's Landing Neigh. Assoc. - 8/13/09
 - NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.*
- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: TIM PARKS Date: 7/30/09 Zoning Staff: _____ Date: _____
- Check here if this project will be receiving a public subsidy.** If so, indicate type in your Letter of Intent.

The signer attests that this form is accurately completed and all required materials are submitted:

Printed Name J. Randy Bruce Date 9/16/09
 Signature [Signature] Relation to Property Owner Architect
 Authorizing Signature of Property Owner [Signature] Date 9/15/09

September 16, 2009

Mr. Brad Murphy
Director of Planning
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd
PO Box 2985
Madison, Wisconsin 53701

Re: Letter of Intent
PUD-SIP
Hawks Reserve
1802 Maplecrest Drive & 9002 Hawks Reserve Lane
Madison, Wisconsin

Dear Mr. Murphy:

The following is submitted together with the plans, application and zoning text for staff, Plan Commission and Common Council consideration of approval.

Organizational structure:

Owner: Hawks Condominiums Corp.
Hawks Reserve Condo Assoc.
Haen Real Estate
9 Hawks Landing Circle
Verona, WI 53593
608-845-1550
608-848-8854 fax
Contact: Jeff Haen
jeff@haenrealestate.com

Architect: Knothe & Bruce Architects, LLC
7601 University Avenue, Ste 201
Middleton, WI 53562
608-836-3690
608-836-6934 fax
Contact: Randy Bruce
rbruce@knothebruce.com

Engineer: Arnold & O'Sheridan Consulting
Engineers
1111 Deming Way
Madison, WI 53717
(608) 821-8500
(608) 821-8501 fax
Contact: Frank Thousand
FThousand@arnoldandosheridan.com

Landscape Design: The Bruce Company
2830 Parmenter St.
Middleton, WI 53562
(608) 836-7041
(608) 831- 4236
Contact: Melissa Freer
mfreer@bruceco.com

Project Description:

Hawks Reserve is a condominium development on Lot 53 of the Hawks Landing Golf Club Plat located on the north side of Midtown Road and west of County Highway M. The Planned Residential Development for Lot 53 was approved by the Commission in January of 2005.

The previously approved PRD provided for the development of 19 six-unit condominium buildings, four buildings on the southerly perimeter of the site have been developed. This rezoning request will revise the development plan for the ten 6-unit buildings that are not constructed. In their place will be 19 duplex units and five 10-unit buildings. This will result in a change in the density on the entire site from 114 units to 112 units. A PUD is being requested to allow flexibility in the floor plans and elevations of the duplex buildings to tailor the condominium home to the specific buyer.

The architectural style and detailing of the new buildings will be varied although some details, materials and forms from the existing buildings will be used to integrate the entire development.

<u>Site Development Statistics</u>	<u>Previously Approved</u>	<u>Amended</u>
Lot Area	607,839 S.F. or 13.95 Acres	same
Dwelling Units	114	112
Density	5,332 S.F. /D.U.	5,427 S.F. /D.U.
<u>Building height</u>	2 Story	1-2 Story
<u>Dwelling Unit Mix</u>		
2 Bedroom		108
<u>3 Bedroom</u>		<u>4</u>
Total	114	112
<u>Vehicle Parking Stalls</u>		
Underground		224 spaces
<u>Surface</u>		<u>51 spaces</u>
Total		275 spaces
<u>Bicycle Parking Stalls</u>		
Underground		112 spaces
<u>Surface</u>		<u>18 spaces</u>
Total		130 spaces

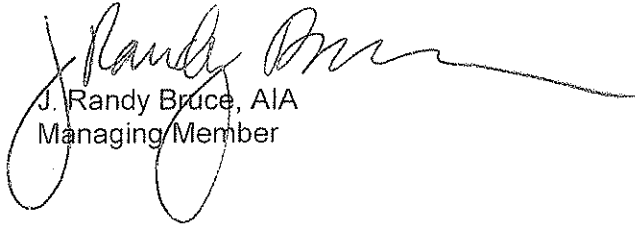
Letter of Intent –PUD-GDP-SIP
Hawks Reserve
1802 Maplecrest Dr. & 9002 Hawks Reserve Lane
September 16, 2009
Page 3 of 3

Project Schedule:

This project will start construction as soon as development approvals are obtained in fall 2009 with completion scheduled for 2012.

Thank you for your time in reviewing our proposal.

Very Truly Yours,



J. Randy Bruce, AIA
Managing Member

Legal Description: The lands subject to this Planned Unit Development District are described in the attached Exhibit A.

- A. **Statement of Purpose:** This zoning district is established to allow for the construction of a multi-family development with 108 dwelling units.
- B. **Permitted Uses:** Following are permitted uses within this P.U.D.
 - 1. Multifamily residential uses as shown on the approved plans.
 - 2. Accessory uses including but not limited to:
 - a. Accessory uses directly associated with those permitted uses, including parking for residents and guests as shown on the approved plans.
 - b. Temporary buildings for storage of building materials and equipment for construction purposes when on the same lot as a principle use for a period not to exceed the duration of such construction.
- C. **Lot Area:** As shown on the approved plans.
- D. **Height Regulations:** As shown on the approved plans. For the duplex buildings the building height will be limited to two (2) stories or thirty-five (35) feet as measured from the grade adjacent to the front entrance.
- E. **Yard Regulations:** As shown on the approved plans.
- F. **Landscaping:** General site landscaping will be provided as shown on the approved plans. Landscaping for the individual buildings shall be submitted, reviewed and approved along with the individual building plans as set forth in paragraph K.
- G. **Usable Open Space Requirements:** Usable open space will be provided as shown on the approved plans.
- H. **Parking & Loading:** Off-street parking shall be provided as shown on the approved plans.
- I. **Family Definition:** The family definition shall coincide with the definition given in M.G.O. 28.03 for the R-4 zoning district.
- J. **Signage:** Signage shall be limited to the maximum permitted in the R-4 district and as approved by the Urban Design Commission and Zoning Administrator.
- K. **Individual Building Plans:** The final architectural and landscaping details for the duplex buildings shall be approved by the staff of the Urban Design and Plan Commissions prior to issuance of permits for construction. Plan submittals shall include a detailed site plan, contextual site information, building elevations with materials and colors, and a landscaping plan with size and species of landscape materials to be planted. Staff shall approve the plans based on the general design guidelines provided in paragraph L. Any appeal of the staff decision shall be made to the Urban Design Commission for consideration.
- L. **Design Guidelines:** The buildings within this development will have a variety of exterior elevations designed around a set of three (3) common architectural themes. Buildings will be individually designed and will vary to enhance the development's interest and aesthetic value. Architectural details, colors and materials will be chosen to maintain compatibility with the surrounding neighborhood.

Building Envelope: The locations of the duplex condominium homes have been predetermined and are indicated by a designated building envelope. The building envelope represents the outside limits of the available building footprint area. In no case shall any building element (except patios or other landscape elements) extend outside of the predetermined envelope.

Building Massing: The overall volume of each building is limited both by the building footprint and building height. The massing of the building will provide appropriately-scaled elements and facades. A variety of roof forms and wall elements will be used to define the massing of the buildings. These elements will be further articulated through the selection of exterior materials and detailing.

Exterior Materials & Details: The material choices for these homes will be used consistently throughout the development. Materials used will be masonry, horizontal fiber-cement or composite wood siding, and wood trim elements. The exterior materials will be used to differentiate the different elements of the buildings and to provide building facades with appropriate balance, proportion and detailing. Three prototypical examples of exterior architecture have been developed as guideline for future designs. This limited set of architectural details will be used throughout the development to encourage interest in the exterior architecture. Variations in the dimensions and materials will be allowed to accommodate construction methods.

Windows: Window openings will vary as room layouts are adapted for specific residents. The window sizes and the grille pattern will be chosen to support the architecture of the building. Windows may be single windows, paired or in groups as is necessary to provide the proper light and ventilation to the interiors. Window and door openings will be distributed across all four building facades. Windows may be wood, aluminum-clad wood, or vinyl.

Doors: Exterior entry and vehicular (garage) door styles will be limited to one of three selected styles. The door styles will be used to support the architecture of the building. Entry door colors may vary to allow individualization; vehicular doors will be painted to match the siding color for the building or stained for a wood grain effect.

Roof: The roof forms will be a combination of hipped and gable roofs. A dimensional asphalt or fiberglass shingle will be used. Roof soffits may be beaded vinyl or aluminum or a cement fiber panel.

Detailed Landscaping: An overall landscaping plan has been prepared that provides for the street tree, buffer yard, and common area plantings. Foundation plantings will vary to accommodate the actual building footprint and orientation and will incorporate a mix of plantings from the provided plant list.

- M. ***Alterations and Revisions:*** No alteration or revision of this Planned Unit Development shall be permitted unless approved by the City Planning Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Planning Commission.

KNOTHE & BRUCE ARCHITECTS

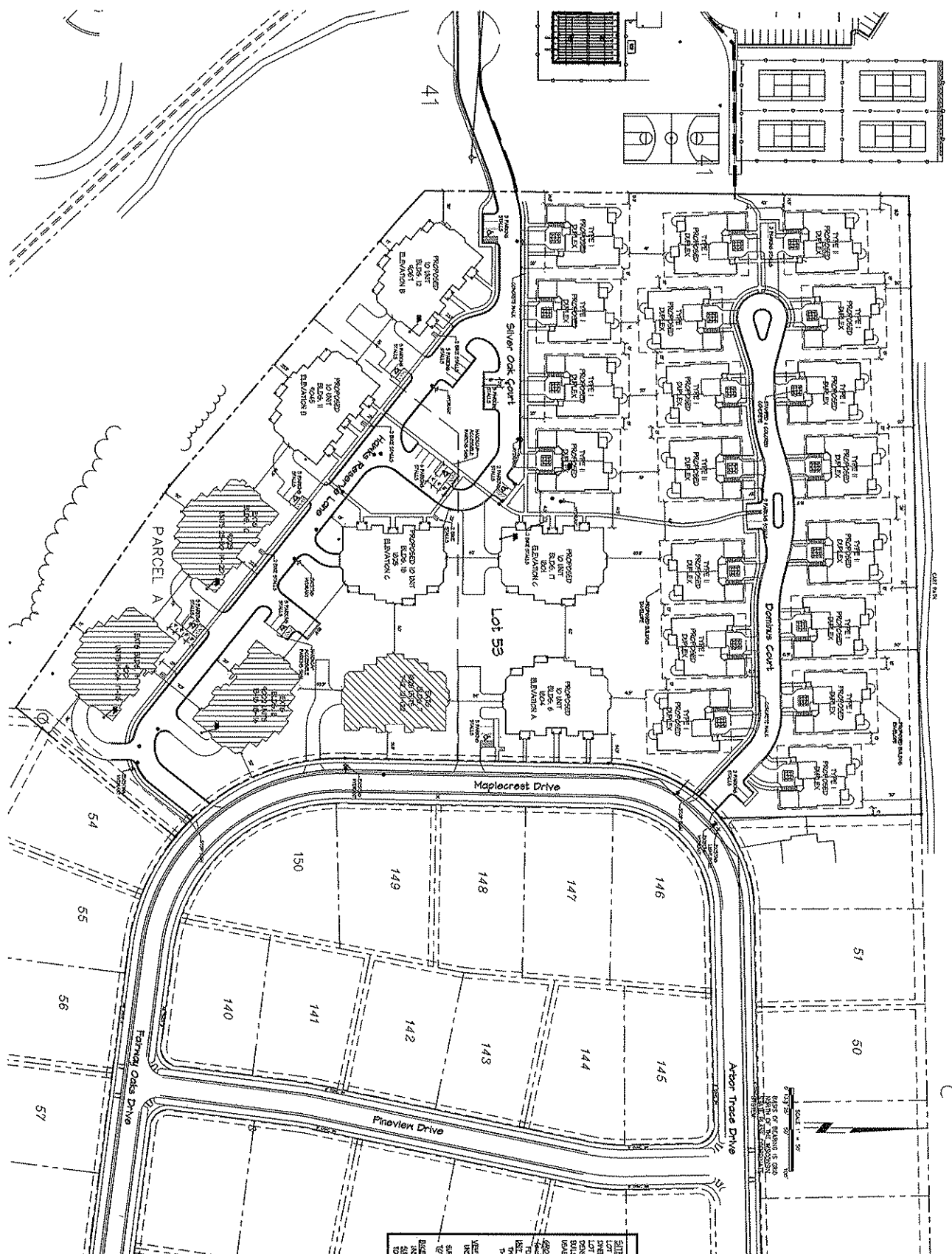
700 Lincoln Avenue, Suite 200
 Houston, Texas 77002
 688.838.3390 Fax 688.433.6334

04/22/10

NO.	DESCRIPTION	DATE
1	SITE	04/22/10
2	SITE PLAN	04/22/10
3	GENERAL SPECIFICATIONS PLAN	04/22/10
4	LANDSCAPE PLAN	04/22/10
5	ADDITIONAL:	
6	BASIS OF DESIGN PLAN	04/22/10
7	FIRST FLOOR PLAN - TYPE I	04/22/10
8	SECOND FLOOR PLAN - TYPE I	04/22/10
9	SECTION I - TYPE I	04/22/10
10	ELEVATIONS - TYPE I	04/22/10
11	ELEVATIONS - TYPE II	04/22/10

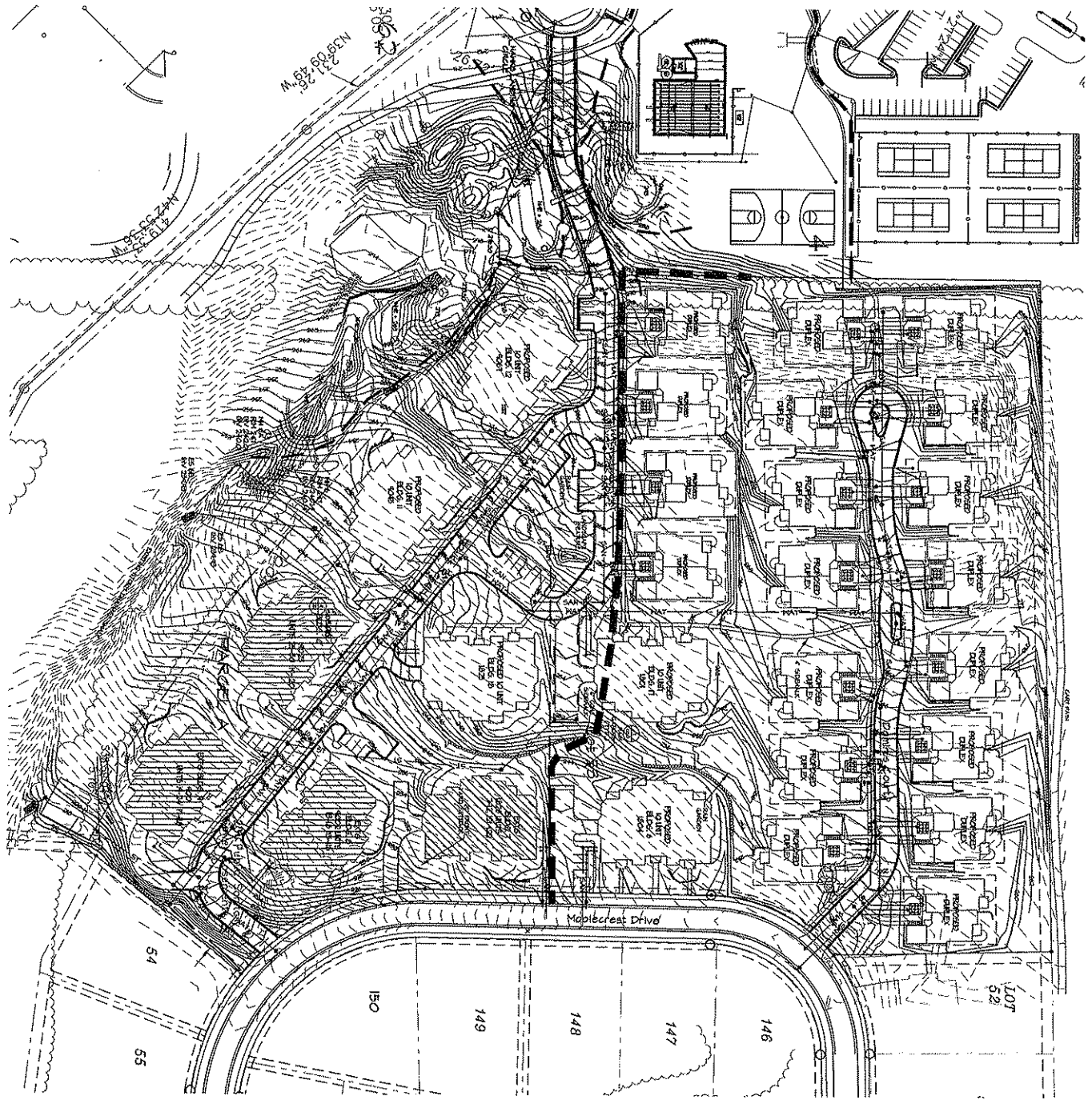
SITE DESIGN PRELIMINARY STATISTICS

LOT AREA	607,391 SF (46 ACRES)
DEVELOPING AREA	107,524 SF (7.7 ACRES)
LOT AREA OIL	5,627 SF (0.13 ACRES)
BUILDING HEIGHT	120' (48')
USABLE OPEN SPACE	15,472 SF
ADDITIONAL OPEN SPACE	20,929 SF
TOTAL OPEN SPACE	36,401 SF
TOTAL AREA (ACRES)	46.0
TOTAL AREA (SQ FT)	6,377,000
TOTAL DEVELOPING AREA	107,524 SF (7.7 ACRES)
TOTAL DEVELOPING AREA	120' (48')
TOTAL DEVELOPING AREA	15,472 SF
TOTAL DEVELOPING AREA	20,929 SF
TOTAL DEVELOPING AREA	36,401 SF

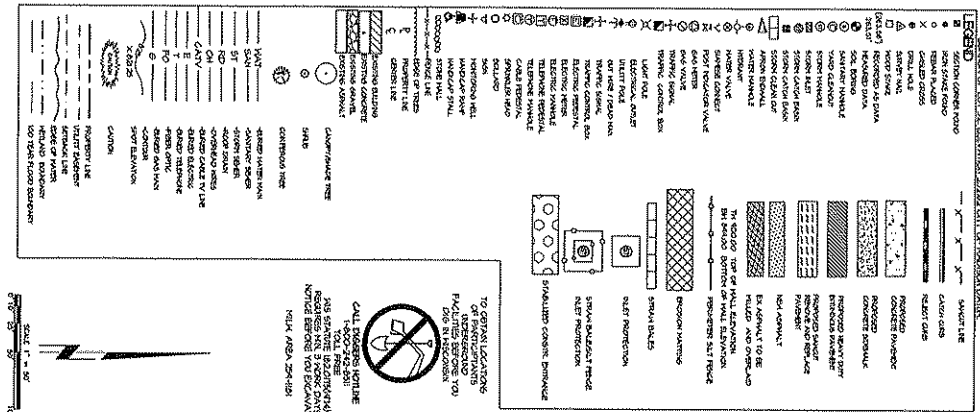


Project No. 0422
 Site Plan
 Project Name: Hawks Reserve
 Address: 15021 Hawks Reserve Lane
 Client: Hawks Landing Golf Club
 Site Plan

0422
 C-10



- GRADING AND EROSION CONTROL**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE PROPOSED EROSION CONTROL MEASURES AND EROSION CONTROL MEASURES TO PROTECT EXISTING AND PROPOSED ADJACENT PROPERTIES FROM EROSION AND DAMAGE TO THE EROSION PLAN.
 2. THE CONTRACTOR SHALL DESIGN AND CONSTRUCT EROSION CONTROL MEASURES TO PROTECT EXISTING AND PROPOSED ADJACENT PROPERTIES FROM EROSION AND DAMAGE TO THE EROSION PLAN.
 3. THE CONTRACTOR SHALL DESIGN AND CONSTRUCT EROSION CONTROL MEASURES TO PROTECT EXISTING AND PROPOSED ADJACENT PROPERTIES FROM EROSION AND DAMAGE TO THE EROSION PLAN.
 4. THE GRADING SHALL BE PLACED ON THE GRADING PLAN.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING ADJACENT PROPERTIES FROM EROSION AND DAMAGE TO THE EROSION PLAN.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING ADJACENT PROPERTIES FROM EROSION AND DAMAGE TO THE EROSION PLAN.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING ADJACENT PROPERTIES FROM EROSION AND DAMAGE TO THE EROSION PLAN.
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 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING ADJACENT PROPERTIES FROM EROSION AND DAMAGE TO THE EROSION PLAN.



ARNOLD AND O'SHEARD INC.
CONSTRUCTION MANAGEMENT
5500 WISCONSIN AVENUE
MADISON, WISCONSIN 53705
TEL: 608.261.1111 FAX: 608.261.1112
WWW.ARNOLDANDOSHEARD.COM

HAWK'S LANDING
LOT 53
MADISON, WISCONSIN

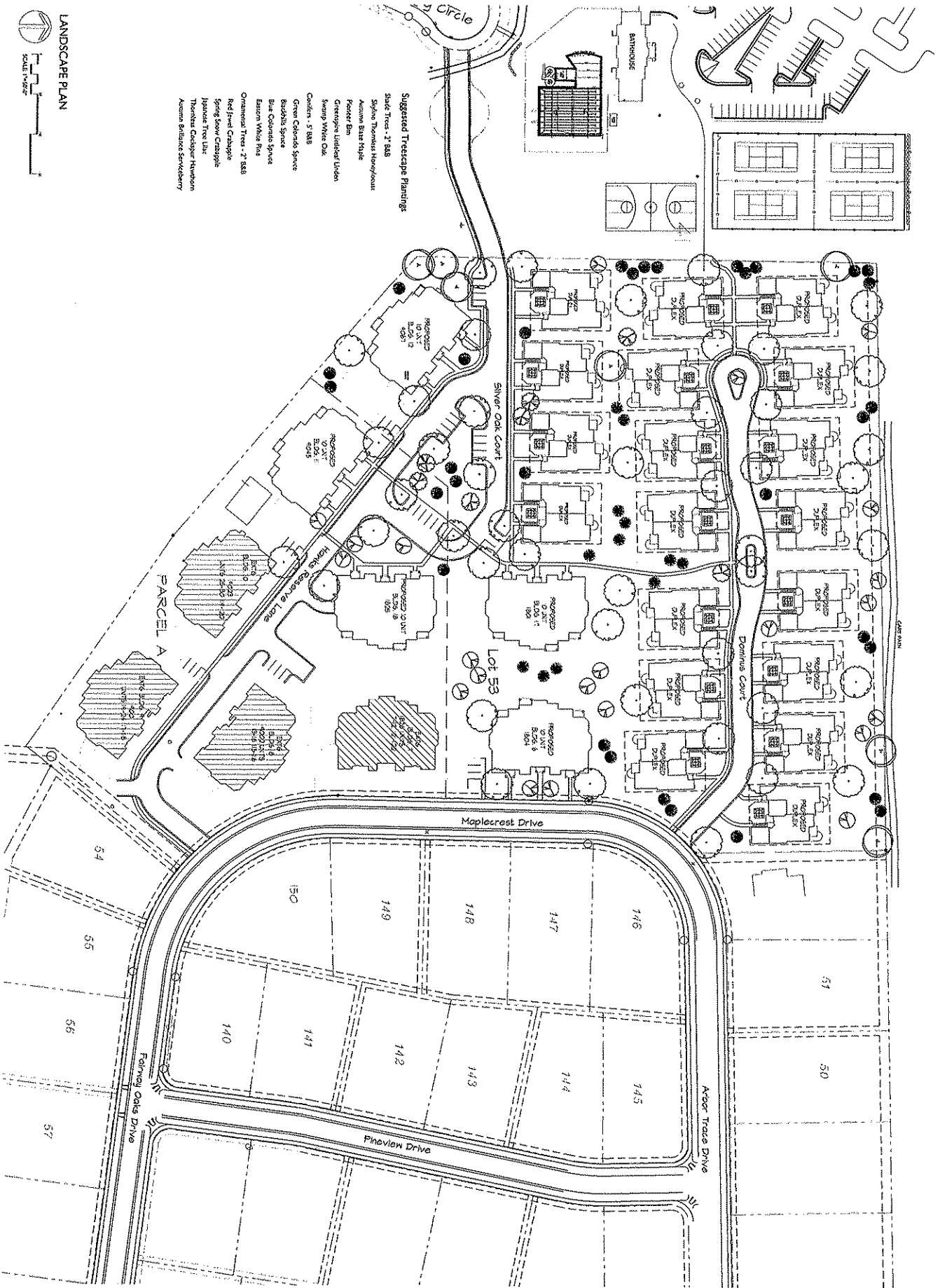
HAWKS CONDOMINIUM CORPORATION

Scale: 1" = 30'

North Arrow

OVERALL GRADING PLAN

Project Number: 0810128
Designed By: AAO
Date Issued: 9-16-08
Reviewed By: AAO



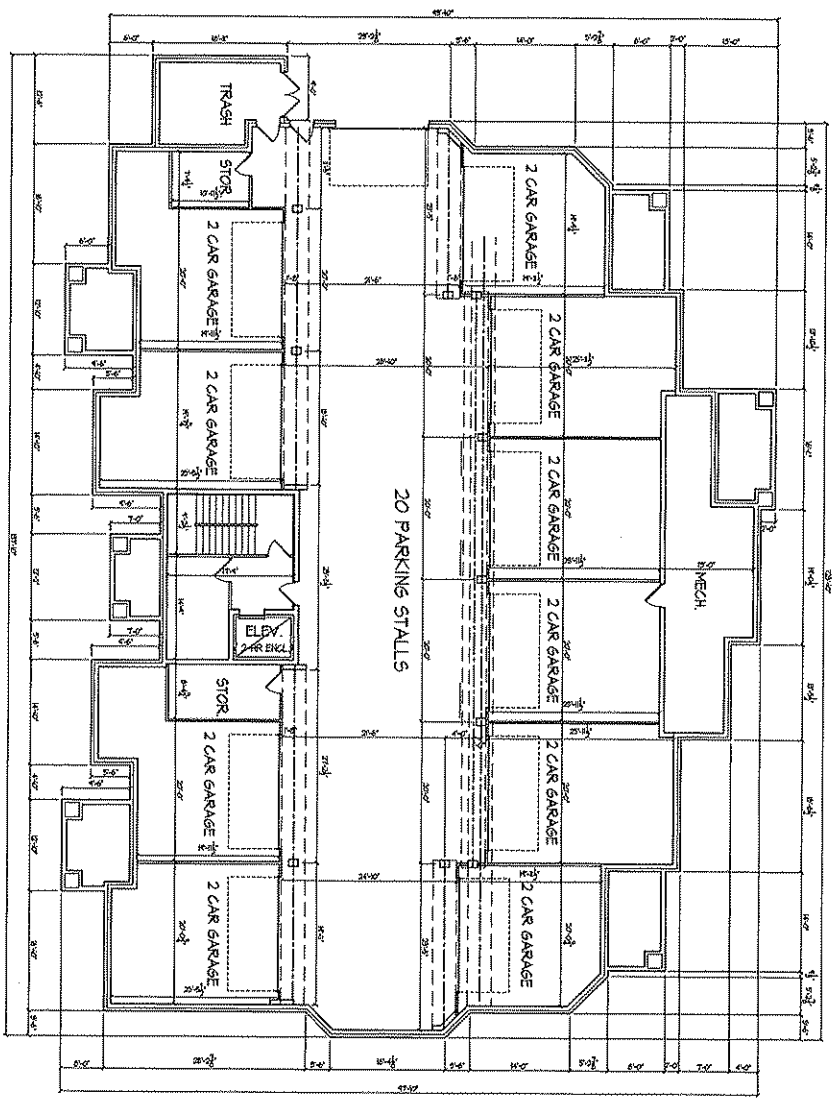
- Suggested Tree Landscape Plantings**
- Shade Tree - 2' 8/88
 - Sycamore
 - Autumn Blaze Maple
 - Redwood
 - Greenstrip Linden
 - Swamp White Oak
 - Cashew - 5' 8/88
 - Green Colorado Spruce
 - Buddha's Spine
 - Burk's Colorado Spruce
 - Eastern White Pine
 - Ornamental Tree - 2' 8/88
 - Red Jewel Crapejole
 - Spring Snow Crapejole
 - Japanese Tree Lilac
 - Thornless Dogwood
 - Autumn Brilliance Serviceberry




<p>18187 L111</p>	<p>Checked By: SS Drawn By: MC Project: 911009 Record: Revision: Date:</p>	<p>HAWKS RESERVE LOT 53 OF HAWKS LANDING GOLF CLUB 1802 MAPLE CREST DRIVE</p>	<p>Shirley Ann LANDSCAPE ARCHITECTS LANDSCAPE CONTRACTORS 1802 MAPLE CREST DRIVE HOUSTON, TEXAS 77058 TEL: (281) 811-1111</p>
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KNOTHE & BRUCE ARCHITECTS
 7601 University Avenue Suite 201
 Middleton, Wisconsin 53122
 (608) 836-1800 Fax: (608) 836-0934
 Website: www.kbarch.com

Notes:
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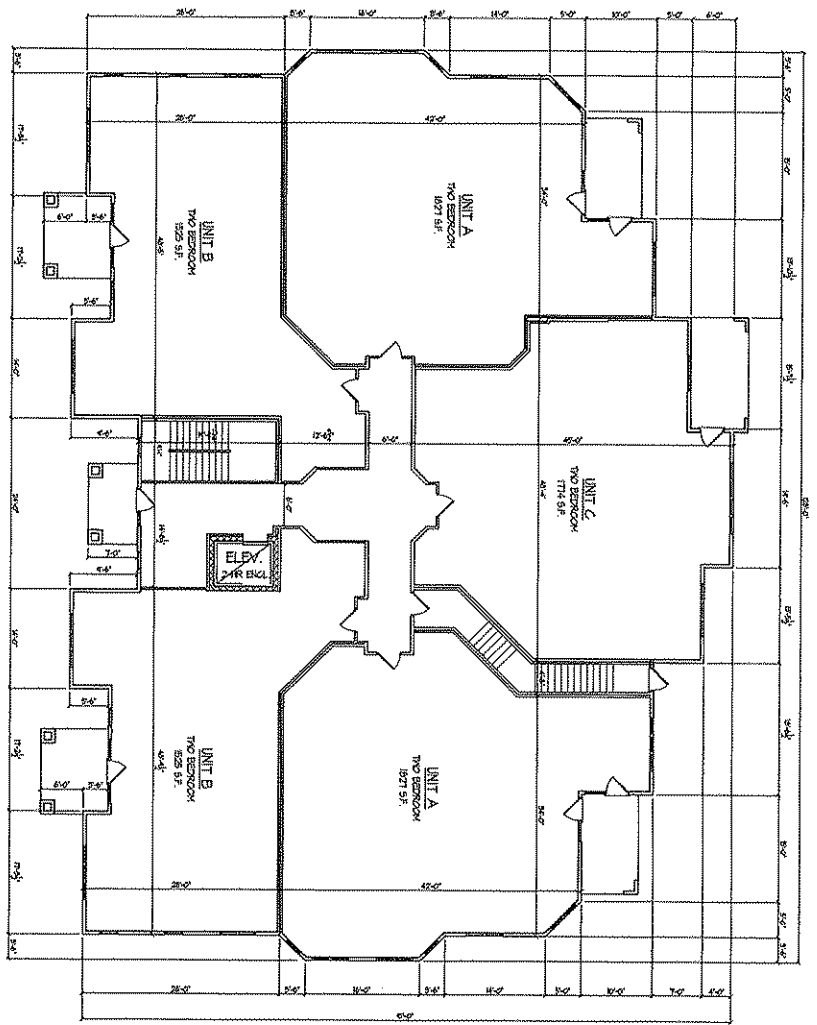


 **BASEMENT FLOOR PLAN**

Project No: 0422
 Date: 10/16/2008
 Drawn By: [Name]
 Checked By: [Name]
 Approved By: [Name]

Project Title:
**Hawk's Landing
 Condominiums
 Lot 53
 Madison, Wisconsin**

KNOTHE & BRUCE ARCHITECTS
 7601 University Avenue Suite 201
 Middleton, Wisconsin 53522
 608-835-1809 Fax 608-834-0794

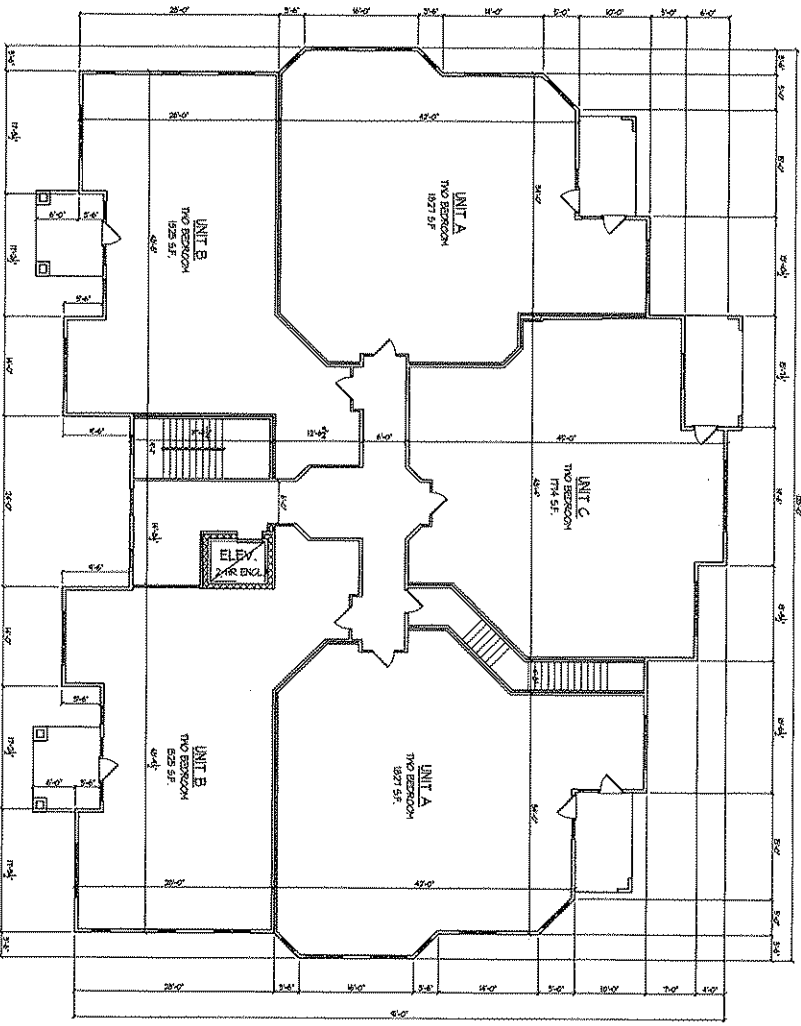



TYPICAL FIRST FLOOR PLAN

Project Title: **Hawk's Landing Condominiums Lot B3 Madison, Wisconsin**
 Report No: **0422**
 Date: **September 16, 2004**
 Drawing No: **2**
 Sheet Title: **First Floor Plan**

7

KNOTHE & BRUCE ARCHITECTS
 7601 University Avenue, Suite 201
 Madison, Wisconsin 53512
 608.263.1095 Fax 608.263.6794



 TYPICAL SECOND FLOOR PLAN

Project Title
**Hank's Landing
 Condominiums
 Lot 53
 Madison, Wisconsin**

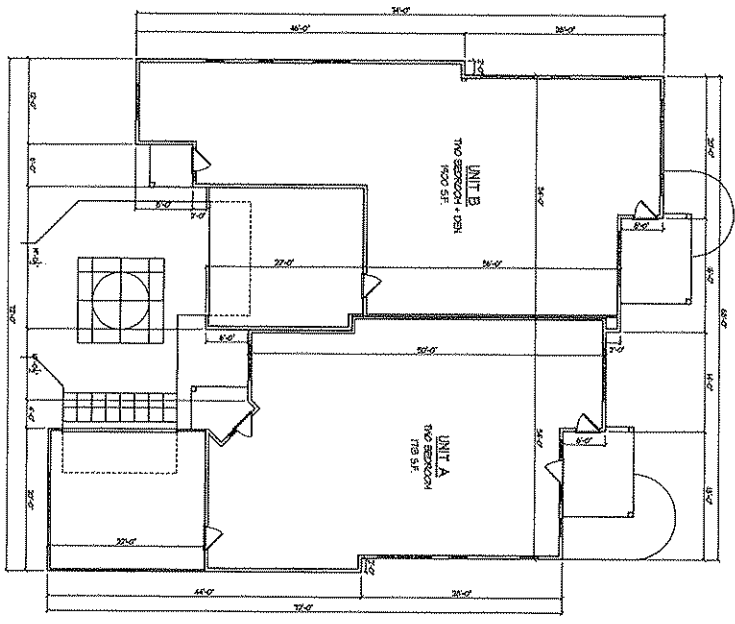
Project No.
0422

Sheet No.
3

Revision
 PFD Station - September 16, 2001

KNOTHE & BRUCE ARCHITECTS
 7611 University Avenue, Suite 201
 Madison, Wisconsin 53742
 608.834.1000 Fax 608.834.6004

Notes:
 (1) ENCL. SHALL PER GARAGE



FIRST FLOOR PLAN

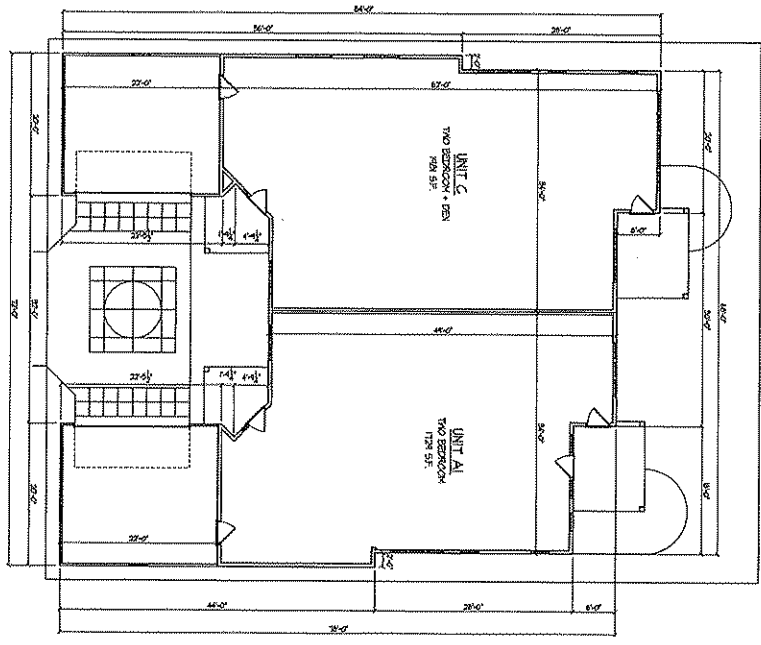
Project:
 Hawk's Landing
 Condominiums
 Lot 59
 Madison, Wisconsin

Revision:
 PFD Student - September 16, 2005

Drawn By:	Project Title:
Revised:	Plot Floor Plan -
Checked:	Duplex Type I
0422	Drawn By:
4	

KNOTHE & BRUCE ARCHITECTS
 760 University Avenue, Suite 300
 Madison, Wisconsin 53822
 608-263-3000 Fax 608-263-6934

Notes:
 0) BONE SHALL PER GARAGE



FIRST FLOOR PLAN

Project Title:
**Hank's Landing
 Condominiums
 Lot 59
 Madison, Wisconsin**

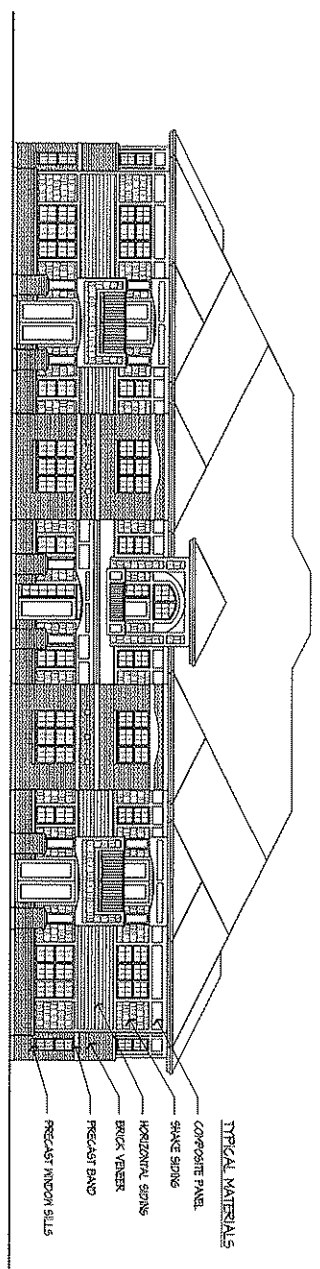
Revision:
 P102 Schedule - September 16, 2009

Design Title:
**First Floor Plan -
 Duplex Type II**

Project No.: 0422
 Date: 5

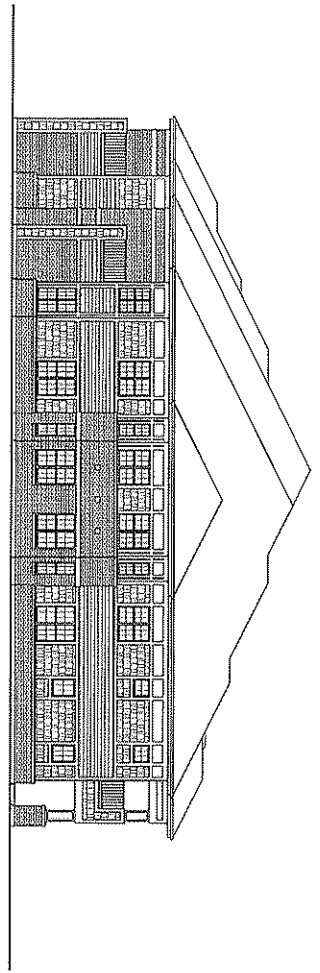
KNOTHE & BRUCE ARCHITECTS
 7801 University Avenue, Suite 201
 Middleton, Wisconsin 53542
 608-838-1899 Fax 608-838-9794

Notes



○ FRONT ELEVATION A

- TYPICAL MATERIALS
- COMPOSITE PANEL
 - SHAKE SHINGLES
 - HORIZONTAL SIDING
 - BRICK VENEER
 - PRECAST BAND
 - PRECAST WINDOW SILLS



○ SIDE ELEVATION A

Revised
 PWD Special - September 16, 2005

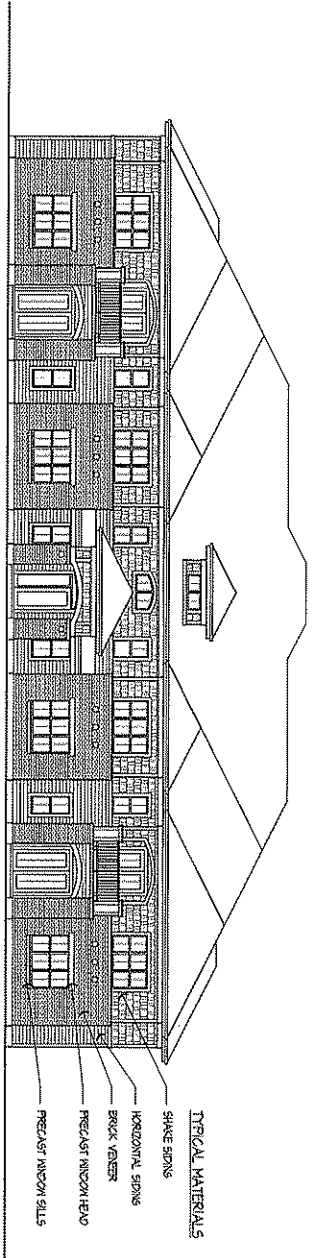
Project Title
**Hawk's Landing
 Condominiums**
 Lot 59
 Madison, Wisconsin

Drawings
 Elevations - A

Project No. 0922
 Drawing No. 6

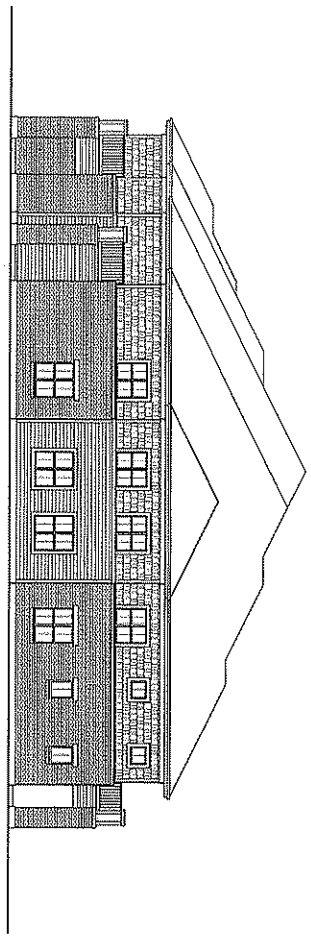
KNOTHE & BRUCE ARCHITECTS
 7601 University Avenue Suite 201
 Madison, Wisconsin 53706
 608-264-1895 Fax 608-264-1914

Scale: _____



○ FRONT ELEVATION B

Revised
 PWD elevation - September 16, 2004



○ SIDE ELEVATION B

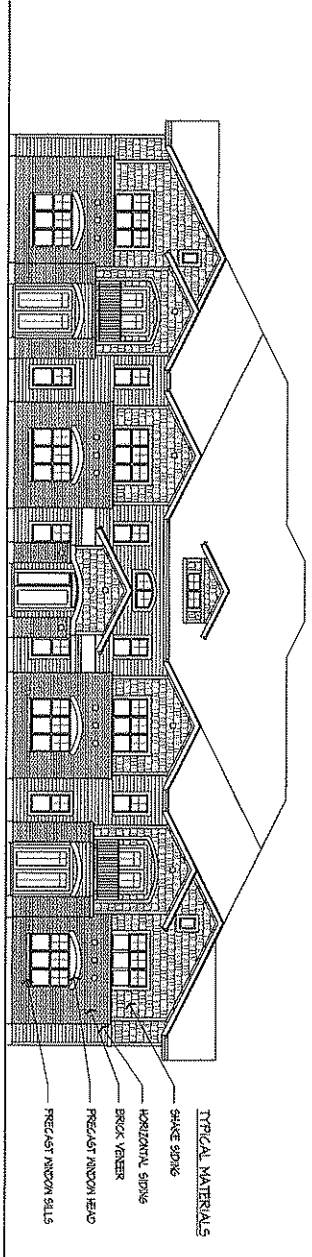
Project No.
 Hank's Landing
 Condominiums
 Lot 59
 Madison, Wisconsin

Drawn By
 Elevations - B

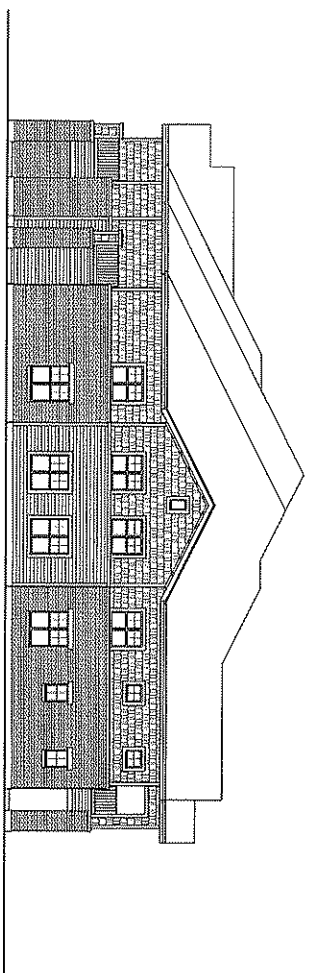
Project No. 0422
 Date: 7

KNOTHE & BRUCE ARCHITECTS
 7601 University Avenue, Suite 201
 Milwaukee, Wisconsin 53222
 414.834-1000 Fax 414.694-6924

Notes



○ FRONT ELEVATION B



○ SIDE ELEVATION B

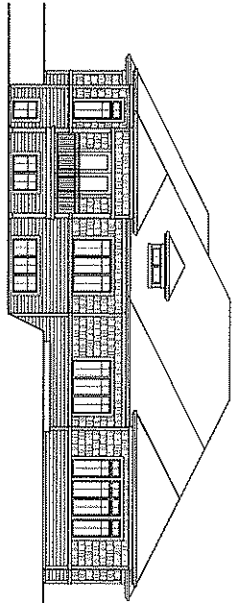
Revised
 Pro: Skanska - September 16, 2004

Project No:
**Hawk's Landing
 Condominiums
 Lot 59
 Madison, Wisconsin**

Drawn By:
Elevations - C

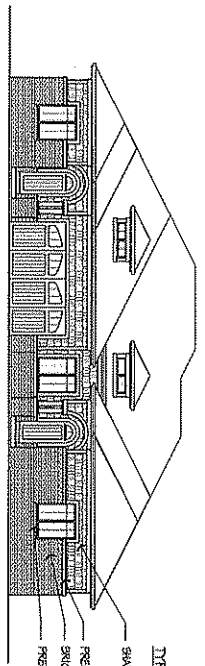
Project No: **0422**
 Date: 1/16/04
 Sheet No: **8**

KNOTHE & BRUCE ARCHITECTS
 760 University Avenue, Suite 300
 Middleton, Wisconsin 53562
 608.836.3900 Fax 608.836.3904



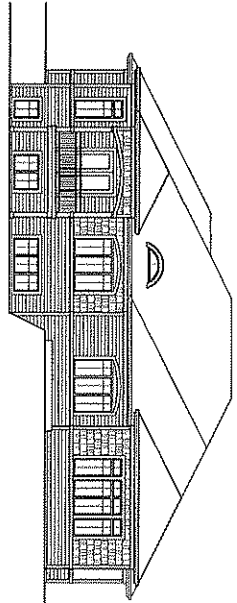
REAR ELEVATION A
 1/8" = 1'-0"

Elevation A



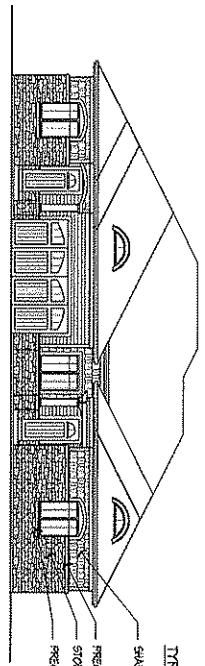
FRONT ELEVATION A
 1/8" = 1'-0"

- TYPICAL MATERIALS
- SHAKE SIDING
 - PRECAST BAND
 - SHICK VENER
 - PRECAST WINDOW SILLS



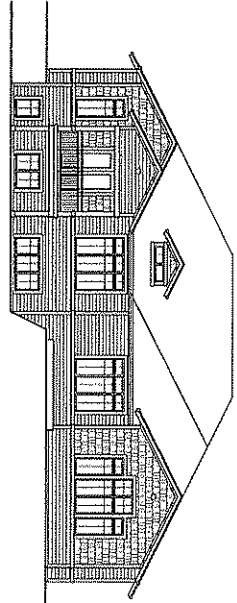
REAR ELEVATION B
 1/8" = 1'-0"

Elevation B



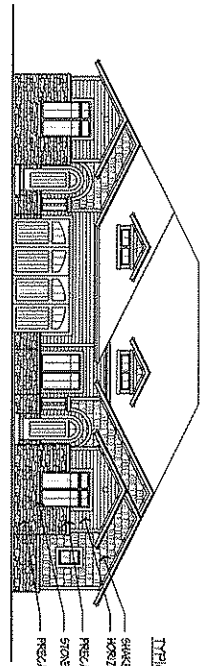
FRONT ELEVATION B
 1/8" = 1'-0"

- TYPICAL MATERIALS
- SHAKE SIDING
 - PRECAST BAND
 - STONE VENER
 - PRECAST WINDOW SILLS



REAR ELEVATION C
 1/8" = 1'-0"

Elevation C



FRONT ELEVATION C
 1/8" = 1'-0"

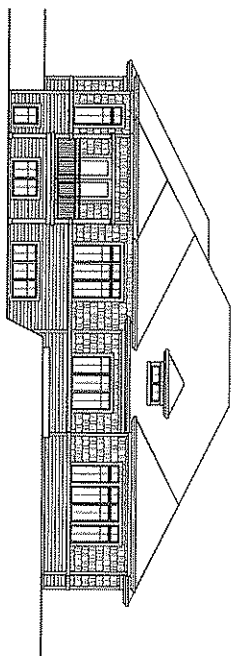
- TYPICAL MATERIALS
- SHAKE SIDING
 - HORIZONTAL SIDING
 - PRECAST BAND
 - STONE VENER
 - PRECAST WINDOW SILLS

Revised
 PWD Standard - September 16, 2004

Project Title
**Hank's Landing
 Condominiums**
 Lot 53
 Madison, Wisconsin

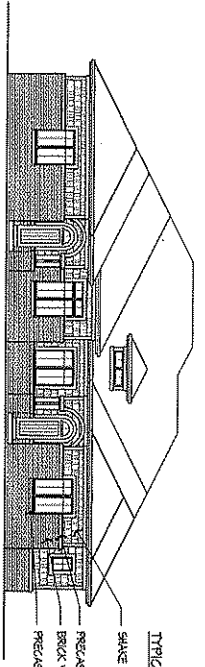
Drawn By
**Elevations -
 Duplex Type 1**
 Project No.
0422
 Date Plotted
9

KNOTHE & BRUCE ARCHITECTS
 1601 University Avenue, Suite 201
 Middleton, Wisconsin 53542
 608-831-1500 FAX 608-831-9104



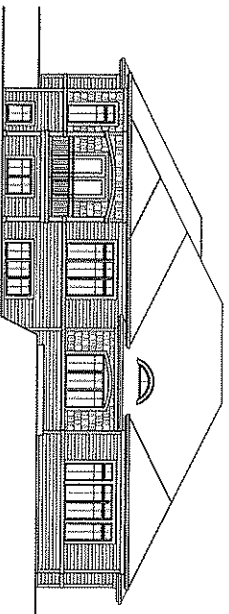
REAR ELEVATION A

Elevation A



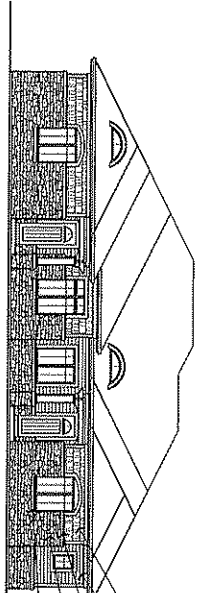
REAR ELEVATION A

TYPICAL MATERIALS
 SHAKE SIDING
 PRECAST BAND
 BRICK VENEER
 PRECAST RANDOM SILLS



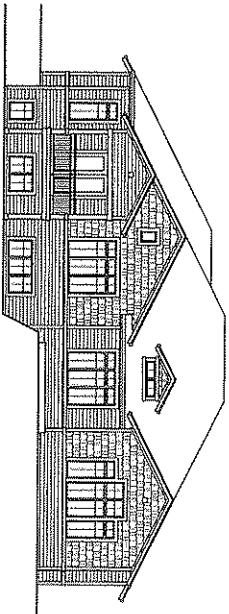
REAR ELEVATION B

Elevation B



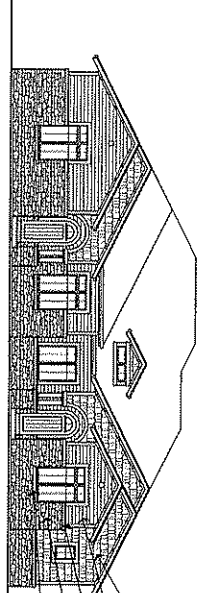
REAR ELEVATION B

TYPICAL MATERIALS
 SHAKE SIDING
 HORIZONTAL SIDING
 PRECAST BAND
 STONE VENEER
 PRECAST RANDOM SILLS



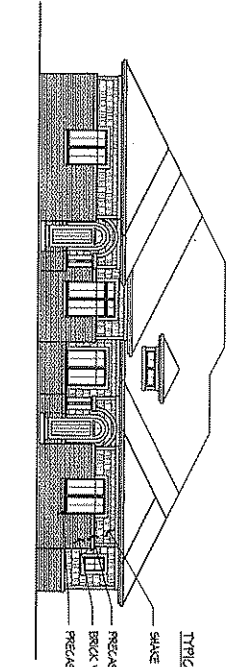
REAR ELEVATION C

Elevation C



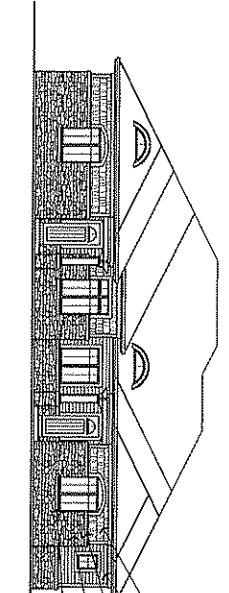
REAR ELEVATION C

TYPICAL MATERIALS
 SHAKE SIDING
 HORIZONTAL SIDING
 PRECAST BAND
 STONE VENEER
 PRECAST RANDOM SILLS



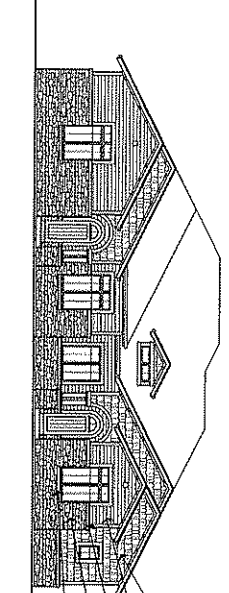
FRONT ELEVATION A

TYPICAL MATERIALS
 SHAKE SIDING
 PRECAST BAND
 BRICK VENEER
 PRECAST RANDOM SILLS



FRONT ELEVATION B

TYPICAL MATERIALS
 SHAKE SIDING
 HORIZONTAL SIDING
 PRECAST BAND
 STONE VENEER
 PRECAST RANDOM SILLS



FRONT ELEVATION C

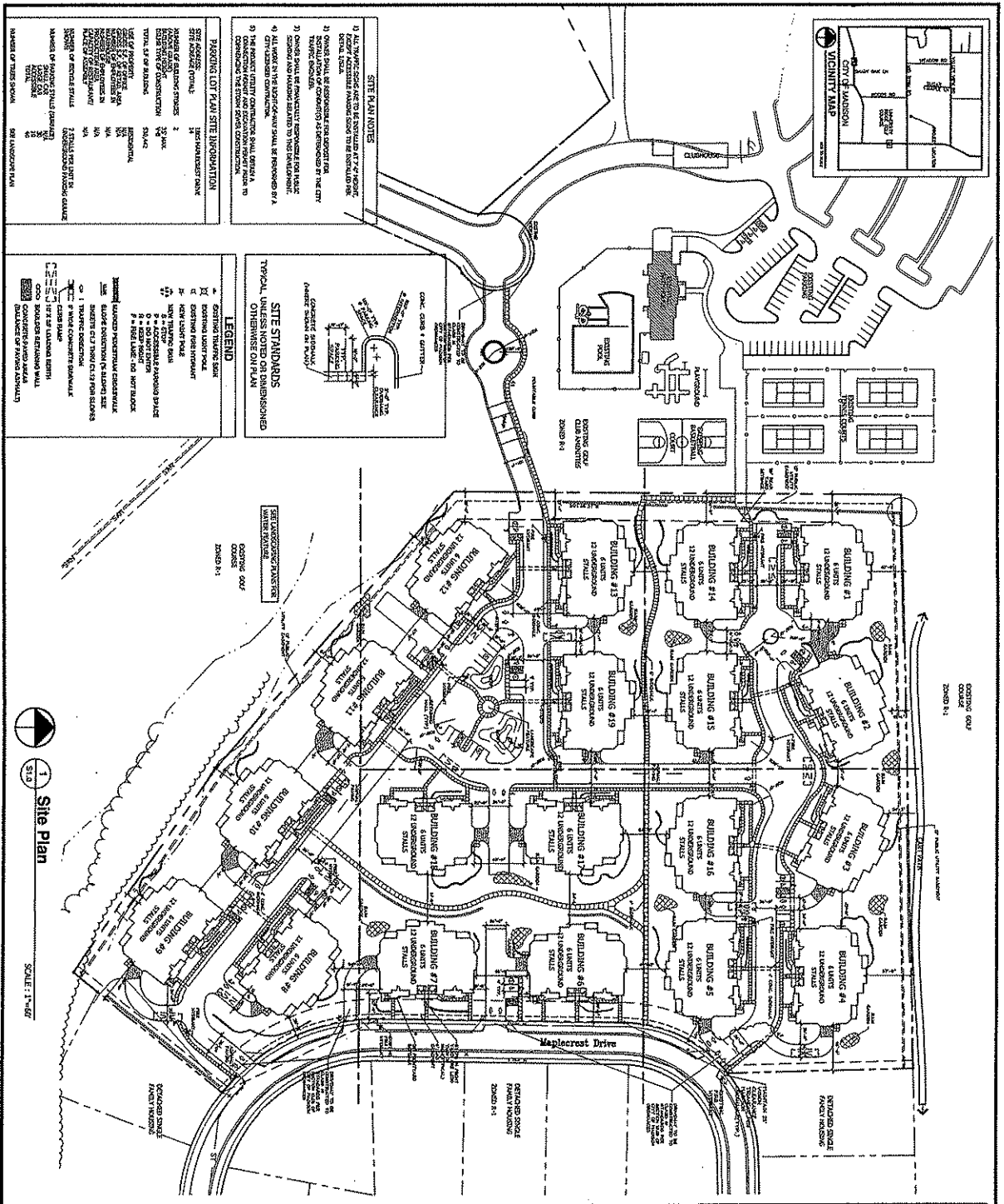
TYPICAL MATERIALS
 SHAKE SIDING
 HORIZONTAL SIDING
 PRECAST BAND
 STONE VENEER
 PRECAST RANDOM SILLS

Project No. 0422
 Hawk's Landing
 Condominiums
 Lot 59
 Madison, Wisconsin

Drawn By: [Name]
 Elevations - Duplex Type II
 Project No. 0422
 Date: 10/10/04

Revision: PWD Station - September 16, 2004

APPROVED 2005
 PLANNED RESIDENTIAL DEV.



SITE PLAN NOTES

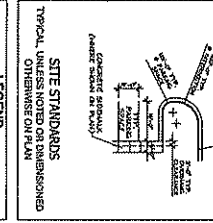
- 1) ALL TRAVEL SURFACES ARE TO BE CONCRETE AT 7" MINIMUM THICKNESS WITH 40% FINE AGGREGATE AND 4% AIR ENTRAINMENT.
- 2) OWNER SHALL BE RESPONSIBLE FOR SUPPORTING THE EXISTING UTILITY OF CONDUITS AS DEPENDENT BY THE CITY THROUGHOUT THE PROJECT.
- 3) OWNER SHALL BE RESPONSIBLE FOR SUPPORTING THE EXISTING UTILITY OF CONDUITS AS DEPENDENT BY THE CITY THROUGHOUT THE PROJECT.
- 4) ALL WORK IN THE UNDERGROUND SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
- 5) THE PROJECT VENDOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MADISON.

PARKING LOT PLANT SITE INFORMATION

SITE ADDRESS: 1234 MAIN STREET, MADISON, WI 53706

PROJECT INFORMATION:

PROJECT NAME	1234 MAIN STREET
PROJECT TYPE	RESIDENTIAL
PROJECT PHASE	PHASE 1
PROJECT STATUS	PLANNED
PROJECT DATE	2005
PROJECT DURATION	12 MONTHS
PROJECT BUDGET	\$1,000,000
PROJECT RISK	LOW
PROJECT COMPLEXITY	MEDIUM
PROJECT CHALLENGES	CONCRETE FOUNDATION WALL
PROJECT SOLUTIONS	CONCRETE FOUNDATION WALL
PROJECT OUTCOME	CONCRETE FOUNDATION WALL



SITE STANDARDS
 TYPICAL, UNLESS NOTED OR DIMENSIONED OTHERWISE ON PLAN

LEGEND

- EXISTING BUILDING FOOTPRINT
- NEW BUILDING FOOTPRINT
- NEW TRAVEL SURFACE
- NEW TRAVEL SURFACE WITH CURB
- NEW TRAVEL SURFACE WITH CURB AND SIDEWALK
- NEW TRAVEL SURFACE WITH CURB AND SIDEWALK AND BIKEWAY
- NEW TRAVEL SURFACE WITH CURB AND SIDEWALK AND BIKEWAY AND LANDSCAPE
- NEW TRAVEL SURFACE WITH CURB AND SIDEWALK AND BIKEWAY AND LANDSCAPE AND LIGHTING
- NEW TRAVEL SURFACE WITH CURB AND SIDEWALK AND BIKEWAY AND LANDSCAPE AND LIGHTING AND SIGNAGE
- NEW TRAVEL SURFACE WITH CURB AND SIDEWALK AND BIKEWAY AND LANDSCAPE AND LIGHTING AND SIGNAGE AND FURNITURE

Site Plan

SCALE: 1"=40'

PROJECT DATA

PROJECT NAME: 1234 MAIN STREET

PROJECT TYPE: RESIDENTIAL

PROJECT PHASE: PHASE 1

PROJECT STATUS: PLANNED

PROJECT DATE: 2005

PROJECT DURATION: 12 MONTHS

PROJECT BUDGET: \$1,000,000

PROJECT RISK: LOW

PROJECT COMPLEXITY: MEDIUM

PROJECT CHALLENGES: CONCRETE FOUNDATION WALL

PROJECT SOLUTIONS: CONCRETE FOUNDATION WALL

PROJECT OUTCOME: CONCRETE FOUNDATION WALL

SHEET INDEX

SHEET NO.	TITLE
01	GENERAL SITE PLAN
02	FOUNDATION PLAN
03	FOUNDATION PLAN
04	FOUNDATION PLAN
05	FOUNDATION PLAN
06	FOUNDATION PLAN
07	FOUNDATION PLAN
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45	FOUNDATION PLAN
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50	FOUNDATION PLAN

Hawk's Landing
Lot 53
Madison, Wisconsin

Overall Site Plan

Project Number: 0320
 Sheet No.: S1.0

DATE: 12-08 P.C.

ARCHITECTS INC.