

2101-2202 DARWIN ROAD CSM

Project No.: 14973

Contract No.: 9484

Entity: Wilson Street Hotel Group LLC

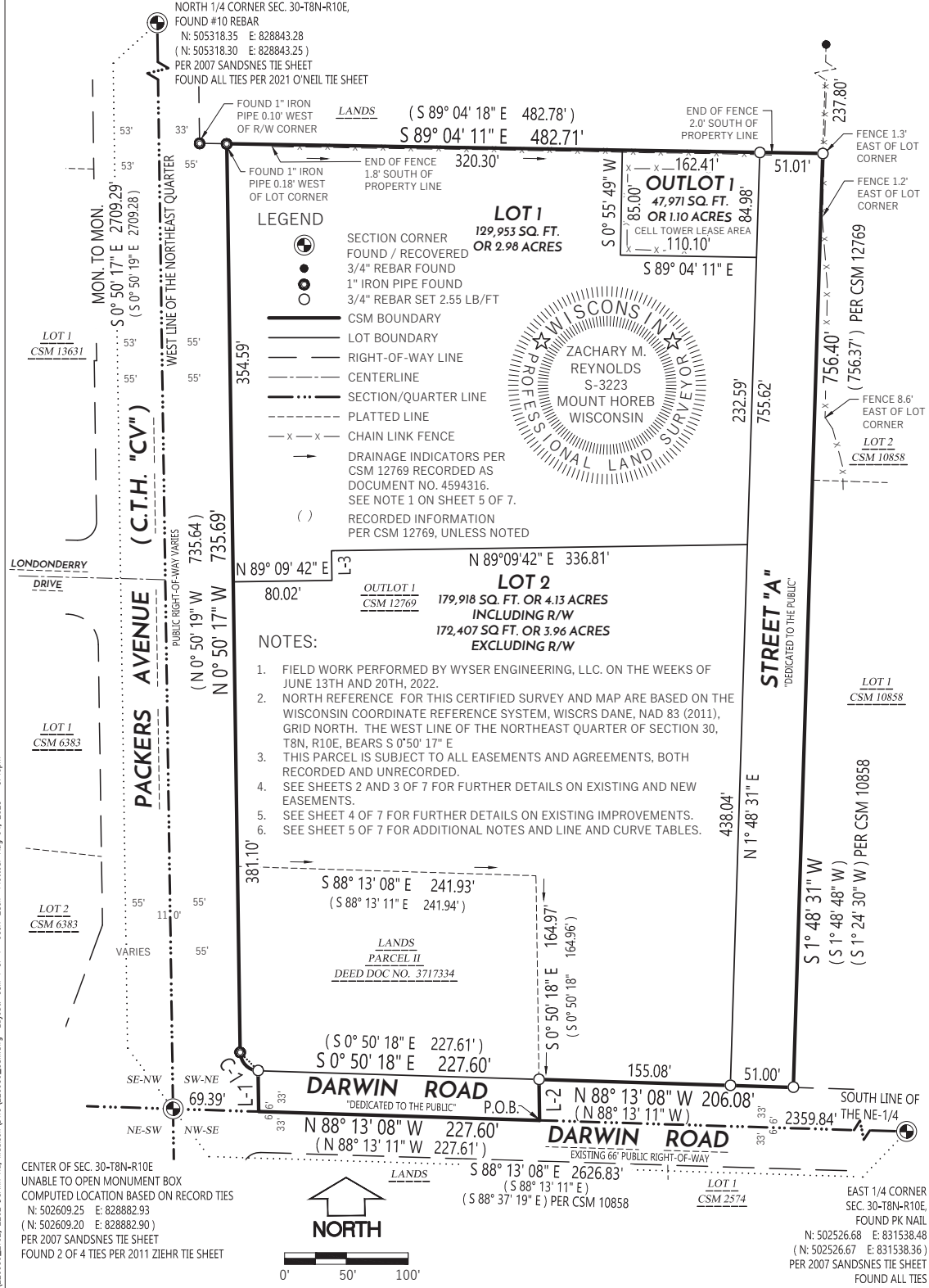


Work Covered by Developer Agreement:

- Certified Survey Map (CSM)
- Dedicate a 51-foot wide strip of right of way along the easterly lot line from Darwin Road to the northern limits of the CSM.
- Construct a new street along the easterly lot line of the CSM from Darwin Road to the northern limits of the CSM. In lieu of construction, developer may elect to sign a waiver for notice of public hearing for assessments for future roadway construction and enter into a privilege in streets agreement to allow the driveway to proposed Outlot 1 in the public right of way.
- Dedicate Right of Way or grant a Public Sidewalk Easement for and to be responsible for the construction of a 5-foot sidewalk, 8-foot terrace, and 1-foot maintenance area along Darwin Dr and Packers Ave as needed.
- Construct public sanitary sewer, storm sewer, and drainage improvements as necessary to serve the lots of the CSM.
- Grant a public sanitary sewer easement along Packers Avenue. Public sanitary to serve the development shall be constructed under the City sidewalk with a 10-foot easement.
- Construct pedestrian crossing improvements at the Londonderry Drive/Packers Avenue intersection according to a plan approved by the City Engineer. Work shall include marking and pedestrian ramp reconstruction on Packers Avenue.
- Newly planted trees exist on north end of Packers Drive and will remain. Removal of two trees, one each on Darwin Road and Packers Drive. Four existing new tree plantings on Packers Drive. Protection of all public street trees.
- Bring street light onto city circuit at Londonderry. With the new pedestrian crossing remove existing pole and run conduit from the wood pole to new pole.
- Install and maintain a concrete boarding and passenger amenity pad at the planned Metro bus stop on the east side of Packers Avenue, north of Darwin Road. Concrete pad must measure minimally 20' parallel to Packers Avenue (beginning at least 50' and ending no more than 100' north of crosswalk across Packers Avenue), and must span perpendicularly at least 8' between face of curb and sidewalk.

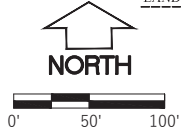
CERTIFIED SURVEY MAP NO. _____

A CONSOLIDATION OF OUTLOT 1, CERTIFIED SURVEY MAP NO. 12769, RECORDED IN VOLUME 80 OF CERTIFIED SURVEY MAPS OF DANE COUNTY ON PAGES 330-334 AS DOCUMENT NO. 4594316, AND UNPLATTED LANDS DESCRIBED AS PARCEL II IN A PERSONAL REPRESENTATIVE'S DEED RECORDED AS DOCUMENT NO. 5717334, ALL LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 8 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN



File: W:\2023\220939_2102_2202 Darwin Rd, Madison (DW)\220939_CSM.dwg Layout: CSM 1 OF 7 User: Zach Plotter: Aug 04, 2023 - 3:49pm

CENTER OF SEC. 30-T8N-R10E
 UNABLE TO OPEN MONUMENT BOX
 COMPUTED LOCATION BASED ON RECORD TIES
 N: 502609.25 E: 828882.93
 (N: 502609.20 E: 828882.90)
 PER 2007 SANDSNES TIE SHEET
 FOUND 2 OF 4 TIES PER 2011 ZIEHR TIE SHEET

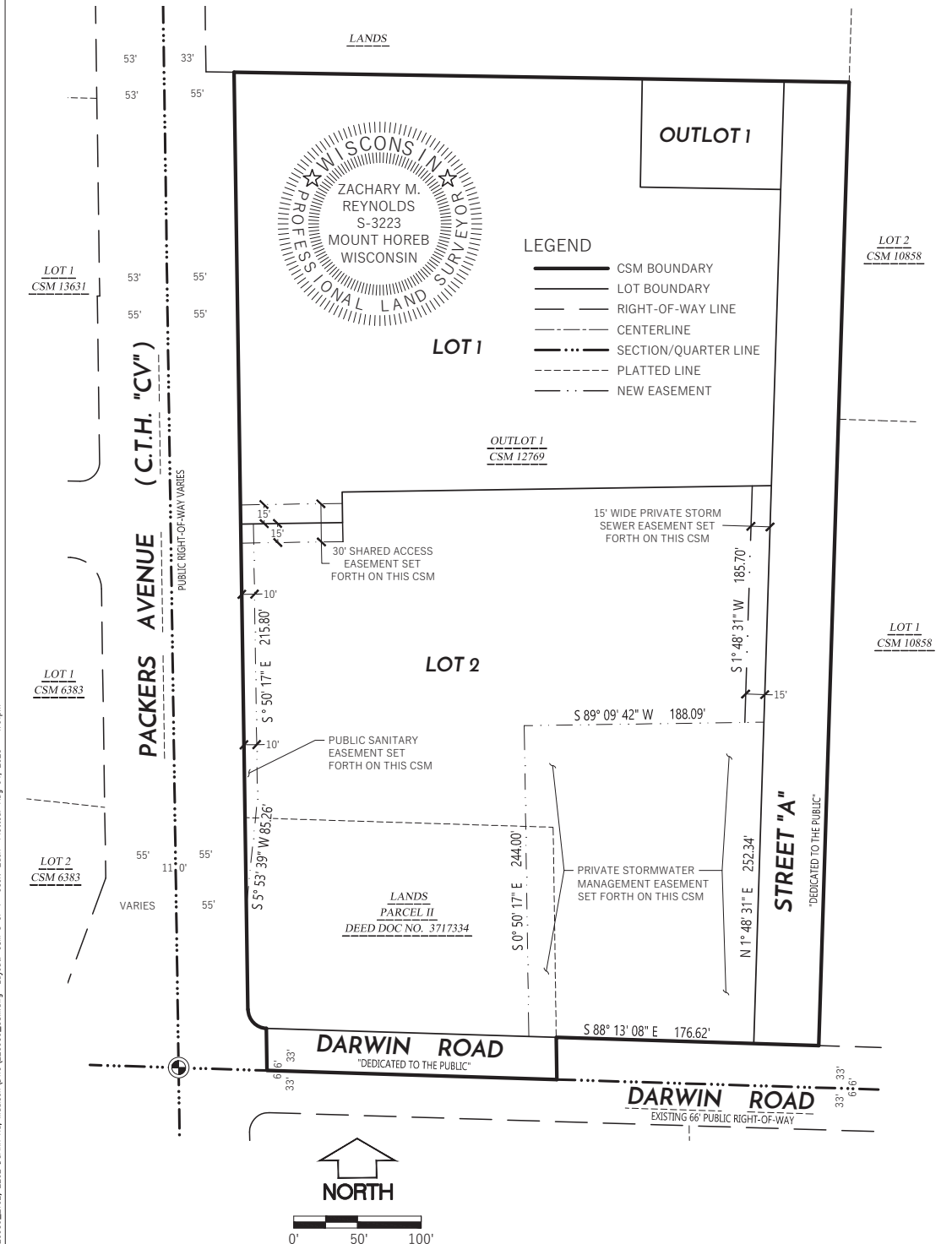


	PREPARED BY: 300 EAST FRONT STREET MOUNT HOREB, WI 53572 www.wyserengineering.com	PREPARED FOR: KOTHE REAL ESTATE PARTNERS 324 E. WILSON STREET MADISON, WI 53703	SURVEYED BY: MAL DRAWN BY: ZMR APPROVED BY: WPW	VOL. _____ PAGE _____ DOC. NO. _____ C.S.M. NO. _____
	PROJECT NO: 220939 SHEET NO: 1 of 7		EAST 1/4 CORNER SEC. 30-T8N-R10E FOUND PK NAIL N: 502526.68 E: 831538.48 (N: 502526.67 E: 831538.36) PER 2007 SANDSNES TIE SHEET FOUND ALL TIES	

CERTIFIED SURVEY MAP NO. _____

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NEW EASEMENTS DETAIL



File: W:\2023\220939_2102_2202 Darwin Rd, Madison\DWG\220939_CSM.dwg Layout: CSM 3 OF 7 User: Zach Plotdate: Aug 04, 2023 4:01pm

	PREPARED BY: 300 EAST FRONT STREET MOUNT HOREB, WI 53572 www.wyserengineering.com	PREPARED FOR: KOTHE REAL ESTATE PARTNERS 324 E. WILSON STREET MADISON, WI 53703	SURVEYED BY: MAL DRAWN BY: ZMR APPROVED BY: WPW	VOL. _____ PAGE _____ PROJECT NO: 220939 SHEET NO: 3 of 7	DOC. NO. _____ C.S.M. NO. _____
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Representing Right of Way work. Site plan shown approved with a separate approval process.

New crosswalk and ramps as determined by Traffic Engineering

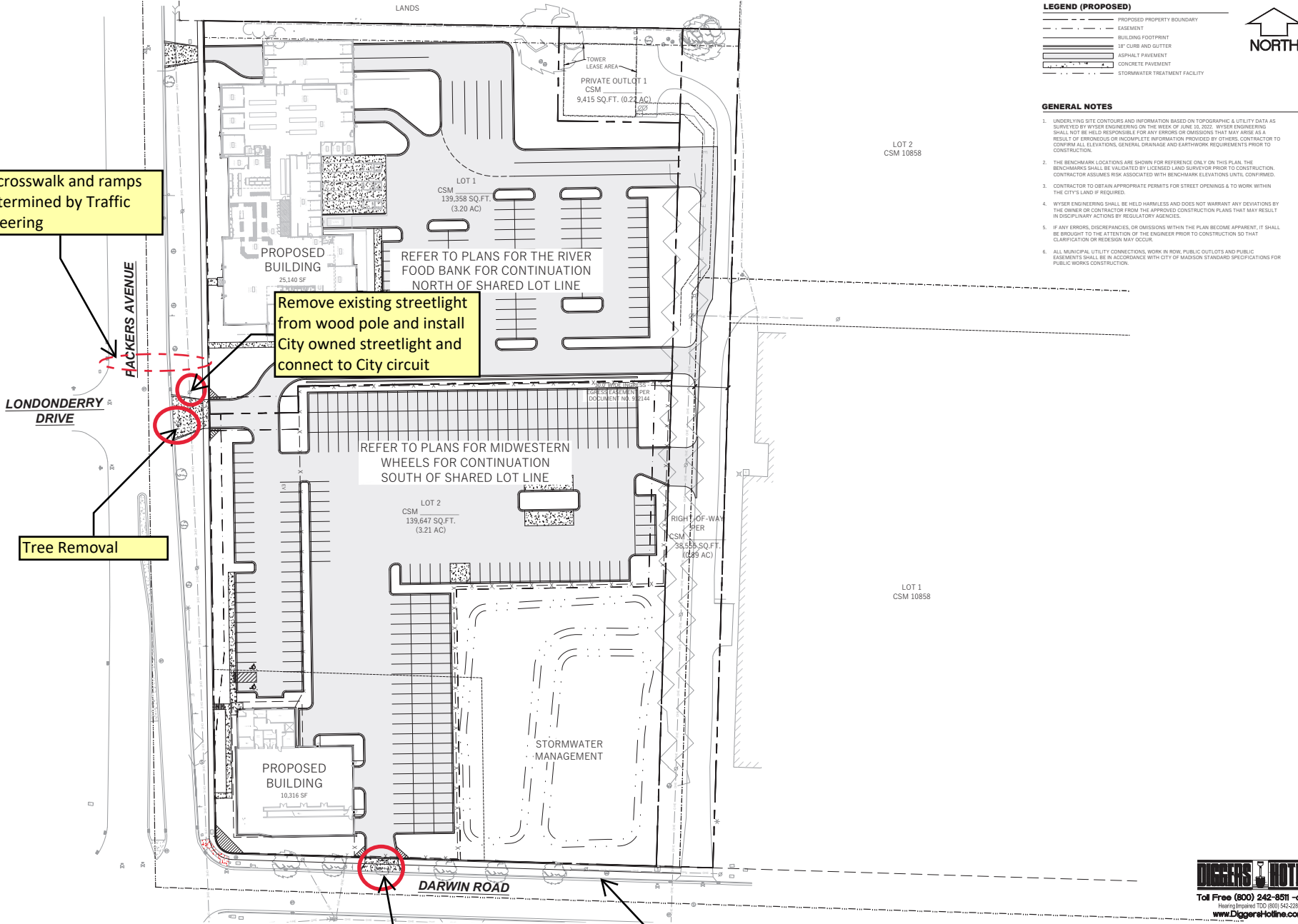
Remove existing streetlight from wood pole and install City owned streetlight and connect to City circuit

Tree Removal

Tree Removal

New sidewalk on Darwin Road and Packer Avenue

File: \\10255\10255\2102_2202_Darwin_Rd_Madison\186\12-10812_Civil_Engineer_Misc\dwg_Layout_Site_Plan.dwg User: Dan Pointed: Aug 04, 2023 8:52am



LEGEND (PROPOSED)

- PROPOSED PROPERTY BOUNDARY
- - - EASEMENT
- ▭ BUILDING FOOTPRINT
- ▬ 18" CURB AND GUTTER
- ▭ ASPHALT PAVEMENT
- ▭ CONCRETE PAVEMENT
- ▭ STORMWATER TREATMENT FACILITY

GENERAL NOTES

1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON THE WEEK OF JUNE 10, 2022. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS, CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
4. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

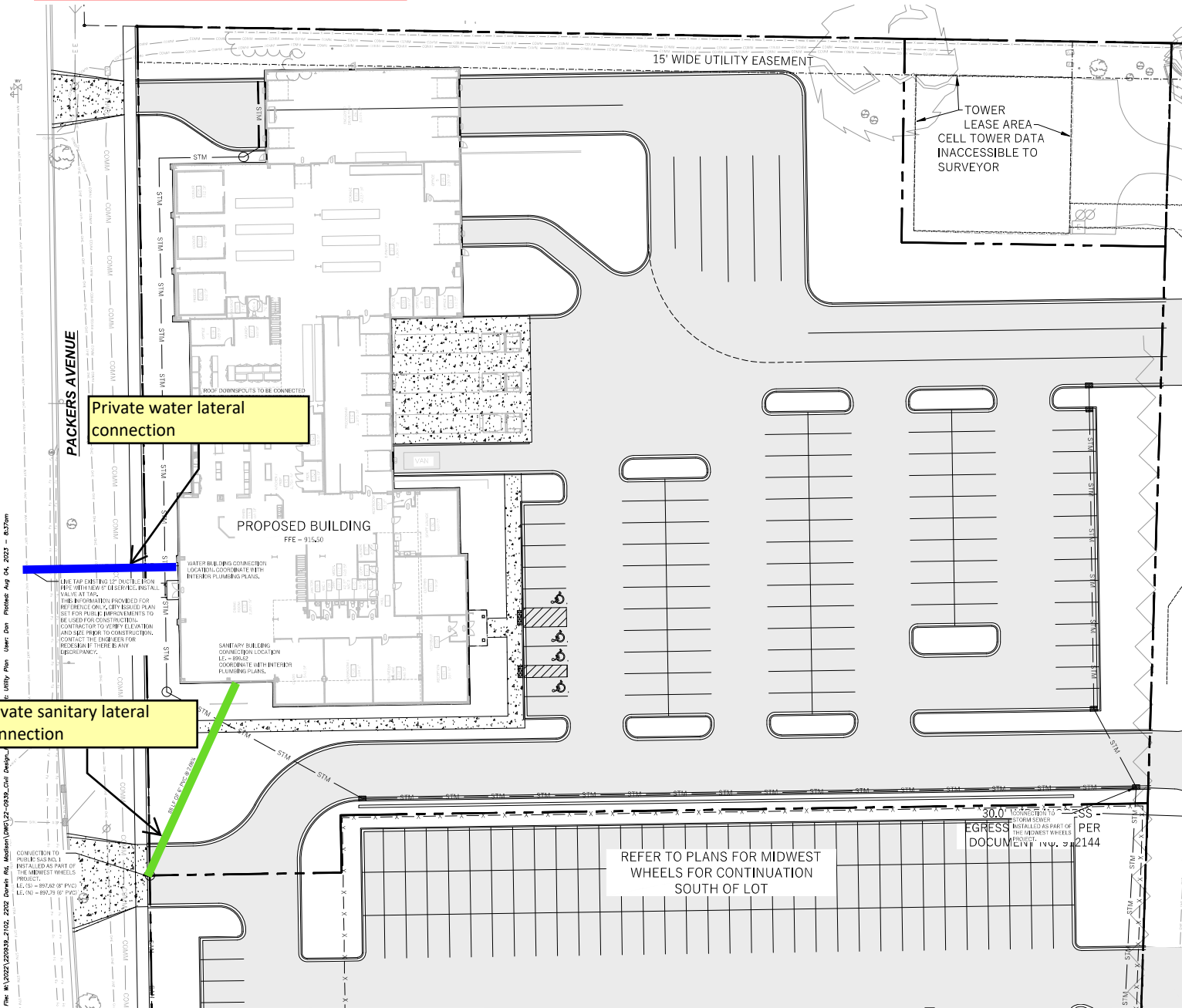


Revisions:		
No.	Date	Description

Graphic Scale	0' 20' 40' 60'
Wyser Number	22-0939
Set Type	REVIEW
Date Issued	08/01/2023
Sheet Number	C100

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Utility improvements as part of the developer agreement. Northern portion of CSM.



LEGEND (PROPOSED)

- - - - - PROPOSED PROPERTY BOUNDARY
- - - - - EASEMENT
- - - - - BUILDING FOOTPRINT
- - - - - 3" CURB AND GUTTER
- - - - - ASPHALT PAVEMENT
- - - - - CONCRETE PAVEMENT
- - - - - WAT PROPOSED WATER MAIN
- - - - - SAN PROPOSED SANITARY SEWER
- - - - - STM PROPOSED STORM SEWER
- - - - - GAS PROPOSED GAS SERVICE (DESIGN BY OTHERS)
- - - - - E PROPOSED ELECTRIC SERVICE (DESIGN BY OTHERS)
- - - - - STORMWATER TREATMENT FACILITY
- - - - - DRAINAGE GRADE BREAK
- - - - - DRAINAGE ARROW

GENERAL NOTES

1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON THE WEEK OF JUNE 03, 2022. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY OCCUR AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CORRECT ALL ELEVATIONS, GENERAL DIMENSIONS AND GRIDWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE MAINTAINED BY EXERCISED LAWS SUPERVENOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED. THE CITY LAND IS REQUIRED.
3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET CLOSURES & TO WORK WITHIN THE CITY'S LAND IS REQUIRED.
4. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY CONDITIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN UNDESIRABLE ACTIONS BY REGULATORY AGENCIES.
5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITH THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CORRECTION OR PRECISION MAY OCCUR.
6. ALL MANHOLE, UTILITY CONNECTIONS, WORK IN ROW, PUBLIC UTILITIES AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARDS SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

UTILITY NOTES

1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS AND DEEPS OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS.
4. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET GRADINGS AND REQUIREMENTS OF THE MUNICIPALITY AND WISCONSIN DECS, AND MAINT.
5. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITES CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS AND DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMITS, TAP FEES, WATER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK, TO OBTAIN ACCURACY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING THE NUMBER OF ANY DISCREPANCY AND WORK SHALL BE COMPLETED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION COORDINATION.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH ALL UTILITY CONNECTIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED BY THE ENGINEER. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES SHOWN ARE OWNED BY THE CONTRACTOR. SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSES TO BLASTING IS ALLOWED WITHIN 24 HOURS OF THE DATE OF THE UTILITY.
11. ALL PRIVATE PROTECTOR WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A 4" MINIMUM BURR, PROVIDE INSULATION ABOVE PIPES WITH LESS THAN 6" OF GROUND COVER.
12. GRANULAR BACHCEL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS UNLESS OTHERWISE SPECIFIED BY A GEOTECHNICAL ENGINEER. ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS. ALL PAVEMENT PATCHES SHALL COMPLY WITH THE CITY OF MADISON STANDARDS SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. ADDITIONAL GROUND MENDING AND OVERLAY MAY BE REQUIRED BY PERMITS.
13. CONTRACTOR SHALL NOTIFY THE MUNICIPAL PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONSTRUCTION TO PUBLIC UTILITIES.
14. ALL NON-METALLIC BUILDING SEWER AND WATER SERVICES MUST BE ACCOMPANIED BY MEANS OF LOCATING UNDERGROUND PIPES. TRACER WIRE VALVE BOXES SHALL BE INSTALLED ON ALL LATERALS AND AS INDICATED ON THESE PLANS.
15. ALL EXTERIOR ELBOWS SHALL BE PROVIDED WITH A Frost Sleeve IN ACCORDANCE WITH SPS 38.02(5) AND SPS 38.03(2)(G).
16. ALL PRIVATE PLUMBING MATERIALS SHALL CONFORM TO SPS 38.04.
17. ALL PRIVATE PIPE JOINTS SHALL BE INSTALLED PER SPS 38.06.
18. ALL PRIVATE WATER MAIN, INCLUDING DEPTH AND DEGRADATION REQUIREMENTS, SHALL BE IN ACCORDANCE WITH SPS 38.02(5).
19. THE CONTRACTOR SHALL ALLOW 30 WORKING DAYS FOR THE CONSTRUCTION OF GAS MAINS POWER REDEMPTION THE WORK AND SHALL NOT RESTRICT ACCESS TO THE GAS MAIN CONTRACTOR OR OTHER UTILITY COMPANIES.
20. BULLET CASTINGS SHALL BE SET TO GRADE PRIOR TO AND SEPARATE FROM THE POURING OF THE CONCRETE CURB AND GUTTERS REQUIRED THAT THREE FEET OF CONCRETE CURB AND GUTTER ON EACH SIDE OF THE BULLET SHALL BE POURING BY HAND NOT THROUGH THE USE OF A CURB MACHINE. THE BULLET SHALL BE SET TO GRADE AND A 30# GALLON RUBBER WHEEL SHALL BE A MINIMUM OF TWO INCHES THICK. THE BULLET SHALL BE PLACED ON THE FORMED AND SHALL BE ADJUSTED TO GRADE BY HAND TO EXACT PRESSURE TO THE CASTING. ONCE THE GAS MAIN ADJUSTMENT IS COMPLETE, THREE FEET OF CURB AND GUTTER ON EACH SIDE OF THE BULLET SHALL BE REQUIRED BY HAND.
21. CONTRACTOR SHALL VERIFY AND COORDINATE ALL UTILITY CONNECTIONS WITH THE BUILDING PRIOR TO CONSTRUCTION.
22. THE CONTRACTOR SHALL CONDUCT THE OPERATIONS SO AS TO BE IN COMPLIANCE WITH THE CITY'S GRADING CONTROL AND STORMWATER ORDINANCE AND OTHER ADMINISTRATIVE RULE (R 22.45) AT THIS TIME.



2202 DARWIN ROAD
MADISON, WI 53704

THE RIVER FOOD PANTRY
CITY OF MADISON, DANE COUNTY, WI
Sheet Title:
UTILITY PLAN - SOUTH

Revisions:		
No.	Date:	Description:



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File: W:\2022\220939_2102_2202_Darwin_Riv_Madison\DWG\22-0939_Civil_Design\Utility Plan.dwg User: Dan Poleski: Aug 04, 2023 - 8:37am

Utility improvements as part of the developer agreement. South portion of CSM.

New public sewer access structure

New public 8" sanitary sewer main

New public sewer access structure

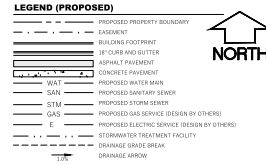
New public sewer access structure

Private water lateral connection

Private storm lateral connection

REFER TO PLANS FOR THE RIVER FOOD BANK FOR CONTINUATION NORTH OF LOT

300' WIDE INGRESS EGRESS EASEMENT PER DOCUMENT NO. 912144



GENERAL NOTES: 1. UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED BY THE CLIENT... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS...

UTILITY NOTES: 1. THE CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION... 2. ALL UTILITIES SHALL BE MARKED AND SHOWN ON THE SURFACE... 3. ALL UTILITIES SHALL BE INSTALLED TO A MINIMUM OF 48 INCHES BELOW FINISHED GROUND LEVEL...



WYSER ENGINEERING

MIDWESTERN WHEELS CITY OF MADISON, DANE COUNTY, WI Sheet Title: UTILITY PLAN 2102 DARWIN ROAD MADISON, WI 53704

Table with columns: No., Date, Description. Contains a list of revisions.

Graphic Scale: 0' 10' 20' 30' WYSER Number: 22-0939 Set Type: REVIEW Date Issued: 08/01/2023 Sheet Number: C300



File: W:\2022\0939\2102_2302 Darwin Rd, Madison\DWG\2102-0939_000_000.dwg, Date: 08/01/2023, Time: 09:41 AM, User: Dan Richter, Plot Date: 08/01/2023, Time: 09:41 AM, Plotter: HP DesignJet 560c, Plot Size: 36" x 48"