

January 13, 2015

Al Martin
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd
PO Box 2985
Madison, Wisconsin 53701



Re: Design Progression – Final UDC
3204 Golden Copper Lane
Maple Grove Commons
Madison, WI
KBA Project #1355

Mr. Al Martin:

The following narrative is a summary of the design progression changes that have been made to the plans at 3204 & 3228 Golden Copper Lane since they were submitted for Site Plan Review on September 3, 2015. The design changes noted below were made in response to direct pricing feedback from the General Contractor for the project. The scope and nature of the changes that are proposed are necessary to maintain the feasibility of the project without compromising the architectural character or overall quality of the project.

C-1.0 – Site Plan

- The concrete plaza adjacent to the community room at 3228 Golden Copper Lane (Building B) has been removed.
- The grading around Building B has been revised.

L-1.0 – Landscape Plan

- Plants highlighted on the landscape plan will be removed. Remaining plants will be distributed evenly to fill in the site. The landscaping requirements will still be met after the highlighted plants are removed.

A-1.0B – Basement Plan Building B

- The trash room has been relocated inside the overall footprint of the basement.
- One parking stall was removed to accommodate space for the trash room.
- The northwest corner of the basement layout was modified.
- Several bicycle parking stalls have been relocated in order to accommodate additional stalls.

A-1.1A, A-1.2A, A-1.3A, A-1.1B, A-1.2B, A-1.3B – Floor Plans Building A & B

- HVAC units have been relocated in plan.

A-1.2A, A-1.2B - Second Floor Plan Building A & B

- Window patterns have been modified to match the window patterns on the third floor.

A-2.1, A-2.2, A-2.3, A-2.4 – Elevations Building A & B

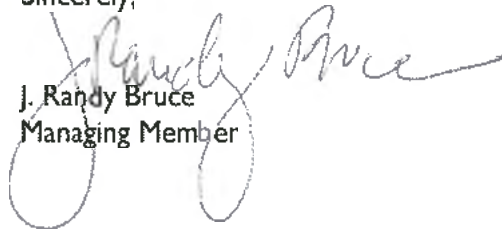
- The amount of brick veneer has been reduced.
- The concrete plaza adjacent to the community room at 3228 Golden Copper Lane has been removed (A-2.3 & A-2.4, West & South Elevation, Building B).



- Window patterns on the second floor have been modified to match the window patterns on the third floor.
- The balcony railings have been modified from a double top rail with vertical pickets to a single top rail with vertical pickets.
- Roof overhangs have been reduced from 36" to 24".
- Four of the first floor patio doors have been replaced with sliding patio doors (A-2.3, North Elevation, Building B)
- The quad windows on the corner bay have been modified to tripe windows on the North & East elevations of Building A.
- All composite arch trim above the first floor patios was removed except at the main building entries.
- The HVAC penetrations at the new locations are shown.

Thank you for your time reviewing our proposal.

Sincerely,



J. Randy Bruce
Managing Member

June 24, 2015
Revised January 13, 2016



Mr. Al Martin
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd
PO Box 2985
Madison, Wisconsin 53701

Re: Letter of Intent – Final UDC Application
Maple Grove Commons
Madison, WI
KBA Project # 1355

Mr. Al Martin:

The following is submitted together with the plans and application for the staff and Plan Commission's consideration of approval.

Organizational structure:

Applicant: Oakbrook Corporation
/Developer: 2 Science Court
Madison, WI 53711
608-238-2600
608-238-2625 fax
Contact: Michael C. Morey
mcmorey@oakbrookcorp.com

Engineer: D'Onofrio & Kottke
7530 Westward Way
Madison, WI 53717
(608) 833-7530
(608) 833-1089 fax
Contact: Ron Klaas
rklaas@donofrio.cc

Architect: Knothe & Bruce Architects, LLC
7601 University Avenue, Ste 201
Middleton, WI 53562
608-836-3690
608-836-6934 fax
Contact: Randy Bruce
rbruce@knothebruce.com

Landscape Design: Ken Saiki Design
303 South Paterson Street
Madison, WI 53703
(608) 251-3600
Contact: Ken Saiki
ksaiki@ksd-la.com



Please note that the Applicant/Developer is not the current owner of the property; the current owner is Mad Grove LLC. The Applicant/Developer intends to purchase the property from Mad Grove LLC in the fall of 2015.

Introduction:

This development is located adjacent to the corner of McKee Road and Maple Grove Drive on Lot 244 and 245 of the East Pass addition to Country Grove. The site is currently zoned under an original Planned Development. This SIP application is part of the GDP amendment application approved on January 14, 2015.

Site Planning & Building Architecture:

The site plan is designed to provide an integrated medium-density housing environment with a variety of rental apartments. Vehicular access to the site is achieved from a secondary street between McKee Road and Mader Drive. The site entry drive will provide access to the surface level parking and lower level enclosed parking. Pedestrian access to the site is from both McKee Road and Mader Drive via sidewalks that have terraces, street lighting, and street trees.

The two new buildings will be three stories and contain 80 apartments, including a mix of market rate and affordable housing units. The development will incorporate underground vehicle and bike parking with additional surface parking provided on site.

The building façades will reflect variations in color, texture and material with high-quality materials. The exterior materials will be a combination of masonry and siding.



Site Development Data:

Densities:

Lot Area	139,392 S.F. or 3.2 acres
Dwelling Units	80 units (51 & 29)
Lot Area / D.U.	1,742 S.F./unit
Density	25 units/acre
Lot Coverage	68,130 S.F.
Usable Open Space	51,550 S.F.

Floor Area Ratio:

Bldg #1	57,468 S.F.
Bldg #2	32,685 S.F.
Gross Floor Area	90,153 S.F.
Floor Area Ratio	.65
<i>(Excludes parking)</i>	

Dwelling Unit Mix: Apartments

One Bedroom	34
Two Bedroom	33
Three Bedroom	13
Total	80

Vehicle Parking Stalls

Surface	41
Underground	79 (51 & 29)
Total	120

Bicycle parking Stalls

Surface	18
Underground	77
Total	95

Building Height: 3 Stories

Project Schedule:

This project will be a phased development with construction commencing in the spring of 2016 with a 10 to 12 month timeline and scheduled completion/occupancy slated for late summer or early fall 2017.

Hours of Operation:

The property will be operated as a residential housing facility. The building will have an on-site management office. Hours of operation are expected to be from 8:00 A.M. – 5:00 P.M., Monday through Friday, with previously scheduled appointments on Saturdays.

Social & Economic Impacts:

The development will have a positive social and economic impact through the creation of additional affordable housing targeting families, seniors, persons with disabilities, and those that require additional supportive services in order to live independently. The project will create 12-15 new construction jobs as well as two permanent, full-time positions at the property dedicated to managing and maintaining the facility and servicing the residents.

Value of Land/Estimated Project Costs:

The value of multifamily land is driven by the number of dwelling units that can be developed on a given parcel. The land price agreed upon by the owner and developer is based on a project size of 80 units at a total value of \$960,000. The total project budget, including land, hard/soft costs, operating reserves and other fees is approximately \$12,500,000. The City of Madison, through their Affordable Housing Initiative (AHI), has agreed to provide financial resources in the amount of \$1,000,000 in order to support the project and meet the goals and objectives of the city's initiative.



Management Plan

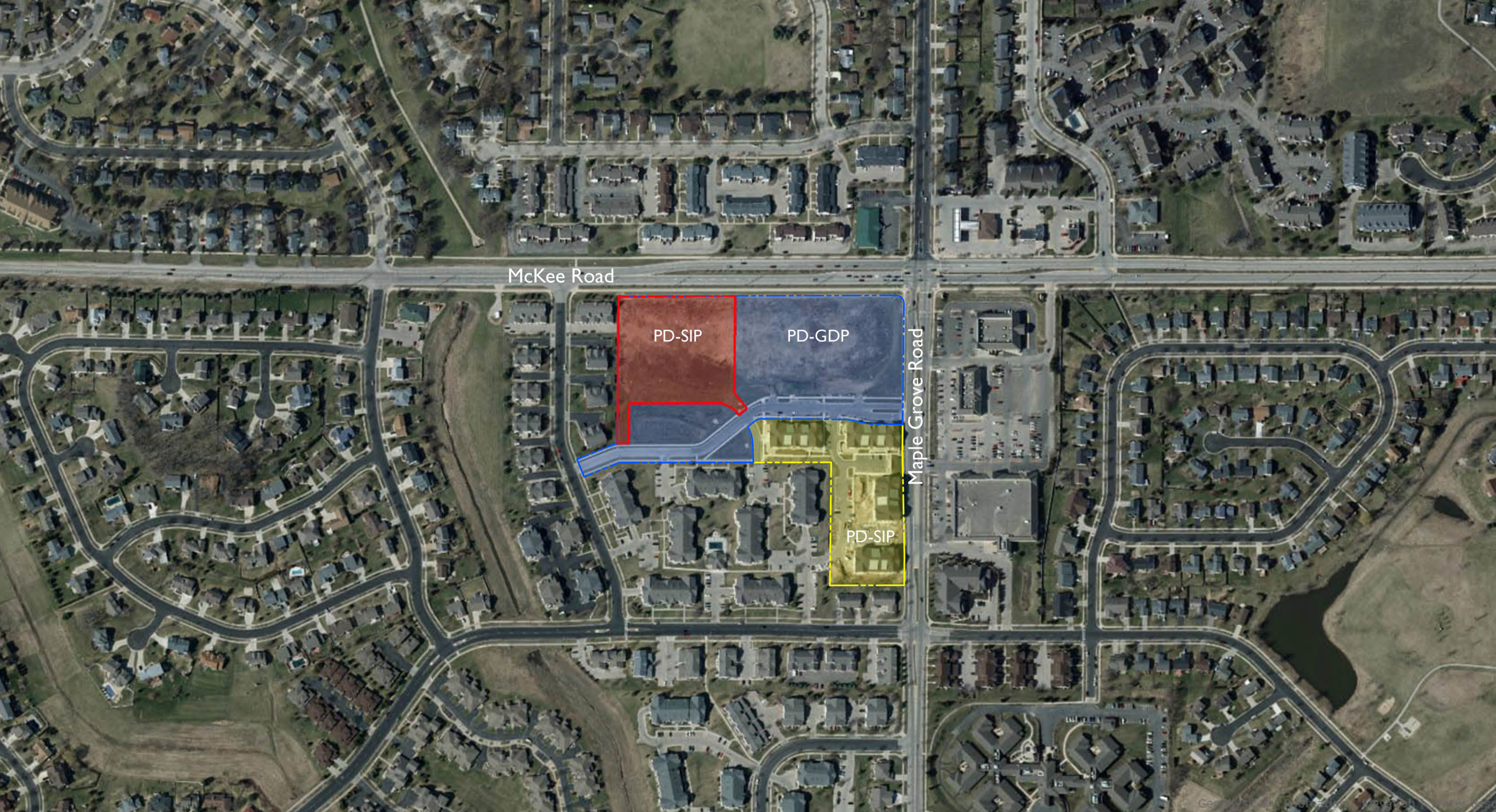
Detailed information about the management of the property can be found in the attached Maple Grove Commons Management Plan.

Thank you for your time in reviewing our proposal.

Very Truly Yours,

A handwritten signature in black ink, appearing to read 'J. Randy Bruce', with a long horizontal flourish extending to the right.

J. Randy Bruce, AIA
Managing Member



McKee Road

PD-SIP

PD-GDP

Maple Grove Road

PD-SIP



Aerial Map
Maple Grove

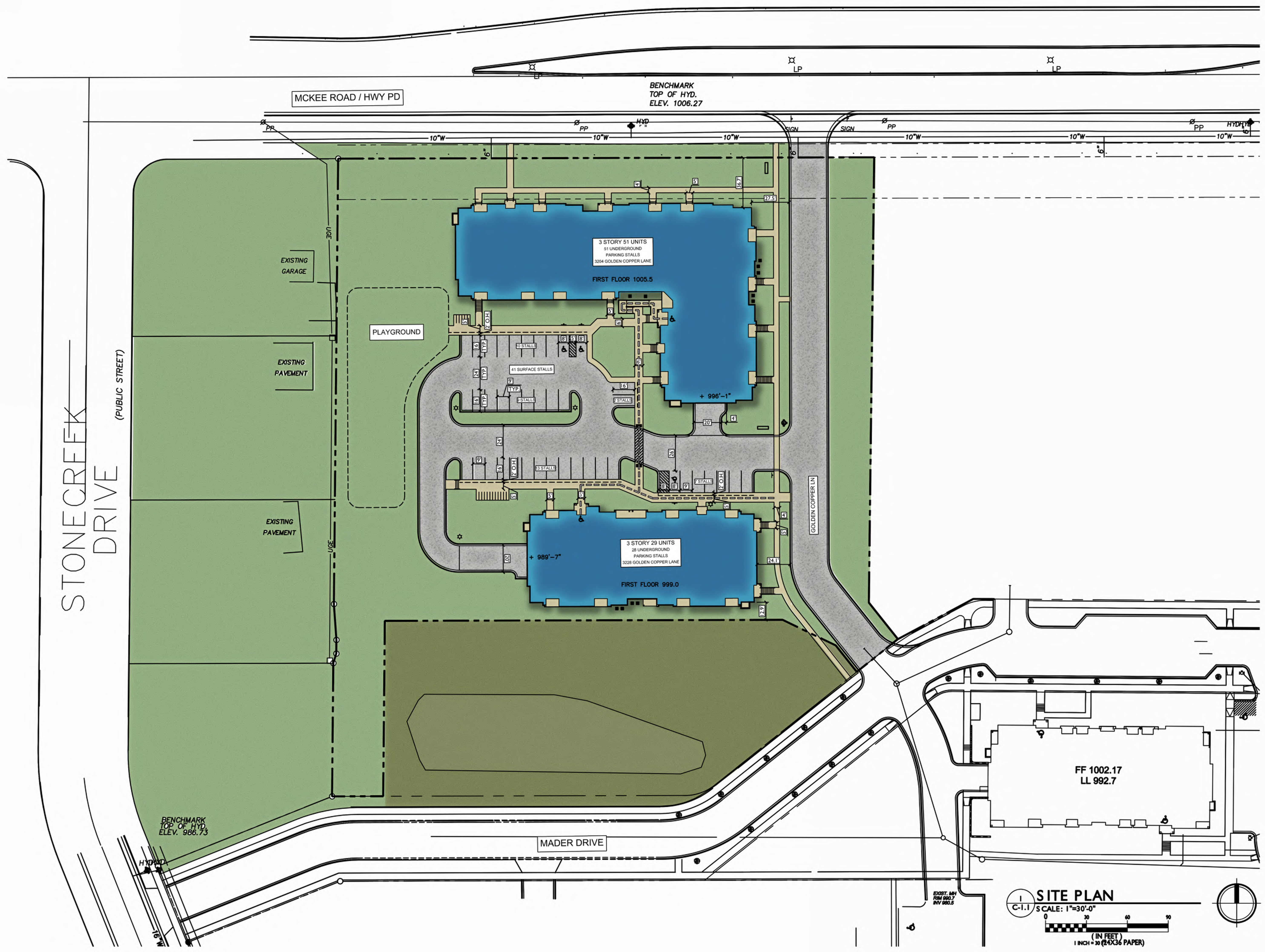


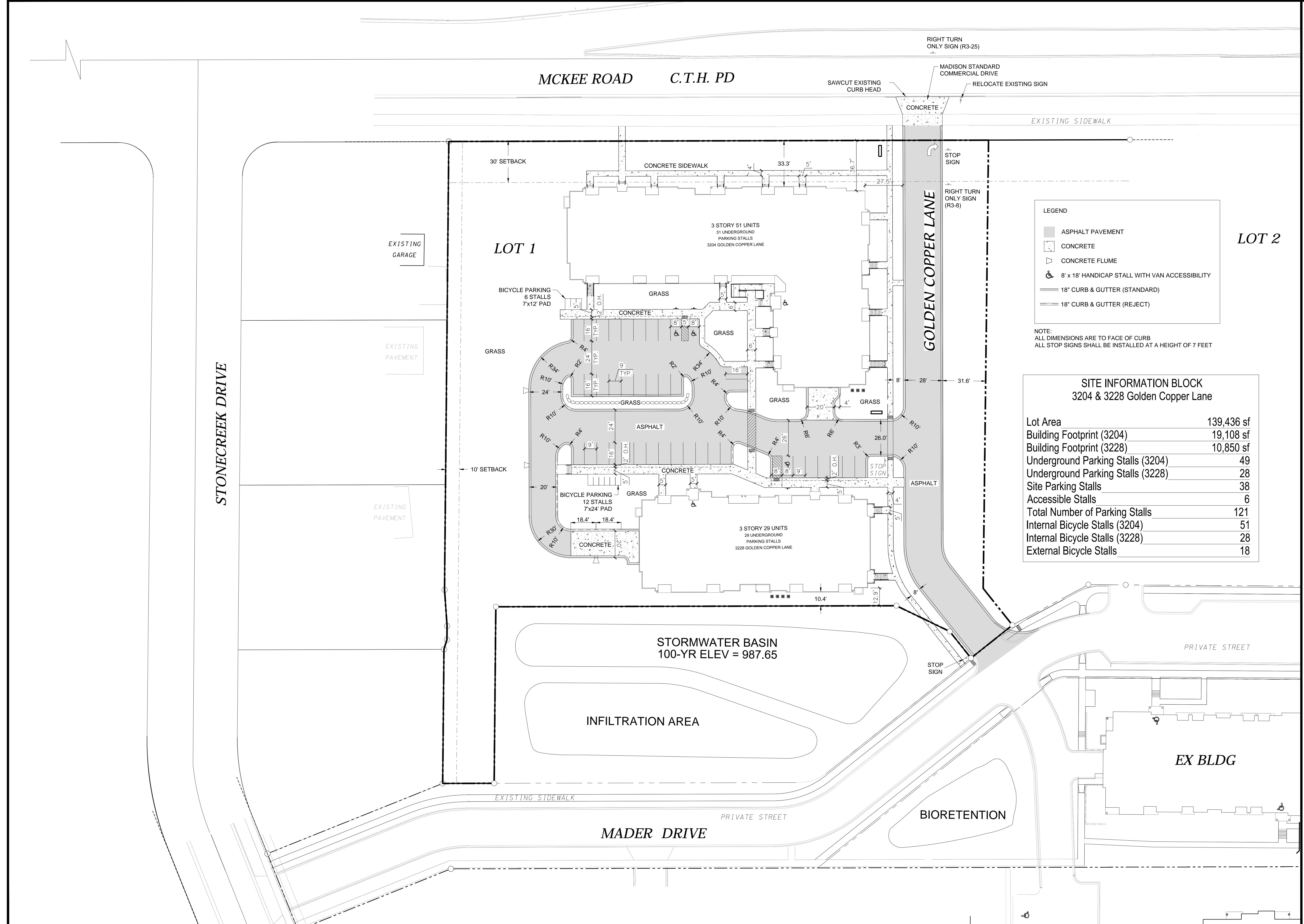
ISSUED
 GDP Amendment - November 19, 2014
 Issued for SIP Submittal - June 24, 2015
 Issued for UDC - August 5, 2015
 Issued for Site Plan Review - Sept 2, 2015

PROJECT TITLE
Maple Grove Commons







3204 & 3228 Golden Copper Ln.
Madison, WI
SHEET TITLE
SITE PLAN

SHEET NUMBER
C-1.1
PROJECT NO. 1355
 © 2013 Knothe & Bruce Architects, LLC





LEGEND

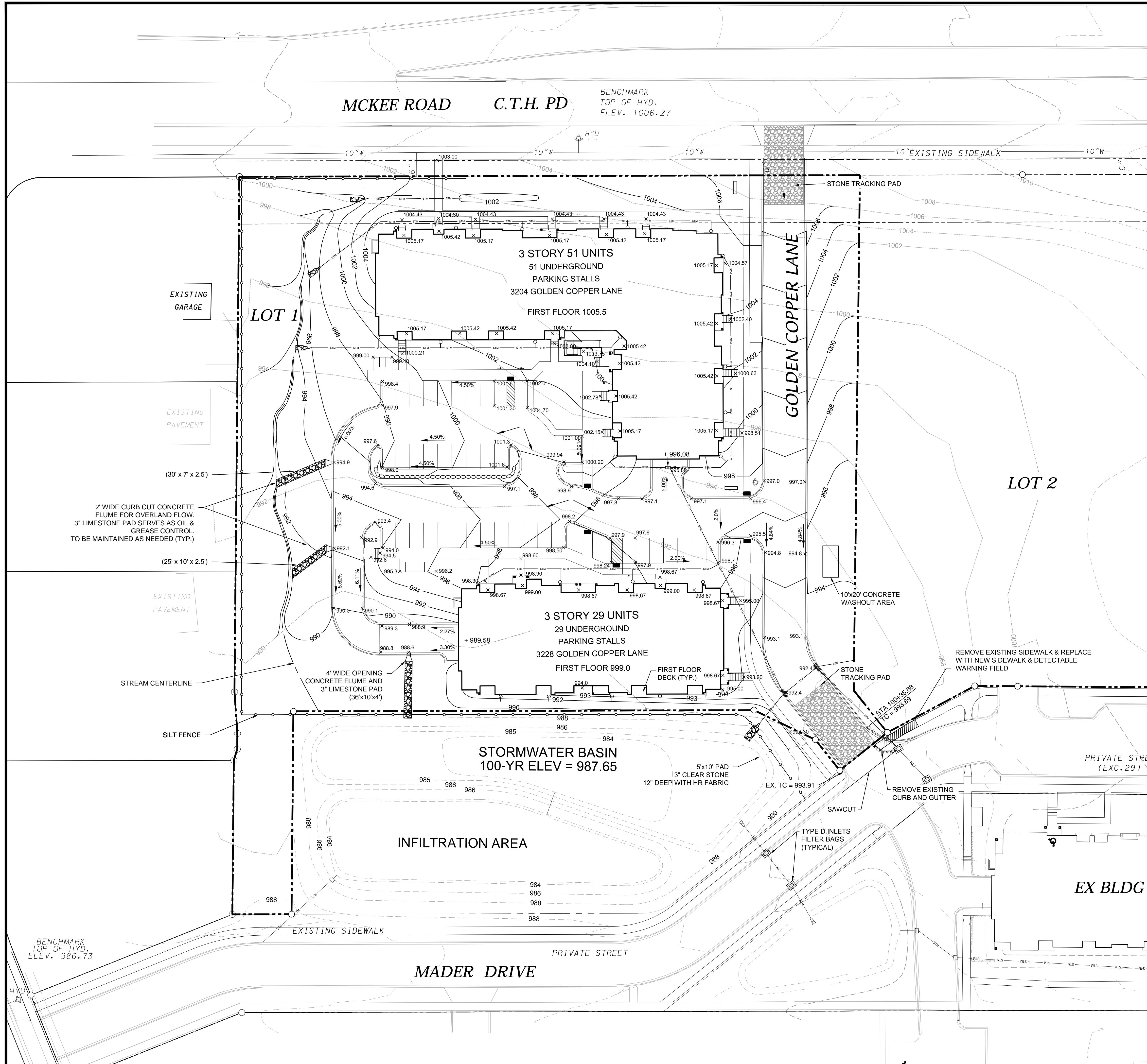
-  ASPHALT PAVEMENT
-  CONCRETE
-  CONCRETE FLUME
-  8' x 18' HANDICAP STALL WITH VAN ACCESSIBILITY
-  18" CURB & GUTTER (STANDARD)
-  18" CURB & GUTTER (REJECT)

NOTE:
 ALL DIMENSIONS ARE TO FACE OF CURB
 ALL STOP SIGNS SHALL BE INSTALLED AT A HEIGHT OF 7 FEET

SITE INFORMATION BLOCK
 3204 & 3228 Golden Copper Lane

Lot Area	139,436 sf
Building Footprint (3204)	19,108 sf
Building Footprint (3228)	10,850 sf
Underground Parking Stalls (3204)	49
Underground Parking Stalls (3228)	28
Site Parking Stalls	38
Accessible Stalls	6
Total Number of Parking Stalls	121
Internal Bicycle Stalls (3204)	51
Internal Bicycle Stalls (3228)	28
External Bicycle Stalls	18

SITE LAYOUT PLAN



SITE GRADING AND EROSION CONTROL NOTES

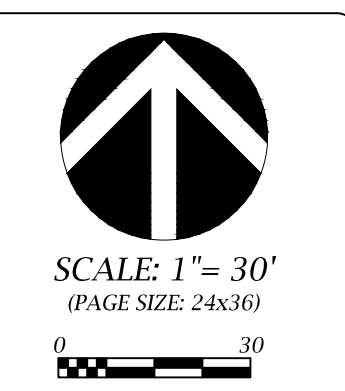
- All site grading and erosion control shall conform to the City of Madison Chapter 37 Ordinance and any addendums prior to the contract bid date.
- Silt fence and the stone tracking pad shall be installed at the start of site grading and maintained until the site has been stabilized.
- Areas disturbed within the McKee Road right-of-way shall be restored with 4" topsoil, fertilizer, seed and mulch.
- Disturbed areas within the site shall be restored per the approved landscape plan.
- McKee Rd and Mader Dr shall be cleaned daily as necessary. Hydraulic flushing will not be allowed.
- Erosion control shall be the responsibility of the Earthwork Contractor until the site has been stabilized. Erosion measures as listed shall be the minimum that will be acceptable.
- The Contractor shall install additional erosion measures as requested in writing by the project superintendent or the City of Madison within 24 hours of notification.
- Once the site has undergone final restoration and vegetation has established, the silt fence shall be removed and if necessary, restored with fertilizer, seed and mulch. Alternatively, if vegetation has not established, erosion matting must be placed on all disturbed areas that may drain toward the silt fence.
- Type D inlet filter bags shall be installed in all inlets receiving runoff immediately upon placement of structure. They shall be cleaned and maintained throughout construction and removed after a satisfactory stand of grass has been achieved.
- Slopes 4:1 or steeper shall be restored with 4" topsoil, fertilizer, seed and Class I, Type A erosion mat. Seed mix shall be consistent with the approved landscape plan.
- In the event construction dewatering for site utilities is necessary, discharge from the hose shall be directed to a 3" clear stone weeper approximately 10" in diameter and 12" high.
- Concrete washout area shall be located a minimum of 50 feet from any storm inlet and used by all concrete trucks cleaning out their chutes. Area shall be cleaned out and material disposed of off-site on a weekly basis.
- The applicant shall replace all sidewalk and curb and gutter that abuts the property that is damaged by the construction, or any sidewalk and curb and gutter, which the City Engineer determines needs to be replaced because it is not a desirable grade, regardless of whether the condition existed prior to beginning construction.
- All work in the public right of way shall be performed by a City-licensed contractor.
- All damage to the pavement on McKee Road adjacent to this development shall be restored in accordance with the City of Madison's Pavement Patching Criteria.

LEGEND

- x 999.9 FINISH SPOT GRADE
- SILT FENCE
- [STIPPLED] STONE TRACKING PAD
- 999 — PROPOSED CONTOUR
- - - 999 - - - EXISTING CONTOUR

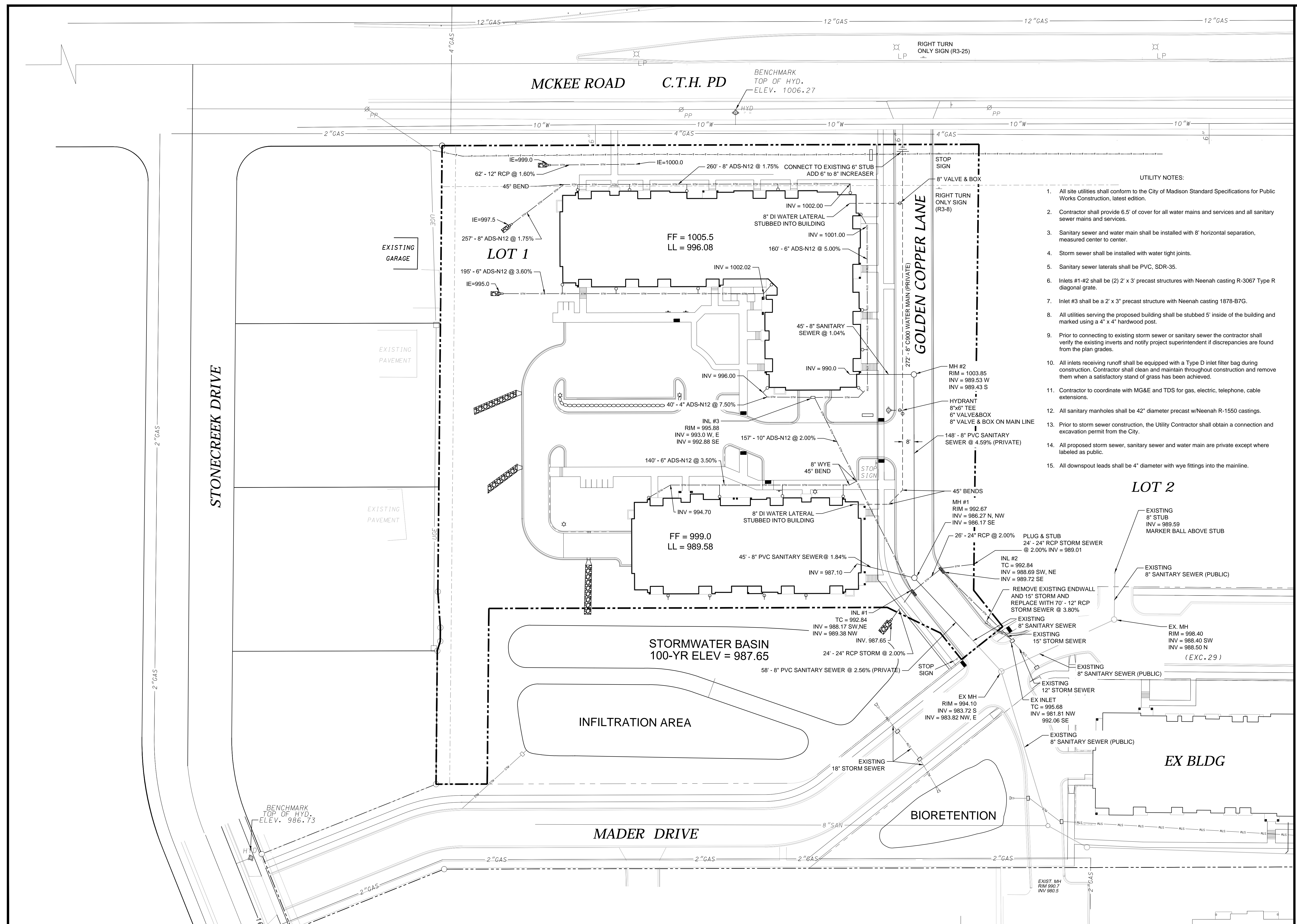
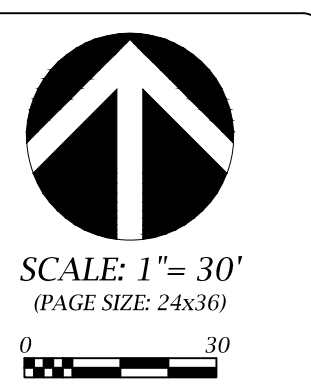
D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
 7530 Westward Way, Madison, WI 53717
 Phone: 608.833.7530 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

GRADING AND EROSION CONTROL
MAPLE GROVE COMMONS
 3204 & 3228 GOLDEN COPPER LANE
 CITY OF MADISON, DANE COUNTY, WISCONSIN



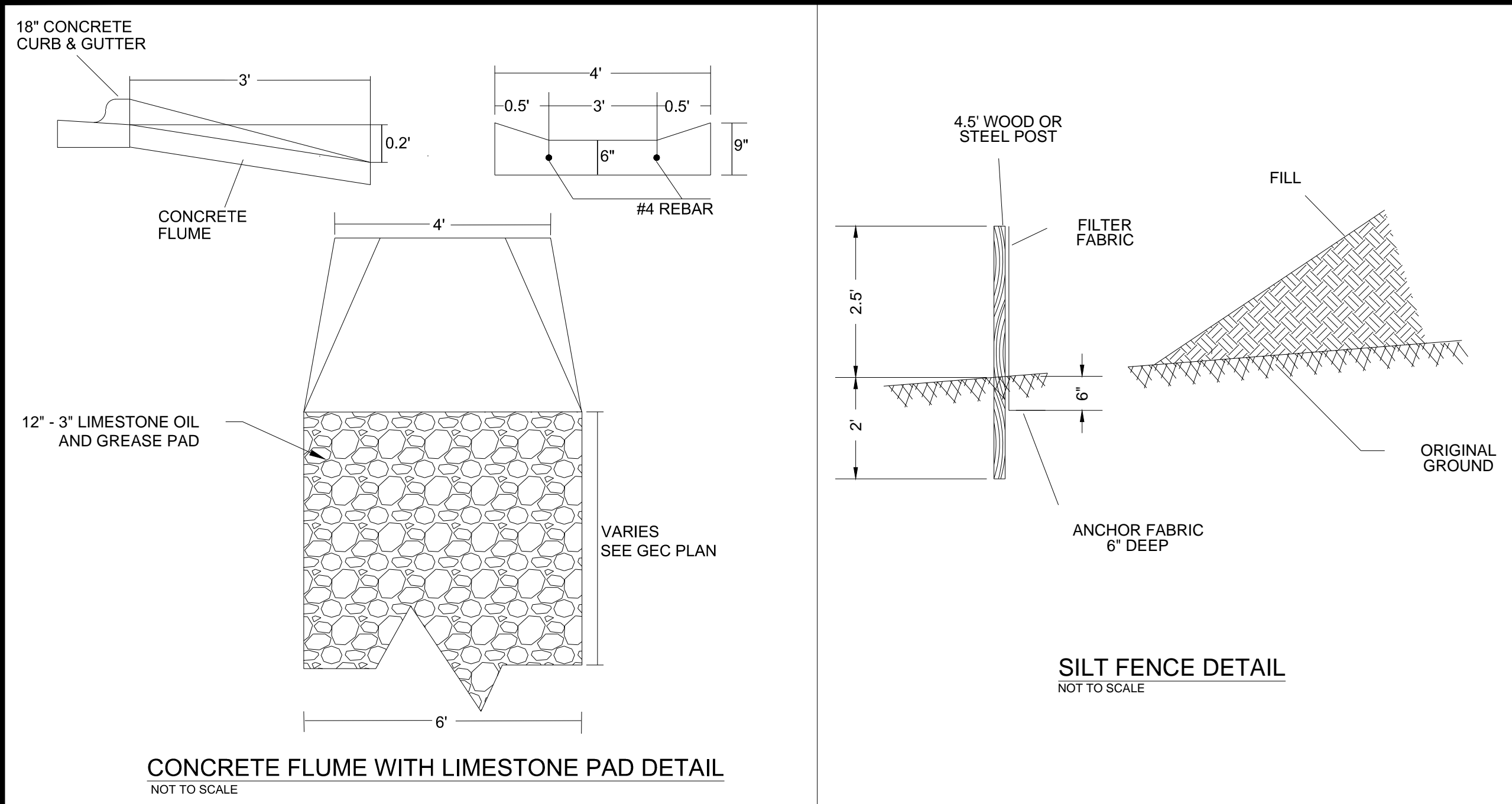
DATE: 1-8-16
 REVISED:

 DRAWN BY: JLM
 FN: 14-03-109
 Sheet Number:
C200



UTILITY NOTES:

1. All site utilities shall conform to the City of Madison Standard Specifications for Public Works Construction, latest edition.
2. Contractor shall provide 6.5' of cover for all water mains and services and all sanitary sewer mains and services.
3. Sanitary sewer and water main shall be installed with 8' horizontal separation, measured center to center.
4. Storm sewer shall be installed with water tight joints.
5. Sanitary sewer laterals shall be PVC, SDR-35.
6. Inlets #1-#2 shall be (2) 2' x 3' precast structures with Neenah casting R-3067 Type R diagonal grate.
7. Inlet #3 shall be a 2' x 3' precast structure with Neenah casting 1878-B7G.
8. All utilities serving the proposed building shall be stubbed 5' inside of the building and marked using a 4' x 4' hardwood post.
9. Prior to connecting to existing storm sewer or sanitary sewer the contractor shall verify the existing inverts and notify project superintendent if discrepancies are found from the plan grades.
10. All inlets receiving runoff shall be equipped with a Type D inlet filter bag during construction. Contractor shall clean and maintain throughout construction and remove them when a satisfactory stand of grass has been achieved.
11. Contractor to coordinate with MG&E and TDS for gas, electric, telephone, cable extensions.
12. All sanitary manholes shall be 42" diameter precast w/Neenah R-1550 castings.
13. Prior to storm sewer construction, the Utility Contractor shall obtain a connection and excavation permit from the City.
14. All proposed storm sewer, sanitary sewer and water main are private except where labeled as public.
15. All downspout leads shall be 4" diameter with wye fittings into the mainline.



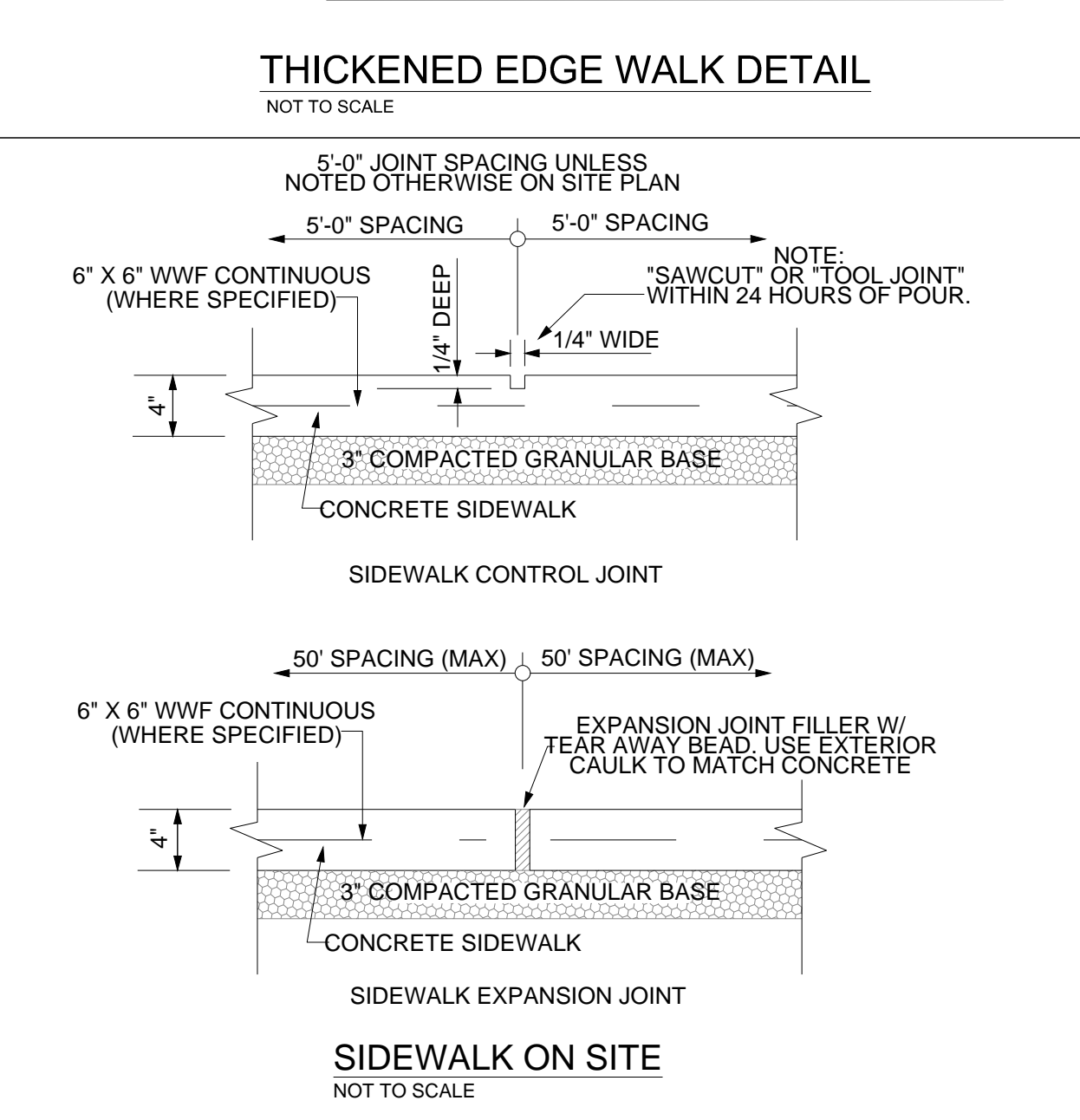
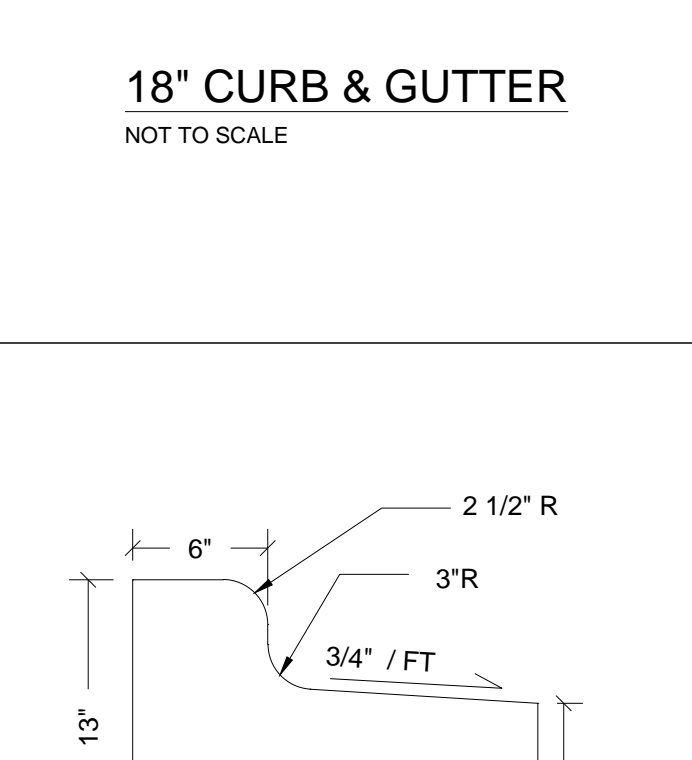
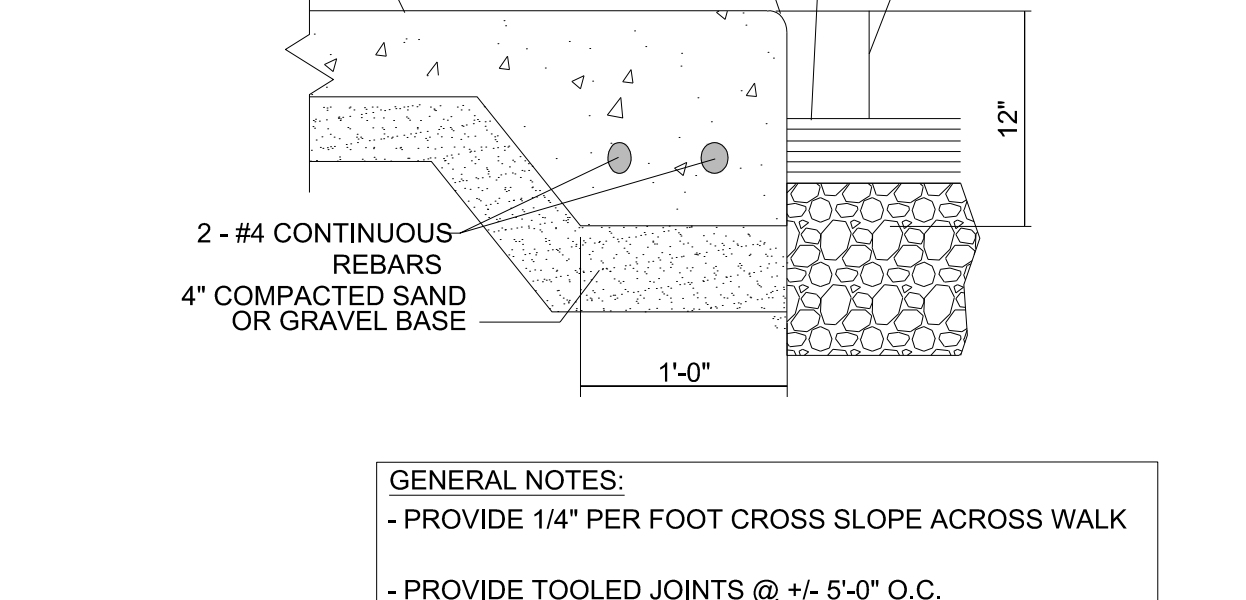
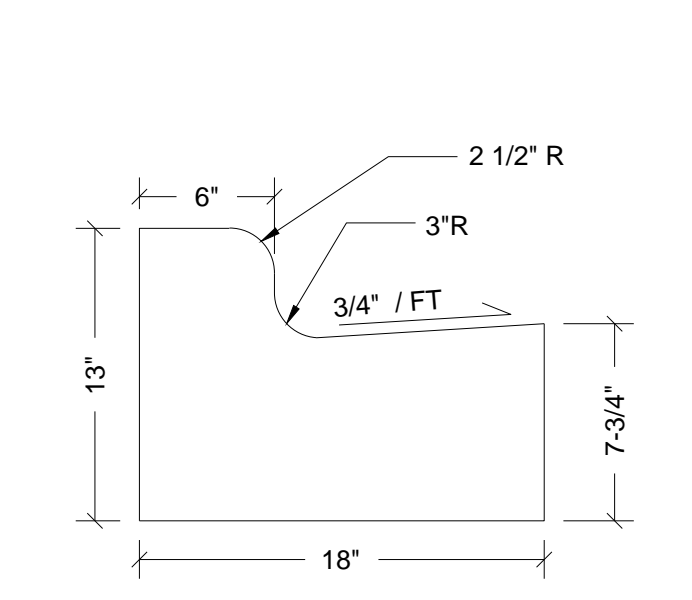
FLEXSTORM PURE FILTERS FOR PERMANENT INLET PROTECTION
PRODUCT SELECTION AND SPECIFICATION DRAWING

For Round Openings with Grates	Minimum System Flow Rate (GPM)	For Square/Rectangular Openings with Grates	Minimum System Flow Rate (GPM)
Drop Through Opening Size (in)	Flexstorm Frame P/N	Drop Through Opening Size (in) and grate or grate size (in)	Flexstorm Frame P/N
Standard: 18" x 24"	42000	Standard: 18" x 24" with 24" x 24" grate	42000
Large: 24" x 36"	63000	Large: 24" x 36" with 24" x 24" grate	63000
		Large: 24" x 36" with 18" x 18" grate	63000

CREATE YOUR BAGS FLEXSTORM PART NUMBER BY COMBINING FRAME P/N AND BAG SIZE

Nominal Bag Size	Solids Storage	Filtered Flow Rate at 50% Max (GPM)	FC OR	FC OR	FC OR
Small	1.6	1.2	0.8	0.5	0.3
Medium	2.1	1.7	1.2	0.8	0.5
Large	3.8	2.7	1.8	1.2	0.8
XL	4.2	3.0	2.4	1.6	1.0

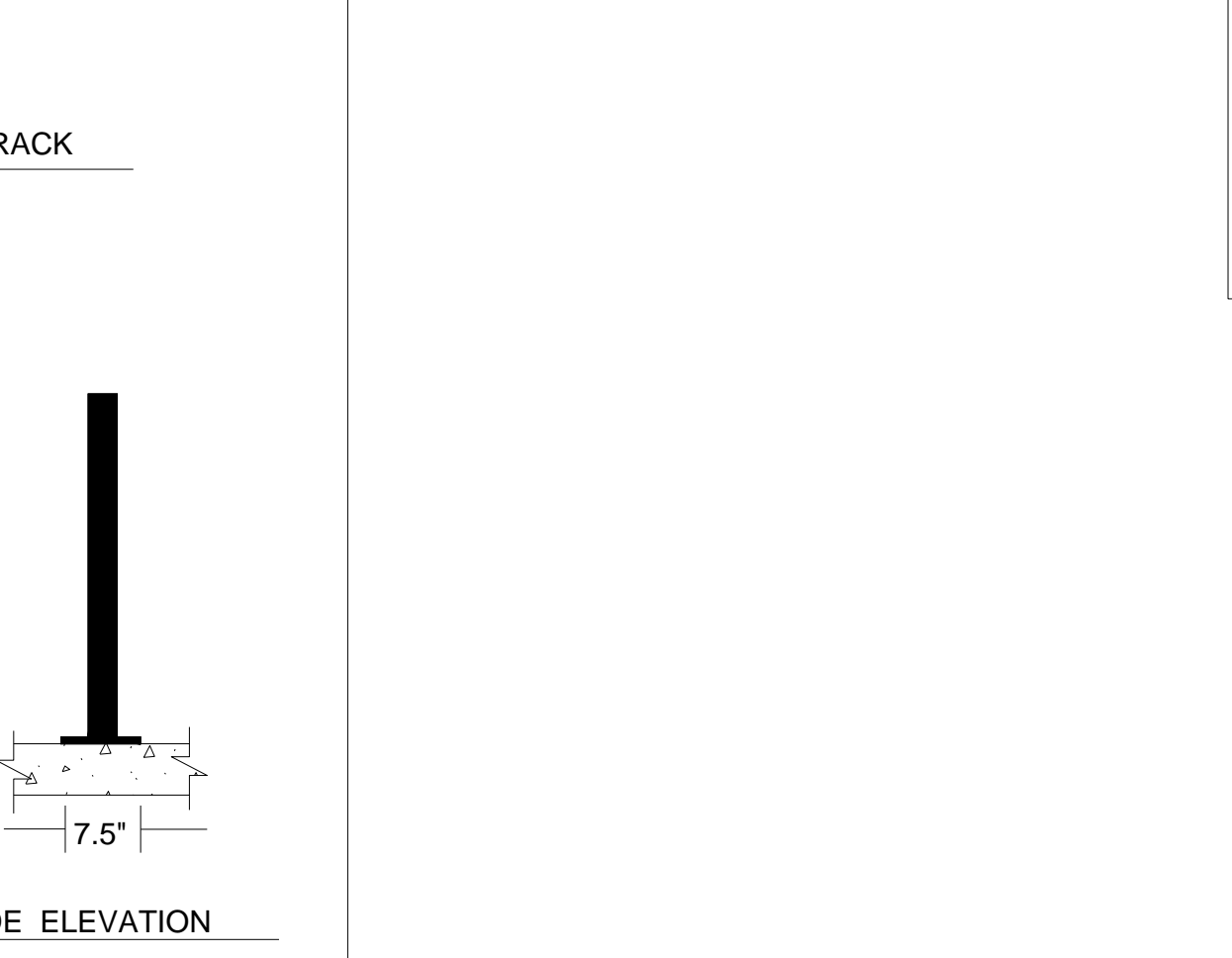
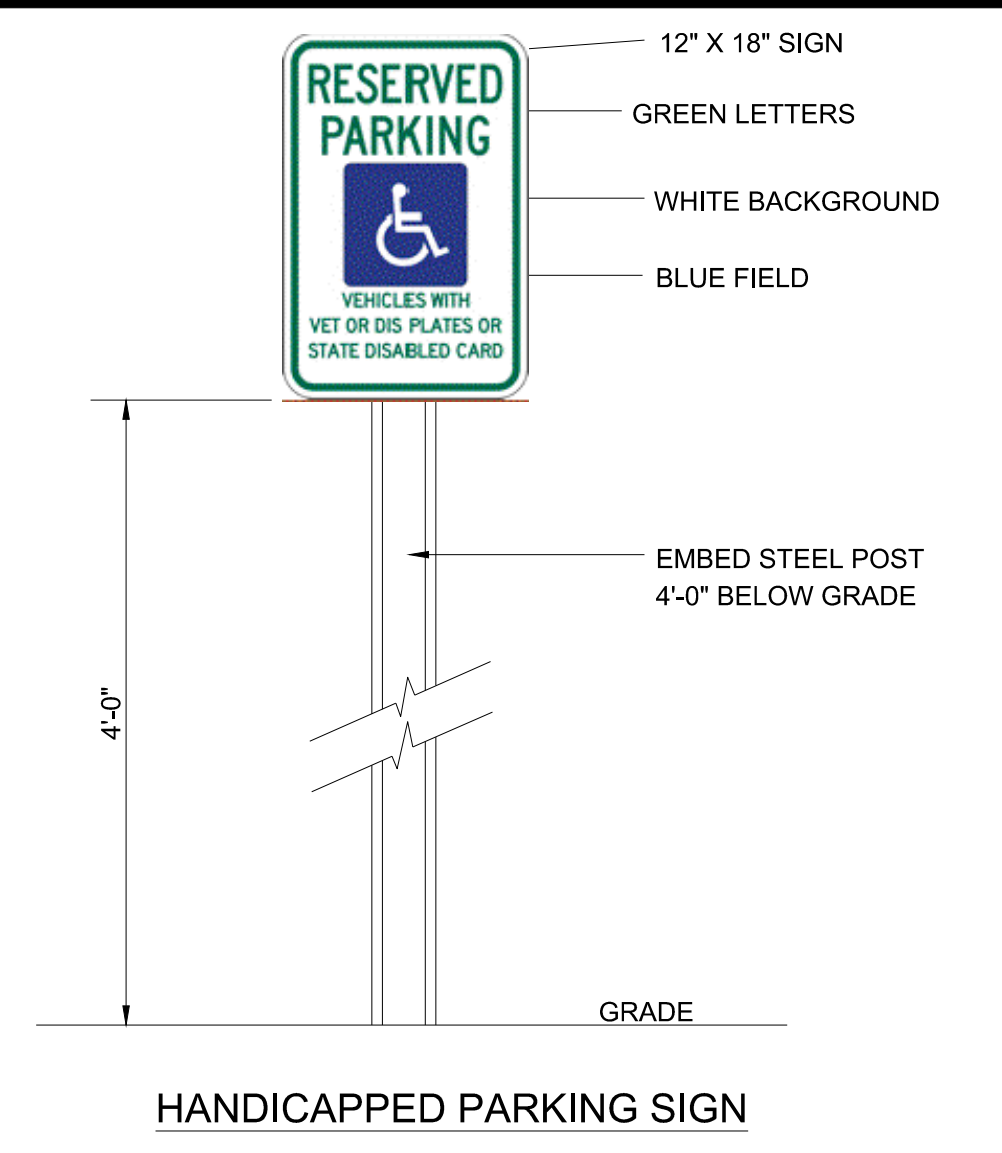
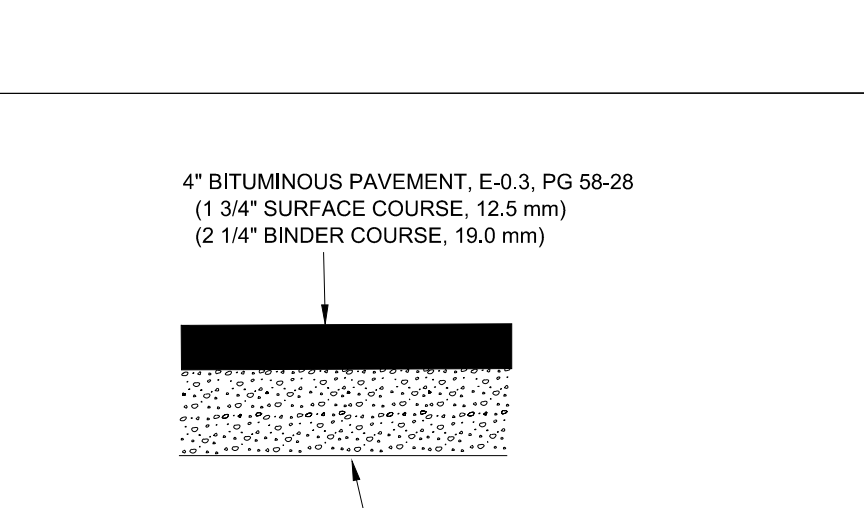
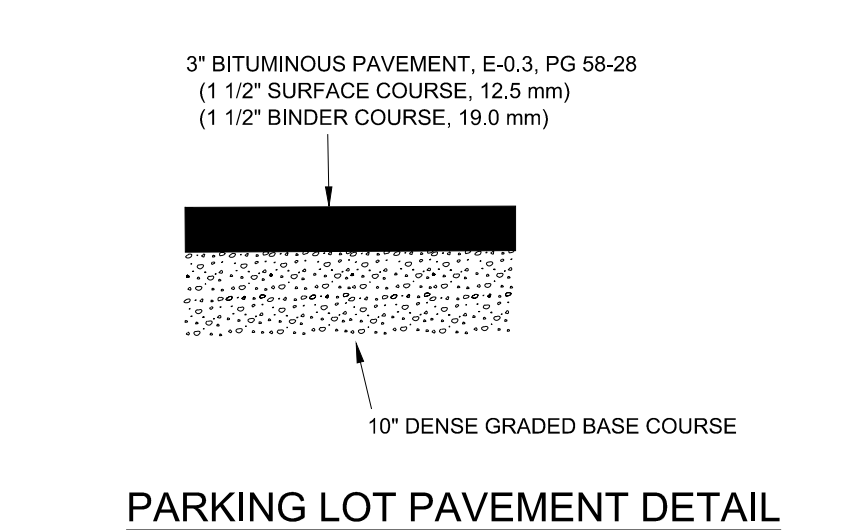
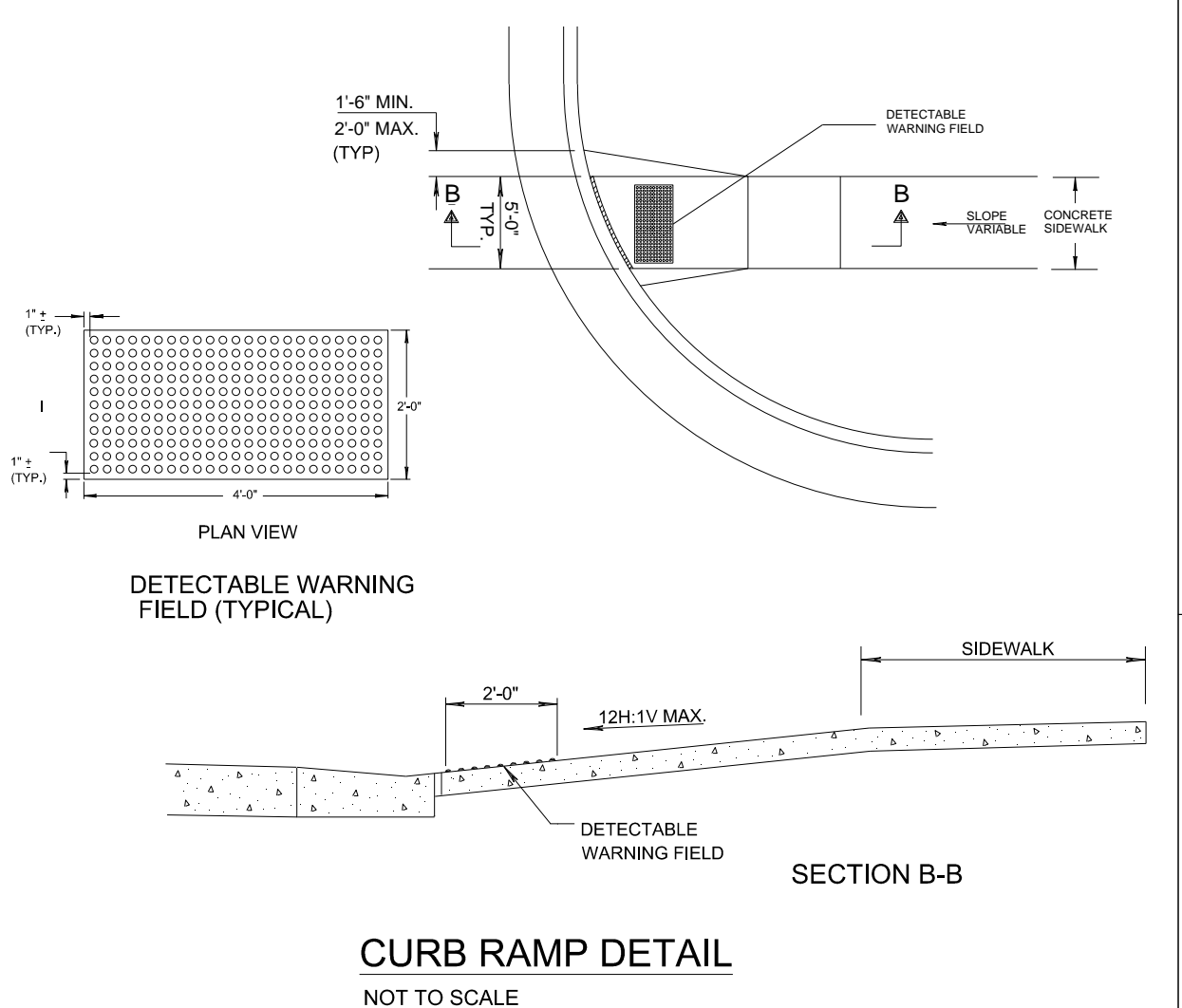
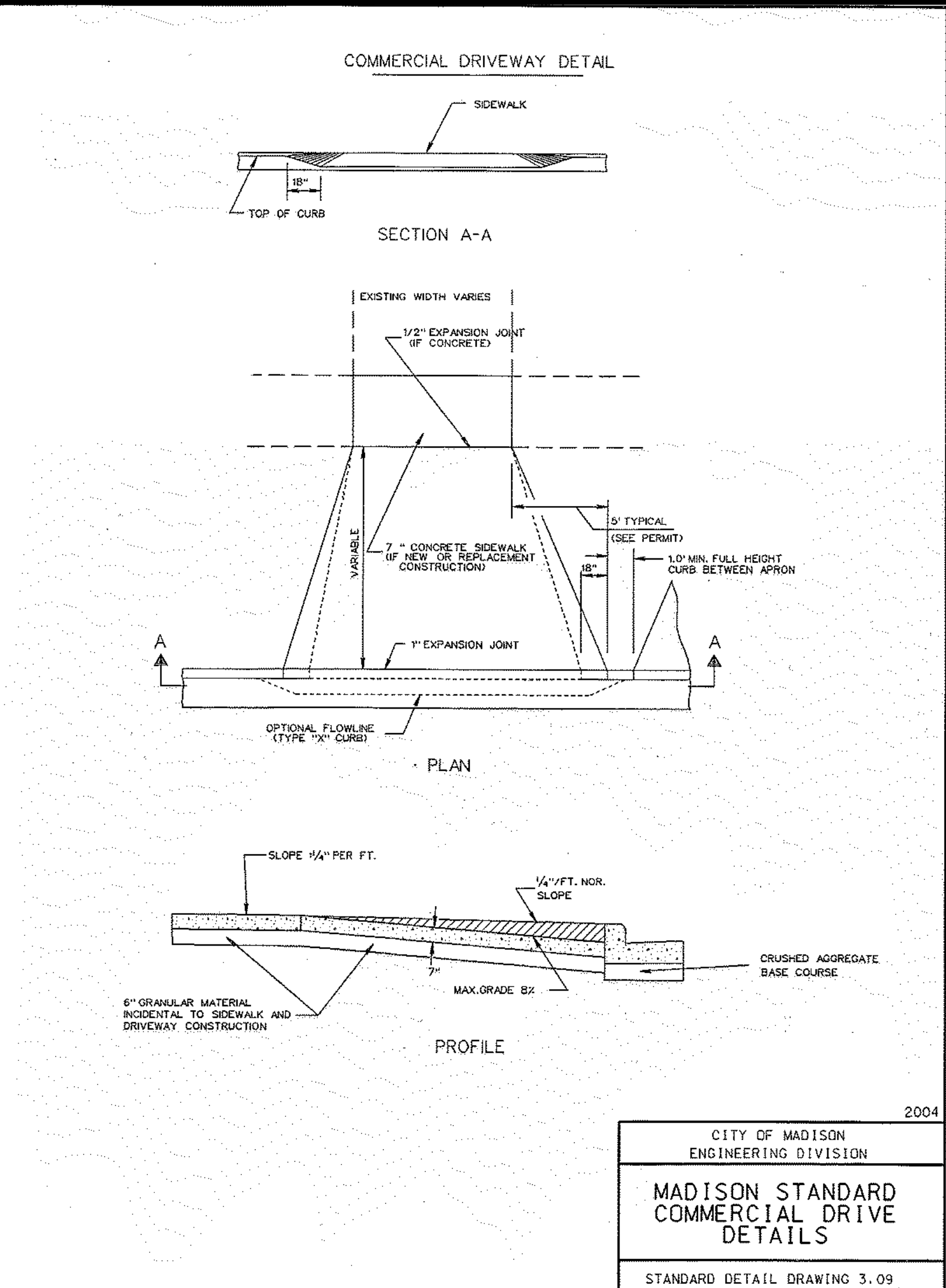
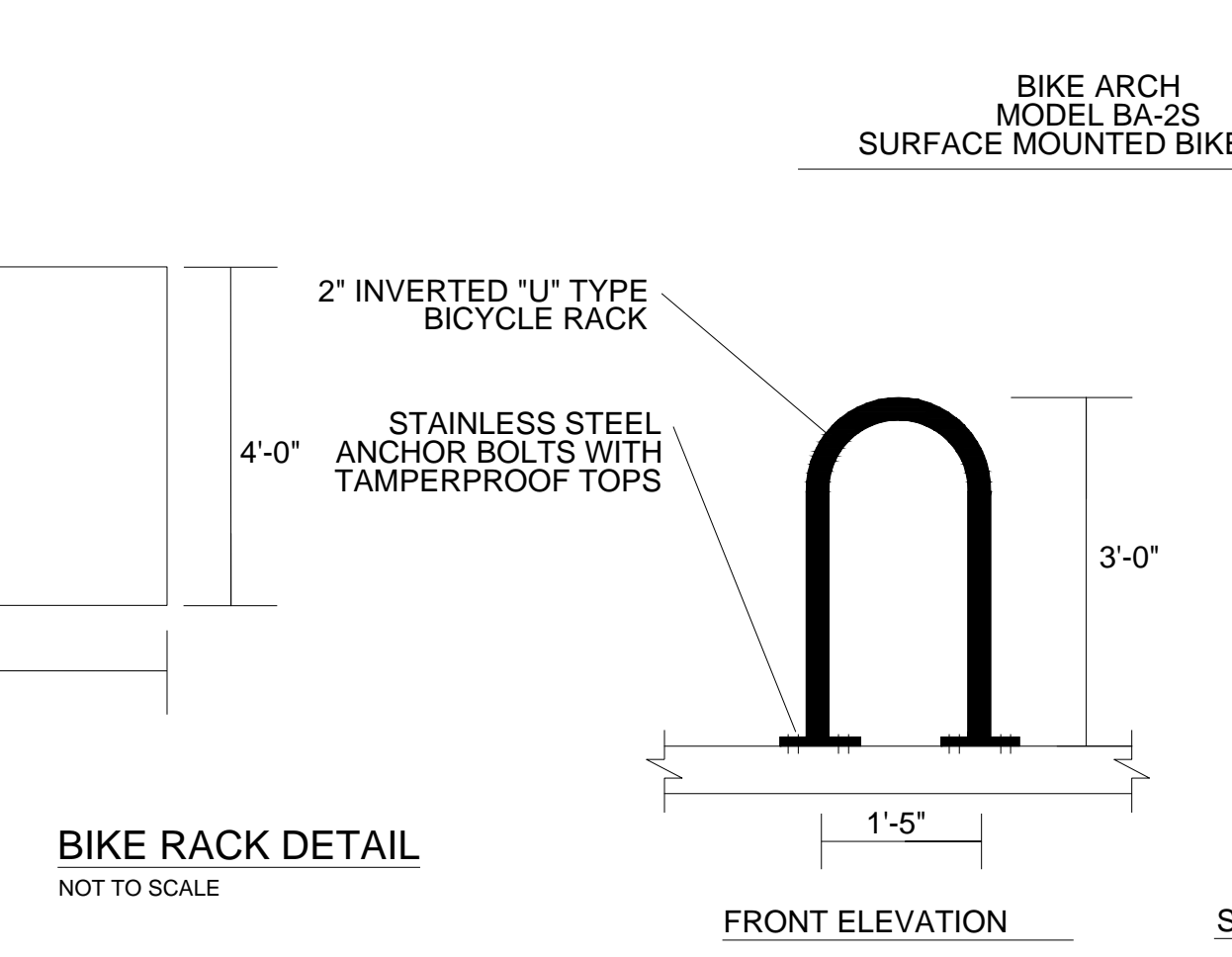
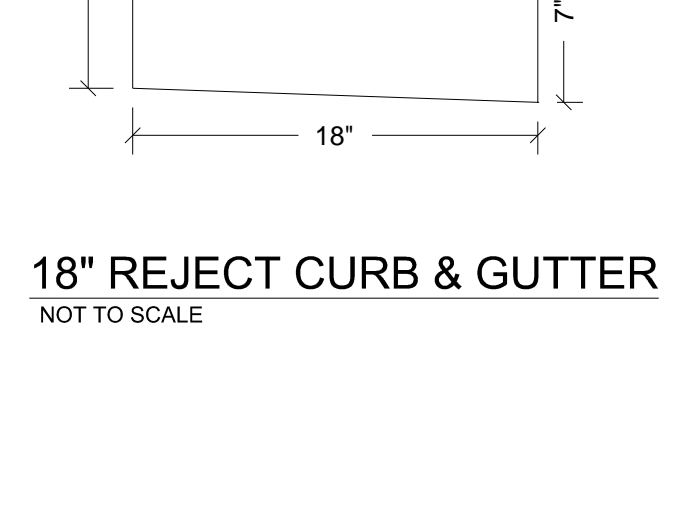
NOTES:
1. ALL FRAMING IS CONSTRUCTED OF 304 STAINLESS STEEL FOR 25 YEAR SERVICE LIFE RATING.
2. TOTAL BYPASS CAPACITY WILL VARY WITH EACH SIZE DRAINAGE STRUCTURE. FLEXSTORM DESIGNING BYPASS TO MEET OR EXCEED THE DESIGN FLOW OF THE PARTICULAR DRAINAGE STRUCTURE.
3. UPON ORDERING CONFIRMATION OF THE DOT CALLOUT, PRECAST OR CASTING MAKE AND MODEL, OR DETAILED DIMENSIONAL FORMS MUST BE PROVIDED TO CONFIGURE AND ASSEMBLE YOUR CUSTOMIZED FLEXSTORM INLET FILTER. PART NUMBER ALONE IS NOT SUFFICIENT.
4. FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM



FLEXSTORM CATCH-IT FILTERS FOR TEMPORARY INLET PROTECTION
PRODUCT SELECTION AND SPECIFICATION DRAWING

Nominal Bag Size	Solids Storage	Filtered Flow Rate at 50% Max (GPM)	FC OR	FC OR	FC OR
Small	1.6	1.2	0.8	0.5	0.3
Medium	2.1	1.7	1.2	0.8	0.5
Large	3.8	2.7	1.8	1.2	0.8
XL	4.2	3.0	2.4	1.6	1.0

NOTES:
1. ALL FRAMING IS CONSTRUCTED OF CORROSION RESISTANT STEEL ZINC PLATED OR GALVANIZED FOR 7 YEAR MINIMUM SERVICE LIFE.
2. UPON ORDERING CONFIRMATION OF THE DOT CALLOUT, PRECAST OR CASTING MAKE AND MODEL, OR DETAILED DIMENSIONAL FORMS MUST BE PROVIDED TO CONFIGURE AND ASSEMBLE YOUR CUSTOMIZED FLEXSTORM INLET FILTER. PART NUMBER ALONE IS NOT SUFFICIENT.
3. FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM



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7530 Westwood Way, Madison, WI 53717
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YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

MAPLE GROVE COMMONS
3204 & 3228 GOLDEN COPPER LANE
CITY OF MADISON, DANE COUNTY, WISCONSIN

CITY OF MADISON ENGINEERING DIVISION
MADISON STANDARD COMMERCIAL DRIVE DETAILS
STANDARD DETAIL DRAWING 3.09

SCALE: NTS (PAGE SIZE 24x36)
DATE: 1-8-16
REVISED:
DRAWN BY: JLM
FN: 14-03-109
Sheet Number:
C400



ISSUED
Issued for SP Submittal - June 24, 2015
Submittal September 18, 2015
Submittal December 14, 2015
Submittal January 13, 2016

PROJECT TITLE
Maple Grove Commons

3204 & 3228 Golden Copper Ln.
Madison, WI
SHEET TITLE
LANDSCAPE PLAN-COLORED

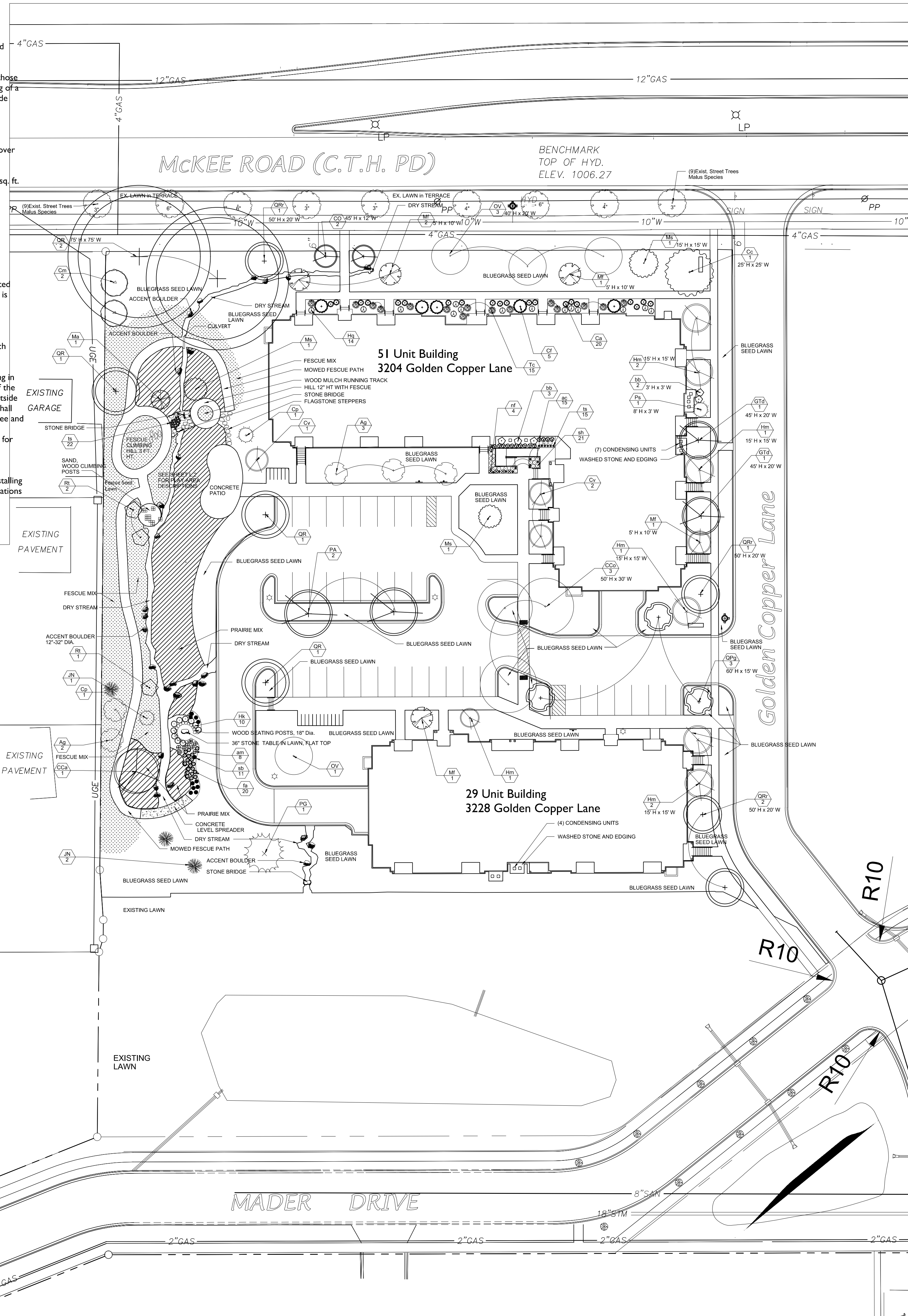
**LANDSCAPE PLAN
COLORED**



SHEET NUMBER
L-3
PROJECT NO. **1355**
© 2013 Knothe & Bruce Architects, LLC

GENERAL NOTES

- A) Areas labeled "Brown Colored Wood Mulch" to receive a mixture of recycled wood mulch, colored brown, spread to a 3" depth over pre-emergent herbicide.
- B) Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive wood mulch rings (and wood mulch beds) consisting of a mixture of recycled wood mulch, colored brown, spread to a minimum 3" depth (3' wide beds for shrub groupings).
- C) "Vinyl Edging" to be Valley View Black Diamond Vinyl Edging or equivalent.
- D) Areas labeled "washed stone" to receive 1-1/2" washed stone spread to a 3" depth over fabric weed barrier.
- E) "Bluegrass Seed" areas shall be finish-graded and seeded at a rate of 4 lbs. per 1,000 sq. ft.
- F) Seed shall consist of the following mixture:
 10% Palmer IV Perennial Ryegrass
 20% Dragon Kentucky Bluegrass
 20% Diva Kentucky Bluegrass
 20% Foxy II Creeping Red Fescue
 15% Vail II Perennial Ryegrass
 15% Ginney Kentucky Bluegrass
- G) Areas labeled "Seed with Straw Erosion Matting" shall be seeded with the above-noted premium lawn seed mixture and overlaid with D575 straw erosion control netting that is then pegged into the soil with metal staples.
- H) Areas labeled "Sod" shall receive only No. 1 grade nursery-grown bluegrass sod.
- I) Beds around condenser units to be mulched with 1-1/2" diameter washed stone mulch spread to a 3" depth over fabric weed barrier.
- J) Existing street trees shall be protected. Contractor shall install tree protection fencing in the area between the curb and sidewalk and extend it at least 5 feet from both sides of the tree along the length of the terrace. No excavation is permitted within 5 feet of the outside edge of the tree trunk. If excavation within 5 feet of any tree is necessary, contractor shall contact City Forestry (608)266-4816 prior to excavation to assess the impact to the tree and root system. Tree pruning shall be coordinated with City Forestry. Tree protection specifications can be found in section 107.13 of City of Madison Standard specifications for Public Works Construction-
<http://www.cityofmadison.com/business/pw/documents/StdSpecs/2013/Part1.pdf>.
- K) Contractor shall contact City Forestry (608)266-4816 at least one week prior to installing street trees to schedule inspecting the nursery stock and reviewing landscaping specifications with the landscaper.



City of Madison, WI Landscape Worksheet

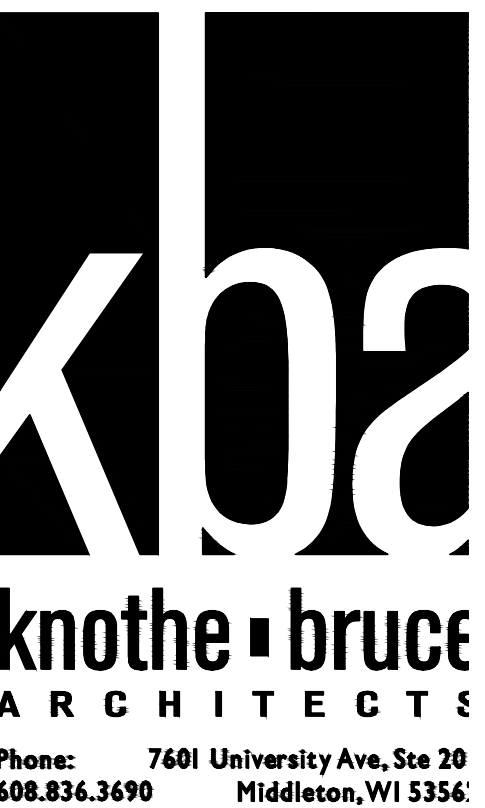
Developed Lot	SF	Landscape Units Req.	Landscape Points Req.
Total Developed Area	20,002	67	333

Element	Point Value	Quantity	Total Points
Overstory Deciduous Tree	35	9	315
Ornamental Tree	15	16	240
Evergreen Tree	15	4	60
Shrub, deciduous	2	67	134
Shrub, evergreen	3	18	54
Ornamental Grass/Perennial	2	121	242
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4	0	0
		235	1045

Development Frontage	LF	Overstory Tree Req (or x2 for Orn./Evergreen Tree Sub.)	Shrubs Req.
Total LF of Street Frontage Between Bldg./Parking & street	320	11	53

Element	Point Value	Quantity	Total Points
Overstory Deciduous Tree	35	8	280
Ornamental Tree	15	12	180
Evergreen Tree	15	0	0
Shrub, deciduous	2	39	78
Shrub, evergreen	3	15	45

Key	Botanical Name	Common Name	Quantity	Size	Spec	Comments
Deciduous Trees						
Cca	<i>Carpinus caroliniana</i>	Musclewood	1	2.5' Cal.	BB	Single straight leader, match specimens
CO	<i>Celtis occidentalis</i> 'JFS-KSU1'	Prairie Sentinel Hackberry	2	2.5'	BB	Single straight leader, match specimens
CCo	<i>Corylus cornuta</i>	Turkish filbert	3	2.5' Cal.	BB	Single straight leader, match specimens
GTd	<i>Gleditsia tria. 'Draves'</i>	Street Keeper Locust	2	2.5' Cal.	BB	Single straight leader, match specimens
OV	<i>Ostrya virginiana</i>	Ironwood	4	2.5' Cal.	BB	Single straight leader, match specimens
PA	<i>Platanus x acerifolia</i> 'Morton Circle'	Exclamation London Planetree	2	2.5' Cal.	BB	Single straight leader, match specimens
QPg	<i>Quercus palustris</i> 'Princegreen'	Green Pillar Pin Oak	3	2.5' Cal.	BB	Single straight leader, match specimens
QR	<i>Quercus rubra</i>	Red Oak	5	2.5' Cal.	BB	Single straight leader, match specimens
QRr	<i>Quercus robur</i> 'Long'	Regal Prince English Oak	4	2.5' Cal.	BB	Single straight leader, match specimens
Evergreen Trees						
JN	<i>Juniper x J.N. Select Blue'</i>	Star Power Juniper	3	3' Ht.	BB	Single straight leader, match specimens
FG	<i>Picea glauca</i>	White Spruce	1	4' Ht.	BB	Single straight leader, match specimens
Deciduous Ornamentals + Shrubs						
Aq	<i>Amelanchier x grandiflora</i>	Apple Serviceberry	5	4' Ht.	BB	Multi-stem, 3-5 leaders; match specimens
Cf	<i>Calycanthus floridus</i>	Carolina Allspice	5	18" Ht.	BB	Space per plan
Cc	<i>Cercis canadensis</i>	Eastern Redbud	1	1 1/2' Cal.	BB	Columbus, WI strain
Cv	<i>Chionanthus virginicus</i>	Fringetree	3	1 1/2' Cal.	BB	Multi-stem, 3-5 leaders; match specimens
Ca	<i>Clethra alnifolia</i> 'hummingbird'	Hummingbird Clethra	20	12" Ht.	BB	Space per plan
Cm	<i>Cornus mas</i> 'Golden Glory'	Golden Glory Corneliancherry Dogwood	2	2" Cal.	BB	Single straight leader, match specimens
Hm	<i>Heptacodium miconioides</i>	Seven Son Flower	7	4' Ht.	BB	Multi-stem, 3-5 leaders; match specimens
Hq	<i>Hydrangea quercifolia</i> 'Pee Wee'	Pee Wee Oak Leaf Hydrangea	14	12" Ht.	BB	Space per plan
Hk	<i>Hypericum kalmianum</i>	St. John's Wort	10	12" Ht.	BB	Space per plan
Mf	<i>Malus Salgentii</i> 'Select A'	Firebird Crabapple	5	2"	BB	Space per plan
Ma	<i>Morus alba</i> 'Chaparral'	Weeping Mulberry	1	1 1/2' Cal.	BB	Space per plan
Ms	<i>Magnolia stellata</i> 'Royal Star'	Royal Star Star Magnolia	3	1 1/2' Cal.	BB	Single straight leader, match specimens
Rt	<i>Rhus typhina</i> 'Baltiger' PPAF	Tiger Eyes Cutleaf Staghorn Sumac	3	18" Ht.	BB	Space per plan
Evergreen Shrubs						
Cp	<i>Chamaecyparis pisifera</i> 'Filifera'	Threadleaf Falsecypress	2	24" Ht.	Cont.	Space per plan
Ps	<i>Picea pungens</i> 'Sester dwarf'	Sester Dwarf Blue Spruce	1	#10	Cont.	Space per plan
Tc	<i>Tsuga canadensis</i> 'Gracilis'	Gracilis Hemlock	15	24" Ht.	Cont.	Space per plan
Perennials/Grasses/Groundcovers						
ag	<i>Allium 'Globemaster'</i>	Globemaster Giant Onion	0	1 Gal.	Cont.	Space per plan
am	<i>Allium 'Millennium'</i>	Millennium Ornamental Chive	8	1 Gal.	Cont.	Space per plan
ac	<i>Amorpha canescens</i>	Lead Plant	15	1 Gal.	Cont.	Space per plan
bb	<i>Baptisia x bicolor</i> 'Twilite'	False Indigo	5	1 Gal.	Cont.	Space per plan
fa	<i>Fragaria x ananassa</i> 'Tristan'	Tristan Strawberry	20	1 Gal.	Cont.	Space per plan
nf	<i>Nepeta x faassenii</i> 'Walker's Low'	Walker's Low Catmint	4	1 Gal.	Cont.	Space per plan
sh	<i>Sporobolus heterolepis</i> 'Tara'	Prairie Dropseed	21	1 Gal.	Cont.	Space per plan
sb	<i>Stachys byzantina</i> 'Big Ears'	Lamb's Ears	11	1 Gal.	Cont.	Space per plan
ts	<i>Thymus serpyllum</i>	Creeping Red Thyme	37	1 Gal.	Cont.	Space per plan
PRAIRIE MIX						
	<i>Allium cernuum</i>	Nodding Pink Allium	289	-	Plug	Randomly & evenly mix species & space 1'-0" o.c.
	<i>Aster azures</i>	Sky Blue Aster	289	-	Plug	
	<i>Koeleria cristata</i>	June Grass	1156	-	Plug	
	<i>Echinacea 'Sunrise'</i>	Sunrise Echinacea	289	-	Plug	
	<i>Liatris spicata</i>	Spike Blazing-star	289	-	Plug	
	<i>Lupinus perennis</i>	Lupine	289	-	Plug	
	<i>Monarda didyma</i>	Red Beebalm	289	-	Plug	
	<i>Monarda fistulosa</i>	Bergamont	289	-	Plug	
	<i>Rudbeckia subtomentosa</i>	Sweet Black Eyed Susan	289	-	Plug	
	<i>Schizachyrium scoparium</i>	Little Bluestem	1156	-	Plug	
	<i>Tradescantia ohioensis</i>	Spiderwort	289	-	Plug	



ISSUED
 Issued for SIP Submittal - June 24, 2015
 Submittal September 18, 2015
 Submittal December 15, 2015
 Submittal January 13, 2016

PROJECT TITLE
Maple Grove Commons

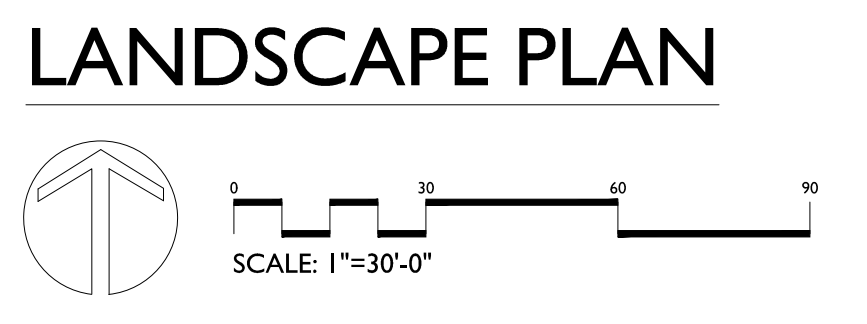
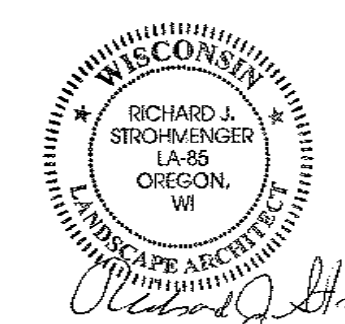
3204 & 3228 Golden Copper Ln.
 Madison, WI

SHEET TITLE
LANDSCAPE PLAN

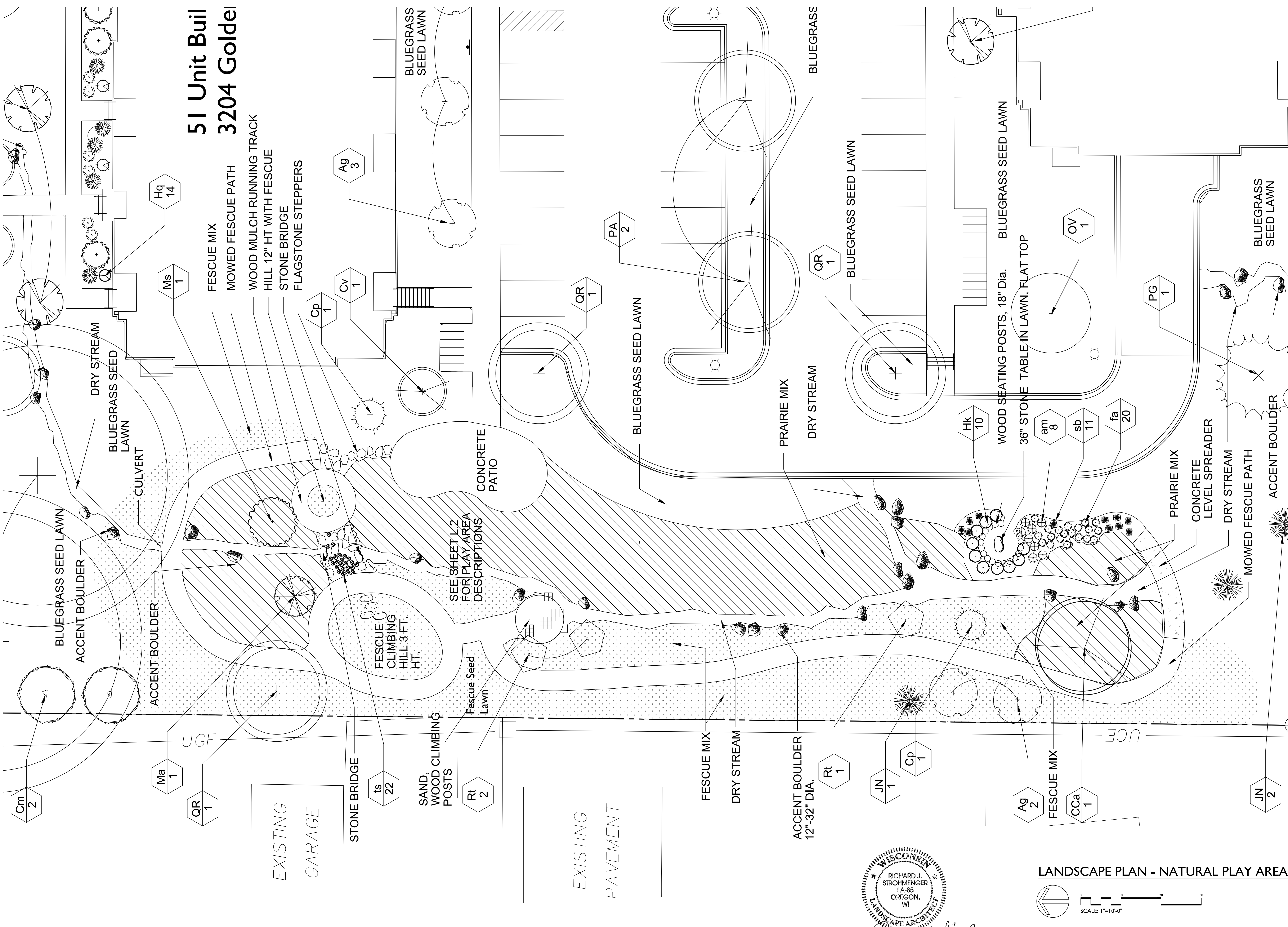
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L-1

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LANDSCAPE PLAN



51 Unit Buil
3204 Golde

FESCUE MIX
MOWED FESCUE PATH
WOOD MULCH RUNNING TRACK
HILL 12" HT WITH FESCUE
STONE BRIDGE
FLAGSTONE STEPPERS

BLUEGRASS
SEED LAWN

CONCRETE
PATIO

SEE SHEET L.2
FOR PLAY AREA
DESCRIPTIONS

FESCUE
CLIMBING
HILL 3 FT.
HT.

Fescue Seed
Lawn

SAND,
WOOD CLIMBING
POSTS

Rt 2

EXISTING
PAVEMENT

BLUEGRASS SEED LAWN

ACCENT BOULDER
12"-32" DIA.

Rt 1

JN 1

Cp 1

FESCUE MIX

CCa 1

JN 2

BLUEGRASS SEED LAWN

PRAIRIE MIX
DRY STREAM

QR 1

BLUEGRASS SEED LAWN

BLUEGRASS SEED LAWN

WOOD SEATING POSTS, 18" Dia.
36" STONE TABLE IN LAWN, FLAT TOP

am 8

sb 11

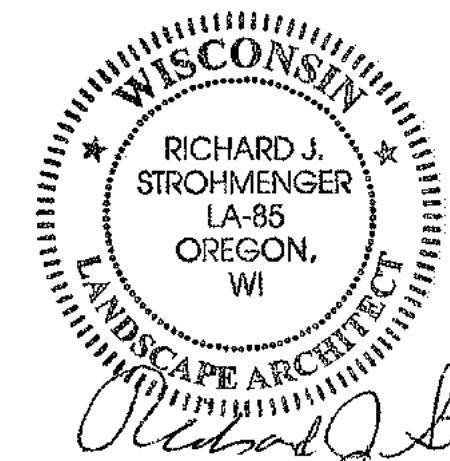
fa 20

PRAIRIE MIX
CONCRETE
LEVEL SPREADER

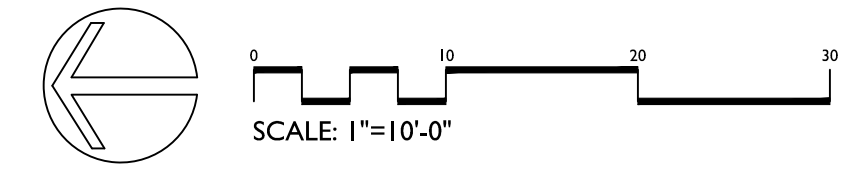
DRY STREAM
MOWED FESCUE PATH

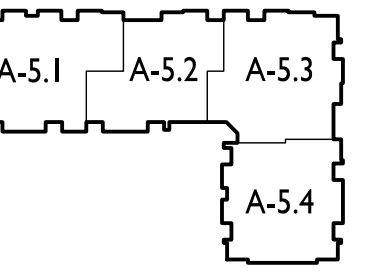
BLUEGRASS
SEED LAWN

ACCENT BOULDER
STONE BRIDGE



LANDSCAPE PLAN - NATURAL PLAY AREA





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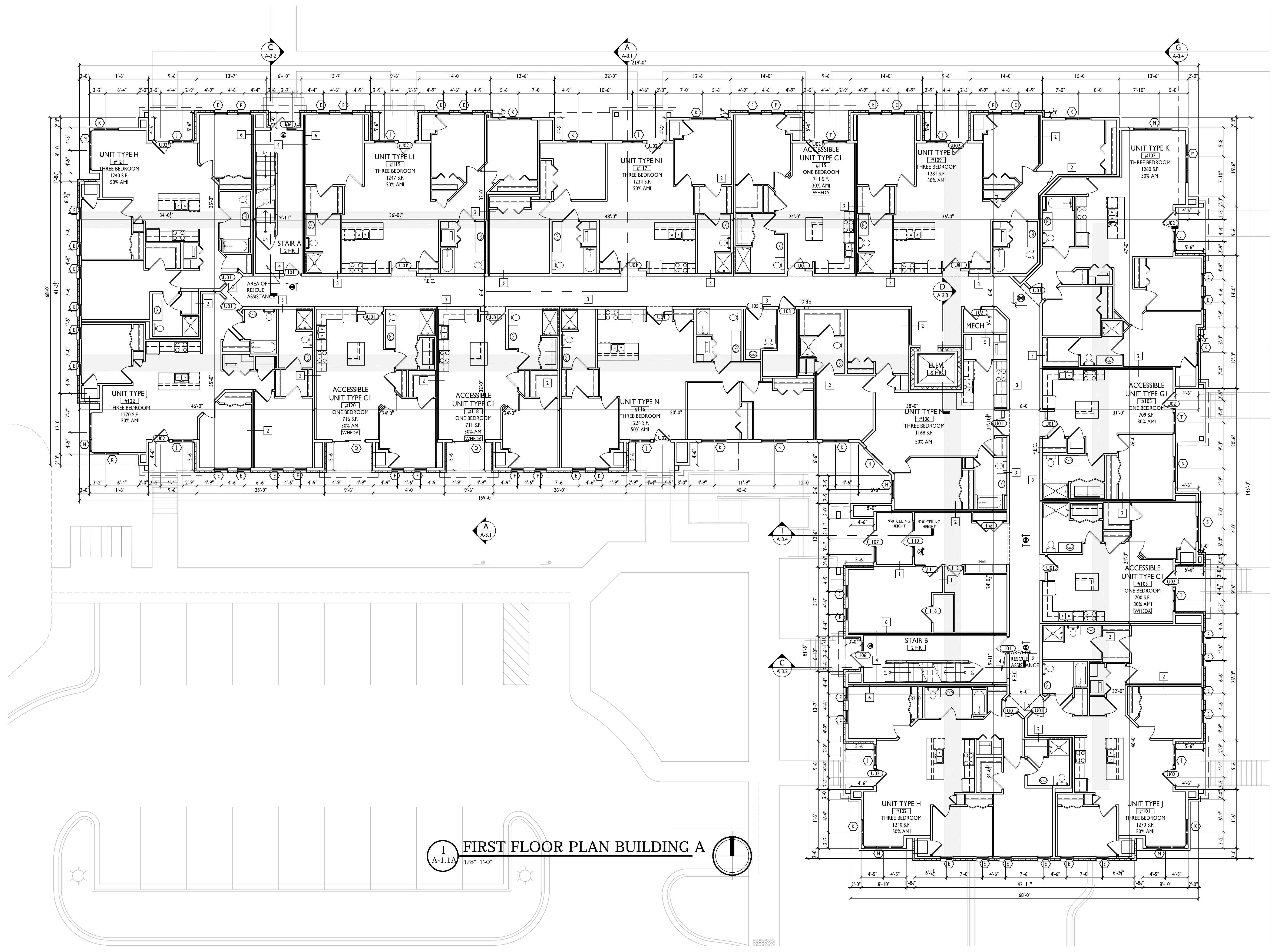
3204 & 3228 Golder Copper Ln.
Madison, WI
SHEET TITLE
First Floor Plan Building A

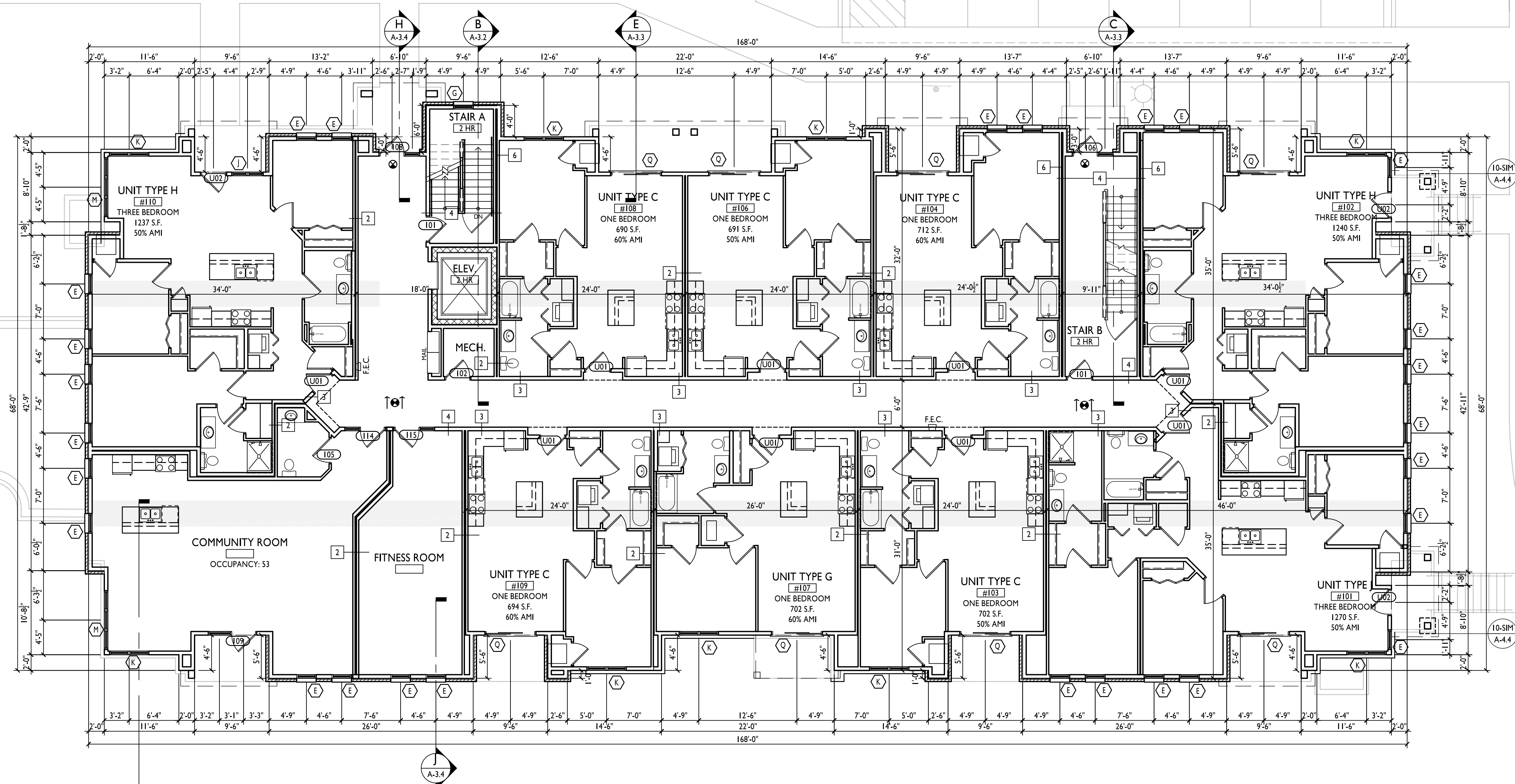
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A-1.1A

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1 FIRST FLOOR PLAN BUILDING A
A-1.1A 1/8"=1'-0"





1 FIRST FLOOR PLAN BUILDING B
A-1.1B 1/8"=1'-0"

F

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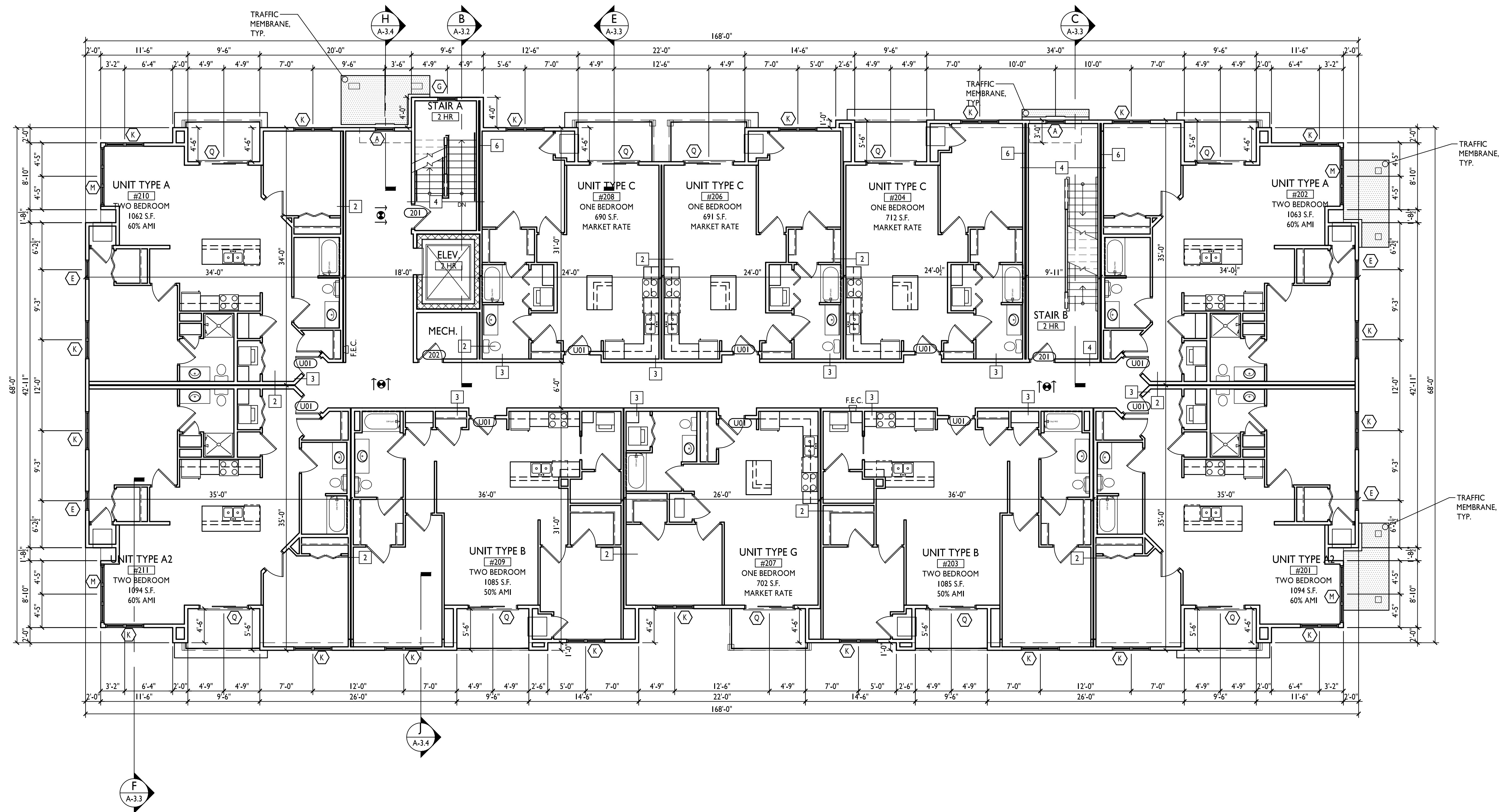
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Madison, WI
SHEET TITLE
**Second Floor Plan
Building B**

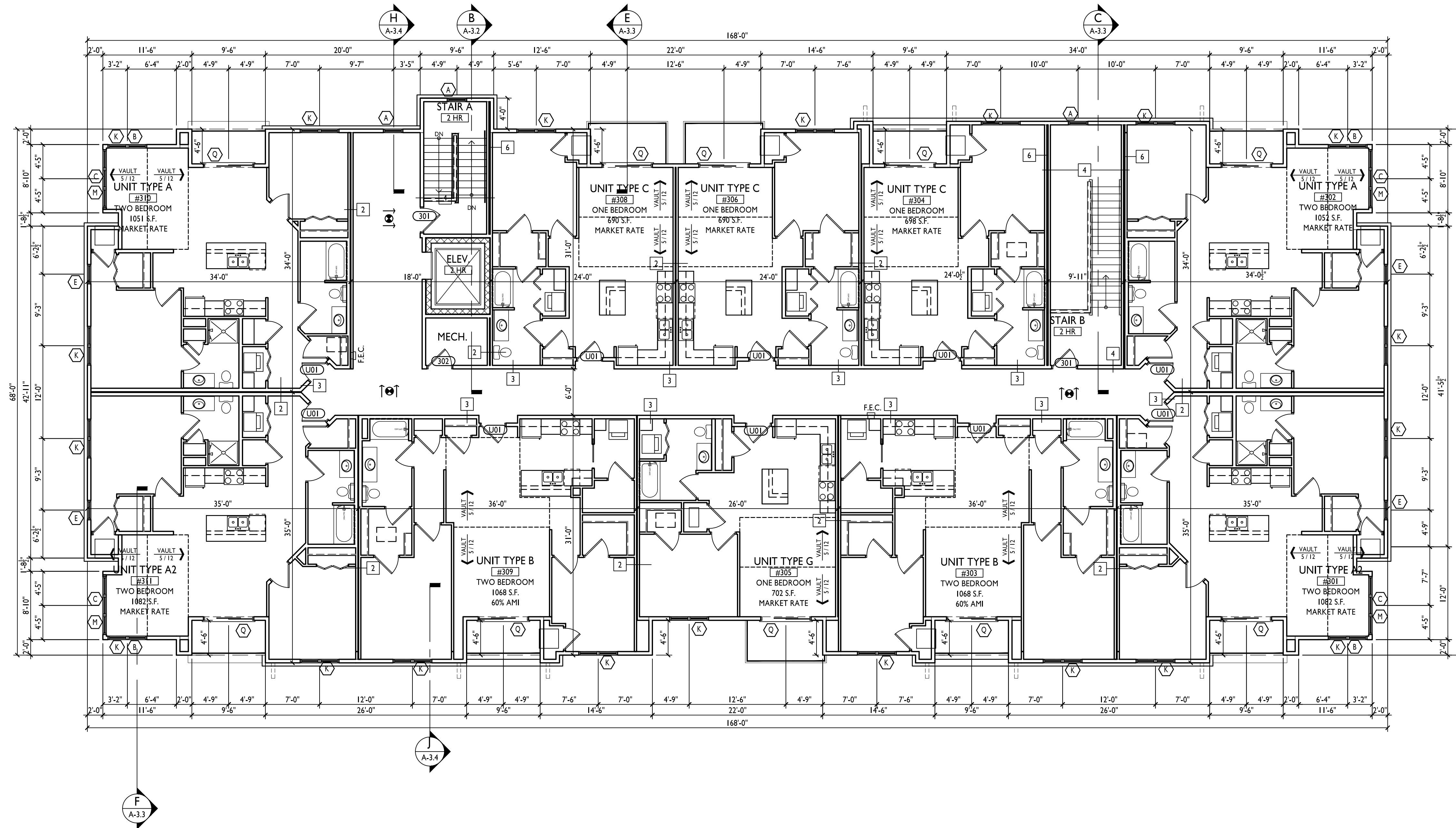
SHEET NUMBER

A-1.2B

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1 SECOND FLOOR PLAN BUILDING B
A-1.2B 1/8"=1'-0"



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SHEET TITLE
**Third Floor Plan
Building B**

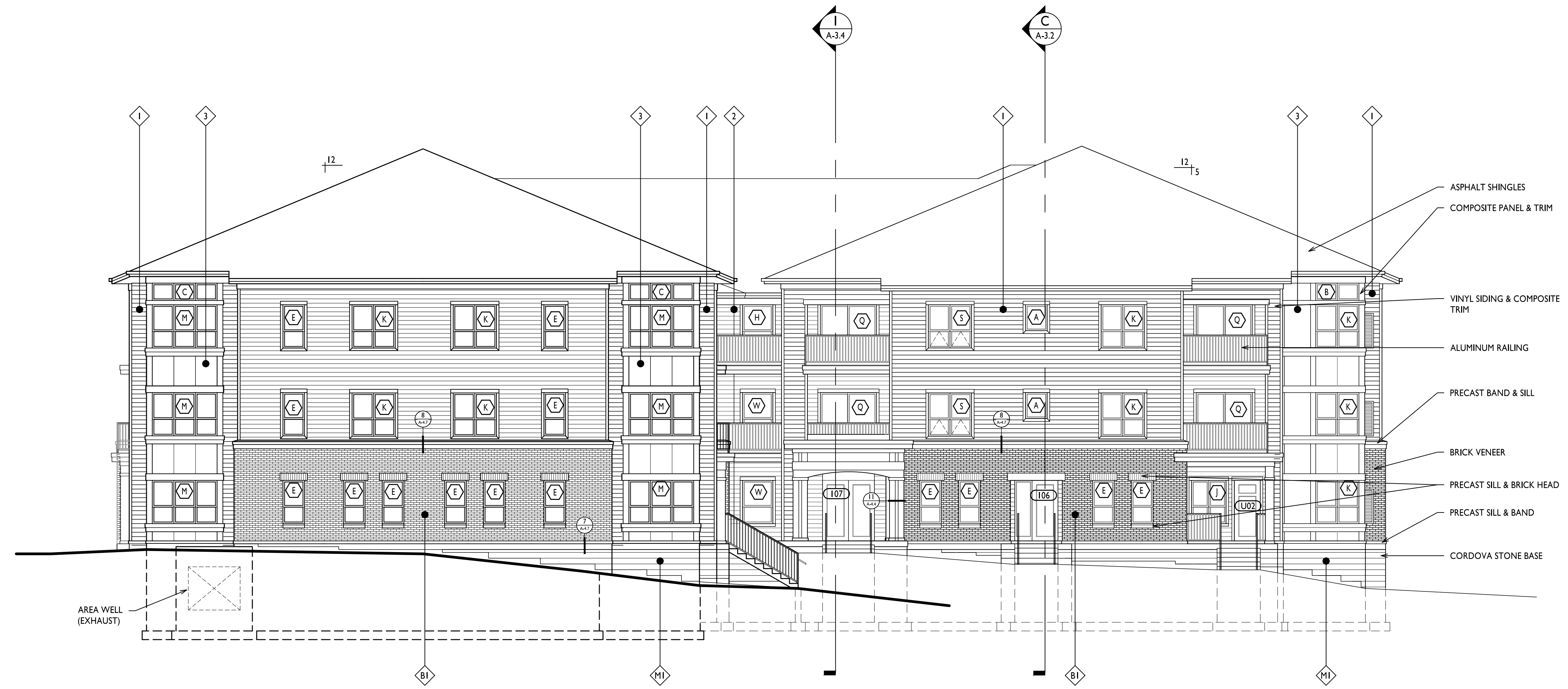
1 THIRD FLOOR PLAN BUILDING B
A-1.3B 1/8"=1'-0"

SHEET NUMBER

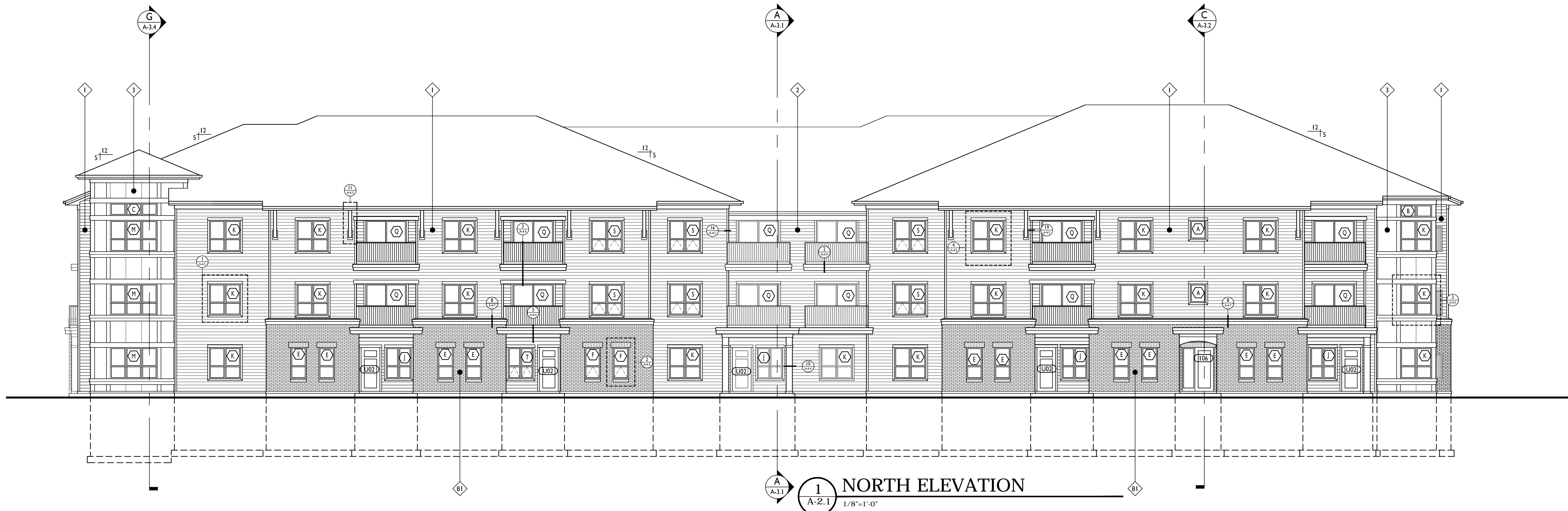
A-1.3B

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EXTERIOR MATERIAL SCHEDULE		
BUILDING COMPONENT	MATERIAL	COLOR
ROOF	ASPHALT SHINGLES	OWENS CORNING: TEAK
ROOF FLASHING @ ASPHALT SHINGLES	ALUMINUM	
FASCIA / GUTTERS / DOWNSPOUTS	ALUMINUM	QUALITY EDGE "DESERT TAN"
HORIZONTAL SIDING - 1	VINYL	MASTIC - MISTY SHADOW
HORIZONTAL SIDING - 2	VINYL	MASTIC - DESERT SAND
COMPOSITE TRIM AND PANELS - 3	COMPOSITE	COLOR MATCH - DESERT SAND
DECK BOARDS	COMPOSITE	TBD
DECK SKIRT	COMPOSITE	COLOR MATCH - DESERT SAND
FLASHING @ DECK EDGE	GALV. STEEL	MATCH DECK SKIRT / PAC CLAD "ALMOND"
FLASHING @ DECK LEDGER	GALV. STEEL	MATCH ADJACENT SIDING/MASONRY
MASONRY VENEER 1	CORDOVA STONE	NORTHFIELD BLOCK - BUFF
MORTAR COLOR @ CORDOVA STONE	MASONRY	COLORED MORTAR - MATCH CORDOVA STONE (TBD)
SEALANT @ CORDOVA STONE	T.B.D.	MATCH BRICK COLOR
METAL FLASHING @ CORDOVA STONE	PRE-FINISHED STEEL	MATCH BRICK COLOR
BRICK VENEER 1	MASONRY	BORAL - PRAIRIE CREEK (KING-SIZE)
MORTAR COLOR @ BRICK VENEER	MASONRY	COLORED MORTAR - MATCH BRICK VENEER (TBD)
SEALANT @ BRICK VENEER	T.B.D.	MATCH BRICK COLOR
METAL FLASHING @ BRICK VENEER	PRE-FINISHED STEEL	MATCH BRICK COLOR
CAST SILLS & BANDS	CAST STONE	EDWARDS CAST STONE: 10-025
WINDOWS	VINYL	TAN
SEALANT @ WINDOWS	T.B.D.	TO MATCH WINDOWS
RAILING	ALUMINUM	DARK BRONZE
PUBLIC ENTRY DOORS	ALUMINUM	DARK BRONZE
PRIVATE ENTRY DOORS	INSULATED FIBERGLASS	STAINED - TBD
GARAGE MAN DOOR	INSULATED METAL	TAN/ALMOND
OVERHEAD GARAGE DOOR	STEEL	TAN/ALMOND



2 WEST ELEVATION
A-2.1 1/8"=1'-0"



1 NORTH ELEVATION
A-2.1 1/8"=1'-0"

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Madison, WI
SHEET TITLE
Exterior Elevations - Building A

SHEET NUMBER

A-2.1

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2 EAST ELEVATION
A-2.2 1/8"=1'-0"

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1 SOUTH ELEVATION
A-2.2 1/8"=1'-0"

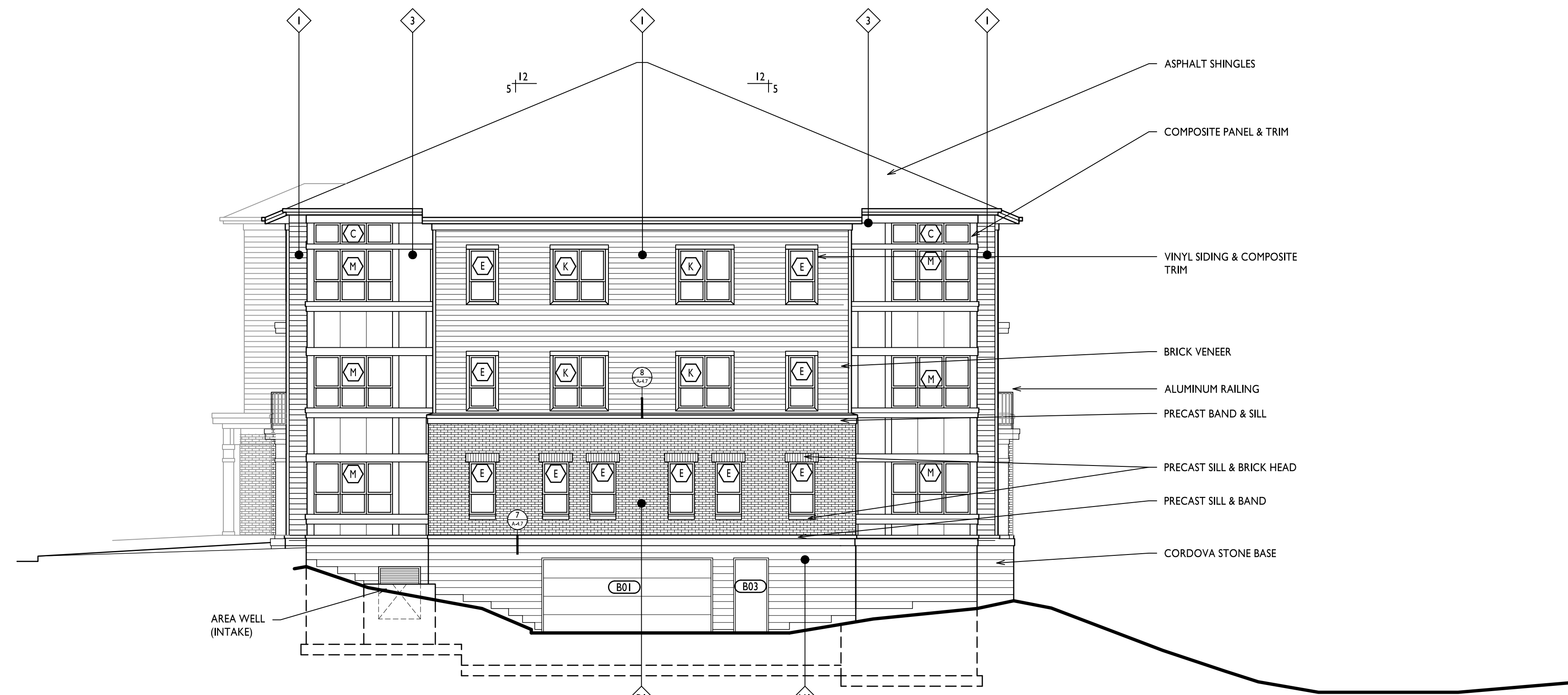
PROJECT TITLE
Maple Grove Commons

3204 & 3228 Golder
Copper Ln.
Madison, WI
SHEET TITLE
Exterior Elevations - Building A

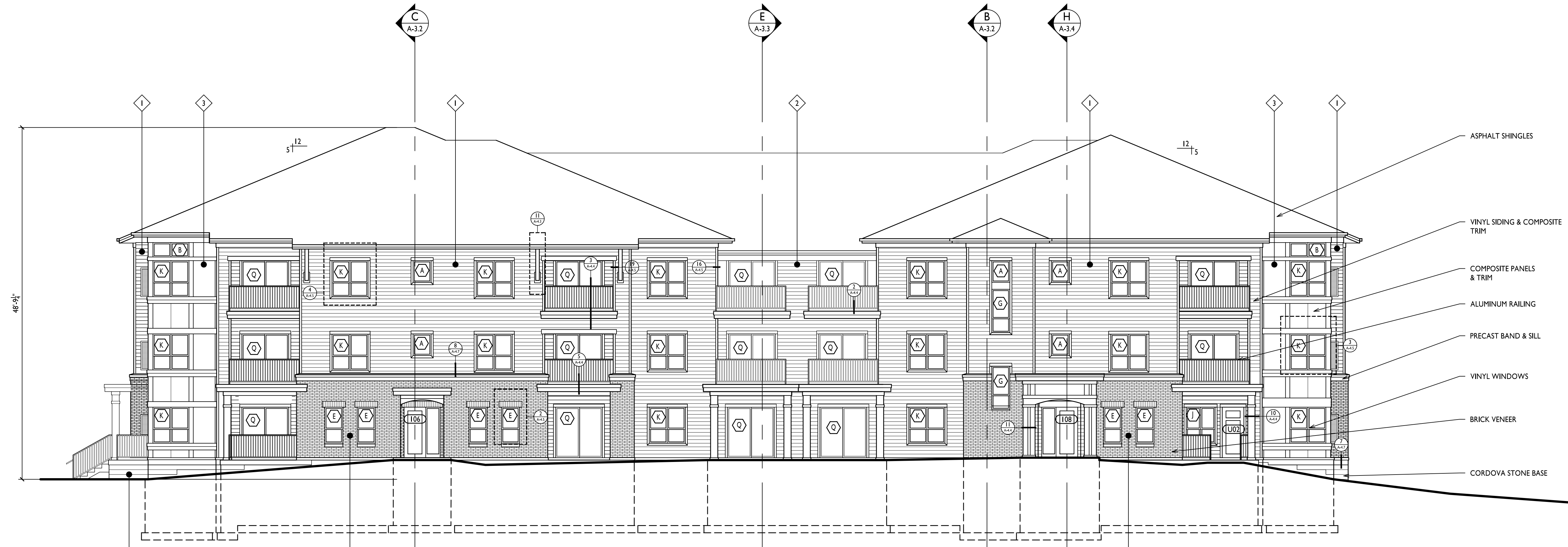
SHEET NUMBER

A-2.2

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2 WEST ELEVATION
A-2.3 1/8"=1'-0"



1 NORTH ELEVATION
A-2.3 1/8"=1'-0"

PROJECT TITLE
Maple Grove Commons

3204 & 3228 Golder
Copper Ln.
Madison, WI
SHEET TITLE
Exterior Elevations - Building B

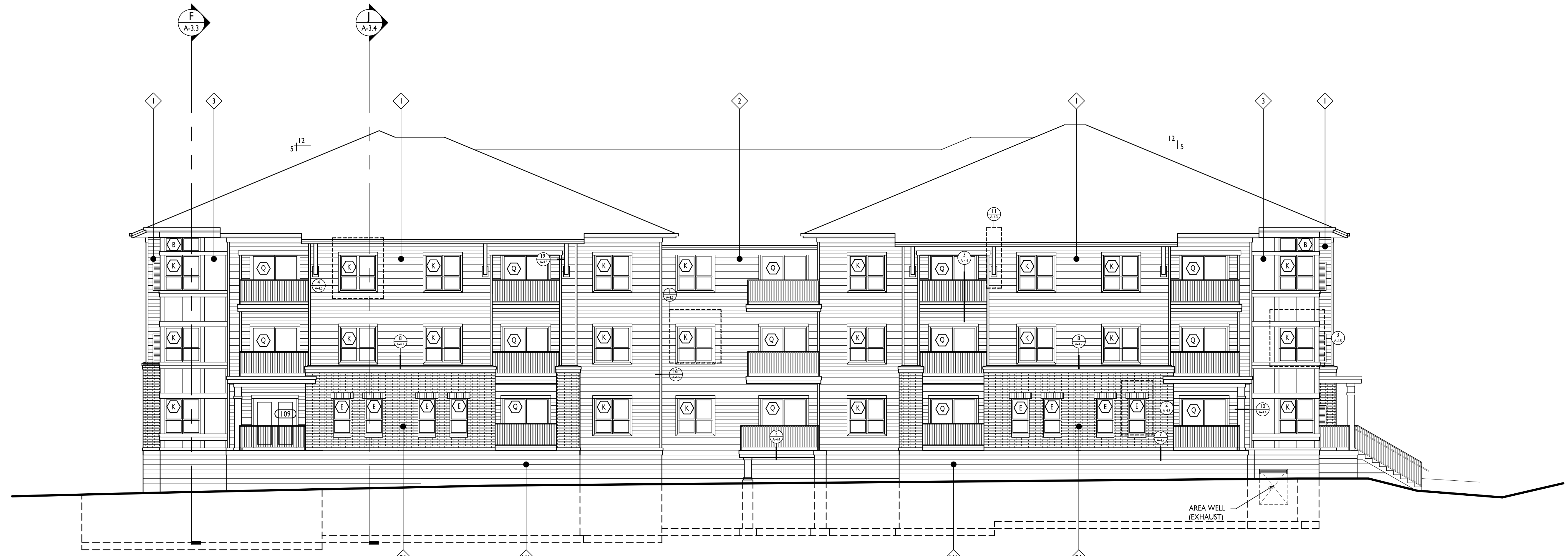
SHEET NUMBER

A-2.3

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2 EAST ELEVATION
A-2.4 1/8"=1'-0"



1 SOUTH ELEVATION
A-2.4 1/8"=1'-0"

PROJECT TITLE
Maple Grove Commons

3204 & 3228 Golder
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Madison, WI
SHEET TITLE
Exterior Elevations - Building B

SHEET NUMBER

A-2.4

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- ASPHALT SHINGLES
- VINYL SIDING & TRIM
- COMPOSITE PANELS & TRIM
- CAST STONE
- ALUMINUM RAILINGS
- VINYL WINDOWS
- BRICK VENEER
- CORDOVA STONE BASE

NORTH ELEVATION - 51 UNIT



- ASPHALT SHINGLES
- VINYL SIDING & COMPOSITE TRIM
- COMPOSITE PANELS & TRIM
- ALUMINUM RAILING
- PRECAST BAND & SILL
- VINYL WINDOWS
- BRICK VENEER
- CORDOVA STONE BASE

NORTH ELEVATION - 29 UNIT

Maple Grove Commons
 North and East Elevations
 January 13, 2016





EAST ELEVATION - 29 UNIT

STREET VIEW - GOLDEN COPPER LANE

EAST ELEVATION - 51 UNIT

Maple Grove Commons
 North and East Elevations
 January 13, 2016

