

Capitol East Parking Garage

Marquette Neighborhood Association
Preservation & Development Committee



Introductions

Project Goals / Measures of Success

Partnerships

City, Cosmos, AMFAM

Urban Enhancement

Public Realm, Public Art

Pedestrian/Vehicular Traffic

Capitol East District Plan

Program

600 + Stalls, Commercial Space, Budget

Schematic Design Plan

Conceptual Design Direction

Image and Character

Responsive, Appropriate, Budget

Project Guiding Principles

Parking Ramp

1. Ramp Function and Efficiency Guides Design – Commercial Space Follows
2. 600 – 650 Total Stalls Provided
3. Automated Entry/Exit Controls
4. Primary Ramp Vehicular Access from Livingston St, Secondary from Main St
5. Main Entry & Vertical Circulation at the corner of Livingston and Main Streets
6. Two Elevators serving both Ramp and Commercial Space
7. Sustainability – “Parksmart Certification” – Bronze Level
8. On Budget

Commercial Space

1. Serves as a “Liner Building” – not intended to maximize footprint or size
2. 21’ Floor to Floor for a minimum of First Level – this will allow for Mezzanine type space
3. Potential for 1 or 2 Stories
4. Minimal Interior Finishes (both Commercial and Lobby) – intent is for an Edgy Urban type space

Schedule

Highlights

- Schematic Design Phase: Completed March 15
- Design Development Phase: Completed April 17
- Construction Documents Phase (100%): May 31
- Issue Bid Documents: June 16

Building Program

Parking Garage

650 Stalls (+12 Motorcycle/Moped & 4 EV)

34 Bicycle spaces

Security Office (Office, Restroom, Storage)

Support (Equip Storage, Mech/Elec, Generator, Data)

Commercial

9,000 SF on 2 Levels

Potential Mezzanine @ 1,400 SF

Parksmart

Overview

- Increase energy efficiency and performance
 - Reduce environmental impact
 - Offer better lighting and ventilation
 - Develop efficient parking structure management
 - Promote alternative modes of transportation
-
- Capitol East Parking Garage pursuing Bronze Certification

Parksmart

Analysis

Approximately 110 – 120 pts (bronze) with minimal added cost.

Green represents achievable points within credits

MANAGEMENT	MAX POINTS	PROGRAMS	MAX POINTS	TECHNOLOGY AND STRUCTURE DESIGN	MAX POINTS
Parking Pricing	4	Placemaking	6	Idle Reduction Payment Systems	4
Shared Parking	4	Access to Mass Transit	4	Fire Suppression Systems	2
TMO/TMA	4	Wayfinding Systems - External	4	Non/VOC Coatings, Paints, Sealants	2
Recycling Program	4	Wayfinding Systems - Internal	4	Tire Inflation Stations	2
Sustainable Purchasing Program	2	Traffic Flow Plan	4	EV Charging Stations	6
Proactive Operational Maintenance	6	Carshare Program	6	HVAC Systems - Occupied Spaces	6
Cleaning Procedures - Occupied Spaces	2	Rideshare Program	6	Ventilation Systems - Parking Decks	6
Cleaning Procedures - Parking Decks	6	Low-emitting and Fuel Efficient Vehicles	4	Lighting Controls	8
Building Systems Commissioning	8	Alternative Fuel Vehicles	6	Energy Efficient Lighting System	8
Construction Waste Management	6	Alternative Fuel Fleet Vehicles	4	Stormwater Management	6
Regional Materials	4	Bicycle Parking	6	Rainwater Harvesting	4
Regional Labor	4	Bicycle Sharing/Rental	6	Graywater Reuse	2
Reused/Repurposed/Recycled Materials	6	Marketing/Educational Program	4	Indoor Water Efficiency	2
Third Party Sustainability Certification	12			Water Efficient Landscaping	2
Credentialed Management	4	INNOVATION		Roofing Systems	6
Life Cycle Assessment	8	Innovative Approach	6	Renewable Energy Generation	12
				Design for Durability	6
				Energy Efficiency - Storage	4

Total Management Points	90
Total Programs Points	64
Total Technology & Structure Design Points	88
Total Innovation Points	6
Total Parksmart Points	248



Parksmart Award Levels	
Pioneer	90 - existing facility
Bronze	110 - 134
Silver	135 - 159
Gold	160+

New construction

Required minimums in Management, Programs and Technology & Structure Design categories: 15 in each category for existing facilities and 20 in each category for new construction.

Program

Parking Types and Quantities

Parking Quantity Goal

600 – 650

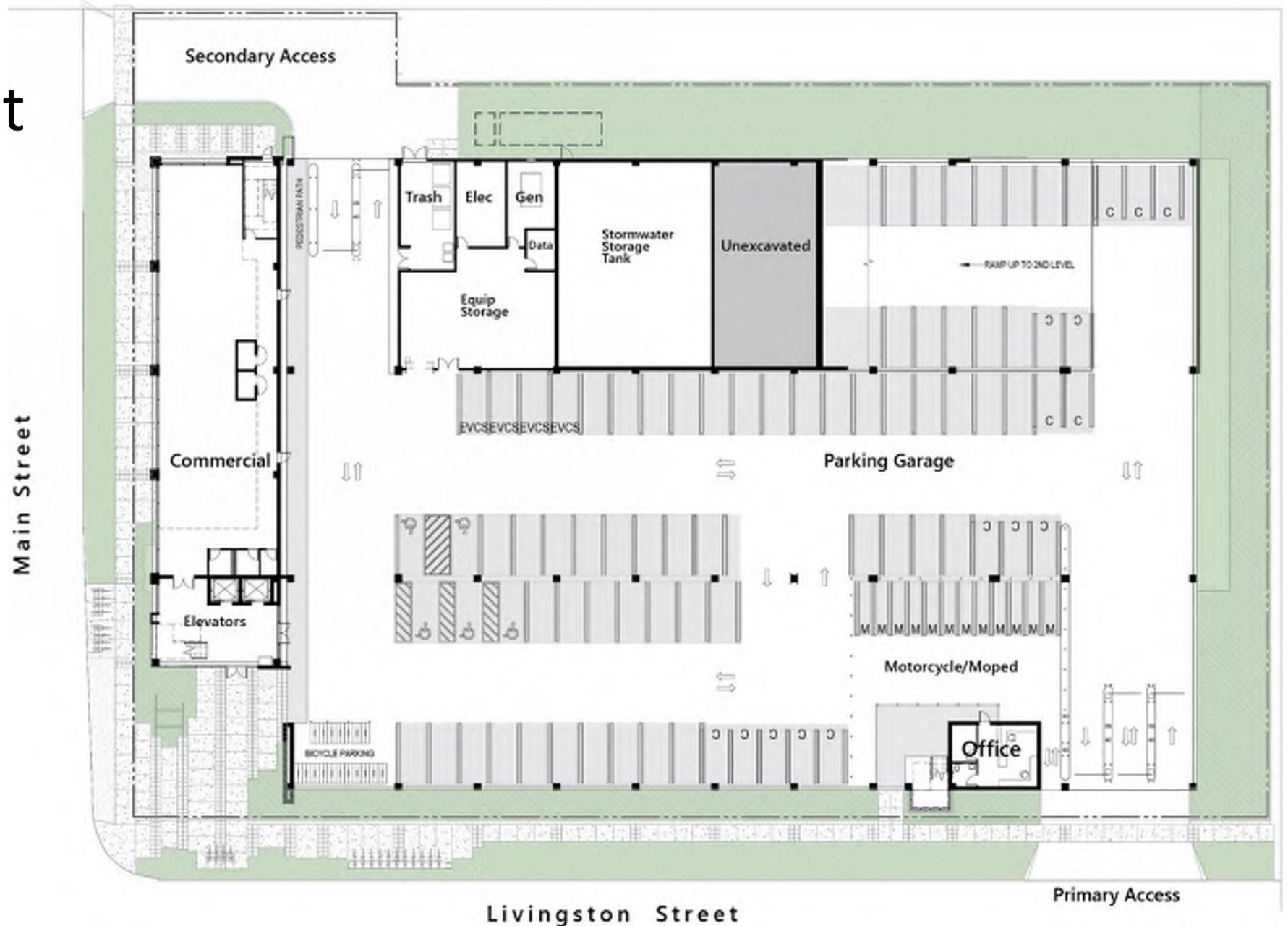
Note: 2% of total ADA (cars and vans) = 13

Type	Size	Quantity
Standard Vehicle	9' x 18'	583
Compact Car	8.5' x 16' (located at the ends of an aisle)	54
ADA Vehicle	8' x 18' + 5' aisle	11
ADA Van	8' x 18' + 8' aisle	2
<hr/>		
		Total
		650
EV Charging Station		4
Motorcycle	4.5' x 8'	12
Bicycle (not including 12-15 B-Cycles)		34

Overall Project

Planning Diagram

Level 1

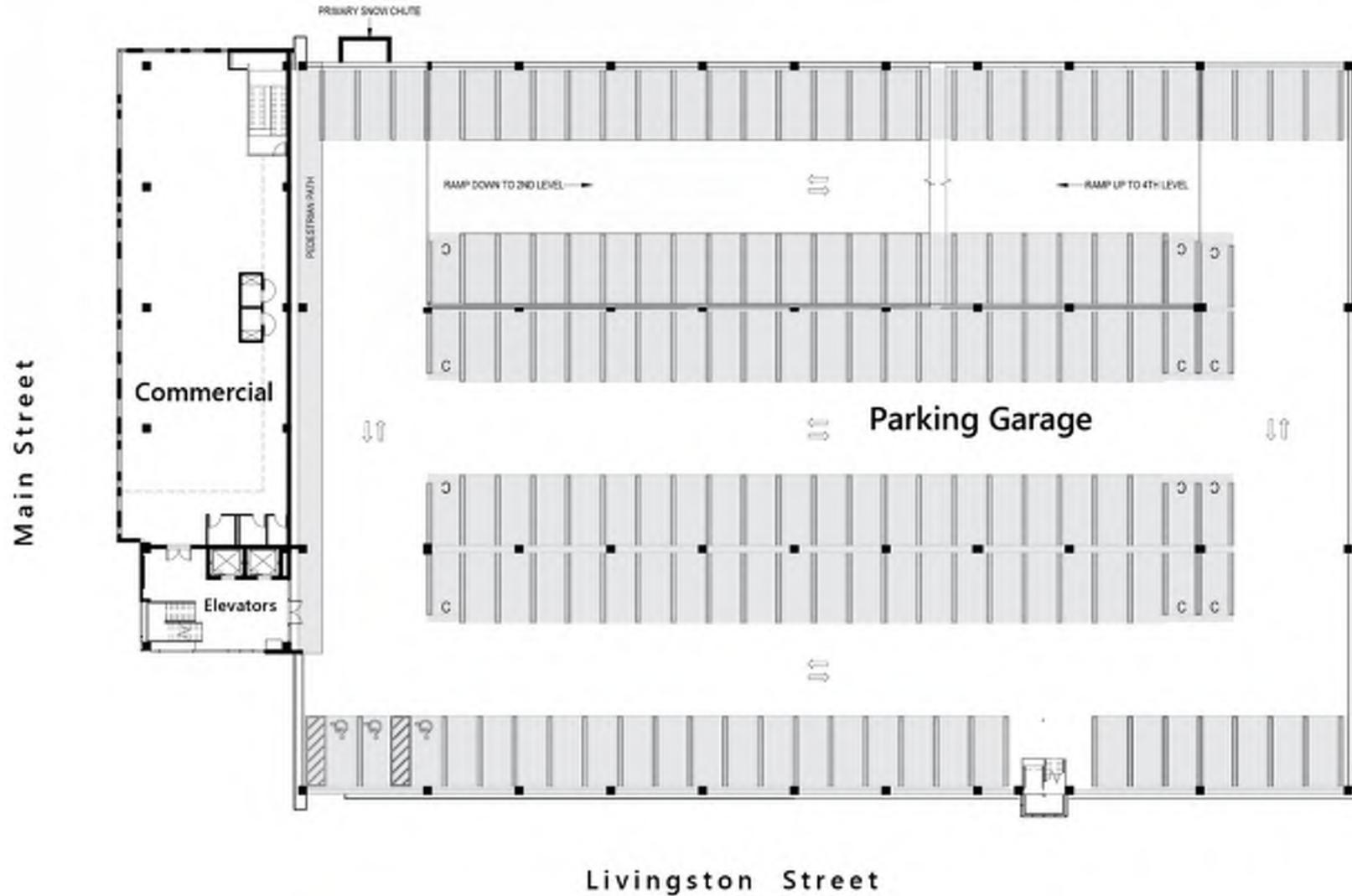


Overall Project

Planning Diagram

Level 3

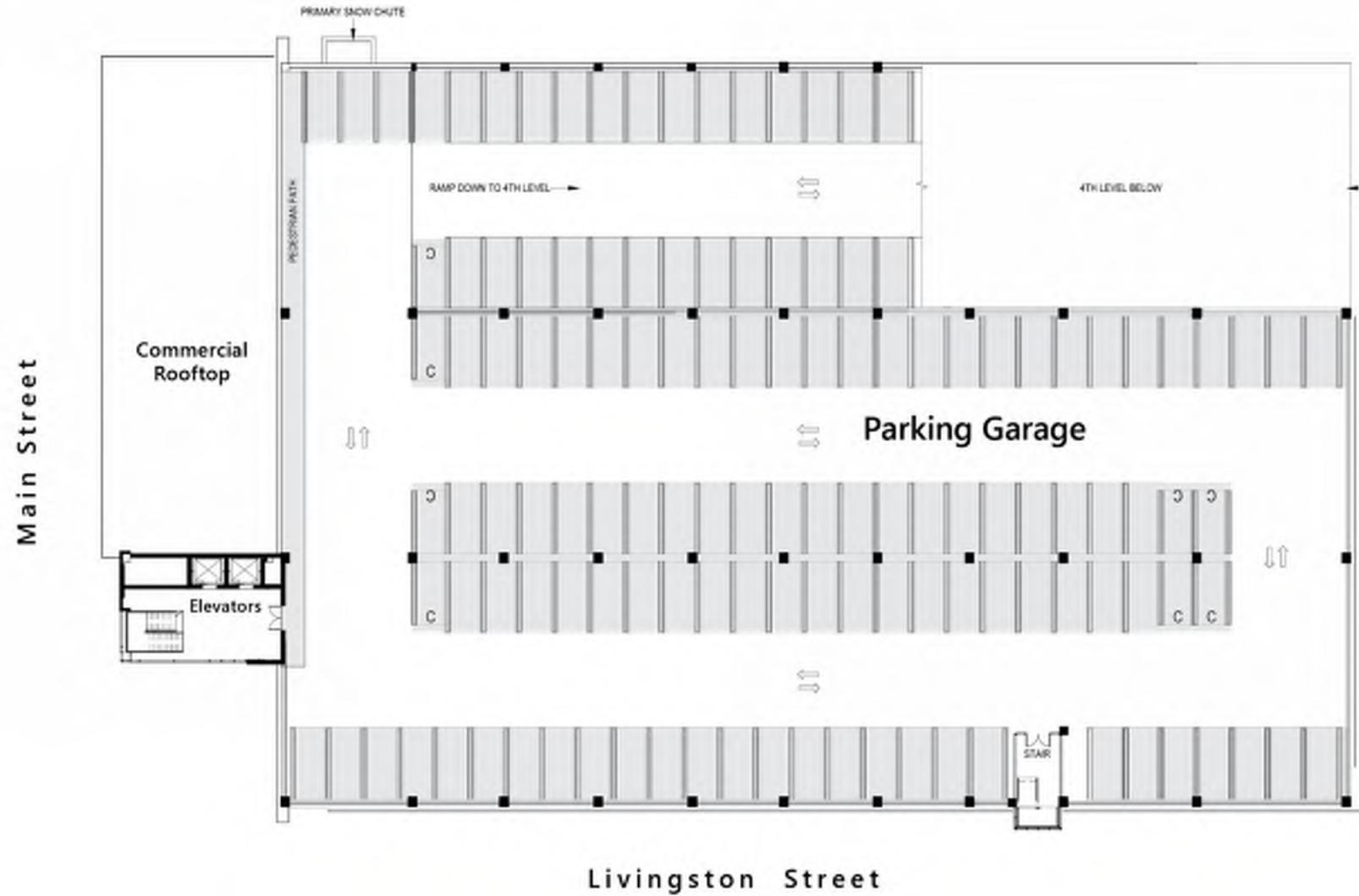
Level 2 Commercial



Overall Project

Planning Diagram

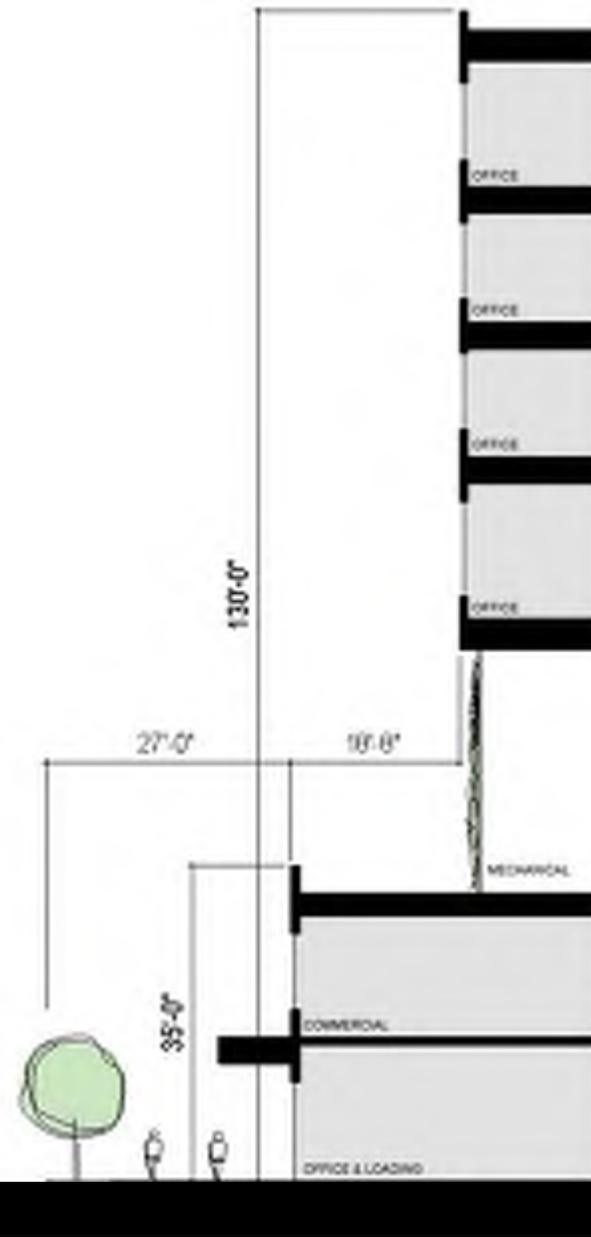
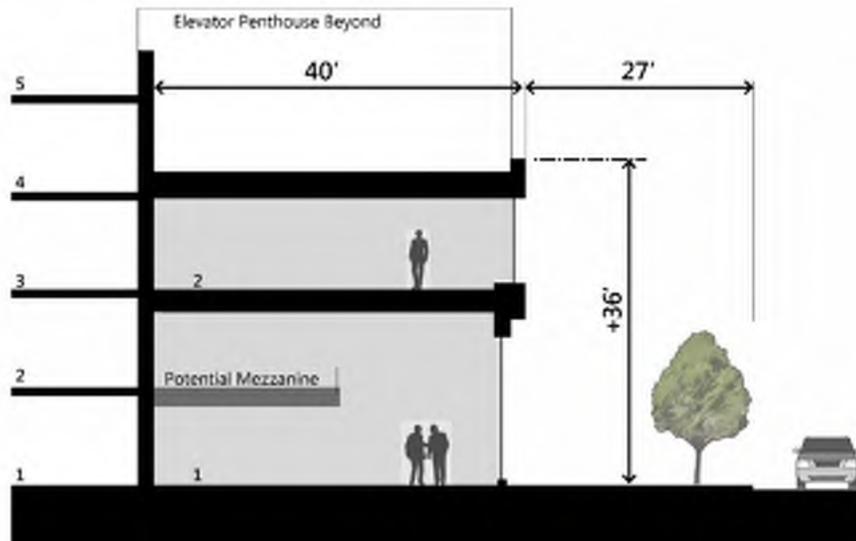
Level 5



Site Section

Main St.

Ramp/Commercial



Cosmos

Aerial Image



Exterior Materials

Charcoal Brick

White Concrete



Elevator Lobby

Image



Exterior Materials

Charcoal Brick

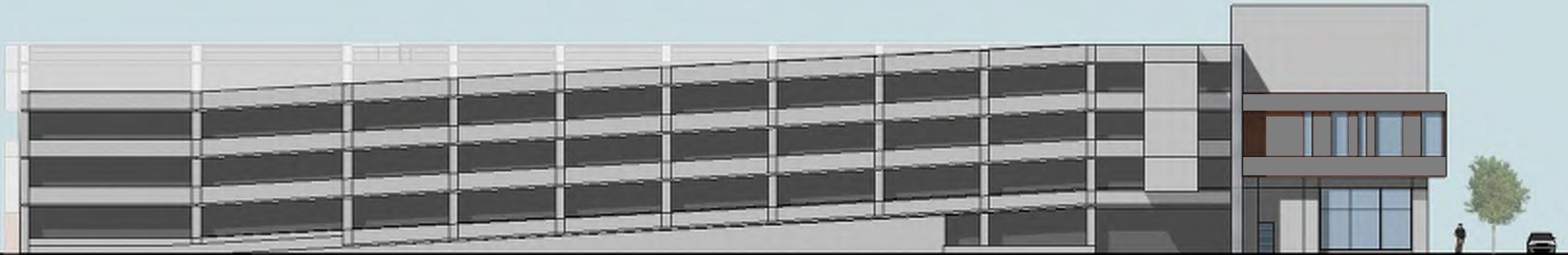
White Concrete



Overall Project

East Elevation

Parking Garage/Commercial



Exterior Materials

Charcoal Brick
White Concrete



Concrete Knee Wall



Screen



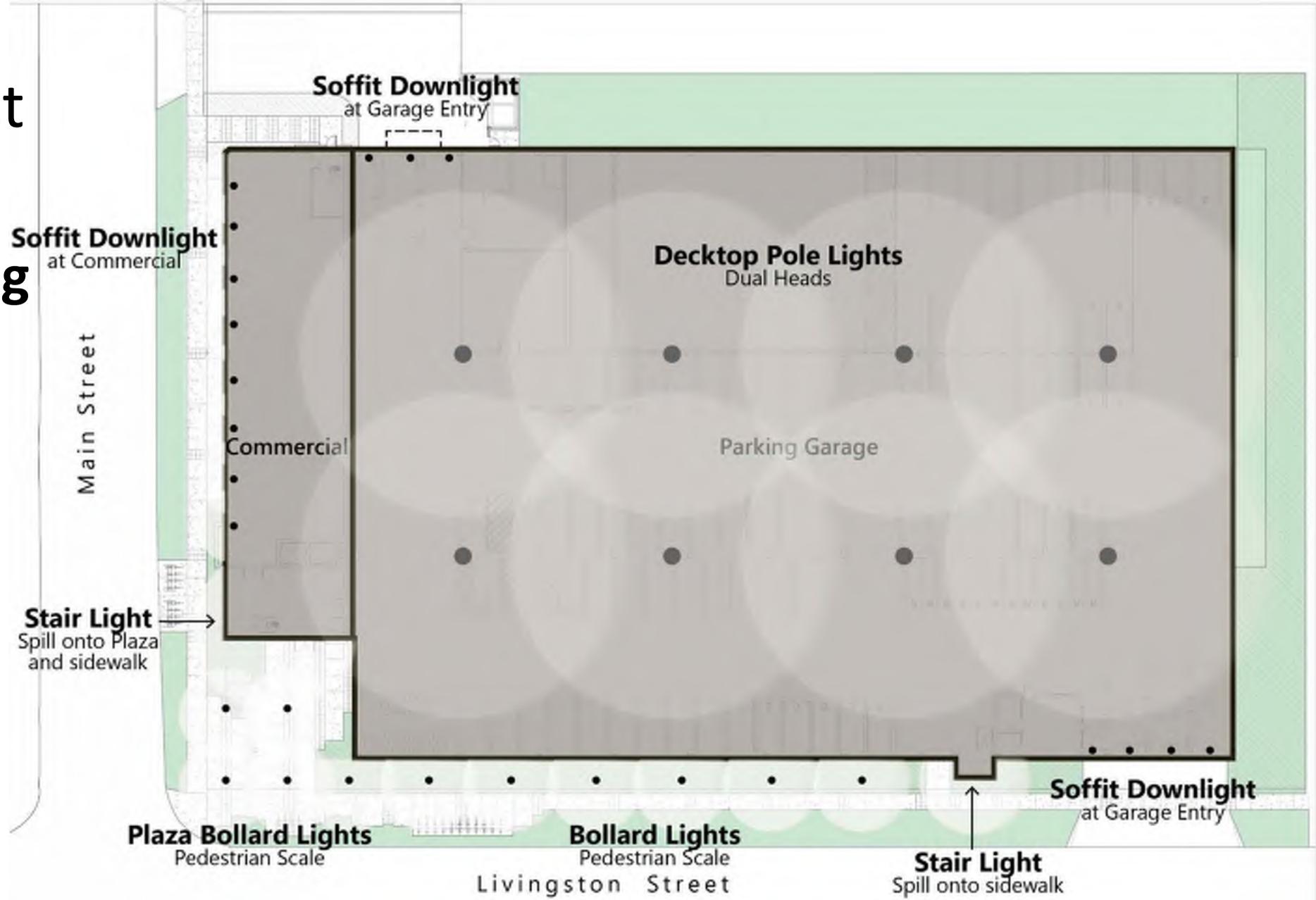
Screen



Overall Project

Exterior Lighting Diagram

Garage Rooftop & Public Realm



Lighting



Signage Diagram

Garage Signage

Sign District

TE – Group 3

Wall Signs

- 1 per façade (40% of signable area or 2 SF/Lineal FT of frontage)
- 3 per façade for multiple tenants

Ground Signs (Monument or Pole)

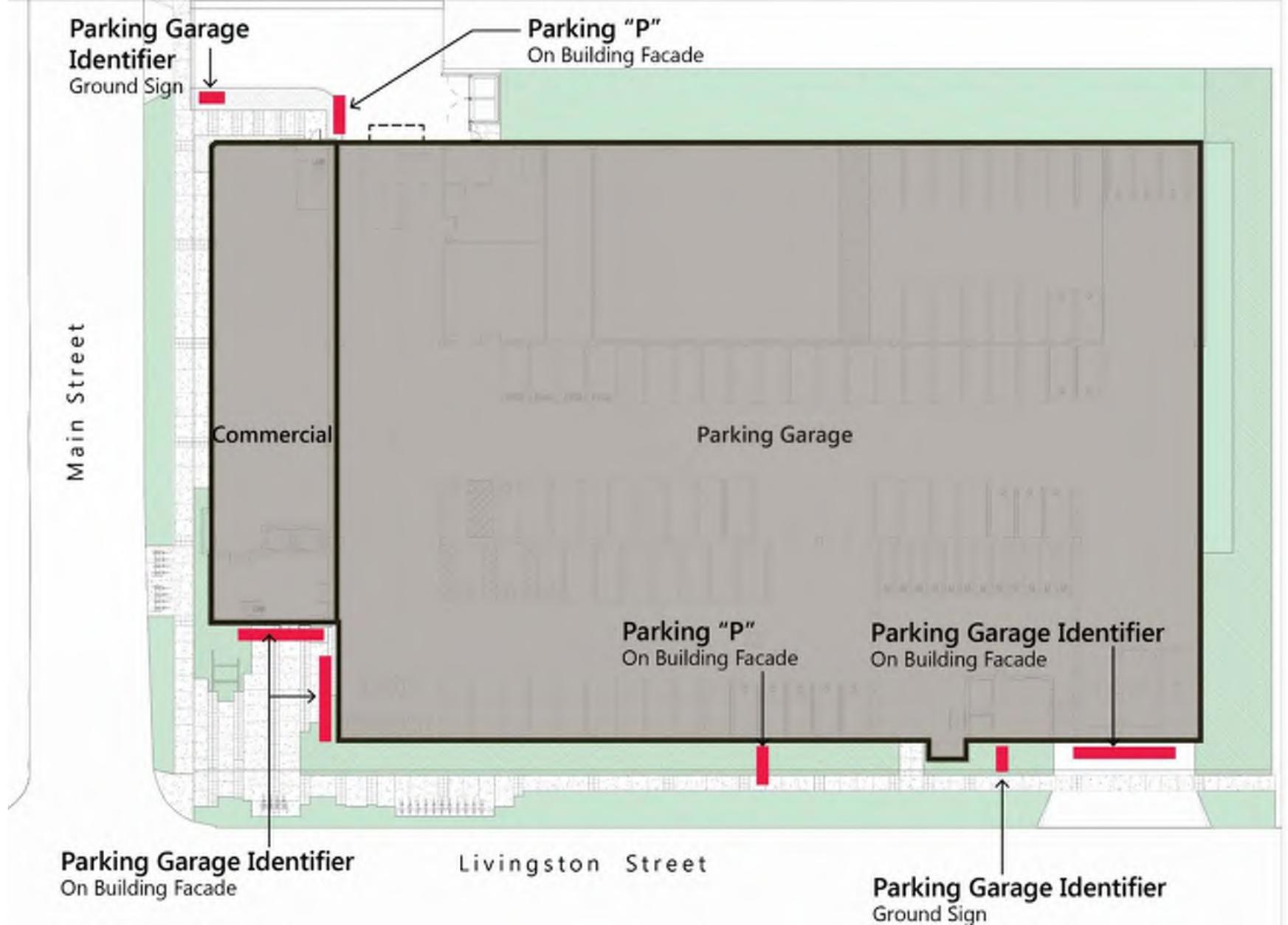
- 2 per Zoning Lot
- 3 per façade for multiple tenants

Projecting Signs

- 6' Max Projection
- Must meet overall signage allowable areas

Window Signs

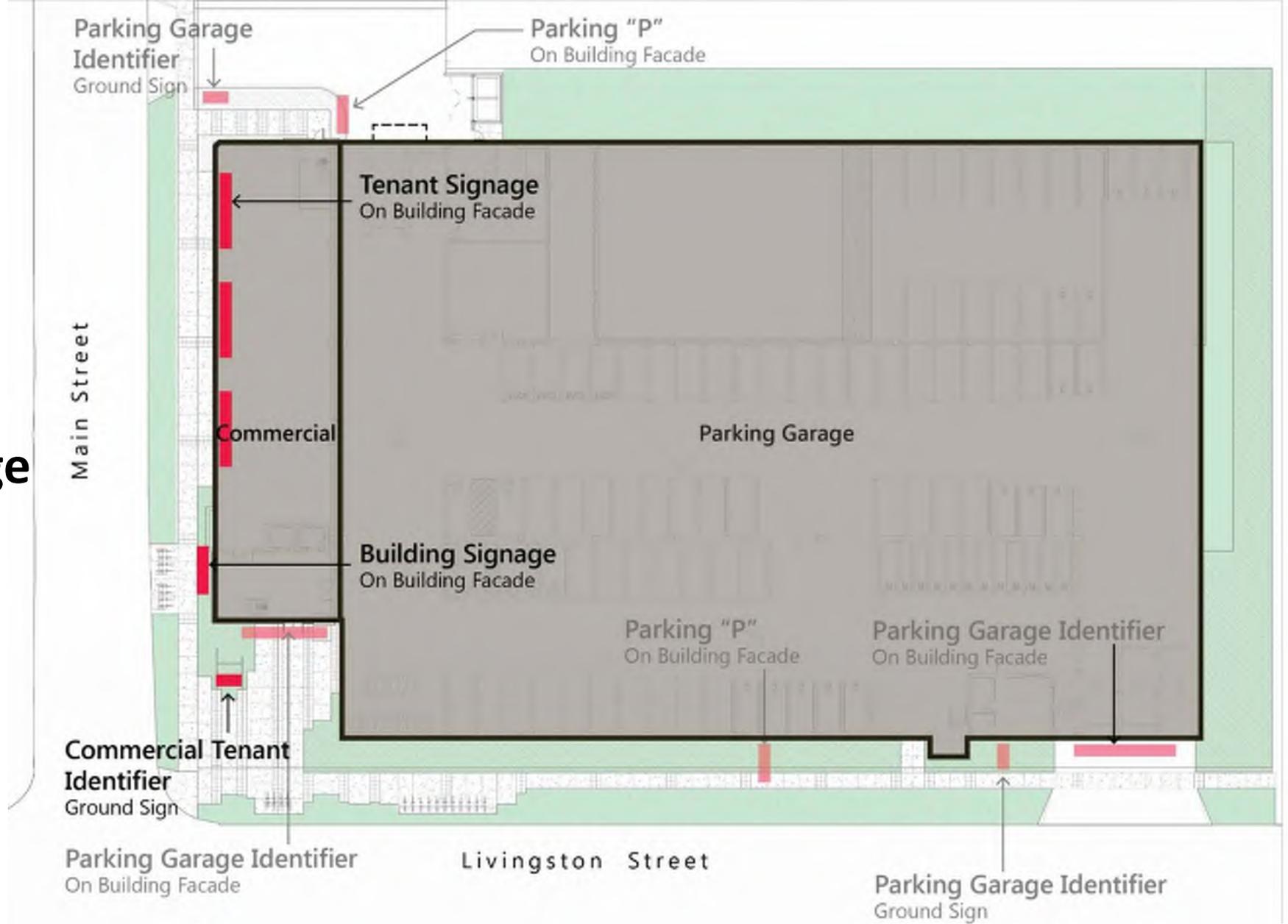
- 20% of Window Area
- No Limit



Overall Project

Signage Diagram

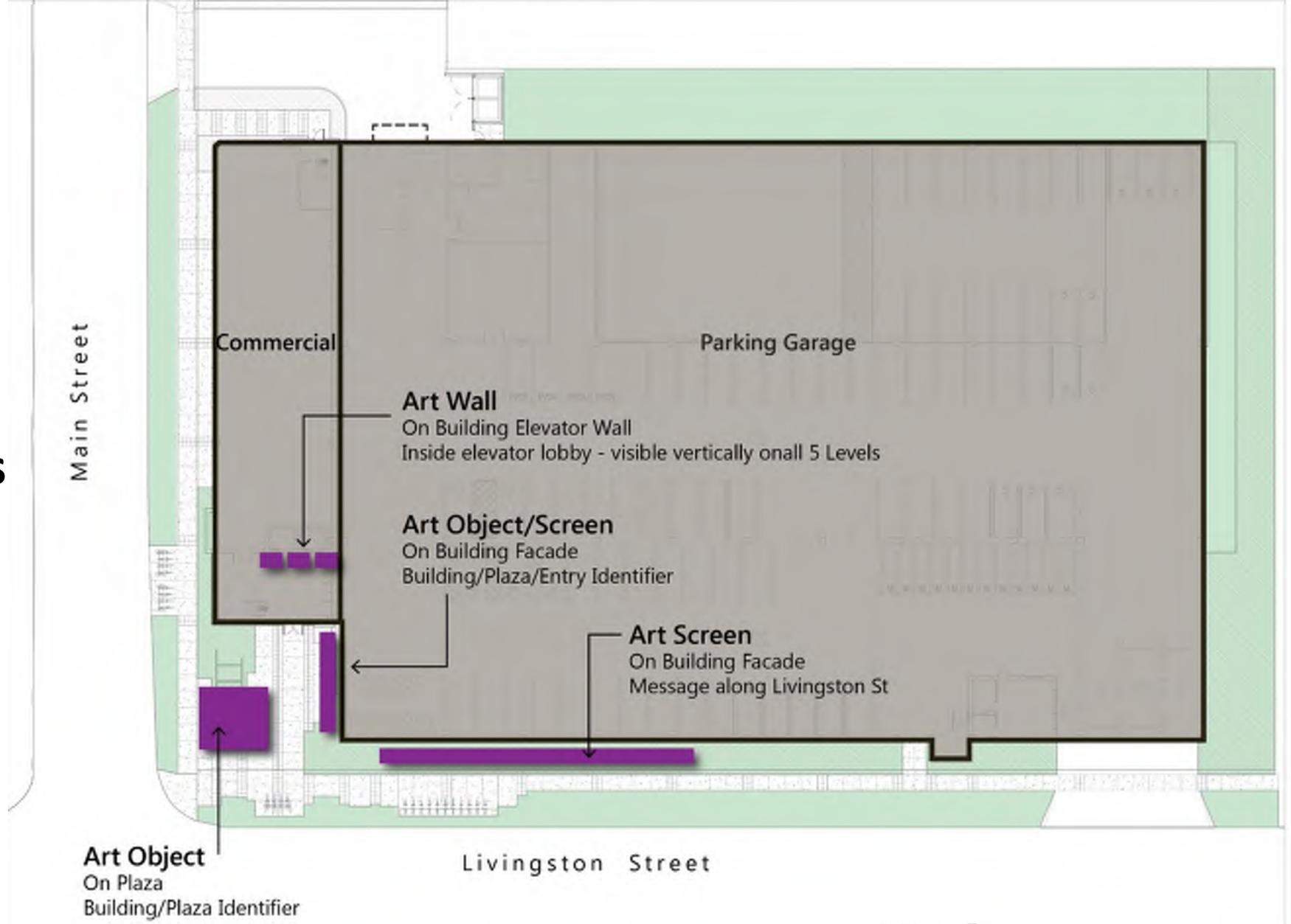
Commercial Signage



Overall Project

Public Art Diagram

Potential Locations



Site

Overall Landscape Approach

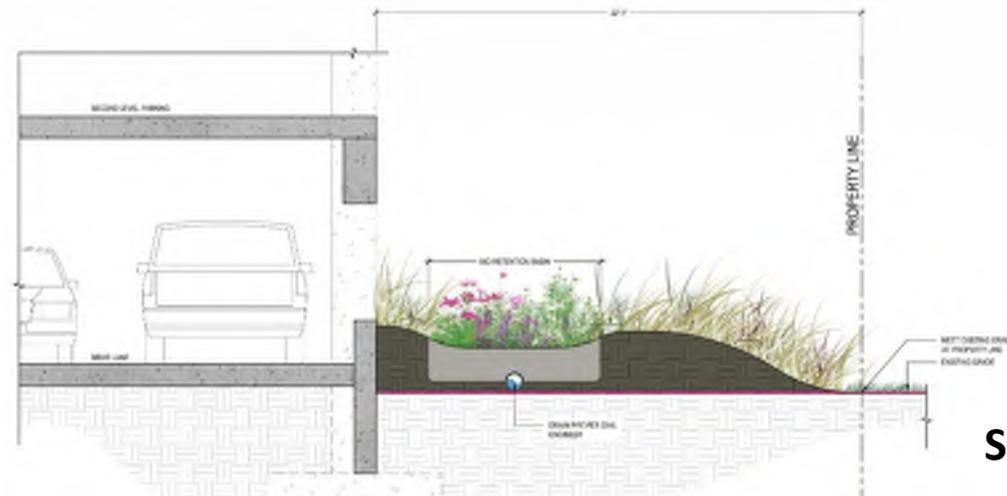


Site

Section Details



Site section at Livingston Street



Site section at south Bioswale

Site

Planting Materials
Urbscape



