



Location
5317 Wayne Terrace

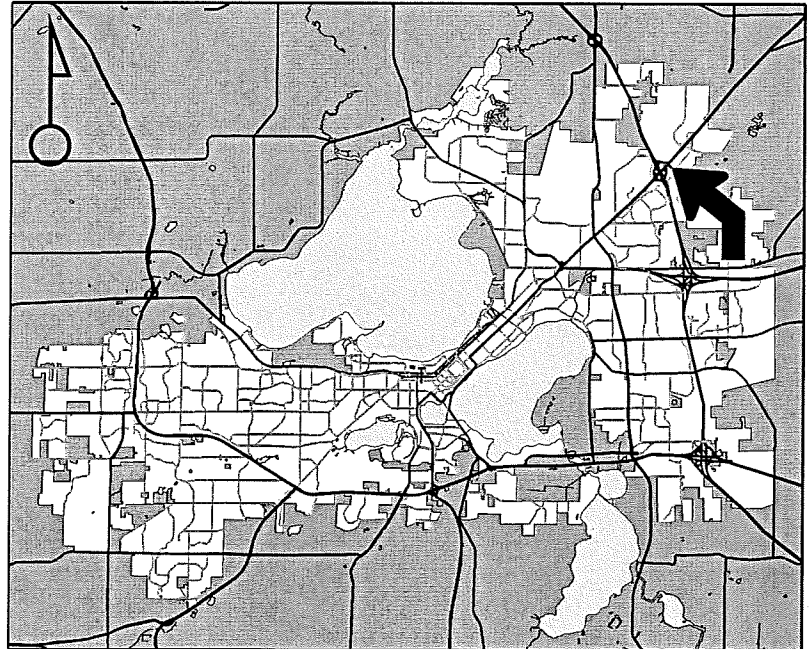
Project Name
Gates Auto Body

Applicant
T&T Investment Properties, LLC/
Ron Klaas – D'Onofrio Kotke & Assoc.

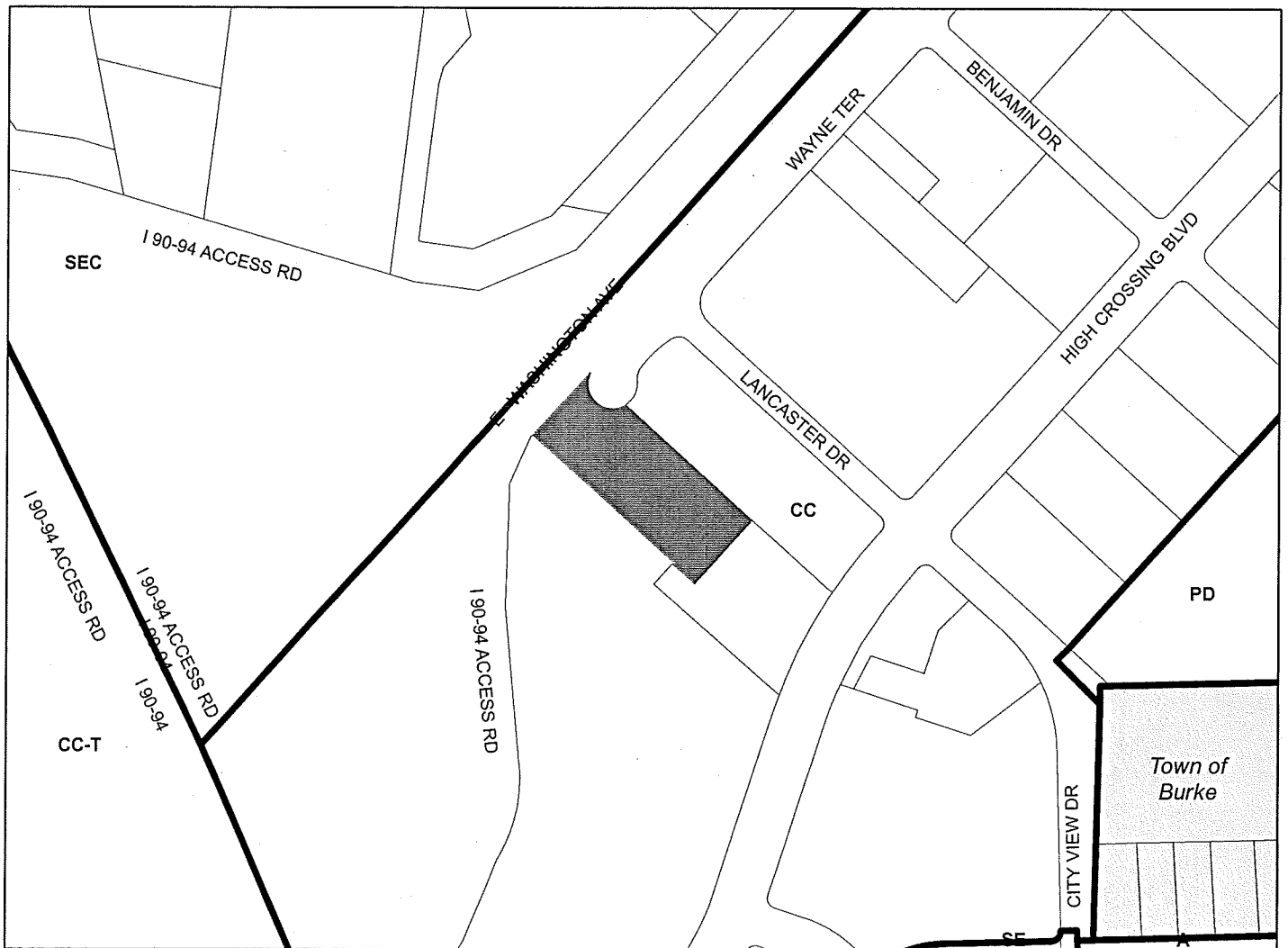
Existing Use
Commercial buildings

Proposed Use
Demolish commercial buildings to
construct second building for auto
body shop

Public Hearing Date
Plan Commission
23 May 2016



For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 16 May 2016

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LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

| FOR OFFICE USE ONLY: | |
|--|--|
| Amt. Paid _____ | Receipt No. _____ |
| Date Received <u>3/23/14</u> | |
| Received By <u>JFK</u> | |
| Parcel No. <u>0810-224-0304-2</u> | |
| Aldermanic District <u>17-Sama Baldeh</u> | |
| Zoning District <u>CC</u> | |
| Special Requirements <u>OK</u> | |
| Review Required By: | |
| <input type="checkbox"/> Urban Design Commission | <input type="checkbox"/> Plan Commission |
| <input type="checkbox"/> Common Council | <input type="checkbox"/> Other: _____ |

Form Effective: February 21, 2013

1. **Project Address:** 5317 Wayne Terrace
Project Title (if any): Gates Auto Body

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Ron Klaas **Company:** D'Onofrio, Kottke & Associates, Inc.
Street Address: 7530 Westward Way **City/State:** Madison, WI **Zip:** 53717
Telephone: (608) 833-7530 **Fax:** (833) 833-1089 **Email:** rklaas@donofrio.cc

Project Contact Person: Ron Klaas **Company:** D'Onofrio, Kottke & Associates, Inc.
Street Address: 7530 Westward Way **City/State:** Madison, WI **Zip:** 53717
Telephone: (608) 833-7530 **Fax:** (608) 833-1089 **Email:** rklaas@donofrio.cc

Property Owner (if not applicant): T & T Investment Properties LLC
Street Address: 5317 Wayne Terrace **City/State:** Madison, WI **Zip:** 53718

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: Demolition of the cheese barn, expansion of the existing parking lot, and addition of 2 buildings. One building is to be constructed immediately, and the other to be constructed in the future.

Development Schedule: Commencement Late Spring 2016 Completion Fall 2016

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5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:
Alder: Samba Baldeh 02-16-16, Zoning: Matt Tucker: 02-16-16, Planning: Tim Parks 02-16-16

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Tim Parks Date: 02-16-16 Zoning Staff: Matt Tucker Date: 02-16-16

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Ron Klaas Relationship to Property: Civil Engineer

Authorizing Signature of Property Owner Ronald R Klaas Date 3-23-16 10

OWNER AUTHORIZATION LETTER

As the owner of Gates Auto Body, I authorize Ronald R. Klaas, an employee of D'Onofrio, Kottke & Associates, Inc. to act as my agent for the proposed building project on Wayne Terrace.



Signature

4-12-2016
Date

March 23, 2016

Department of Planning and Community & Economic Development
Attn: Matt Tucker & Tim Parks
215 Martin Luther King Jr. Blvd.
Madison, WI 53710

Re: Gates Auto Body – 5311-5317 Wayne Terrace -Letter of intent

Dear Matt and Tim,

Gates Auto Body would like to demolish the existing “cheese barns” and silos at 5311 Wayne Terrace and construct a new 10,835 square foot building that would serve as a customer drop off point with estimating bays and service stalls. Customers would also get their loaner car from this location under the canopy. The building could potentially have a tenant space as well in a related business. This new building would work in conjunction with the existing building shown on the site plan. The main function of the existing building would continue as a body shop but would no longer be a drop off point for customers. Both buildings are owned by Gates, but we would still like each building to be on its own lot with the appropriate cross easements in place, allowing for access to either lot if one lot is sold to another party.

Along with the land use application, we have attached the following documents:

1. Site Plan
2. Grading and Erosion Control Plan
3. Utility Plan
4. Landscape Plan
5. Building elevations and floor plan
6. Photos of the existing buildings to be demolished

Our project team consists of:

- D'Onofrio, Kottke & Associates – site engineering and landscape design
- Sullivan DesignBUILD – architect and general contractor

Hours of operation would be 7:30 am – 7:00 pm weekdays, 7:30 am until 3:00 pm Saturdays, closed Sundays.

We hope to demolish the barns this spring and immediately begin construction of the new building, with a projection completion date of the fall of 2016.

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Please contact us with any questions.

Sincerely,
D'Onofrio, Kottke & Associates, Inc.

Ronald R. Klaas

Ronald R. Klaas, P.E.





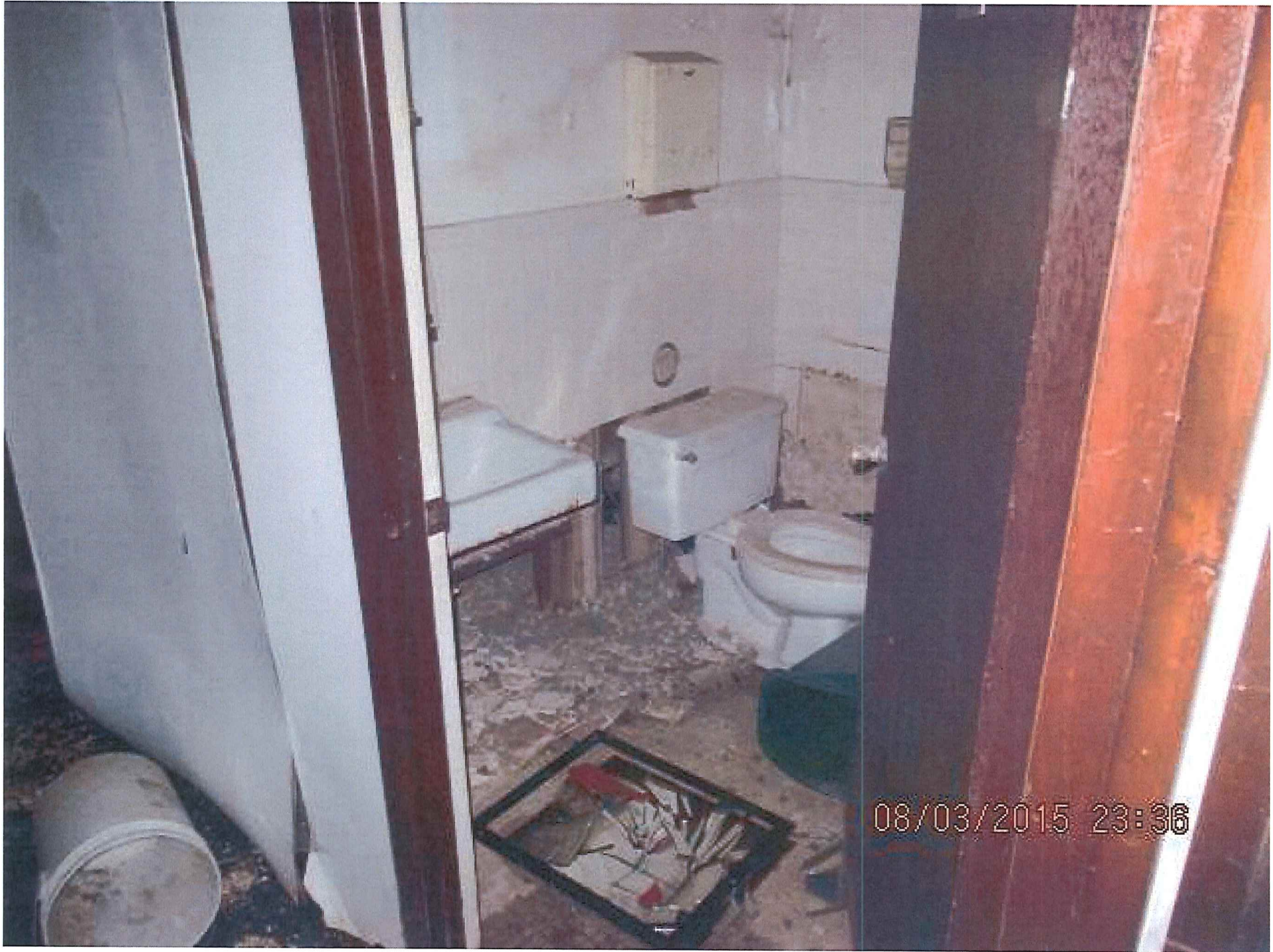


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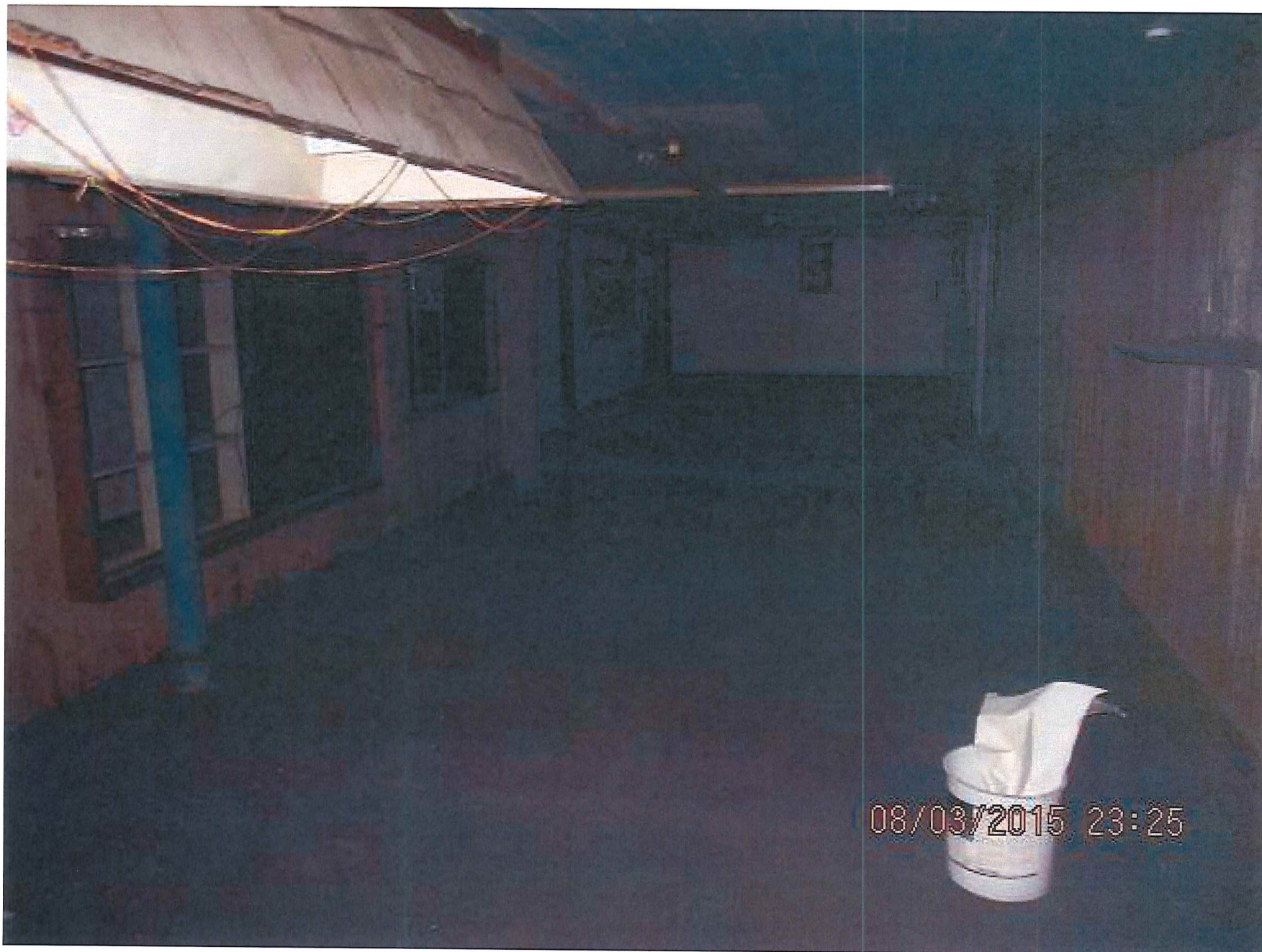


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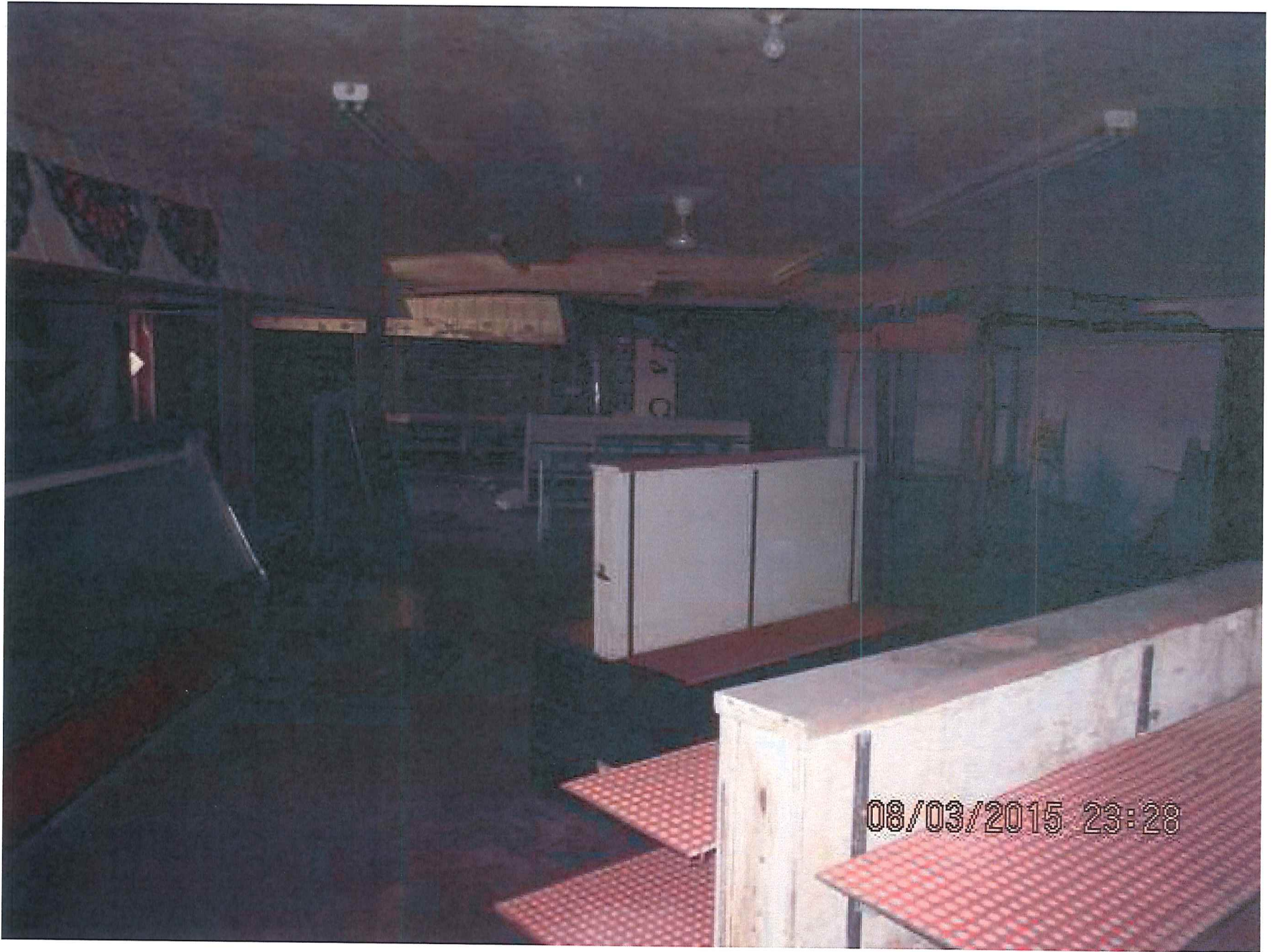


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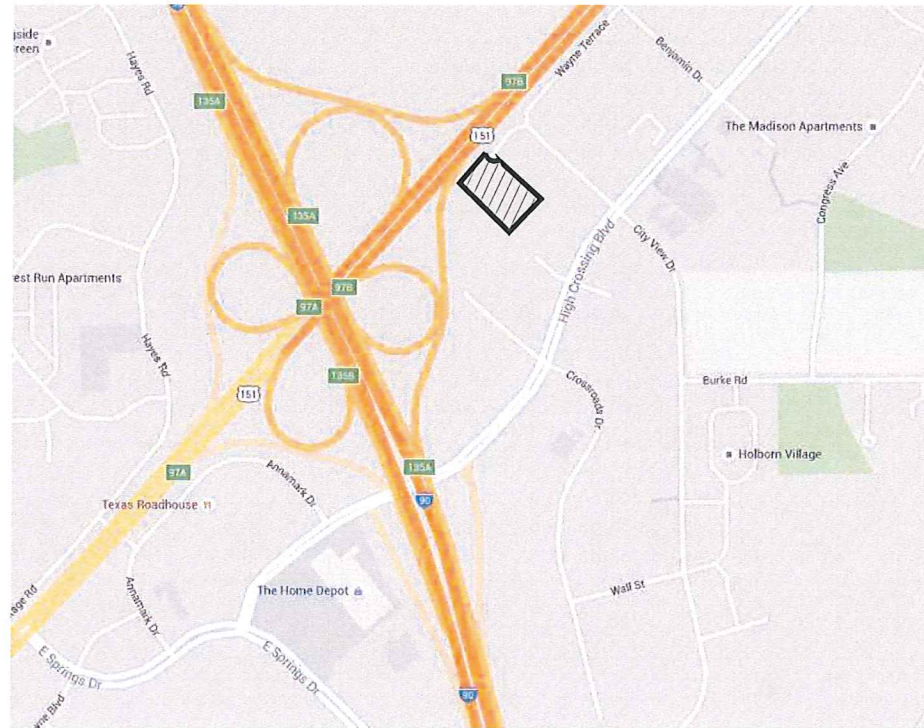







GATES AUTO BODY

CITY OF MADISON DANE COUNTY, WISCONSIN



PROJECT LOCATION

| Sheet List Table | |
|------------------|----------------------------------|
| SHEET NUMBER | SHEET TITLE |
| C 100 | COVER |
| C 101 | EXISTING CONDITIONS PLAN |
| C 102 | SITE PLAN |
| C 103 | GRADING AND EROSION CONTROL PLAN |
| C 104 | UTILITY PLAN |
| L 100 | LANDSCAPE PLAN |
| C 105 | DETAILS & TYPICAL SECTIONS |


D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
 7530 Westward Way, Madison, WI 53717
 Phone: 608.833.7530 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

FN: 15-05-132

ISSUE DATE: 03-23-16

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COVER
GATES AUTO BODY
 CITY OF MADISON, DANE COUNTY, WISCONSIN

DATE: 03-23-16
 REVISED:

 DRAWN BY: NGO
 FN: 15-05-132
 Sheet Number:
C 100

EXISTING CONDITIONS PLAN

GATES AUTO BODY

5317 WAYNE TERRACE
 CITY OF MADISON, DANE COUNTY



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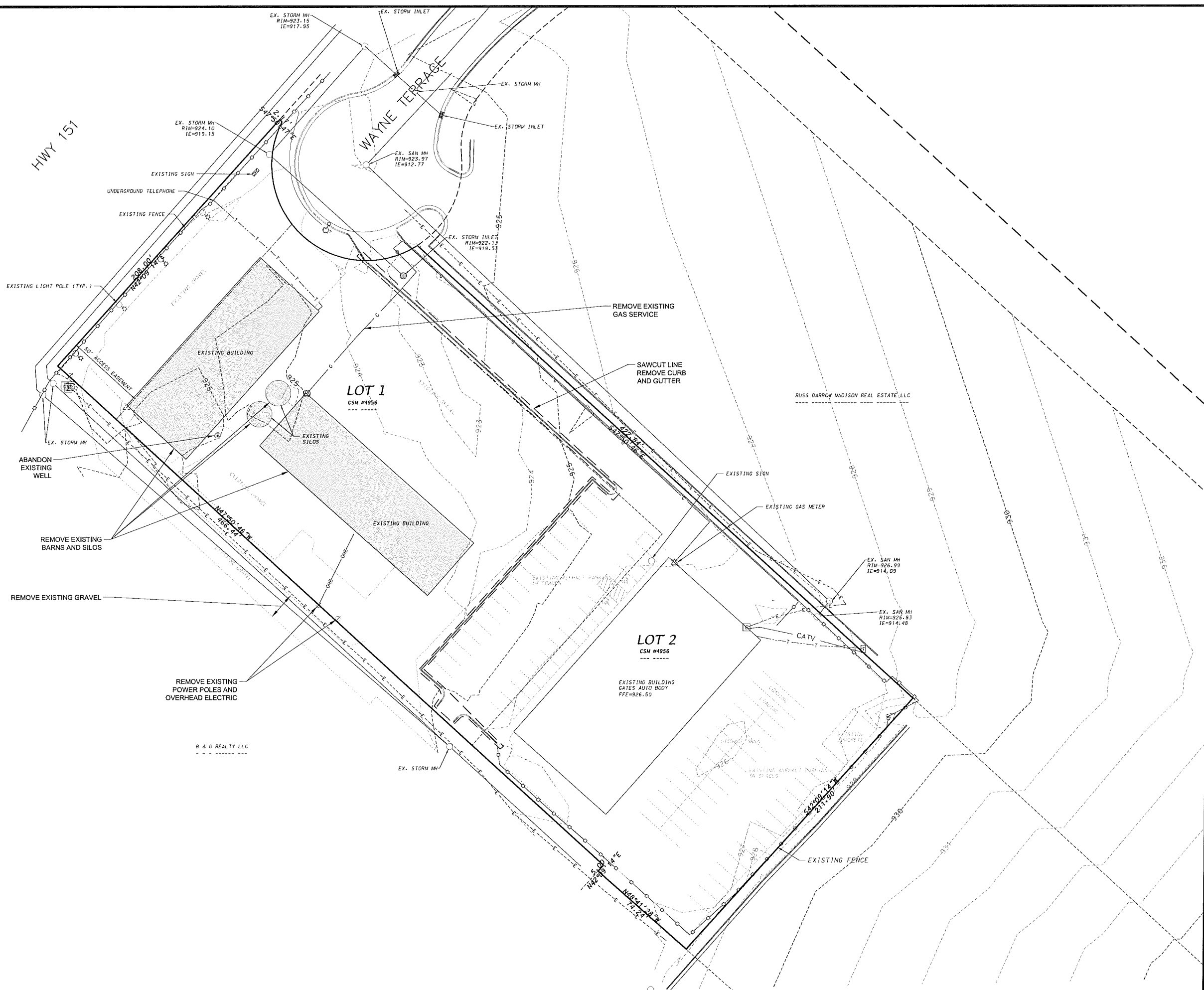
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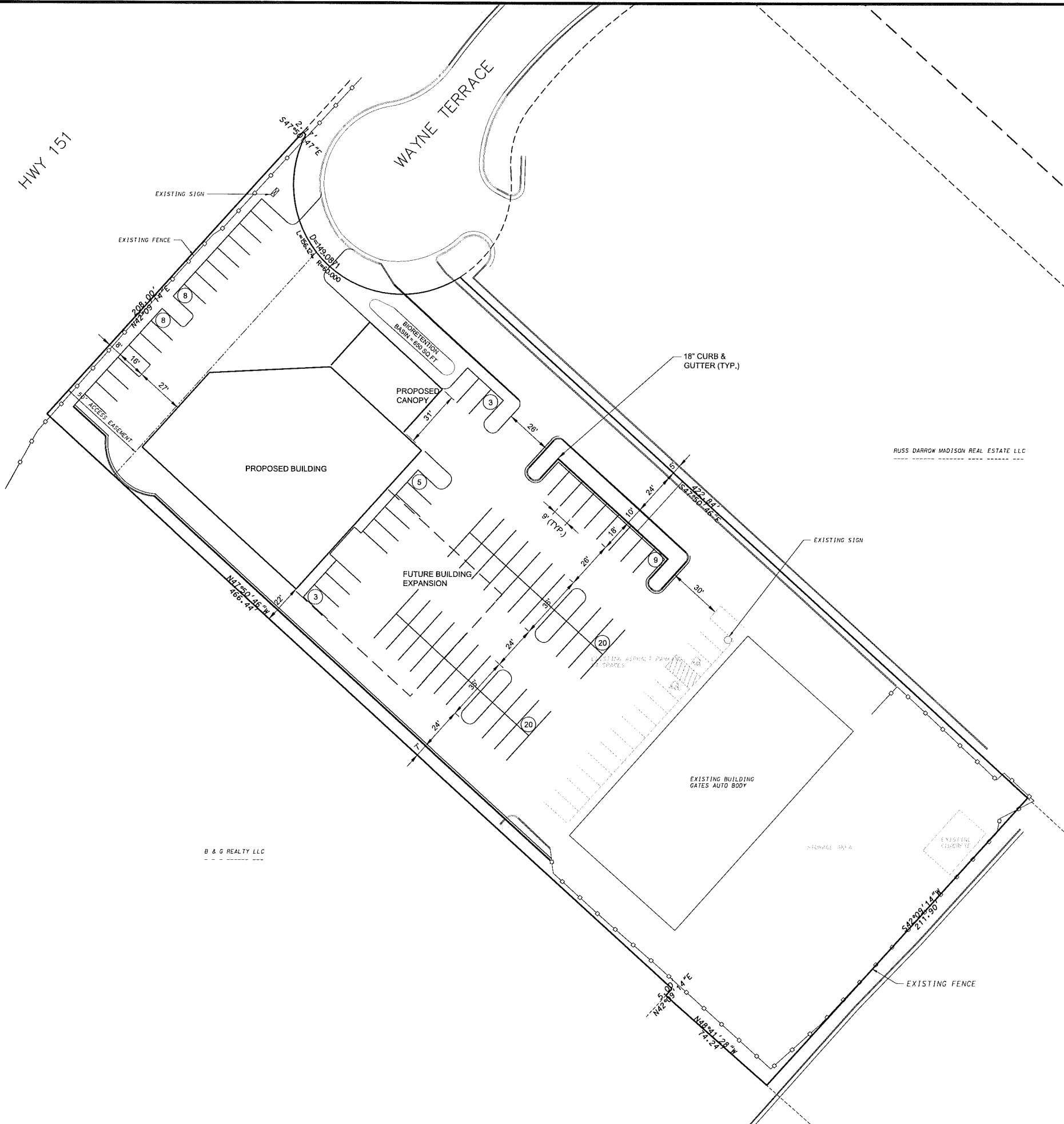
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FN: 15-05-132

Sheet Number:

C 101







- GENERAL NOTES:
1. ALL SITE WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
 2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
 3. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
 4. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED
 5. PARCELS SUBJECT TO JOINT DRIVEWAY, PEDESTRIAN ACCESS, AND CROSS PARKING AGREEMENT.
 6. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION

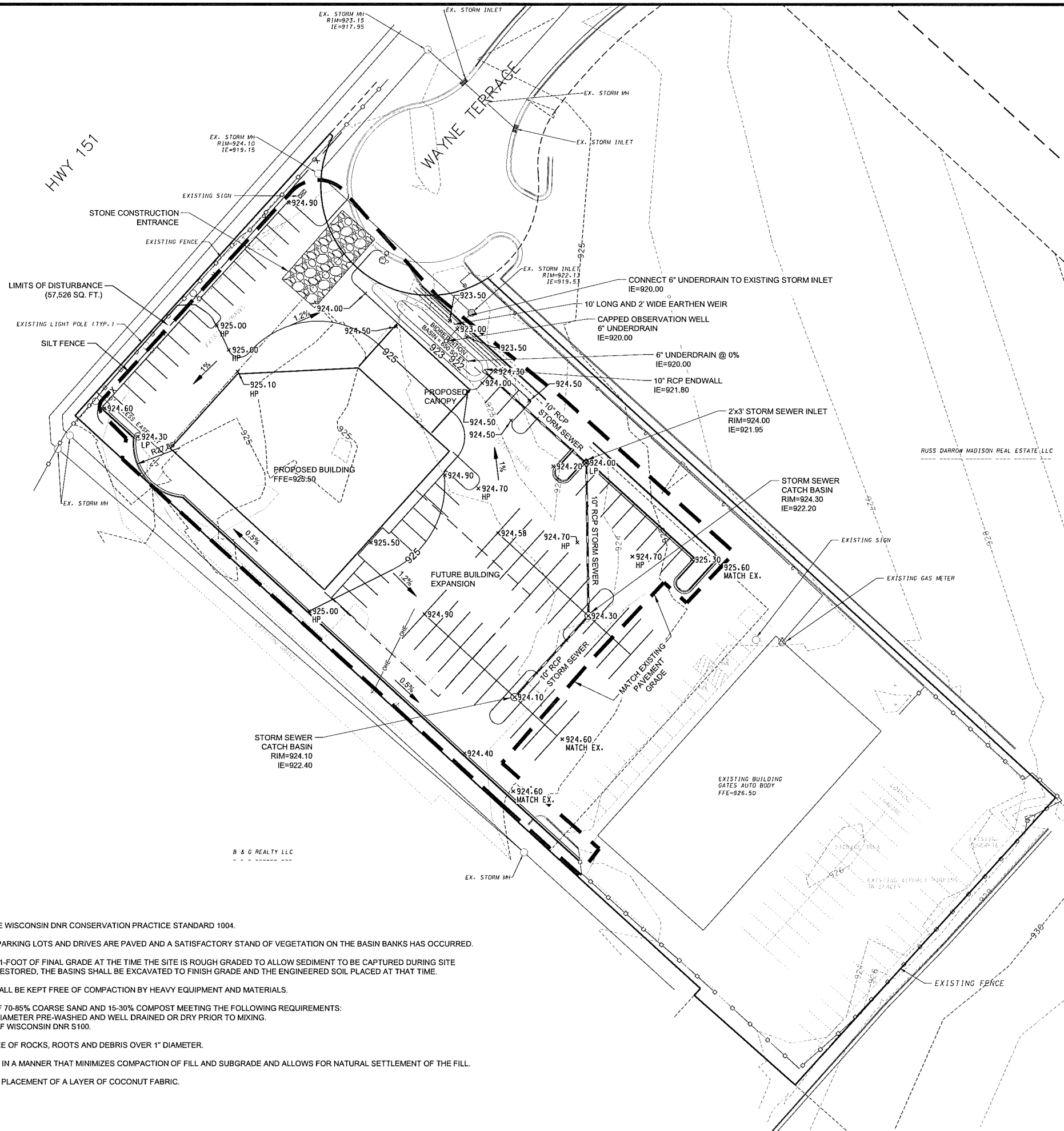
| SITE PLAN INFORMATION BLOCK 5317 WAYNE TERRACE | |
|---|------------|
| PROJECT AREA | 109,028 SF |
| EXISTING BUILDING AREA | 11,500 SF |
| PROPOSED BUILDING AREA | 19,114 SF |
| PROPOSED TOTAL IMPERVIOUS | 96,115 SF |
| NUMBER OF EXISTING SURFACE PARKING STALLS | 14 |
| NUMBER OF ADDITIONAL SURFACE PARKING STALLS | 76 |
| NUMBER OF ACCESSIBLE STALLS | 2 |
| TOTAL NUMBER OF STALLS | 90 |
| LOT COVERAGE | 88% |

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SITE PLAN
GATES AUTO BODY
 5317 WAYNE TERRACE
 CITY OF MADISON, DANE COUNTY


 SCALE: 1" = 60'
 (PAGE SIZE: 11x17)

 DATE: 03-23-16
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C 102



EROSION CONTROL NOTES:

1. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN.
2. EROSION CONTROL MEASURES SHALL BE INSTALLED PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
3. EROSION CONTROL IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. EROSION CONTROL MEASURES AS SHOWN ON THE APPROVED PLAN SHALL BE CONSIDERED MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING EROSION PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES.
4. INSPECTIONS, REPORTING AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE PER THE CITY OF MADISON REQUIREMENTS (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
5. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2' OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
6. NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE OR DOWNSTREAM OF SILT FENCE.
7. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
8. INSTALL INLET PROTECTION IN ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS. CITY OF MADISON TYPE C.
9. ALL INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT PUBLIC THOROUGHFARES SHALL BE CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
10. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
11. ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 6" OF TOPSOIL, FERTILIZER, SEED AND MULCH. SEED MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1000 SQFT ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 1 1/2 POUNDS PER 1000 SQFT SHALL BE ADDED TO THE MIXTURE. FERTILIZER SHALL BE PLACED PER A SOIL TEST. THE INFILTRATION AREA SHALL BE SEEDED WITH A SEED MIX TOLERANT OF FLUCTUATING WATER CONDITIONS.
12. DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDNR STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.
13. ADDITIONAL EROSION CONTROL MEASURES AS REQUESTED BY THE DNR, CITY'S ENGINEER OR THE OWNER'S REPRESENTATIVE SHALL BE INSTALLED WITHIN 24 HRS.
14. ANY CHANGES TO THIS EROSION CONTROL PLAN MUST BE APPROVED BY THE CITY OF MADISON

BIORETENTION NOTES:

- A. THE BASINS SHALL BE CONSTRUCTED PER THE WISCONSIN DNR CONSERVATION PRACTICE STANDARD 1004.
- B. THE BASINS SHALL BE INSTALLED AFTER THE PARKING LOTS AND DRIVES ARE PAVED AND A SATISFACTORY STAND OF VEGETATION ON THE BASIN BANKS HAS OCCURRED.
- C. THE BASINS SHALL BE EXCAVATED TO WITHIN 1-FOOT OF FINAL GRADE AT THE TIME THE SITE IS ROUGH GRADED TO ALLOW SEDIMENT TO BE CAPTURED DURING SITE WORK. ONCE THE SITE IS PAVED AND BEING RESTORED, THE BASINS SHALL BE EXCAVATED TO FINISH GRADE AND THE ENGINEERED SOIL PLACED AT THAT TIME.
- D. DURING CONSTRUCTION THE BASIN AREAS SHALL BE KEPT FREE OF COMPACTION BY HEAVY EQUIPMENT AND MATERIALS.
- E. THE ENGINEERED FILL SHALL BE A MIXTURE OF 70-85% COARSE SAND AND 15-30% COMPOST MEETING THE FOLLOWING REQUIREMENTS:
 SAND - USDA COARSE SAND 0.02 TO 0.04 INCH DIAMETER PRE-WASHED AND WELL DRAINED OR DRY PRIOR TO MIXING.
 COMPOST - SHALL MEET THE REQUIREMENTS OF WISCONSIN DNR S100.
- F. THE ENGINEERED SOIL MIXTURE SHALL BE FREE OF ROCKS, ROOTS AND DEBRIS OVER 1" DIAMETER.
- G. CONTRACTOR SHALL PLACE ENGINEERED FILL IN A MANNER THAT MINIMIZES COMPACTION OF FILL AND SUBGRADE AND ALLOWS FOR NATURAL SETTLEMENT OF THE FILL.
- H. RESTORATION OF THE BASINS SHALL INCLUDE PLACEMENT OF A LAYER OF COCONUT FABRIC.

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GRADING AND EROSION CONTROL PLAN

GATES AUTO BODY

5317 WAYNE TERRACE
 CITY OF MADISON, DANE COUNTY



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 (PAGE SIZE: 11x17)

DATE: 03-23-16
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FN: 15-05-132

Sheet Number:
C 103

UTILITY PLAN

GATES AUTO BODY

5317 WAYNE TERRACE
 CITY OF MADISON, DANE COUNTY



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 (PAGE SIZE: 11x17)

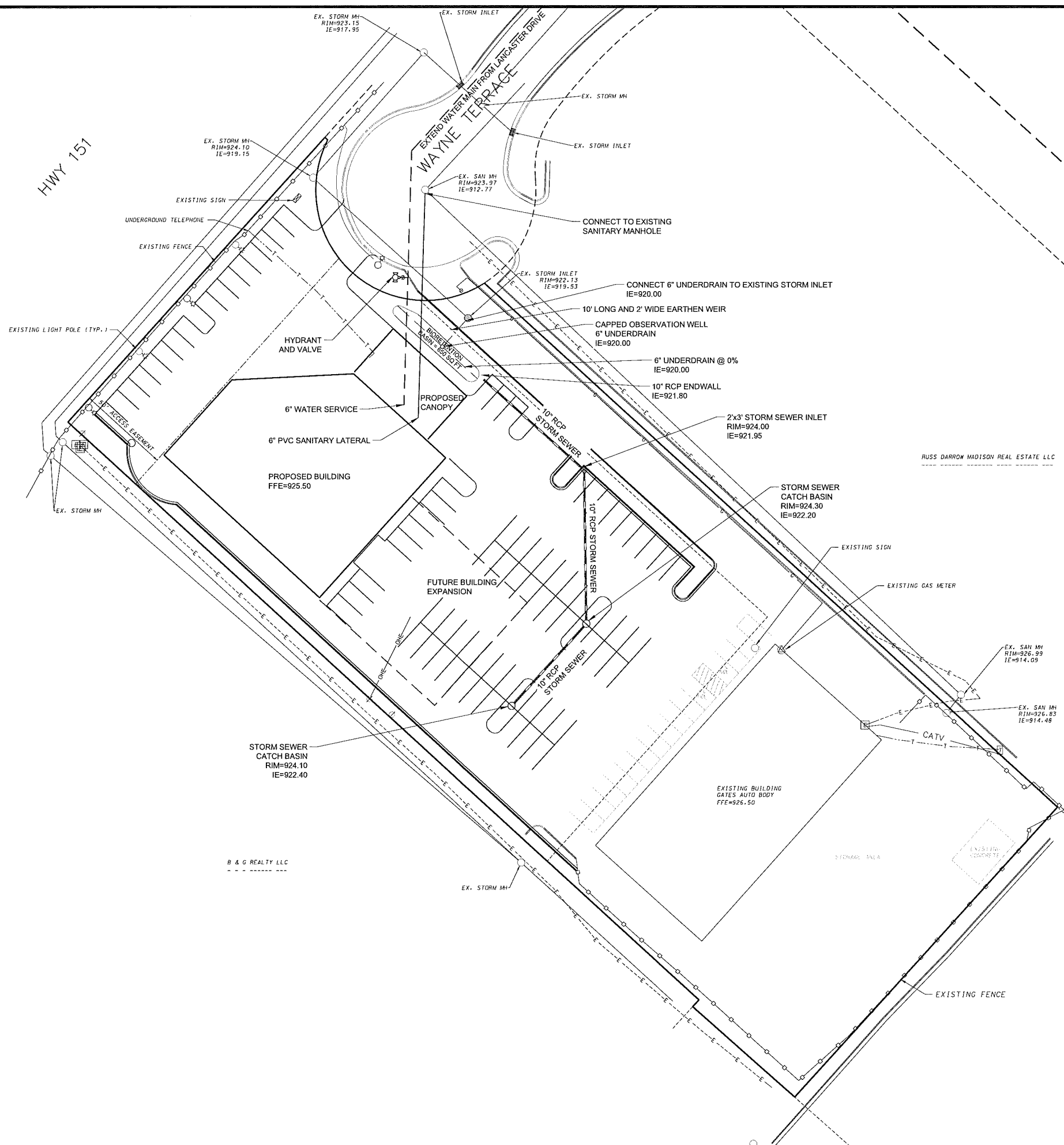
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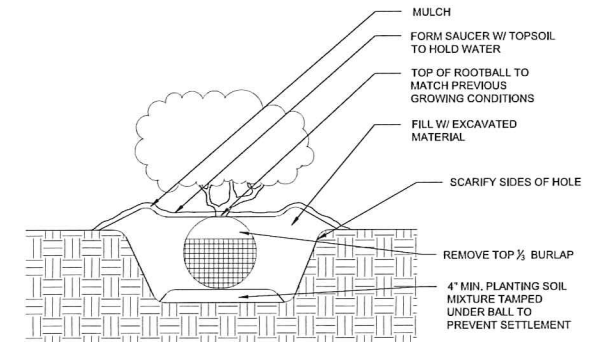


PLANT SCHEDULE

| CODE | SCIENTIFIC NAME | COMMON NAME | QTY | PTS PER PLANT | SUB-TOTAL | SIZE | ROOT COND | NOTES |
|----------------------------------|-------------------------------------|--------------------------------|---------------|---------------|---------------|----------|-----------|-----------|
| OVERSTORY DECIDUOUS TREES | | | | | | | | |
| AFC | Acer x freemanii 'Celtani' | Celebration Maple | 2 | 35 | 70 | 2.5" | B&B | |
| COP | Celtis occidentalis 'Prairie Pride' | Prairie Pride Hackberry | 4 | 35 | 140 | 2.5" | B&B | |
| GBP | Ginkgo biloba 'Princeton Sentry' | Princeton Sentry Ginkgo | 3 | 35 | 105 | 2.5" | B&B | |
| GTS | Gleditsia triacanthos 'Shademaster' | Shademaster Honeylocust | 3 | 35 | 105 | 2.5" | B&B | |
| NSW | Nyssa sylvatica 'Wildfire' | Wildfire Sour Gum | 3 | 35 | 105 | 2.5" | B&B | |
| UXA | Ulmus x 'Accolade' | Accolade Elm | 2 | 35 | 70 | 2.5" | B&B | |
| ORNAMENTAL TREES | | | | | | | | |
| ACG | Amelanchier canadensis 'Glennform' | Rainbow Pillar Serviceberry | 9 | 15 | 135 | 6" TALL | B&B | MULTISTEM |
| CBF | Carpinus betulus 'Fastigiata' | Columnar Musclemwood | 6 | 15 | 90 | 6" TALL | B&B | MULTISTEM |
| SRI | Syringa reticulata 'Ivory Silk' | Ivory Silk Japanese Tree Lilac | 3 | 15 | 45 | 2.5" | B&B | |
| DECIDUOUS SHRUB | | | | | | | | |
| SXM | Spiraea x 'Magic Carpet' | Magic Carpet Spiraea | 8 | 3 | 24 | 12" TALL | POT | |
| WXD | Weigela x 'Dark Horse' | Dark Horse Weigela | 6 | 3 | 18 | 24" TALL | POT | |
| EVERGREEN SHRUB | | | | | | | | |
| JHI | Juniperus horizontalis 'Icee Blue' | Icee Blue Juniper | 9 | 4 | 36 | 3 GAL | POT | |
| | | | TOTAL: | 943 | POINTS | | | |

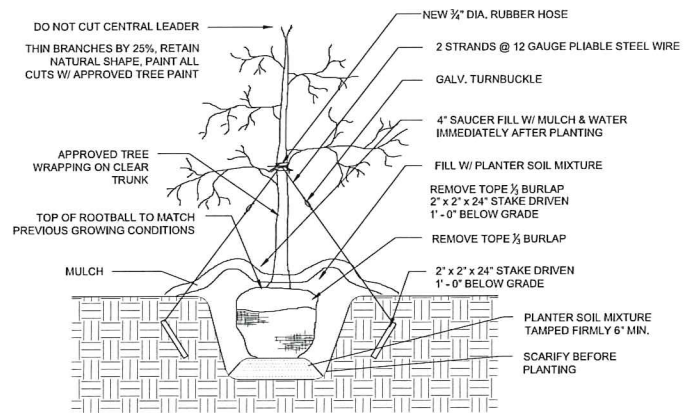
LANDSCAPE PLAN - GENERAL NOTES

- CONTACT DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK
- ALL LANDSCAPE BEDS SHALL CONTAIN A 3" DEPTH OF SHREDDED HARDWOOD MULCH CONTAINED BY LANDSCAPE EDGING UNLESS OTHERWISE NOTED
- LANDSCAPE EDGING SHALL BE 3/16" x 4" ALUMINUM EDGING
- ALL TREES IN TURF AREAS SHALL HAVE A 5' DIAMETER CIRCLE OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING
- LANDSCAPE BEDS SHALL HAVE A 6" MINIMUM COMPACTED DEPTH OF TOPSOIL
- ALL GENERAL LANDSCAPE AREAS SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TOPSOIL
- BIORETENTION PLANT MIX SHALL BE **RAINWATER RENEWAL GARDEN FOR SUNNY SITES** AS PROVIDED BY **AGRECOL** (WWW.AGRECOL.COM) - INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- LAWN SEED SHALL BE **MADISON PARKS** SEED MIX AS MANUFACTURED BY **LaCROSSE SEED, LLC** (WWW.LACROSSESEED.COM) - INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON ZONING ORDINANCE.



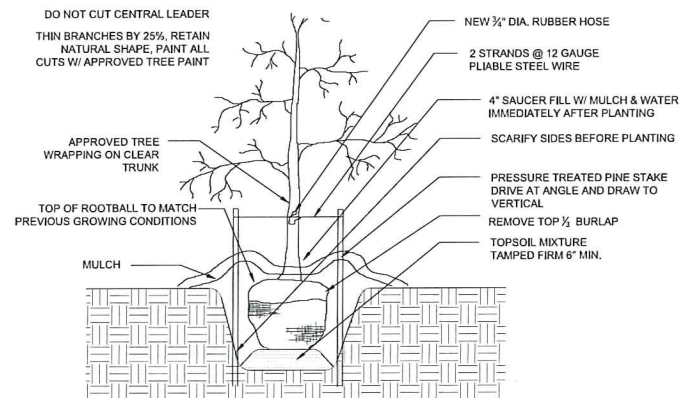
* SHRUBS OF SAME SPECIES TO BE MATCHED IN GROWTH AND UNIFORMITY.
* DO NOT PRUNE BEFORE ACCEPTANCE.

SHRUB PLANTING DETAIL



* TREES OF SAME SPECIES TO BE MATCHED IN GROWTH AND UNIFORMITY.
* PLANTING HOLE WIDTH SHALL BE THREE TIMES THE SIZE OF ROOTBALL.

TREE PLANTING DETAIL (TREES UNDER 2" CALIPER)



* PLANTING HOLE WIDTH SHALL BE THREE TIMES THE SIZE OF ROOTBALL.
* ONLY PRUNE BROKEN OR INJURED BRANCHES.
* TREES OF SAME SPECIES TO BE MATCHED IN GROWTH AND UNIFORMITY.

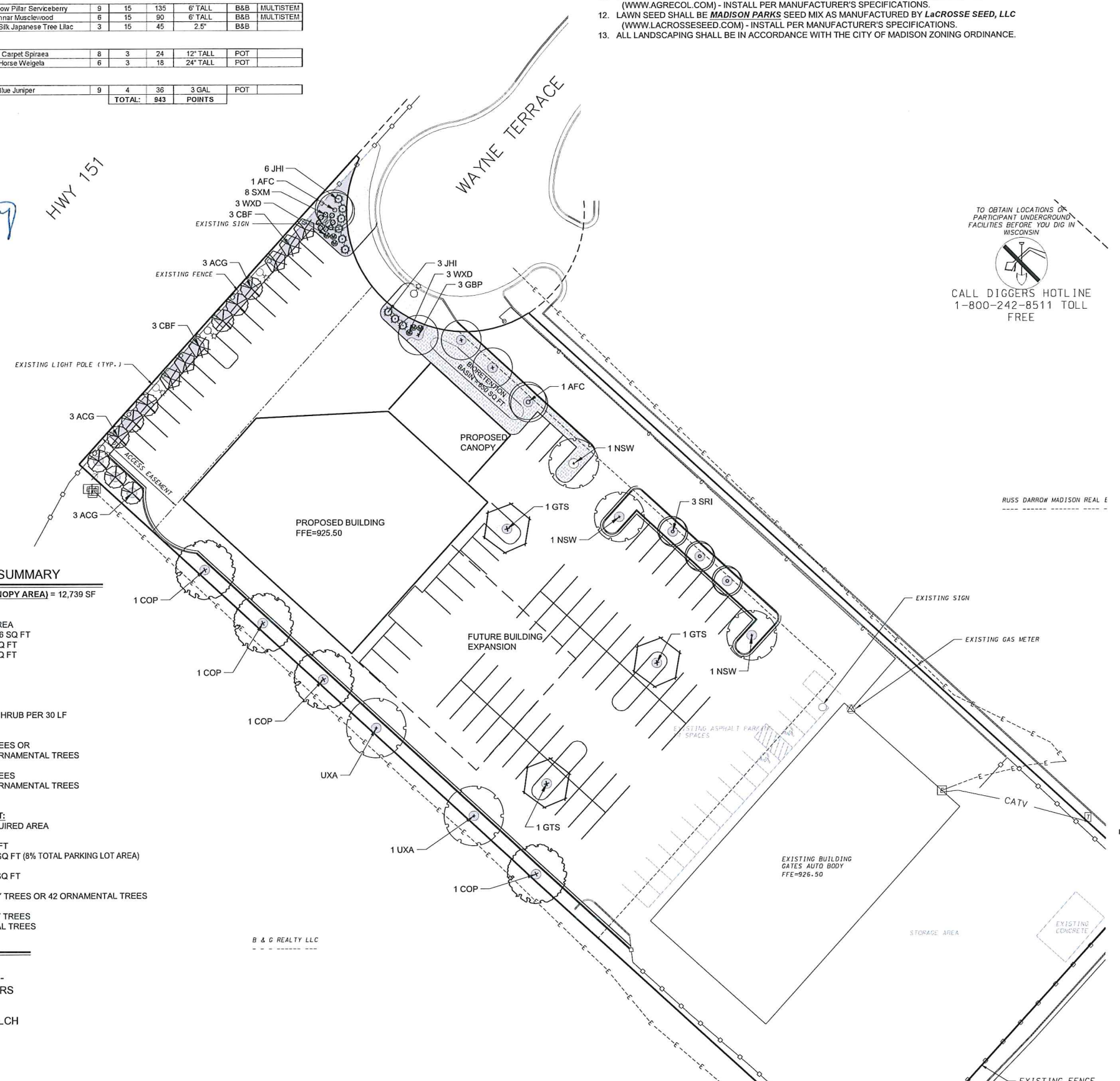
TREE PLANTING DETAIL (TREES OVER 2" CALIPER)

LANDSCAPE REQUIREMENTS SUMMARY

- PROPOSED BUILDING AREA (INCLUDES CANOPY AREA) = 12,739 SF**
- DEVELOPED AREA REQUIREMENT:**
 - 5 PTS PER 300 SQ FT OF DEVELOPED AREA
 - GROSS DEVELOPED AREA = 53,866 SQ FT
 - BUILDING FOOTPRINTS = 12,739 SQ FT
 - NET DEVELOPED AREA = 41,127 SQ FT
- POINTS REQUIRED = 686 POINTS**
POINTS PROVIDED = 943 POINTS
- STREET FRONTAGE REQUIREMENT:**
 - 1 OVERSTORY TREE OR 2 EVERGREEN & 5 SHRUB PER 30 LF
- WAYNE TERRACE FRONTAGE = 116 FT**
 - PLANTS REQUIRED = 4 OVERSTORY TREES OR 8 EVERGREEN / ORNAMENTAL TREES
 - 20 SHRUBS
 - PLANTS PROVIDED = 4 OVERSTORY TREES
 - 0 EVERGREEN / ORNAMENTAL TREES
 - 23 SHRUBS
- PARKING LOT LANDSCAPING REQUIREMENT:**
 - 1 OVERSTORY TREE PER 160 SQ FT OF REQUIRED AREA
 - TOTAL PARKING LOT AREA = 41,127 SQ FT
 - REQUIRED LANDSCAPED AREA = 3,291 SQ FT (8% TOTAL PARKING LOT AREA)
 - LANDSCAPED AREA PROVIDED = 4,902 SQ FT
 - PLANTS REQUIRED = 21 OVERSTORY TREES OR 42 ORNAMENTAL TREES
 - PLANTS PROVIDED = 13 OVERSTORY TREES
 - 18 ORNAMENTAL TREES

LANDSCAPE LEGEND

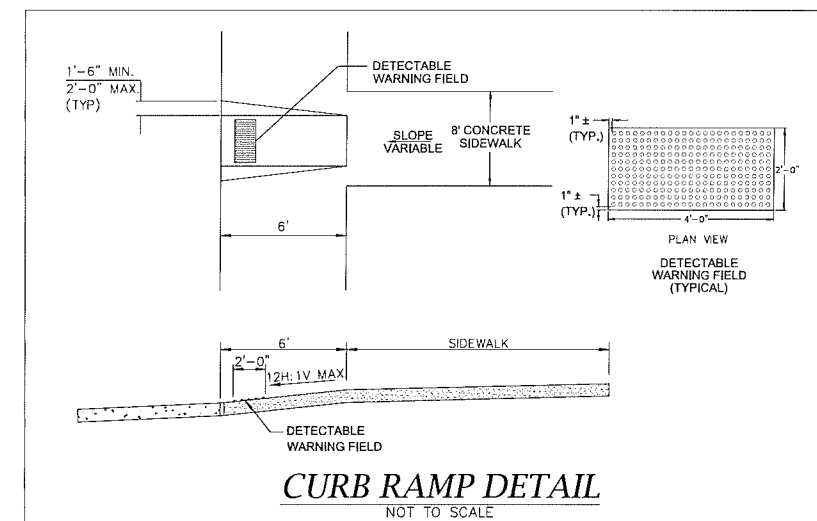
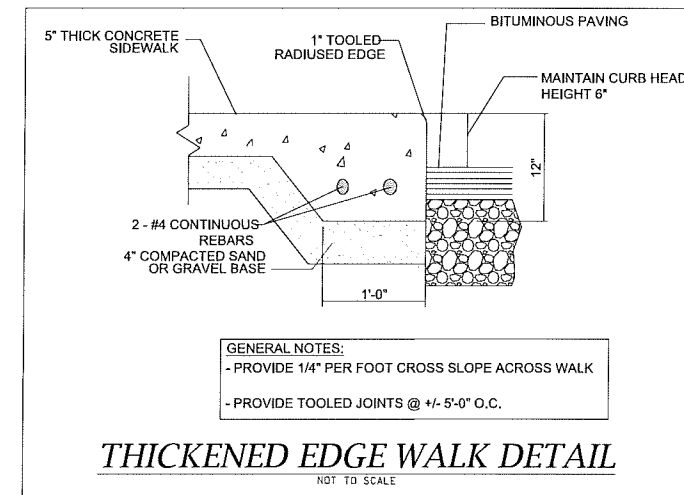
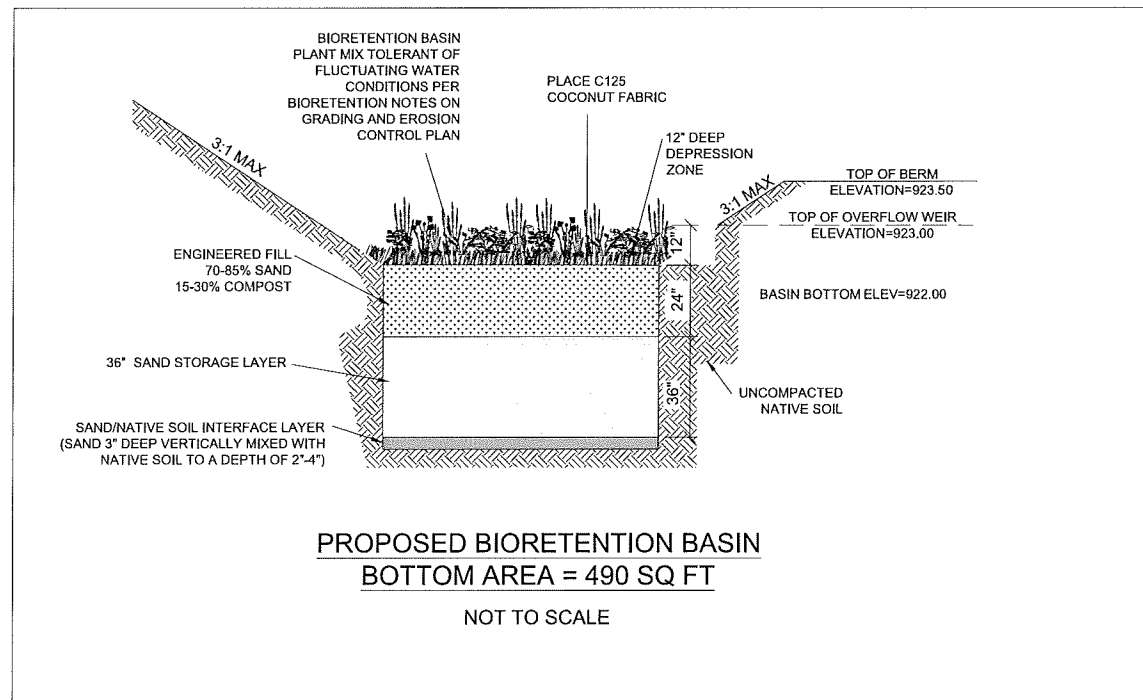
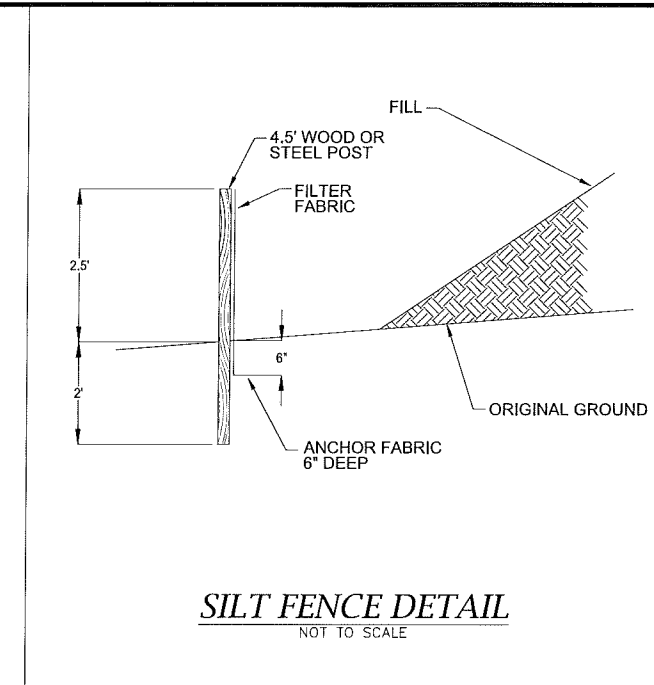
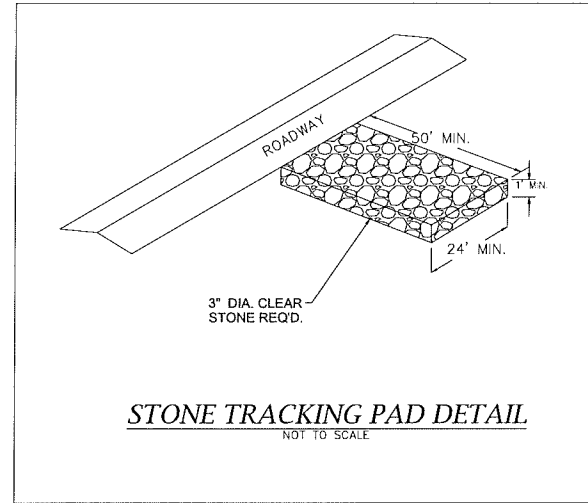
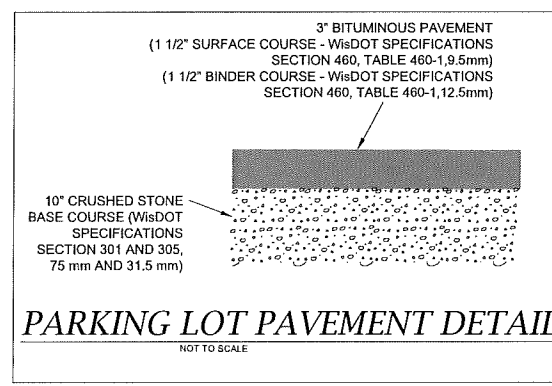
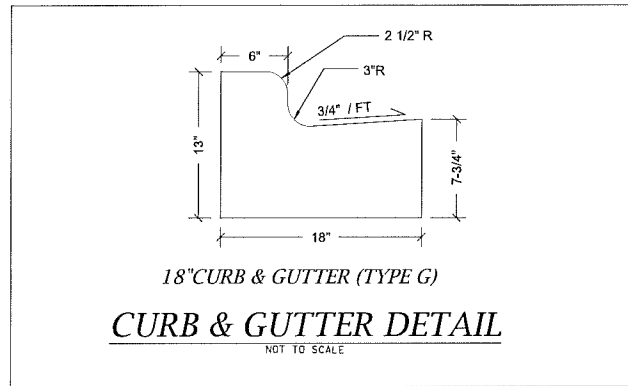
- BIORETENTION PLANT MIX - 3" PLUGS ON 12" CENTERS
- 3" DEPTH SHREDDED HARDWOOD BARK MULCH
- LAWN SEED MIX



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LANDSCAPE PLAN
GATES AUTO BODY
5317 WAYNE TERRACE
CITY OF MADISON, DANE COUNTY

SCALE: 1" = 60'
(PAGE SIZE: 11x17)
DATE: 03-23-16
REVISED:
DRAWN BY: NGO
FN: 15-05-132
Sheet Number:
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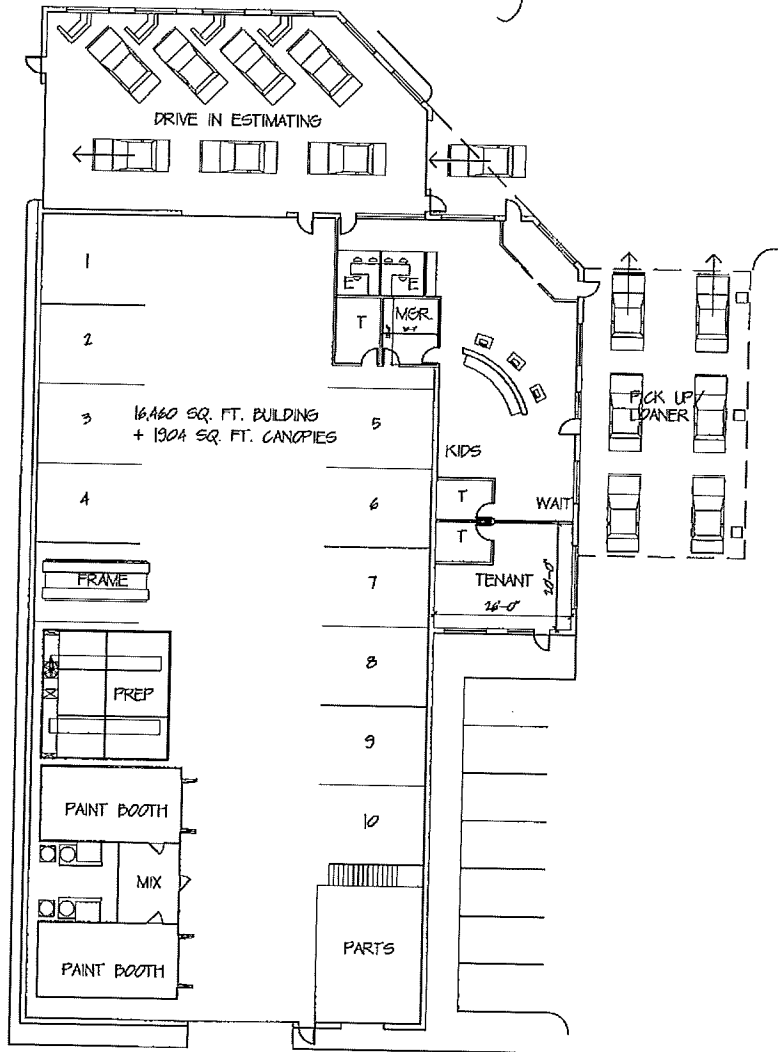


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DETAILS & TYPICAL SECTIONS
GATES AUTO BODY
CITY OF MADISON, DANE COUNTY, WISCONSIN

SCALE: NTS
(PAGE SIZE: 22x34)
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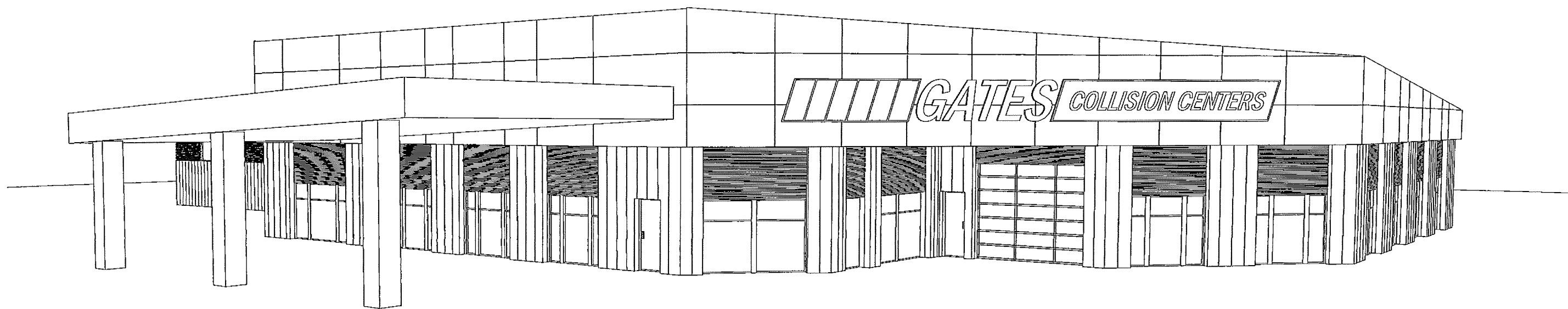
PLAN

NOT TO SCALE

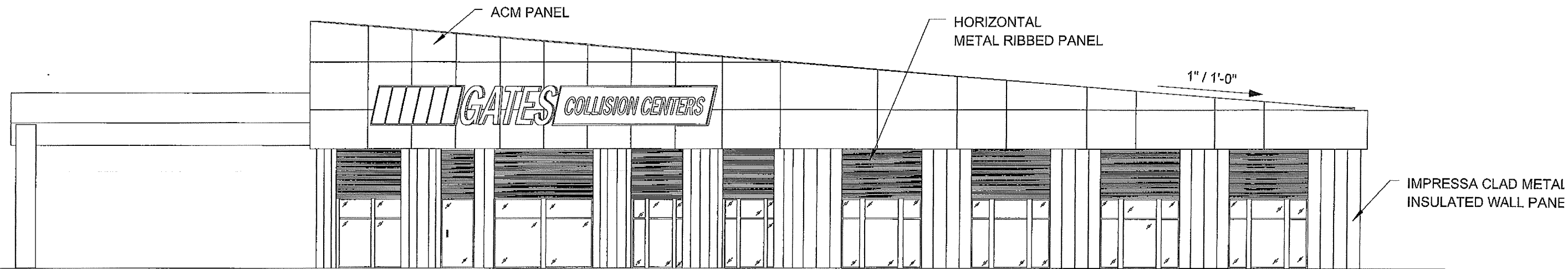


NORTH

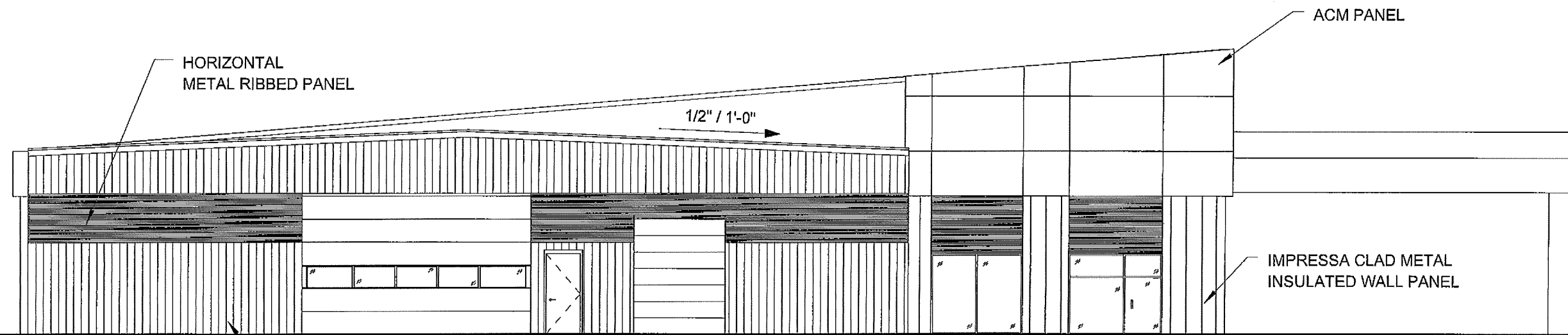




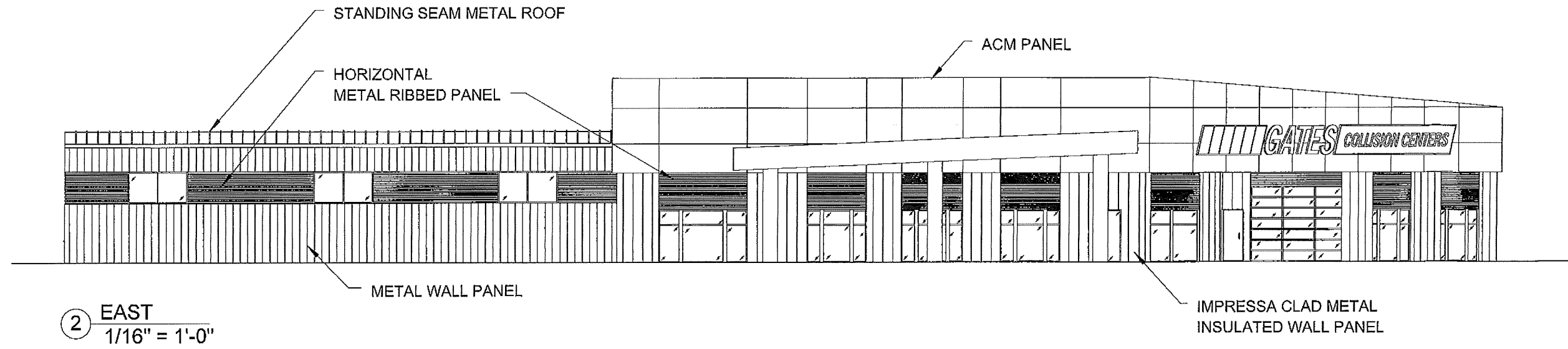
① Perspective



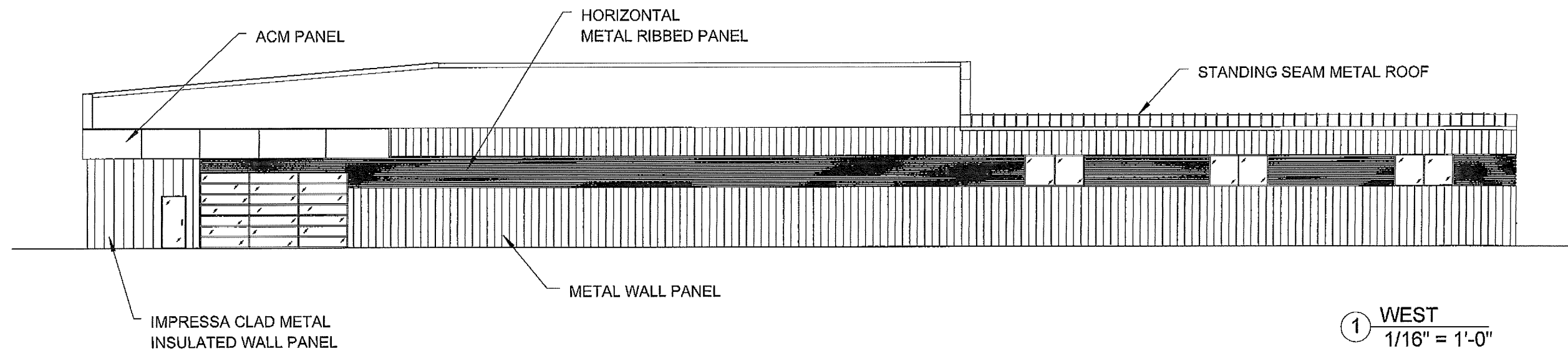
① NORTH
3/32" = 1'-0"



② SOUTH
3/32" = 1'-0"
METAL WALL PANEL



② EAST
1/16" = 1'-0"



① WEST
1/16" = 1'-0"