



City of Madison

Proposed Rezoning and Final Plat

Project Name
St. James Cottage Homes

Location
1220-1236 Mound Street

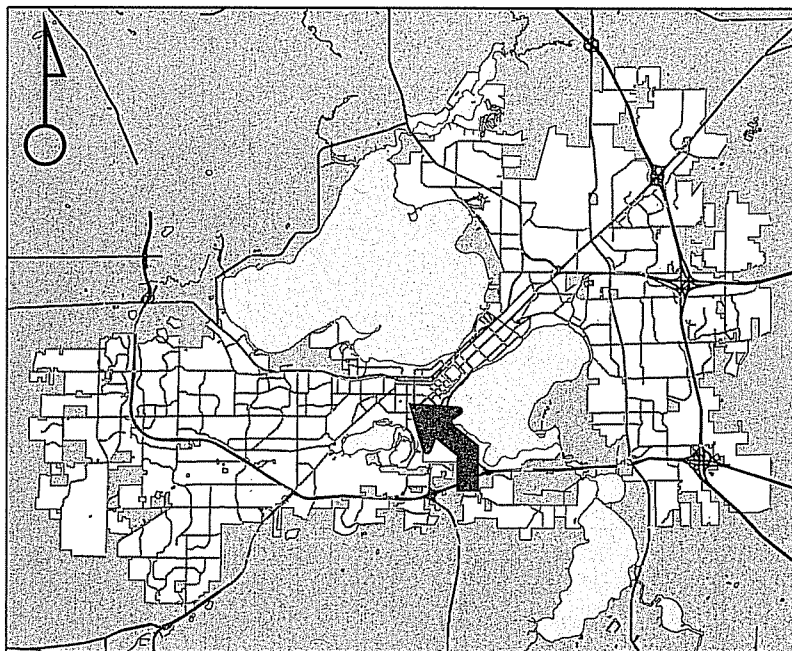
Applicant
Mike Fisher/Randy Bruce -
Knothe & Bruce Architects

From: TR-C4 To: PD-GDP-SIP

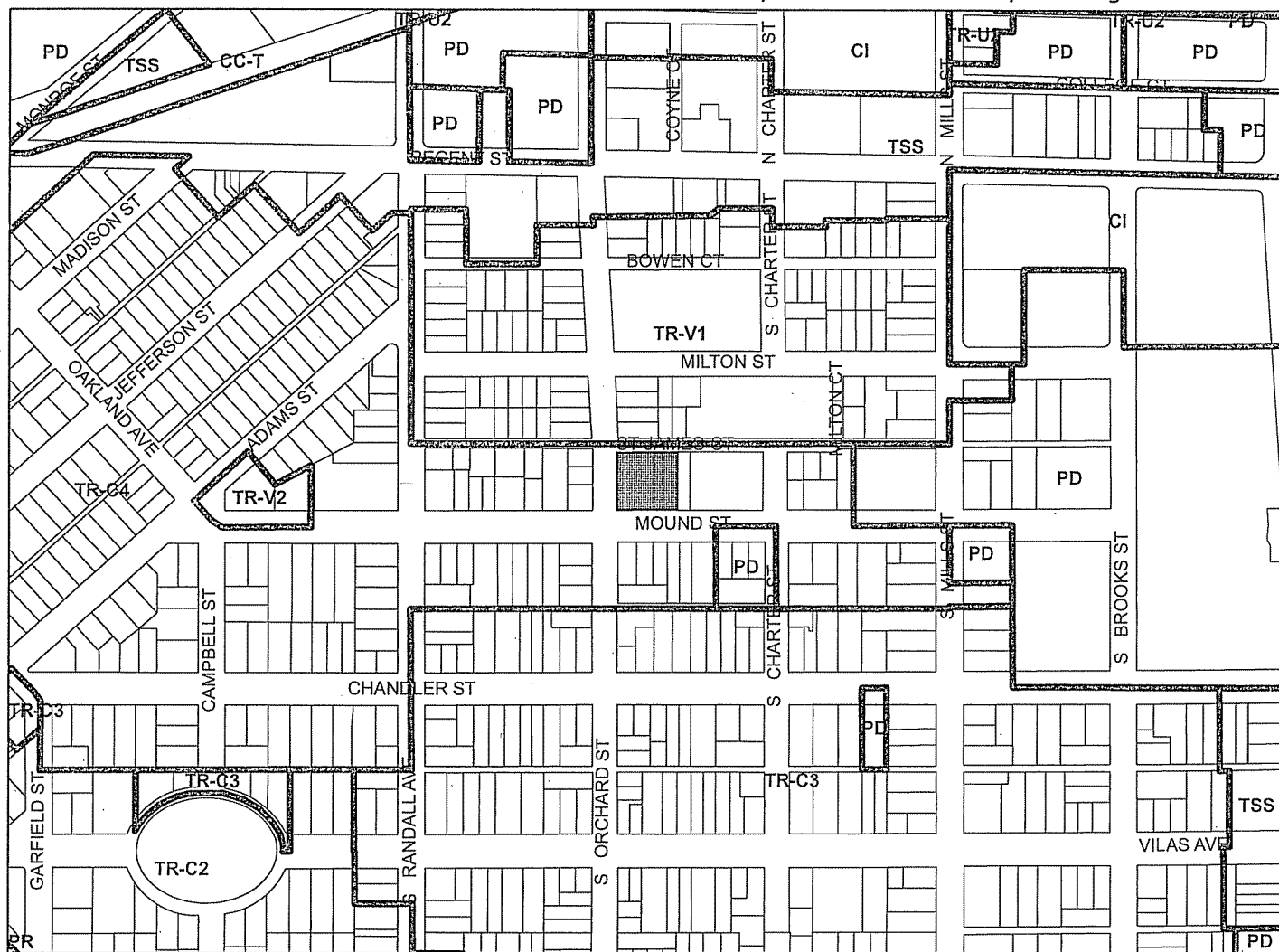
Proposed Use
Construct 3 new single-family residences
along St. James Ct. in rear yards of existing
Mound St. residences, and St. James
Cottage Homes plat, creating 7 residential lots

Public Hearing Date
Plan Commission
30 September 2013

Common Council
15 October 2013



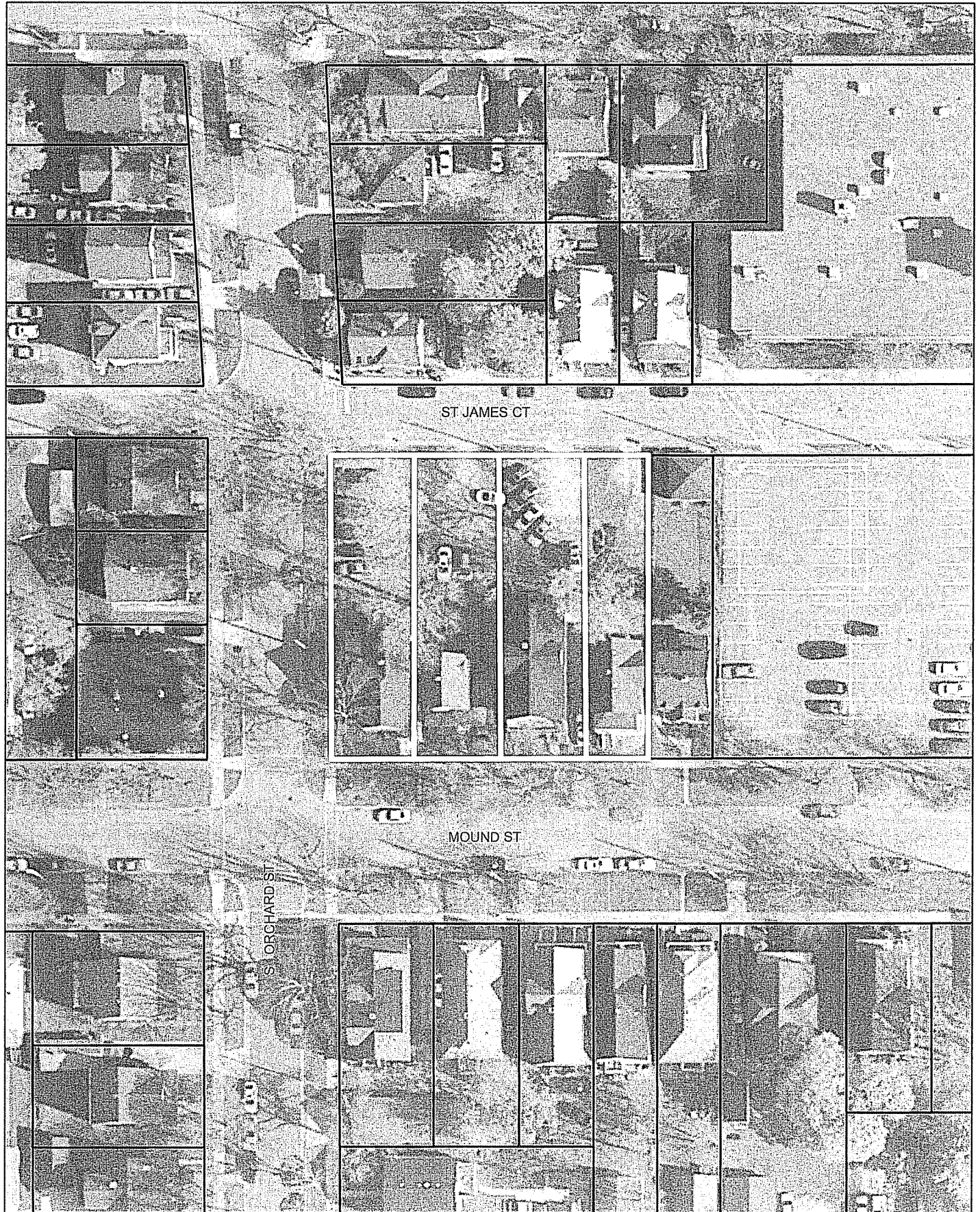
For Questions Contact: Kevin Firchow at: 267-1150 or kfirchow@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 26 September 2013

16-11





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at: www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:

Amt. Paid 91515 Receipt No. 145037
 Date Received 7/17/13
 Received By PDA
 Parcel No. MULTI
 Aldermanic District B SUE ELLINGSON
 Zoning District TR-C4
 Special Requirements /
 Review Required By:
 Urban Design Commission Plan Commission
 Common Council Other: _____

Form Effective: February 21, 2013

1. Project Address: 1220, 1226, 1234, 1236 Mound St.
Project Title (if any): St. James Cottage Homes

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from TR-C4 to PD-GDP-SIP
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Mike Fisher Company: _____
Street Address: 2249 Pinehurst Dr. City/State: Middleton, WI Zip: 53562
Telephone: (608) 836-2940 Fax: () _____ Email: fisherco@chorus.net

Project Contact Person: Randy Bruce Company: Knott & Bruce Architects, LLC
Street Address: 7601 University Ave Ste 201 City/State: Middleton, WI Zip: 53562
Telephone: (608) 836-3690 Fax: () _____ Email: rbruce@knottbruce.com

Property Owner (if not applicant): _____
Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: Construction of 3 new single family homes

Development Schedule: Commencement October 2013 Completion Spring 2014

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations **in writing** no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

Sue Ellingson (District 13) - 4/30/13, Greenbush Neighborhood Assn. - 4/30/13

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Kevin Firchow Date: 2/28/13 Zoning Staff: _____ Date: _____

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Michael Fisher Relationship to Property: owner

Authorizing Signature of Property Owner [Signature] Date 7-15-13

July 17, 2013

Ms. Katherine Cornwell
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd.
PO Box 2985
Madison, Wisconsin 53701

Re: Letter of Intent
PD-GDP-SIP Submittal
St. James Cottage Homes
1220, 1226, 1234, 1236 Mound Street
Madison, WI

Dear Ms. Cornwell,

The following is submitted together with the plans, application and zoning text for staff, Plan Commission and Common Council consideration of approval.

Organizational structure:

Owner:	Mike Fisher 2249 Pinehurst Dr. Middleton, WI 53562 608-836-2940 Contact: Mike Fisher fisherco@chorus.net	Architect:	Knothe & Bruce Architects, LLC 7601 University Ave, Suite 201 Middleton, WI 53562 (608)836-3690 Contact: Randy Bruce rbruce@knothebruce.com
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Engineer:	Vierbicher 999 Fourier Drive, Suite 201 Madison, WI 53717 (608) 826-0532 Contact: Tim Schleeper tsch@vierbicher.com	Landscape Architect:	Vierbicher
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Introduction:

The half-acre site for this project is located between St. James Court and Mound Street on the east side of S. Orchard Street. The site currently consists of four through-lots at 1220, 1226, 1234 and 1236 Mound Street, each occupied with a single-family home or two-flat. Backyard parking dominates the St. James Court frontage. This project proposes that these four lots be re-platted to create 3 additional lots fronting St. James Court, making a total of 7 lots. The four

7601 University Ave, Ste 201
Middleton, Wisconsin 53562
p (608)836-3690
f (608)836-6934
www.knothebruce.com

10-11

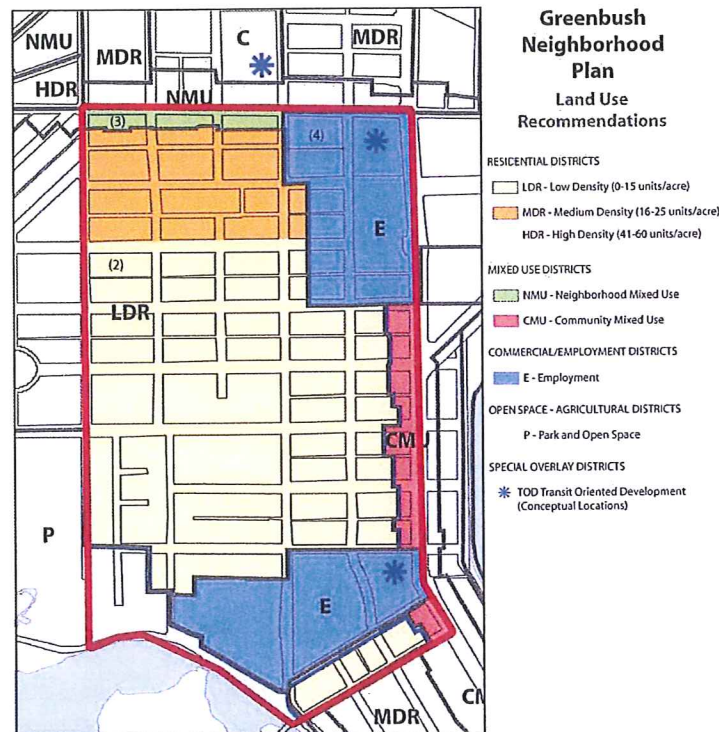
existing structures built between 1898 and 1908 will remain on Mound Street while 3 new single family houses will be constructed on the lots created on St. James Court.

The site is currently zoned TR-C4 and this application requests that the site be rezoned to PD-GDP-SIP. A draft Preliminary Plat is submitted with this application. A Preliminary and Final Plat will be submitted soon after this submittal that will create the seven lots.

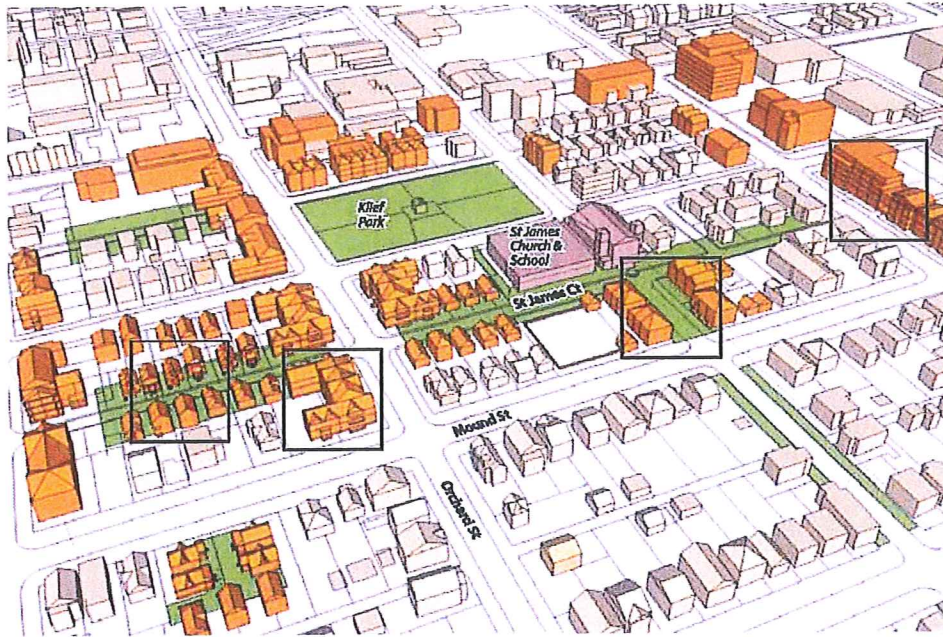
Greenbush-Vilas Neighborhood Plans:

The Greenbush Vilas Neighborhood Plan was published in May 2008 and was followed by a Revitalization Strategy, a supplement to the plan that was published in Spring of 2010. The revitalization strategy is multifaceted and targets the area north of Mound Street for additional housing options and improvements to the public streetscapes. The plan more specifically envisions St. James Court to transition to a pedestrian "Green Street" and the backyard parking on the subject properties to be replaced with four small single-family homes.

This proposed redevelopment is an implementation of this revitalization plan. The new proposed new homes are appropriately scaled with details, materials and colors chosen to maintain compatibility with the surrounding neighborhood. The parking area is internalized into the center of the block and screened from the public realm and since vehicular access to the site is taken from S. Orchard Street, this redevelopment proposal will support the future conversion of St. James Court into a pedestrian green street.



Map 4.2 Proposed Land Use Recommendations of Greenbush Neighborhood



Planned Development Objectives:

The Planned Development District is established to facilitate development in an integrated and innovative fashion and to allow for flexibility in site design. The zoning ordinance cites six specific objectives and the PD District is intended to achieve one or more of those objectives. This development proposal can meet four of the six objectives listed under 28.098(1):

- (a) Promotion of green building technologies. The newly constructed homes will be constructed to meet the NAHB Green-Built standards.
- (d) Preservation of historic structures. The development preserves the historic structures on site and enhances setting and the economic viability of the buildings.
- (e) Provision of more usable open space and public amenities. The development converts backyard parking and creates appropriately scaled front yards on St. James Court. The shared vehicular access and rear-loaded garages allow for a future Green Street on St. James Court.
- (f) Facilitation of high-quality development that is consistent with the recommendations of the adopted neighborhood plan. The proposed development plan was designed based on the recommendations of the 2010 neighborhood revitalization plan.

Planned Development Standards:

The zoning code lists seven standards that must be met for approval to be granted. The following is a statement of how the proposed redevelopment meets each of the specific standards listed under 28.098(2)(a) –(g).

- (a) The redevelopment is on an infill site that cannot be accomplished under the base TR-

- C4. The existing parcel sizes and zoning do not allow for implementation of the recommendations envisioned in the neighborhood plan.
- (b) The proposal facilitates the specific redevelopment goals of the Greenbush Vilas Revitalization Plan.
 - (c) The development will positively affect the economic health of the area of the City where the development is proposed. Additional investment in appropriate housing and the elimination of surface parking along the St. James Ct. will enhance surrounding property values and stimulate additional reinvestment.
 - (d) The backyard parking that exists on site will be eliminated. Parking and traffic will be reduced on the site and the resulting traffic will be more appropriately managed by directing it to S. Orchard Street. An appropriate level of on-site parking and garage parking will be provided to serve the development.
 - (e) The new homes have a coordinated architecture that is well-designed and compatible with the existing buildings in the immediate neighborhood.
 - (f) The redevelopment proposal will be completed in one phase and construction will proceed as soon as development approvals are in place. Completion of the project is scheduled for Spring 2014.
 - (g) This standard does not apply

Site Development Data:

Current Site Development Data

<u>Address</u>	<u>Lot Area</u>	<u>Dwelling Units</u>	<u>Unit Size</u>	<u>Floor Area</u>
1220 Mound St.	4260 SF	1	4 bed	1482 SF
1226/1228 Mound St.	5700 SF	2	(2) 4 bed	2352 SF
1234 Mound St.	5680 SF	1	4 bed	1122 SF
1236 Mound St	5700 SF	2	3 bed, 4 bed	2128 SF
<u>Existing Parking:</u>	14 Stalls (surface)			

Proposed Site Development Data

<u>Lot</u>	<u>Lot Area</u>	<u>Dwelling Units</u>	<u>Unit Size</u>	<u>Floor Area</u>
1	2856 SF	1	3 bed	1434 SF
2	2576 SF	1	3 bed	1501 SF
3	2968 SF	1	3 bed	1470 SF
4	2603 SF	1	4 bed	1482 SF
5	3473 SF	2	(2) 4 bed	2352 SF
6	3473 SF	1	4 bed	1122 SF
7	3473 SF	2	3 bed, 4 bed	2128 SF

Unit Mix

3 Bedroom	4
4 Bedroom	5
Total	9

Building Height: 2 Stories

Vehicle Parking Stalls:

Surface	6 Stalls
Garage	3 Stalls
Total	9 Stalls

Bicycle Parking Stalls:

Surface	8 Stalls
Garage	3 + Stalls
Total	11+ Stalls

Thank you for your time in reviewing our proposal.

Very Truly Yours,



J. Randy Bruce, AIA
Managing Member

Legal Description: See attached description

- A. **Statement of Purpose:** This zoning district is established to allow a 9 unit residential development.
- B. **Permitted Uses:** Those uses permitted in the TR-C4 District.
- C. **Lot Area:** As shown on the approved plans.
- D. **Height Regulations:** As shown on the approved plans.
- E. **Yard Regulations:** As shown on the approved plans.
- F. **Landscaping:** Site Landscaping will be provided as shown on the approved plans.
- G. **Usable Open Space Requirements:** Usable open space will be provided as shown on the approved plans.
- H. **Parking & Loading:** Off-street parking shall be provided as shown on the approved plans.
- I. **Family Definition:** The family definition for lots 1, 2, and 3 shall coincide with the definition given in M.G.O. 28.211 for the TR-C4 zoning district. The family definition for lots 4, 5, 6, and 7 shall coincide with the definition given in M.G.O. 28.211 for the TR-V1 zoning district.
- J. **Signage:** Signage will be allowed as per Chapter 31 of the Madison General Ordinances as compared to the TR-C4 district.
- K. **Alterations and Revisions:** No alteration or revision of this Planned Development shall be permitted unless approved by the City Planning Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Architectural Review Committee, Director Of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Planning Commission.

Description:

LOTS 11 AND 12, AND THE WEST 1/2 OF LOT 10, BLOCK 8, BOWEN'S ADDITION TO THE CITY OF MADISON, AS RECORDED IN VOLUME 1 OF PLATS, ON PAGE 12, AS DOCUMENT NUMBER 192989, DANE COUNTY REGISTRY, LOCATED IN THE NE 1/4 - SE 1/4 OF SECTION 22, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN

Parcel Numbers

251/0709-224-1901-9

251/0709-224-1902-7

251/0709-224-1903-5

251/0709-224-1904-3

Parcel 1:

The West 40 feet of Lot 12, EXCEPT the North 7.5 feet thereof, Block 8, Bowen's Addition, in the City of Madison, Dane County, Wisconsin.

Parcel 2:

The East 20 feet of Lot 12 and the West 20 feet of Lot 11, Block 8, Bowen's Addition, in the City of Madison, Dane County, Wisconsin, EXCEPT that part deeded to the City of Madison by Quit Claim Deed recorded in Vol. 709 of Deeds, Page 386, as #1002526.

Parcel 3:

The East 40 feet of Lot 11, EXCEPT the North 7.5 feet thereof, Block 8, Bowen's Addition, in the City of Madison, Dane County, Wisconsin.

Parcel 4:

The West 1/2 of Lot 10, Block 8, Bowen's Addition to the City of Madison, in the City of Madison, Dane County, Wisconsin, EXCEPT the North 7.5 feet of the West 1/2 of Lot 10, Block 8, Bowen's Addition to the City of Madison..

DESCRIPTION

Parcel 1: The West 40 feet of Lot 12, EXCEPT the North 7.5 feet thereof, Block 8, Bowen's Addition, in the City of Madison, Dane County, Wisconsin.

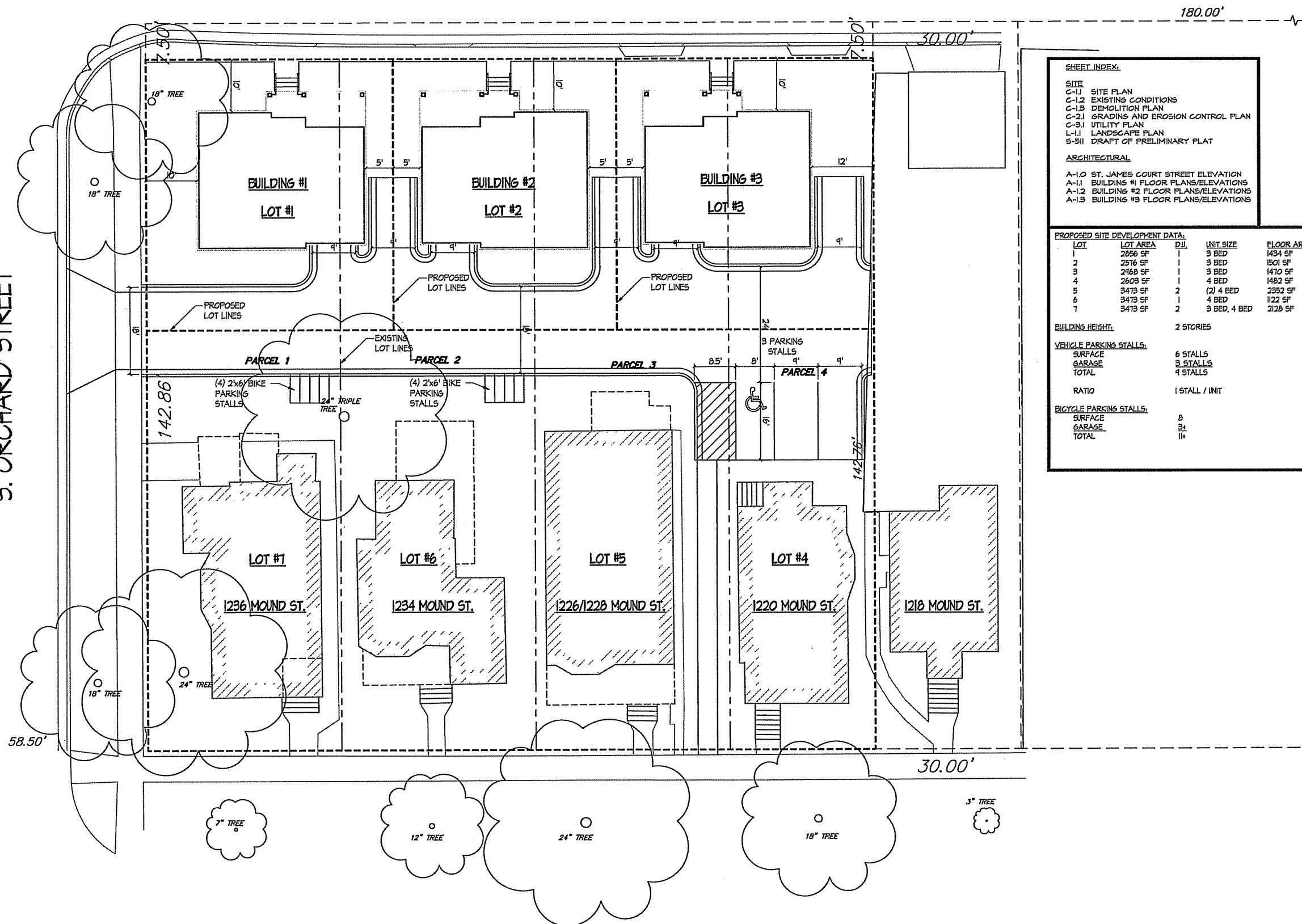
Parcel 2: The East 20 feet of Lot 12 and the West 20 feet of Lot 11, Block 8, Bowen's Addition, in the City of Madison, Dane County, Wisconsin, EXCEPT that part deeded to the City of Madison by Quit Claim Deed recorded in Vol. 709 of Deeds, Page 386, as #1002526.

Parcel 3: The East 40 feet of Lot 11, EXCEPT the North 7.5 feet thereof, Block 8, Bowen's Addition, in the City of Madison, Dane County, Wisconsin.

Parcel 4: The West 1/2 of Lot 10, Block 8, Bowen's Addition to the City of Madison, in the City of Madison, Dane County, Wisconsin, EXCEPT the North 7.5 feet of the West 1/2 of Lot 10, Block 8, Bowen's Addition to the City of Madison.

ST. JAMES COURT

S. ORCHARD STREET



SHEET INDEX:

SITE
 C-1.1 SITE PLAN
 C-1.2 EXISTING CONDITIONS
 C-1.3 DEMOLITION PLAN
 C-2.1 GRADING AND EROSION CONTROL PLAN
 C-3.1 UTILITY PLAN
 L-1.1 LANDSCAPE PLAN
 S-5.11 DRAFT OF PRELIMINARY PLAT

ARCHITECTURAL
 A-1.0 ST. JAMES COURT STREET ELEVATION
 A-1.1 BUILDING #1 FLOOR PLANS/ELEVATIONS
 A-1.2 BUILDING #2 FLOOR PLANS/ELEVATIONS
 A-1.3 BUILDING #3 FLOOR PLANS/ELEVATIONS

PROPOSED SITE DEVELOPMENT DATA:

LOT	LOT AREA	D.U.	UNIT SIZE	FLOOR AREA
1	2856 SF	1	3 BED	1434 SF
2	2576 SF	1	3 BED	1501 SF
3	2468 SF	1	3 BED	1470 SF
4	2603 SF	1	4 BED	1482 SF
5	3473 SF	2	(2) 4 BED	2352 SF
6	3473 SF	1	4 BED	1122 SF
7	3473 SF	2	3 BED, 4 BED	2128 SF

BUILDING HEIGHT: 2 STORIES

VEHICLE PARKING STALLS:
 SURFACE 6 STALLS
 GARAGE 3 STALLS
 TOTAL 9 STALLS

RATIO: 1 STALL / UNIT

BICYCLE PARKING STALLS:
 SURFACE 8
 GARAGE 3 1/2
 TOTAL 11 1/2

Revisions
 PVD-SIP Submittal - July 17, 2013

Project Title
St. James Cottage Homes

1220, 1226, 1234, 1236 Mound St
 Madison, WI
 Drawing Title
Site Plan

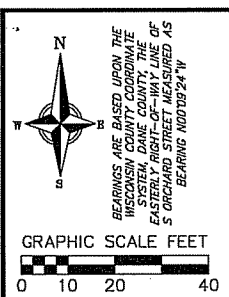
Project No. _____ Drawing No. _____

1311 C-1.1

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Site Plan
 1" = 12'

16 Jul 2013 - 9:26:00 MA\Fisher Construction\130096_1220 Mound Street\Engineering\Civil\3D\130096-Base.dwg by: acor



SURVEYED FOR:
 FISHER CONSTRUCTION, INC.
 PO BOX 620800
 MIDDLETON, WI 53562

SURVEYED BY:
 VIERBICHER ASSOCIATES, INC.
 BY: MICHAEL S. MARTY
 999 FOURIER DRIVE,
 SUITE 201
 MADISON, WI 53717
 (608)-821-3955
 mmarty@vierbicher.com

SURVEY LEGEND

- ✕ FOUND CHISELED "X"
- ⊙ FOUND 1" Ø IRON PIPE
- ⊗ FOUND 2" Ø IRON PIPE
- SET 3/4" x 24" SOLID IRON RE-ROD WT. 1.50 lbs./ft.
- () RECORDED AS DATA

DESCRIPTION AND PARCEL NUMBERS AS PROVIDED IN TITLE COMMITMENT 113040125, DATED APRIL 8, 2013 AND TITLE COMMITMENTS 113040123, 113040127 AND 113040128, DATED APRIL 12, 2013 FROM PREFERRED TITLE, LLC.

Parcel Numbers
 251/0709-224-1901-9
 251/0709-224-1902-7
 251/0709-224-1903-5
 251/0709-224-1904-3

Parcel 1
 The West 40 feet of Lot 12, EXCEPT the North 7.5 feet thereof, Block B, Bowen's Addition, in the City of Madison, Dane County, Wisconsin.

Parcel 2
 The East 20 feet of Lot 12 and the West 20 feet of Lot 11, Block B, Bowen's Addition, in the City of Madison, Dane County, Wisconsin, EXCEPT that part devoted to the City of Madison by Gift Claim Deed recorded in Vol. 709 of Deeds, Page 386, as #1002226.

Parcel 3
 The East 40 feet of Lot 11, EXCEPT the North 7.5 feet thereof, Block B, Bowen's Addition, in the City of Madison, Dane County, Wisconsin.

Parcel 4
 The West 1/2 of Lot 10, Block B, Bowen's Addition to the City of Madison, in the City of Madison, Dane County, Wisconsin, EXCEPT the North 7.5 feet of the West 1/2 of Lot 10, Block B, Bowen's Addition to the City of Madison.

NOTES:

- This survey was prepared based upon information provided in Title Commitment 113040125, dated April 8, 2013 and Title Commitments 113040123, 113040127 and 113040128, dated April 12, 2013 from Preferred Title, LLC.
- This survey is based upon field survey work performed on April 5 & 10, 2013. Any changes in site conditions after April 10, 2013 are not reflected by this survey.
- At the time of the field survey Mound Street was under total re-construction.
- Utility locations were field located based upon substantial, visible, above ground structures, upon maps provided to the surveyor, or upon markings on the ground placed by utility companies and/or their agents. No warranty is given to the utility markings by others or that all underground utilities affecting this property were marked and subsequently located for this survey. A locate request was sent to Digger's Hotline per Digger Hotline One-Call ticket numbers 20131407647, 20131407650, 20131407653 and 20131407658. Independent location of buried private utilities is not within the scope of this survey.
- No attempt has been made as a part of this survey to obtain or show data concerning size, condition, or capacity of any utility or municipal/public service facility. For information regarding these utilities contact the appropriate agencies.
- Size of sanitary sewer, storm sewer and water main are per information provided by the City of Madison.
- Surveyor has made no investigation or independent search for encumbrances, restrictive covenants, or ownership title evidence.
- Elevations are based upon the City of Madison NAVD83 Datum per published control.

This survey was prepared based upon information provided in Title Commitment No 113040128, dated April 12, 2013 from Preferred Title, LLC. Schedule B references the following:

- Mortgages: Mortgage recorded as #4429320; modified by Affidavit of Correction recorded as #4442778 to correct the legal description. Assignment of Leases and Rents recorded as #4429321; modified by Affidavit of Correction recorded as #4443229 to correct the legal description.
- Certificate of Compliance recorded as #2994834.

This survey was prepared based upon information provided in Title Commitment No 113040127, dated April 12, 2013 from Preferred Title, LLC. Schedule B references the following:

- Mortgages: Mortgage recorded as #4378039; Assignment of Leases and Rents recorded as #4378040; Mortgage recorded as #4556546; Modification of Mortgage recorded as #4910900 (covers additional land); Assignment of Rents recorded as #4559572 (covers additional land).
- Certificate of Compliance recorded as #4378038.

This survey was prepared based upon information provided in Title Commitment No 113040125, dated April 8, 2013 from Preferred Title, LLC. Schedule B references the following:

- Mortgages: Mortgage recorded as #4429316; Assignment of Leases and Rents recorded as #4429317;
- Certificate of Compliance recorded as #3637604.

This survey was prepared based upon information provided in Title Commitment No 113040123, dated April 12, 2013 from Preferred Title, LLC. Schedule B references the following:

- Mortgages: Mortgage recorded as #4556546; Modified by Modification of Mortgage recorded as #4910900 (covers additional land); Assignment of Rents recorded as #4599572 (covers additional land); Mortgage recorded as #4394456; Assignment of Leases and Rents recorded as #4394459.
- Certificate of Compliance recorded as #3290913.

TOPOGRAPHIC LINEWORK LEGEND

- EXISTING CHAIN LINK FENCE
- EXISTING GAS LINE
- DU—DU— EXISTING OVERHEAD GENERAL UTILITIES
- IE—IE— EXISTING UNDERGROUND ELECTRIC LINE
- SAN—SAN— EXISTING SANITARY SEWER LINE (SIZE NOTED)
- ST—ST— EXISTING STORM SEWER LINE (SIZE NOTED)
- WH—WH— EXISTING WATER MAIN (SIZE NOTED)
- B20— EXISTING MAJOR CONTOUR
- 818— EXISTING MINOR CONTOUR

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING POST
- EXISTING SIGN
- EXISTING CURB INLET
- ⊙ EXISTING FIELD INLET
- ⊙ EXISTING STORM MANHOLE
- ⊙ EXISTING SANITARY MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER MAIN VALVE
- ⊙ EXISTING CURB STOP
- ⊙ EXISTING GAS VALVE
- ⊙ EXISTING DOWN GUY
- ⊙ EXISTING UTILITY POLE
- ⊙ EXISTING SHRUB
- ⊙ EXISTING CONIFEROUS TREE
- ⊙ EXISTING DECIDUOUS TREE

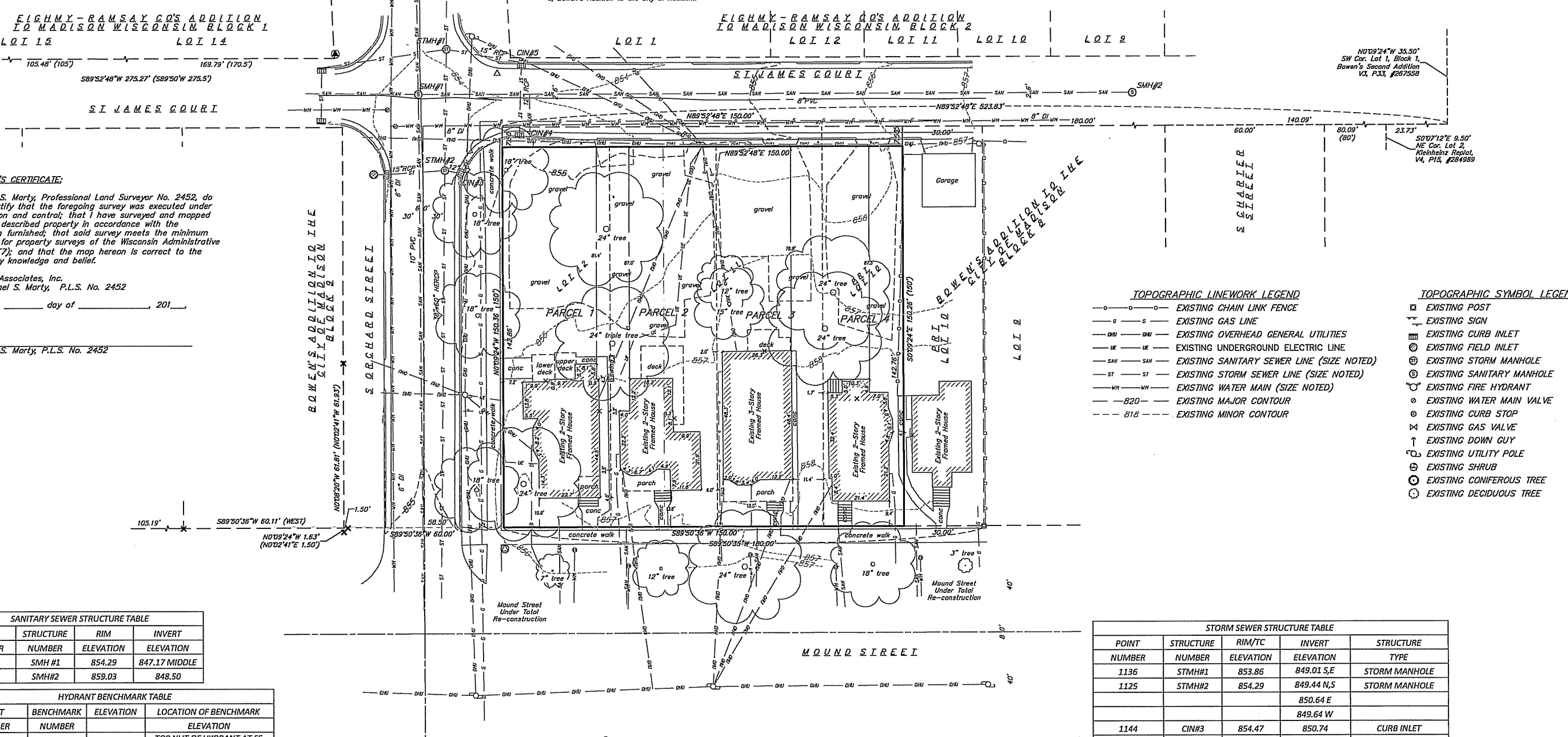
SURVEYOR'S CERTIFICATE:

I, Michael S. Marty, Professional Land Surveyor No. 2452, do hereby certify that the foregoing survey was executed under my direction and control; that I have surveyed and mapped the above described property in accordance with the information furnished; that said survey meets the minimum standards for property surveys of the Wisconsin Administrative Code (A-E7); and that the map hereon is correct to the best of my knowledge and belief.

Vierbicher Associates, Inc.
 By: Michael S. Marty, P.L.S. No. 2452

Dated this _____ day of _____, 201__

Michael S. Marty, P.L.S. No. 2452



SANITARY SEWER STRUCTURE TABLE

POINT NUMBER	STRUCTURE NUMBER	RIM ELEVATION	INVERT ELEVATION
1129	SMH#1	854.29	847.17 MIDDLE
1139	SMH#2	859.03	848.50

HYDRANT BENCHMARK TABLE

POINT NUMBER	BENCHMARK NUMBER	ELEVATION	LOCATION OF BENCHMARK ELEVATION
10	BM #1	858.33	TOP NUT OF HYDRANT AT SE CORNER OF MOUND ST AND ORCHARD ST

STORM SEWER STRUCTURE TABLE

POINT NUMBER	STRUCTURE NUMBER	RIM/TC ELEVATION	INVERT ELEVATION	STRUCTURE TYPE
1136	STMH#1	853.86	849.01 S/E	STORM MANHOLE
1125	STMH#2	854.29	849.44 N/S	STORM MANHOLE
			850.64 E	
			849.64 W	
1144	CIN#3	854.47	850.74	CURB INLET
1151	CIN#4	854.03	850.71	CURB INLET
1219	CIN#5	854.11	850.03	CURB INLET

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EXISTING CONDITIONS PLAN
 1220 MOUND STREET
 CITY OF MADISON
 DANE COUNTY, WISCONSIN

NO.	DATE	REVISIONS	REMARKS

SCALE AS SHOWN

DATE: 07-15-13

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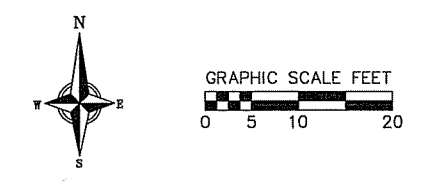
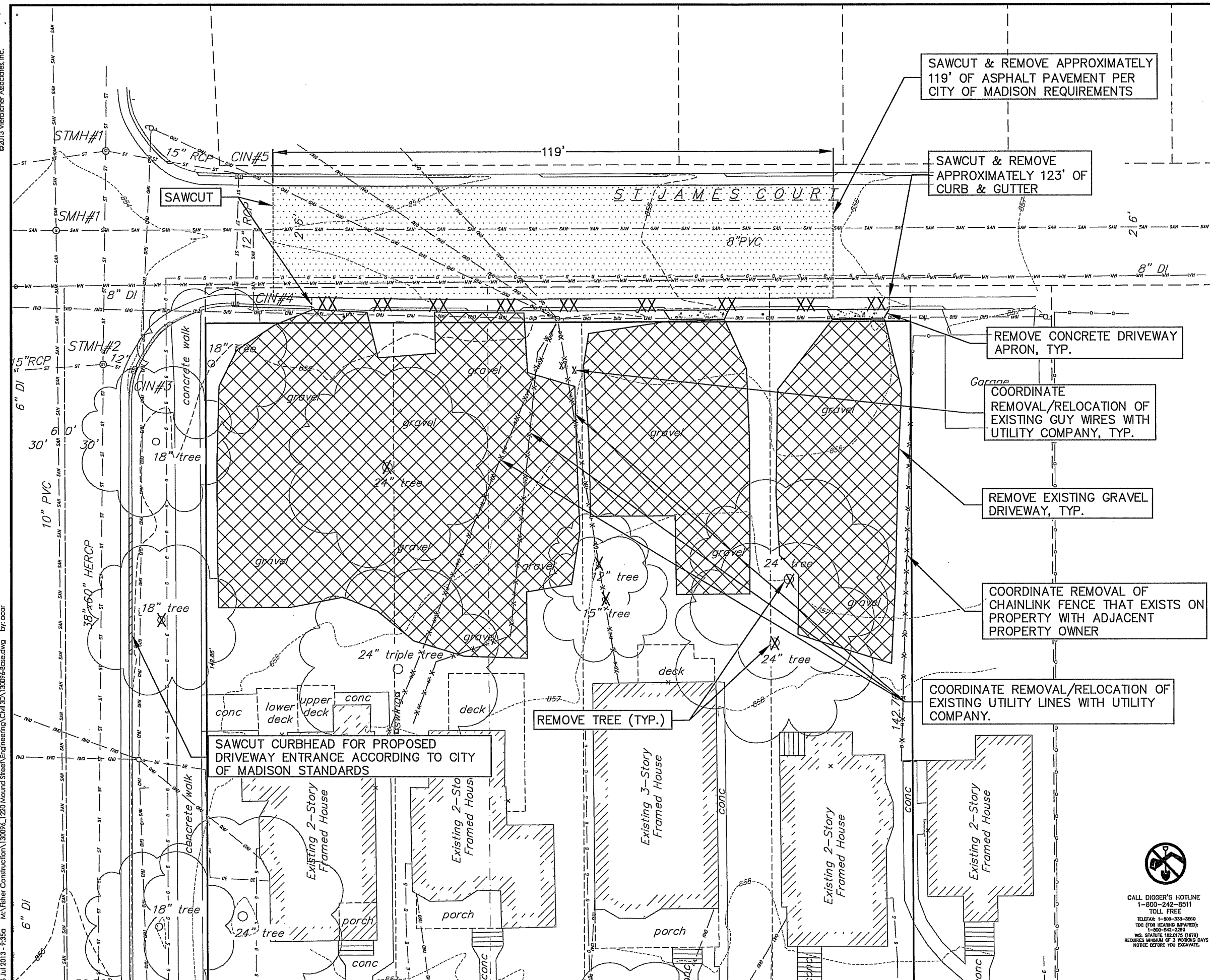
PROJECT NO.: 130096

SHEET: C1.2

DWG. NO.:

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- DEMOLITION PLAN LEGEND**
- XX XX CURB AND GUTTER REMOVAL
 - ASPHALT PAVEMENT REMOVAL
 - GRAVEL DRIVEWAY REMOVAL
 - CONCRETE REMOVAL
 - CURBHEAD SAWCUT
 - (X) TREE REMOVAL
 - EX- DOWN GUY WIRE REMOVAL
 - SAWCUT
 - UNDERGROUND ELECTRIC REMOVAL
 - OVERHEAD UTILITY REMOVAL
 - CHAINLINK FENCE REMOVAL

- GENERAL NOTES:**
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
 - ALL WORK WITHIN THE CITY RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
 - ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
 - ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PAVING CRITERIA.
 - THESE DRAWINGS ASSUME THAT THE CONTRACTOR WILL UTILIZE AN ELECTRONIC DRAWING FILE AND STAKE ALL SITE IMPROVEMENTS USING COORDINATES TIED INTO CONTROL POINTS. THE DIMENSIONS INDICATED ON THE DRAWINGS ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY.
 - PRIOR TO THE USE OF THESE DRAWINGS FOR CONSTRUCTION PURPOSES, THE USER SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF BUILDINGS WITH THE FOUNDATION DRAWINGS AND ARCHITECTURAL SITE PLAN. IF CONFLICTS EXIST THE USER OF THESE DRAWINGS SHALL CONTACT THE ENGINEER IMMEDIATELY.
 - CONTRACTOR SHALL NOTIFY THE OWNER, ENGINEER AND THE CITY OF MADISON AT (608) 268-4751 A MINIMUM OF 48 HOURS IN ADVANCE OF PERFORMING ANY WORK.
 - ALL WORK FOR PUBLIC IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY ARE TO BE PER CITY ISSUED PLANS AND PROJECT #53B2293.

- DEMOLITION NOTES:**
- ALL SIGNS TO BE REMOVED SHALL BE SALVAGED AND STORED IN THE OWNER'S FACILITY FOR FUTURE USE AS APPLICABLE.
 - CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
 - COORDINATE EXISTING UTILITY REMOVAL WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
 - ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
 - CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
 - COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
 - PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
 - ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
 - THE MADISON WATER UTILITY SHALL BE NOTIFIED TO REMOVE THE WATER METER PRIOR TO DEMOLITION. ALL WELLS LOCATED ON THIS PROPERTY SHALL BE ABANDONED IF NO VALID WELL OPERATION PERMIT HAS BEEN OBTAINED FROM THE MADISON WATER UTILITY.


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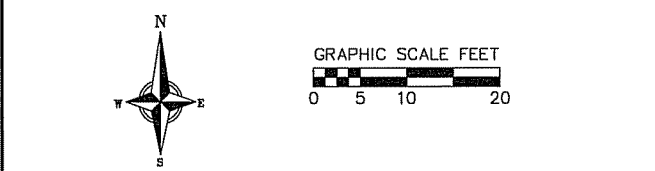
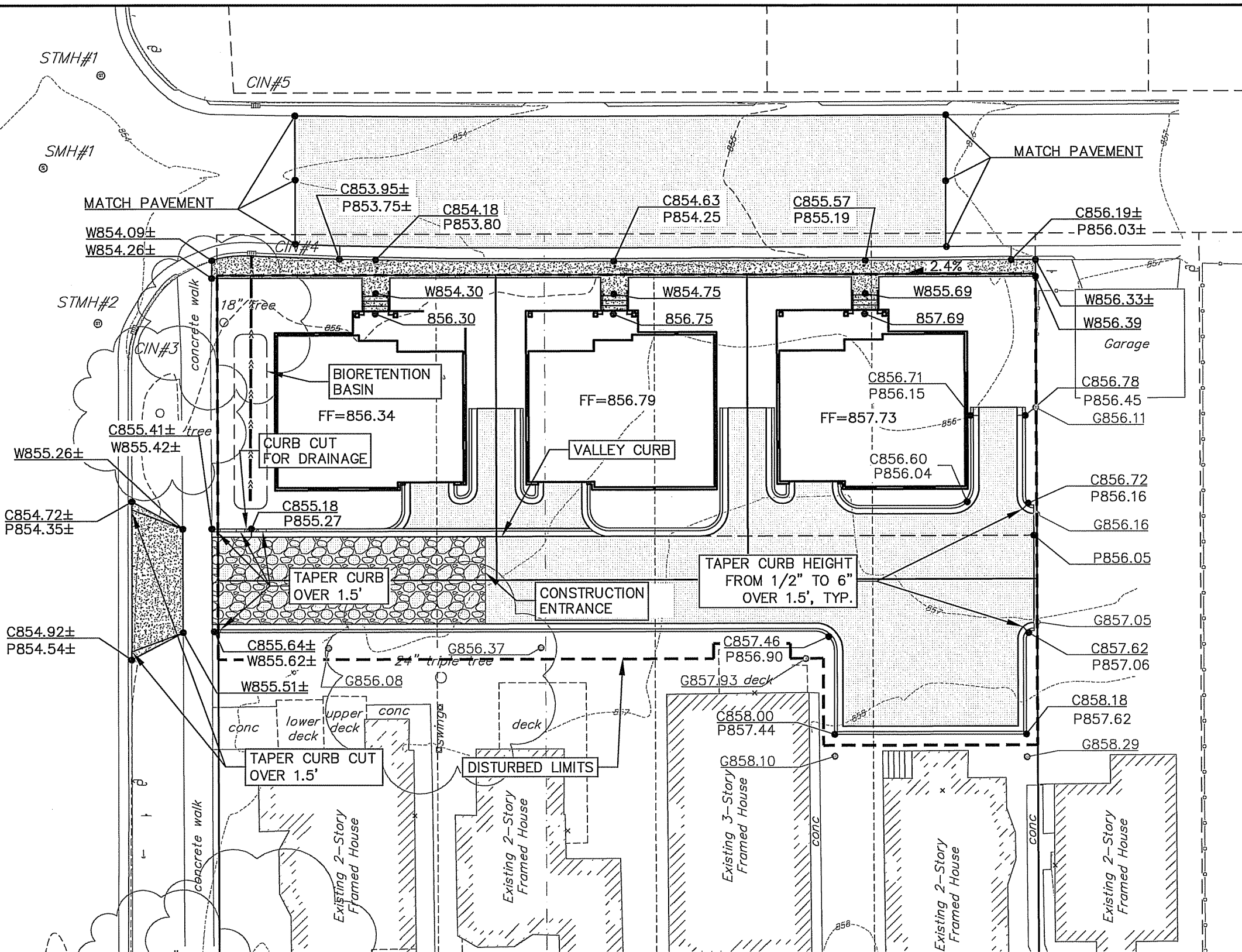
DEMOLITION PLAN
 1220 MOUND STREET
 CITY OF MADISON
 DANE COUNTY, WISCONSIN

NO.	DATE	REVISIONS	REMARKS

SCALE AS SHOWN
 DATE 07-15-13
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- GRADING LEGEND**
- - - - -820- - - - - EXISTING MAJOR CONTOURS
 - - - - -818- - - - - EXISTING MINOR CONTOURS
 - - - - -820- - - - - PROPOSED MAJOR CONTOURS
 - - - - -818- - - - - PROPOSED MINOR CONTOURS
 - ○ ○ ○ ○ SILT FENCE
 - - - - - DISTURBED LIMITS
 - DRAINAGE DIRECTION
 - ↗ PROPOSED SLOPE ARROWS
 - 855.50 EXISTING SPOT ELEVATIONS
 - 855.50 PROPOSED SPOT ELEVATIONS
 - INLET PROTECTION
 - ▨ TRACKING PAD
- SITE PLAN LEGEND**
- ▭ PROPERTY BOUNDARY
 - ▭ CURB AND GUTTER
 - ▨ PROPOSED CONCRETE
 - ▨ PROPOSED ASPHALT PAVEMENT
- ABBREVIATIONS**
- C = BACK OF CURB
 - P = EDGE OF PAVEMENT
 - W = SIDEWALK
 - G = GROUND ELEVATION
 - FF = FINISHED FLOOR

EROSION CONTROL MEASURE NOTES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wisconsin.gov/runoff/Stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISCONSIN TECHNICAL STANDARD FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
7. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
8. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 250 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1051 (DE-WATERING). PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. A SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.
9. WASHED STONE WEEDERS OR TEMPORARY EARTH BERMS SHALL BE BUILT AS NECESSARY BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
10. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
11. RESTORATION (SEED, FERTILIZER AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
12. ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.
13. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
14. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOO) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
15. EROSION MAT (TYPE I CLASS A PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
16. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
17. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY.
18. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
19. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
20. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF MADISON.
21. THE CITY OF MADISON, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

SITE CONSTRUCTION NOTES

1. CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE. SEE SHEET C-2.3 FOR DETAILS.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
3. CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, OR RIGHT-OF-WAY PERMITS.
4. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
5. ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
6. CONTRACTOR SHALL OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, WORK IN RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
7. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
8. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT 5382303).

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE AND TRACKING PAD.
2. INSTALL INLET PROTECTION ON EXISTING INLETS ADJACENT TO PROPERTY.
3. PERFORM SITE DEMOLITION AND REMOVE PAVEMENT.
4. STRIP SITE TOPSOIL AND STOCKPILE/REMOVE EXCESS.
5. ROUGH GRADE FOR FOR BUILDING PADS AND WALKS.
6. CONSTRUCT UNDERGROUND UTILITIES.
7. INSTALL INLET PROTECTION ON NEW INLETS.
8. CONSTRUCT WALKS, DRIVE, CURB AND GUTTER AND LOADING AREA.
9. FINAL GRADE SITE. INSTALL TOPSOIL, SEED, FERTILIZER AND MULCH.
10. REMOVE SILT FENCE AFTER DISTURBED AREAS ARE RESTORED.

SEEDING RATES:

- TEMPORARY:**
1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
 2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.
- PERMANENT:**
1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.
- FERTILIZING RATES:**
- TEMPORARY AND PERMANENT:**
- USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.
- MULCHING RATES:**
- TEMPORARY AND PERMANENT:**
- USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

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GRADING AND EROSION CONTROL PLAN
 ST JAMES COTTAGE HOMES
 CITY OF MADISON
 DANE COUNTY, WISCONSIN

NO.	DATE	REVISIONS	REMARKS

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DATE 07-15-13

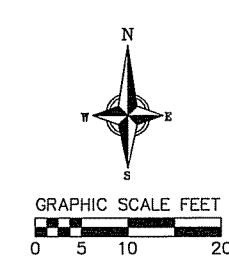
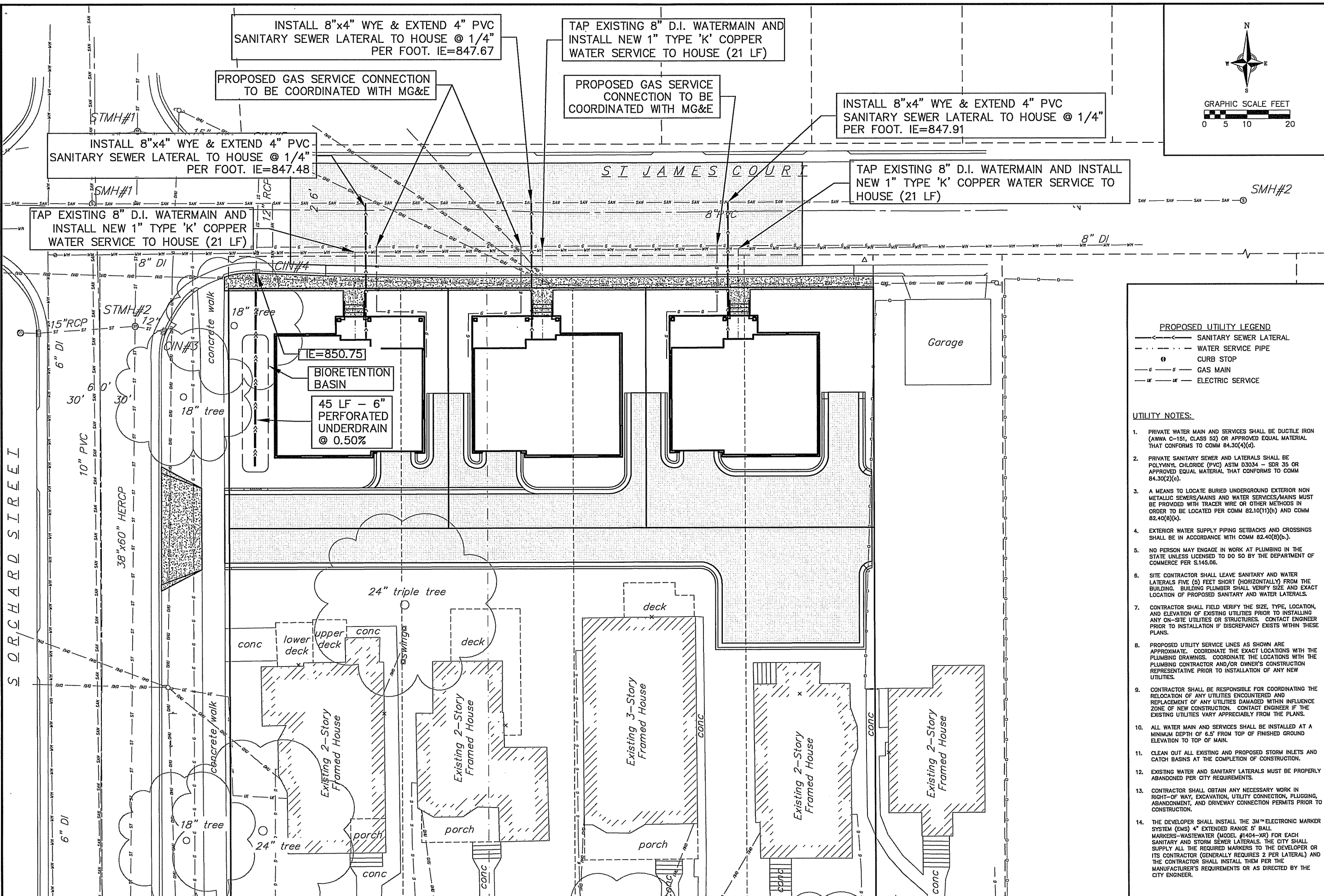
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PROJECT NO. 130096

SHEET C2.1

DWG. NO.



- PROPOSED UTILITY LEGEND**
- SANITARY SEWER LATERAL
 - - - WATER SERVICE PIPE
 - ⊙ CURB STOP
 - GAS MAIN
 - IE — ELECTRIC SERVICE

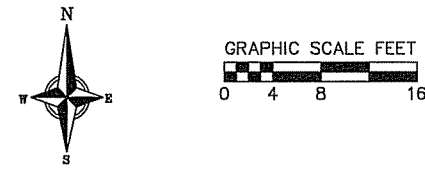
- UTILITY NOTES:**
- PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151, CLASS 52) OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(4)(d).
 - PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(2)(c).
 - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER COMM 82.10(11)(b) AND COMM 82.40(b)(4).
 - EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH COMM 82.40(b)(b).
 - NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF COMMERCE PER S.145.06.
 - SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
 - CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
 - PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
 - ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
 - CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
 - EXISTING WATER AND SANITARY LATERALS MUST BE PROPERLY ABANDONED PER CITY REQUIREMENTS.
 - CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
 - THE DEVELOPER SHALL INSTALL THE 3M[™] ELECTRONIC MARKER SYSTEM (EMS) 4" EXTENDED RANGE 5' BALL MARKERS-WASTEWATER (MODEL #1404-XR) FOR EACH SANITARY AND STORM SEWER LATERALS. THE CITY SHALL SUPPLY ALL THE REQUIRED MARKERS TO THE DEVELOPER OR ITS CONTRACTOR (GENERALLY REQUIRES 2 PER LATERAL) AND THE CONTRACTOR SHALL INSTALL THEM PER THE MANUFACTURER'S REQUIREMENTS OR AS DIRECTED BY THE CITY ENGINEER.

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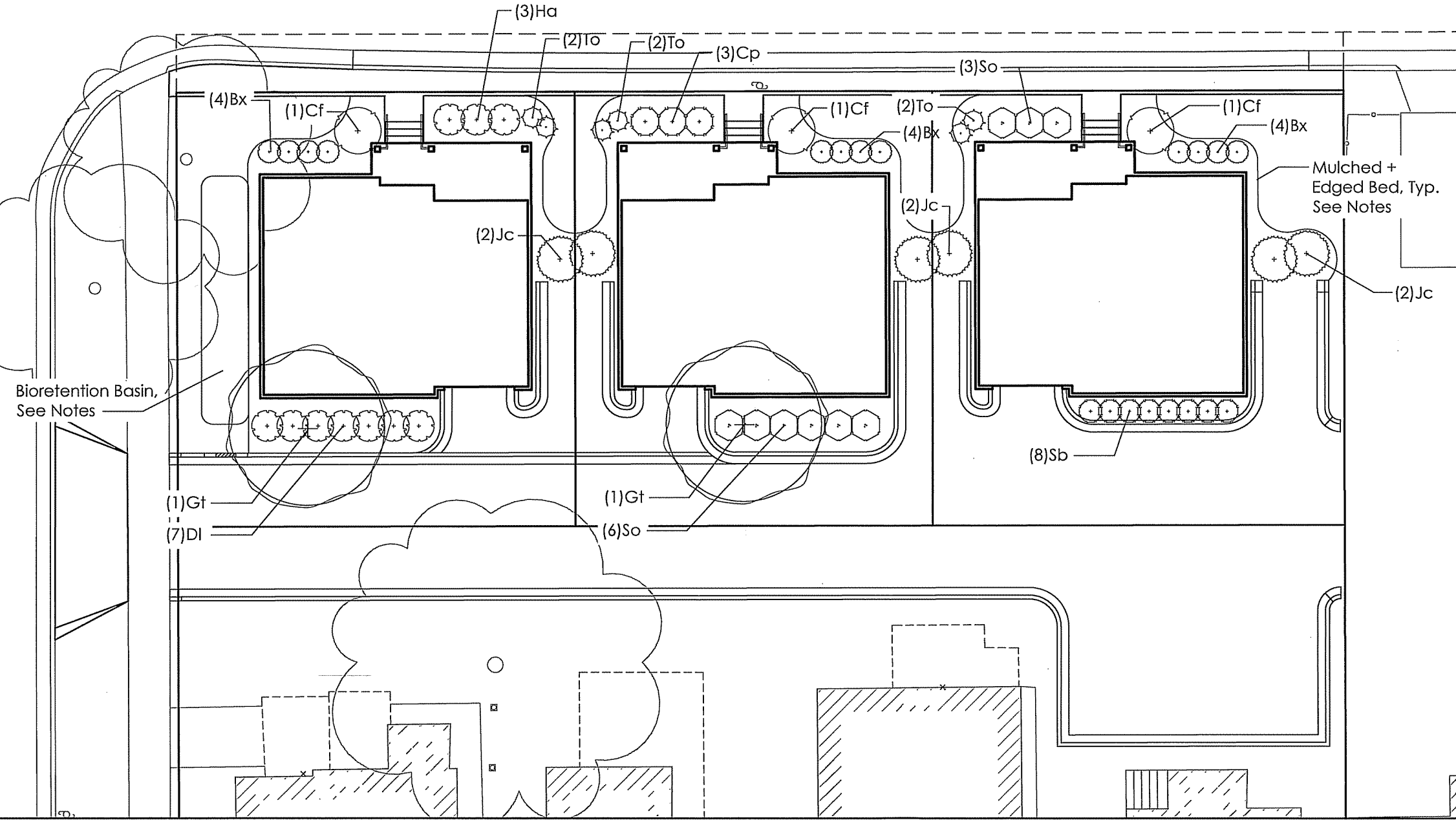
UTILITY PLAN
 ST JAMES COTTAGE HOMES
 CITY OF MADISON
 DANE COUNTY, WISCONSIN

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- GENERAL NOTES:**
- All plantings shall conform to quality requirements as per ANSI Z60.1.
 - All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climactic conditions similar to those of the project site.
 - Contact Landscape Architect, in writing, to request and plant material substitutions due to availability issues.
 - All disturbed areas, unless otherwise noted, to be seeded with Madison Parks Mix by Olds Seed Company or equivalent, per manufacturer's specified application rates. All seeded areas are to be watered daily to maintain adequate soil moisture for proper germination. After vigorous growth is established, apply 1/2" water twice weekly until final acceptance.
 - All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.
 - Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/sodded.
 - Landscape beds to be mulched with undyed shredded hardwood bark mulch to 3" depth min. and edged with black vinyl landscape edging, Black Diamond or equal.
 - Bioretention basin to be planted with native perennial forbs and grasses, plant schedule to be developed.



Bioretention Basin, See Notes

Mulched + Edged Bed, Typ. See Notes

LANDSCAPE PLAN
ST JAMES COTTAGE HOMES
 CITY OF MADISON
 DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS	
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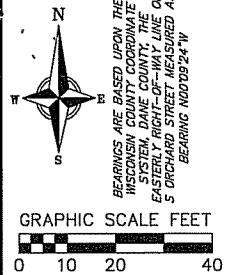
PROJECT NO. 130096

SHEET L1.1

DWG. NO.

Plant Schedule						
key	qty.	botanical name	common name	planting size	root cond.	mature size
shade trees						
Gt	2	<i>Gleditsia triacanthos 'Impcole'</i>	Imperial Honeylocust	2.5" cal.	B&B	30' x 30'
deciduous shrubs						
Cf	3	<i>Calycanthus floridus</i>	Sweetshrub/California Allspice	30" ht.	cont.	5' x 6'
Cp	3	<i>Cornus pumila</i>	Dwarf Dogwood	30" ht.	cont.	3' x 4'
DI	7	<i>Diervilla lonicera</i>	Dwarf Bush-Honeysuckle	#5	cont.	3' x 4'
Ha	3	<i>Hydrangea arborescens 'Grandiflora'</i>	Snowhill Hydrangea	30" ht.	cont.	4' x 4'
Sb	8	<i>Spiraea betulifolia 'Tor'</i>	Tor Birchleaf Spirea	18" ht.	cont.	30" x 3'
So	9	<i>Symphoricarpos orbiculatus</i>	Indiancurrant Coralberry	12" ht.	cont.	30" x 4'
evergreen shrubs						
Bx	12	<i>Buxus x 'Green Mountain'</i>	Green Mountain Boxwood	18" ht.	cont.	3' x 3'
Jc	6	<i>Juniperus chinensis 'Sea Green'</i>	Sea Green Juniper	30" ht.	cont.	5' x 6'
To	6	<i>Thuja occidentalis 'Holmstrup'</i>	Holmstrup Arborvitae	5" ht.	cont.	14' x 3'

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 PO BOX 620800
 MIDDLETON, WI 53562

SURVEYED BY:
 VIERBICHER ASSOCIATES, INC.
 BY: MICHAEL S. MARTY
 999 FOURIER DRIVE,
 SUITE 201
 MADISON, WI 53717
 (608)-821-3955
 mmr@vierbicher.com

SURVEY LEGEND

- ✕ FOUND CHISELED "X"
- ⊙ FOUND 1" ⌀ IRON PIPE
- ⊗ FOUND 2" ⌀ IRON PIPE
- SET 3/4" x 24" SOLID IRON RE-ROD WT. 1.50 lbs./ft.
- () RECORDED AS DATA

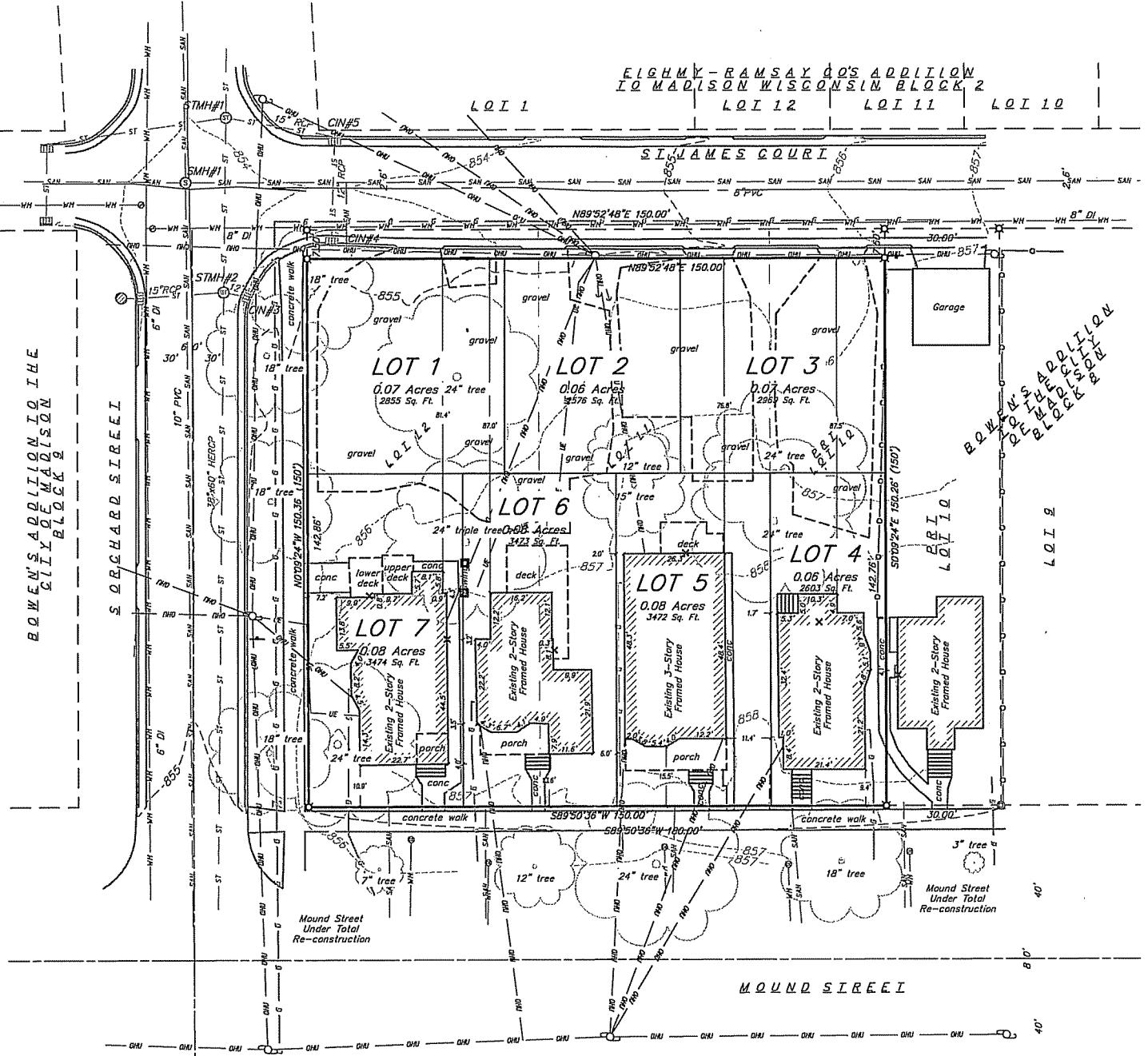
DESCRIPTION:

NOTES:

- This survey was prepared based upon information provided in Title Commitment 113040125, dated April 8, 2013, and Title Commitments 113040123, 113040127 and 113040128, dated April 12, 2013 from Preferred Title, LLC.
- The boundary and existing conditions as depicted on this Preliminary Plat are based upon a Topographic Plat of Survey prepared by Vierbicher Associates, Inc., drawing number S-493, dated April 23, 2013 on file with the Dane County Surveyor's Office.
- At the time of the field survey Mound Street was under total re-construction.
- Size of sanitary sewer, storm sewer and water main are per information provided by the City of Madison.
- Contours and elevations as depicted hereon are based upon the City of Madison's vertical datum NAVD88 from published City of Madison control.
- Existing zoning per City Assessor's website is TR-C4-WP-27. Proposed zoning is PD.

EIGHTHY-RAMSAY CO'S ADDITION TO MADISON WISCONSIN BLOCK 1
 L O I 15 L O I 14

EIGHTHY-RAMSAY CO'S ADDITION TO MADISON WISCONSIN BLOCK 2
 L O I 12 L O I 11 L O I 10



- TOPOGRAPHIC LINEWORK LEGEND**
- EXISTING CHAIN LINK FENCE
 - G—G— EXISTING GAS LINE
 - OHU—OHU— EXISTING OVERHEAD GENERAL UTILITIES
 - UE—UE— EXISTING UNDERGROUND ELECTRIC LINE
 - SAN—SAN— EXISTING SANITARY SEWER LINE (SIZE NOTED)
 - ST—ST— EXISTING STORM SEWER LINE (SIZE NOTED)
 - WH—WH— EXISTING WATER MAIN (SIZE NOTED)
 - 820— EXISTING MAJOR CONTOUR
 - 818— EXISTING MINOR CONTOUR
- TOPOGRAPHIC SYMBOL LEGEND**
- EXISTING POST
 - ↑ EXISTING SIGN
 - ▣ EXISTING CURB INLET
 - ⊙ EXISTING FIELD INLET
 - ⊗ EXISTING STORM MANHOLE
 - ⊙ EXISTING SANITARY MANHOLE
 - ⊙ EXISTING FIRE HYDRANT
 - ⊙ EXISTING WATER MAIN VALVE
 - ⊙ EXISTING CURB STOP
 - ⊙ EXISTING GAS VALVE
 - ↑ EXISTING DOWN GUY
 - ⊙ EXISTING UTILITY POLE
 - ⊙ EXISTING SHRUB
 - ⊙ EXISTING CONIFEROUS TREE
 - ⊙ EXISTING DECIDUOUS TREE

SANITARY SEWER STRUCTURE TABLE

POINT NUMBER	STRUCTURE NUMBER	RIM ELEVATION	INVERT ELEVATION
1129	SMH #1	854.29	847.17 MIDDLE
1139	SMH#2	859.03	848.50

HYDRANT BENCHMARK TABLE

POINT NUMBER	BENCHMARK NUMBER	ELEVATION	LOCATION OF BENCHMARK
10	BM #1	858.33	TOP NUT OF HYDRANT AT SE CORNER OF MOUND ST AND ORCHARD ST

STORM SEWER STRUCTURE TABLE

POINT NUMBER	STRUCTURE NUMBER	RIM/T.C. ELEVATION	INVERT ELEVATION	STRUCTURE TYPE
1136	STMH#1	853.86	849.01 S,E	STORM MANHOLE
1125	STMH#2	854.29	849.44 N,S	STORM MANHOLE
			850.64 E	
			849.64 W	
1144	CIN#3	854.47	850.74	CURB INLET
1151	CIN#4	854.03	850.71	CURB INLET
1219	CIN#5	854.11	850.03	CURB INLET

SURVEYOR'S CERTIFICATE:

I, Michael S. Marty, Professional Land Surveyor No. 2452, do hereby certify that the foregoing Preliminary Plat was prepared under my direction and control; that I have surveyed and mapped the above described property in accordance with the information furnished; that said survey meets the minimum standards for property surveys of the Wisconsin Administrative Code (A-E7); that the map hereon is correct to the best of my knowledge and belief and is in compliance with the Subdivision and Platting Ordinance of the City of Madison.

Vierbicher Associates, Inc.
 By: Michael S. Marty, P.L.S. No. 2452

Dated this _____ day of _____, 201__.

Michael S. Marty, P.L.S. No. 2452



PRELIMINARY PLAT OF ST JAMES COTTAGE HOMES
 LOTS 11 AND 12, AND THE WEST 1/2 OF LOT 10, BLOCK B, BOWENS ADDITION TO THE CITY OF MADISON, AS RECORDED IN VOLUME 1 OF PLATS, ON PAGE 12, AS DOCUMENT NUMBER 192989, DANE COUNTY REGISTRY, LOCATED IN THE NE 1/4 - SE 1/4 OF SECTION 22, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN

REVISIONS	NO.	DATE	REMARKS

SCALE
 1"=20' (22"x34")
 1"=40' (11"x17")

DATE
 July 16, 2013

DRAFTER
 MMAR

CHECKED
 MMAR

PROJECT NO.
 130096

SHEET
 1 OF 1

DWG. NO.
 S-511



BUILDING #3

BUILDING #2

BUILDING #1

ORCHARD ST

Revisions
PUD-SIP Submittal - July 17, 2013

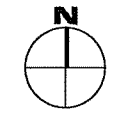
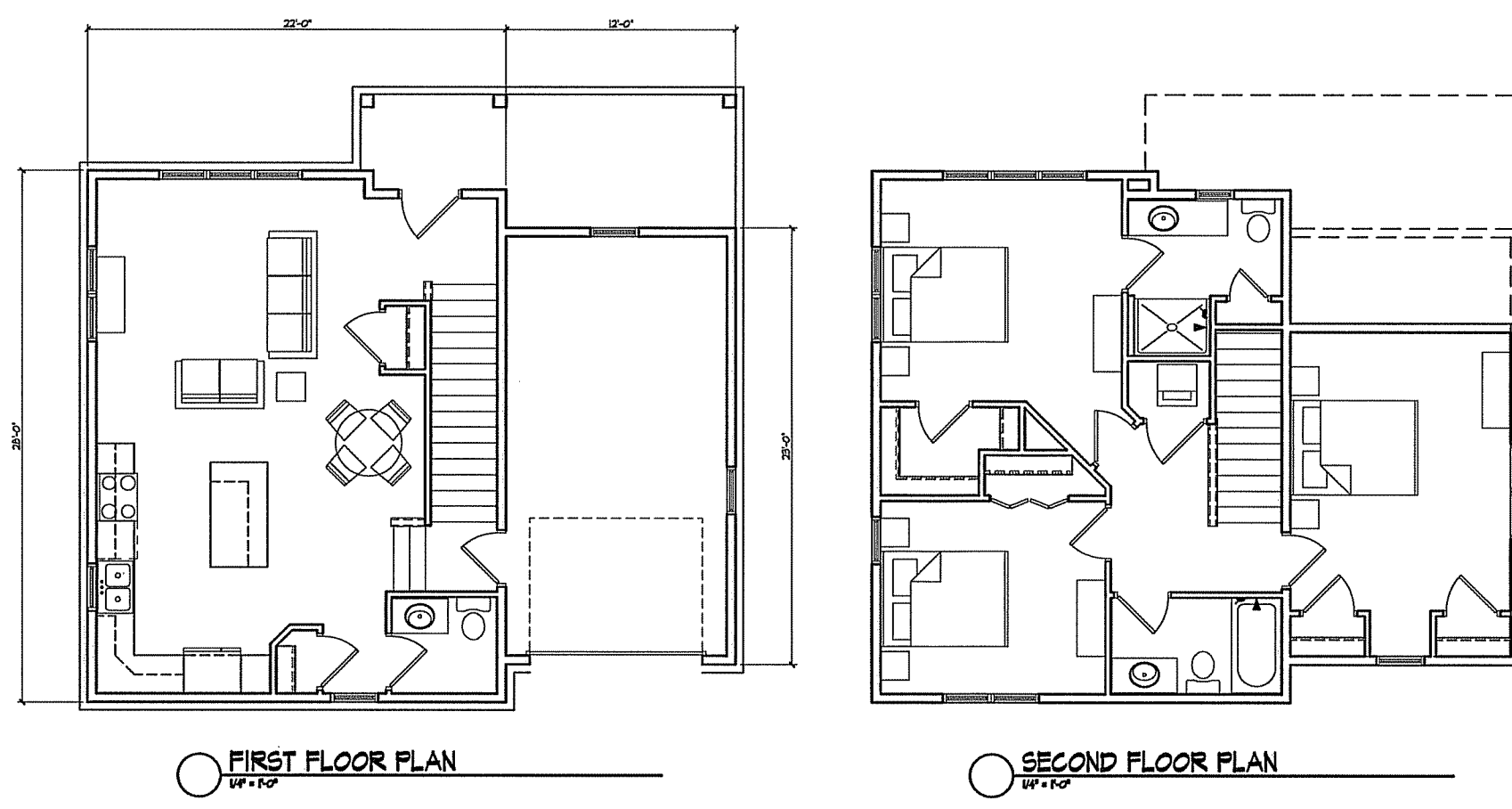
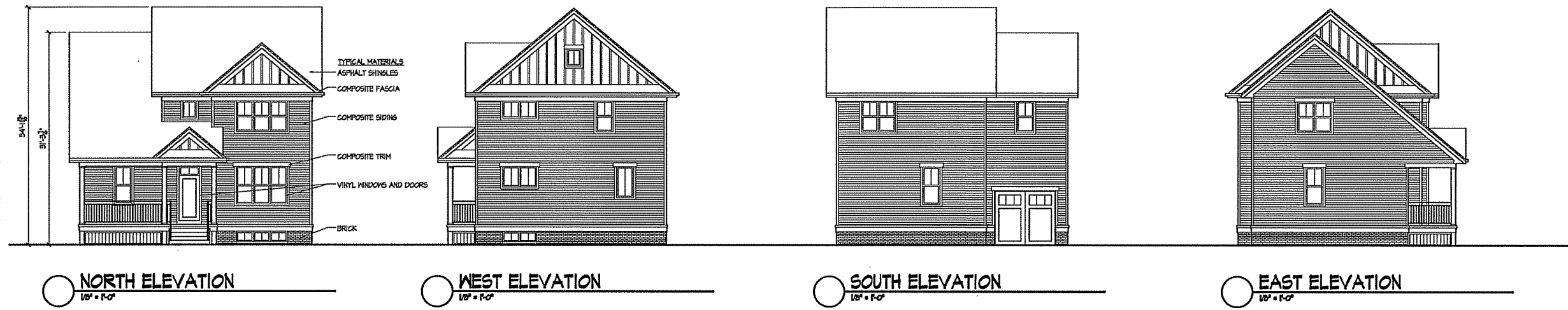
○ **ST. JAMES COURT ELEVATION**
3/16" = 1'-0"

Project Title
**St. James Cottage
Homes**

1220, 1226, 1234, 1236 Mound St
Madison, WI
Drawing Title
St. James Ct. Elevation

Project No. Drawing No.
1311 A-1.0

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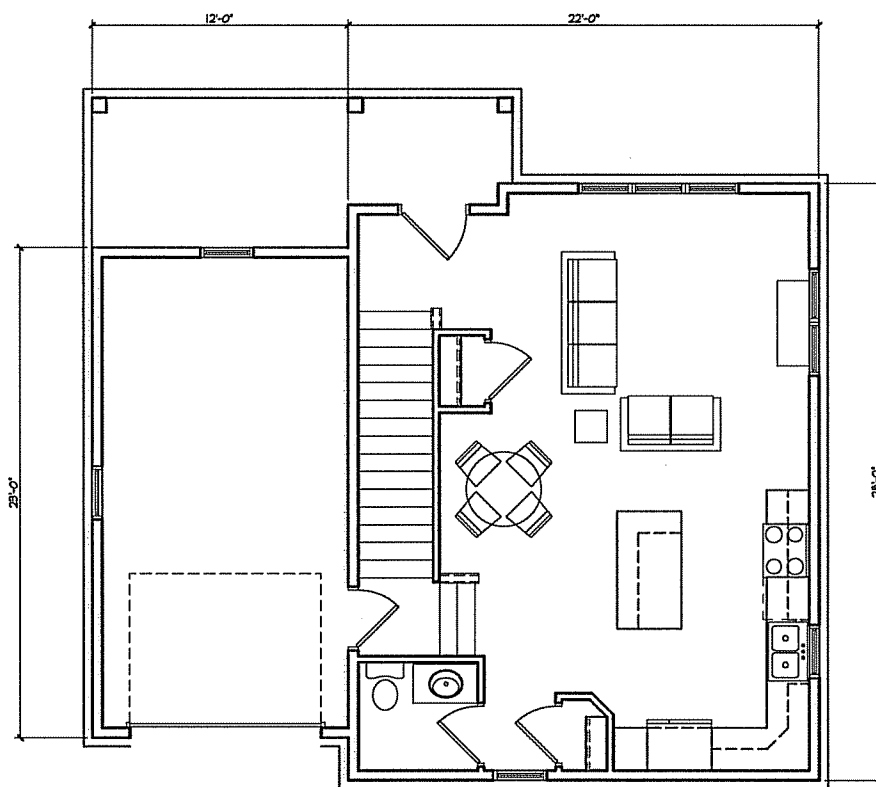
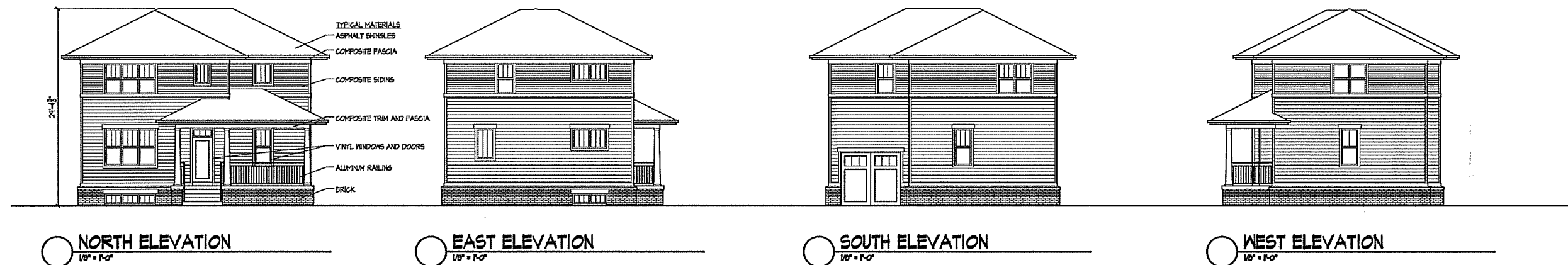
Revisions
PLD-SIP Submittal - July 17, 2013

Project Title
St. James Cottage Homes

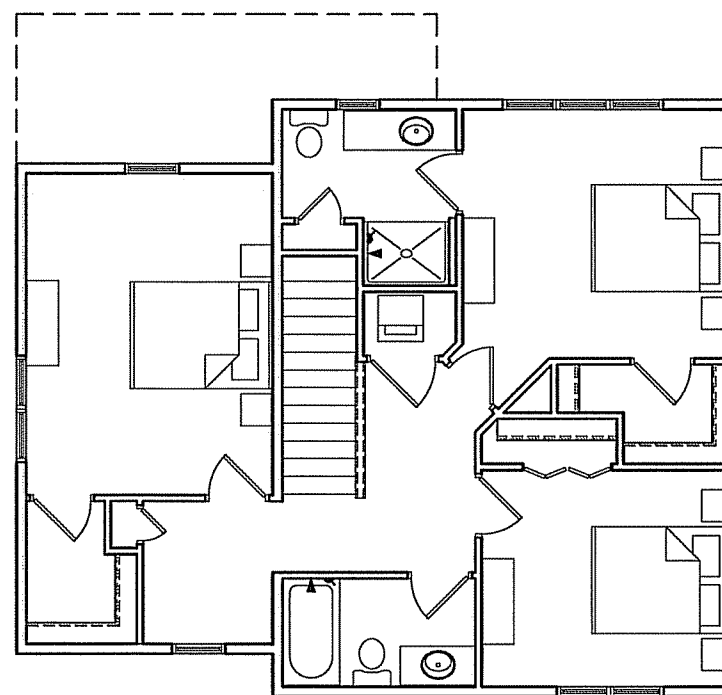
1220, 1226, 1234, 1236 Mound St
 Madison, WI
 Drawing Title
Building #1

Project No. **1311** Drawing No. **A-1.1**

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FIRST FLOOR PLAN
1/4\"/>



SECOND FLOOR PLAN
1/4\"/>



Revisions

RUD-SIP Submittal - July 17, 2013

Project Title

St. James Cottage
Homes

1220, 1226, 1234, 1236 Mound St
Madison, WI

Drawing Title

Building #2

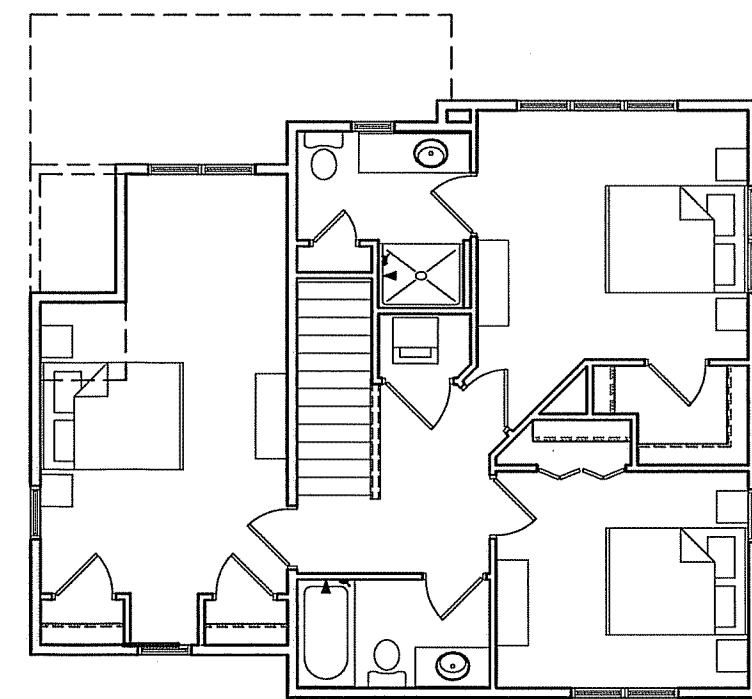
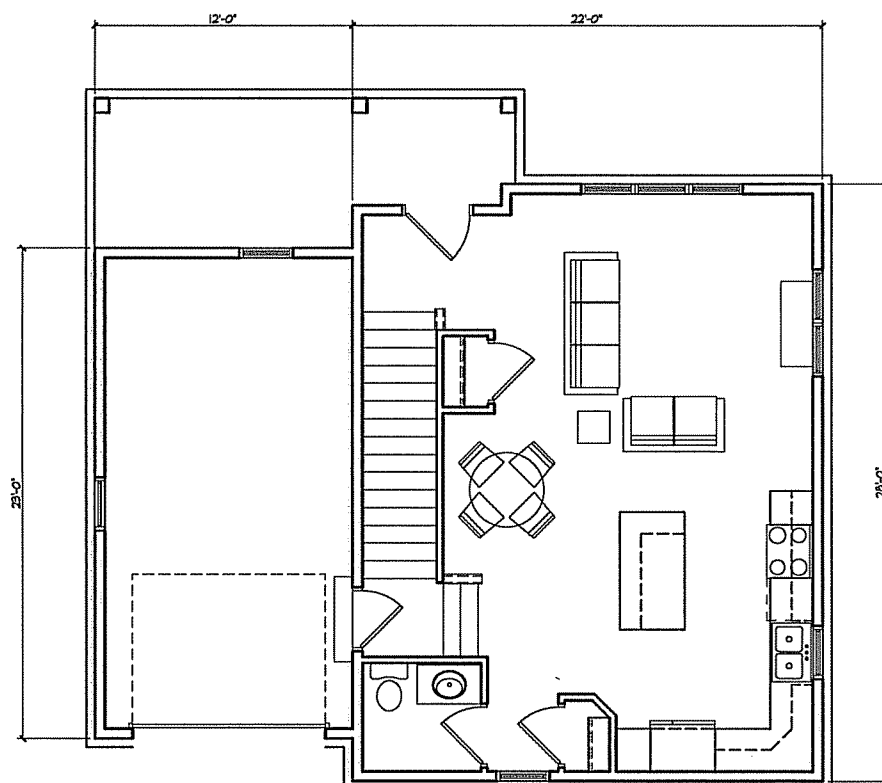
Project No.

1311

Drawing No.

A-1.2

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Revisions
R10-SIP Submittal - July 17, 2018

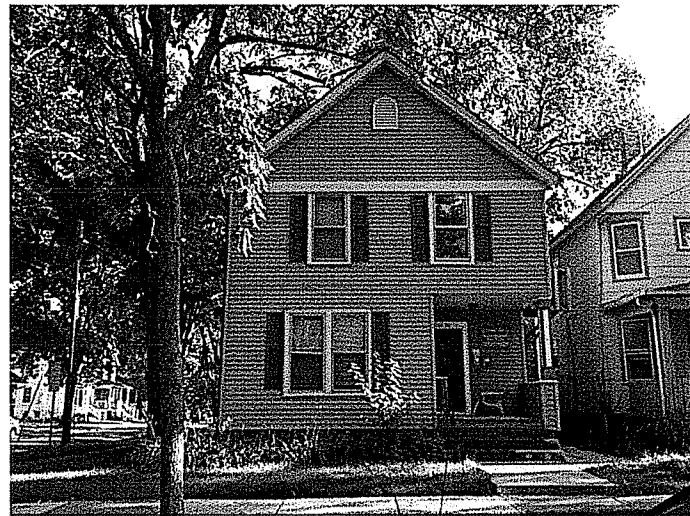
Project Title
St. James Cottage Homes

1220, 1226, 1234, 1236 Mound St
Madison, WI
Drawing Title
Building #3

Project No. **1311** Drawing No. **A-1.3**

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1236 Mound St.



Mound St. Elevation

1234 Mound St.



Mound St. Elevation

1226/1228 Mound St.



Mound St. Elevation

1220 Mound St.



Mound St. Elevation



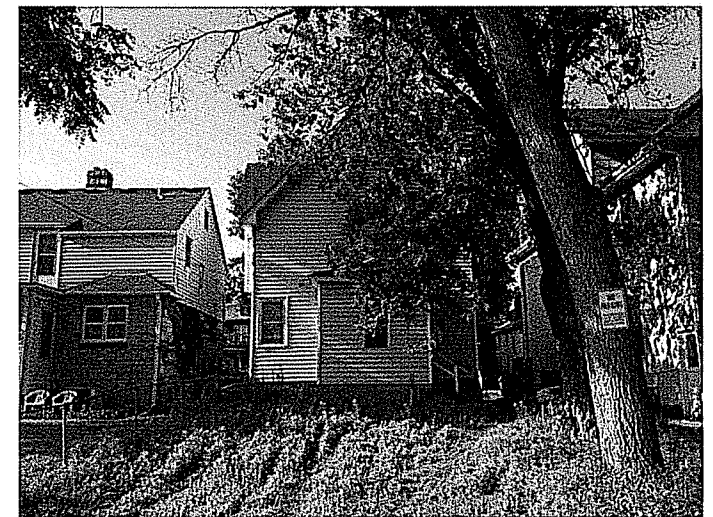
St. James Ct. Elevation (Rear)



St. James Ct. Elevation (Rear)



St. James Ct. Elevation (Rear)

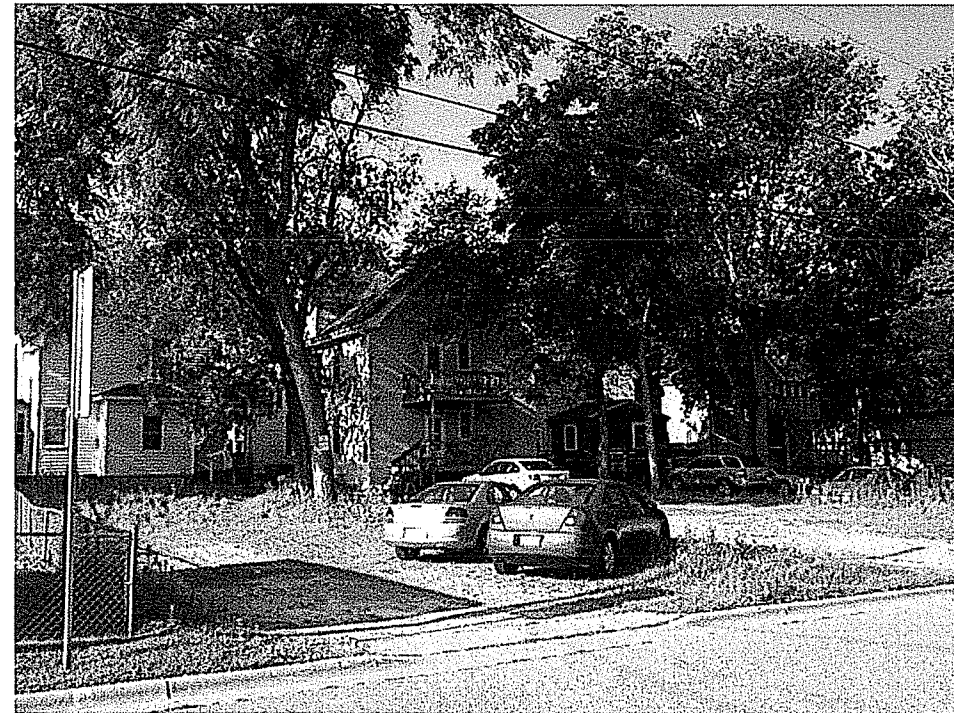


St. James Ct. Elevation (Rear)



S. Orchard St. Elevation (Side)

Existing Buildings
St. James Cottage Homes
PD-GDP-SIP Submittal
July 17, 2013



Existing Conditions (St. James Ct.)
St. James Cottage Homes
PD-GDP-SIP Submittal
July 17, 2013

Consultant

Notes

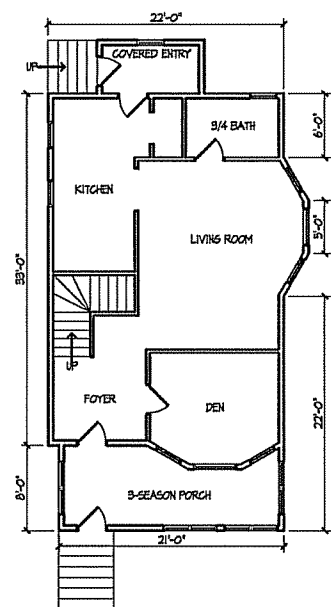


○ **Front Elevation**
1/8" = 1'-0"

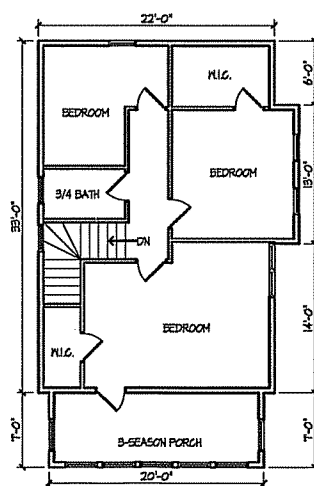
○ **Side Elevation**
1/8" = 1'-0"

○ **Rear Elevation**
1/8" = 1'-0"

○ **Side Elevation**
1/8" = 1'-0"



○ **First Floor Plan**
1/8" = 1'-0"



○ **Second Floor Plan**
1/8" = 1'-0"



Revisions
FD-607-SIP Submittal - July 31, 2013

Project Title
**St. James Cottage
Homes**

1220, 1226, 1234, 1234 Mound St
Madison, WI
Drawing Title
**1220 Mound St.
Existing Plans and Elevations**

Project No. Drawing No.

1311

A-1.4

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Consultant

Notes

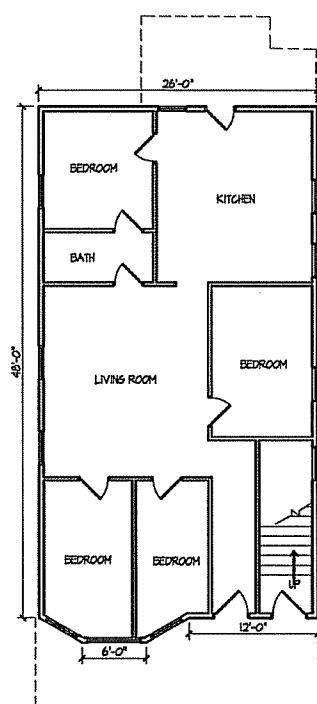


○ **Front Elevation**
1/8" = 1'-0"

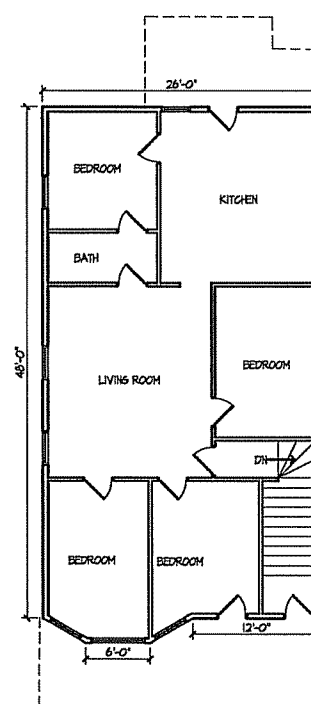
○ **Side Elevation**
1/8" = 1'-0"

○ **Rear Elevation**
1/8" = 1'-0"

○ **Side Elevation**
1/8" = 1'-0"



○ **First Floor Plan**
1/8" = 1'-0"



○ **Second Floor Plan**
1/8" = 1'-0"



Revisions
PD-6DP-SIP Submittal - July 31, 2013

Project Title
**St. James Cottage
Homes**

1220, 1226, 1234, 1234 Mound St
Madison, WI
Drawing Title
**1226/1228 Mound St.
Existing Plans and Elevations**

Project No. Drawing No.

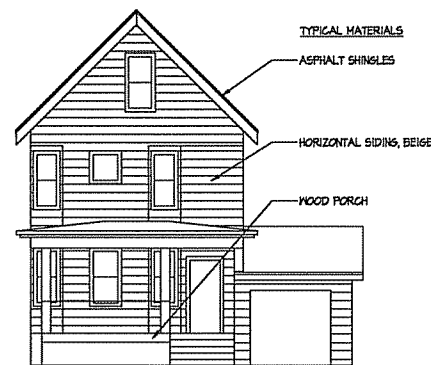
1311

A-1.5

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Consultant

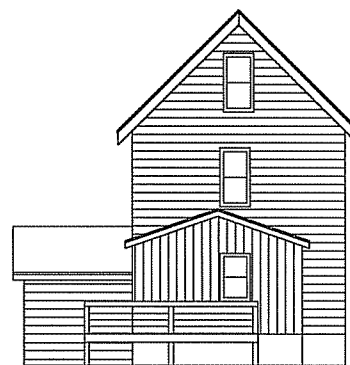
Notes



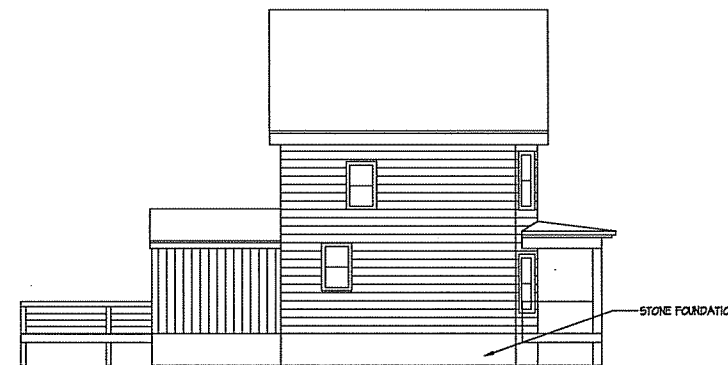
○ **Front Elevation**
1/8" = 1'-0"



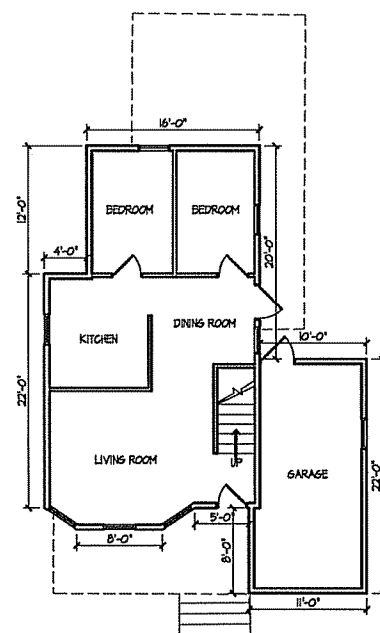
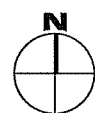
○ **Side Elevation**
1/8" = 1'-0"



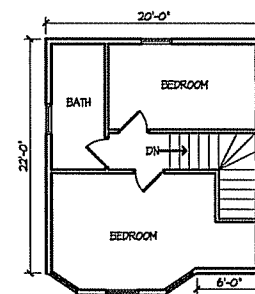
○ **Rear Elevation**
1/8" = 1'-0"



○ **Side Elevation**
1/8" = 1'-0"



○ **First Floor Plan**
1/8" = 1'-0"



○ **Second Floor Plan**
1/8" = 1'-0"

Revisions
PD-60P-SIP Submittal - July 31, 2013

Project Title
**St. James Cottage
Homes**

1220, 1226, 1234, 1234 Mound St
Madison, WI

Drawing Title
**1234 Mound St.
Existing Plans and Elevations**

Project No. Drawing No.

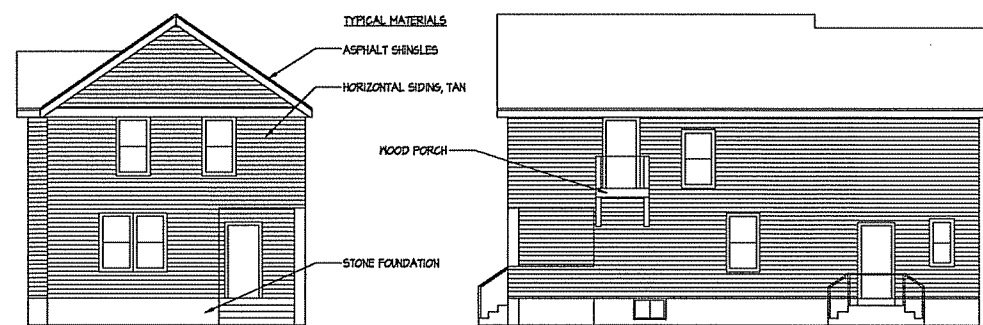
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A-1.6

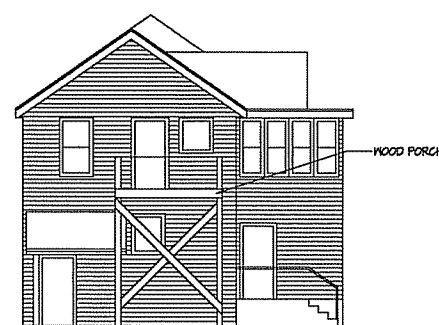
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Consultant

Notes



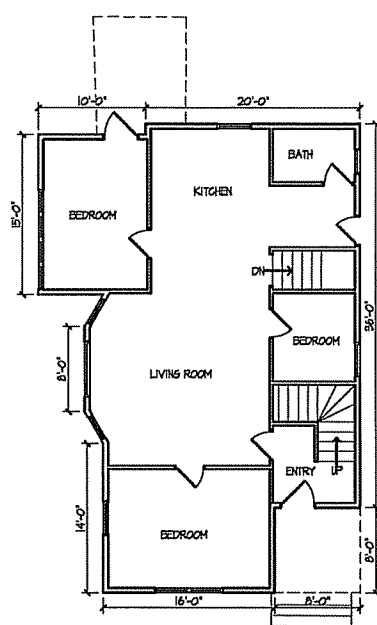
○ **Front Elevation**
1/8" = 1'-0"



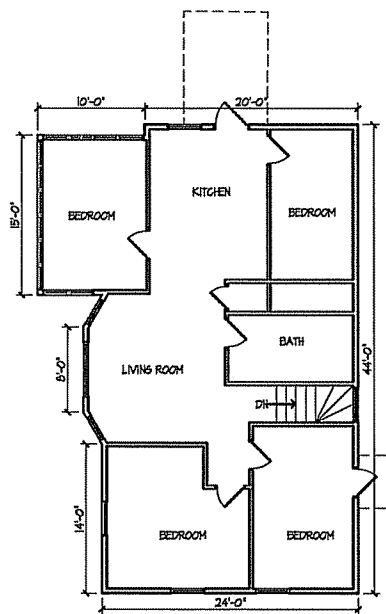
○ **Rear Elevation**
1/8" = 1'-0"



○ **Side Elevation**
1/8" = 1'-0"



○ **First Floor Plan**
1/8" = 1'-0"



○ **Second Floor Plan**
1/8" = 1'-0"



Revisions
FD-607-SIP Submittal - July 31, 2013

Project Title
**St. James Cottage
Homes**

1220, 1226, 1234, 1234 Mound St
Madison, WI
Drawing Title
1236 Mound St.
Existing Plans and Elevations

Project No. Drawing No.

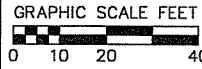
1311

A-1.7

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SURVEY LEGEND

- ⊙ FOUND 1" Ø IRON PIPE
- FOUND 3/4" SOLID IRON ROD
- ⊠ SET 3/4" x 24" SOLID IRON RE-ROD WT. 1.50 lbs./ft.
- () RECORDED AS DATA



EIGHMY-RAMSAY
CO'S ADDITION
TO MADISON
WISCONSIN BLOCK 1

SI JAMES
COURT

BOWEN'S ADDITION TO THE
CITY OF MADISON
BLOCK 2

S O R E C H A R D S T R E E T

M O U N D S T R E E T

BOWEN'S ADDITION TO THE
CITY OF MADISON
BLOCK 11

ST JAMES COTTAGE HOMES

LOTS 11 AND 12, EXCEPT THE NORTH 7.5 FEET THEREOF, AND THE WEST 1/2 OF LOT 10, EXCEPT THE NORTH 7.5 FEET THEREOF, ALL IN BLOCK 8, BOWEN'S ADDITION TO THE CITY OF MADISON, AS RECORDED IN VOLUME 1 OF PLATS, ON PAGE 12, AS DOCUMENT NUMBER 192989, DANE COUNTY REGISTRY, LOCATED IN THE NE 1/4 - SE 1/4 OF SECTION 22, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN

DESCRIPTION:

I, Michael S. Marty, Professional Land Surveyor No. 2452 hereby certify that in full compliance with the provisions of Chapter 235 of the Wisconsin Statutes and the subdivision regulations of the City of Madison and under the direction of Fisher Construction, Inc., owner of said land, I have surveyed, divided, and mapped ST JAMES COTTAGE HOMES, that such plat correctly represents all exterior boundaries and the subdivision of the lands surveyed; and that this land is Lots 11 & 12, EXCEPT the North 7.5 feet and the West One-Half (1/2) of Lot 10, EXCEPT the North 7.5 feet thereof, all in Block 8, Bowen's Addition to the City of Madison, as recorded in Volume 1 of Plats, on Page 12, as Document Number 192989, Dane County Registry, located in the NE 1/4 - SE 1/4 of Section 22, Township 07 North, Range 09 East, City of Madison, Dane County, Wisconsin more fully described as follows:

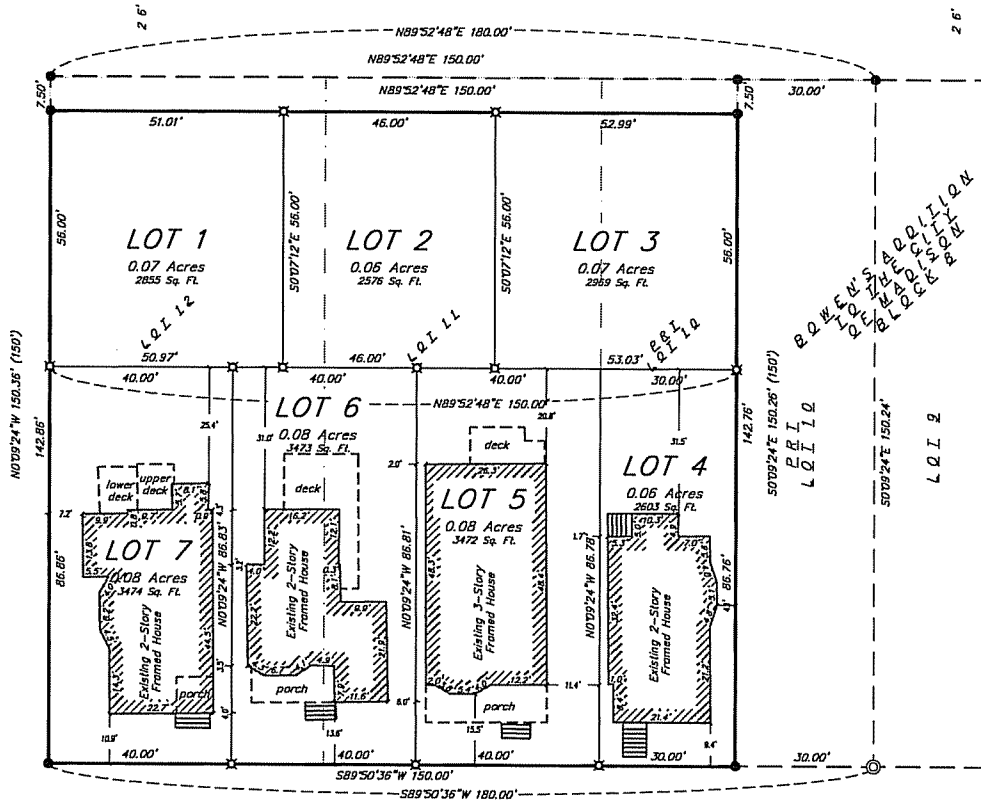
Commencing at the East 1/4 Corner of said Section 22; thence S007°30'27"E along the East line of the SE 1/4 of said Section 22, 682.38 feet to a point of intersection with the easterly extension of the North line of said Block 8; thence S89°52'48"W along said North line of Block 8 and its easterly extension thereof, 812.88 feet to the Northwest corner of said Block 8; thence S007°09'24"E along the West line of said Block 8, 7.50 feet to the point of beginning; thence N89°52'48"E along a line parallel with and 7.50 feet perpendicular measure to said North line of Block 8, 150.00 feet to the East line of the West One-Half (1/2) of said Lot 10; thence S007°09'24"E along said East line, 150.26 feet to the South line of said Block 8; thence S89°50'36"W along said South line, 150.00 feet to the Southwest corner of said Block 8; thence N007°09'24"E along the said West line of Block 8, 150.36 feet to the point of beginning. Said description contains 21,422 square feet or 0.4918 acres more or less.

Vierbicher Associates Inc.
By: Michael S. Marty, P.L.S. No. 2452
Dated this ____ day of _____, 201__.

Signature: Michael S. Marty, P.L.S. No. 2452

EIGHMY-RAMSAY CO'S ADDITION TO MADISON WISCONSIN BLOCK 2 L Q I 1 L Q I 12 L Q I 11 L Q I 10

SI JAMES COURT



OWNER'S CERTIFICATE:

1200 Mound Street, LLC, owner, does hereby certify that we caused the land described on this plat to be surveyed, divided, mapped, and dedicated as represented on the plat of ST JAMES COTTAGE HOMES, 1200 Mound Street, LLC, does further certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection.

Department of Administration
Common Council, City of Madison
Dane County Zoning and Land Regulation Committee

IN WITNESS WHEREOF, 1200 Mound Street, LLC, has caused these presents to be signed by Michael Fisher, its Member this ____ day of _____, 201__.

1200 Mound Street, LLC
Michael Fisher, Member
STATE OF WISCONSIN)
COUNTY) SS

Personally came before me this ____ day of _____, 201__, the above named Michael Fisher, to me known to be the persons who executed the foregoing instrument and acknowledged the same.

_____, Notary Public, State of Wisconsin.

My commission expires/is permanent: _____

CONSENT OF MORTGAGE CERTIFICATE:

Anchor Bank Ltd, a banking association duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgages of the above described land, do hereby consent to the surveying, dividing, mapping and dedicating of the land as represented on the plat of ST JAMES COTTAGE HOMES, and does hereby consent to the Owner's Certificate.

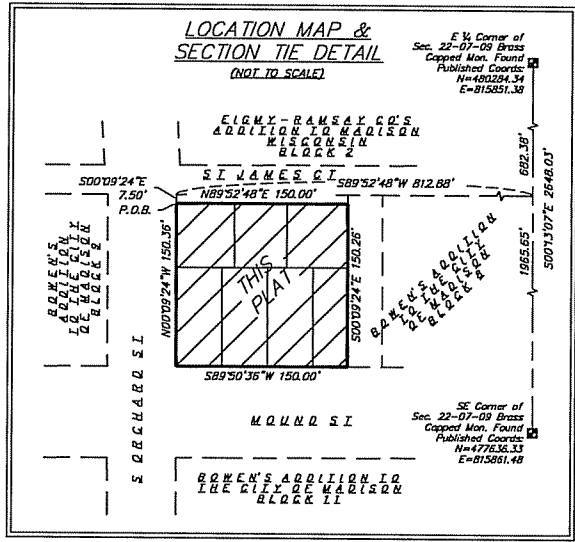
IN WITNESS WHEREOF, Anchor Bank Ltd, has caused these presents to be signed by Karl D. Sochajen, its Vice President, of Madison, Wisconsin on this ____ day of _____, 201__.

Anchor Bank Ltd
Karl D. Sochajen, Vice President
STATE OF WISCONSIN)
COUNTY) SS

Personally came before me this ____ day of _____, 201__, the above named Karl D. Sochajen, to me known to be the persons who executed the foregoing instrument and acknowledged the same.

_____, Notary Public, State of Wisconsin.

My commission expires/is permanent: _____



CITY OF MADISON TREASURER'S CERTIFICATE:

As duly appointed City Treasurer of the City of Madison, Dane County, Wisconsin, I hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments affecting any of the lands included in the plat of ST JAMES COTTAGE HOMES, as of this ____ day of _____, 201__.

_____, David M. Gowanda, City of Madison Treasurer

CITY OF MADISON COMMON COUNCIL APPROVAL:

Resolved, that the plat of ST JAMES COTTAGE HOMES, located in the NE 1/4 - SE 1/4 of Section 22, Township 07 North, Range 09 East, City of Madison, Dane County, Wisconsin, was hereby approved by Enactment Number _____ File I.D. Number _____ adopted on this ____ day of _____, 201__, and that said enactment further provided for the acceptance of those lands dedicated and rights conveyed by said plat of ST JAMES COTTAGE HOMES to the City of Madison for public use.

Dated this ____ day of _____, 201__.

_____, Maribeth Wizer-Bell, City Clerk
City of Madison, Dane County, Wisconsin

CITY OF MADISON APPROVAL:

Approved for recording by the secretary of the City of Madison Planning Commission.

Dated this ____ day of _____, 201__.

_____, Steven R. Lower, Secretary of Planning Commission

DANE COUNTY TREASURER'S CERTIFICATE:

I, Adam Gallogher, being the duly elected, qualified, and acting Treasurer of the County of Dane, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments affecting any of the lands included in the plat of ST JAMES COTTAGE HOMES, as of this ____ day of _____, 201__.

_____, Adam Gallogher, Dane County Treasurer

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20__

Department of Administration

CERTIFICATE OF REGISTER OF DEEDS RECORDING DATA

Received for recording this ____ day of _____, 20__ at _____ o'clock ____ M. and recorded in Volume _____ of Plats, on pages _____.

_____, Kristi Chlebowski, Dane County Register of Deeds

vierbicher
planners | engineers | advisors

DRAFTED BY: WJAW
DATE: July 31, 2013
CHECKED BY: WJAW

SURVEYED FOR:
Fisher Construction, Inc.
PO Box 620800
Madison, WI 53762

SHEET 1 OF 1



BUILDING #3

BUILDING #2

BUILDING #1

ORCHARD ST

ST. JAMES COURT ELEVATION - REVISED
8/16" = 1'-0"

CITY OF MADISON

SEP 26 2013

Planning & Community
& Economic Development

Elevations
St. James Court

September 11, 2013

KNOTHE
& BRUCE
architects

10-11

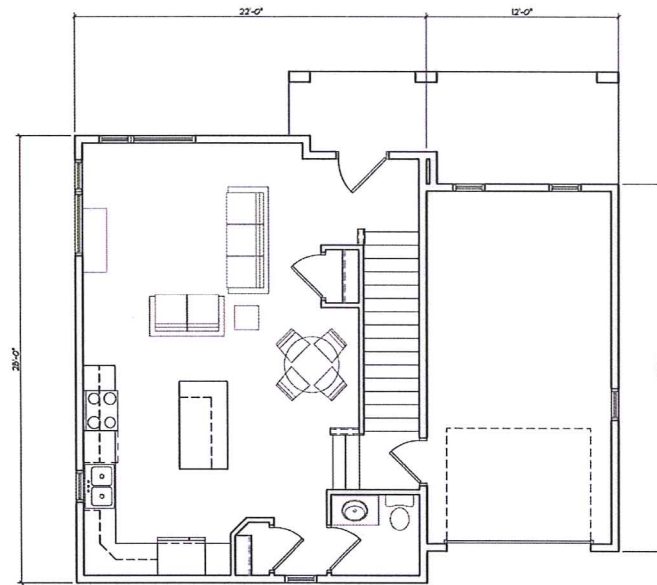


Elevations
 St. James Court

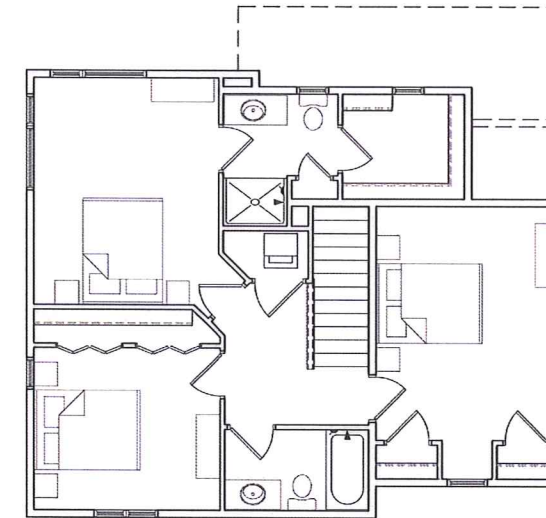
September 11, 2013



BUILDING #1



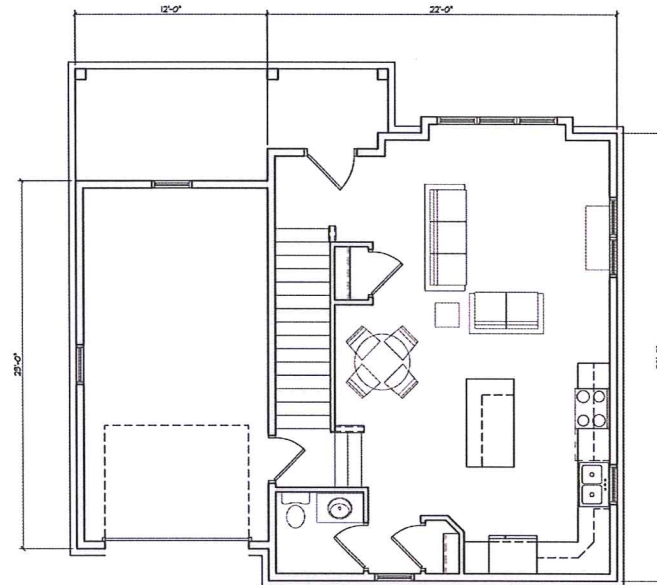
FIRST FLOOR PLAN
UP + FLOOR



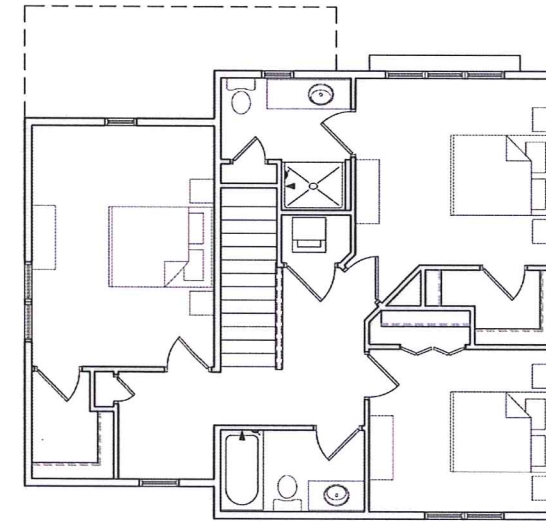
SECOND FLOOR PLAN
UP + FLOOR



BUILDING #2



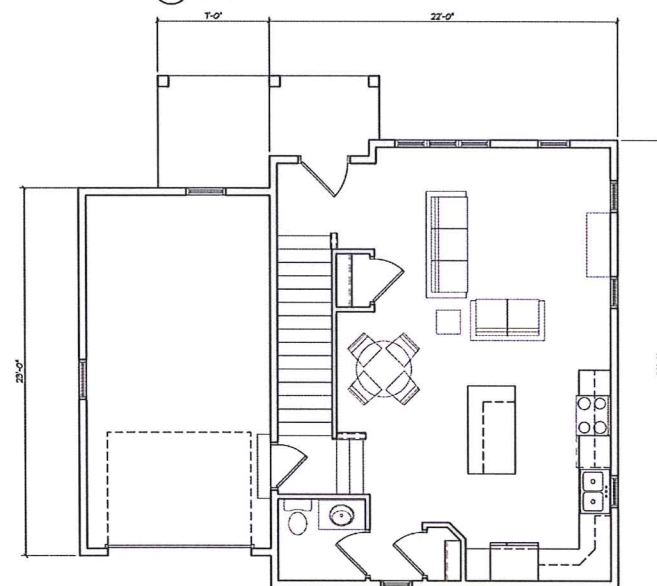
FIRST FLOOR PLAN
UP + FLOOR



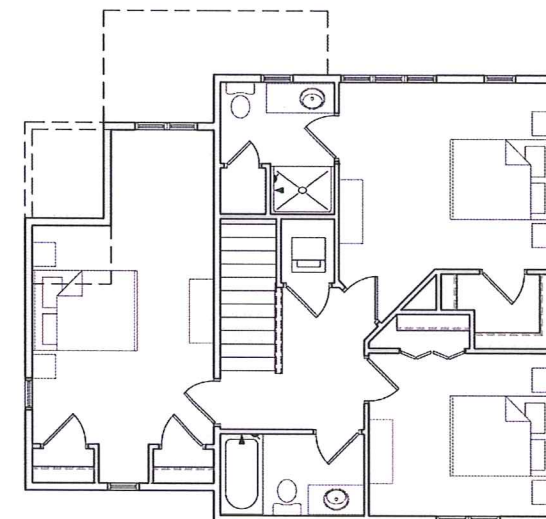
SECOND FLOOR PLAN
UP + FLOOR



BUILDING #3



FIRST FLOOR PLAN
UP + FLOOR



SECOND FLOOR PLAN
UP + FLOOR



Floor Plans St. James Court

September 11, 2013

**KNOTHE
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