

CRG | Madison Park + Regent

Urban Design Commission Submission for Approval

Friday, July 1, 2022



Index of Sheets

- A-1 Cover/Index
- A-2 Letter of Intent
- A-3 Site Map
- A-4 Context Photos
- A-5 Massing Diagrams
- A-6 Massing & Palette
- A-7 3D Images
- A-8 3D Images
- A-9 3D Images
- A-10 3D Images
- A-11 Street/Sidewalk
- A-12 3D Images
- A-13 3D Images
- A-14 3D Images
- A-15 North Elevation - Privacy
- A-16 North Windows - Privacy
- A-17 Plan - Lower Level
- A-18 Plan - Level 01
- A-19 Plan - Level 02-04
- A-20 Plan - Level 05
- A-21 Plan - Level 06-08
- A-22 Plan - Level 09
- A-23 Plan - Level 10
- A-24 Plan - Roof
- A-25 Elevations - Color
- A-26 Exterior Materials
- A-27 Elevations Overall
- A-28 Elevation - South - Area A
- A-29 Elevation - South - Area B
- A-30 Elevation - North - Area A
- A-31 Elevation - North - Area B
- A-32 Elevations - East & West
- A-33 Context Comparison - New Sheet
- A-34 Elevation Features E & W - New Sheet

Index of Sheets

- C-1 Existing Conditions Plan
- C-2 Demolition Plan
- C-3 Site Plan
- C-4 Fire Access Plan
- C-5 Grading and Erosion Control Plan
- C-6 Detailed Grading Plan 1
- C-7 Detailed Grading Plan 2
- C-8 Utility Plan
- L-1 Landscape Plan
- L-2 Landscape West
- L-3 Landscape East
- L-4 9th Floor Roof Deck

Letter of Intent

To the Madison Urban Design Commission,

Thank you for the opportunity to review the proposed project at Park & Regent Street.

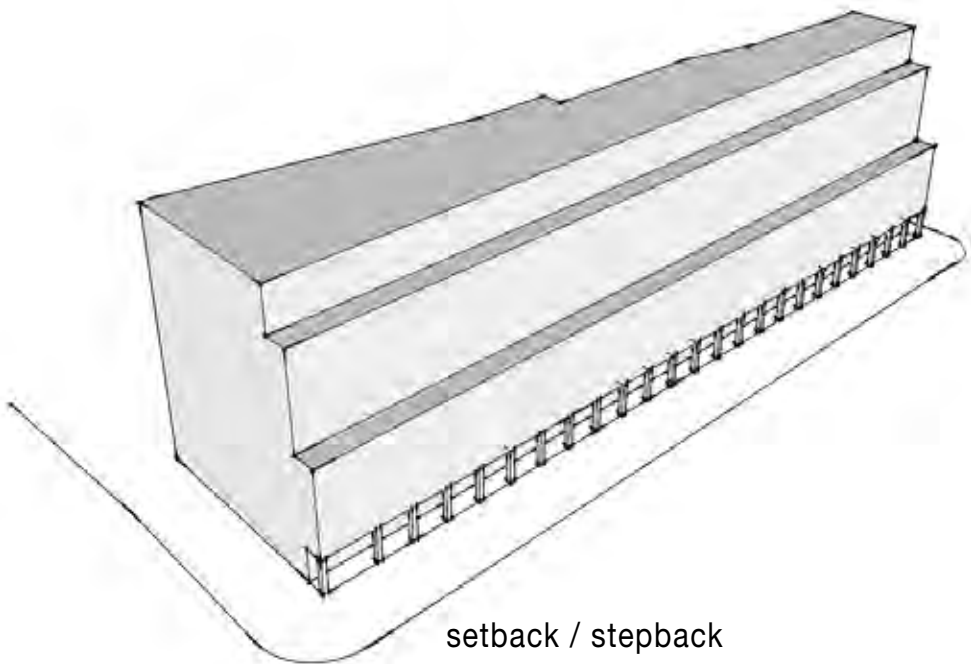
The project is located at the corner of Park and Regent Streets. In the *Regent Street - South Campus Neighborhood Plan* this is the East end of the *Regent Street Business District*. The proposed building is designed specifically to comply with the required design criteria of the district in several ways. The project meets or exceeds all required site setback rules. At the ground level, the storefront is setback an additional 8 feet to provide for an expanded pedestrian zone along regent street and set back even further to provide outdoor plaza space at the East and West ends. This allows for street-activating functions at the ground level such as retails space for local businesses and widened outdoor space at the main entry along Regent and the second entry on East Campus Mall. An unobstructed 45-degree view chamfer at each street intersection has been provide in order to improve traffic visibility and safety. Additionally, the building steps back 10 feet each at levels 5 and 9 in adherence with the district requirements for buildings taller than 8 stories. The project is being designed to achieve LEED Silver certification, which allows two additional stories totaling 10 stories overall. As part of this effort, green roofs are provided at the roof of each step back at levels 5 and 9. Finally, a new vehicular drive is provided along the north side of the site to access deliveries, parking, and service entrances, with special attention paid to lighting for convenience and safety of all residents and visitors.

After the initial informational presentation to the Urban Design Commission on March 30th, the design team took into consideration many of the comments and suggestions offered by the commission members. Several specific ways in which the design was updated based on the commission's input are listed below.

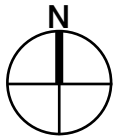
1. To provide for the best privacy possible between then northern units and the adjacent office building, bedroom windows were narrowed and pushed to the foot-wall end of each bedroom. This allows for bedrooms to have ample daylight but prevents any direct view from the offices to any bed, allowing privacy for residents and office occupants. Living rooms have wider windows but benefit from the fact that they are occupied most often during after-office hours. (Illustrations shown on pages UD-15 and UD-16).
2. Detail has been added to the brick coursing at piers around the building base. In these locations, areas of brick have been indented to better accentuate the depth of the material and to further break down the façade to the human scale. (Illustration shown on page UD-11).
3. Trees have been selected with attention paid to the type and shape of the mature tree. Columnar trees will not interfere with traffic or the building in the future. (A planting plan is included as part of this package and renderings reflect the modified tree spacing and species).
4. The accent material on the west façade has been changed to the same dark metal panel used elsewhere to avoid using too many materials, and to visually tie that area in with other portions of the building.
5. The window pattern on the upper portion of the East façade has been updated to give it a more asymmetrical rhythm and visual interest.



WEST ELEVATION



setback / stepback



DATE: 07/01/2022

DRAWING TITLE
SITE MAP

DRAWING NO.

A- 3

Job # 20 005602

Park & Regent Apartments

CRG
802-820 Regent St. Madison WI
Urban Design Commission



Lamar Johnson
Collaborative

35 EAST WACKER DRIVE SUITE 1600
CHICAGO, IL 60601
PH 312.658.0747

street view looking east



street view looking southeast



street view along Regent



aerial view looking northwest

Park & Regent Apartments

CRG
802-820 Regent St. Madison WI
Urban Design Commission

Lamar Johnson
Collaborative

35 EAST WACKER DRIVE SUITE 1600
CHICAGO, IL 60601
PH 312.658.0747



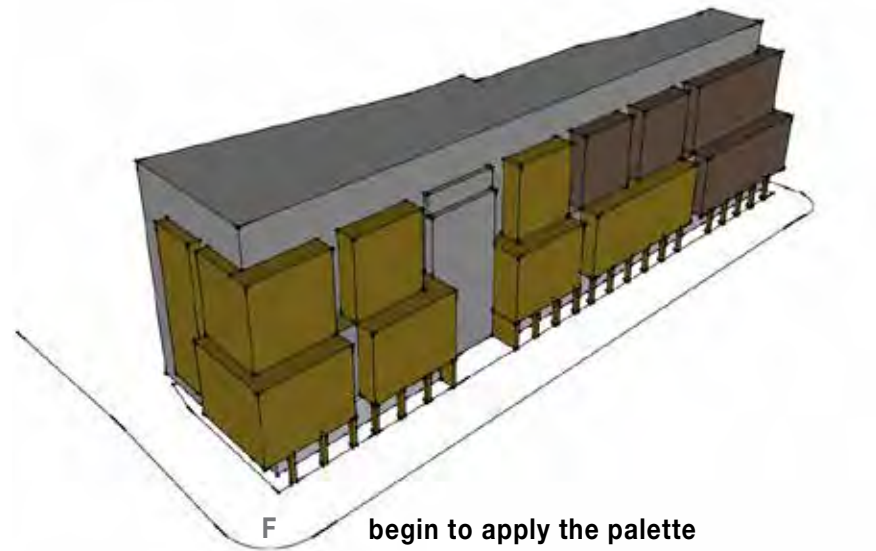
DATE: 07/01/2022

DRAWING TITLE
CONTEXT PHOTOS

DRAWING NO.

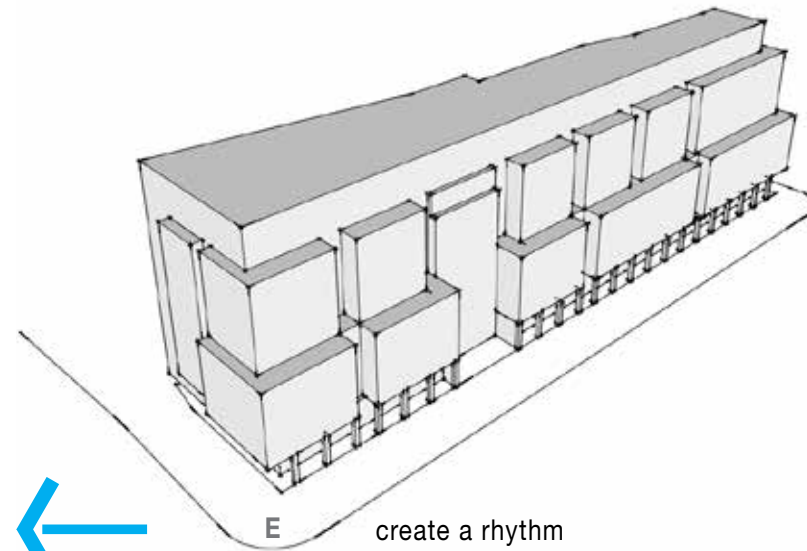
A- 4

Job # 20 005602

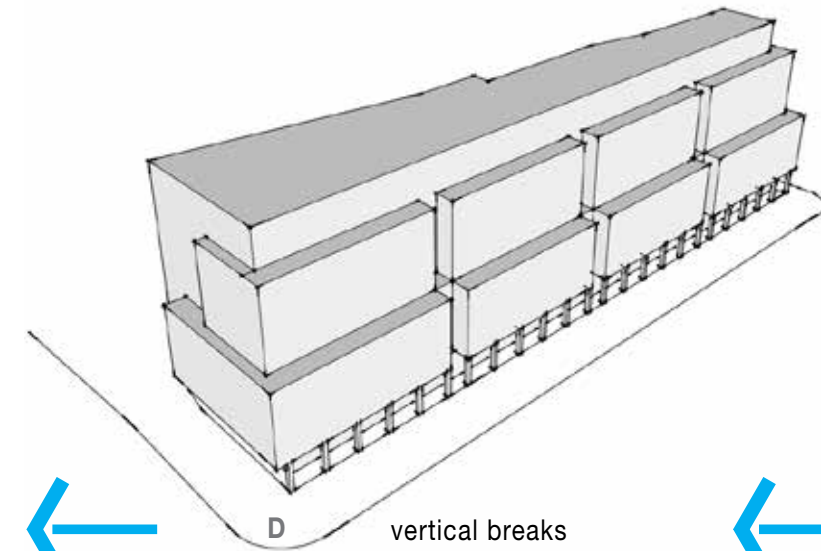


F **begin to apply the palette**

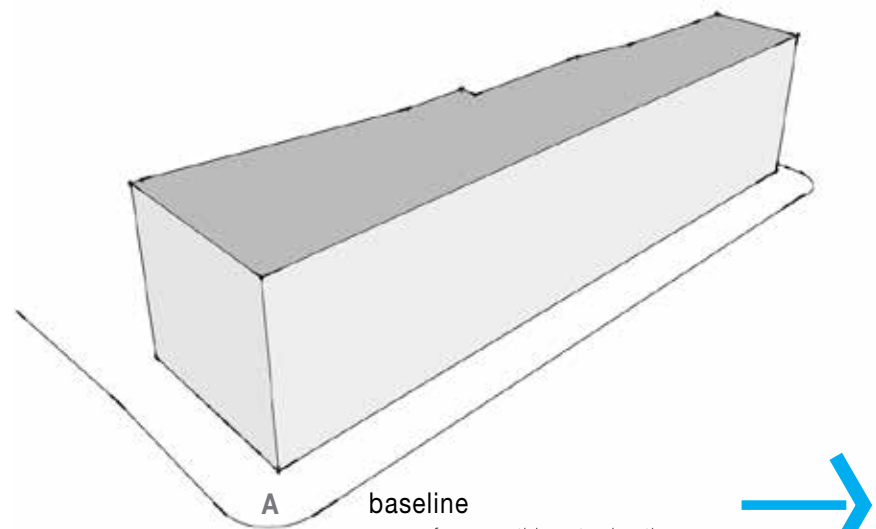
- keep the palette to 3 main materials
- use the materials to enhance the weight, lightness of the masses while breaking them down
- reinforce the human scale with texture



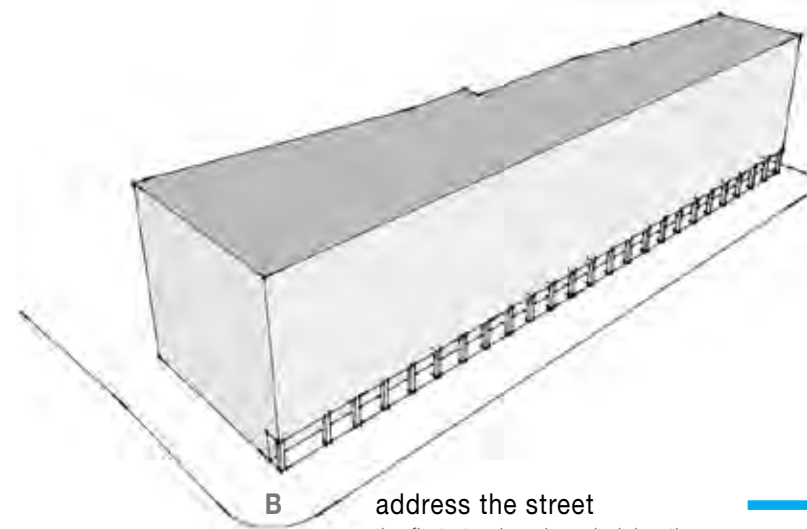
E **create a rhythm**
the vertical breaks are orchestrated into a composition that creates a fluid rhythm on the street



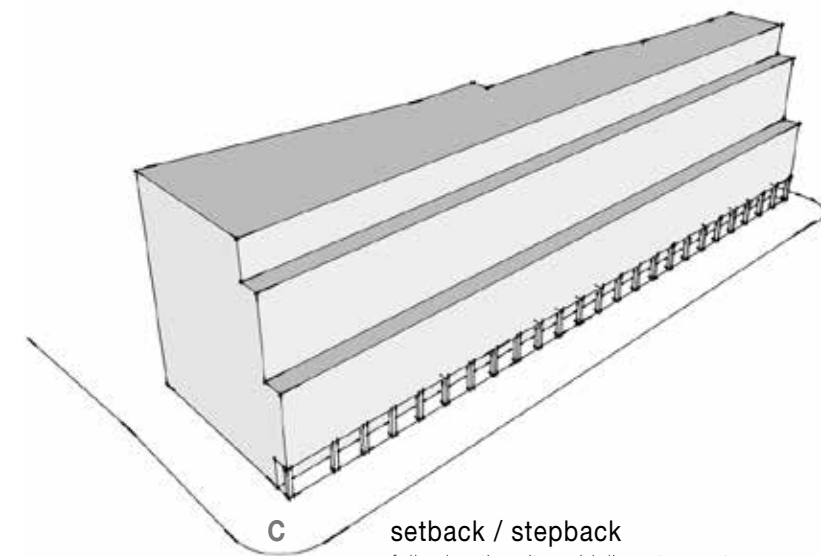
D **vertical breaks**
create a more intimate and appropriate scale through the addition of vertical breaks as well



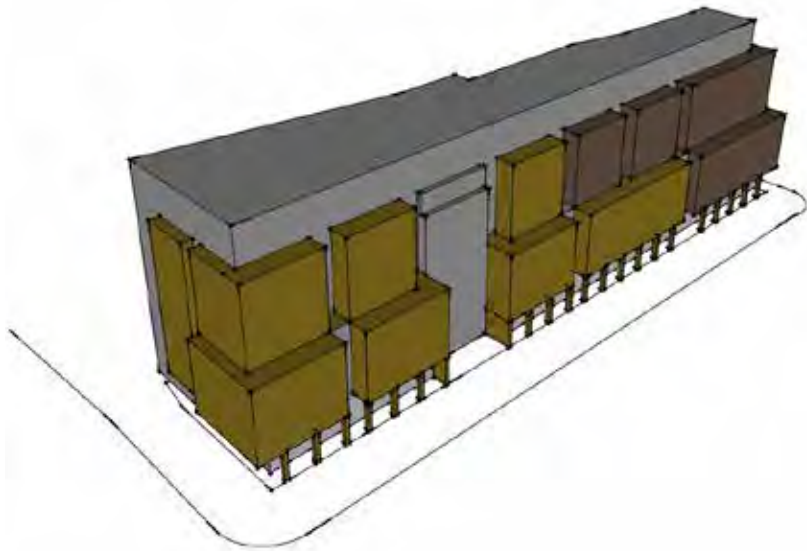
A **baseline**
as a reference, this extrudes the overall site prior to addressing the steps needed to addressing the planning guidelines



B **address the street**
the first step is acknowledging the street experience and creating a human scale both on the sidewalk and from a distance



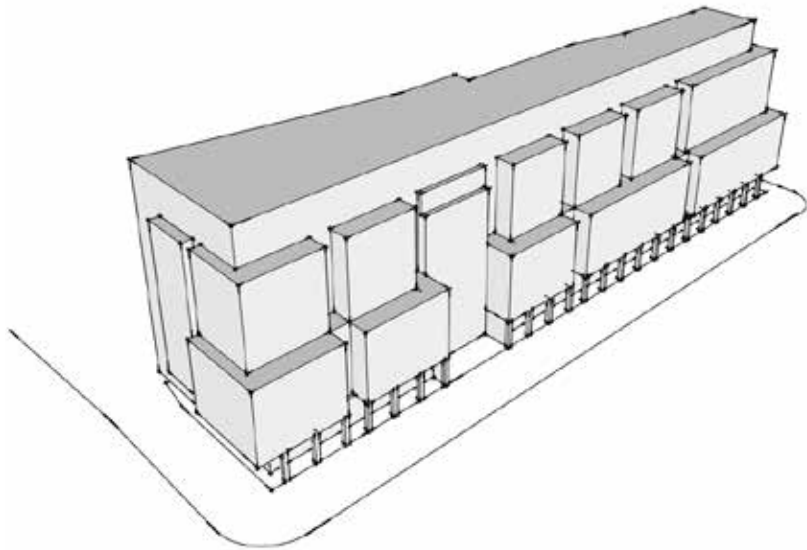
C **setback / stepback**
following the city guidelines to create a composition which doesn't overpower the street/neighborhood. Hold back from the property line and then step back at the 5th and 9th floor to right-size the basic mass



Recapping the previous page and its diagrams, the proposed design addresses the following:

- how the building meets the street in order to create a human-scaled urban experience
- conforming to setback and stepback guidelines for projects of the scale
- providing vertical breaks in the massing to continue to create a scale of building which reinforces the rhythm of the neighborhood
- develop a tight material palette which carries forward the overall approach to a neighborhood scale through color, texture and unit scale/size.

The proposed project establishes a four story base along Park, Regent and E. Campus Dr. clad in a reddish brick. A series of piers and columns at the ground floor establish an anchor for this mass while opening it up substantially with storefront windows to activate the streets with retail spaces and amenities which serve the residents.



Floors 5 through 8 step back from the base and are clad in three different materials which help define the entry along Regent and then create a further punctuation to the building's rhythm from east to west.

Floors 9 and 10 step back from the middle grouping of floors to create an attic quality to the design therein completing the traditional notion of base/middle/top. It will also feel more open and transparent to reinforce the cap.

The material palette changes from darker to lighter in an east west direction to break down the massing and imply a difference in buildings. All of this, along with the window patterns keep the project from feeling overly heavy or massive and instead, provide an appropriately scaled, warm and inviting experience on the street and in the neighborhood.





SOUTH ELEVATION ALONG REGENT STREET SHOWING RESIDENTIAL ENTRY

Park & Regent Apartments

CRG
802-820 Regent St. Madison WI
Urban Design Commission

DATE: 07/01/2022

DRAWING TITLE
3D IMAGES

DRAWING NO.

A- 7

Job # 20 005602



VIEW LOOKING NORTHEAST AT CORNER OF PARK & REGENT

Park & Regent Apartments

CRG
802-820 Regent St. Madison WI
Urban Design Commission

DATE: 07/01/2022

DRAWING TITLE
3D IMAGES

DRAWING NO.

A- 8

Job # 20 005602



VIEW LOOKING NORTHWEST AT CORNER OF REGENT & CAMPUS MALL



Park & Regent Apartments
CRG
802-820 Regent St. Madison WI
Urban Design Commission

DATE: 07/01/2022

DRAWING TITLE
3D IMAGES

DRAWING NO.
A- 9

Job # 20 005602



VIEW LOOKING NORTHWEST ALONG REGENT

Park & Regent Apartments

CRG
802-820 Regent St. Madison WI
Urban Design Commission

DATE: 07/01/2022

DRAWING TITLE
3D IMAGES

DRAWING NO.
A-10

Job # 20 005602



EXISTING SIDEWALK CONDITION ALONG REGENT (APPR. 7' FROM CURB TO BLDG.)



PROPOSED SIDEWALK CONDITION ALONG REGENT (APPR. 15' FROM CURB TO BLDG.)

Lamar Johnson
Collaborative

35 EAST WACKER DRIVE SUITE 1600
CHICAGO, IL 60601
PH 312.656.0747

CRG

Park & Regent Apartments

CRG
802-820 Regent St. Madison WI
Urban Design Commission

DATE: 07/01/2022

DRAWING TITLE
STREET/SIDEWALK

DRAWING NO.
A-11

Job # 20 005602



STREETSCAPE AT CORNER OF REGENT & EAST CAMPUS MALL

Park & Regent Apartments

CRG
802-820 Regent St. Madison WI
Urban Design Commission

DATE: 07/01/2022

DRAWING TITLE
3D IMAGES

DRAWING NO.

A-12

Job # 20 005602



STREETSCAPE AT CORNER OF PARK & REGENT

Park & Regent Apartments

CRG
802-820 Regent St. Madison WI
Urban Design Commission

DATE: 07/01/2022

DRAWING TITLE
3D IMAGES

DRAWING NO.
A-13

Job # 20 005602



VIEW LOOKING SOUTHEAST FROM PARK

21 NORTH PARK ST

Park & Regent Apartments

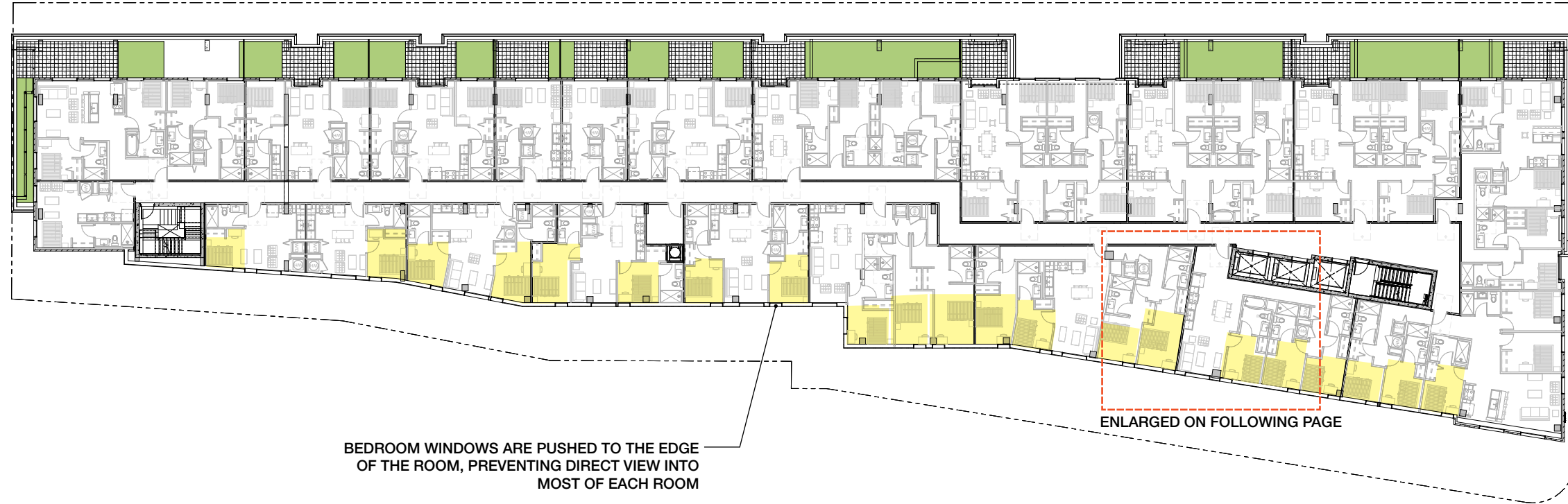
CRG
802-820 Regent St. Madison WI
Urban Design Commission

DATE: 07/01/2022

DRAWING TITLE
3D IMAGES

DRAWING NO.
A-14

Job # 20 005602



NORTH FACADE SHOWING ZONES OF NEIGHBORING OFFICE BUILDING



ALL WINDOWS HAVE ROLLER SHADES

BEDROOM WINDOWS ARE NARROWER THAN LIVING ROOM WINDOWS

BEDROOM WINDOWS ARE PUSHED TO THE EDGE OF THE ROOM, PREVENTING DIRECT VIEW INTO MOST OF THE ROOM

EACH BEDROOM HAS AREA WHERE BED CAN BE PLACED WHICH IS OBSCURED FROM VIEW



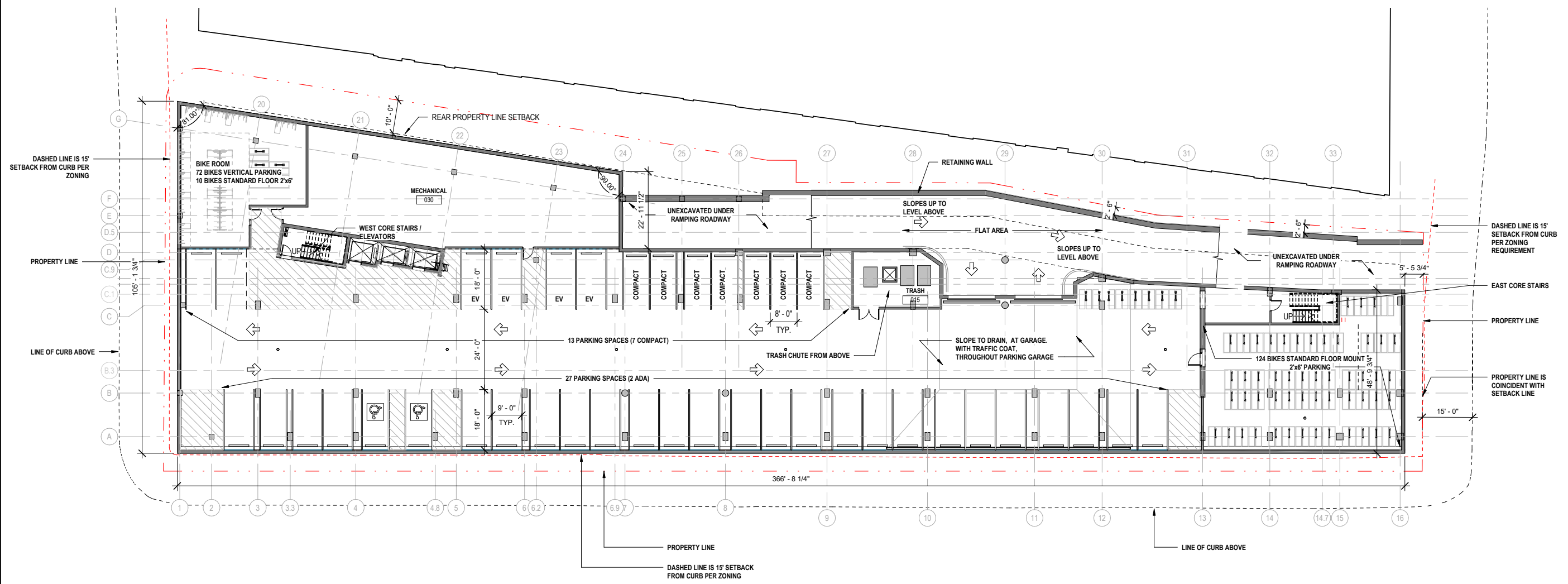
NORTH FACADE AND CUT AWAY AXONOMETRIC VIEW



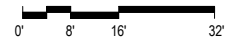
Park & Regent Apartments

CRG
802-820 Regent St. Madison WI
Urban Design Commission

DATE: 07/01/2022
DRAWING TITLE PLAN - LOWER LEVEL
DRAWING NO. A-17
Job # 20 005602

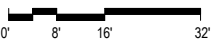




1 FLOOR PLAN - LOWER LEVEL
U000 1/16" = 1'-0"





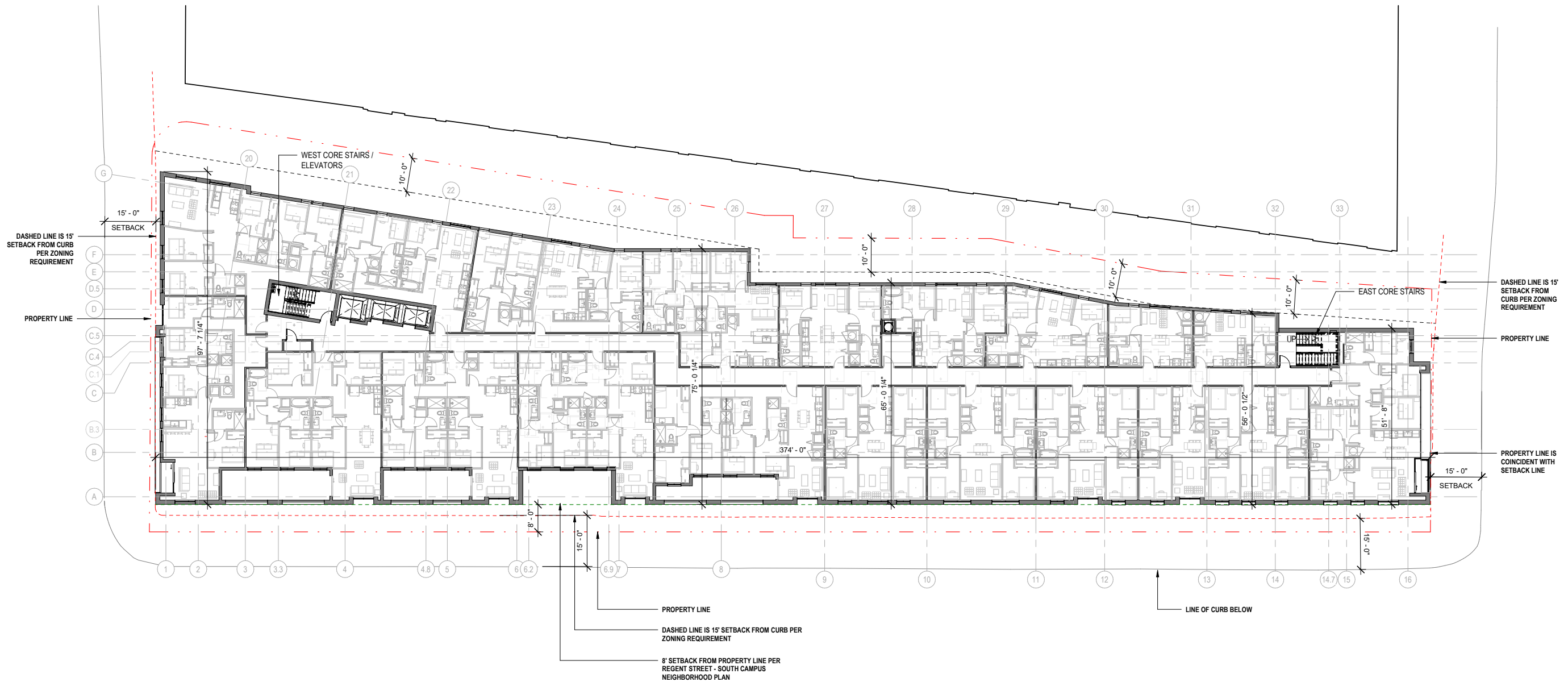
1. PEDESTRIAN SCALE LIGHTING AND EXTERIOR BUILDING LIGHTING WILL BE IN CONFORMANCE TO THE CODE AND PLANS REQUIREMENTS TO INCLUDE TYPES, LIGHT LEVELS, DIRECTION AND CHARACTER.



  **FLOOR PLAN - LEVEL 01**
U001 1/16" = 1'-0"



1 FLOOR PLAN - LEVEL 02, 03 & 04
U002 1/16" = 1'-0"



Park & Regent Apartments

CRG
802-820 Regent St. Madison WI
Urban Design Commission



Lamar Johnson
Collaborative

35 EAST WACKER DRIVE SUITE 1600
CHICAGO, IL 60601
PH 312.656.0747

DATE: 07/01/2022

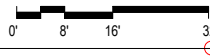
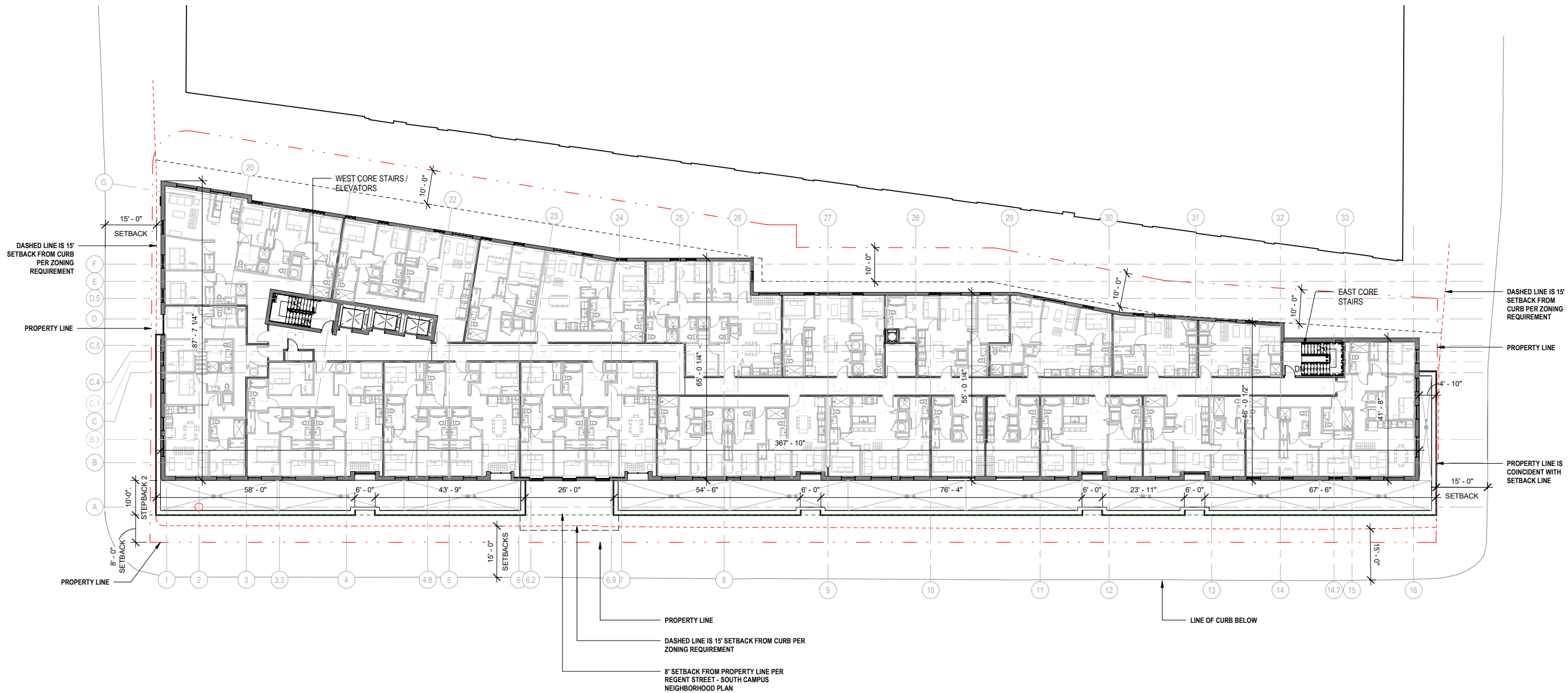
DRAWING TITLE
PLAN - LEVEL 02-04

DRAWING NO.
A-19

Job # 20 005602



1 FLOOR PLAN - LEVEL 05
U003 1/16" = 1'-0"



Park & Regent Apartments

CRG
802-820 Regent St. Madison WI
Urban Design Commission



Lamar Johnson
Collaborative
35 EAST WACKER DRIVE SUITE 1600
CHICAGO, IL 60601
PH 312.656.0747

DATE: 07/01/2022

DRAWING TITLE
PLAN - LEVEL 05

DRAWING NO.

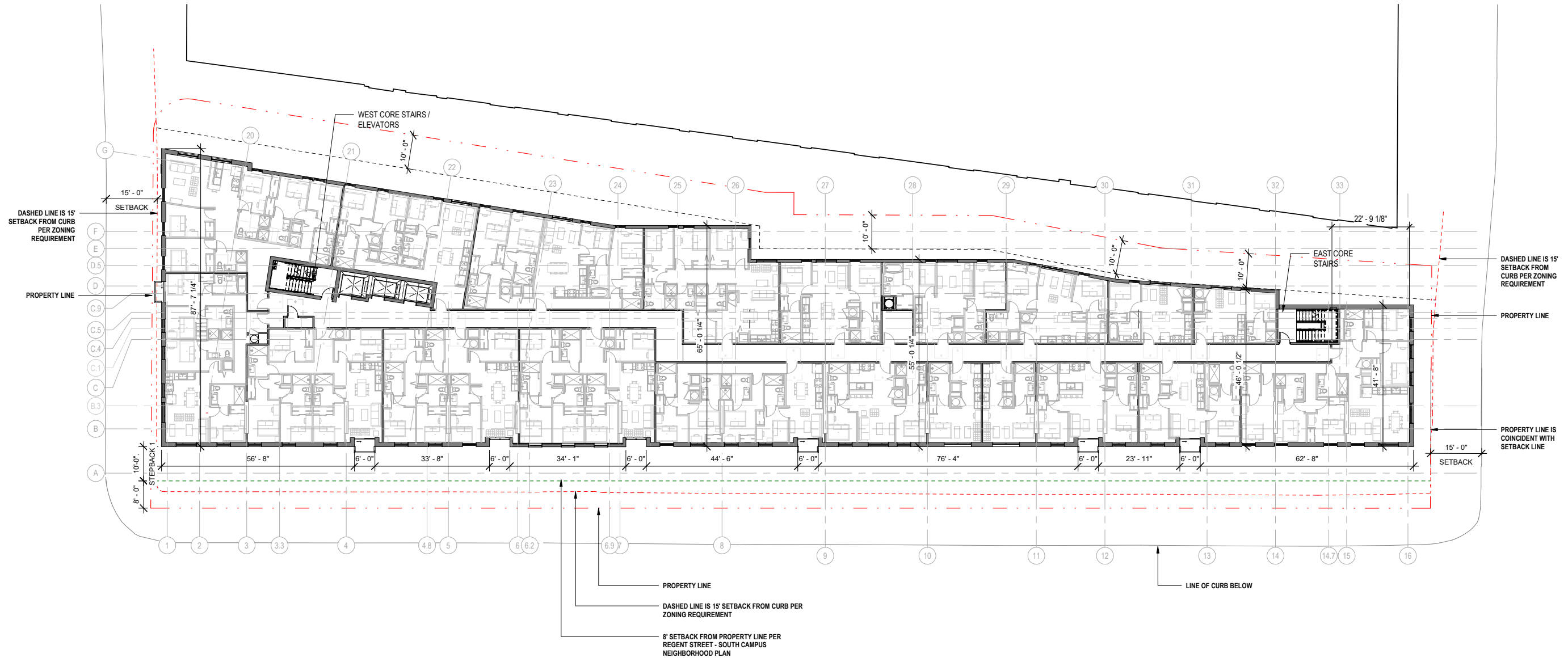
A-20

Job # 20 005602

6/20/2022 5:18:42 PM



1 FLOOR PLAN - LEVEL 06, 07 & 08
U004 1/16" = 1'-0"



Park & Regent Apartments

CRG
802-820 Regent St. Madison WI
Urban Design Commission

DATE: 07/01/2022

DRAWING TITLE
PLAN - LEVEL 06-08

DRAWING NO.
A-21

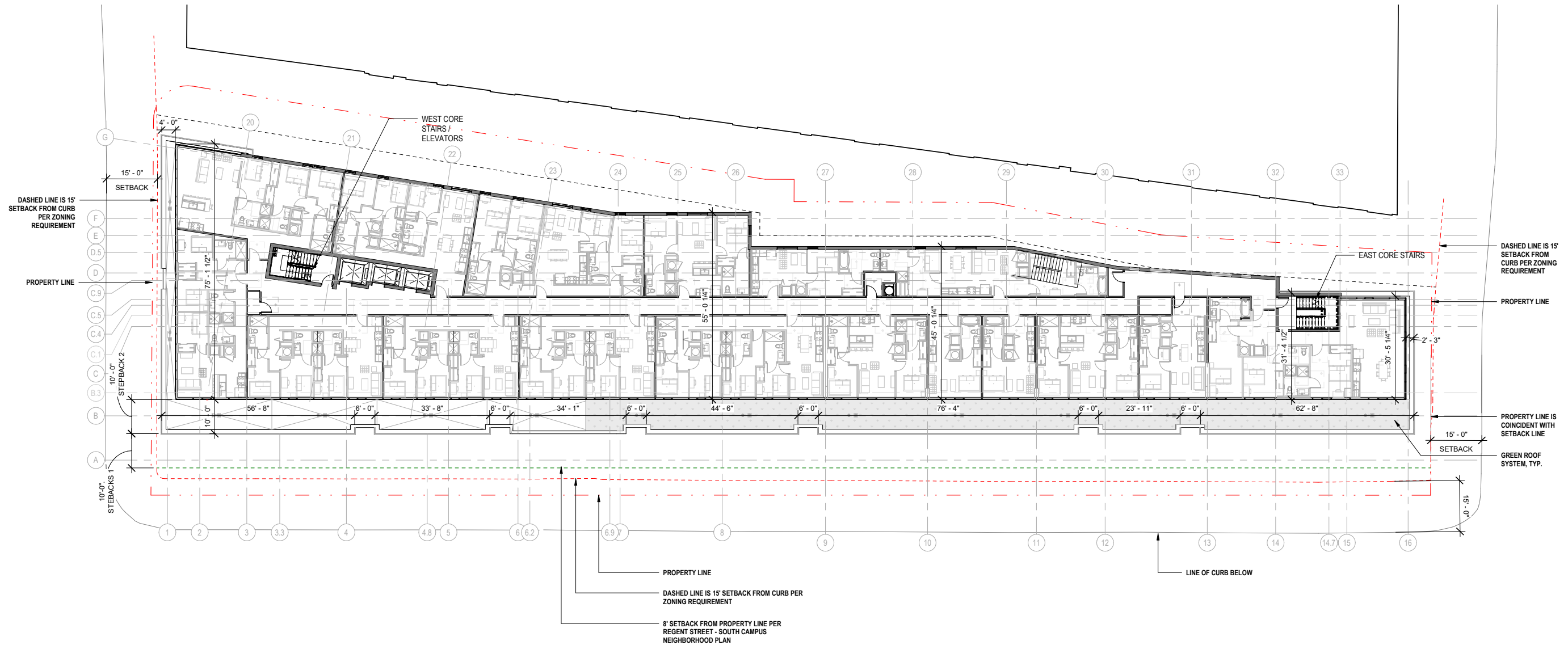
Job # 20 005602

6/20/2022 5:19:27 PM

Copyright © 2022 Lamar Johnson Collaborative



1 FLOOR PLAN - LEVEL 09
U005 1/16" = 1'-0"



**Lamar Johnson
Collaborative**
35 EAST WACKER DRIVE SUITE 1500
CHICAGO, IL 60601
PH 312.656.0747



Park & Regent Apartments

CRG
802-820 Regent St. Madison WI
Urban Design Commission

DATE: 07/01/2022

DRAWING TITLE
PLAN - LEVEL 09

DRAWING NO.
A-22

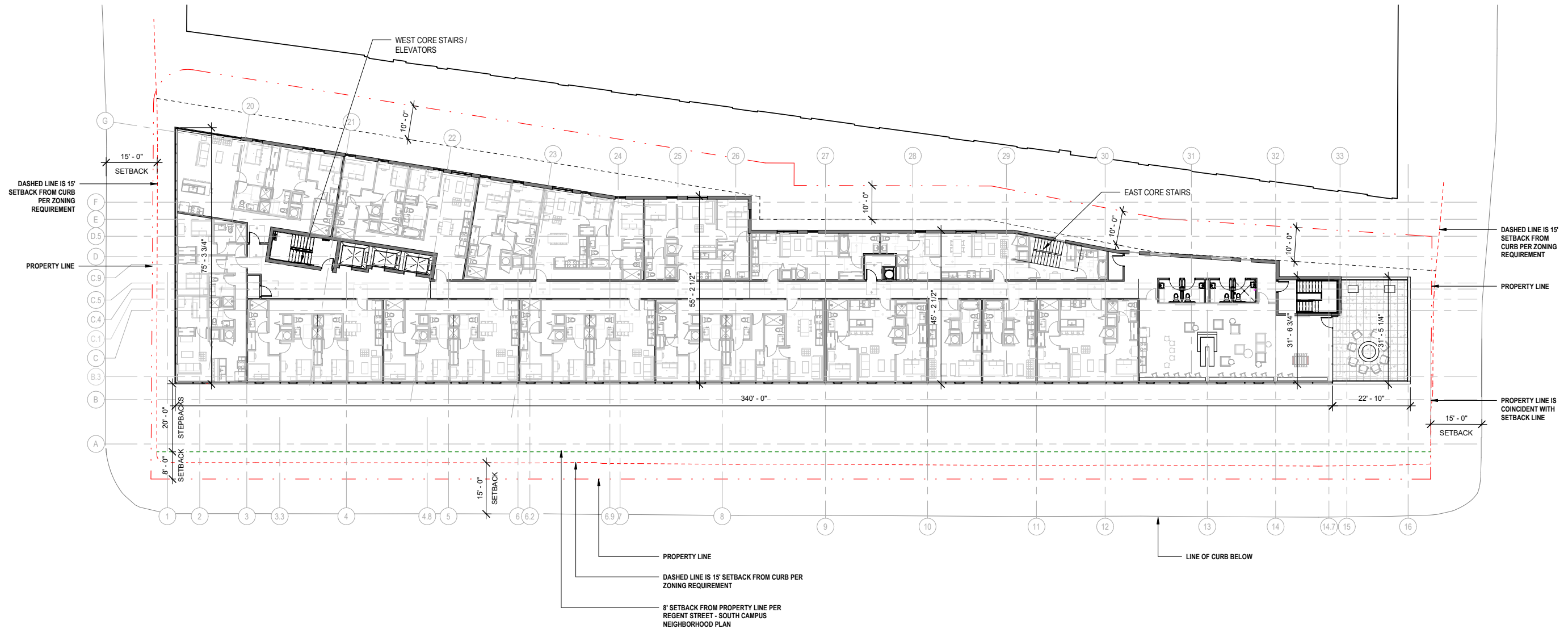
Job # 20 005602

6/29/2022 5:20:13 PM

Copyright © 2022 Lamar Johnson Collaborative



1 FLOOR PLAN - LEVEL 10
U006 1/16" = 1'-0"



Lamar Johnson
Collaborative

35 EAST WACKER DRIVE SUITE 1600
CHICAGO, IL 60601
PH 312.656.0747



Park & Regent Apartments

CRG
802-820 Regent St. Madison WI
Urban Design Commission

DATE: 07/01/2022

DRAWING TITLE
PLAN - LEVEL 10

DRAWING NO.

A-23

Job # 20 005602



Park & Regent Apartments

CRG
802-820 Regent St. Madison WI
Urban Design Commission

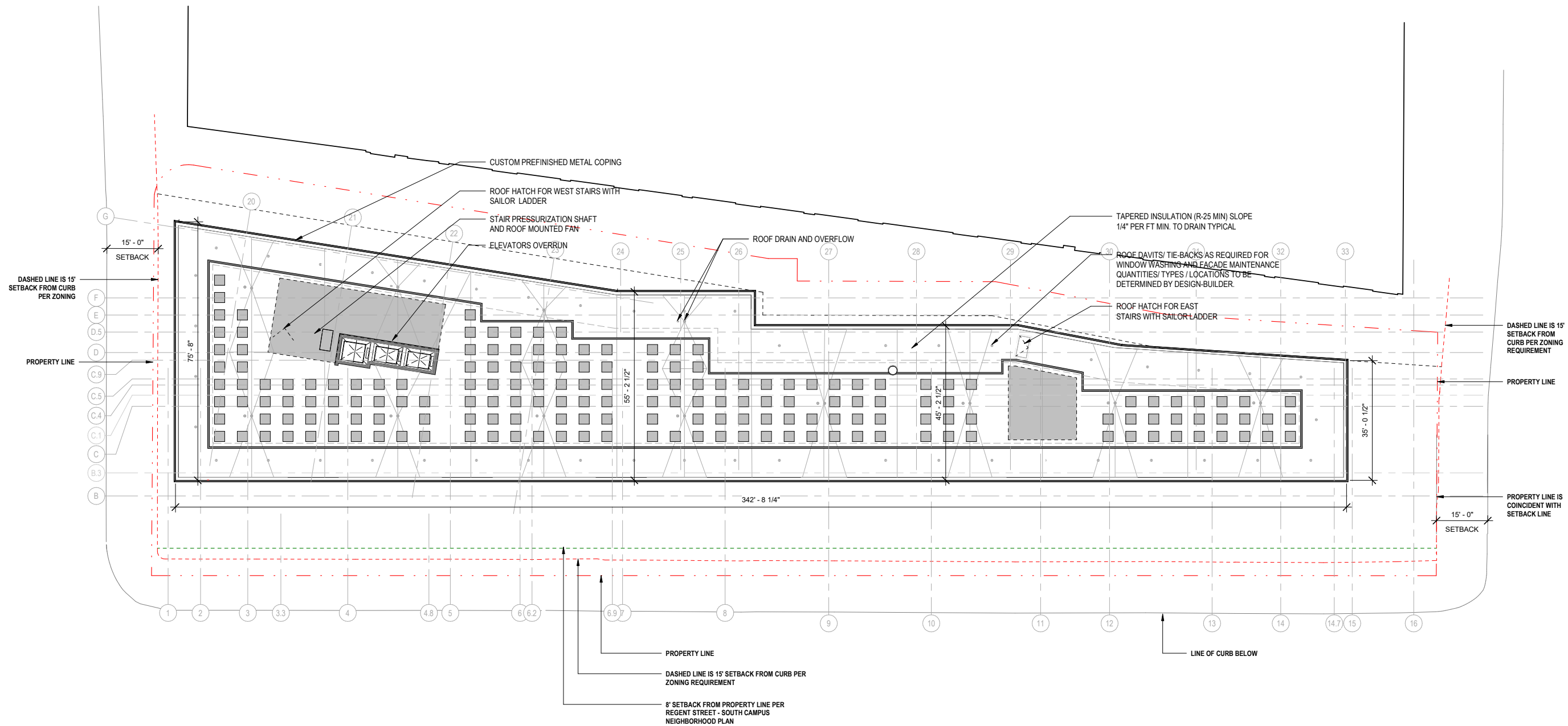
DATE: 07/01/2022

DRAWING TITLE
PLAN - ROOF

DRAWING NO.

A-24

Job # 20 005602



1 ROOF PLAN
U007 1/16" = 1'-0"





SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION

Park & Regent Apartments

CRG
802-820 Regent St. Madison WI
Urban Design Commission

DATE: 07/01/2022

DRAWING TITLE
ELEVATIONS - COLOR

DRAWING NO.
A-25

Job # 20 005602



BK-1 BRICK



BK-2 BRICK



WD-2 HPL WOOD VENEER PANEL



FB-1 FIBER CEMENT BOARD



ST-1 STONE BASE



MT-1 COMPOSITE METAL PANEL

EXTERIOR ELEVATION NOTES					
HATCH	MARK	DESCRIPTION	HATCH	MARK	DESCRIPTION
	ST-1	STONE BASE		BK-2	BRICK 2 DARK - STANDARD DIMENSION: COLOR TO MATCH ARCHITECT'S SAMPLE ; MORTAR COLOR TO MATCH BRICK 1/3 RUNNING BOND COURSING
	FB-1	FIBER CEMENT BOARD - DARK GRAY		MT-1	COMPOSITE METAL PANEL. FINISH TO MATCH PREFINISHED ALUMINUM WINDOW FRAMES
	FB-2	FIBER CEMENT BOARD - MEDIUM GRAY TEXTURED		WD-2	HPL WOOD VENEER PANEL . COLOR TO MATCH ARCHITECT'S SAMPLE
	BK-1	BRICK - STANDARD DIMENSION: COLOR TO MATCH ARCHITECT'S SAMPLE ; MORTAR COLOR TO MATCH BRICK 1/3 RUNNING BOND COURSING		GL-1	LOW-E INSULATED VISION GLASS (GL-1S INDICATES SPANDREL CONDITION)
				GL-1B	LOW-E INSULATED VISION GLASS W/ BIRD GLASS FRIT PATTERN (GL-1SB INDICATES SPANDREL CONDITION)



Park & Regent Apartments

CRG
802-820 Regent St. Madison WI
Urban Design Commission

DATE: 07/01/2022

DRAWING TITLE
EXTERIOR MATERIALS

DRAWING NO.
A-26

Job # 20 005602



Park & Regent Apartments

CRG
802-820 Regent St. Madison WI
Urban Design Commission

DATE: 07/01/2022

DRAWING TITLE
ELEVATIONS - OVERALL

DRAWING NO.
A-27

Job # 20 005602

NON-ILLUMINATED AWNING /BUILDING
SIGNAGE. SHADED RECTANGLE
REPRESENTS THE GENERAL INTENT, SIZE
AND LOCATION OF THE PROPOSED SIGN.
SIGN WILL BE IN CONFORMANCE WITH
THE REGULATIONS OF THE CITY OF
MADISON SIGN CONTROL ORDINANCE
AND PARK STREET CORRIDOR PLAN,
WHICH INCLUDES SIZE, MATERIAL,
LOCATION, MOUNTING METHOD AND
ATTACHMENTS TO STRUCTURE



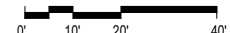
2 WEST ELEVATION
1" = 20'-0"



NON-ILLUMINATED AWNING SIGNAGE. SHADED
RECTANGLE REPRESENTS THE GENERAL INTENT, SIZE
AND LOCATION OF THE PROPOSED SIGN. SIGN WILL BE IN
CONFORMANCE WITH THE REGULATIONS OF THE CITY OF
MADISON SIGN CONTROL ORDINANCE AND PARK STREET
CORRIDOR PLAN, WHICH INCLUDES SIZE, MATERIAL,
LOCATION, MOUNTING METHOD AND ATTACHMENTS TO
STRUCTURE



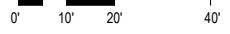
1 SOUTH ELEVATION
1" = 20'-0"



NON-ILLUMINATED BUILDING SIGNAGE. SHADED
RECTANGLE REPRESENTS THE GENERAL INTENT, SIZE
AND LOCATION OF THE PROPOSED SIGN. SIGN WILL BE IN
CONFORMANCE WITH THE REGULATIONS OF THE CITY OF
MADISON SIGN CONTROL ORDINANCE AND
PARK STREET CORRIDOR PLAN, WHICH INCLUDES SIZE,
MATERIAL, LOCATION, MOUNTING METHOD AND
ATTACHMENTS TO STRUCTURE



3 NORTH ELEVATION
1" = 20'-0"

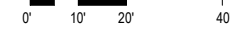


NON-ILLUMINATED WALL SIGNAGE. SHADED RECTANGLE
REPRESENTS THE GENERAL INTENT, SIZE AND LOCATION
OF THE PROPOSED SIGN. SIGN WILL BE IN
CONFORMANCE WITH THE REGULATIONS OF THE CITY
OF MADISON SIGN CONTROL ORDINANCE AND PARK
STREET CORRIDOR PLAN, WHICH INCLUDES SIZE,
MATERIAL, LOCATION, MOUNTING METHOD AND
ATTACHMENTS TO STRUCTURE

NON-ILLUMINATED AWNING SIGNAGE. SHADED
RECTANGLE REPRESENTS THE GENERAL INTENT, SIZE
AND LOCATION OF THE PROPOSED SIGN. SIGN WILL BE IN
CONFORMANCE WITH THE REGULATIONS OF THE CITY OF
MADISON SIGN CONTROL ORDINANCE AND PARK STREET
CORRIDOR PLAN, WHICH INCLUDES SIZE, MATERIAL,
LOCATION, MOUNTING METHOD AND ATTACHMENTS TO
STRUCTURE



4 EAST ELEVATION
1" = 20'-0"



6/28/2022 1:14:05 PM

ARCHITECTURAL FENCE AROUND MECHANICAL EQUIPMENT- SCREEN INSET AT A DISTANCE OF ONE AND ONE-HALF (1.5X) TIMES ITS HEIGHT FROM ANY PRIMARY FACADE FRONTING A PUBLIC STREET AND SHALL BE CONSTRUCTED TO A HEIGHT OF AT LEAST 1'-0" ABOVE THE HEIGHT OF THE EQUIPMENT










CUSTOM PAINTED AND FORMED BREAK METAL COPING AT CORNICES TO EMULATE STEEL BEAM, TYP.

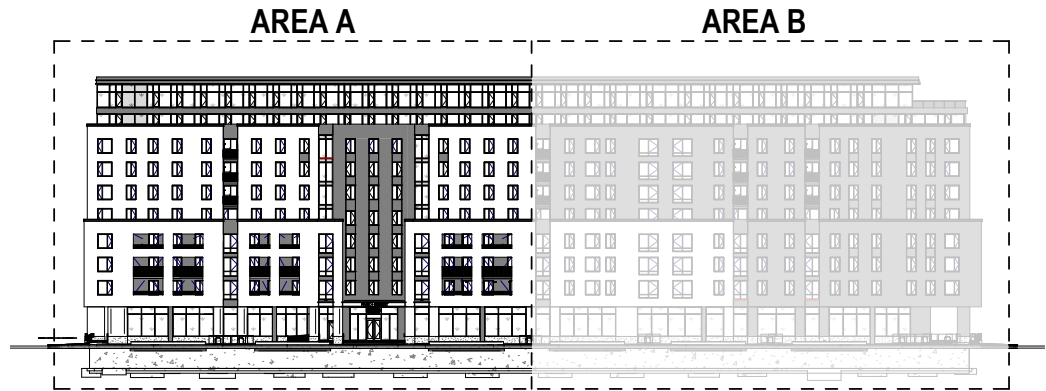
TYPICAL MATERIALS SHOWN, UNLESS NOTED OTHERWISE

FORMED METAL WALL CLOSURE AT ALL BALCONY OPENINGS, PAINTED TO MATCH MT-1, TYP.

1 SOUTH ELEVATION - AREA A
U009 1" = 10'-0"

EXTERIOR ELEVATION NOTES

HATCH	MARK	DESCRIPTION	HATCH	MARK	DESCRIPTION
	ST-1	STONE BASE		BK-2	BRICK 2 DARK - STANDARD DIMENSION: COLOR TO MATCH ARCHITECT'S SAMPLE ; MORTAR COLOR TO MATCH BRICK 1/3 RUNNING BOND COURSING
	FB-1	FIBER CEMENT BOARD - DARK GRAY		MT-1	COMPOSITE METAL PANEL. FINISH TO MATCH PREFINISHED ALUMINUM WINDOW FRAMES
	FB-2	FIBER CEMENT BOARD - MEDIUM GRAY TEXTURED		WD-2	HPL WOOD VENEER PANEL . COLOR TO MATCH ARCHITECT'S SAMPLE
	BK-1	BRICK - STANDARD DIMENSION: COLOR TO MATCH ARCHITECT'S SAMPLE ; MORTAR COLOR TO MATCH BRICK 1/3 RUNNING BOND COURSING		GL-1	LOW-E INSULATED VISION GLASS (GL-1S INDICATES SPANDREL CONDITION)
				GL-1B	LOW-E INSULATED VISION GLASS W/ BIRD GLASS FRIT PATTERN (GL-1SB INDICATES SPANDREL CONDITION)



GENERAL NOTES

- PEDESTRIAN SCALE LIGHTING AND EXTERIOR BUILDING LIGHTING WILL BE IN CONFORMANCE TO THE CODE AND PLANS REQUIREMENTS TO INCLUDE TYPES, LIGHT LEVELS, DIRECTION AND CHARACTER.

DATE: 07/01/2022

DRAWING TITLE
ELEVATION - SOUTH
AREA A

DRAWING NO.

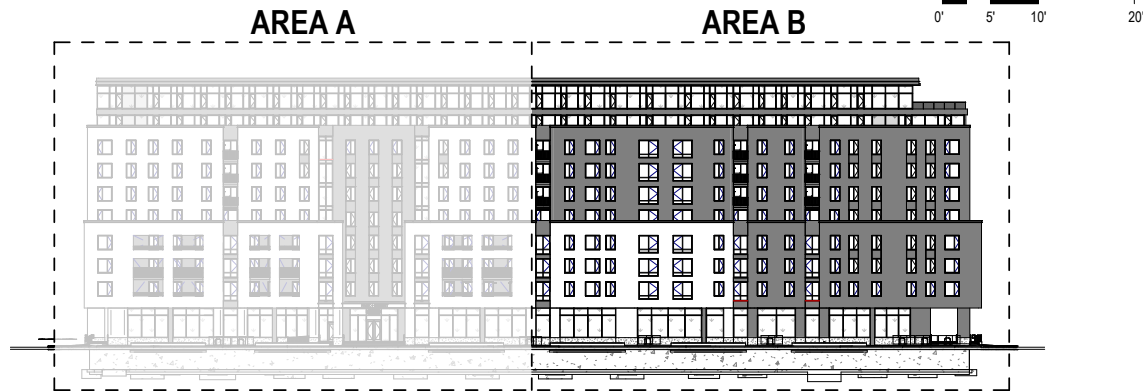
A-28

Job # 20 005602

ARCHITECTURAL FENCE AROUND MECHANICAL EQUIPMENT- SCREEN INSET AT A DISTANCE OF ONE AND ONE-HALF (1.5X) TIMES ITS HEIGHT FROM ANY PRIMARY FACADE FRONTING A PUBLIC STREET AND SHALL BE CONSTRUCTED TO A HEIGHT OF AT LEAST 1'-0" ABOVE THE HEIGHT OF THE EQUIPMENT



EXTERIOR ELEVATION NOTES					
HATCH	MARK	DESCRIPTION	HATCH	MARK	DESCRIPTION
	ST-1	STONE BASE		BK-2	BRICK 2 DARK - STANDARD DIMENSION: COLOR TO MATCH ARCHITECT'S SAMPLE ; MORTAR COLOR TO MATCH BRICK 1/3 RUNNING BOND COURSING
	FB-1	FIBER CEMENT BOARD - DARK GRAY		MT-1	COMPOSITE METAL PANEL, FINISH TO MATCH PREFINISHED ALUMINUM WINDOW FRAMES
	FB-2	FIBER CEMENT BOARD - MEDIUM GRAY TEXTURED		WD-2	HPL WOOD VENEER PANEL . COLOR TO MATCH ARCHITECT'S SAMPLE
	BK-1	BRICK - STANDARD DIMENSION: COLOR TO MATCH ARCHITECT'S SAMPLE ; MORTAR COLOR TO MATCH BRICK 1/3 RUNNING BOND COURSING		GL-1	LOW-E INSULATED VISION GLASS (GL-1S INDICATES SPANDREL CONDITION)
				GL-1B	LOW-E INSULATED VISION GLASS W/ BIRD GLASS FRIT PATTERN (GL-1SB INDICATES SPANDREL CONDITION)



GENERAL NOTES

- PEDESTRIAN SCALE LIGHTING AND EXTERIOR BUILDING LIGHTING WILL BE IN CONFORMANCE TO THE CODE AND PLANS REQUIREMENTS TO INCLUDE TYPES, LIGHT LEVELS, DIRECTION AND CHARACTER.

Lamar Johnson
Collaborative

35 EAST WACKER DRIVE SUITE 1500
CHICAGO, IL 60601
PH 312.658.0747



Park & Regent Apartments

CRG
802-820 Regent St. Madison WI
Urban Design Commission

DATE: 07/01/2022

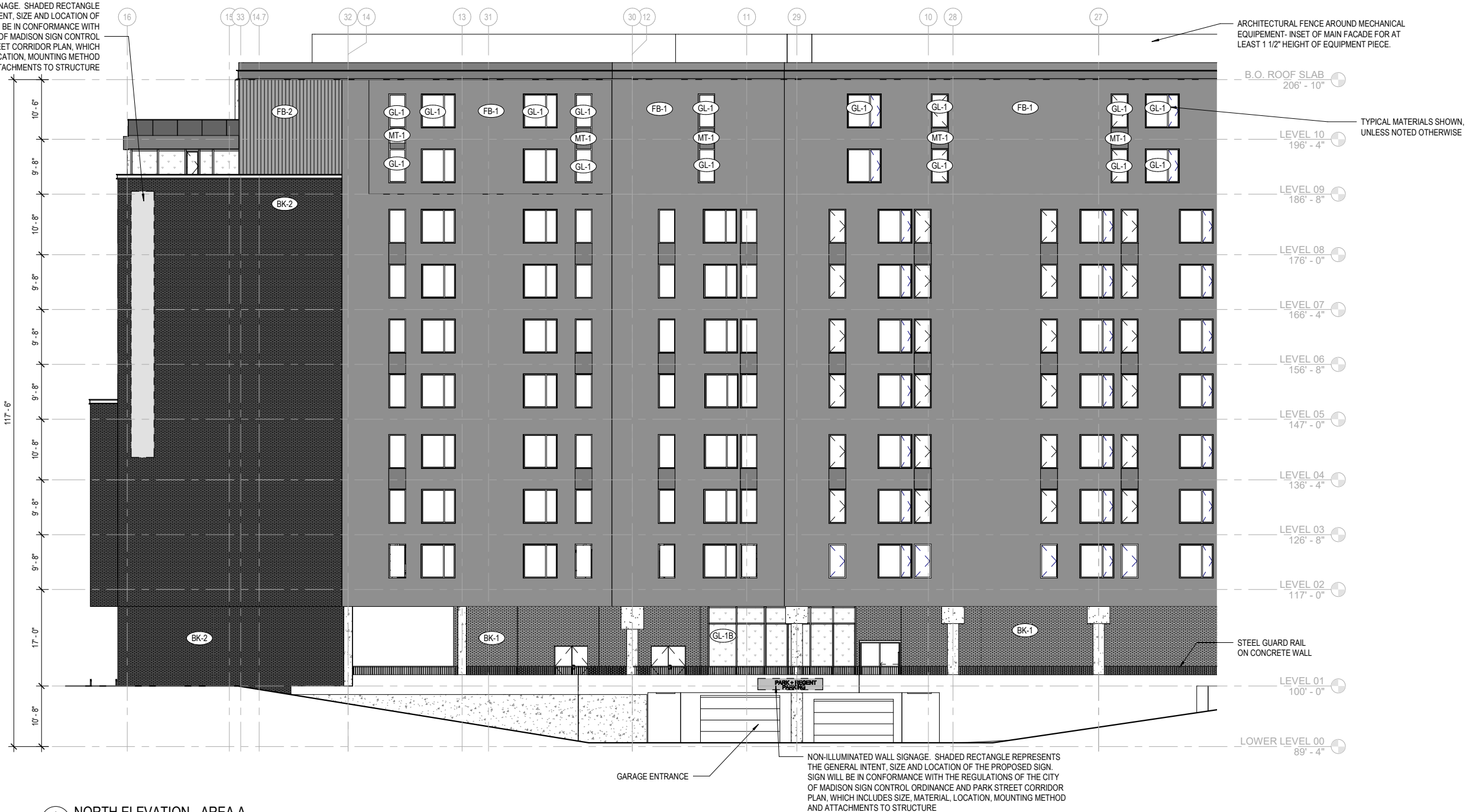
DRAWING TITLE
ELEVATION - SOUTH
AREA B

DRAWING NO.

A-29

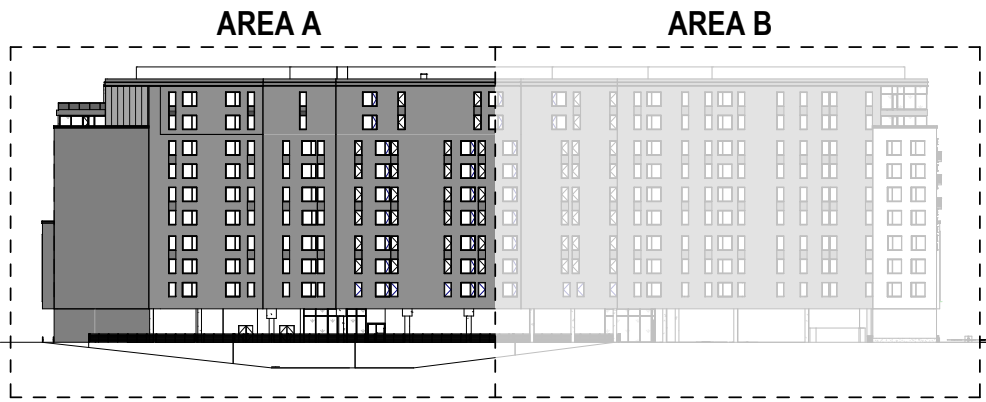
Job # 20 005602

NON-ILLUMINATED BUILDING SIGNAGE. SHADED RECTANGLE REPRESENTS THE GENERAL INTENT, SIZE AND LOCATION OF THE PROPOSED SIGN. SIGN WILL BE IN CONFORMANCE WITH THE REGULATIONS OF THE CITY OF MADISON SIGN CONTROL ORDINANCE AND PARK STREET CORRIDOR PLAN, WHICH INCLUDES SIZE, MATERIAL, LOCATION, MOUNTING METHOD AND ATTACHMENTS TO STRUCTURE



1 NORTH ELEVATION - AREA A
U011 1" = 10'-0"

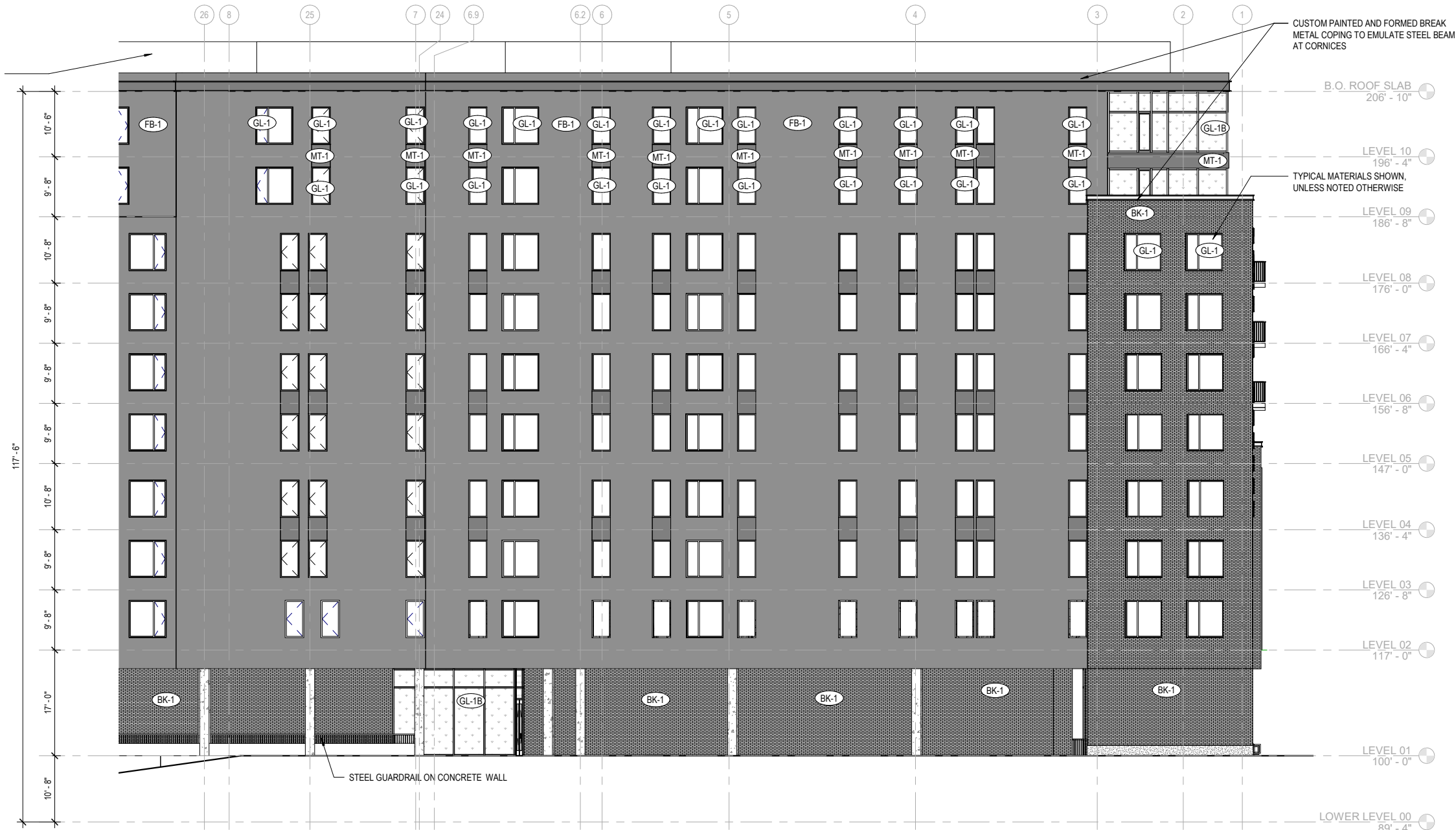
EXTERIOR ELEVATION NOTES					
HATCH	MARK	DESCRIPTION	HATCH	MARK	DESCRIPTION
	ST-1	STONE BASE		BK-2	BRICK 2 DARK - STANDARD DIMENSION: COLOR TO MATCH ARCHITECT'S SAMPLE ; MORTAR COLOR TO MATCH BRICK 1/3 RUNNING BOND COURSING
	FB-1	FIBER CEMENT BOARD - DARK GRAY		MT-1	COMPOSITE METAL PANEL. FINISH TO MATCH PREFINISHED ALUMINUM WINDOW FRAMES
	FB-2	FIBER CEMENT BOARD - MEDIUM GRAY TEXTURED		WD-2	HPL WOOD VENEER PANEL . COLOR TO MATCH ARCHITECT'S SAMPLE
	BK-1	BRICK - STANDARD DIMENSION: COLOR TO MATCH ARCHITECT'S SAMPLE ; MORTAR COLOR TO MATCH BRICK 1/3 RUNNING BOND COURSING		GL-1	LOW-E INSULATED VISION GLASS (GL-1S INDICATES SPANDREL CONDITION)
				GL-1B	LOW-E INSULATED VISION GLASS W/ BIRD GLASS FRIT PATTERN (GL-1SB INDICATES SPANDREL CONDITION)



GENERAL NOTES

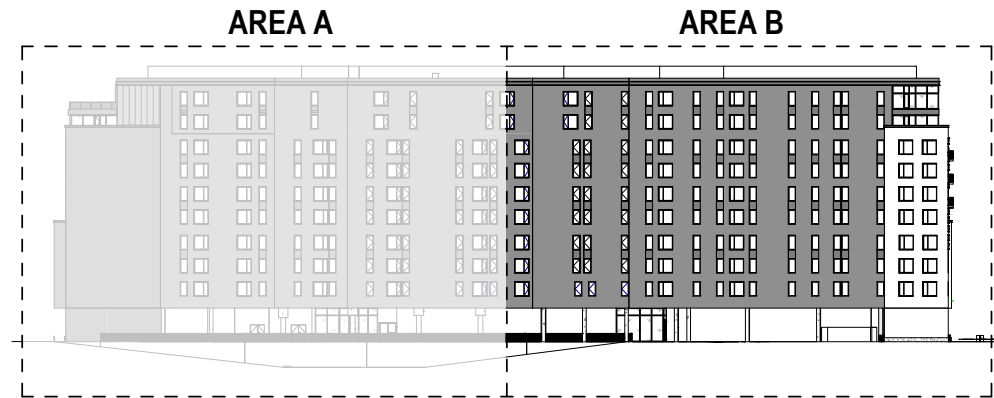
1. PEDESTRIAN SCALE LIGHTING AND EXTERIOR BUILDING LIGHTING WILL BE IN CONFORMANCE TO THE CODE AND PLANS REQUIREMENTS TO INCLUDE TYPES, LIGHT LEVELS, DIRECTION AND CHARACTER.

ARCHITECTURAL FENCE AROUND MECHANICAL EQUIPMENT- SCREEN INSET AT A DISTANCE OF ONE AND ONE-HALF (1.5X) TIMES ITS HEIGHT FROM ANY PRIMARY FACADE FRONTING A PUBLIC STREET AND SHALL BE CONSTRUCTED TO A HEIGHT OF AT LEAST 1'-0" ABOVE THE HEIGHT OF THE EQUIPMENT



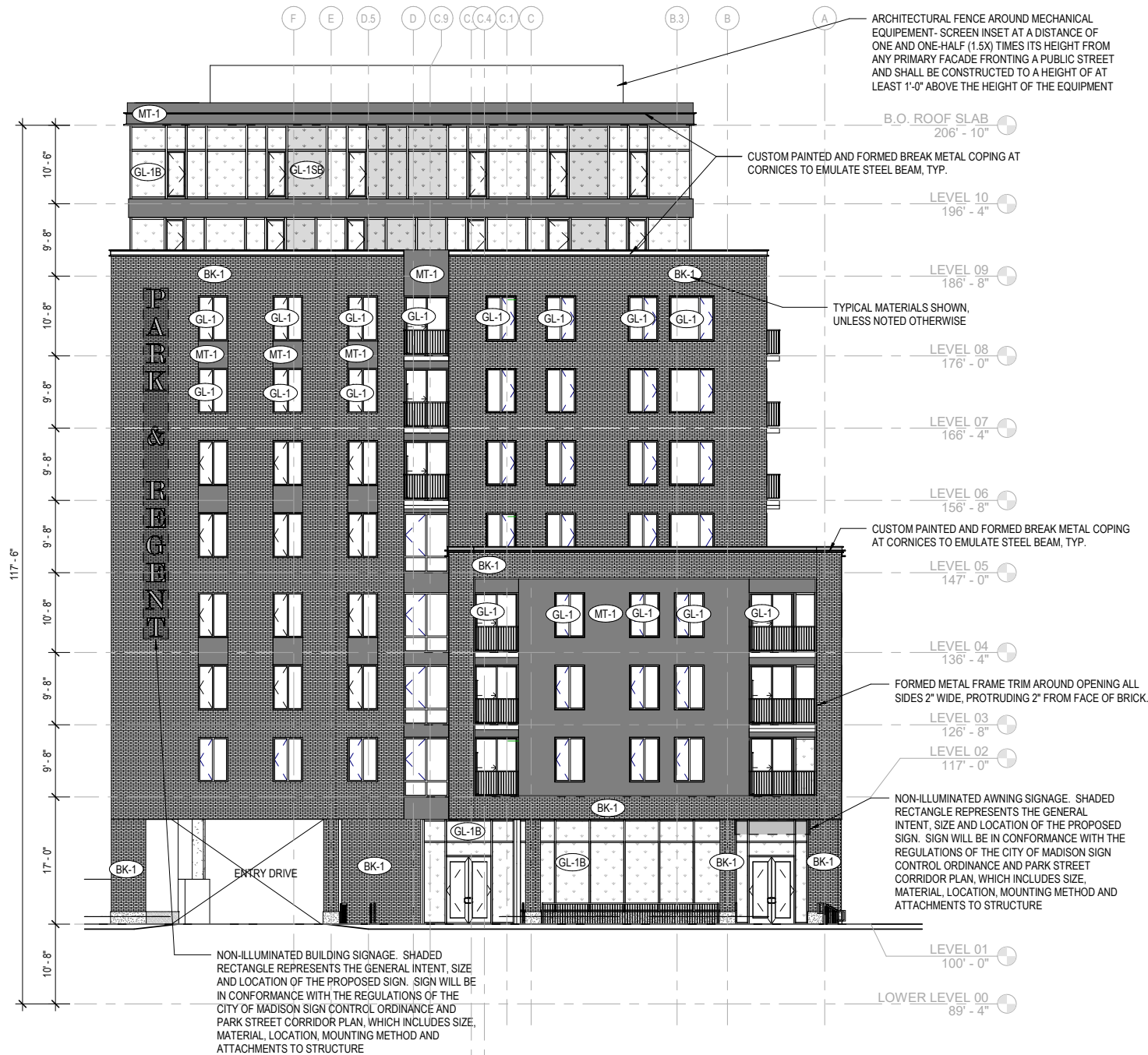
1 NORTH ELEVATION - AREA B
1" = 10'-0"

EXTERIOR ELEVATION NOTES					
HATCH	MARK	DESCRIPTION	HATCH	MARK	DESCRIPTION
	ST-1	STONE BASE		BK-2	BRICK 2 DARK - STANDARD DIMENSION: COLOR TO MATCH ARCHITECT'S SAMPLE ; MORTAR COLOR TO MATCH BRICK 1/3 RUNNING BOND COURSING
	FB-1	FIBER CEMENT BOARD - DARK GRAY		MT-1	COMPOSITE METAL PANEL. FINISH TO MATCH PREFINISHED ALUMINUM WINDOW FRAMES
	FB-2	FIBER CEMENT BOARD - MEDIUM GRAY TEXTURED		WD-2	HPL WOOD VENEER PANEL . COLOR TO MATCH ARCHITECT'S SAMPLE
	BK-1	BRICK - STANDARD DIMENSION: COLOR TO MATCH ARCHITECT'S SAMPLE ; MORTAR COLOR TO MATCH BRICK 1/3 RUNNING BOND COURSING		GL-1	LOW-E INSULATED VISION GLASS (GL-1S INDICATES SPANDREL CONDITION)
				GL-1B	LOW-E INSULATED VISION GLASS W/ BIRD GLASS FRIT PATTERN (GL-1SB INDICATES SPANDREL CONDITION)

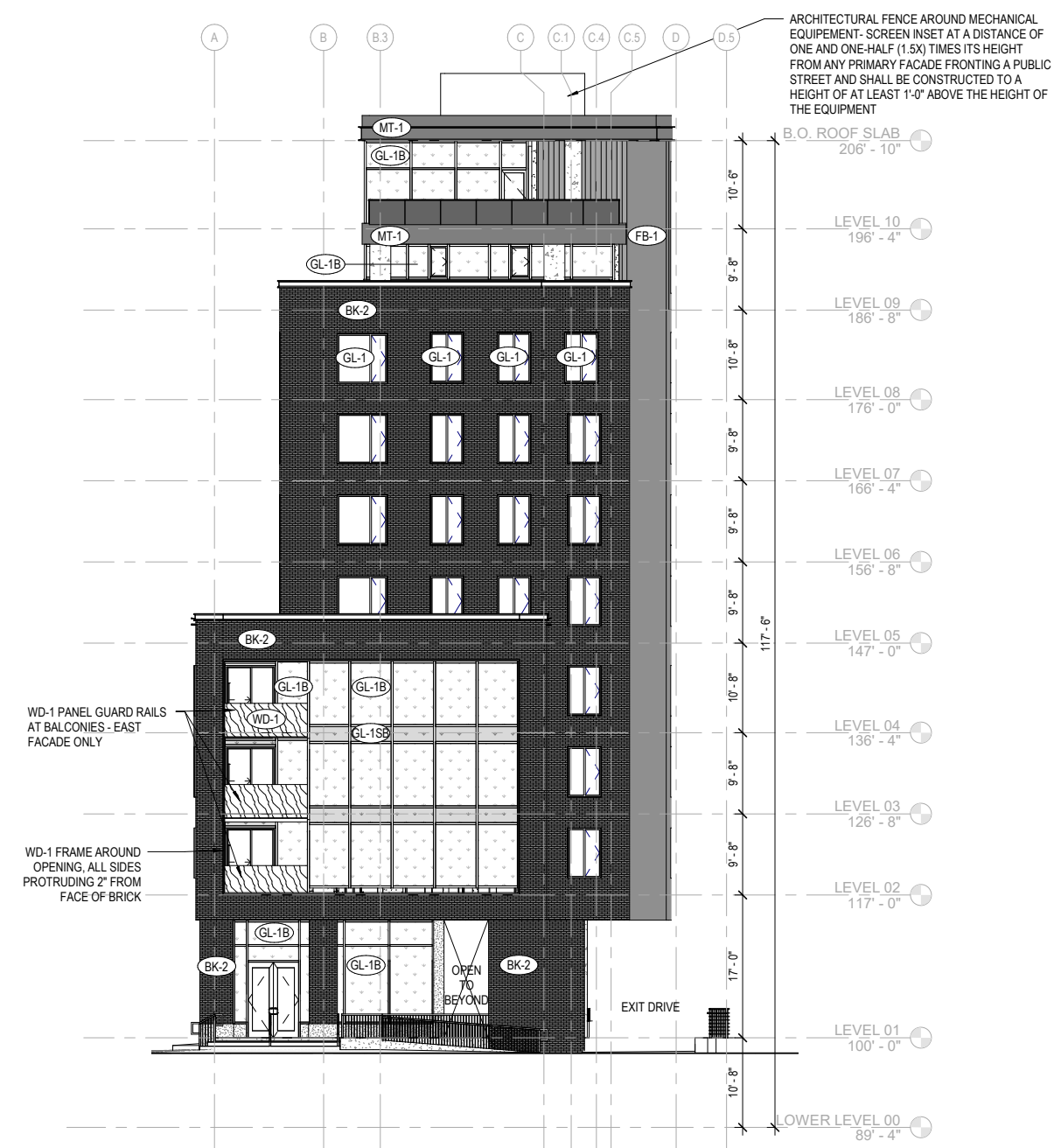
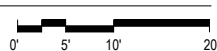


GENERAL NOTES

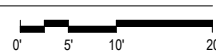
- PEDESTRIAN SCALE LIGHTING AND EXTERIOR BUILDING LIGHTING WILL BE IN CONFORMANCE TO THE CODE AND PLANS REQUIREMENTS TO INCLUDE TYPES, LIGHT LEVELS, DIRECTION AND CHARACTER.



1 WEST ELEVATION
1" = 10'-0"



2 EAST ELEVATION
1" = 10'-0"



EXTERIOR ELEVATION NOTES					
HATCH	MARK	DESCRIPTION	HATCH	MARK	DESCRIPTION
	ST-1	STONE BASE		BK-2	BRICK 2 DARK - STANDARD DIMENSION: COLOR TO MATCH ARCHITECT'S SAMPLE ; MORTAR COLOR TO MATCH BRICK 1/3 RUNNING BOND COURSING
	FB-1	FIBER CEMENT BOARD - DARK GRAY		MT-1	COMPOSITE METAL PANEL. FINISH TO MATCH PREFINISHED ALUMINUM WINDOW FRAMES
	FB-2	FIBER CEMENT BOARD - MEDIUM GRAY TEXTURED		WD-2	HPL WOOD VENEER PANEL . COLOR TO MATCH ARCHITECT'S SAMPLE
	BK-1	BRICK - STANDARD DIMENSION: COLOR TO MATCH ARCHITECT'S SAMPLE ; MORTAR COLOR TO MATCH BRICK 1/3 RUNNING BOND COURSING		GL-1	LOW-E INSULATED VISION GLASS (GL-1S INDICATES SPANDREL CONDITION)
				GL-1B	LOW-E INSULATED VISION GLASS W/ BIRD GLASS FRIT PATTERN (GL-1SB INDICATES SPANDREL CONDITION)

GENERAL NOTES

- PEDESTRIAN SCALE LIGHTING AND EXTERIOR BUILDING LIGHTING WILL BE IN CONFORMANCE TO THE CODE AND PLANS REQUIREMENTS TO INCLUDE TYPES, LIGHT LEVELS, DIRECTION AND CHARACTER.

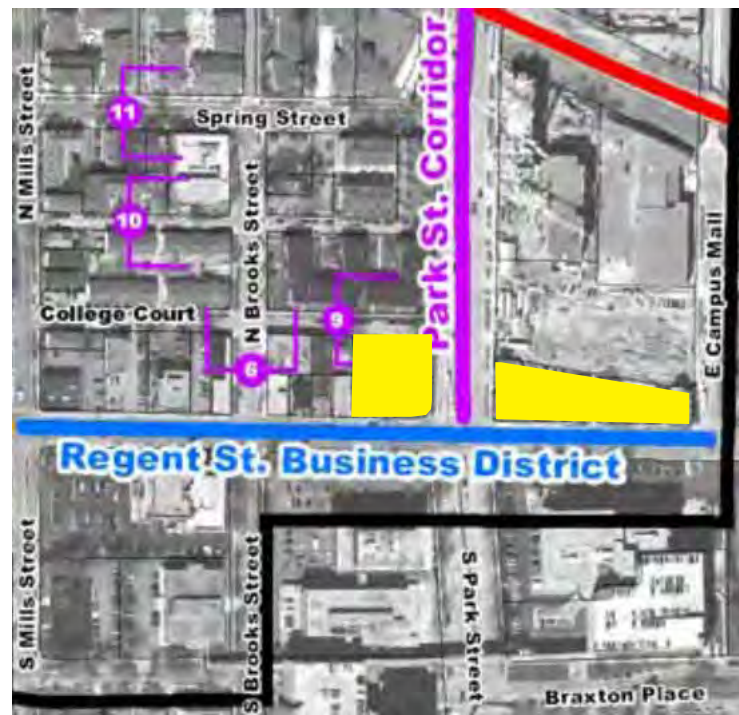
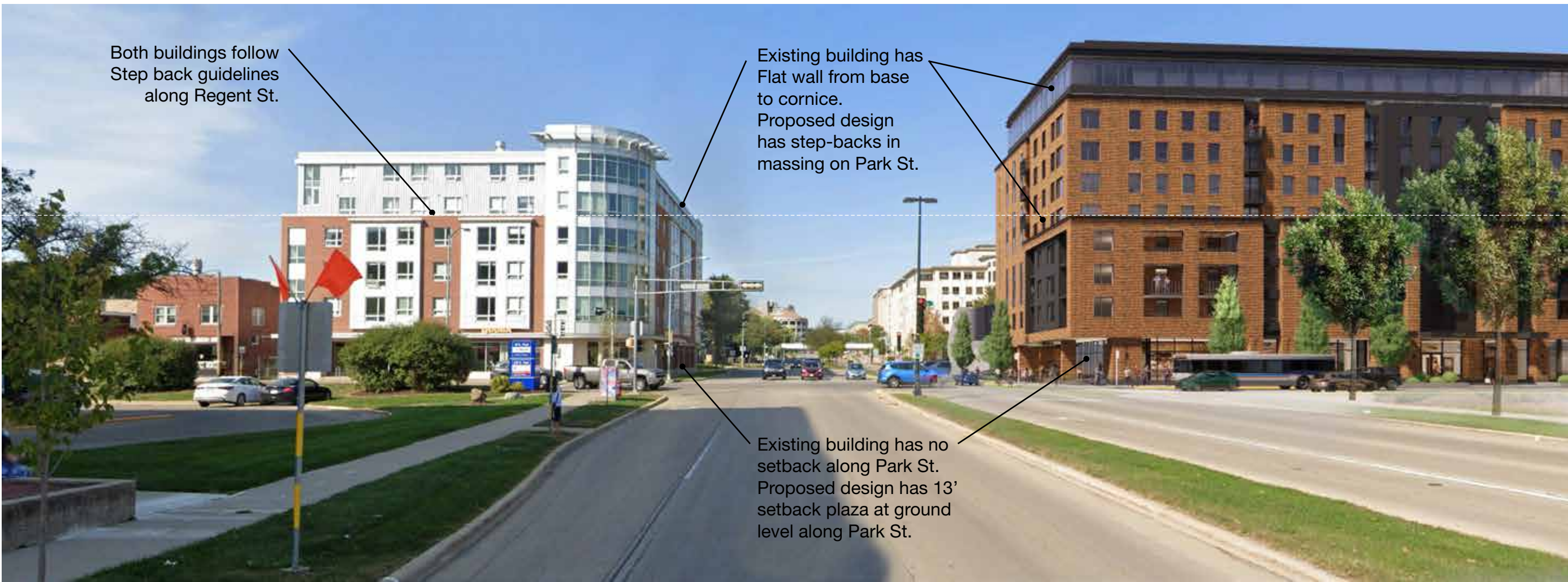


Image from Regent Street - South Campus Neighborhood Plan

Both the proposed project and the existing Park Regent Apartments immediately to the west fall in the Regent Street Business District and the Park Street Corridor. Shown in yellow at left, they are the only two sites that fall in the zone between Regent Street and College Court and are subject to the same recommendations of the Regent Street – South Campus Neighborhood Plan.

The existing building complies with the Regent Street Business District guidelines along its south façade, as does the proposed design. The neighboring building is built to the property line and does not include a setback on Park Street, utilizing a flat wall from sidewalk to parapet with a modest signage canopy. In order to respond to the guidelines of the Plan to create consistency of street frontage at this node, the proposed design seeks to meet those same standards. The proposed design further responds to the intent of the Plan to create a pedestrian-scaled experience at grade, setting the ground floor back 13' from the property line to provide a rain-and-sun-protected public plaza and widened pedestrian zone. The design also incorporates two significant setbacks at levels 5 and 9 to create an articulated façade that better reflects the suggested design principles for this node set forth in the Plan. While the Plan would allow for a flat, uninterrupted façade at Park Street, the project is designed to provide more interest and create a pedestrian-focused experience consistent with the Plan.

In conclusion, the proposed design is intended to recognize the gateway created at Park and Regent by providing an elevated design along the Park Street façade. The design seeks consistency with its context and the Plan by adhering to the same requirements as its most directly comparable neighbor, and does more than the minimum suggested by the Plan on its West and East facades.

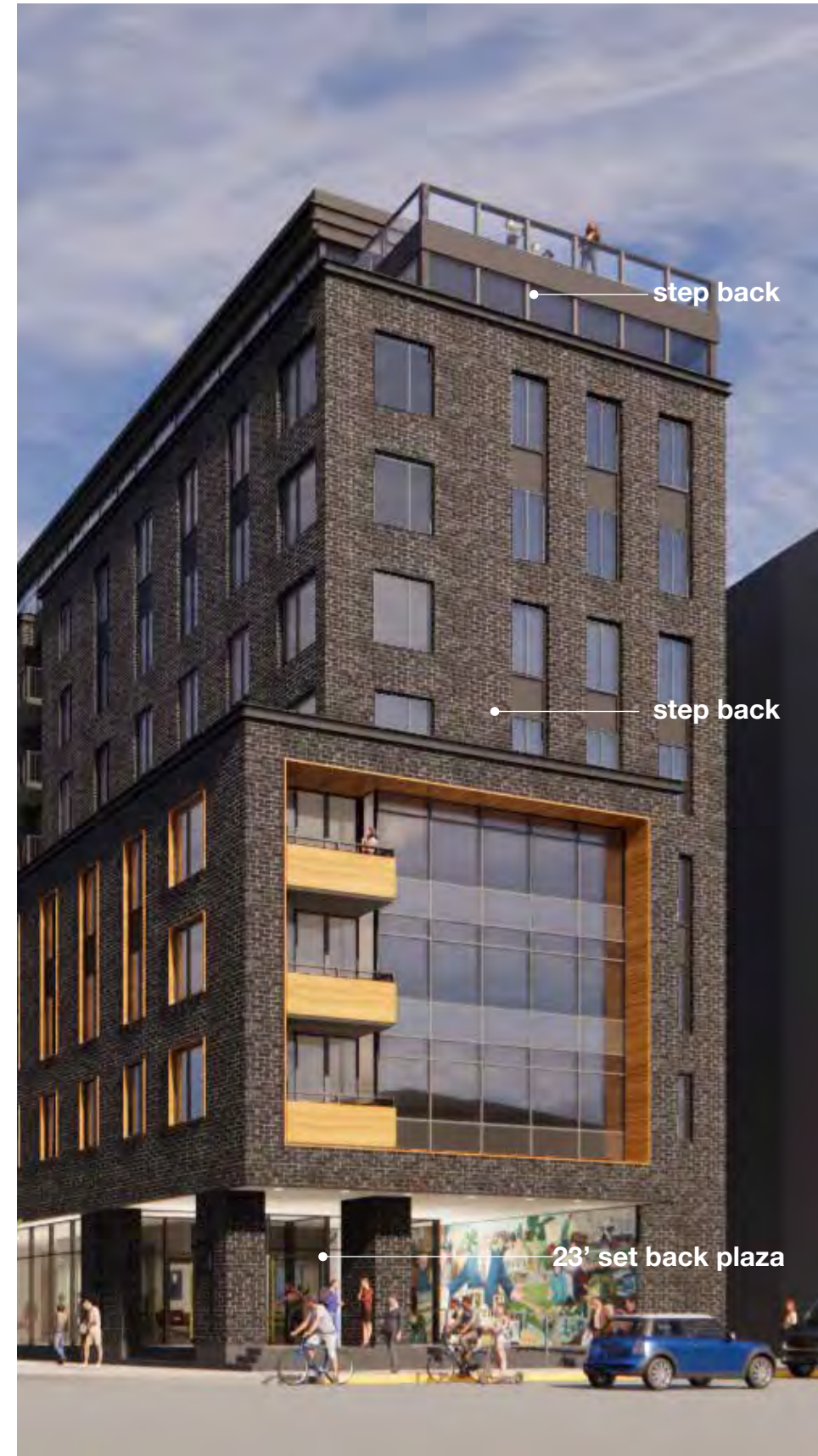


Park St. Facade

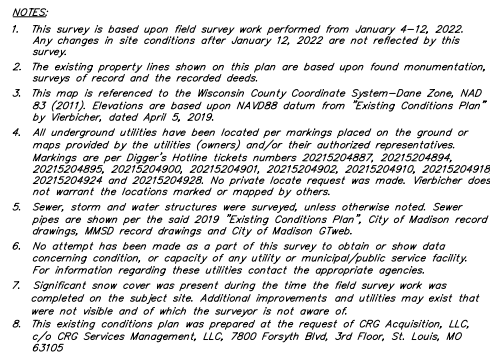
The underlying zoning and Regent Street – South Campus Neighborhood Plan would allow for a flat, full height wall at either end of the building. The project team has opted to incorporate additional setbacks and articulation to support the pedestrian experience and ensure exceptional design and architecture of the building. Specifically, the proposed design incorporates setbacks and vertical breaks in the massing in order to better respond to the context and create a nuanced, pedestrian-scaled street character as intended in the Plan, including the following amenities and features:

- Street Activation: retail and amenity spaces activate the entire street frontage
- Multiple entrances are provided to enhance the pedestrian zone per the Plan
- Dominant corner entrances and plazas anchor the corners per the Plan
- The first-floor glazing exceeds 60% of wall surface as outlined in the Plan

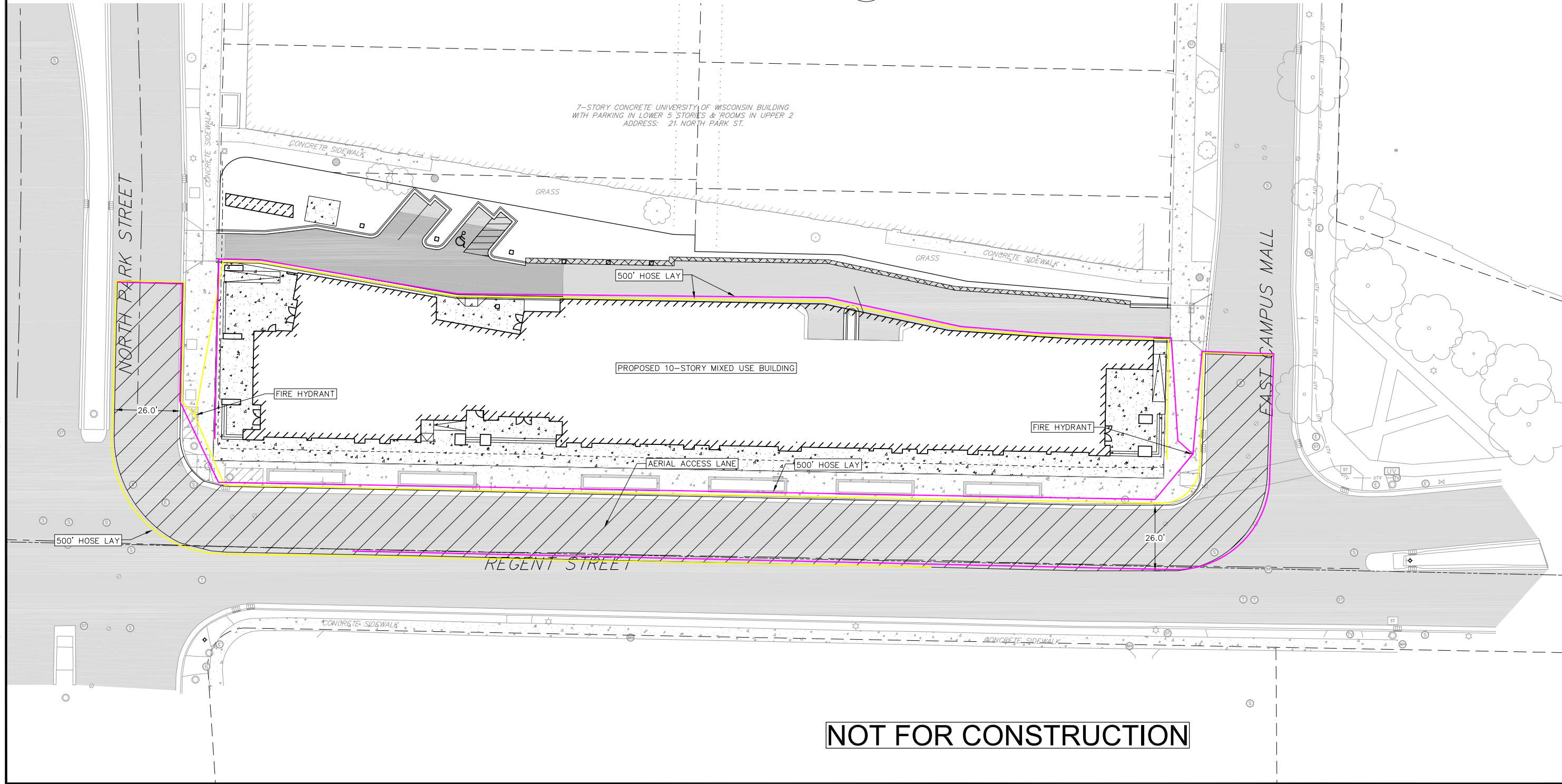
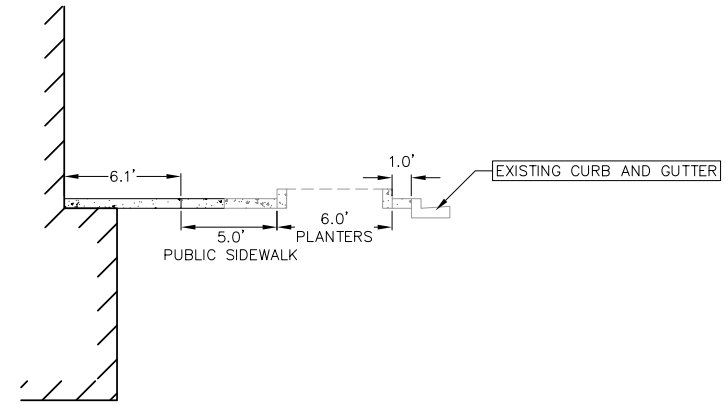
Plazas at each end of the building occur under shelter from rain/snow and excessive sun. These outdoor spaces are intended to widen the public pedestrian zone and support the intent of the Plan by setting back the faces of each end of the building at the pedestrian level. This enhances the pedestrian experience and establishes these intersections as key gateways whether coming from Park Street or East Campus Mall.



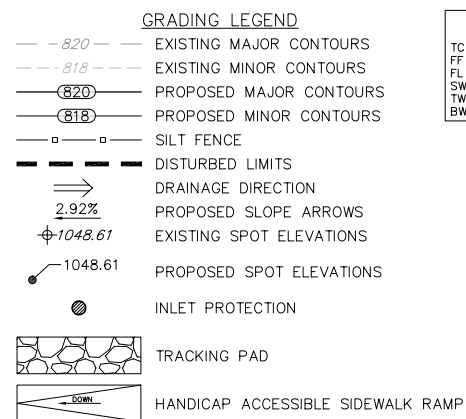
East Campus Mall Facade



— UTV ——— UTV ———	EXISTING UNDERGROUND CABLE TV
— FO ——— FO ———	EXISTING FIBER OPTIC LINE
— UT ——— UT ———	EXISTING UNDERGROUND TELEPHONE
— O ——— O ——— O ———	EXISTING CHAIN LINK FENCE
— * ——— * ———	EXISTING IRON FENCE
— □ ——— □ ———	EXISTING WOOD FENCE
— G ——— G ———	EXISTING GAS LINE
— UE ——— UE ———	EXISTING UNDERGROUND ELECTRIC LINE
— OHE ——— OHE ———	EXISTING OVERHEAD ELECTRIC LINE
— SAN ——— SAN ———	EXISTING SANITARY SEWER LINE (SIZE NOTED)
— ST ——— ST ———	EXISTING STORM SEWER LINE (SIZE NOTED)
— WM ——— WM ———	EXISTING WATER MAIN (SIZE NOTED)
— 850 ———	EXISTING MAJOR CONTOUR
— 851 ———	EXISTING MINOR CONTOUR



NOT FOR CONSTRUCTION

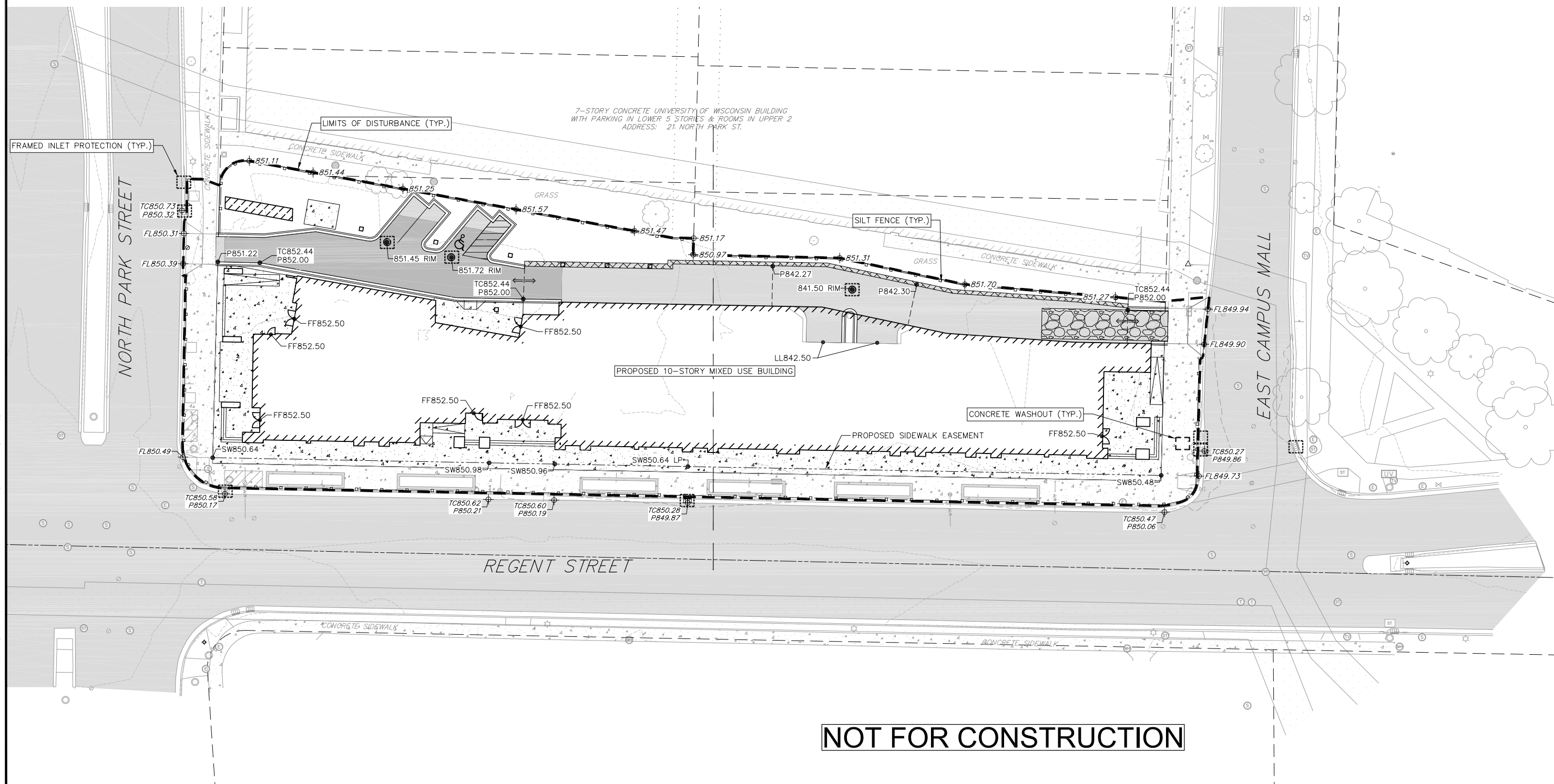
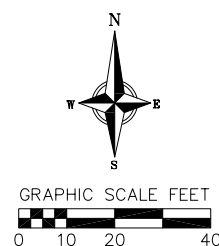


ABBREVIATIONS

TC - TOP OF CURB
FF - FINISHED FLOOR
FL - FLOW LINE
SW - TOP OF WALK
TW - TOP OF WALL
BW - BOTTOM OF WALL

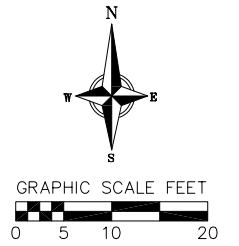
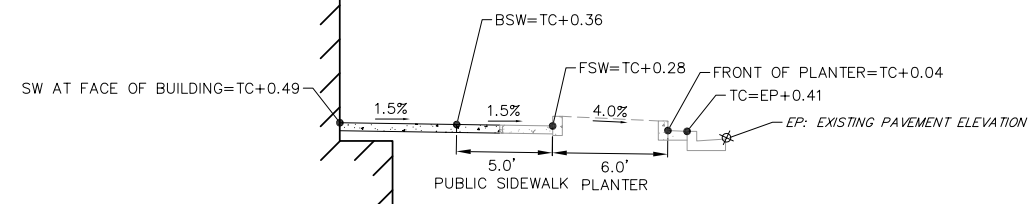
GRADING NOTES:

1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
2. ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
3. CROSS SLOPE OF SIDEWALKS SHALL BE 1.5% UNLESS OTHERWISE NOTED.
4. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
5. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
6. ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2.0% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
7. NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
8. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.



NOT FOR CONSTRUCTION

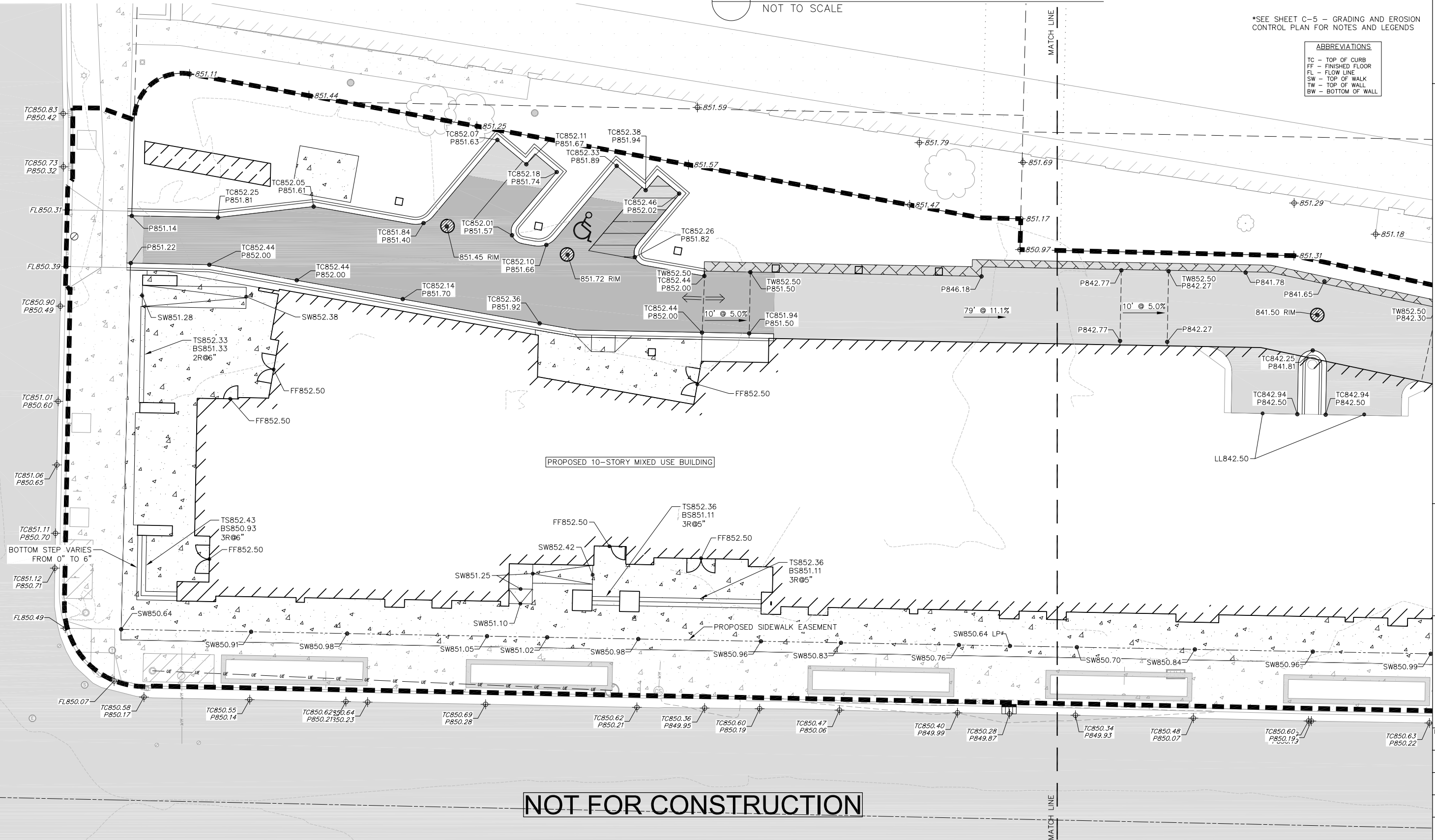
C-5	PROJECT NO.	200332				
	CHECKED	JUL				
	DRAFTER	ZDRE				
	DATE	07/01/2022				
	REVISIONS		REVISIONS			Grading and Erosion Control Plan Park & Regent Apartments City of Madison Dane County, Wisconsin
	NO.	DATE	REMARKS	NO.	DATE	



*SEE SHEET C-5 - GRADING AND EROSION
CONTROL PLAN FOR NOTES AND LEGENDS

<u>ABBREVIATIONS</u>	
TC	TOP OF CURB
FF	FINISHED FLOOR
FL	FLOW LINE
SW	TOP OF WALK
TW	TOP OF WALL
BW	BOTTOM OF WALL

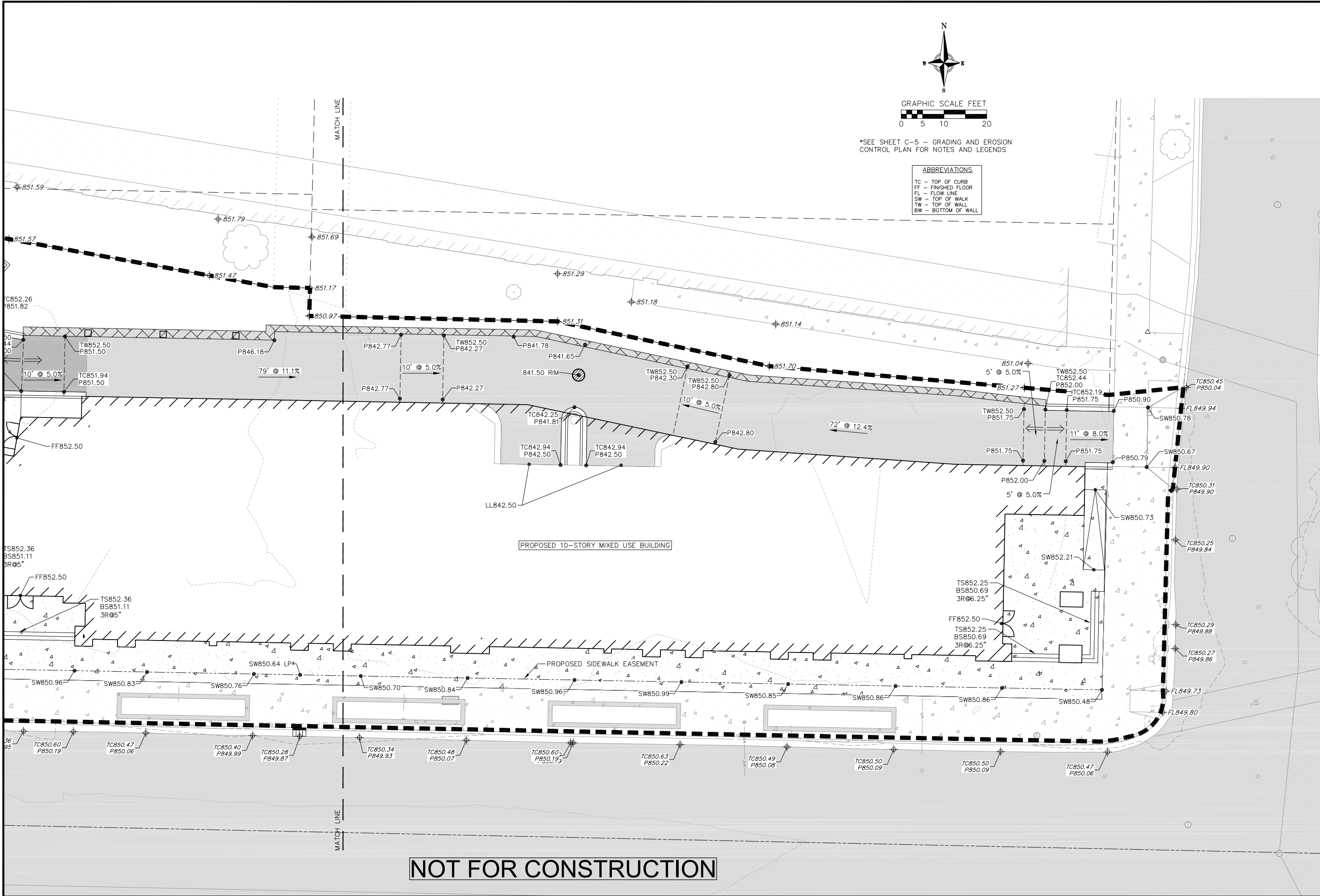
1 REGENT STREET SECTION
NOT TO SCALE




NOT FOR CONSTRUCTION

DATE		07/01/2022	
DRAFTER		ZDRE	
CHECKED		JUIL	
PROJECT NO. 200332			

28 Jun 2022 - 4:39p M:\CRG\200332_Regent St. Apartments\CADD\200332 - Grading and EC.dwg by: jgl © Vierbicher Associates, Inc.





vierbicher
planners | engineers | advisors
Phone: (800) 261-3898

Detailed Grading Plan
Park & Regent Apartments
City of Madison
Dane County, Wisconsin

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

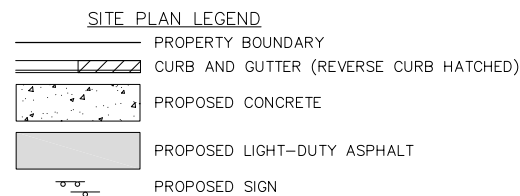
DATE
07/01/2022

DRAFTER
ZDRE

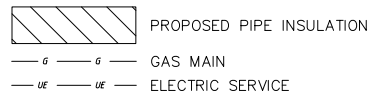
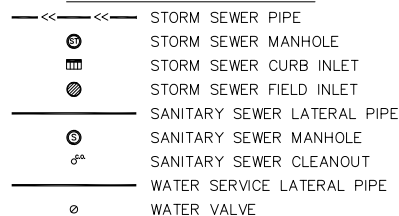
CHECKED
JUL

PROJECT NO.
200332

C-7



PROPOSED UTILITY LEGEND



ABBREVIATIONS

TC - TOP OF CURB
FF - FINISHED FLOOR
FL - FLOW LINE
SW - TOP OF WALK
TW - TOP OF WALL
BW - BOTTOM OF WALL

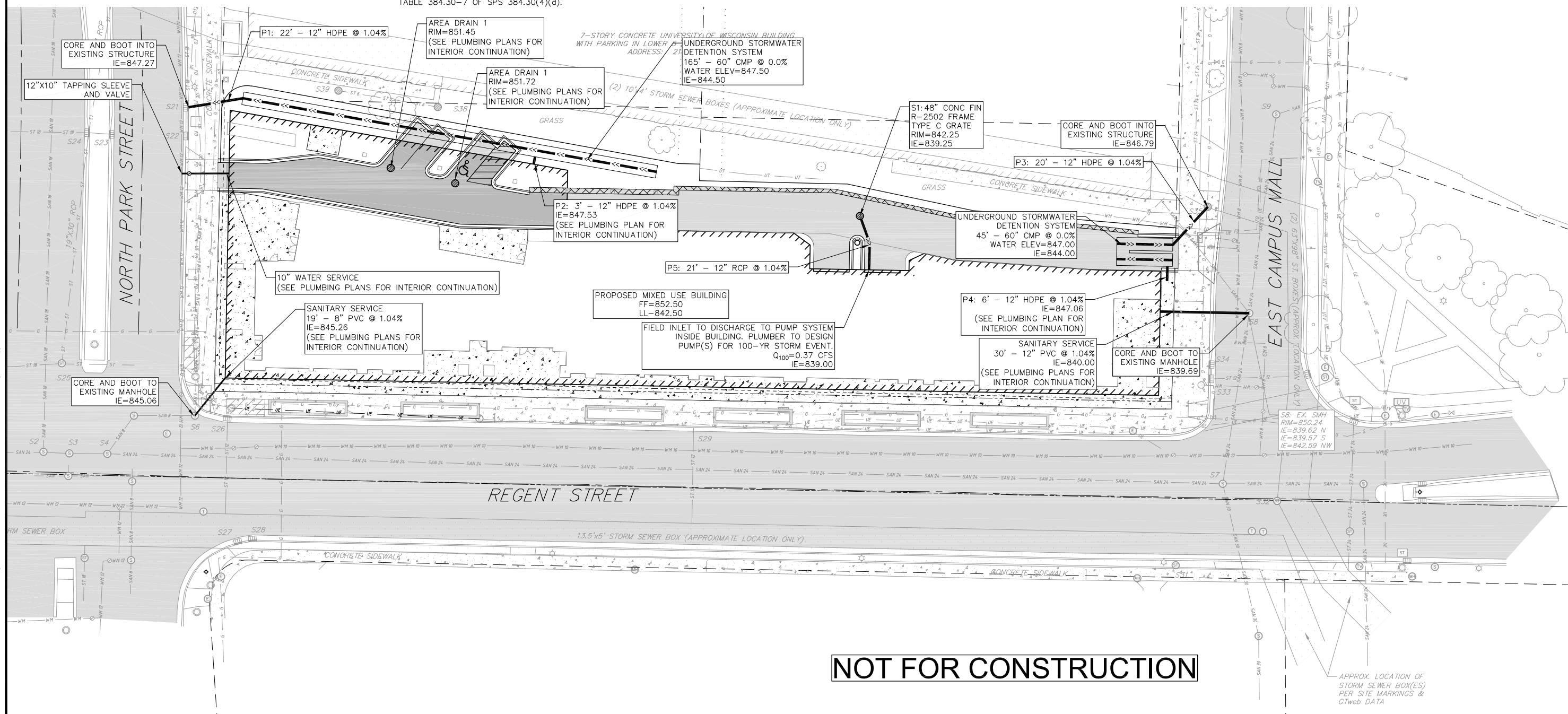
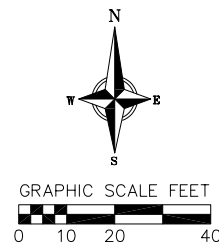
ABBREVIATIONS

STMH - STORM MANHOLE
FI - FIELD INLET
CI - CURB INLET
CB - CATCH BASIN
EW - ENDWALL
SMH - SANITARY MANHOLE

UTILITY NOTES:

1. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
3. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
4. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
6. FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
7. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
8. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
9. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
10. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
11. UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
12. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).


13. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 – SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30–3 OF SPS 384.30(2)(c).
14. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).
15. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b).
16. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
17. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
18. CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES
19. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
20. SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 26. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 35.
21. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
22. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
23. INSTALL 1 SHEET OF 4'x8'x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.





NOT FOR CONSTRUCTION

	REVISIONS		REVISIONS	
	NO.	DATE	NO.	DATE
DATE	07/01/2022			
DRAFTER	ZDRE			
CHECKED	JULI			
PROJECT NO.	200332			
C-8				

PLANT SCHEDULE

<u>UNDERSTORY TREES</u>	<u>BOTANICAL / COMMON NAME</u>	<u>ROOT COND.</u>	<u>SIZE</u>	<u>QTY</u>	
AG	Amelanchier x grandiflora 'Robin Hill' / Robin Hill Apple Serviceberry	B & B	1.5" Cal	1	
CA	Cornus alternifolia / Pagoda Dogwood	B & B	6" ht.	2	
MC	Malus 'Cinzam' / Cinderella Dwarf Crabapple	Cont.	1.5" Cal	4	
<u>EVERGREEN SHRUBS</u>	<u>BOTANICAL / COMMON NAME</u>	<u>ROOT COND.</u>	<u>SIZE</u>	<u>QTY</u>	
Jb	Juniperus sabina 'Blue Forest' / Blue Forest Juniper	Cont.	5 Gal.	18	
Te	Taxus x media 'Everlow' / Everlow Anglo-Japanese Yew	Cont.	5 Gal.	11	
<u>PERENNIALS</u>	<u>BOTANICAL / COMMON NAME</u>	<u>ROOT COND.</u>	<u>SIZE</u>	<u>QTY</u>	
at	Allium tanguticum 'Noneuq' TM / Balloon Bouquet Globe Lily	Cont.	1 Gal.	36	
au	Arctostaphylos uva-ursi / Kinnikinnick	Cont.	1 Gal.	42	
ci	Callirhoe involucrata / Purple Poppymallow	Cont.	1 Gal.	28	
cb	Cimicifuga racemosa 'Brunette' / Snakeroot	Cont.	1 Gal.	16	
eb	Eryngium planum 'Blue Glitter' / Blue Glitter Sea Holly	Cont.	1 Gal.	36	
ga	Geranium sanguineum 'Alpenglow' / Bloodred Geranium	Cont.	1 Gal.	51	
hao	Hosta x 'Awakening Angel' / Awakening Angel Hosta	Cont.	1 Gal.	19	
hf	Hosta x 'Fire Island' / Fire Island Hosta	Cont.	1 Gal.	16	
ss	Schizachyrium scoparium / Little Bluestem	Cont.	1 Gal.	42	
sh	Sporobolus heterolepis 'Tara' / Tara Dwarf Prairie Dropseed	Cont.	1 Gal.	116	
<u>GROUND COVERS</u>	<u>BOTANICAL / COMMON NAME</u>	<u>ROOT COND.</u>	<u>SIZE</u>	<u>SPACING</u>	<u>QTY</u>
	Vinca minor / Common Periwinkle	flat	2" x 2" x 4" plug	12" o.c.	1,001

STREET TREE & SEEDING SCHEDULE*

	COLUMNAR DECIDUOUS TREE	7
	SHADY PLACE TURFGRASS	1,096 sf

* STREET TREE LOCATIONS, SPECIES AND QUANTITIES TO BE DETERMINED IN COORDINATION WITH CITY FORESTER

PLANT MATERIAL NOTES:

- ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
- ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
- CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
- ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.

LANDSCAPE MATERIAL NOTES:

- CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION." PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEEDED/SODDED.
- LANDSCAPE BEDS TO BE MULCHED WITH UNDYED SHREDDED HARDWOOD BARK MULCH TO 3" DEPTH MIN. AND EDGED WITH COMMERCIAL GRADE ALUMINUM LANDSCAPE EDGING, PERMALOC CLEANLINE 3/8"x4" OR EQUAL, COLOR BLACK ANODIZED.

SEEDING NOTES:

- ALL DISTURBED AREAS, UNLESS OTHERWISE NOTED, TO BE SEEDED WITH 'MADISON PARKS' MIX BY 'LACROSSE SEED COMPANY' OR EQUIVALENT, PER MANUFACTURER'S SPECIFIED APPLICATION RATES. ALL SEEDED AREAS ARE TO BE WATERED DAILY TO MAINTAIN ADEQUATE SOIL MOISTURE FOR PROPER GERMINATION. AFTER VIGOROUS GROWTH IS ESTABLISHED, APPLY 1/2" WATER TWICE WEEKLY UNTIL FINAL ACCEPTANCE.

City of Madison Landscape Worksheet						
Address:	NE Corner Park & Regent Sts	Date:	07.01.2022			
Total Square Footage of Developed Area:	35,023	-	15,965	=	19058	sf
	(Site Area)		(Building Footprint at Grade)			
Total Landscape Points Required (<5 ac):	19,058	/ 100 =	191	x 1 =	191	
Landscape Points Required >5 ac:		/ 100 =	0	x 1 =	-	
			Credits/ Existing Landscaping		New/ Proposed Landscaping	
Plant Type/ Element	Min. Size at Installation	Points	Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2.5" cal	35		0		0
Tall Evergreen Tree	5-6 feet tall	35		0		0
Ornamental tree	1.5" cal	15		0	3	45
Upright evergreen shrub	3-4 feet tall	10		0		0
Shrub, deciduous	#3 gallon	3		0		0
Shrub, evergreen	#3 gallon	4		0	11	44
Ornamental grasses/perennials	#1 gallon	2		0	52	104
Ornamental/decorative fencing or wall	n/a	4 per 10 LF		0		0
Existing significant specimen tree	Min. Size 2.5" cal.	14 per caliper inch.		0		0
Landscape Furniture for public seating and/or transit connections		5 points per "seat"		0		0
Sub Totals				0		193

GRAPHIC SCALE FEET

0 8 16 32



SOUTH PARK STREET

SHEET L1.1
SHEET L1.2

REGENT STREET

NOT FOR CONSTRUCTION



vierbicher
planners | engineers | advisors

Phone: (800) 261-3898

Landscape Plan

Park & Regent Apartments
City of Madison
Dane County, Wisconsin

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE	07/01/2022
DRAFTER	SVIN
CHECKED	JUL
PROJECT NO.	200332

L1


PLANT SCHEDULE

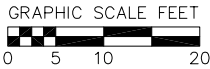
UNDERSTORY TREES	BOTANICAL / COMMON NAME
AG	Amelanchier x grandiflora 'Robin Hill' / Robin Hill Apple Serviceberry
CA	Cornus alternifolia / Pagoda Dogwood
MC	Malus 'Cinzam' / Cinderella Dwarf Crabapple

PLANT SCHEDULE

EVERGREEN SHRUBS	BOTANICAL / COMMON NAME
Jb	Juniperus sabina 'Blue Forest' / Blue Forest Juniper
Te	Taxus x media 'Everlow' / Everlow Anglo-Japanese Yew
PERENNIALS	BOTANICAL / COMMON NAME
at	Allium tanguticum 'Noneug' TM / Balloon Bouquet Globe Lily
au	Arctostaphylos uva-ursi / Kinnikinnick
ci	Callirhoe involucrata / Purple Poppymallow
cb	Cimicifuga racemosa 'Brunette' / Snakeroot
eb	Eryngium planum 'Blue Glitter' / Blue Glitter Sea Holly
ga	Geranium sanguineum 'Alpenglow' / Bloodred Geranium
haa	Hosta x 'Awakening Angel' / Awakening Angel Hosta
hf	Hosta x 'Fire Island' / Fire Island Hosta
ss	Schizachyrium scoparium / Little Bluestem
sh	Sporobolus heterolepis 'Tara' / Tara Dwarf Prairie Dropseed

PLANT SCHEDULE

GROUND COVERS	BOTANICAL / COMMON NAME
	Vinca minor / Common Periwinkle



vierbicher
planners | engineers | advisors

Phone: (800) 261-3898

Landscape West
Park & Regent Apartments
City of Madison
Dane County, Wisconsin

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE	07/01/2022
DRAFTER	SVIN
CHECKED	JUL
PROJECT NO.	200332

L2

©Vierbicher Associates, Inc.

01 Jul 2022 - 10:25a C:\Users\svin\AppData\Local\Temp\AcPublish_7176\200332 - Landscape.dwg by: svin

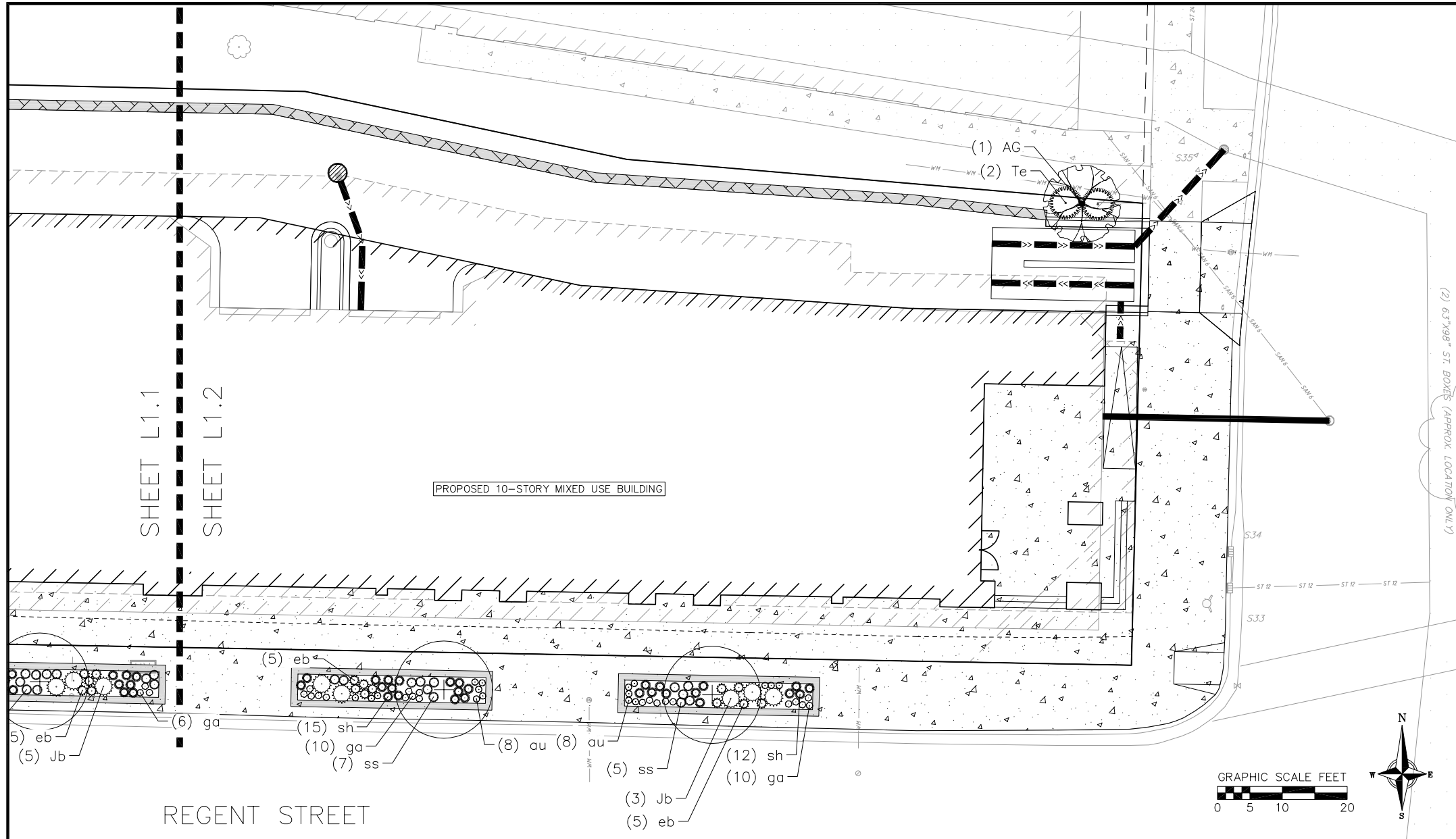
SOUTH PARK STREET

SHEET L1.1

SHEET L1.2


REGENT STREET

NOT FOR CONSTRUCTION

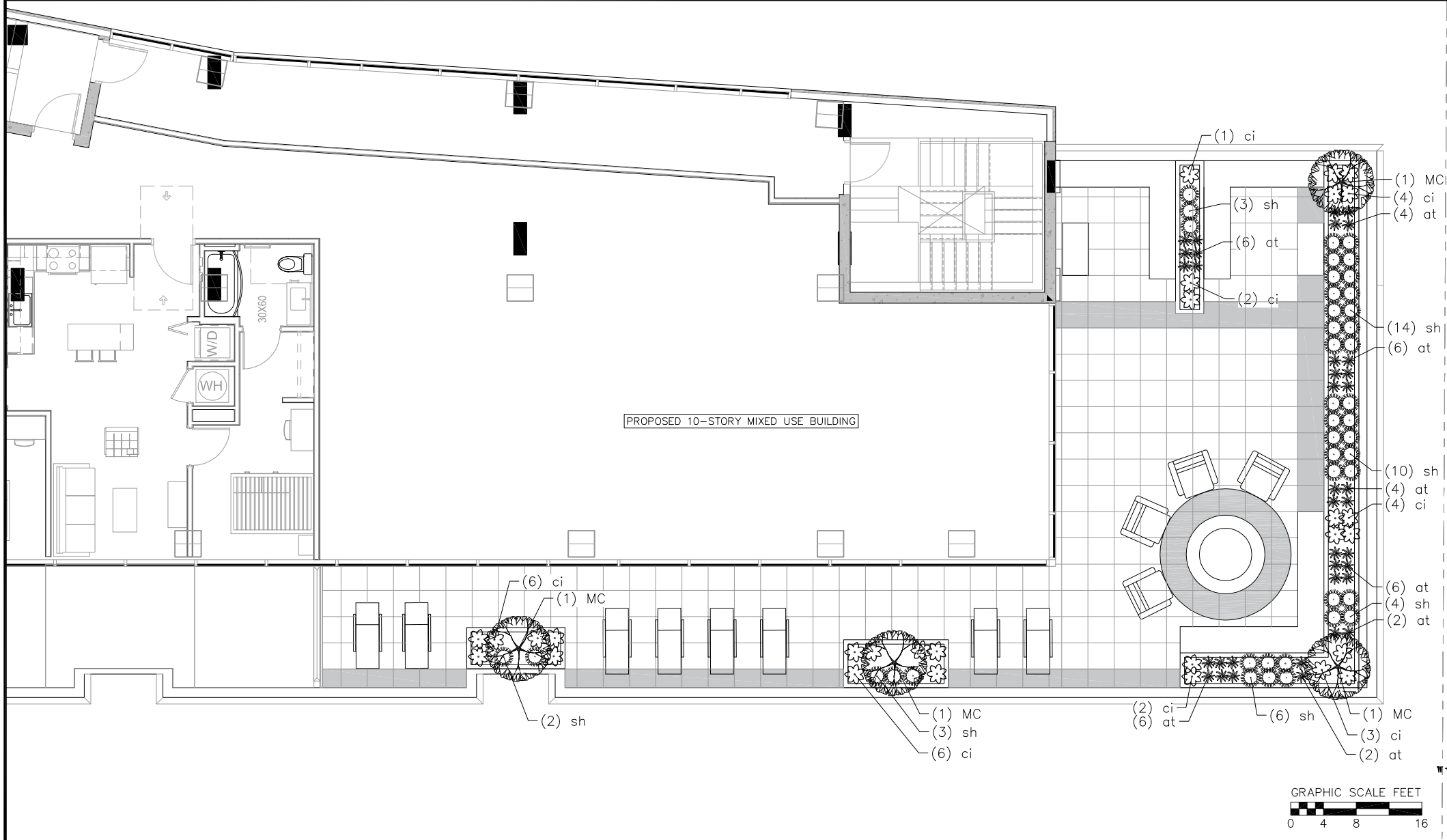


PLANT SCHEDULE

<u>UNDERSTORY TREES</u>		<u>BOTANICAL / COMMON NAME</u>
AG		Amelanchier x grandiflora 'Robin Hill' / Robin Hill Apple Serviceberry
CA		Cornus alternifolia / Pagoda Dogwood
MC		Malus 'Cinzam' / Cinderella Dwarf Crabapple
<u>EVERGREEN SHRUBS</u>		<u>BOTANICAL / COMMON NAME</u>
Jb		Juniperus sabinia 'Blue Forest' / Blue Forest Juniper
Te		Taxus x media 'Everlow' / Everlow Anglo-Japanese Yew
<u>PERENNIALS</u>		<u>BOTANICAL / COMMON NAME</u>
at		Allium tanguticum 'Noneus' TM / Balloon Bouquet Globe Lily
au		Arctostaphylos uva-ursi / Kinnikinnick
ci		Callirhoe involucrata / Purple Poppymallow
cb		Cimicifuga racemosa 'Brunette' / Snakeroot
eb		Eryngium planum 'Blue Glitter' / Blue Glitter Sea Holly
ga		Geranium sanguineum 'Alpenglow' / Bloodred Geranium
haa		Hosta x 'Awakening Angel' / Awakening Angel Hosta
hf		Hosta x 'Fire Island' / Fire Island Hosta
ss		Schizachyrium scoparium / Little Bluestem
sh		Sporobolus heterolepis 'Tara' / Tara Dwarf Prairie Dropseed

<u>GROUND COVERS</u>	<u>BOTANICAL / COMMON NAME</u>
	Vinca minor / Common Periwinkle

NOT FOR CONSTRUCTION



PLANT SCHEDULE ROOF DECK

UNDERSTORY TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
MC	Malus 'Cinzam' / Cinderella Dwarf Crabapple	Cont.	1.5" Cal	4
PERENNIALS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
at	Allium tanguticum 'Noneuq' TM / Balloon Bouquet Globe Lily	Cont.	1 Gal.	36
ci	Callirhoe involucrata / Purple Poppymallow	Cont.	1 Gal.	28
sh	Sporobolus heterolepis 'Tara' / Tara Dwarf Prairie Dropseed	Cont.	1 Gal.	42

NOT FOR CONSTRUCTION



vierbicher
planners | engineers | advisors

Phone: (800) 261-3898

9th Floor Roof Deck
Park & Regent Apartments
City of Madison
Dane County, Wisconsin

REVISIONS	NO.	DATE	REMARKS
DATE			
07/01/2022			
DRAFTER			
SVIN			
CHECKED			
JUL			
PROJECT NO.			
200332			
L4			