

# CRG | Madison Park + Regent



## Urban Design Commission Submission for Approval

Friday, July 1, 2022

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# Letter of Intent

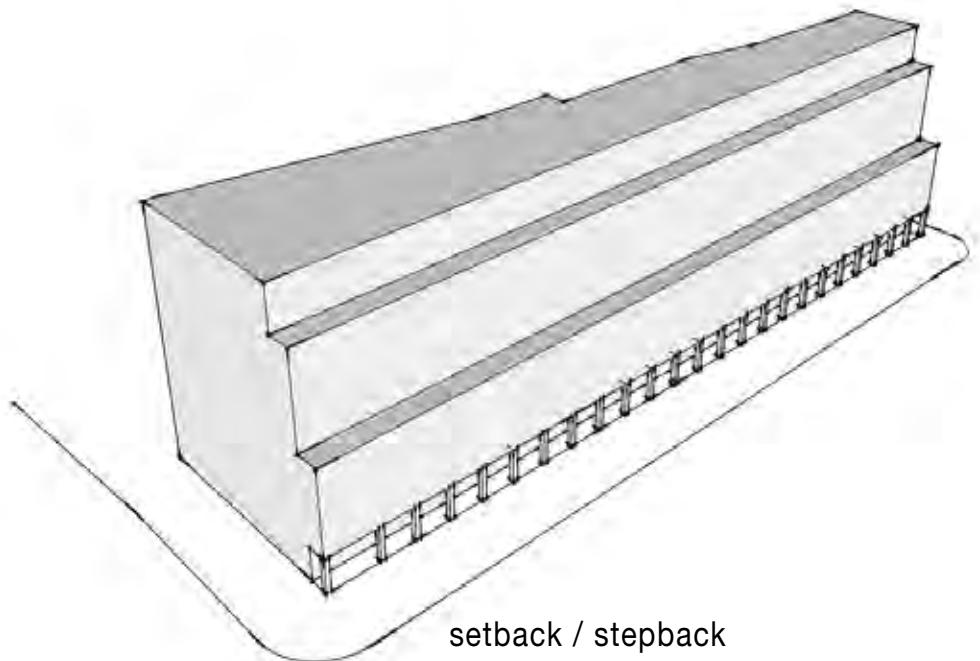
To the Madison Urban Design Commission,

Thank you for the opportunity to review the proposed project at Park & Regent Street.

The project is located at the corner of Park and Regent Streets. In the *Regent Street - South Campus Neighborhood Plan* this is the East end of the *Regent Street Business District*. The proposed building is designed specifically to comply with the required design criteria of the district in several ways. The project meets or exceeds all required site setback rules. At the ground level, the storefront is setback an additional 8 feet to provide for an expanded pedestrian zone along regent street and set back even further to provide outdoor plaza space at the East and West ends. This allows for street-activating functions at the ground level such as retail space for local businesses and widened outdoor space at the main entry along Regent and the second entry on East Campus Mall. An unobstructed 45-degree view chamfer at each street intersection has been provided in order to improve traffic visibility and safety. Additionally, the building steps back 10 feet each at levels 5 and 9 in adherence with the district requirements for buildings taller than 8 stories. The project is being designed to achieve LEED Silver certification, which allows two additional stories totaling 10 stories overall. As part of this effort, green roofs are provided at the roof of each step back at levels 5 and 9. Finally, a new vehicular drive is provided along the north side of the site to access deliveries, parking, and service entrances, with special attention paid to lighting for convenience and safety of all residents and visitors.

After the initial informational presentation to the Urban Design Commission on March 30th, the design team took into consideration many of the comments and suggestions offered by the commission members. Several specific ways in which the design was updated based on the commission's input are listed below.

1. To provide for the best privacy possible between the northern units and the adjacent office building, bedroom windows were narrowed and pushed to the foot-wall end of each bedroom. This allows for bedrooms to have ample daylight but prevents any direct view from the offices to any bed, allowing privacy for residents and office occupants. Living rooms have wider windows but benefit from the fact that they are occupied most often during after-office hours. (Illustrations shown on pages UD-15 and UD-16).
2. Detail has been added to the brick coursing at piers around the building base. In these locations, areas of brick have been indented to better accentuate the depth of the material and to further break down the façade to the human scale. (Illustration shown on page UD-11).
3. Trees have been selected with attention paid to the type and shape of the mature tree. Columnar trees will not interfere with traffic or the building in the future. (A planting plan is included as part of this package and renderings reflect the modified tree spacing and species).
4. The accent material on the west façade has been changed to the same dark metal panel used elsewhere to avoid using too many materials, and to visually tie that area in with other portions of the building.
5. The window pattern on the upper portion of the East façade has been updated to give it a more asymmetrical rhythm and visual interest.



DATE: 07/01/2022
DRAWING TITLE LETTER OF INTENT
DRAWING NO.

A- 2

Job # 20\_005602

## Park & Regent Apartments

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DATE: 07/01/2022

DRAWING TITLE  
SITE MAP

DRAWING NO.

A- 3

Job # 20 005602

## Park & Regent Apartments

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street view along Regent



street view looking southeast



street view looking east



aerial view looking northwest

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DRAWING TITLE  
CONTEXT PHOTOS

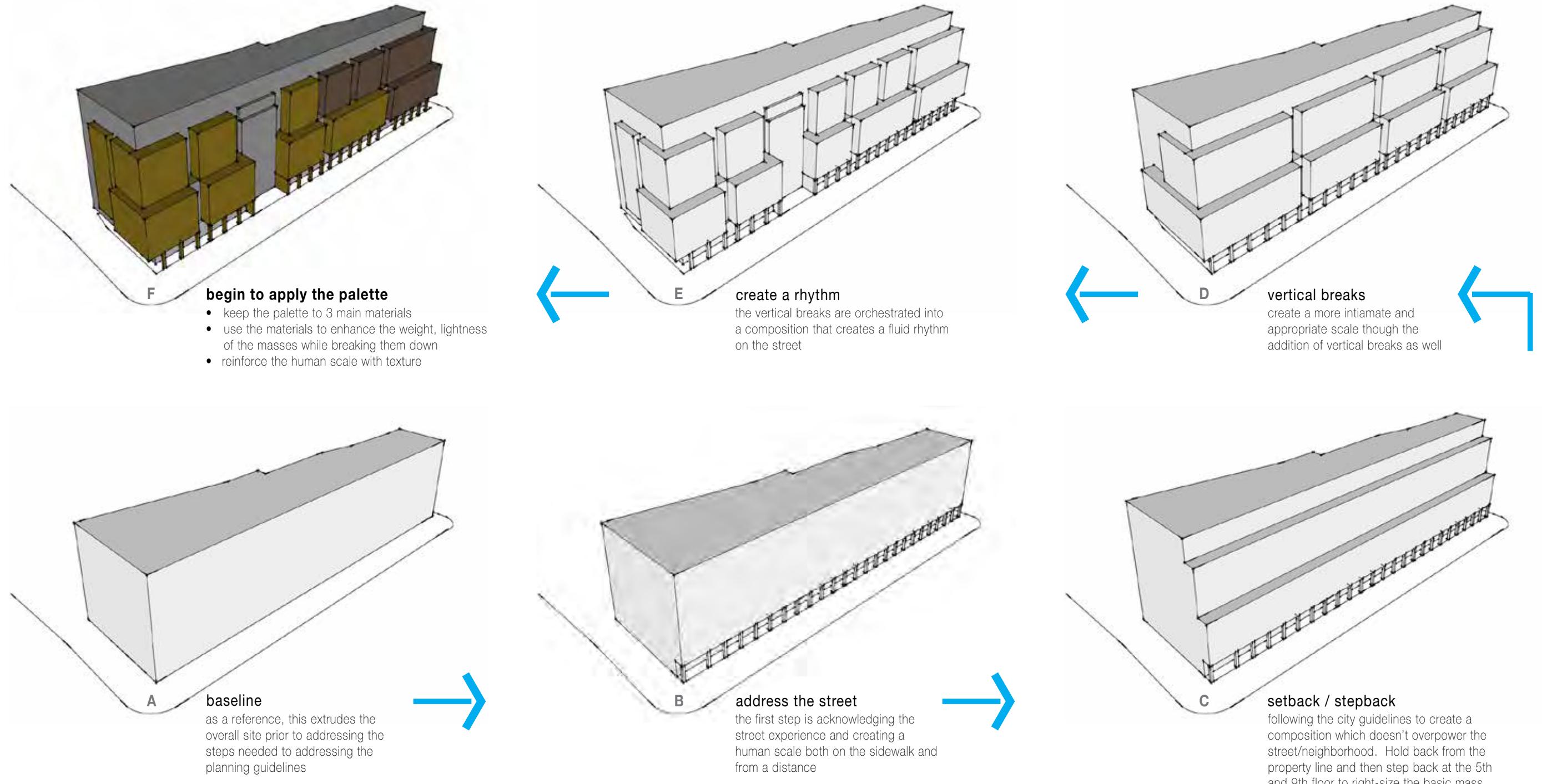
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**A- 4**

Job # 20 005602

## Park & Regent Apartments

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DATE: 07/01/2022

DRAWING TITLE  
MASSING DIAGRAMS

DRAWING NO.

A- 5

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## Park & Regent Apartments

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Recapping the previous page and its diagrams, the proposed design addresses the following:

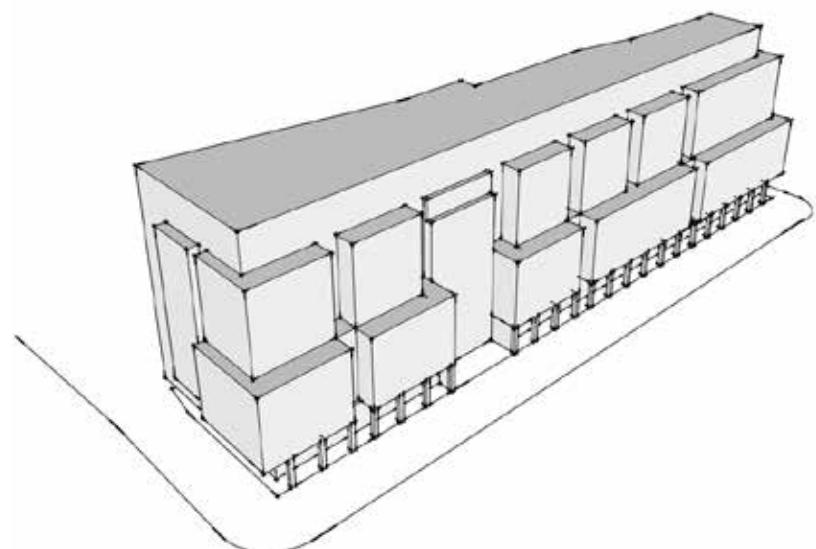
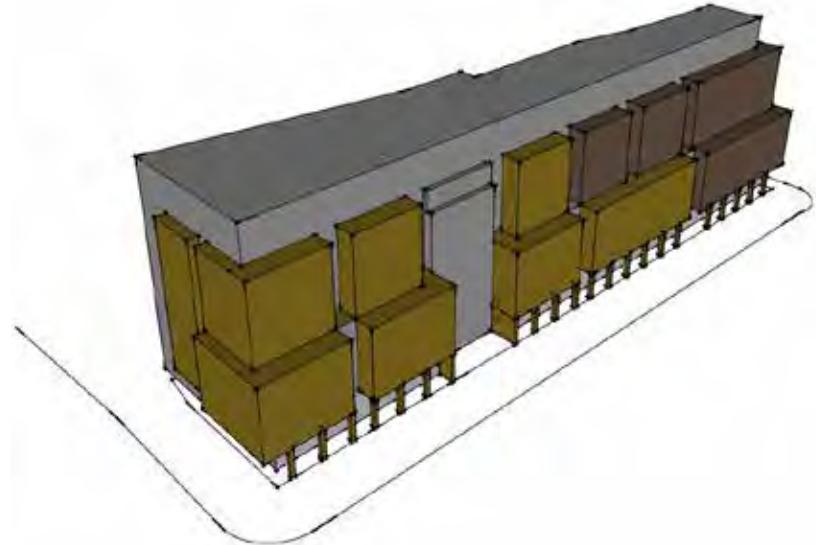
- how the building meets the street in order to create a human-scaled urban experience
- conforming to setback and stepback guidelines for projects of the scale
- providing vertical breaks in the massing to continue to create a scale of building which reinforces the rhythm of the neighborhood
- develop a tight material palette which carries forward the overall approach to a neighborhood scale through color, texture and unit scale/size.

The proposed project establishes a four story base along Park, Regent and E. Campus Dr. clad in a reddish brick. A series of piers and columns at the ground floor establish an anchor for this mass while opening it up substantially with storefront windows to activate the streets with retail spaces and amenities which serve the residents.

Floors 5 through 8 step back from the base and are clad in three different materials which help define the entry along Regent and then create a further punctuation to the building's rhythm from east to west.

Floors 9 and 10 step back from the middle grouping of floors to create an attic quality to the design therein completing the traditional notion of base/middle/top. It will also feel more open and transparent to reinforce the cap.

The material palette changes from darker to lighter in an east west direction to break down the massing and imply a difference in buildings. All of this, along with the window patterns keep the project from feeling overly heavy or massive and instead, provide an appropriately scaled, warm and inviting experience on the street and in the neighborhood.





SOUTH ELEVATION ALONG REGENT STREET SHOWING RESIDENTIAL ENTRY

4/28/2022 2:27:35 PM

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## Park & Regent Apartments

CRG

802-820 Regent St. Madison WI  
Urban Design Commission

Lamar Johnson  
Collaborative

35 EAST WACKER DRIVE, SUITE 1500  
CHICAGO, IL 60601  
Ph 312.265.0747

CRG

DATE: 07/01/2022

DRAWING TITLE  
3D IMAGES

DRAWING NO.

A- 7

Job # 20 005602



VIEW LOOKING NORTHEAST AT CORNER OF PARK & REGENT

4/28/2022 2:35 PM

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## Park & Regent Apartments

CRG

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Urban Design Commission

DATE: 07/01/2022

DRAWING TITLE  
3D IMAGES

DRAWING NO.

A- 8

Job # 20\_005602

Lamar Johnson  
Collaborative

35 EAST MACKER DRIVE, SUITE 1500  
CHICAGO, IL 60601  
Ph: 312.656.0747

CRG



VIEW LOOKING NORTHWEST AT CORNER OF REGENT & CAMPUS MALL

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## Park & Regent Apartments

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DRAWING TITLE  
3D IMAGES

DRAWING NO.

A- 9

Job # 20\_005602

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35 EAST MACKER DRIVE, SUITE 1500  
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VIEW LOOKING NORTHWEST ALONG REGENT

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## Park & Regent Apartments

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Urban Design Commission

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35 EAST MACKER DRIVE, SUITE 1500  
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3D IMAGES

DRAWING NO.

A-10

Job # 20\_005602

## Park & Regent Apartments

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EXISTING SIDEWALK CONDITION ALONG REGENT (APPR. 7' FROM CURB TO BLDG.)



PROPOSED SIDEWALK CONDITION ALONG REGENT (APPR. 15' FROM CURB TO BLDG.)

DATE: 07/01/2022

DRAWING TITLE  
STREET/SIDEWALK

DRAWING NO.

A-11

Job # 20 005602



STREETSCAPE AT CORNER OF REGENT & EAST CAMPUS MALL

## Park & Regent Apartments

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CHICAGO, IL 60601  
Ph 312.656.0747

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DRAWING TITLE  
3D IMAGES

DRAWING NO.

A-12

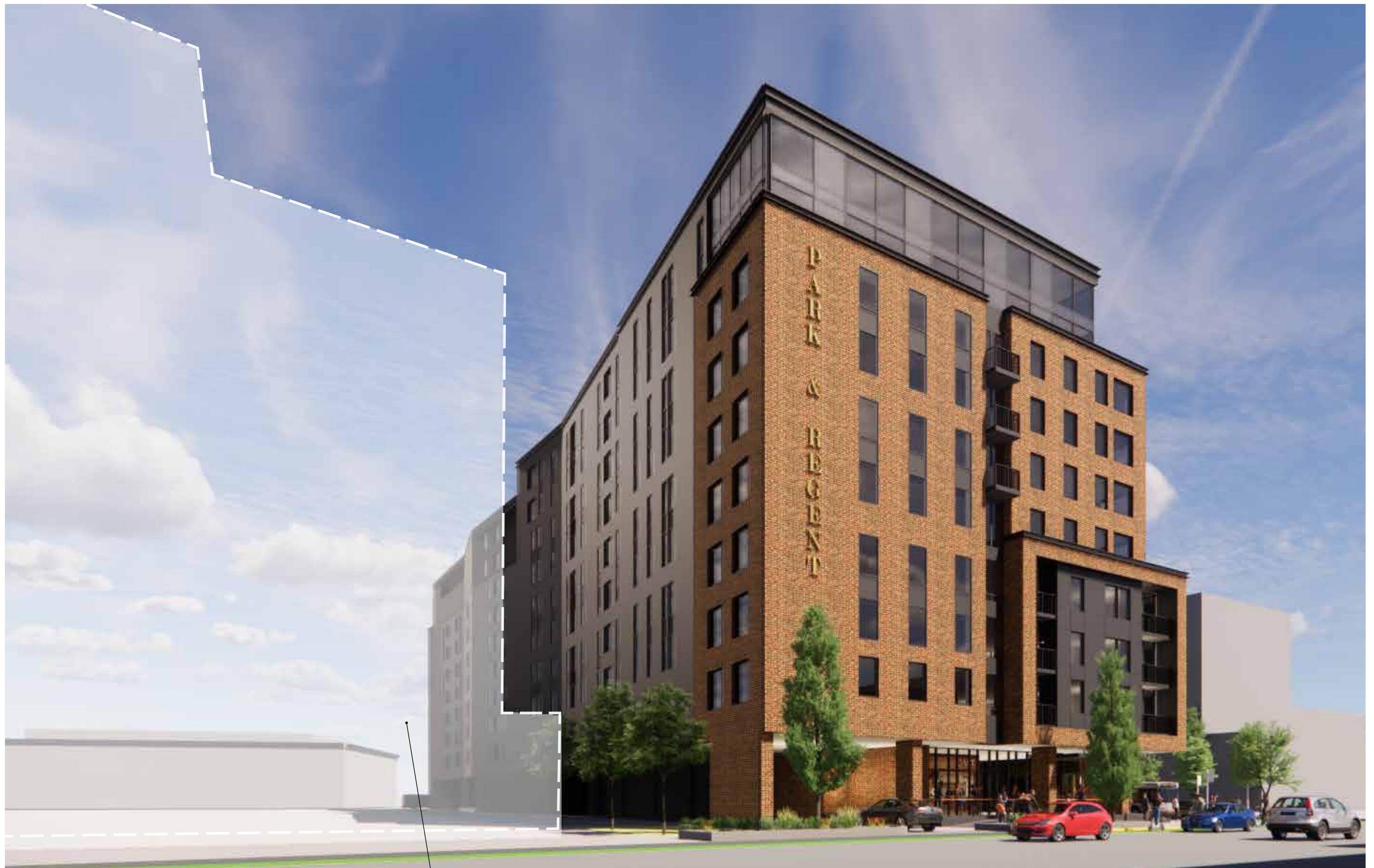
Job # 20\_005602

## Park & Regent Apartments

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802-820 Regent St. Madison WI  
Urban Design Commission



STREETSCAPE AT CORNER OF PARK & REGENT



VIEW LOOKING SOUTHEAST FROM PARK

21 NORTH PARK ST

4/28/2022 2:27:35 PM

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## Park & Regent Apartments

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802-820 Regent St, Madison WI  
Urban Design Commission

Lamar Johnson  
Collaborative

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CHICAGO, IL 60601  
Ph: 312.656.0747

DATE: 07/01/2022

DRAWING TITLE  
3D IMAGES

DRAWING NO.

A-14

Job # 20\_005602

# Park & Regent Apartments

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NORTH FAÇADE SHOWING ZONES OF NEIGHBORING OFFICE BUILDING

DATE: 07/01/2022

DRAWING TITLE  
NORTH ELEVATION  
PRIVACY  
DRAWING NO.

A-15

Job # 20 005602

## Park & Regent Apartments

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Urban Design Commission



DATE: 07/01/2022

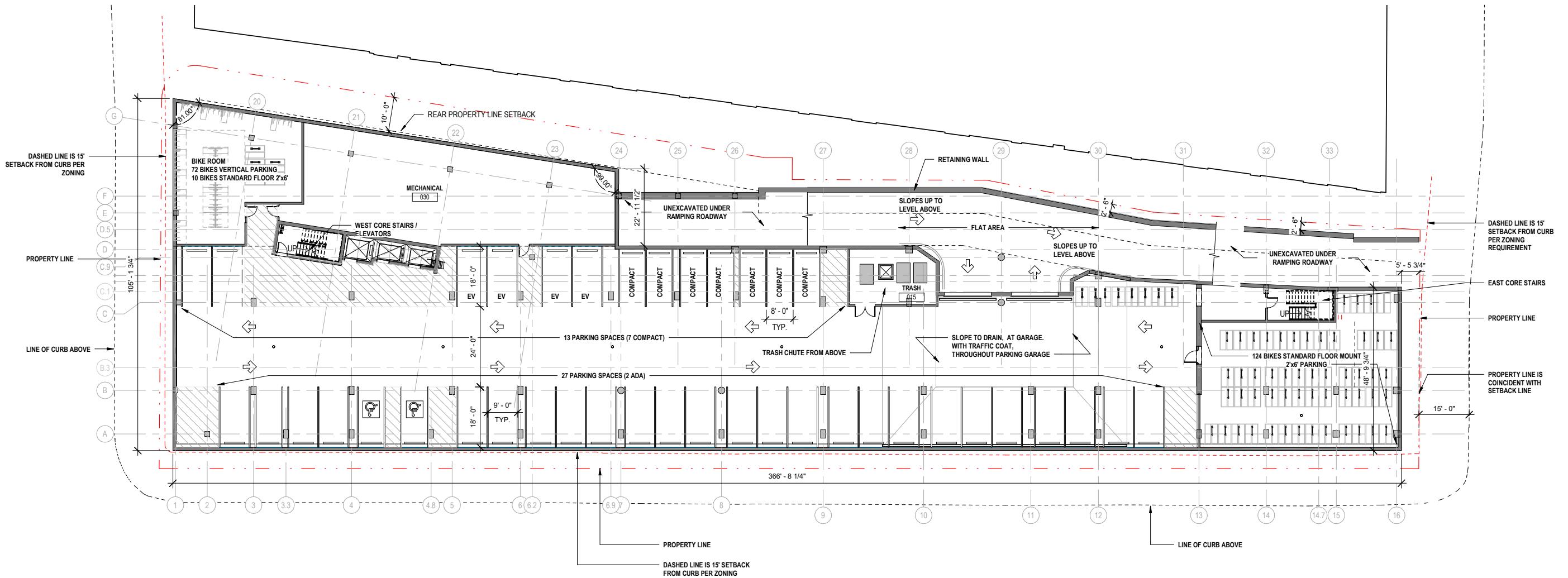
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NORTH WINDOWS  
PRIVACY  
DRAWING NO.

A-16

Job # 20 005602

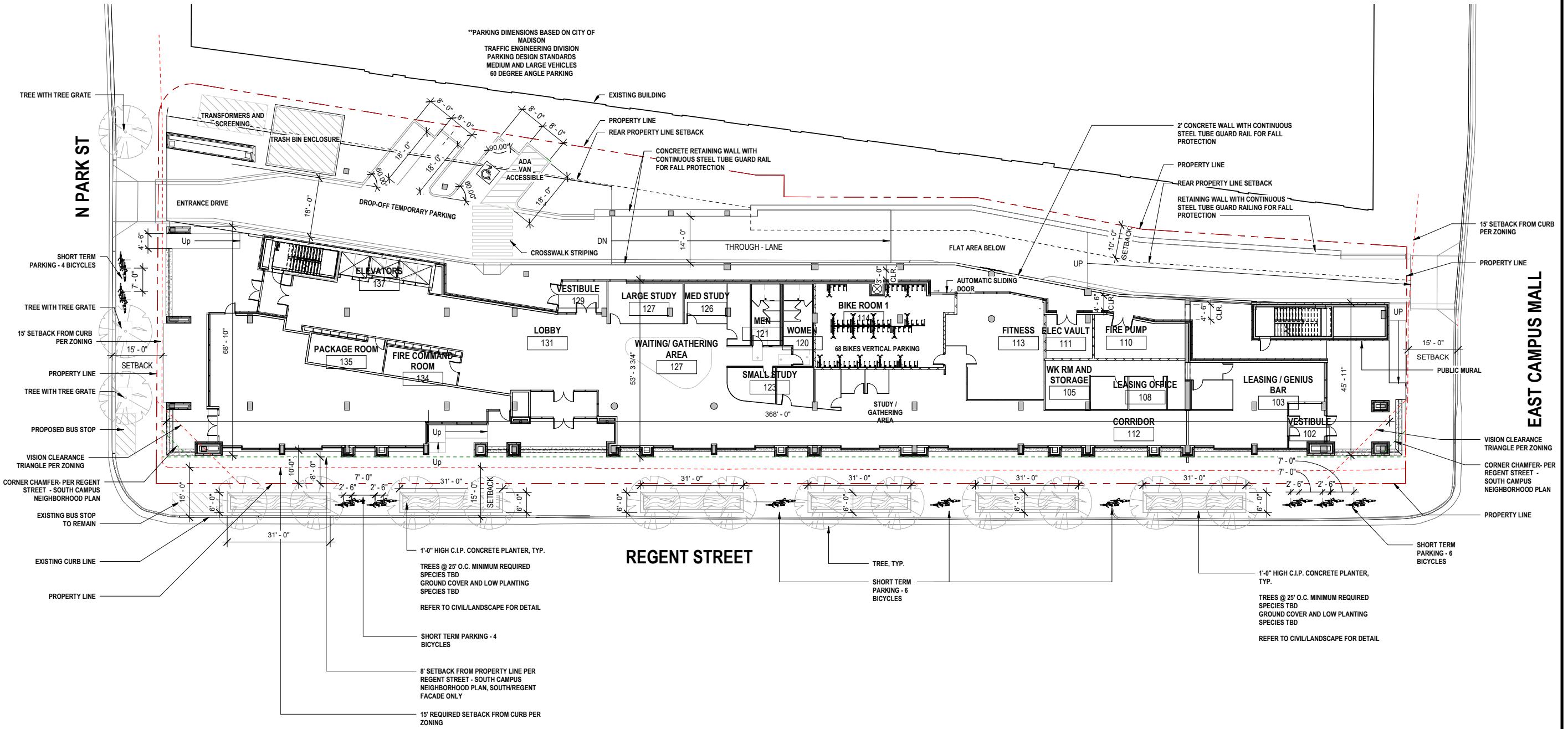
# Park & Regent Apartments

CRG  
802-820 Regent St. Madison WI  
Urban Design Commission



## GENERAL NOTES

1. PEDESTRIAN SCALE LIGHTING AND EXTERIOR BUILDING LIGHTING WILL BE IN CONFORMANCE TO THE CODE AND PLANS REQUIREMENTS TO INCLUDE TYPES, LIGHT LEVELS, DIRECTION AND CHARACTER.



DATE 07/01/2020

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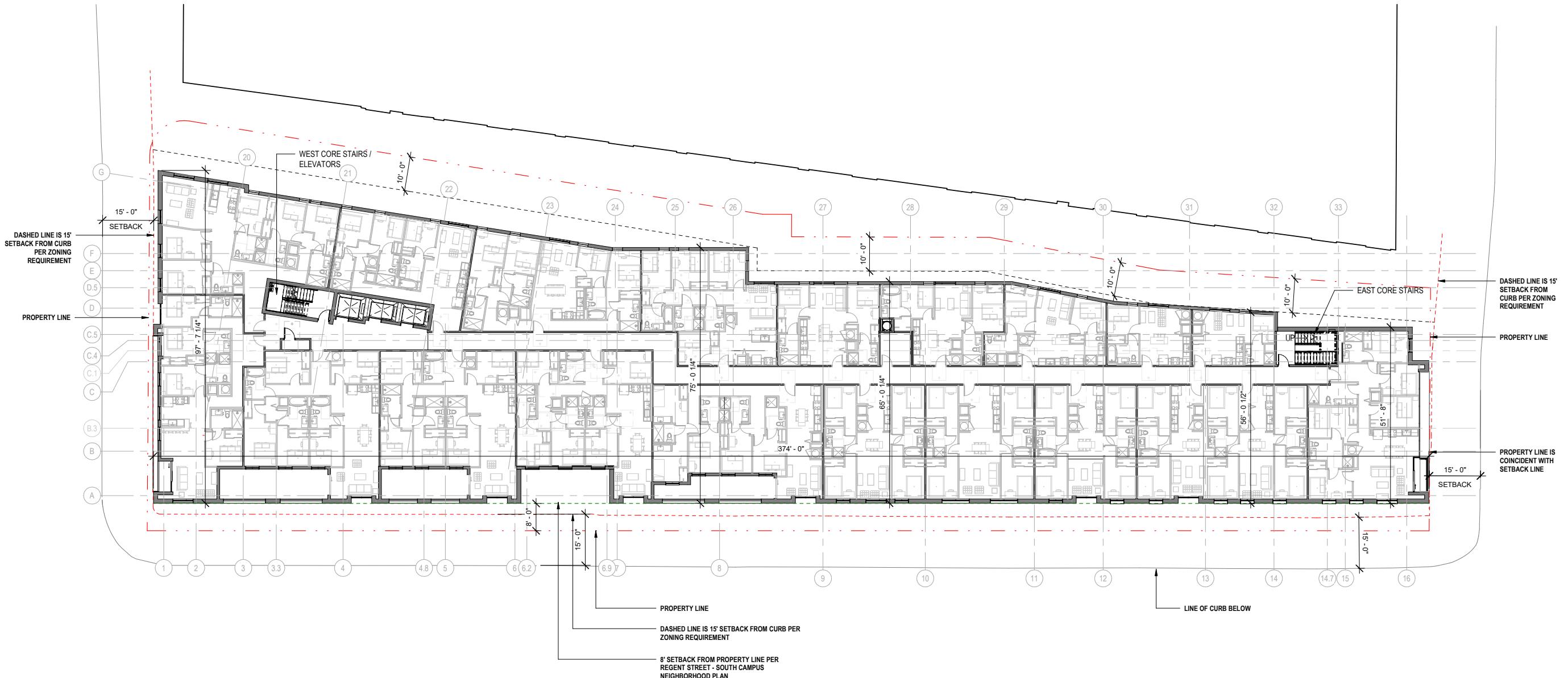
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A-18

2# 20 005602

# Park & Regent Apartments

CRG  
802-820 Regent St. Madison WI  
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 1 FLOOR PLAN - LEVEL 02, 03 & 04  
U002 1/16" = 1'-0"

A horizontal line representing a stage width of 32'. It is divided into four segments: a 0' segment, an 8' segment, a 16' segment, and a final 32' segment. The 8' and 16' segments are highlighted with thicker black lines.

DATE: 07/01/2022

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DRAWING TITLE

PLAN - LEVEL 02-04

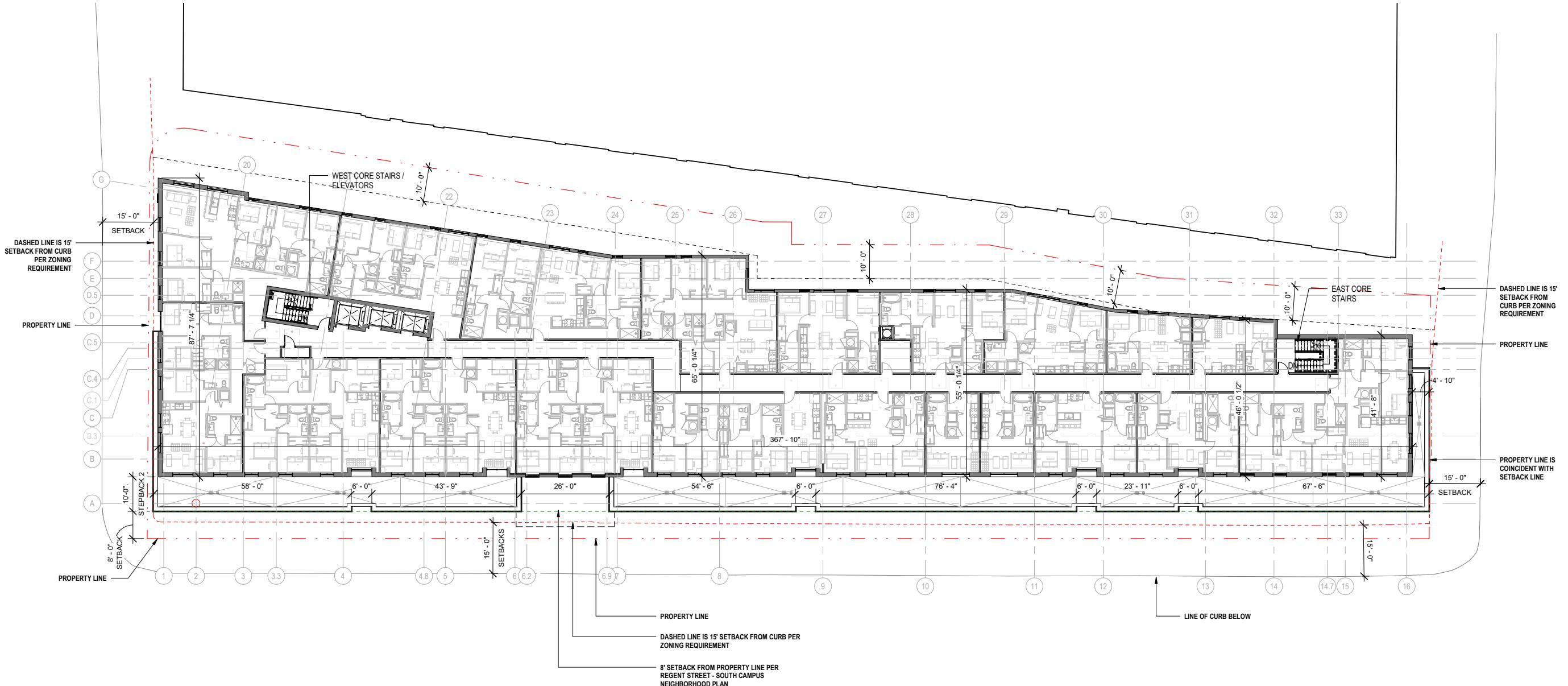
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A-19

Job # 20\_005602

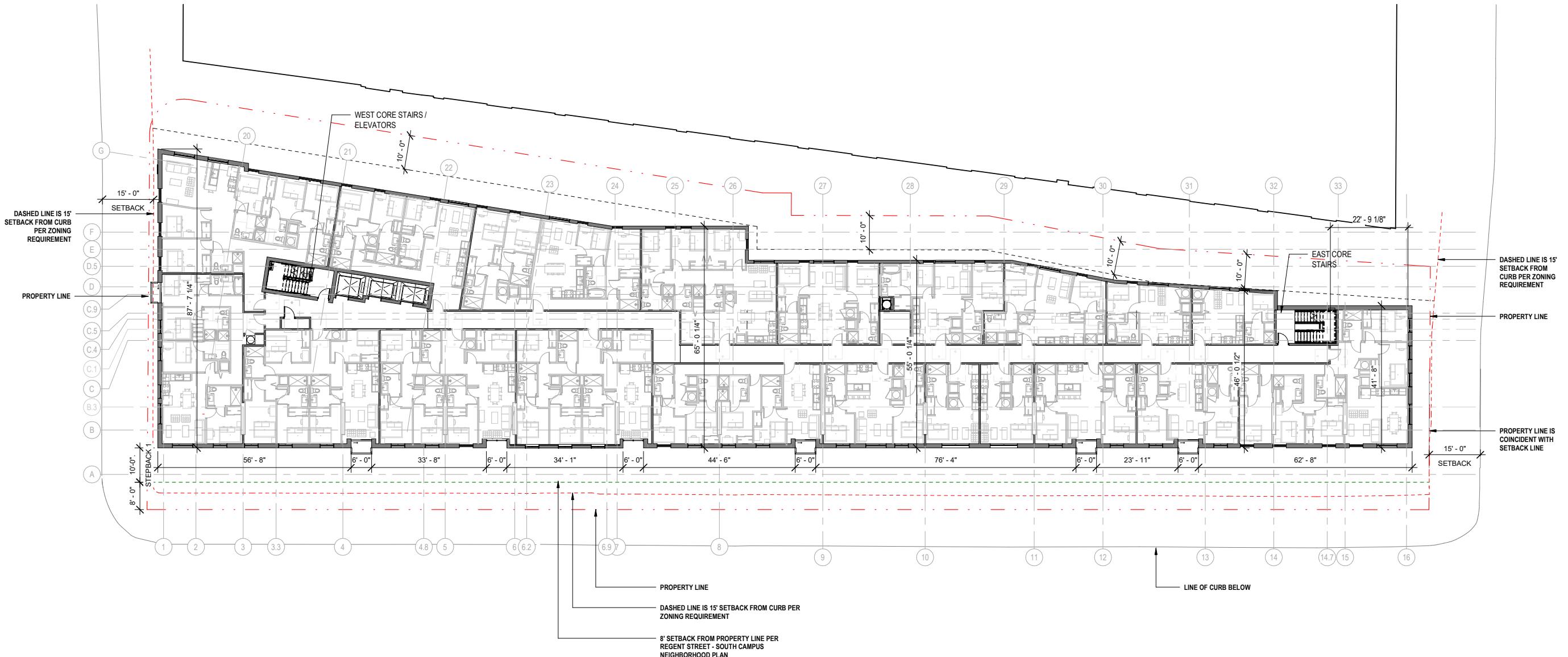
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# Park & Regent Apartments

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 1  
U004 1/16" = 1'-0" FLOOR PLAN - LEVEL 06, 07 & 08

**DRAWING TITLE**

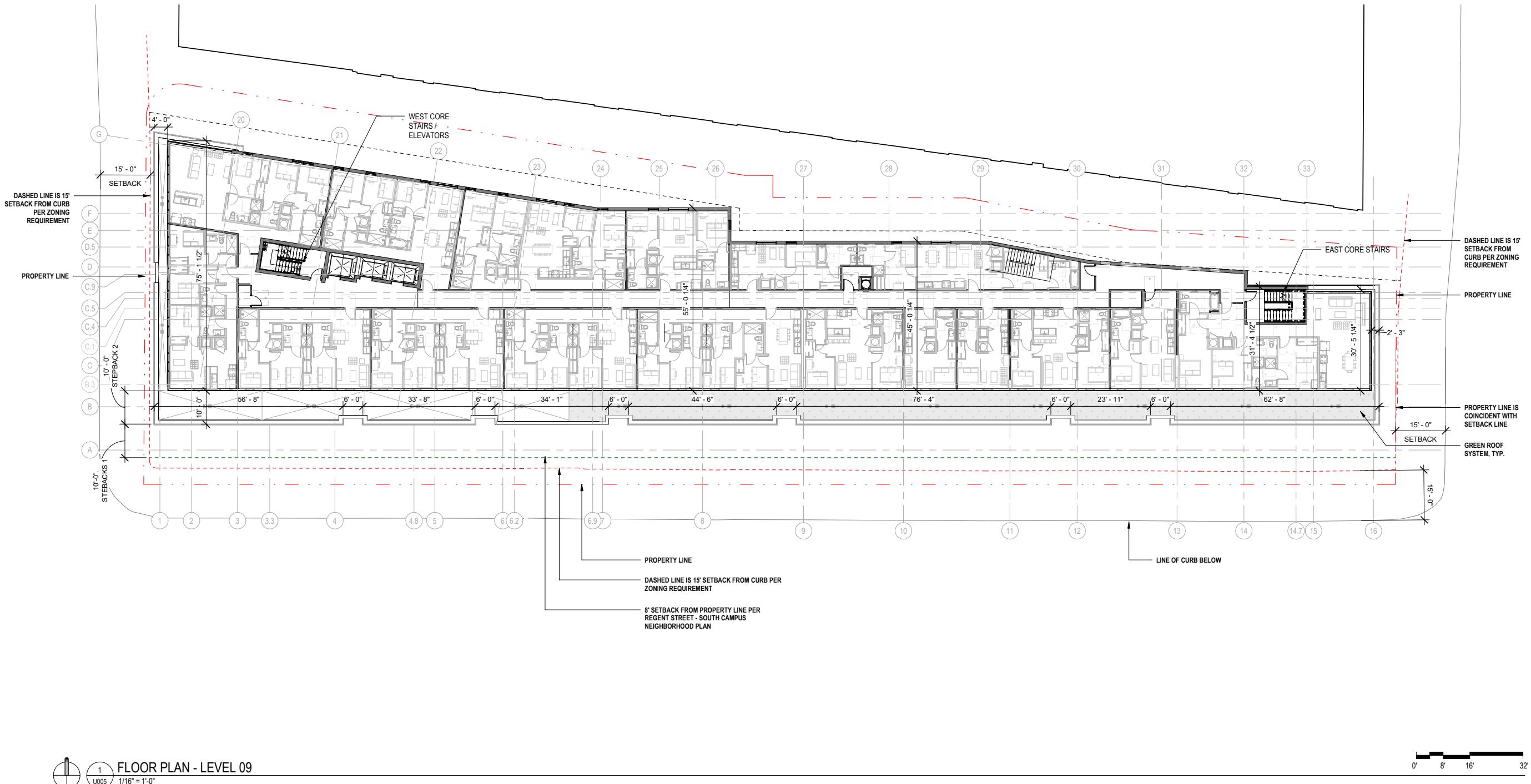
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A-21

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07/01/2022

### WINNING TITLE

MAN - LEVE

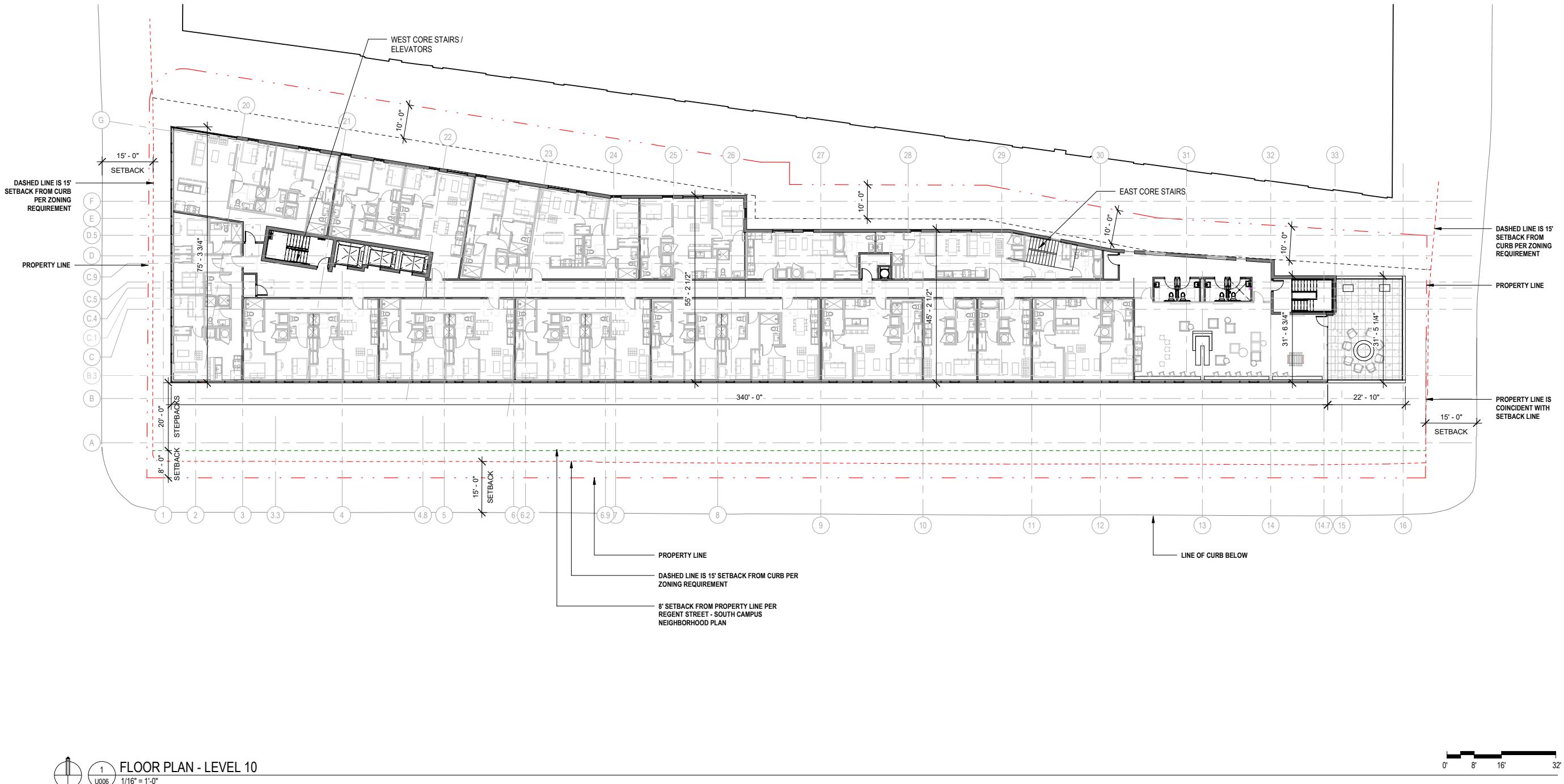
A-22

20 005602

# Park & Regent Apartments

CRG  
802-820 Regent St. Madison WI  
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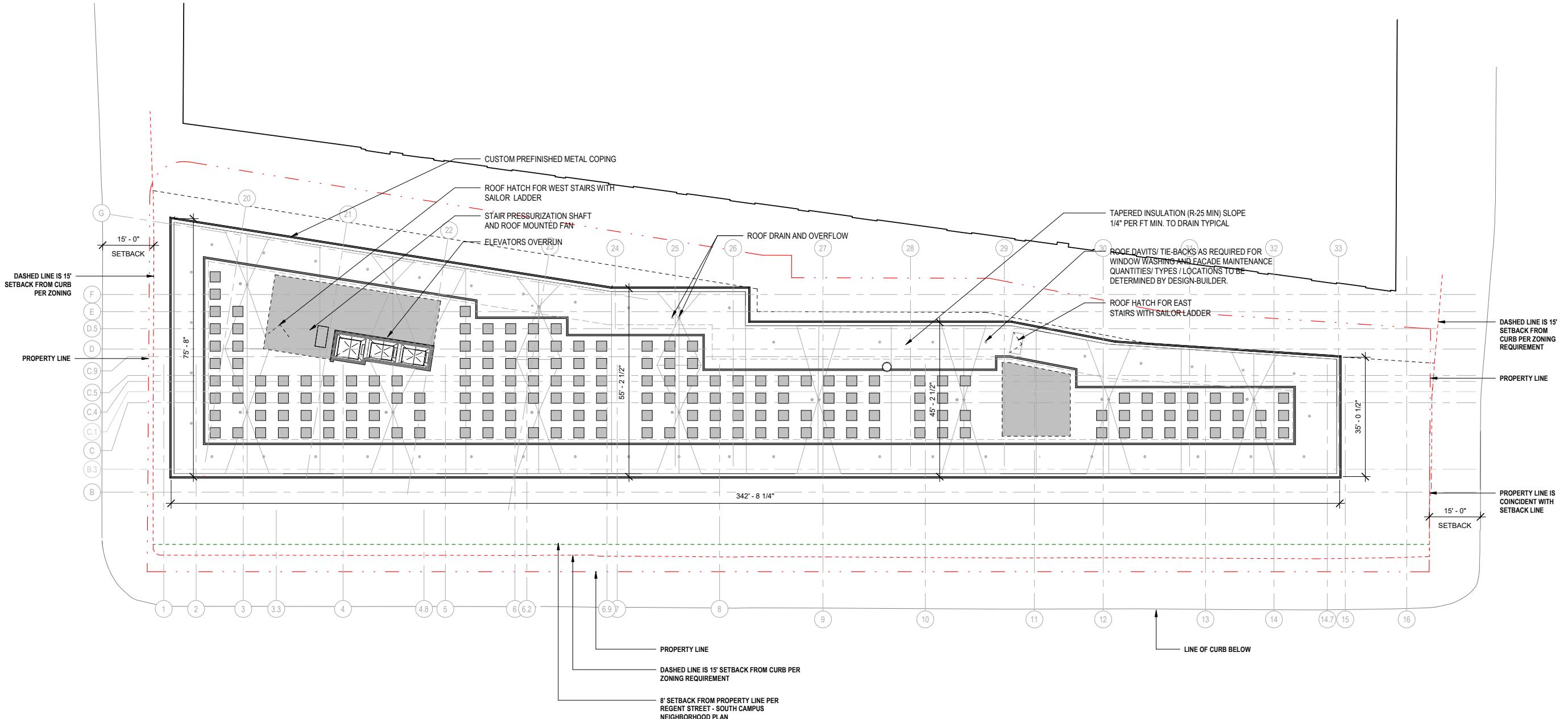
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DRAWING TITLE
<b>PLAN - LEVEL 10</b>
DRAWING NO.
<b>A-2</b>
Job # 20_005602



# Park & Regent Apartments

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Urban Design Commission

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Urban Design Commission



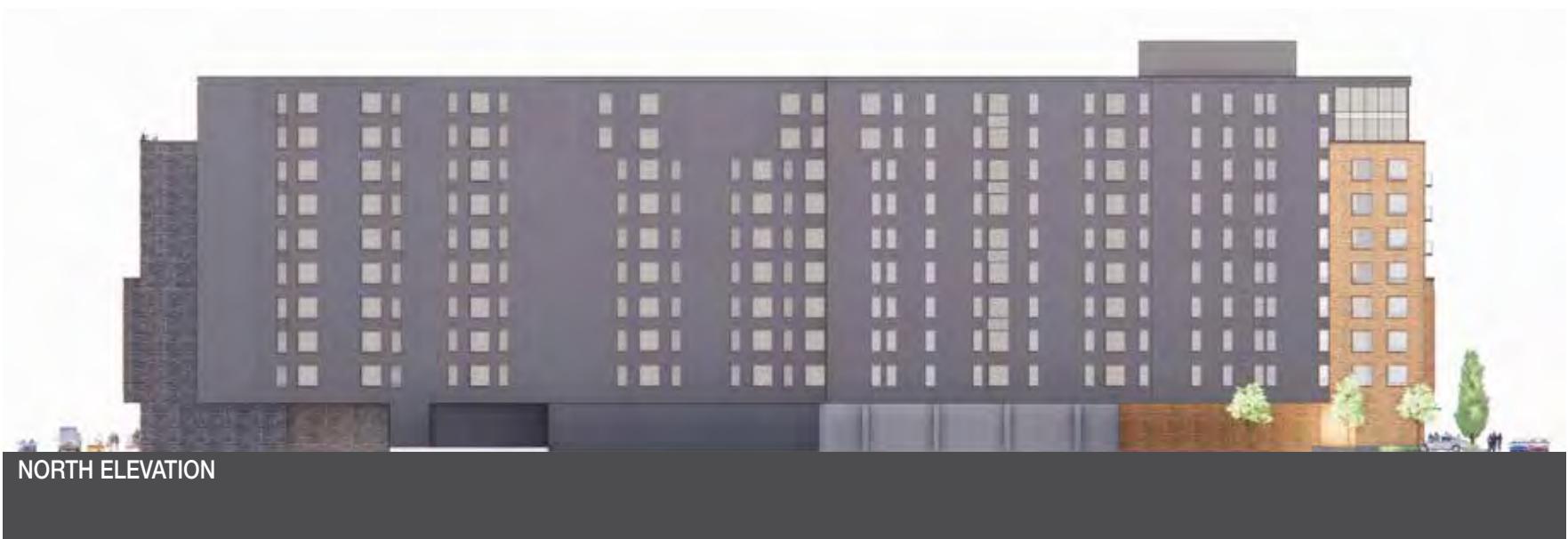


A-24

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## Park & Regent Apartments

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802-820 Regent St. Madison WI  
Urban Design Commission



DATE: 07/01/2022

DRAWING TITLE  
ELEVATIONS - COLOR

DRAWING NO.

A-25

Job # 20\_005602



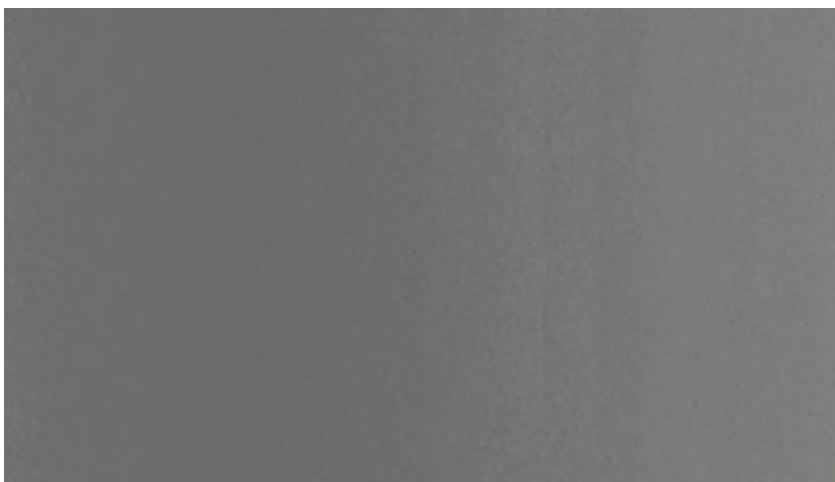
BK-1 BRICK



BK-2 BRICK



WD-2 HPL WOOD VENEER PANEL



FB-1 FIBER CEMENT BOARD



ST-1 STONE BASE



MT-1 COMPOSITE METAL PANEL

EXTERIOR ELEVATION NOTES

HATCH	MARK	DESCRIPTION	HATCH	MARK	DESCRIPTION
	ST-1	STONE BASE		BK-2	BRICK 2 DARK - STANDARD DIMENSION: COLOR TO MATCH ARCHITECT'S SAMPLE ; MORTAR COLOR TO MATCH BRICK 1/3 RUNNING BOND COURSING
	FB-1	FIBER CEMENT BOARD - DARK GRAY		MT-1	COMPOSITE METAL PANEL. FINISH TO MATCH PREFINISHED ALUMINUM WINDOW FRAMES
	FB-2	FIBER CEMENT BOARD - MEDIUM GRAY TEXTURED		WD-2	HPL WOOD VENEER PANEL . COLOR TO MATCH ARCHITECT'S SAMPLE
	BK-1	BRICK - STANDARD DIMENSION: COLOR TO MATCH ARCHITECT'S SAMPLE ; MORTAR COLOR TO MATCH BRICK 1/3 RUNNING BOND COURSING		GL-1	LOW-E INSULATED VISION GLASS (GL-1S INDICATES SPANDREL CONDITION)
				GL-1B	LOW-E INSULATED VISION GLASS W/ BIRD GLASS FRIT PATTERN (GL-1SB INDICATES SPANDREL CONDITION)

Park & Regent Apartments

CRG  
802-820 Regent St. Madison WI  
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DATE: 07/01/2022

DRAWING TITLE  
EXTERIOR MATERIALS

DRAWING NO.

A-26

Job # 20\_005602

# Park & Regent Apartments

CRG  
802-820 Regent St. Madison WI  
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DATE: 07/01/2022

DRAWING TITLE

ELEVATIONS - OVERALL

DRAWING NO.

A-27

Job # 20\_005602



1  
SOUTH ELEVATION  
U008 1" = 20'-0"



2  
WEST ELEVATION  
U008 1" = 20'-0"



3  
NORTH ELEVATION  
U008 1" = 20'-0"



4  
EAST ELEVATION  
U008 1" = 20'-0"

# Park & Regent Apartments

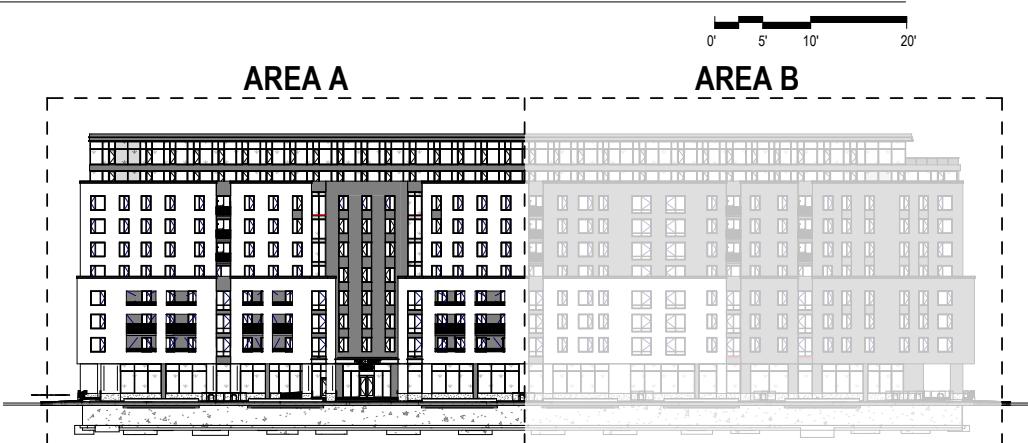
CRG  
802-820 Regent St. Madison WI  
Urban Design Commission



1 SOUTH ELEVATION - AREA A

## EXTERIOR ELEVATION NOTES

HATCH	MARK	DESCRIPTION	HATCH	MARK	DESCRIPTION
	ST-1	STONE BASE		BK-2	BRICK 2 DARK - STANDARD DIMENSION: COLOR TO MATCH ARCHITECT'S SAMPLE ; MORTAR COLOR TO MATCH BRICK 1/3 RUNNING BOND COURSING
	FB-1	FIBER CEMENT BOARD - DARK GRAY		MT-1	COMPOSITE METAL PANEL. FINISH TO MATCH PREFINISHED ALUMINUM WINDOW FRAMES
	FB-2	FIBER CEMENT BOARD - MEDIUM GRAY TEXTURED		WD-2	HPL WOOD VENEER PANEL . COLOR TO MATCH ARCHITECT'S SAMPLE
	BK-1	BRICK - STANDARD DIMENSION: COLOR TO MATCH ARCHITECT'S SAMPLE ; MORTAR COLOR TO MATCH BRICK 1/3 RUNNING BOND COURSING		GL-1	LOW-E INSULATED VISION GLASS (GL-1S INDICATES SPANDREL CONDITION)
				GL-1B	LOW-E INSULATED VISION GLASS W/ BIRD GLASS FRIT PATTERN (GL-1SB INDICATES SPANDREL CONDITION)



## GENERAL NOTES

1. PEDESTRIAN SCALE LIGHTING AND EXTERIOR BUILDING LIGHTING WILL BE IN CONFORMANCE TO THE CODE AND PLANS REQUIREMENTS TO INCLUDE TYPES, LIGHT LEVELS, DIRECTION AND CHARACTER

DATE 03/01/2020

DRAWING TITLE  
ELEVATION - SOUTH

## AREA A

A-28

Job # 20 005602

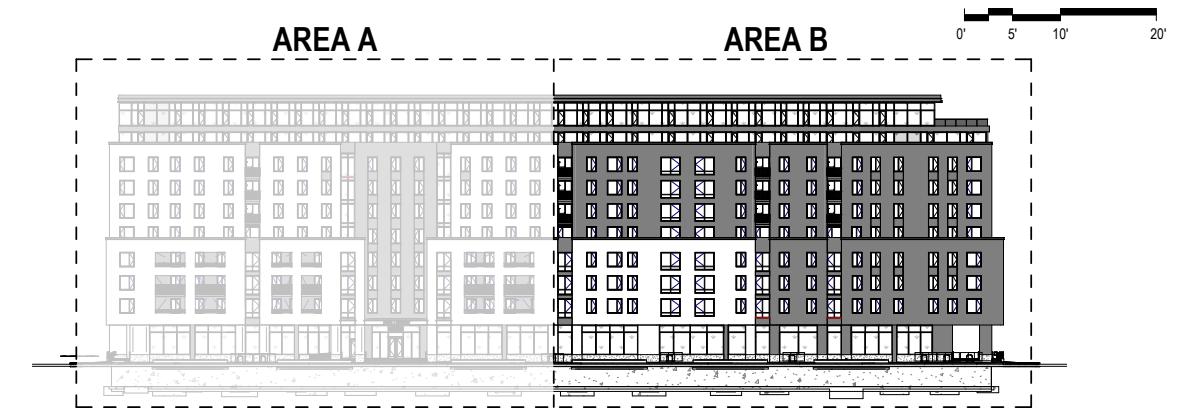
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802-820 Regent St. Madison WI  
Urban Design Commission



## EXTERIOR ELEVATION NOTES

HATCH	MARK	DESCRIPTION	HATCH	MARK	DESCRIPTION
	ST-1	STONE BASE		BK-2	BRICK 2 DARK - STANDARD DIMENSION: COLOR TO MATCH ARCHITECT'S SAMPLE ; MORTAR COLOR TO MATCH BRICK 1/3 RUNNING BOND COURSING
	FB-1	FIBER CEMENT BOARD - DARK GRAY		MT-1	COMPOSITE METAL PANEL. FINISH TO MATCH PREFINISHED ALUMINUM WINDOW FRAMES
	FB-2	FIBER CEMENT BOARD - MEDIUM GRAY TEXTURED		WD-2	HPL WOOD VENEER PANEL . COLOR TO MATCH ARCHITECT'S SAMPLE
	BK-1	BRICK - STANDARD DIMENSION: COLOR TO MATCH ARCHITECT'S SAMPLE ; MORTAR COLOR TO MATCH BRICK 1/3 RUNNING BOND COURSING		GL-1	LOW-E INSULATED VISION GLASS (GL-1S INDICATES SPANDEL CONDITION)
				GL-1B	LOW-E INSULATED VISION GLASS W/ BIRD GLASS FRT PATTERN (GL-1SB INDICATES SPANDEL CONDITION)



## GENERAL NOTES

- PEDESTRIAN SCALE LIGHTING AND EXTERIOR BUILDING LIGHTING WILL BE IN CONFORMANCE TO THE CODE AND PLANS REQUIREMENTS TO INCLUDE TYPES, LIGHT LEVELS, DIRECTION AND CHARACTER.

DATE: 07/01/2022

DRAWING TITLE  
ELEVATION - SOUTH  
AREA B

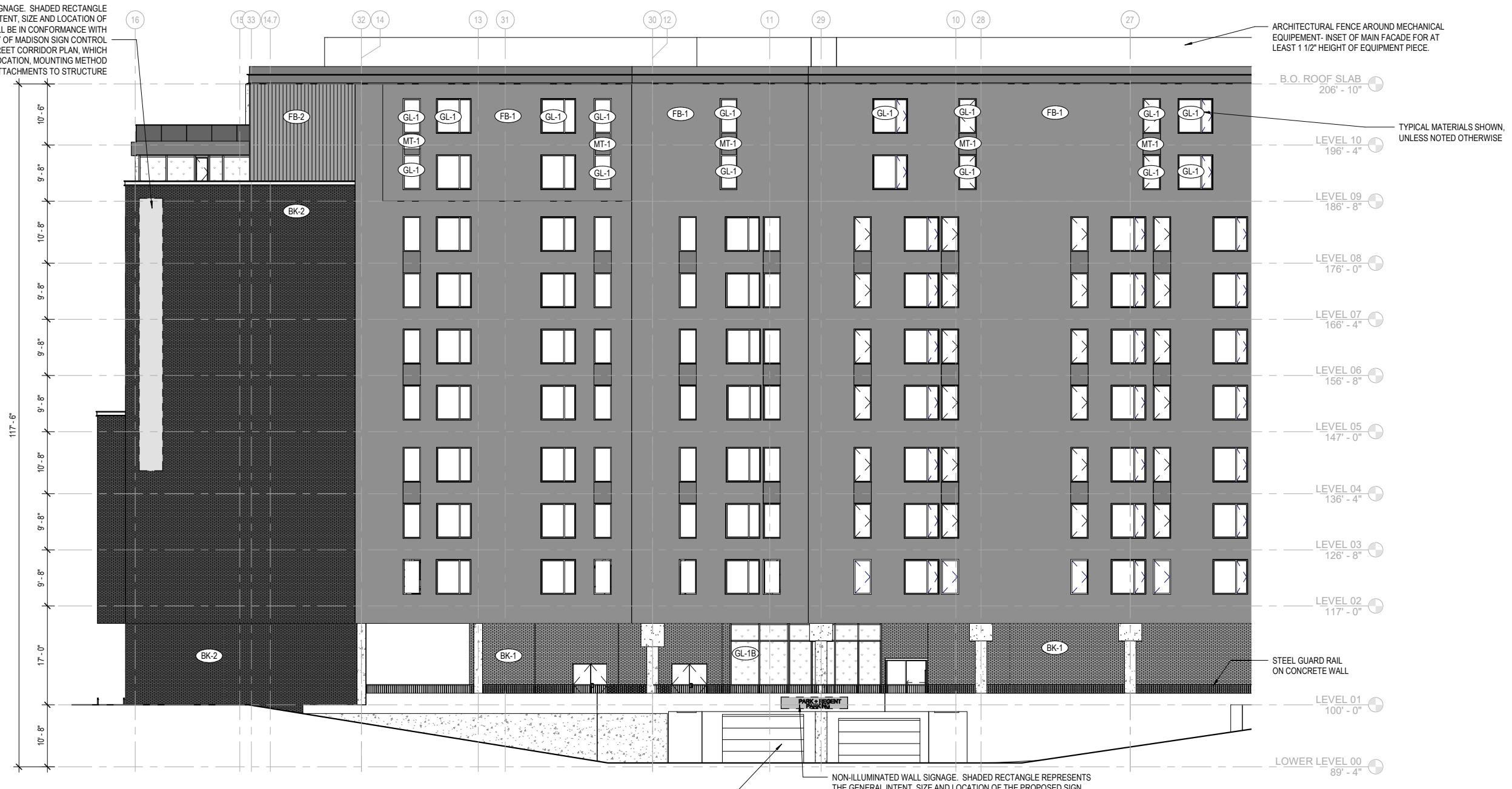
DRAWING NO.

A-29

Job # 20\_005602

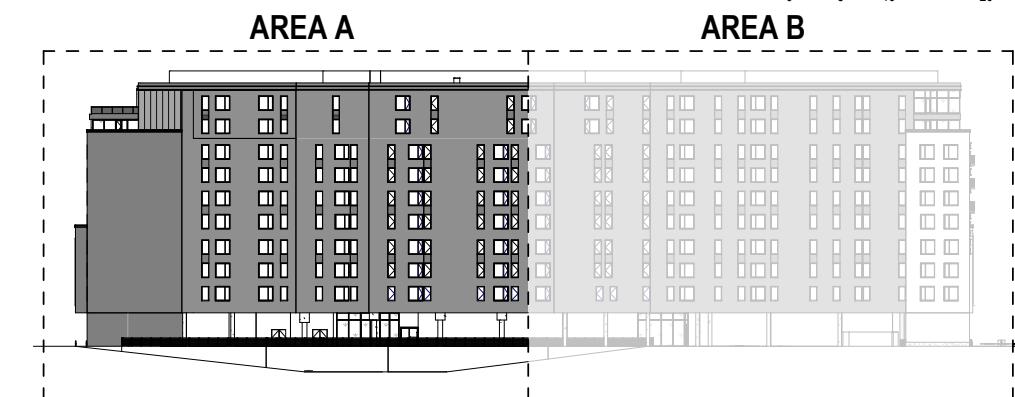
# Park & Regent Apartments

CRG  
802-820 Regent St. Madison WI  
Urban Design Commission



## EXTERIOR ELEVATION NOTES

HATCH	MARK	DESCRIPTION	HATCH	MARK	DESCRIPTION
	ST-1	STONE BASE		BK-2	BRICK 2 DARK - STANDARD DIMENSION: COLOR TO MATCH ARCHITECT'S SAMPLE ; MORTAR COLOR TO MATCH BRICK 1/3 RUNNING BOND COURSING
	FB-1	FIBER CEMENT BOARD - DARK GRAY		MT-1	COMPOSITE METAL PANEL. FINISH TO MATCH PREFINISHED ALUMINUM WINDOW FRAMES
	FB-2	FIBER CEMENT BOARD - MEDIUM GRAY TEXTURED		WD-2	HPL WOOD VENEER PANEL . COLOR TO MATCH ARCHITECT'S SAMPLE
	BK-1	BRICK - STANDARD DIMENSION: COLOR TO MATCH ARCHITECT'S SAMPLE ; MORTAR COLOR TO MATCH BRICK 1/3 RUNNING BOND COURSING		GL-1	LOW-E INSULATED VISION GLASS (GL-1S INDICATES SPANDREL CONDITION)
				GL-1B	LOW-E INSULATED VISION GLASS W/ BIRD GLASS FRIT PATTERN (GL-1B INDICATES SPANDREL CONDITION)



## GENERAL NOTES

1. PEDESTRIAN SCALE LIGHTING AND EXTERIOR BUILDING LIGHTING WILL BE IN CONFORMANCE TO THE CODE AND PLANS REQUIREMENTS TO INCLUDE TYPES, LIGHT LEVELS, DIRECTION AND CHARACTER.

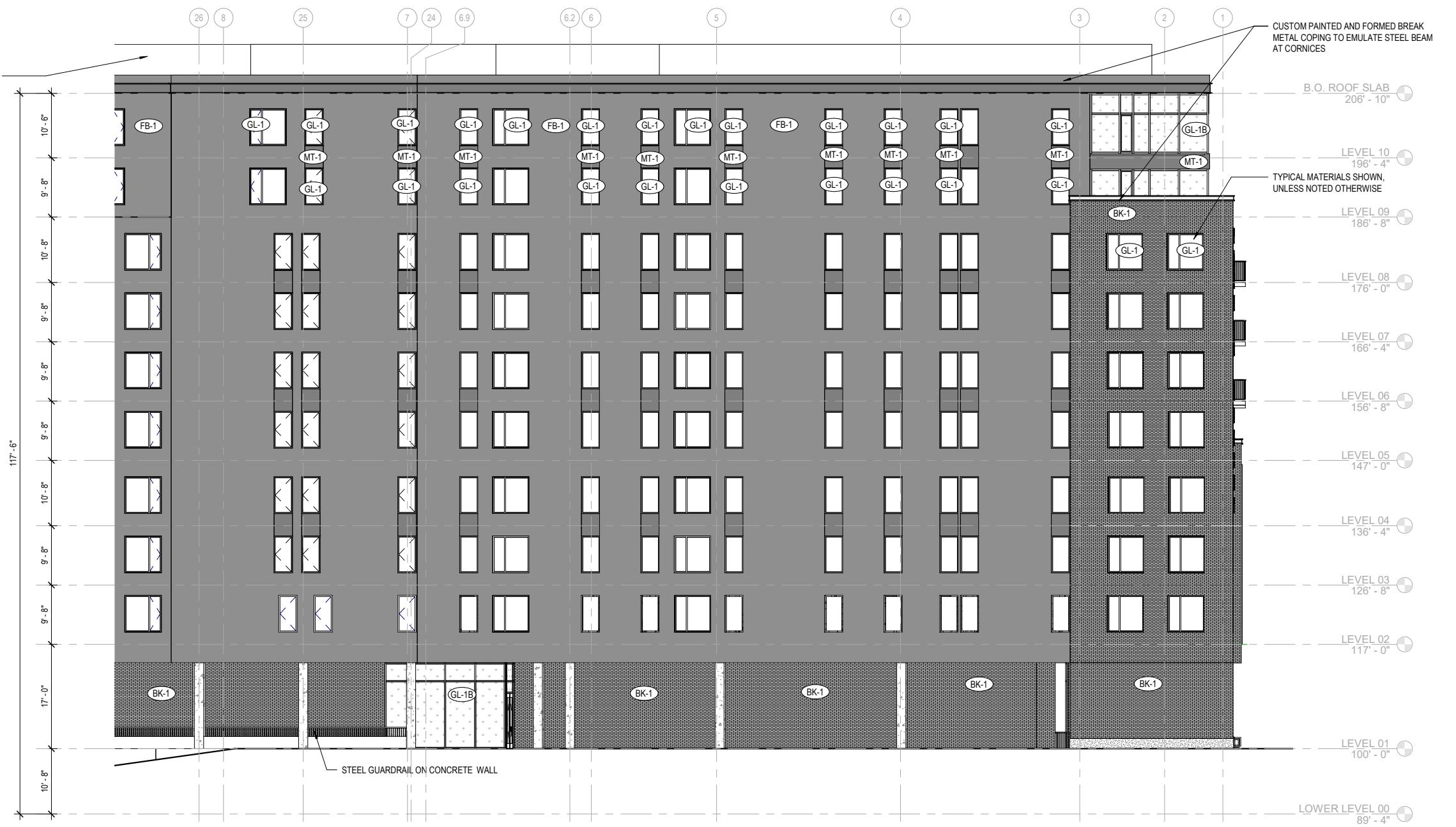
DATE: 07/01/2022
DRAWING TITLE
ELEVATION - NORTH AREA A
DRAWING NO.

A-30

Job # 20 005602

# Park & Regent Apartments

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802-820 Regent St. Madison WI  
Urban Design Commission



## EXTERIOR ELEVATION NOTES

HATCH	MARK	DESCRIPTION	HATCH	MARK	DESCRIPTION
	ST-1	STONE BASE		BK-2	BRICK 2 DARK - STANDARD DIMENSION: COLOR TO MATCH ARCHITECT'S SAMPLE ; MORTAR COLOR TO MATCH BRICK 1/3 RUNNING BOND COURSING
	FB-1	FIBER CEMENT BOARD - DARK GRAY		MT-1	COMPOSITE METAL PANEL. FINISH TO MATCH PREFINISHED ALUMINUM WINDOW FRAMES
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				GL-1B	LOW-E INSULATED VISION GLASS W/ BIRD GLASS FRIT PATTERN (GL-1SB INDICATES SPANDREL CONDITION)



## GENERAL NOTES

1. PEDESTRIAN SCALE LIGHTING AND EXTERIOR BUILDING LIGHTING WILL BE IN CONFORMANCE TO THE CODE AND PLANS REQUIREMENTS TO INCLUDE TYPES, LIGHT LEVELS, DIRECTION AND CHARACTER.

DATE: 07/01/2022

DRAWING TITLE  
ELEVATION - NORTH  
AREA B

DRAWING NO.

A-31

Job # 20 005602

# Park & Regent Apartments

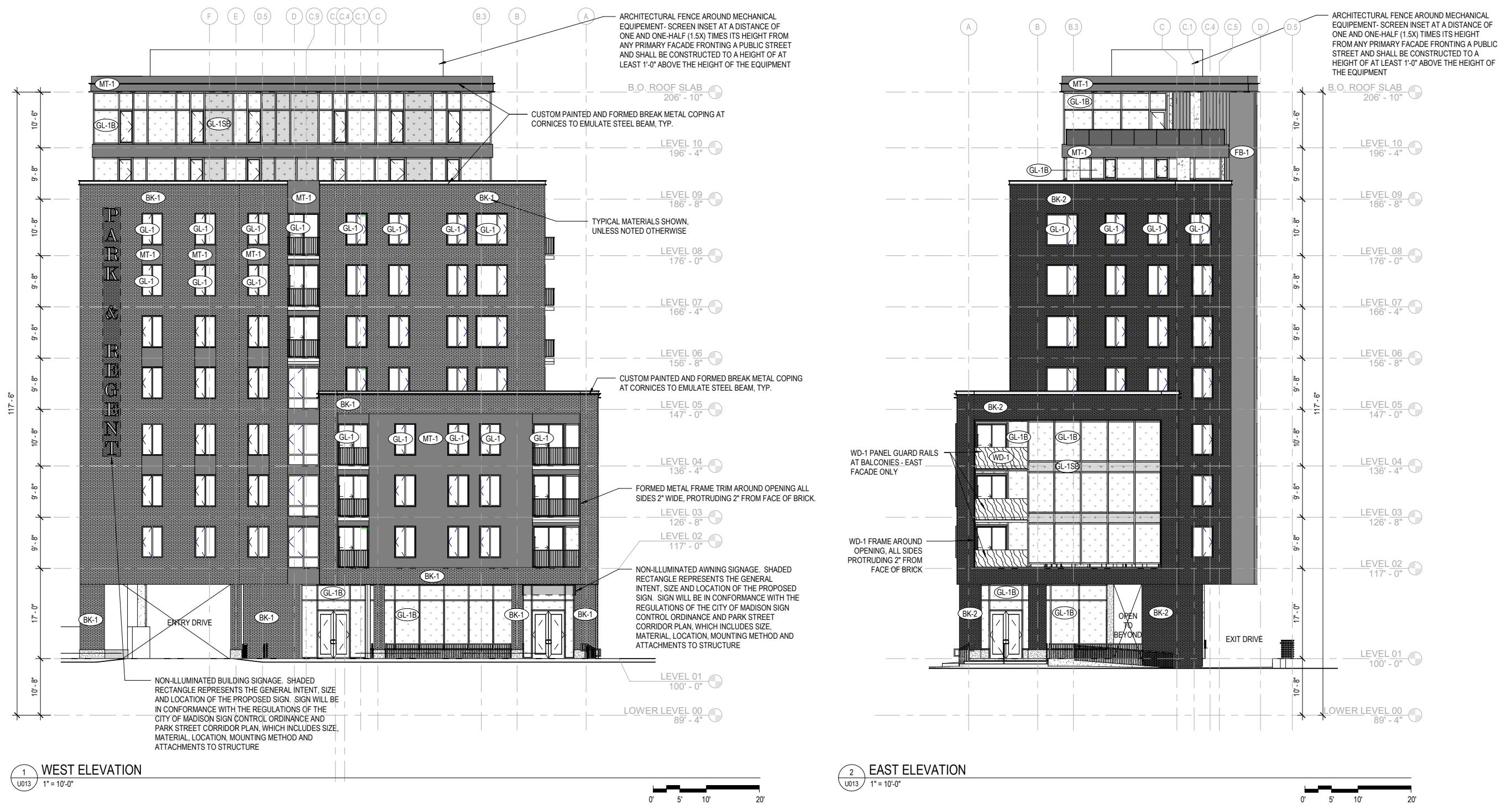
CRG  
802-820 Regent St. Madison WI  
Urban Design Commission

33 EAST WACKER DRIVE, SUITE 1500  
CHICAGO, IL 60601  
Ph 312.658.0747

Lamar Johnson  
Collaborative 1

**Collaborat**  
35 EAST WACKER DRIVE, SUITE 1500  
CHICAGO, IL 60601  
Ph 312.658.0747

CRG



## EXTERIOR ELEVATION NOTES

HATCH	MARK	DESCRIPTION	HATCH	MARK	DESCRIPTION
	ST-1	STONE BASE		BK-2	BRICK 2 DARK - STANDARD DIMENSION: COLOR TO MATCH ARCHITECT'S SAMPLE ; MORTAR COLOR TO MATCH BRICK 1/3 RUNNING BOND COURSING
	FB-1	FIBER CEMENT BOARD - DARK GRAY		MT-1	COMPOSITE METAL PANEL. FINISH TO MATCH PREFINISHED ALUMINUM WINDOW FRAMES
	FB-2	FIBER CEMENT BOARD - MEDIUM GRAY TEXTURED		WD-2	HPL WOOD VENEER PANEL . COLOR TO MATCH ARCHITECT'S SAMPLE
	BK-1	BRICK - STANDARD DIMENSION: COLOR TO MATCH ARCHITECT'S SAMPLE ; MORTAR COLOR TO MATCH BRICK 1/3 RUNNING BOND COURSING		GL-1	LOW-E INSULATED VISION GLASS (GL-1S INDICATES SPANDREL CONDITION)
				GL-1B	LOW-E INSULATED VISION GLASS W/ BIRD GLASS FRT PATTERN (GL-1SB INDICATES SPANDREL CONDITION)

## GENERAL NOTES

1. PEDESTRIAN SCALE LIGHTING AND EXTERIOR BUILDING LIGHTING WILL BE IN CONFORMANCE TO THE CODE AND PLANS REQUIREMENTS TO INCLUDE TYPES, LIGHT LEVELS, DIRECTION AND CHARACTER

2022-07-01/00000

**DRAWING TITLE**  
**ELEVATIONS - EAST &  
WEST**

WEST

A-32

Job # 20 005602

## Park & Regent Apartments

CRG  
802-820 Regent St. Madison WI  
Urban Design Commission

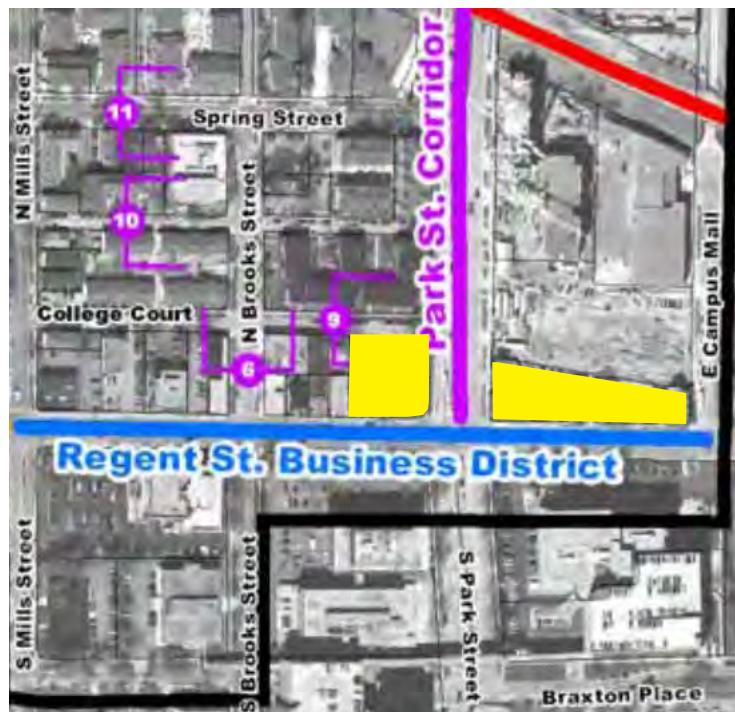
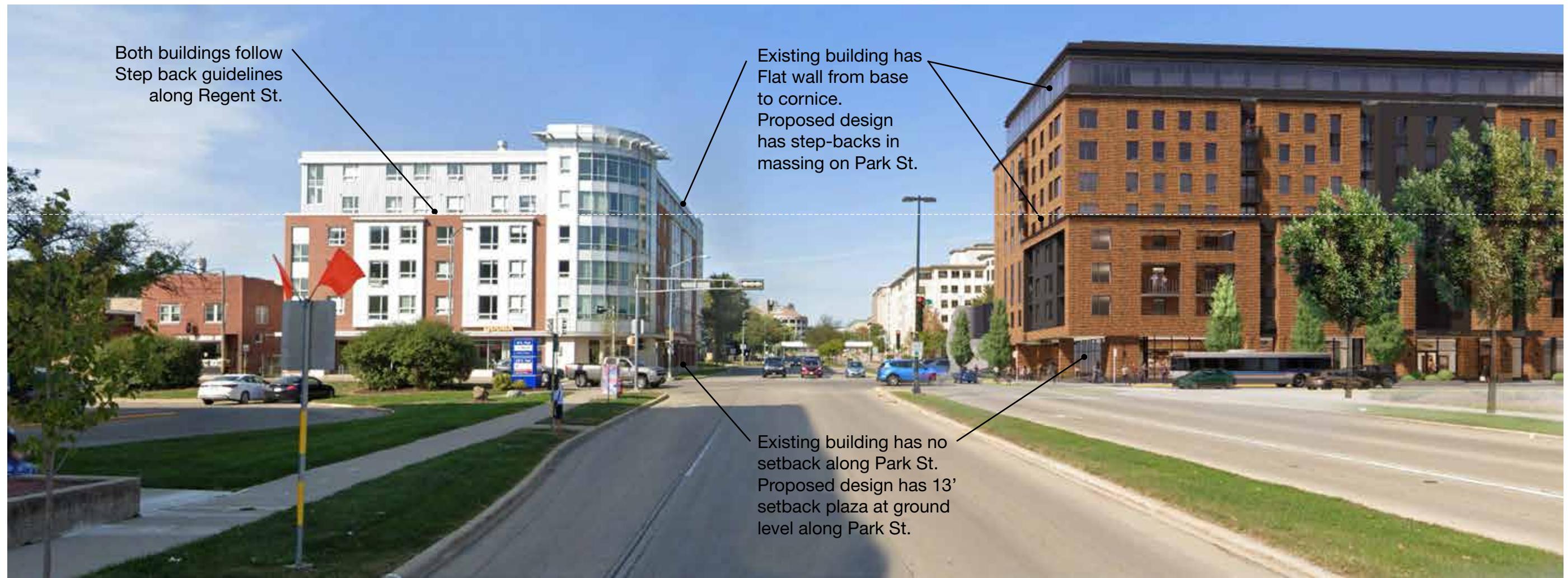


Image from Regent Street - South Campus Neighborhood Plan

Both the proposed project and the existing Park Regent Apartments immediately to the west fall in the Regent Street Business District and the Park Street Corridor. Shown in yellow at left, they are the only two sites that fall in the zone between Regent Street and College Court and are subject to the same recommendations of the Regent Street – South Campus Neighborhood Plan.

The existing building complies with the Regent Street Business District guidelines along its south façade, as does the proposed design. The neighboring building is built to the property line and does not include a setback on Park Street, utilizing a flat wall from sidewalk to parapet with a modest signage canopy. In order to respond to the guidelines of the Plan to create consistency of street frontage at this node, the proposed design seeks to meet those same standards. The proposed design further responds to the intent of the Plan to create a pedestrian-scaled experience at grade, setting the ground floor back 13' from the property line to provide a rain-and-sun-protected public plaza and widened pedestrian zone. The design also incorporates two significant setbacks at levels 5 and 9 to create an articulated façade that better reflects the suggested design principles for this node set forth in the Plan. While the Plan would allow for a flat, uninterrupted façade at Park Street, the project is designed to provide more interest and create a pedestrian-focused experience consistent with the Plan.

In conclusion, the proposed design is intended to recognize the gateway created at Park and Regent by providing an elevated design along the Park Street façade. The design seeks consistency with its context and the Plan by adhering to the same requirements as its most directly comparable neighbor, and does more than the minimum suggested by the Plan on its West and East facades.

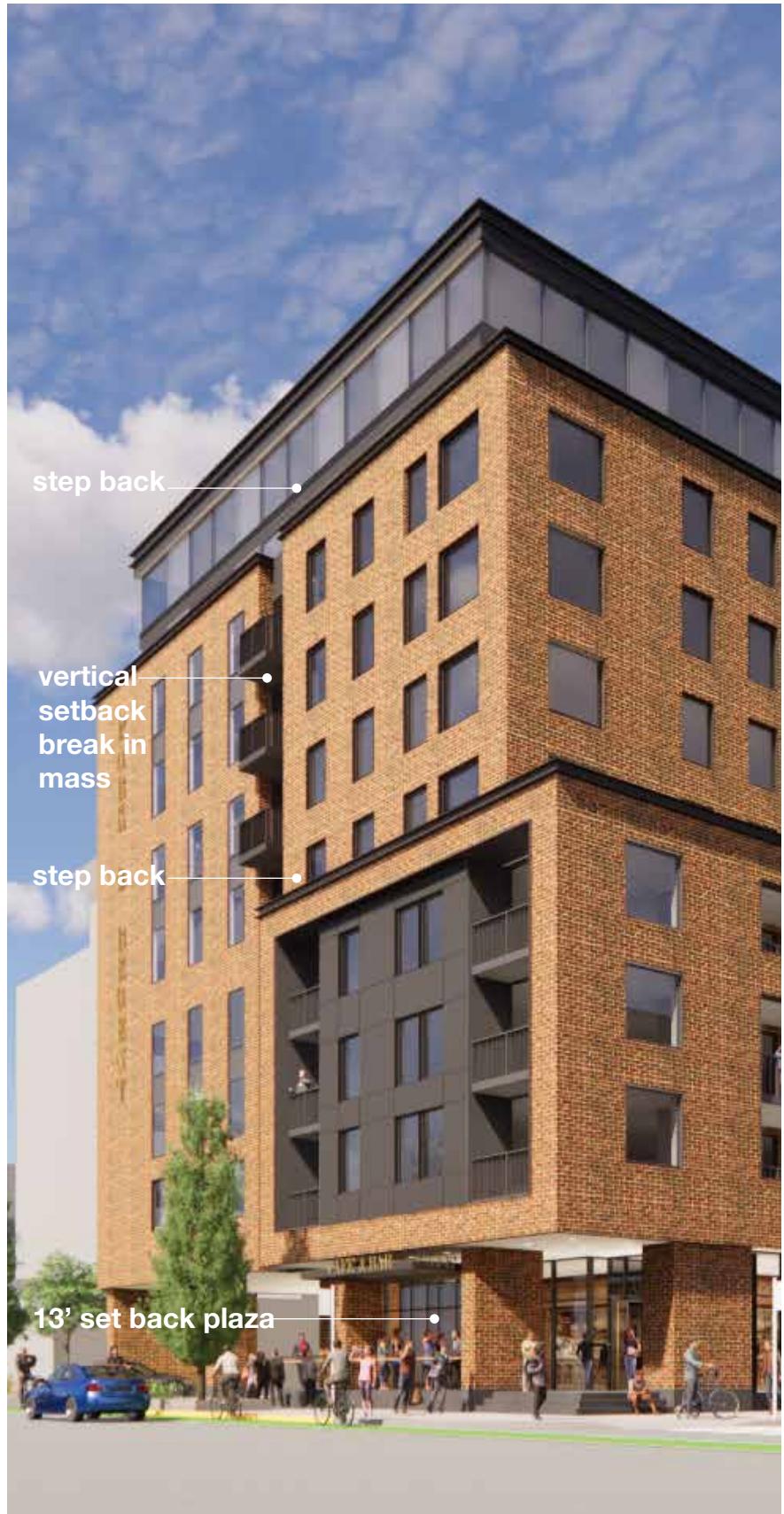
DATE: 07/01/2022

DRAWING TITLE  
CONTEXT COMPARISON

DRAWING NO.

A-33

Job # 20\_005602



Park St. Facade

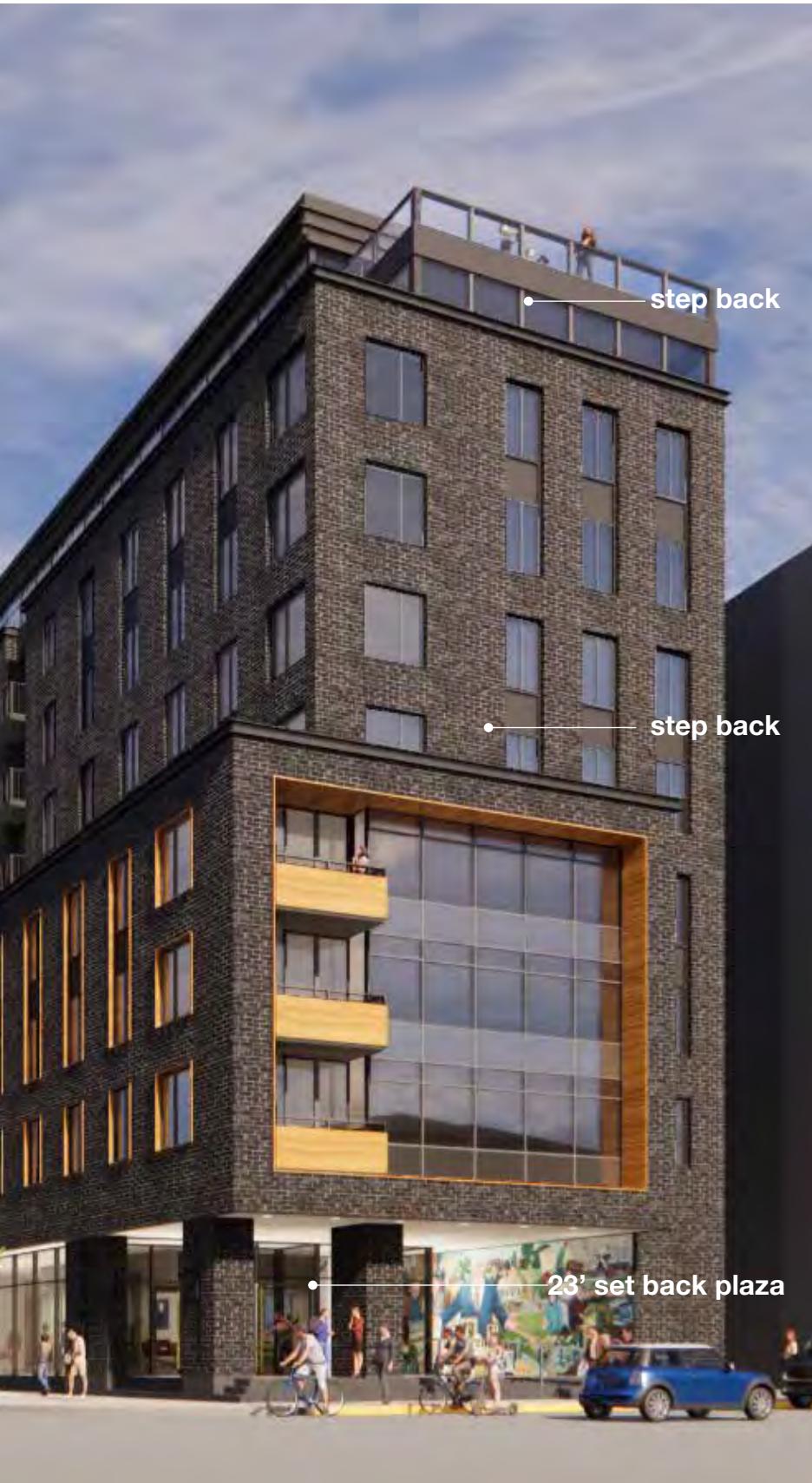
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The underlying zoning and Regent Street – South Campus Neighborhood Plan would allow for a flat, full height wall at either end of the building. The project team has opted to incorporate additional stepbacks and articulation to support the pedestrian experience and ensure exceptional design and architecture of the building. Specifically, the proposed design incorporates stepbacks and vertical breaks in the massing in order to better respond to the context and create a nuanced, pedestrian-scaled street character as intended in the Plan, including the following amenities and features:

- Street Activation: retail and amenity spaces activate the entire street frontage
- Multiple entrances are provided to enhance the pedestrian zone per the Plan
- Dominant corner entrances and plazas anchor the corners per the Plan
- The first-floor glazing exceeds 60% of wall surface as outlined in the Plan

Plazas at each end of the building occur under shelter from rain/snow and excessive sun. These outdoor spaces are intended to widen the public pedestrian zone and support the intent of the Plan by setting back the faces of each end of the building at the pedestrian level. This enhances the pedestrian experience and establishes these intersections as key gateways whether coming from Park Street or East Campus Mall.



East Campus Mall Facade

## Park & Regent Apartments

CRG  
802-820 Regent St. Madison WI  
Urban Design Commission

CRG

Lamar Johnson  
Collaborative

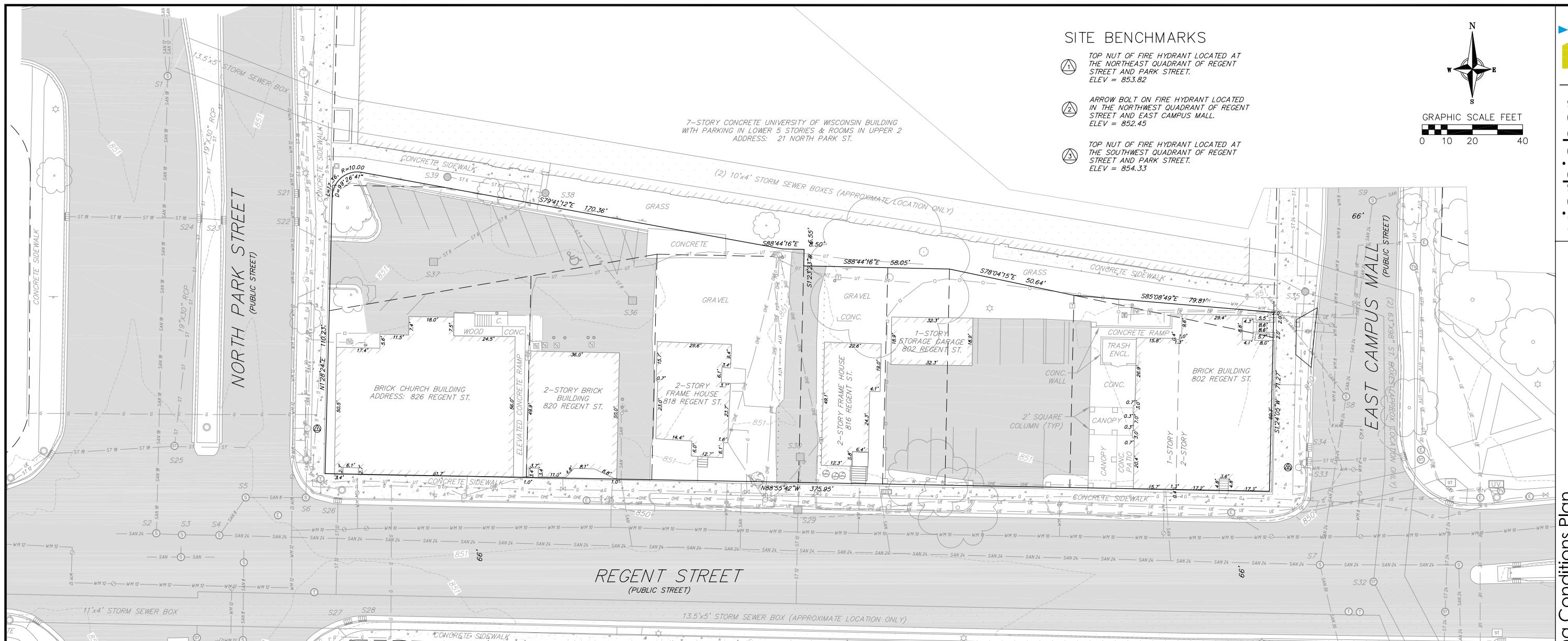
35 EAST WACKER DRIVE, SUITE 1500  
CHICAGO, IL 60601  
Ph: 312.265.0747

DATE: 07/01/2022

DRAWING TITLE  
ELEVATION FEATURES  
EAST AND WEST  
DRAWING NO.

A-34

Job # 20\_005602

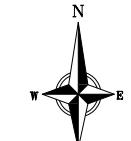


## SITE BENCHMARKS

TOP NUT OF FIRE HYDRANT LOCATED AT  
THE NORTHEAST QUADRANT OF REGENT  
STREET AND PARK STREET.  
ELEV = 853.82

ARROW BOLT ON FIRE HYDRANT LOCATED  
IN THE NORTHWEST QUADRANT OF REGENT  
STREET AND EAST CAMPUS MALL.  
ELEV = 852.45

TOP NUT OF FIRE HYDRANT LOCATED AT  
THE SOUTHWEST QUADRANT OF REGENT  
STREET AND PARK STREET.  
ELEV = 854.33



GRAPHIC SCALE FEET  
 0 10 20 40

# Existing Conditions Plan

## Park & Regent Apartments City of Madison Dane County, Wisconsin

vierbicher  
planners | engineers | advisors

Phone: (800) 261-3898

EXISTING SANITARY STRUCTURE TABLE				
NAME	TYPE	RIM	INVERT	DIRECTION
S1	SMH	851.02	842.62	N-S
S2	SMH	851.40	842.39	N
			842.05	E
			842.10	W
S3	SMH	851.51	842.05	E-W
S4	SMH	851.39	844.09	NE
			842.04	E
			842.09	W
S5	SMH	851.05	844.75	E
			844.68	SW
S6	SMH	850.54	845.06	N
			844.84	E-PLUGGE
			844.84	W
S7	SMH	850.69	839.34	N
			841.44	E
			839.09	S
			841.43	W
S8	SMH	850.24	839.62	N
			839.57	S
			842.59	NW
S9	SMH	850.37	839.87	N-S

EXISTING STORM STRUCTURE TABLE				
NAME	TYPE	RIM	INVERT	DIRECT
S21	CIN	850.89	847.04	N-S
S22	CIN	850.82	847.07	N
			842.05	S
S23	CIN	851.09	846.84	W
S24	CIN	850.82	846.47	BOTT
S25	STMH	851.09	846.49	N
			846.69	E-W
S26	CIN	850.45	847.45	S
S27	CIN	850.88	844.83	BOTT
S28	CIN	850.91	844.86	BOTT
S29	FINR	849.79	846.79	N
			846.74	S
S30	FINR	850.40	847.60	S
S31	STMH	851.03	844.37	BOTT
S32	STMH	850.91	843.48	BOTT
S33	CIN	850.20	847.20	N
			846.85	E
S34	CIN	850.22	847.12	S
S35	STMH	850.74	843.74	BOTT
S36	FINR	850.43	848.10	NW
S37	FINR	850.63	848.18	NE
S38	FIN	851.14	845.99	N-E-S
			847.89	SE-S
S39	FIN	851.10	849.30	E

## TOPOGRAPHIC SYMBOL LEGEND

- EXISTING BOLLARD
- EXISTING SIGN
- ▀ EXISTING CURB INLET
- ▀▀ EXISTING FIELD INLET RECTANGULAR
- ▀▀▀ EXISTING FIELD INLET
- ⌚ EXISTING STORM MANHOLE
- ^K EXISTING SANITARY CLEANOUT
- ⌚ EXISTING SANITARY MANHOLE
- ^K EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- ⌚ EXISTING CURB STOP
- ◀ EXISTING GAS VALVE
- ⌚ EXISTING GAS METER
- ☒ EXISTING AIR CONDITIONING PEDESTAL
- ↑ EXISTING DOWN GUY
- ⌚ EXISTING ELECTRIC MANHOLE
- ☒ EXISTING TRANSFORMER
- ☒ EXISTING ELECTRIC METER
- ★ EXISTING LIGHT POLE
- ⌚ EXISTING UTILITY POLE
- ⌚ EXISTING TV MANHOLE
- ☒ EXISTING TV PEDESTAL
- ⌚ EXISTING TELEPHONE MANHOLE
- ☒ EXISTING TELEPHONE PEDESTAL
- ⌚ EXISTING UNIDENTIFIED MANHOLE
- UVW EXISTING UNIDENTIFIED UTILITY VAULT
- ♿ EXISTING HANDICAP PARKING
- EXISTING TRAFFIC SIGNAL
- ⌚ EXISTING SHRUB
- ⌚ EXISTING DECIDUOUS TREE

#### TOPOGRAPHIC LINework LEGEND

FOR CONSTRUCTION LINEWORK LEGEND

— UTV — UTV — EXISTING UNDERGROUND CABLE TV

— FD — FD — EXISTING FIBER OPTIC LINE

— UT — UT — EXISTING UNDERGROUND TELEPHONE

— O — O — O — EXISTING CHAIN LINK FENCE

— \* — \* — EXISTING IRON FENCE

— □ — □ — EXISTING WOOD FENCE

— G — G — EXISTING GAS LINE

— UE — UE — EXISTING UNDERGROUND ELECTRIC LINE

— OHE — OHE — EXISTING OVERHEAD ELECTRIC LINE

— SAN — SAN — EXISTING SANITARY SEWER LINE (SIZE NO.)

— ST — ST — EXISTING STORM SEWER LINE (SIZE NOTE)

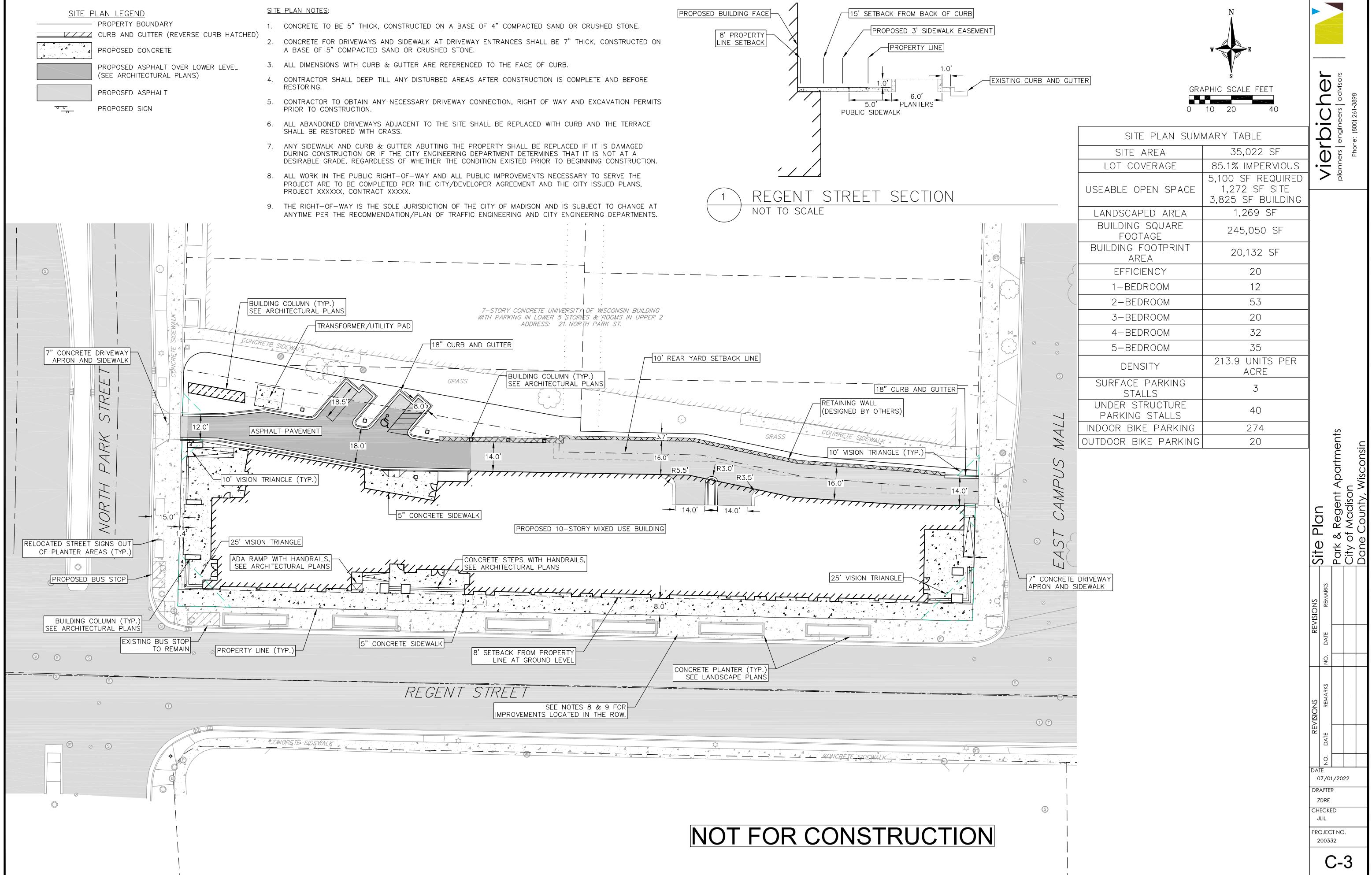
— WM — WM — EXISTING WATER MAIN (SIZE NOTED)

— 850 — EXISTING MAJOR CONTOUR

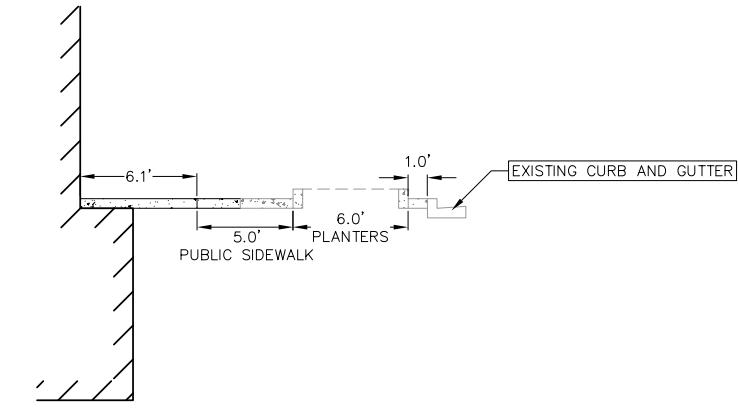
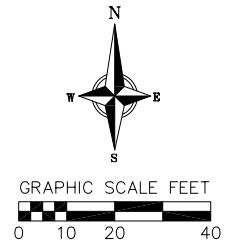
— 851 — EXISTING MINOR CONTOUR

REVISIONS		REMARKS
NO.	DATE	
DATE 07/01/2022		
DRAFTER ZDRE		
CHECKED JUL		
PROJECT NO. 200332		
C-1		

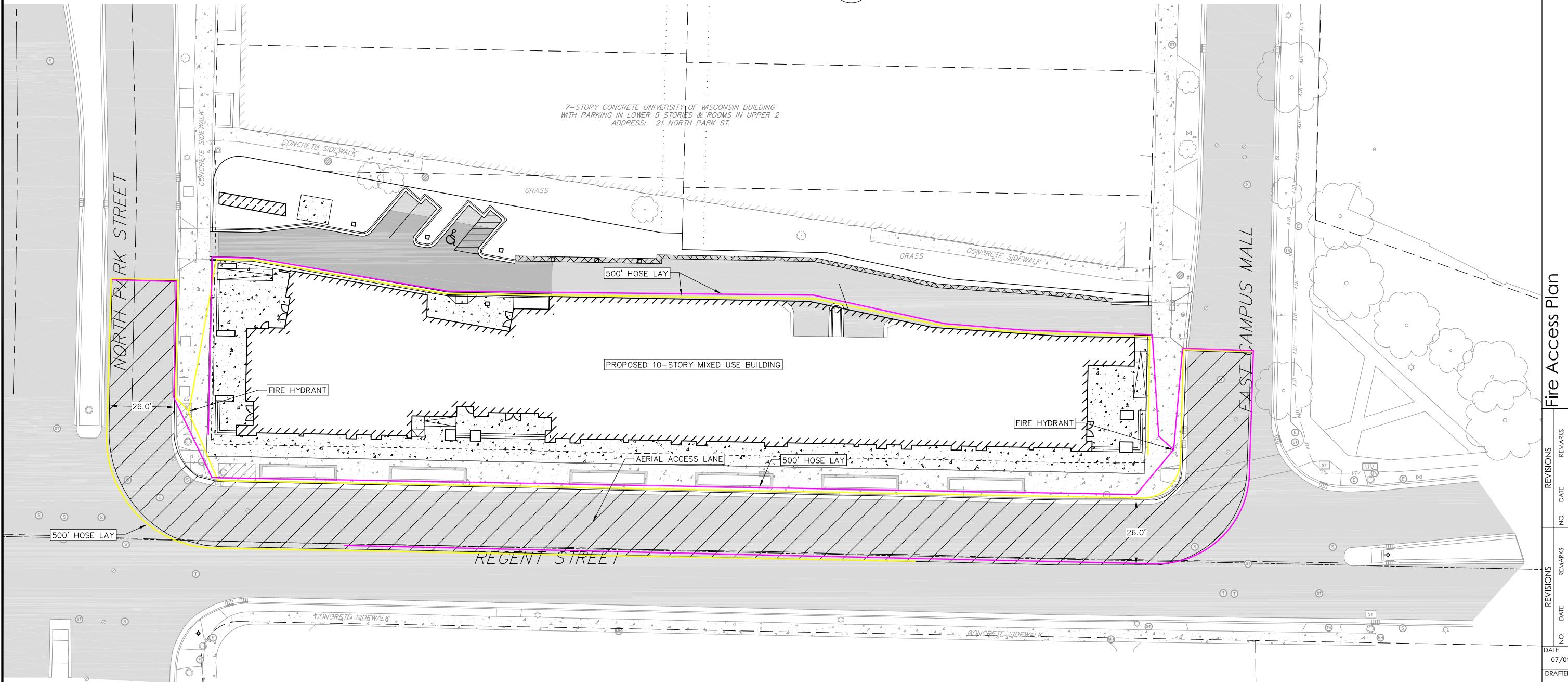




SITE PLAN LEGEND	
PROPERTY BOUNDARY	
CURB AND GUTTER (REVERSE CURB HATCHED)	
PROPOSED CONCRETE	
PROPOSED ASPHALT OVER LOWER LEVEL (SEE ARCHITECTURAL PLANS)	
PROPOSED ASPHALT	
PROPOSED SIGN	



1 REGENT STREET SECTION  
NOT TO SCALE



Fire Access Plan  
Park & Regent Apartments  
City of Madison  
Dane County, Wisconsin

REVISIONS	REVISIONS	REVISIONS
NO.	DATE	REMARKS

DATE  
07/01/2022  
DRAFTER  
ZDRE  
CHECKED  
JUL  
PROJECT NO.  
200332

C-4

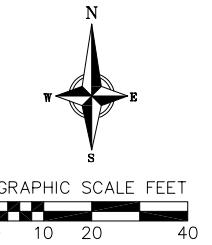
**GRADING LEGEND**

- 820 — EXISTING MAJOR CONTOURS
- 818 — EXISTING MINOR CONTOURS
- (820) — PROPOSED MAJOR CONTOURS
- (818) — PROPOSED MINOR CONTOURS
- □ — SILT FENCE
- - - - DISTURBED LIMITS
- DRAINAGE DIRECTION
- 2.92% PROPOSED SLOPE ARROWS
- ⊕ 1048.61 EXISTING SPOT ELEVATIONS
- 1048.61 PROPOSED SPOT ELEVATIONS
- INLET PROTECTION
- TRACKING PAD
- DOWN HANICAP ACCESSIBLE SIDEWALK

<u>ABBREVIATIONS</u>	
TC	- TOP OF CURB
FF	- FINISHED FLOOR
FL	- FLOW LINE
SW	- TOP OF WALK
TW	- TOP OF WALL
EW	- EXTERIOR WALL

GRADING NO.

1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
2. ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
3. CROSS SLOPE OF SIDEWALKS SHALL BE 1.5% UNLESS OTHERWISE NOTED.
4. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
5. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
6. ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2.0% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
7. NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
8. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.

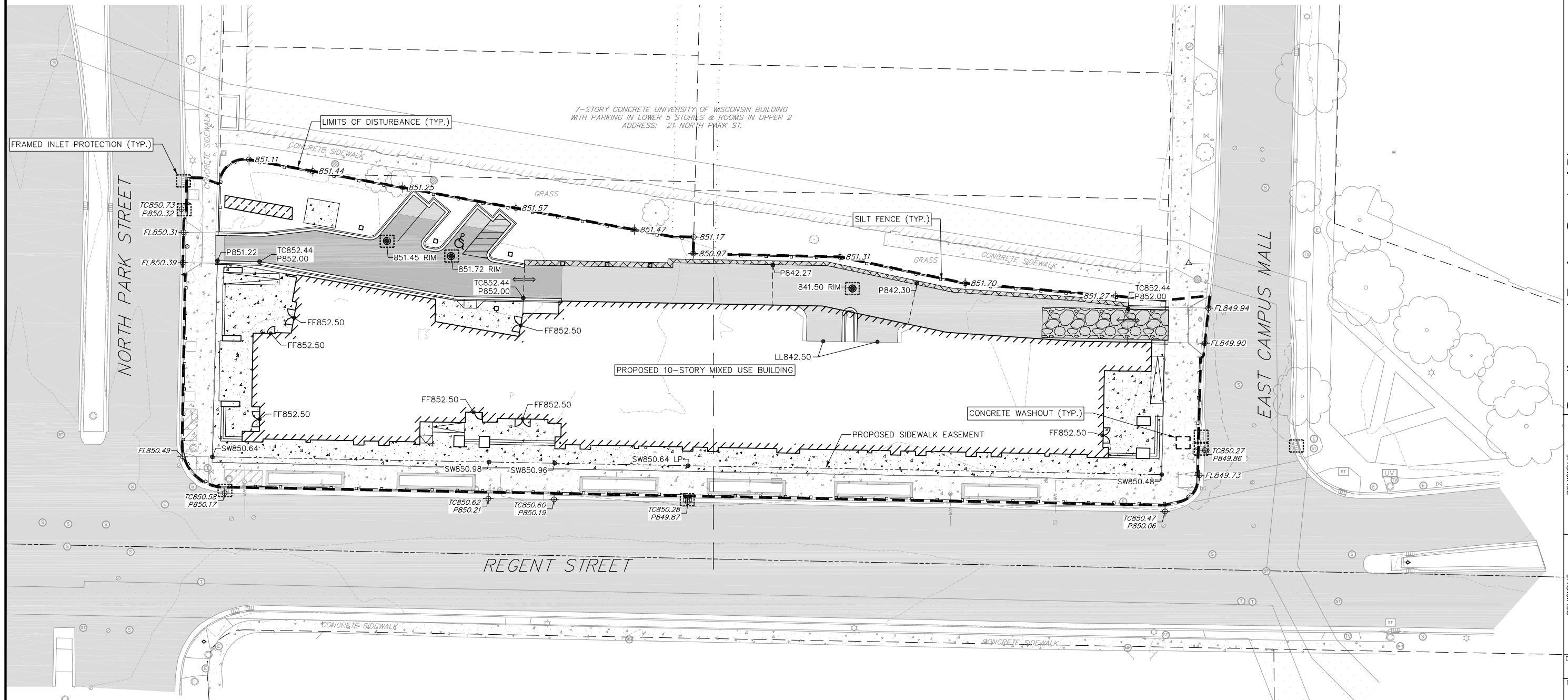


GRAPHIC SCALE FEET  
  
0 10 20 40

# Grading and Erosion Control Plan

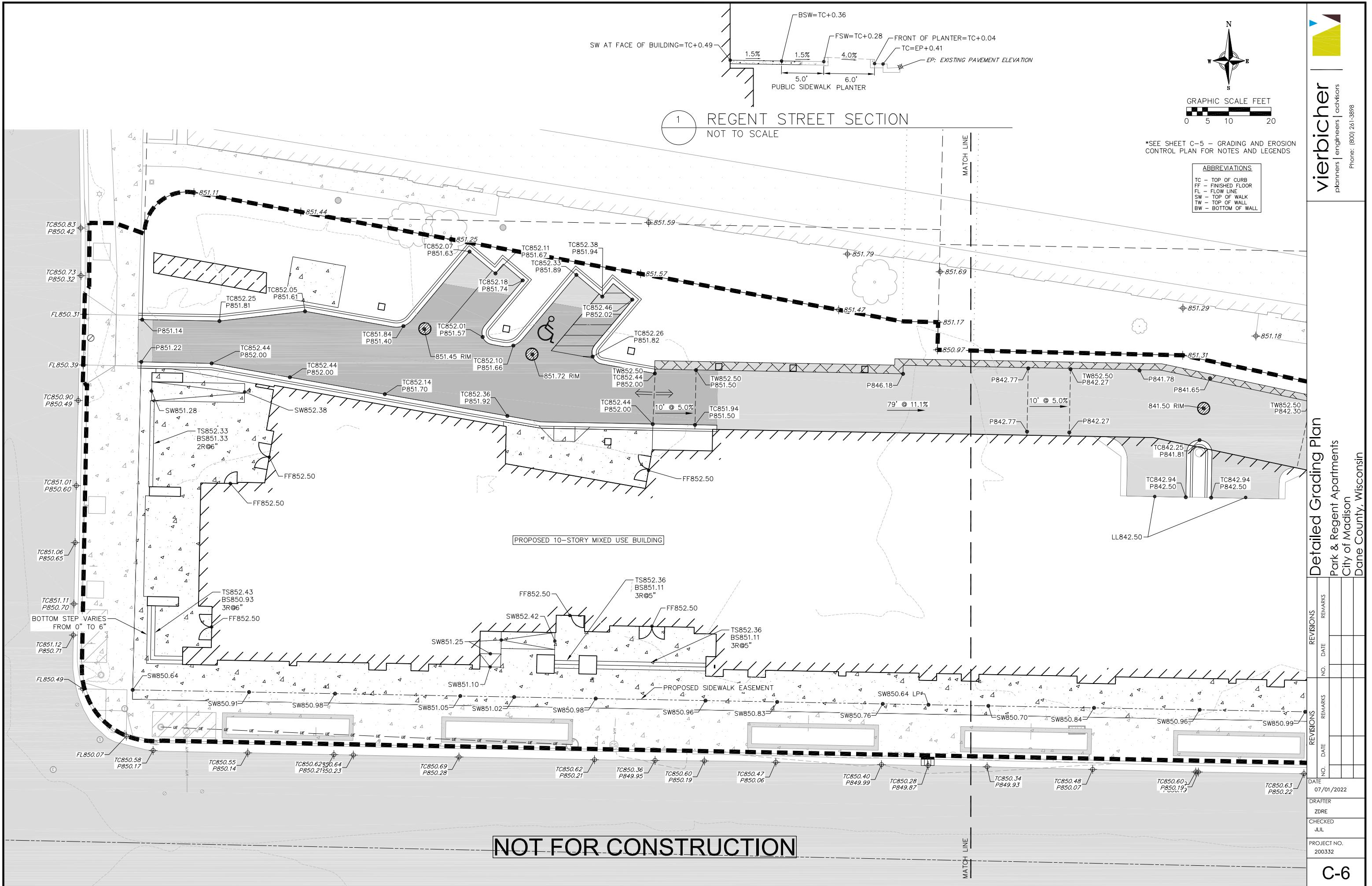
## Park & Regent Apartments

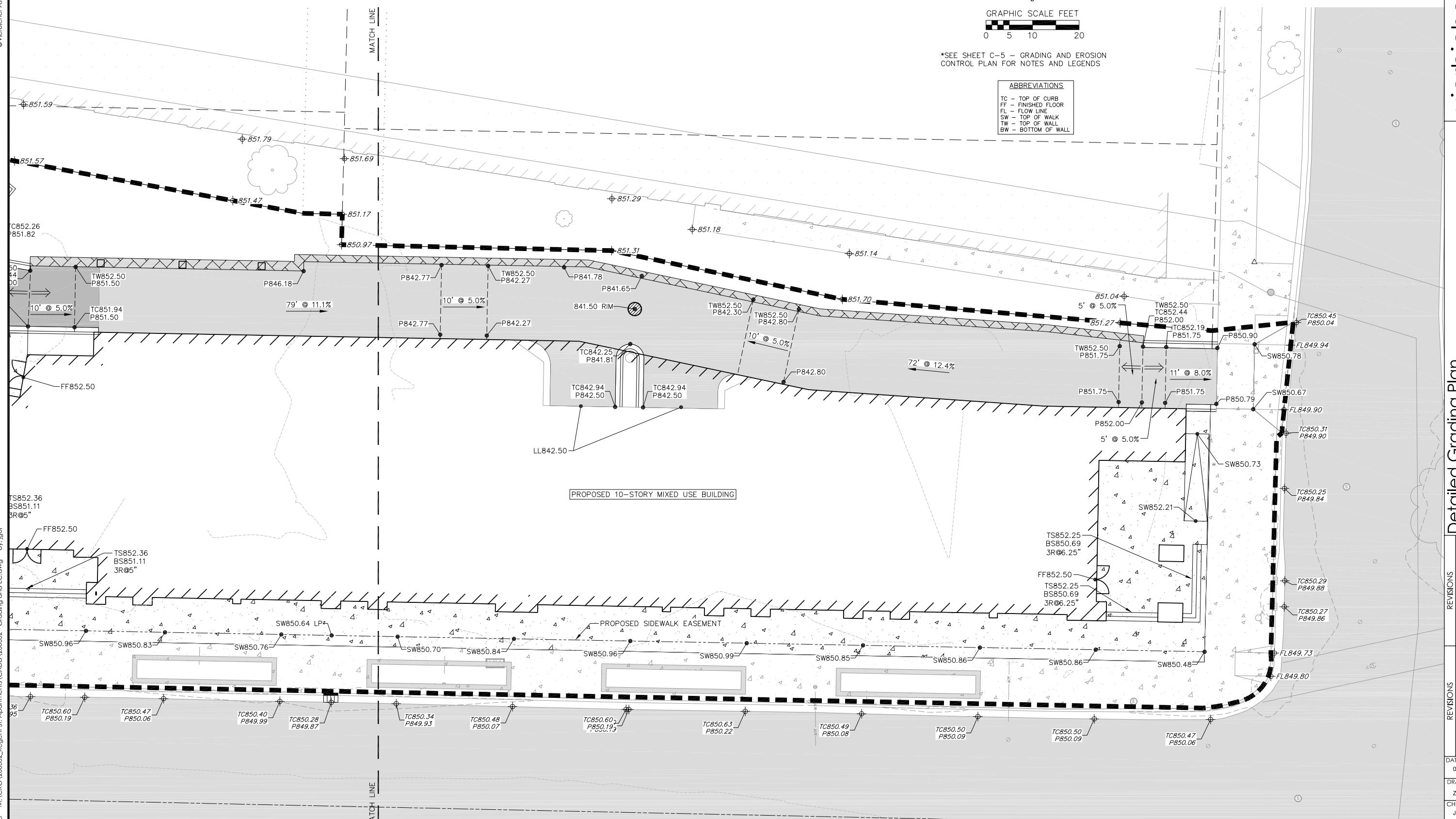
# Grading and Erosion Park & Regent Apartments City of Madison Dane County, Wisconsin

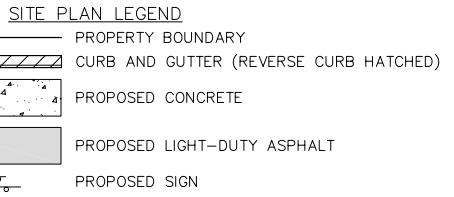


**NOT FOR CONSTRUCTION**

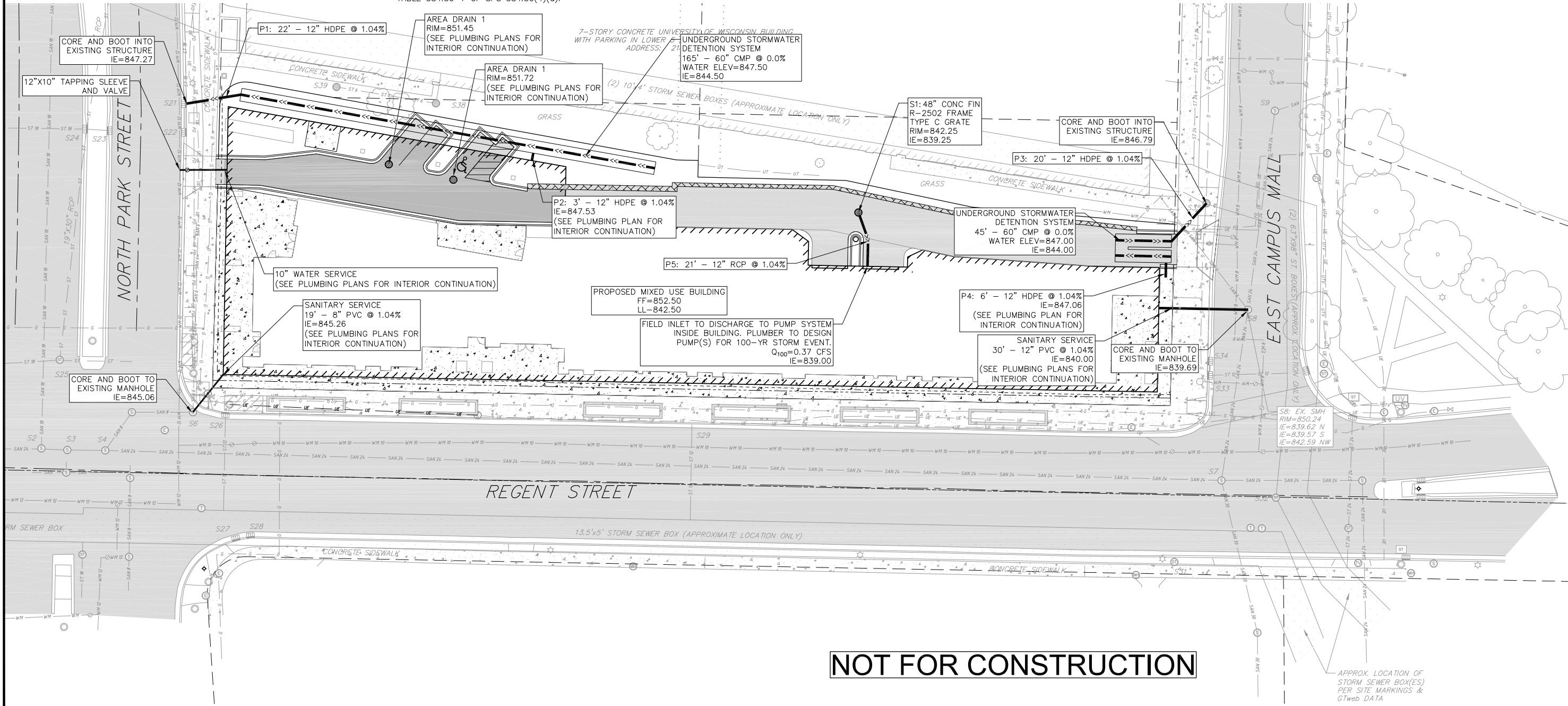
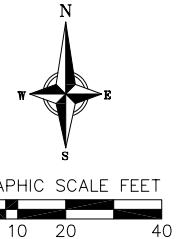
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**UTILITY NOTES:**

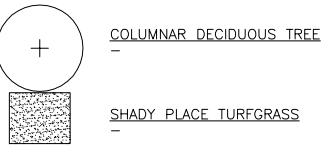
1. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
3. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
4. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
6. FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
7. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
8. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
9. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
10. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
11. UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
12. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
13. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
14. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).
15. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b).
16. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
17. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
18. CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES
19. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
20. SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 26. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 35.
21. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
22. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
23. INSTALL 1 SHEET OF 4'x8'x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.



## PLANT SCHEDULE

UNDERSTORY TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
AG	Amelanchier x grandiflora 'Robin Hill' / Robin Hill Apple Serviceberry	B & B	1.5" Cal	1
CA	Cornus alternifolia / Pagoda Dogwood	B & B	6" ht.	2
MC	Malus 'Cinzam' / Cinderella Dwarf Crabapple	Cont.	1.5" Cal	4
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Jb	Juniperus sabina 'Blue Forest' / Blue Forest Juniper	Cont.	5 Gal.	18
Te	Taxus x media 'Everlow' / Everlow Anglo-Japanese Yew	Cont.	5 Gal.	11
PERENNIALS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
at	Allium tanguticum 'Noneug' TM / Balloon Bouquet Globe Lily	Cont.	1 Gal.	36
au	Arctostaphylos uva-ursi / Kinnikinnick	Cont.	1 Gal.	42
ci	Callirhoe involucrata / Purple Poppymallow	Cont.	1 Gal.	28
cb	Cimicifuga racemosa 'Brunette' / Snakeroot	Cont.	1 Gal.	16
eb	Eryngium planum 'Blue Glitter' / Blue Glitter Sea Holly	Cont.	1 Gal.	36
ga	Geranium sanguineum 'Alpenglow' / Bloodred Geranium	Cont.	1 Gal.	51
haa	Hosta x 'Awakening Angel' / Awakening Angel Hosta	Cont.	1 Gal.	19
hf	Hosta x 'Fire Island' / Fire Island Hosta	Cont.	1 Gal.	16
ss	Schizachyrium scoparium / Little Bluestem	Cont.	1 Gal.	42
sh	Sporobolus heterolepis 'Tara' / Tara Dwarf Prairie Dropseed	Cont.	1 Gal.	116
GROUND COVERS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	SPACING QTY
	Vinca minor / Common Periwinkle	flat	2" x 2" x 4" plug	12" o.c. 1,001

## STREET TREE & SEEDING SCHEDULE\*



\* STREET TREE LOCATIONS, SPECIES AND QUANTITIES TO BE DETERMINED IN COORDINATION WITH CITY FORESTER

PLANT MATERIAL NOTES:

1. ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
2. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
3. CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
4. ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.

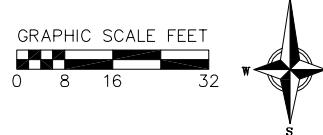
### LANDSCAPE MATERIAL NO.

1. CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION." PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEEDED/SODDED.
2. LANDSCAPE BEDS TO BE MULCHED WITH UNDYED SHREDDED HARDWOOD BARK MULCH TO 3" DEPTH MIN. AND EDGED WITH COMMERCIAL GRADE ALUMINUM LANDSCAPE EDGING,

**SEEDING NOTE:**

1. ALL DISTURBED AREAS, UNLESS OTHERWISE NOTED, TO BE SEDED WITH 'MADISON PARKS' MIX BY 'LACROSSE SEED COMPANY' OR EQUIVALENT, PER MANUFACTURER'S SPECIFIED APPLICATION RATES. ALL SEDED AREAS ARE TO BE WATERED DAILY TO MAINTAIN ADEQUATE SOIL MOISTURE FOR PROPER GERMINATION. AFTER VIGOROUS GROWTH IS ESTABLISHED, APPLY  $2^{\prime \prime}$  WATER TWICE WEEKLY UNTIL FINAL ACCEPTANCE.

City of Madison Landscape Worksheet						
Address:	NE Corner Park & Regent Sts	Date:	07.01.2022			
Total Square Footage of Developed Area:		35,023	-	15,965	=	19058 sf
		(Site Area)		(Building Footprint at Grade)		
Total Landscape Points Required (<5 ac):		19,058	/ 100 =	191	x 1 =	191
Landscape Points Required >5 ac:			/ 100 =	0	x 1 =	-
		Credits/ Existing Landscaping		New/ Proposed Landscaping		
Plant Type/ Element	Min. Size at Installation	Points	Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2.5" cal	35		0		0
Tall Evergreen Tree	5-6 feet tall	35		0		0
Ornamental tree	1.5" cal	15		0	3	45
Upright evergreen shrub	3-4 feet tall	10		0		0
Shrub, deciduous	#3 gallon	3		0		0
Shrub, evergreen	#3 gallon	4		0	11	44
Ornamental grasses/perennials	#1 gallon	2		0	52	104
Ornamental/decorative fencing or wall	n/a	4 per 10 LF		0		0
Existing significant specimen tree	Min. Size 2.5" cal.	14 per caliper inch.		0		0
Landscape Furniture for public seating and/or transit connections		5 points per "seat"		0		0
<b>Sub Totals</b>				0		193



**Landscape Plan**  
Park & Regent Apartments  
City of Madison  
Dane County, Wisconsin

**REVISIONS**

REVISIONS	REMARKS	NO.	DATE	REMARKS

**DATE**  
07/01/2022

**DRAFTER**  
SVIN

**CHECKED**  
JLIL

**PROJECT NO.**  
200332

**NOT FOR CONSTRUCTION**

**SHEET L1.1**

**SHEET L1.2**

**REGENT STREET**

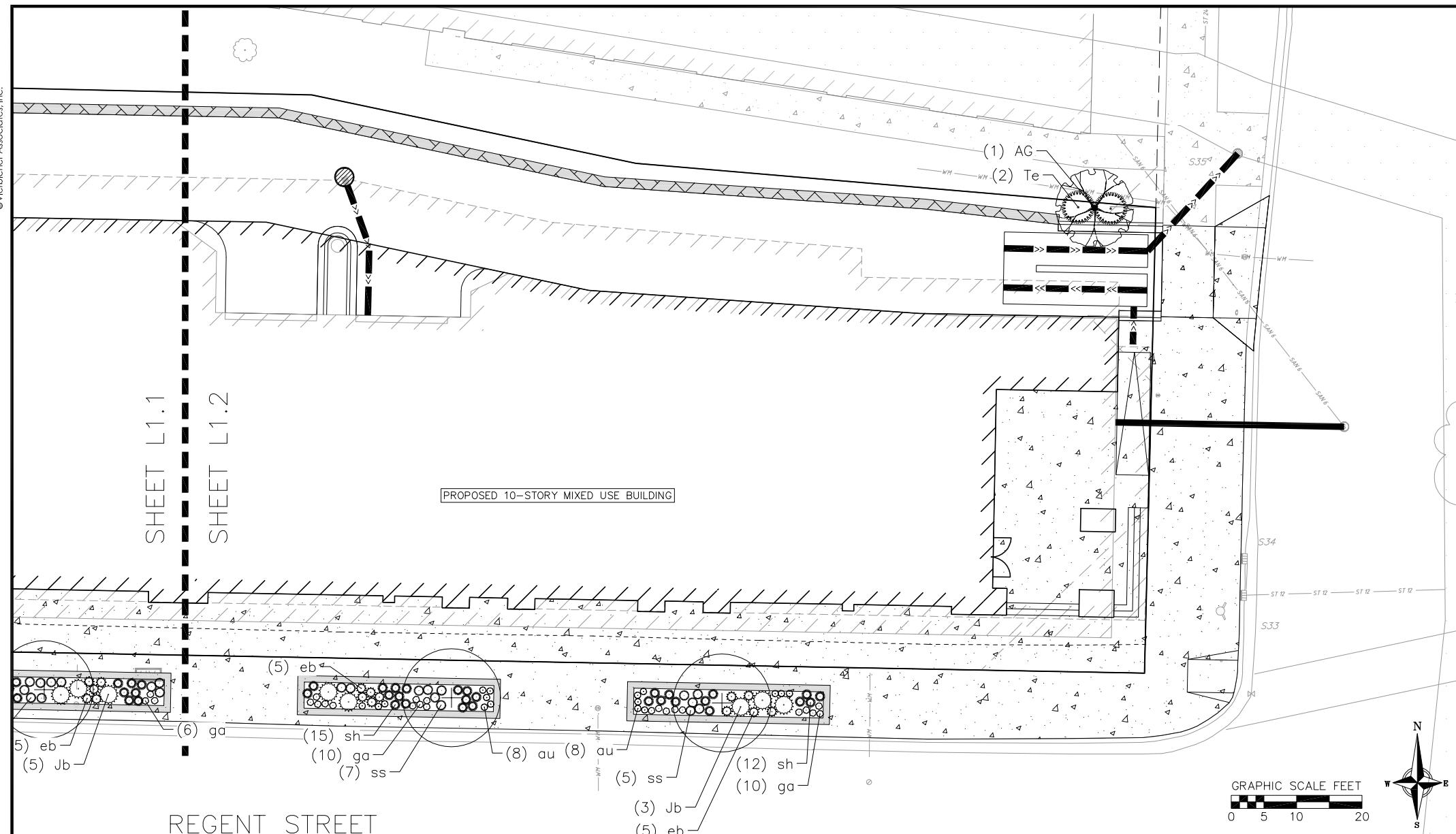
**SOUTH PARK STREET**

**PROPOSED 10-STORY MIXED USE BUILDING**

**NOT FOR CONSTRUCTION**

L1

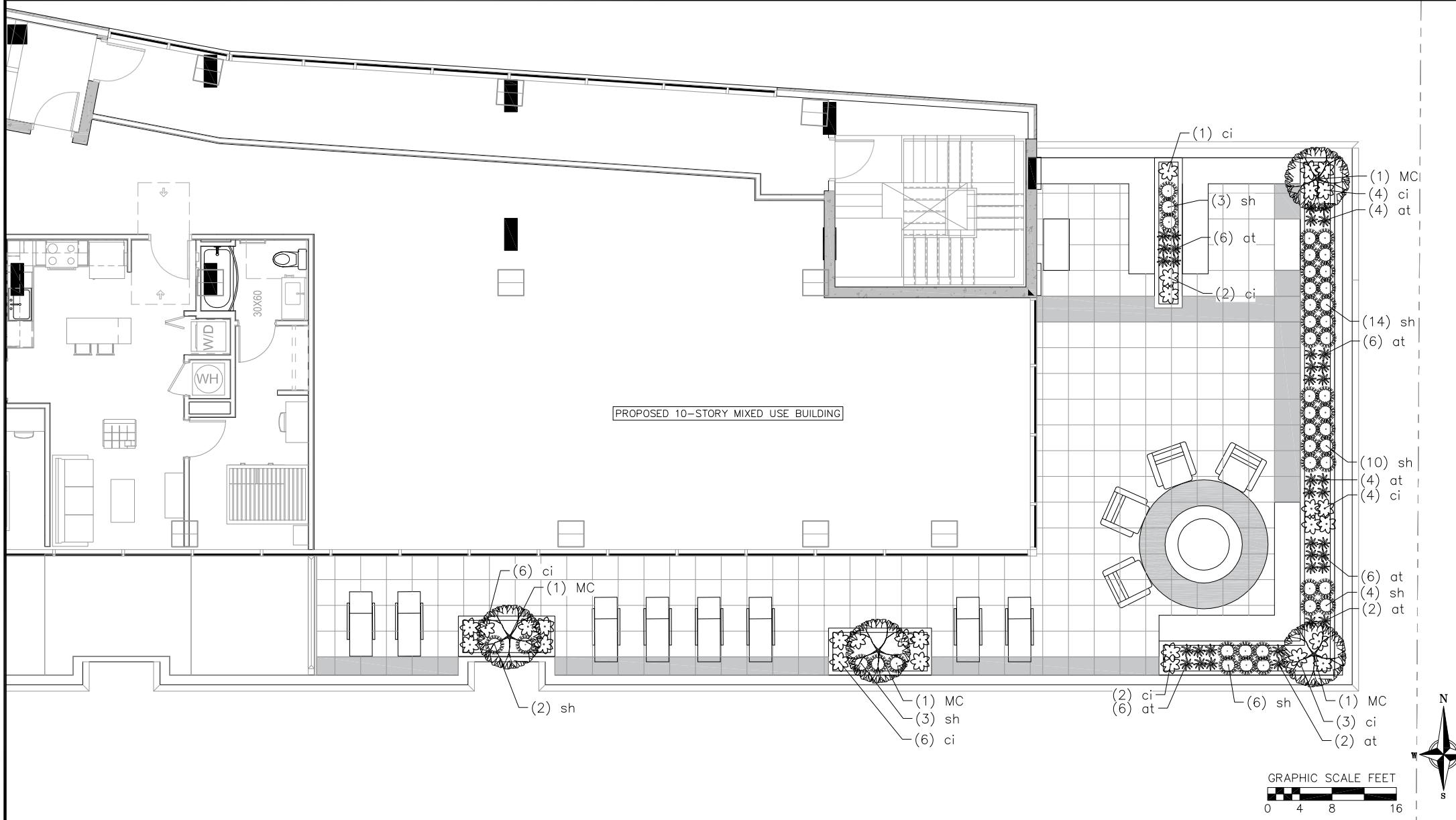




## PLANT SCHEDULE

UNDERSTORY TREES	BOTANICAL / COMMON NAME		
AG	Amelanchier x grandiflora 'Robin Hill'	/ Robin Hill Apple	Serviceberry
CA	Cornus alternifolia	/ Pagoda	Dogwood
MC	Malus 'Cinzam'	/ Cinderella	Dwarf Crabapple
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME		
Jb	Juniperus sabina 'Blue Forest'	/ Blue Forest Juniper	
Te	Taxus x media 'Everlow'	/ Everlow	Anglo-Japanese Yew
PERENNIALS	BOTANICAL / COMMON NAME		
at	Allium tenuigatum 'Noneua'	TM /	Balloon Bouquet Globe Lily
au	Arctostaphylos uva-ursi	/	Kinnikinnick
ci	Collomia involucrata	/	Purple Poppymallow
cb	Cimicifuga racemosa 'Brunette'	/	Snakeroot
eb	Eryngium planum 'Blue Glitter'	/	Blue Glitter Sea Holly
ga	Geranium sanguineum 'Alpenglow'	/	Bloodred Geranium
haa	Hosta x 'Awakening Angel'	/	Awakening Angel Hosta
hf	Hosta x 'Fire Island'	/	Fire Island Hosta
ss	Schizachyrium scoparium	/	Little Bluestem
sh	Sporobolus heterolepis 'Tara'	/	Tara Dwarf Prairie Dropseed
GROUND COVERS	BOTANICAL / COMMON NAME		
		Vinca minor / Common Periwinkle	

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## PLANT SCHEDULE ROOF DECK

<u>UNDERSTORY TREES</u>	<u>BOTANICAL / COMMON NAME</u>	<u>ROOT COND.</u>	<u>SIZE</u>	<u>QTY</u>
MC	Malus 'Cinbam' / Cinderella Dwarf Crabapple	Cont.	1.5" Cal	4
<u>PERENNIALS</u>	<u>BOTANICAL / COMMON NAME</u>	<u>ROOT COND.</u>	<u>SIZE</u>	<u>QTY</u>
at	Allium tanguticum 'Noneue' TM / Balloon Bouquet Globe Lily	Cont.	1 Gal.	36
ci	Callirhoe involucrata / Purple Poppymallow	Cont.	1 Gal.	28
sh	Sporobolus heterolepis 'Tara' / Tara Dwarf Prairie Dropseed	Cont.	1 Gal.	42

**NOT FOR CONSTRUCTION**

L4