

SPRECHER AND MILWAUKEE DEVELOPMENT

RWW

102 S. SPRECHER RD. MADISON, WI

SPRECHER AND MILWAUKEE DEVELOPMENT

AY PROJECT NUMBER: 72800



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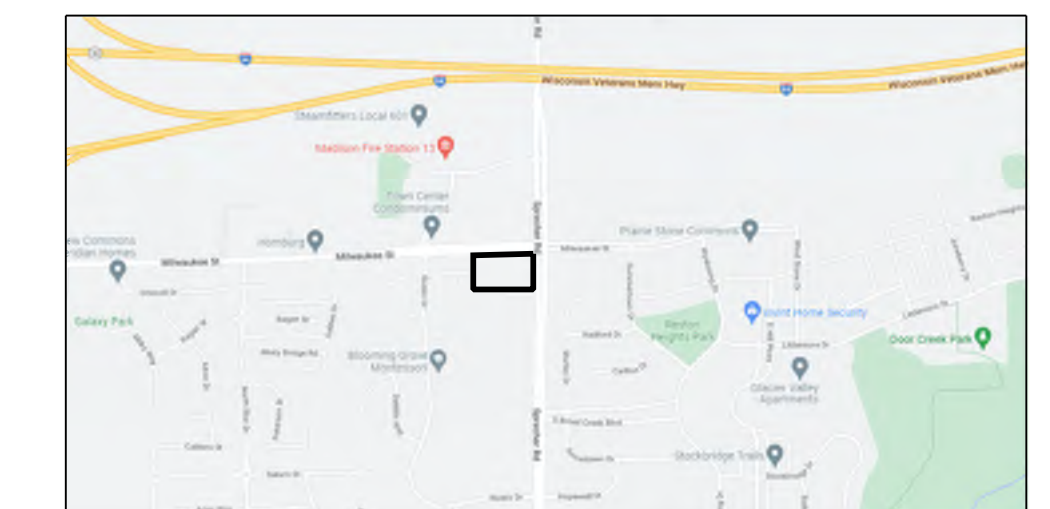
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REGULATORY DATA:

LOCATION MAP:



ISSUANCES / REVISIONS		
NO:	DESCRIPTION:	DATE:
1	CITY LU AND CUP SUBMITTAL	06/10/2022

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**PRELIMINARY
NOT FOR CONSTRUCTION**

PROJECT TEAM

OWNER: ROSS RIKKERS	ARCHITECT: ANGUS-YOUNG ASSOCIATES, INC. 16 N. CARROLL ST. MADISON, WI 53703	STRUCTURAL ENGINEER: ANGUS-YOUNG ASSOCIATES, INC. 16 N. CARROLL ST. MADISON, WI 53703	LANDSCAPE ARCHITECT / CIVIL ENGINEER: ANGUS-YOUNG ASSOCIATES, INC. 555 S. RIVER ST. JANESVILLE, WI 53548
CONTACT: ROSS RIKKERS EMAIL: RRIKKERS@CRESA.COM	CONTACT: JEFF DAVIS EMAIL: J.DAVIS@ANGUSYOUNG.COM PHONE: (608)756-2326		CONTACT: KATIE LOELL EMAIL: K.LOELL@ANGUSYOUNG.COM PHONE: (608)756-2326

35	30	25	20	15	10	05
34	29	24	19	14	09	04
33	28	23	18	13	08	03
32	27	22	17	12	07	02
31	26	21	16	11	06	01

DETAILS IN THIS SET ARE PLACED ON THE SHEETS AND NUMBERED WITH RESPECT TO THE GRID ABOVE. CONSEQUENTLY, DETAILS ON A GIVEN SHEET MAY OR MAY NOT BE NUMBERED CONSECUTIVELY.

608.756.2326
www.angusyong.com

COVER SHEET

G001

SCALE 1" = 1'-0"

PLOTTED BY: EBH/ep

ORIGINAL SIZE: 24" x 36"

Date



SITE GENERAL NOTES

1. TRUE NORTH MAY VARY FROM PROJECT NORTH.
2. CONSTRUCTION PRACTICES, MEANS AND METHODS, AND JOB SITE SAFETY SHALL REMAIN THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
3. ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH THE FEDERAL, OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA), AND ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES AS THEY PERTAIN TO THIS PROJECT.
4. FIELD VERIFY ALL EXISTING AND PROPOSED UTILITIES, ELEVATIONS AND DIMENSIONS.
5. COORDINATE WITH THE APPLICABLE JURISDICTION AND UTILITY COMPANIES AS NECESSARY.
6. BUILDINGS SHALL BE ORIENTED PARALLEL AND PERPENDICULAR TO EXISTING BUILDINGS AND/OR PROPERTY LINES AS SHOWN ON DRAWING.
7. ALL EXTERIOR CONCRETE SIDEWALKS AND YARD SLABS SHALL BE 4000 PSI ALL CONCRETE. PAVEMENT SHALL BE 4500 PSI UNLESS NOTED OTHERWISE.
8. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATIONS OF THE CITY ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
9. ALL WORK WITHIN THE CITY RIGHT-OF-WAY AND ALL PUBLIC IMPROVEMENTS TO SERVE THE PROJECT, INCLUDING LATERAL CONNECTIONS, SHALL BE COMPLETED PER THE CITY OF MADISON ISSUED PLANS (CONTRACT XXXX, PROJECT XXXXX).

DEMOLITION NOTES

1. FOR EXISTING BUILDING TO BE REMOVED, REMOVE STRUCTURE, FOOTINGS AND ASSOCIATED WALK AND PAVEMENT. DISCONNECT EXISTING UTILITY SERVICE LINES PER CITY, COUNTY AND STATE SPECIFICATIONS.
2. FOR EXISTING PAVEMENTS, CURBS, AND SITE AMENITIES, REMOVE ALL AT-GRADE AND BELOW GRADE SITE WORK PER OWNER.
3. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO COMMENCING WORK AND COORDINATE WITH OWNER ANY ADDITIONAL ITEMS NOT SHOWN ON THE PLANS.
4. CONTRACTOR SHALL CALL FOR UTILITY LOCATIONS PRIOR TO COMMENCING ALL WORK ON SITE.
5. CONTRACTOR SHALL PROVIDE ALL NECESSARY STORM CONTROL MEASURES PER LOCAL AND STATE REQUIREMENTS. ALL MEASURES SHALL BE INSTALLED PRIOR TO COMMENCING WORK ON THE SITE. SEE EROSION CONTROL PLAN FOR MORE INFORMATION.
6. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR DEMOLITION AND CONSTRUCTION PRIOR TO COMMENCING ALL WORK ON THE SITE.
7. CONTRACTOR SHALL PROTECT ALL TREES NOT MARKED FOR DEMOLITION.
8. CONTRACTOR SHALL, FROM TREES AS NEEDED, OBTAIN OWNER APPROVAL IF AN EXISTING TREE NEEDS TO BE RELOCATED IF IT REMAINS HEALTHY TO REMAIN ON OR ENCLOSES THE BUILDING.
9. CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO BE REVIEWED BY CITY ENGINEERING PRIOR TO WORKING WITHIN THE RIGHT-OF-WAY. AT LEAST ONE TRAFFIC LANE MUST BE MAINTAINED IN BOTH DIRECTIONS AT ALL TIMES.
10. CONTRACTOR SHALL RESTORE ANY DISTURBED PUBLIC SIDEWALK TO A FLUSH AND TRAVERSABLE SURFACE (SEE ACCESSIBILITY) IMMEDIATELY AFTER COMPLETION OF THE WORK THAT REQUIRES REMOVAL. CONCRETE SIDEWALKS SHALL BE PERMANENTLY RESTORED WITHIN TWO WEEKS OF THE DISTURBANCE. CONTRACTOR MAY CONTACT CITY FOR PERMISSION TO CLOSE SIDEWALK WHICH MAY OR MAY NOT BE GRANTED BY CITY) AND SHALL USE CONTRACTOR FURNISHED SIGNAGE IF GRANTED.

KEYNOTES

- 01 REMOVE EXISTING PAVEMENT.
- 02 REMOVE EXISTING CURB AND GUTTER.
- 03 REMOVE EXISTING TREE (SHRUB) (TYP).
- 04 APPROXIMATE TREE REMOVAL LIMITS. REMOVE AND GRUB ALL TREES, SHRUBS ETC THAT IMPEDE WITH THE OVERALL NEW CONSTRUCTION OF THE SITE WITHIN THE PROPERTY LIMITS. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION GRADINGS OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERACE AND EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGHOUT THE TREE PROTECTION ZONE.
- 06 CONTRACTOR SHALL ABANDON PRIVATE SEPTIC SYSTEM IN ACCORDANCE WITH DANE COUNTY AND WISCONSIN ADMINISTRATIVE CODE SPS 383.33 AND SUBMIT PRIVATE SEWAGE SYSTEM ABANDONMENT FORM TO PUBLIC HEALTH MADISON AND DANE COUNTY.

DEMOLITION & REMOVALS LEGEND

+++++	CURB REMOVAL
[Cross-hatch pattern]	SIDEWALK REMOVAL
[Diagonal hatch pattern]	PAVEMENT REMOVAL
---	EXISTING INTERMEDIATE CONTOUR
---	EXISTING INDEX CONTOUR
---	STORM DRAIN
---	SANITARY SEWER
---	WATER
---	GAS
---	ELECTRICAL POWER
---	UNDERGROUND ELECTRICAL POWER
---	UNDERGROUND FIBER OPTIC
---	TELEPHONE
---	UNDERGROUND TELEPHONE
---	CABLE
---	EDGE OF TREES OR SHRUBS

NOTE: ALL SYMBOLS MAY NOT BE USED IN THIS SET.

ISSUANCES / REVISIONS

NO.	DESCRIPTION:	DATE:
01	CITY LU AND CLIP SUBMITTAL	16/10/2022

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PROJECT NUMBER
 72800
 APPROVED BY
 KAU
 REVIEWED BY
 KAU
 DRAWN BY
 MWT

EXISTING SITE & DEMOLITION
 PLAN
C001

EXISTING SITE & DEMOLITION PLAN
 SCALE: 1"=20'

SITE GENERAL NOTES

- TRUE NORTH MAY VARY FROM PROJECT NORTH.
- CONSTRUCTION PRACTICES, MEASUREMENTS, AND JOB SITE SAFETY SHALL REMAIN THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
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- COORDINATE WITH THE AUTHORITY HAVING JURISDICTION AND UTILITY COMPANIES AS NECESSARY. BUILDING SHALL BE ORIENTED PARALLEL AND PERPENDICULAR TO EXISTING BUILDING AND/OR PROPERTY LINE AS SHOWN ON DRAWING.
- ALL EXTERIOR CONCRETE SIDEWALKS AND YARD SLABS SHALL BE 4000 PSI. ALL CONCRETE PAVEMENT SHALL BE 4500 PSI UNLESS NOTED OTHERWISE.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
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KEYNOTES

- 01 NEW BITUMINOUS PAVEMENT, SEE DETAIL 01/C801.
- 02 NEW CONCRETE PAVEMENT, SEE DETAIL 02/C801.
- 03 NEW TURNDOWN SIDEWALK, SEE DETAIL 04/C801. SEE GRADING PLAN FOR CURB HEIGHT & SPOT ELEVATIONS.
- 04 NEW CONCRETE SIDEWALK, SEE DETAIL 03/C801. SEE GRADING PLAN FOR SPOT ELEVATIONS.
- 05 NEW ADA RAMP, SEE DETAIL 05/C801.
- 06 NEW REJECT CURB AND GUTTER, SEE DETAIL 06/C801.
- 07 NEW RECEIVING CURB AND GUTTER, SEE DETAIL 07/C801.
- 08 NEW 3" WIDE CURB OPENING WITH 4" WIDE SCOUR STOP DOWN TO BASE OF BIOPILER.
- 09 NEW 4" PAINT STRIPE, TYP.
- 10 SAWCUT LIMITS. MATCH EXISTING PAVEMENT/SIDEWALK (TYP). FIELD VERIFY AT NEAREST JOINT.
- 11 NEW BARRIER FREE PARKING STALL SIGNAGE, SEE DETAIL 08/C801.
- 12 NEW 36" HIGH, 6" DIA CONCRETE FILLED PIPE BOLLARD, SEE DETAIL 09/C801.
- 13 NEW TURF GRASS AREA.
- 14 NEW FIRE BOWL.
- 15 NEW GRILL STATION.
- 16 NEW 5' X 10' RIP RAP.
- 17 NEW 2" WIDE SIDEWALK UNDERDRAIN, SEE DETAIL 21/C801.
- 18 NEW BIKE RACK, MADRAX SPARTAN SINGLE SIDE (1) BIKE AND (2) BIKE SURFACE MOUNTED, POWDER COATED, COLOR TO BE SELECTED DURING SUBMITTAL. SEE DETAIL 31/C801.
- 19 NEW 4" GUARD.
- 20 NEW STAIRS WITH HANDRAIL, SEE DETAIL 29/C801.

SITE SYMBOL LEGEND

	SIGN
	BOLLARD
	FIRE HYDRANT
	MANHOLE/CATCH BASIN INLET
	CURB INLET
	NEW FLARED END SECTION WITH HPRPP AND GUARD
	WATER VALVE OR GAS VALVE
	GAS METER
	LIGHT POLE
	UTILITY POLE
	GUY WIRE
	TRANSFORMER
	ELECTRIC METER AND CT CABINET
	NEW STRUCTURE OR ADDITION
	EXISTING STRUCTURE

ALL SYMBOLS MAY NOT BE USED IN THIS SET.

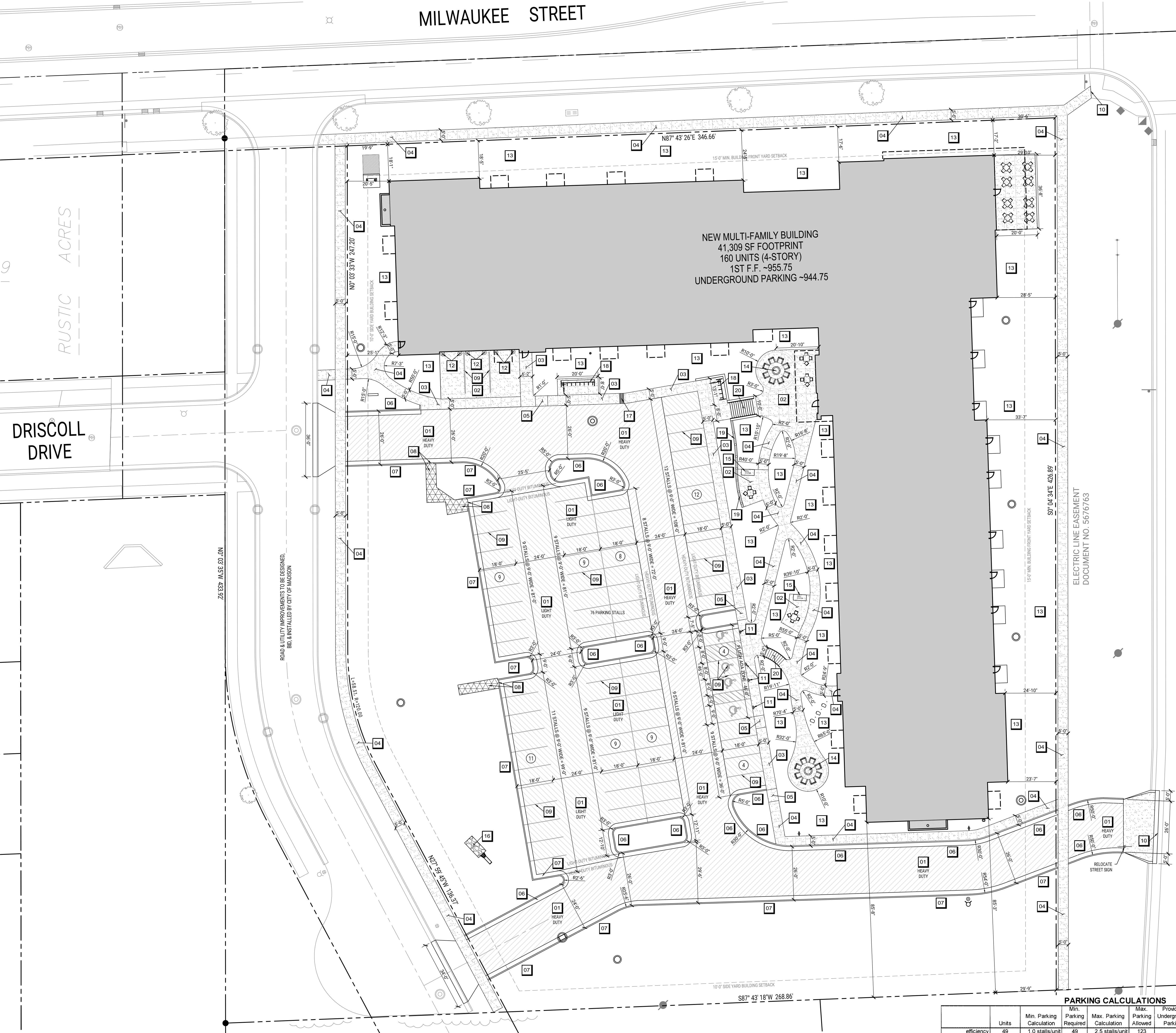
SPRECHER & MILWAUKEE DEVELOPMENT - SITE CALCULATIONS

Total Property	142,000 sf	3.280 ac
Zoning District:	TR-U1 - Traditional Residential - Urban District 1	
Setbacks:	15'-0" Minimum Front Yard Setback	
	30'-0" or up to 20% greater than block average	Maximum Front Yard Setback
	10'-0" Lesser of 25% lot depth or 25' Rear Yard	Side Yard
Maximum Building Height:	5 stories / 65'	
Maximum Lot Coverage	75%	106,500 sf
Usable Open Space (160 sf per Dwelling Unit):	160 Units	25,600
Use:	Conditional Use - Multifamily over 24	
Existing Buildings	0 sf	0.00 ac
Existing Pavement	2,133 sf	0.05 ac
Total Existing Impervious	2,133 sf	0.05 ac
Remainder Greenspace	139,867 sf	3.21 ac
Existing Site:		
Proposed Site:		
New Building	41,309 sf	0.95 ac
New Pavement	43,367 sf	1.00 ac
Total New & Existing Impervious	84,676 sf	1.94 ac
Remainder Greenspace	57,324 sf	1.32 ac
Total Additional New Impervious Area	82,543 sf	

PARKING CALCULATIONS

	Units	Min. Parking Calculation	Min. Parking Required	Max. Parking Calculation	Max. Parking Allowed	Provided Underground Parking	Provided Surface Parking	Bicycle Parking Min. Calc.	Min. Bicycle Parking Required
efficiency	49	1.0 stalls/unit	49	2.5 stalls/unit	123			1 per unit	49
one-bed	75	1.0 stalls/unit	75	2.5 stalls/unit	190			1 per unit	75
two-bed	28	1.0 stalls/unit	28	2.5 stalls/unit	70			1 per unit	28
three-bed	7	1.0 stalls/unit	7	2.5 stalls/unit	18			1.5 per unit	11

Subtotal	Min. Parking Calculation	Max. Parking Calculation	Parking Provided:		Bicycle Parking Min. Calc. for Units	Min. Bicycle Parking Required
			Underground	Surface		
	160	400	93	75	164	164
			168			16
			168		Total Bike Parking Required and Provided:	160
			1.05		Parking Ratio:	



SITE LAYOUT PLAN
SCALE: 1"=20'

RWW 4605
SPRECHER LLC

SPRECHER AND MILWAUKEE
DEVELOPMENT

102 S. SPRECHER ROAD
MADISON, WI

ISSUANCES / REVISIONS

NO.	DESCRIPTION	DATE
01	CITY LU AND CLIP SUBMITTAL	16/10/2022

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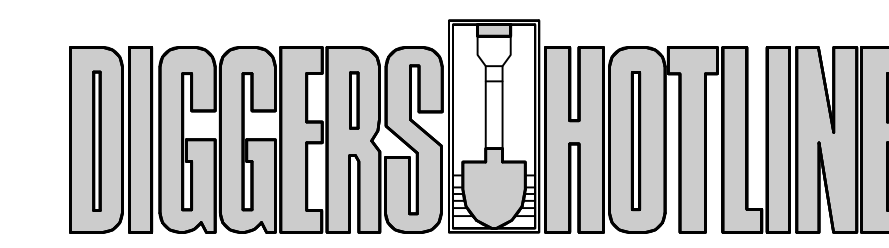
REVIEWED BY
KAU

DRAWN BY
MWT

SITE LAYOUT PLAN

C101

MILWAUKEE STREET



CALL TOLL FREE 1-800-242-8511
MILWAUKEE AREA 414-259-1181
FAX A LOCATE 1-800-338-3860
TDD (HEARING IMPAIRED) 1-800-542-2289
ONLINE: www.DiggersHotline.com

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SITE SYMBOL LEGEND

	SIGN
	BOLLARD
	FIRE HYDRANT
	MANHOLE/CATCH BASIN/INLET
	CURB INLET
	NEW FLARED END SECTION WITH BRP/RAP AND GUARD
	WATER VALVE OR GAS VALVE
	GAS METER
	LIGHT POLE
	UTILITY POLE
	GUY WIRE
	TRANSFORMER
	ELECTRIC METER AND CT CABINET
	NEW STRUCTURE OR ADDITION
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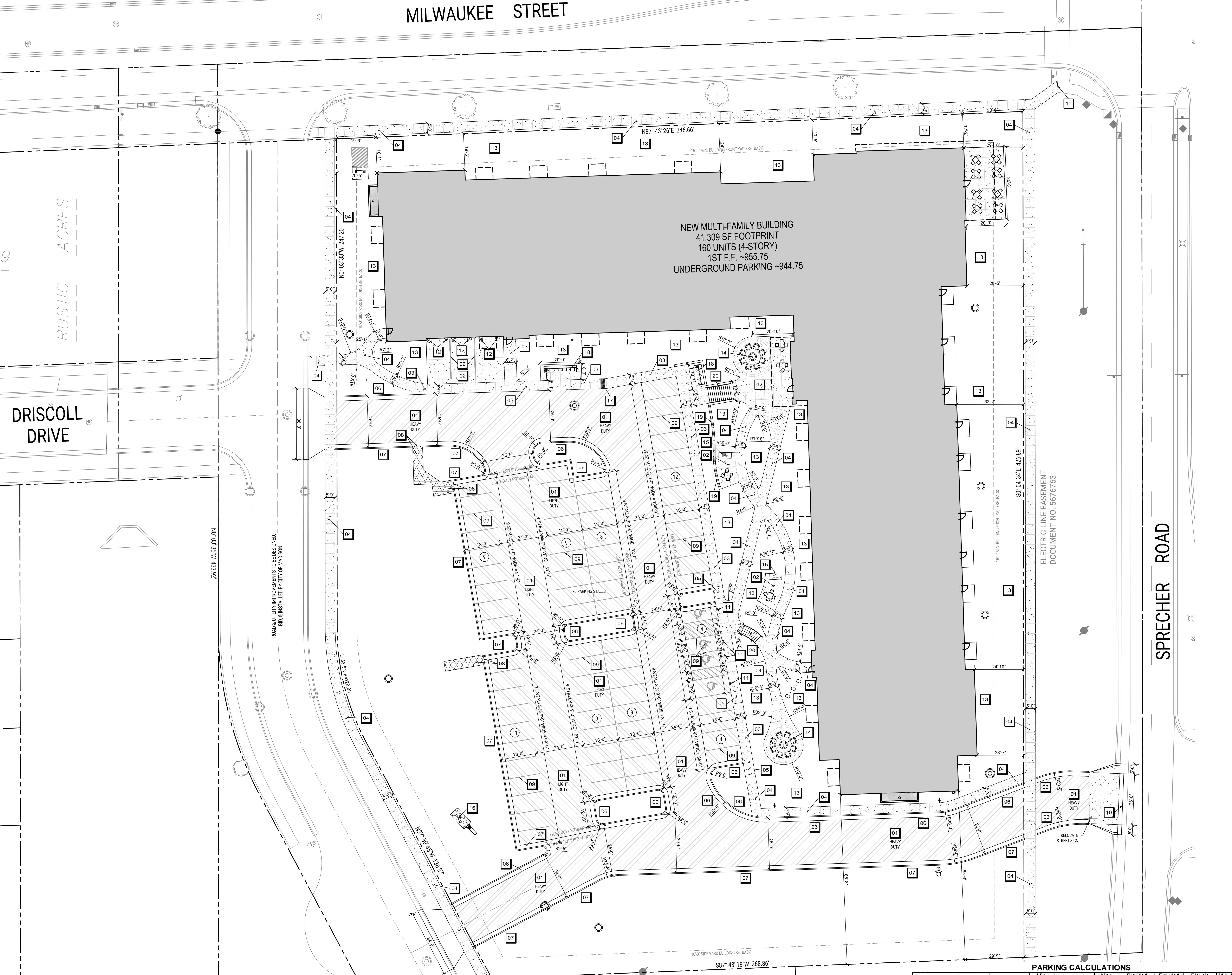
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SPRECHER & MILWAUKEE DEVELOPMENT - SITE CALCULATIONS

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Maximum Lot Coverage	75%	106,500 sf
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Existing Buildings	0 sf	0.00 ac
Existing Pavement	2,133 sf	0.05 ac
Total Existing Impervious	2,133 sf	0.05 ac
Remainder Greenspace	139,867 sf	3.21 ac
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New Building	41,309 sf	0.95 ac
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Total New & Existing Impervious	84,676 sf	1.94 ac
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Total Additional New Impervious Area	82,543 sf	1.87 ac

PARKING CALCULATIONS

	Units	Min. Parking Calculation	Min. Parking Required	Max. Parking Calculation	Max. Parking Allowed	Provided Underground Parking	Provided Surface Parking	Bicycle Parking Min. Calc.	Min. Bicycle Parking Required
efficiency	49	1.0 stalls/unit	49	2.5 stalls/unit	123				
one-bed	75	1.0 stalls/unit	75	2.5 stalls/unit	190			1 per unit	75
two-bed	28	1.0 stalls/unit	28	2.5 stalls/unit	70			1 per unit	28
three-bed	7	1.0 stalls/unit	7	2.5 stalls/unit	18	93	75	1.5 per unit	11
Parking Provided:									
Subtotal		Min. Parking Calculation	160	Max. Parking Calculation	400	93	75	Bicycle Parking Min. Calc. for Units	164
								Guest (1 per 10 units)	16
								Total Bike Parking Required and Provided:	180
								Parking Ratio:	1.05



SITE LAYOUT PLAN
SCALE: 1"=20'

RWW 4605
SPRECHER LLC

SPRECHER AND MILWAUKEE
DEVELOPMENT

102 S. SPRECHER ROAD
MADISON, WI

ISSUANCES / REVISIONS

NO.	DESCRIPTION	DATE
01	CITY LU AND CLIP SUBMITTAL	16/10/2022

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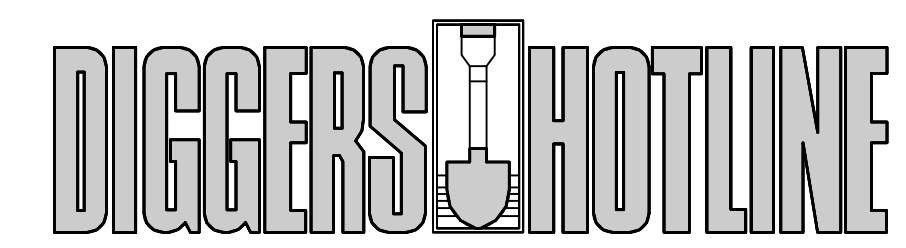
REVIEWED BY
KAU

DRAWN BY
MWT

SITE LAYOUT PLAN

C101

MILWAUKEE STREET



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RWW 4605
SPRECHER LLC

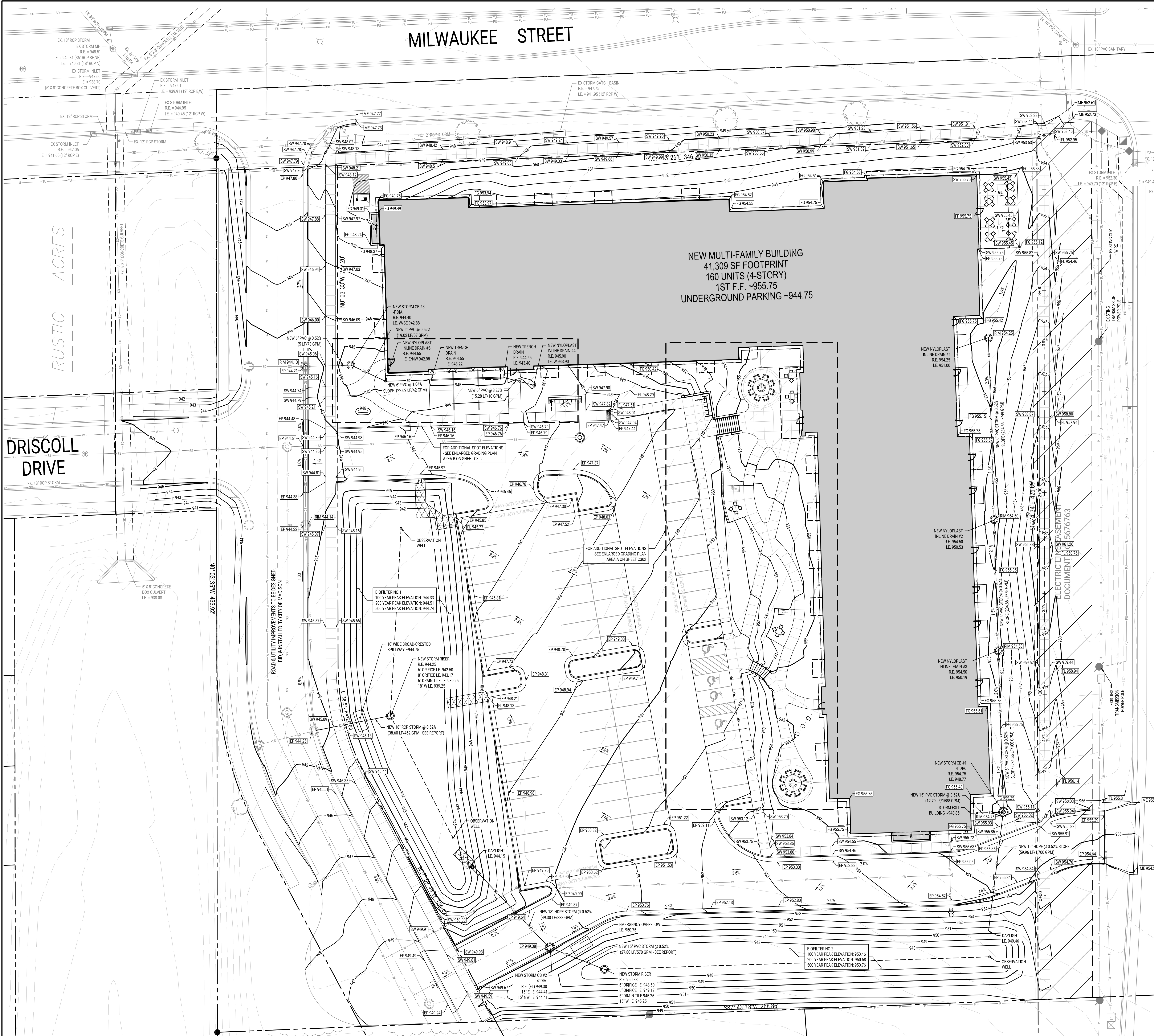
SPRECHER AND MILWAUKEE
DEVELOPMENT

102 S. SPRECHER ROAD
MADISON, WI

72800 Sprecher and Milwaukee Development
PIPE SIZING CALCULATIONS, STATE PLUMBING AREA METHOD

Category	Area, sf	Area, ac	Divisor	gpm	subtotal
to Nyloplast #1	529	0.012	32.5	16.28	32.46
paving	3,376	0.078	104	104	104
lawn					
Total					49 gpm
6" PVC @ 0.52% max 240 gpm = Acceptable					
to Nyloplast #2	156	0.004	32.5	4.80	
paving	2,252	0.052	104	21.65	48.74
lawn					
Total					75 gpm
6" PVC @ 0.52% max 240 gpm = Acceptable					
to Nyloplast #3	156	0.004	32.5	4.80	
paving	2,071	0.048	104	19.91	75.19
lawn					
Total					100 gpm
6" PVC @ 0.52% max 240 gpm = Acceptable					
to CB #1	41,309	0.948	26	1588.81	
roof	52	0.001	32.5	1.60	
paving	1,059	0.024	104	10.18	99.91
lawn					
Total					1,700 gpm
15" PVC @ 0.52% max 2,450 gpm = Acceptable					
to CB #2	8,437	0.194	32.5	259.60	
paving	402	0.009	104	3.87	
lawn					
Total					833 gpm
18" HDPE @ 0.52% max 3,400 gpm = Acceptable					
to Nyloplast #4	104	0.002	32.5	3.20	
paving	745	0.017	104	7.16	
lawn					
Total					10 gpm
6" PVC @ 0.52% max 240 gpm = Acceptable					
to Trench Drain	1,033	0.024	32.5	31.78	
paving					
lawn					
Total					42 gpm
6" PVC @ 0.52% max 240 gpm = Acceptable					
to Nyloplast #5	273	0.006	32.5	8.40	
paving	674	0.015	104	6.48	
lawn					
Total					57 gpm
6" PVC @ 0.52% max 240 gpm = Acceptable					
to CB #3	162	0.004	32.5	4.96	
roof	1,145	0.026	104	11.01	
paving					
lawn					
Total					73 gpm
12" RCP @ 0.52% max 1,180 gpm = Acceptable					

SPRECHER ROAD



NEW MULTI-FAMILY BUILDING
41,309 SF FOOTPRINT
160 UNITS (4-STORY)
1ST F.F. ~955.75
UNDERGROUND PARKING ~944.75

ELECTRIC UTILITY ASSESSMENT
DOCUMENT 5676763

SITE SYMBOL LEGEND

	SIGN
	BOLLARD
	FIRE HYDRANT
	MANHOLE/CATCH BASIN/WELT
	CURB INLET
	NEW FLARED END SECTION WITH RIRAP AND GUARD
	NEW EDGE OF PAVEMENT (ELEVATION FEET)
	NEW TOP OF PAVEMENT (ELEVATION FEET)
	NEW SIDEWALK (ELEVATION FEET)
	NEW BRUSHPILE (ELEVATION FEET)
	NEW FRESH GRADE (ELEVATION FEET)
	NEW MATCH EX. (ELEVATION FEET)
	RM OR INVERT ELEVATION (FEET)
	WATER VALVE OR GAS VALVE
	GAS METER
	LIGHT POLE
	UTILITY POLE
	GUY WIRE
	TRANSFORMER
	ELECTRIC METER AND CT CABINET
	NEW STRUCTURE OR ADDITION
	EXISTING STRUCTURE

ISSUANCES / REVISIONS

NO.	DESCRIPTION	DATE
01	CITY LU AND CLP SUBMITTAL	16/10/2022

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PROJECT NUMBER
72800

APPROVED BY
KAU

REVIEWED BY
KAU

DRAWN BY
MWT

SITE GRADING PLAN

SITE LINE LEGEND

	PROPERTY LINE
	SETBACK LINE
	EASEMENT LINE
	EXISTING INTERMEDIATE CONTOUR
	NEW INTERMEDIATE CONTOUR

NEW INDEX CONTOUR

	PAVEMENT
	FENCE
	STORM DRAIN
	SANITARY SEWER
	WATER
	GAS

ELECTRICAL POWER

	UNDERGROUND ELECTRICAL POWER
	UNDERGROUND FIBER OPTIC
	TELEPHONE
	UNDERGROUND TELEPHONE
	CABLE
	EDGE OF TREES OR SHRUBS

SITE GENERAL NOTES

- TRUE NORTH MAY VARY FROM PROJECT NORTH.
- CONSTRUCTION PRACTICES, MEANS AND METHODS, AND JOB SITE SAFETY SHALL REMAIN THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH THE FEDERAL, OCCUPATIONAL, HEALTH AND SAFETY ADMINISTRATION (OSHA) AND ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES AS THEY PERTAIN TO THIS PROJECT.
- VERIFY ALL EXISTING AND PROPOSED UTILITIES, ELEVATIONS AND DIMENSIONS.
- COORDINATE WITH THE AUTHORITY HAVING JURISDICTION AND UTILITY COMPANIES AS NECESSARY.
- ALL EXISTING CONCRETE SIDEWALKS AND YARD SLABS SHALL BE 4000 PSI ALL CONCRETE. PAVEMENT SHALL BE 4000 PSI UNLESS NOTED OTHERWISE.
- THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT.
- ALL WORK WITHIN THE CITY RIGHT-OF-WAY AND ALL PUBLIC IMPROVEMENTS TO SERVE THE PROJECT, INCLUDING UTILITIES CONNECTIONS, SHALL BE COMPLETED PER THE CITY OF MADISON ISSUED PLANS (CONTRACT XXXX, PROJECT XXXXX).

SITE GRADING NOTES

- CONSTRUCTION FENCING TO BE INSTALLED AROUND ENTIRE CONSTRUCTION SITE.
- COORDINATE WITH OWNER FOR FENCING AND GATE LOCATIONS AND APPROPRIATE SIGNAGE INSTALLATION.
- VERIFY ALL EXISTING UTILITIES, ELEVATIONS AND DIMENSIONS AS NECESSARY.
- VERIFY ALL EXISTING AND PROPOSED UTILITIES, ELEVATIONS AND DIMENSIONS.
- VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN, PARTICULARLY WITH WALK AND/OR PAVEMENTS TO DRAINAGE MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES AND DRIVEWAYS TO DRAINAGE.
- RESTORE ALL EXISTING PAVEMENTS THAT REMAIN TO THEIR ORIGINAL OR 4" BETTER CONDITION. NOTIFY OWNER OF ANY CONFLICTS.
- CONTRACTOR SHALL COORDINATE GRADING AND INSTALLATION OF DRAINAGE R.O.W. WITH APPROPRIATE GOVERNMENT AGENCIES. OBTAIN APPROPRIATE PERMITS FOR GRADING AND DRAINAGE IN ALL R.O.W.

SITE GRADING PLAN

SCALE: 1"=20'



ALL SYMBOLS MAY NOT BE USED IN THIS SET.

C301

MILWAUKEE STREET

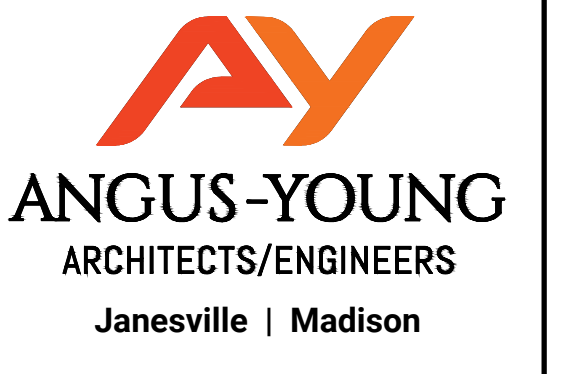
DRISCOLL DRIVE

SPRECHER ROAD

NEW MULTI-FAMILY BUILDING
41,309 SF FOOTPRINT
160 UNITS (4-STORY)
1ST F.F. -955.75
UNDERGROUND PARKING -944.75

EROSION CONTROL NOTES

- 1. Initial Downstream Receiving Water of the State from the site: Unnamed River or Stream to Door Creek.
2. This project is anticipated to disturb approximately 3.26 Acres.
3. POST CITY OF MADISON AND WDNR CERTIFICATE OF PERMIT COVERAGE ON SITE PRIOR TO LAND DISTURBANCE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED. THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDNR.
4. THE CONTRACTOR SHALL OBTAIN A NOTICE OF TERMINATION WITH THE DNR WHEN ALL LAND DISTURBING ACTIVITIES HAVE CEASED. ALL TEMPORARY EROSION AND SEDIMENT CONTROLS HAVE BEEN REMOVED, AND ALL DISTURBED AREAS HAVE PERENNIAL COVER OF AT LEAST 70%.
5. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
6. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDNR.
7. CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
8. CONTRACTOR SHALL MAINTAIN A WEEKLY REPORT OF THE EROSION AND SEDIMENT CONTROL MEASURES AND CONDUCT MAINTENANCE TO ENSURE THE MEASURES ARE IN PROPER WORKING ORDER. THE MONITORING RECORD SHALL INCLUDE AT LEAST THE FOLLOWING:
a. DATE, TIME AND EXACT PLACE OF INSPECTION
b. NAME(S) OF INDIVIDUAL(S) PERFORMING INSPECTION
c. AN ASSESSMENT OF THE CONDITION OF EROSION AND SEDIMENT CONTROLS
d. A DESCRIPTION OF ANY EROSION AND SEDIMENT CONTROL IMPLEMENTATION AND MAINTENANCE PERFORMED
e. A DESCRIPTION OF THE SITE'S PRESENT PHASE OF CONSTRUCTION
NOTE: THE DNR CONSTRUCTION SITE INSPECTION REPORT FORM CAN BE USED FOR THESE INSPECTIONS, WHICH IS LOCATED AT: HTTP://DNR.WI.GOV/RUNOFF/PDF/STORMWATER/3400187_CONSTRUCTION_SITE_INSPECTION_REPORT.PDF
9. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
10. WHEN POSSIBLE, PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
11. REFER TO THE WORK TECHNICAL STANDARDS FOR STORM WATER CONSTRUCTION AT HTTP://DNR.WI.GOV/TOPIC/STORMWATER/standards_const_standards.html
12. INSTALL PERMIETER CONTROLS AND ROCK CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD STORM TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCE(S).
13. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE TRIBUTARY AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060.
14. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT ROUGH GRADING PER WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
15. NOTIFY AUTHORITY HAVING JURISDICTION IF DEWATERING IS SCHEDULED TO OCCUR IN AREAS OF SOIL AND/OR GROUNDWATER CONTAMINATION, OR IF DEWATERING WILL OCCUR FROM A HIGH-CAPACITY WELL (70 GPM OR MORE). DEWATER ONLY AFTER THE APPROPRIATE WDNR DEWATERING DISCHARGE PERMIT HAS BEEN OBTAINED.
16. DEWATERING OPERATIONS SHALL PROTECT ADJOINING PROPERTIES AND DISCHARGE LOCATIONS FROM EROSION AND PREVENT CONTAMINATION OR DEGRADATION OF QUALITY FOR GROUND AND SURFACE WATERS. ALL OPERATIONS SHALL IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES PLAN THAT HAS BEEN DEVELOPED AND APPROVED FOR THIS SITE. WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSERVATION SEDIMENT CONTROL PRACTICE STANDARD, DE-WATERING, NO. 1061, AND SHALL COMPLY WITH THE REQUIREMENTS OF THE WISCONSIN POLLUTANT DISCHARGE ELIMINATION SYSTEM (WPDES) GENERAL PERMIT NO. WI-0049344-050.
17. PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. LIMIT PUMPING RATES TO EITHER (A) THE SEDIMENT BASIN/TRAP DESIGN DISCHARGE RATE, OR (B) THE BASIN DESIGN RELEASE RATE WITH THE CORRECTLY-FITTED HOSE AND GEOTEXTILE FILTER BAG. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDNR TECHNICAL STANDARD DE-WATERING #1061.
18. COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE. CONSTRUCT AND MAINTAIN THE SEDIMENT BASIN PER WDNR TECHNICAL STANDARD SEDIMENT BASIN #1064.
19. CONSTRUCT AND PROTECT THE BIOFILTRER BASINS AND VEGETATION FROM RUNOFF AND SEDIMENT DURING CONSTRUCTION.
20. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT. INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD SILT FENCE #1056.
21. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDNR TECHNICAL STANDARD DITCH CHECKS #1062.
22. INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WDNR TECHNICAL STANDARD INTERIM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS #1071.
23. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES WITH SILT FENCE OR OTHER PERMIETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
24. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15, STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX.
25. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS.
26. SWEEP/CLEAN UP ALL SEDIMENT THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY AUTHORITY HAVING JURISDICTION. SEPARATE SWEEP MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
27. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES #1068.
28. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
29. COORDINATE WITH THE CITY OF MADISON TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED AND LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL LEAVE THE SITE. THE DEPOSITED OR STOCKPILED MATERIALS NEEDS TO INCLUDE PERMIETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERMS).
30. FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS II TYPE B EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDNR'S FACILITIES DEVELOPMENT MANUAL AND INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD NON-CORROSION EROSION MAT #1052.
31. INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AS NEEDED (SUCH AS TEMPORARY SEDIMENT BASINS, DITCH CHECKS, EROSION CONTROL MATTING, SILT FENCING, FILTER SOCKS, SWALES, ETC.), OR AS DIRECTED BY AUTHORITY HAVING JURISDICTION.
32. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE WDNR REMEDIATION AND WASTE MANAGEMENT REQUIREMENTS FOR HANDLING AND DISPOSING OF CONTAMINATED MATERIALS. SITE-SPECIFIC INFORMATION FOR AREAS WITH KNOWN OR SUSPECTED SOIL AND/OR GROUNDWATER CONTAMINATION CAN BE FOUND ON WDNR'S BUREAU OF REMEDIATION AND REDEVELOPMENT TRACKING SYSTEM (BRRTS) PUBLIC DATABASE AT: http://dnr.wi.gov/bow/
33. PROVIDE SEDIMENT LOG AROUND PERIMETER OF BIOFILTRER DEVICES TO PROTECT FROM CLOGGING OF DEVICE. REMOVE FILLING/STABILIZATION OF TRIBUTARY AREA. DO NOT REMOVE UNTIL ANY EROSION PROBLEMS FLOWING TO DEVICE ARE FIXED.



RWW 4605 SPRECHER LLC
SPRECHER AND MILWAUKEE DEVELOPMENT

102 S. SPRECHER ROAD
MADISON, WI

Table with 3 columns: NO., DESCRIPTION, DATE. Includes entry for CITY LU AND CLP SUBMITTAL on 06/10/2022.

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PROJECT NUMBER: 72800
APPROVED BY: KAU
REVIEWED BY: KAU
DRAWN BY: MWT
EROSION CONTROL PLAN

C303

EROSION CONTROL LEGEND
Includes symbols for SILT FENCING, INLET PROTECTION, CONCRETE WASHOUT ZONE, SLOPE INTERRUPTION/PERIMETER CONTROL, TRACKING PAD, RPP RAP, and SCOUR STOP.

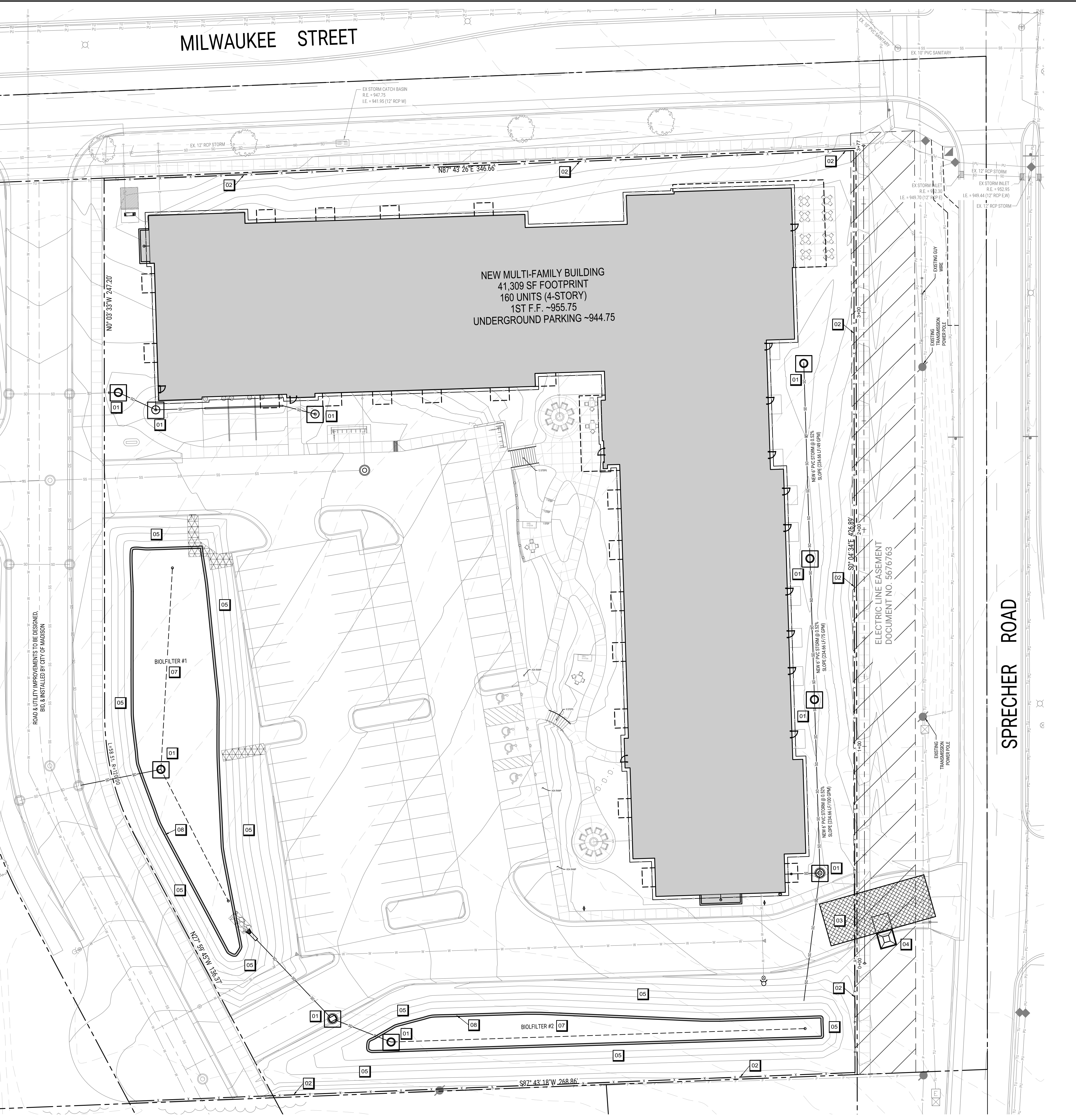
- KEYNOTES
01 NEW STORM INLET PROTECTION. TYP. SEE DETAIL 22/C802.
02 NEW SILT FENCING. TYP. SEE DETAIL 24/C802.
03 NEW STONE TRACKING PAD. SEE DETAIL 04/C802.
04 NEW CONCRETE WASHOUT AREA. SEE DETAIL 07/C802.

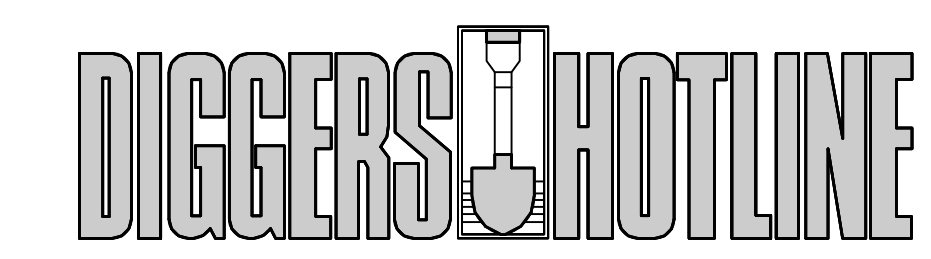
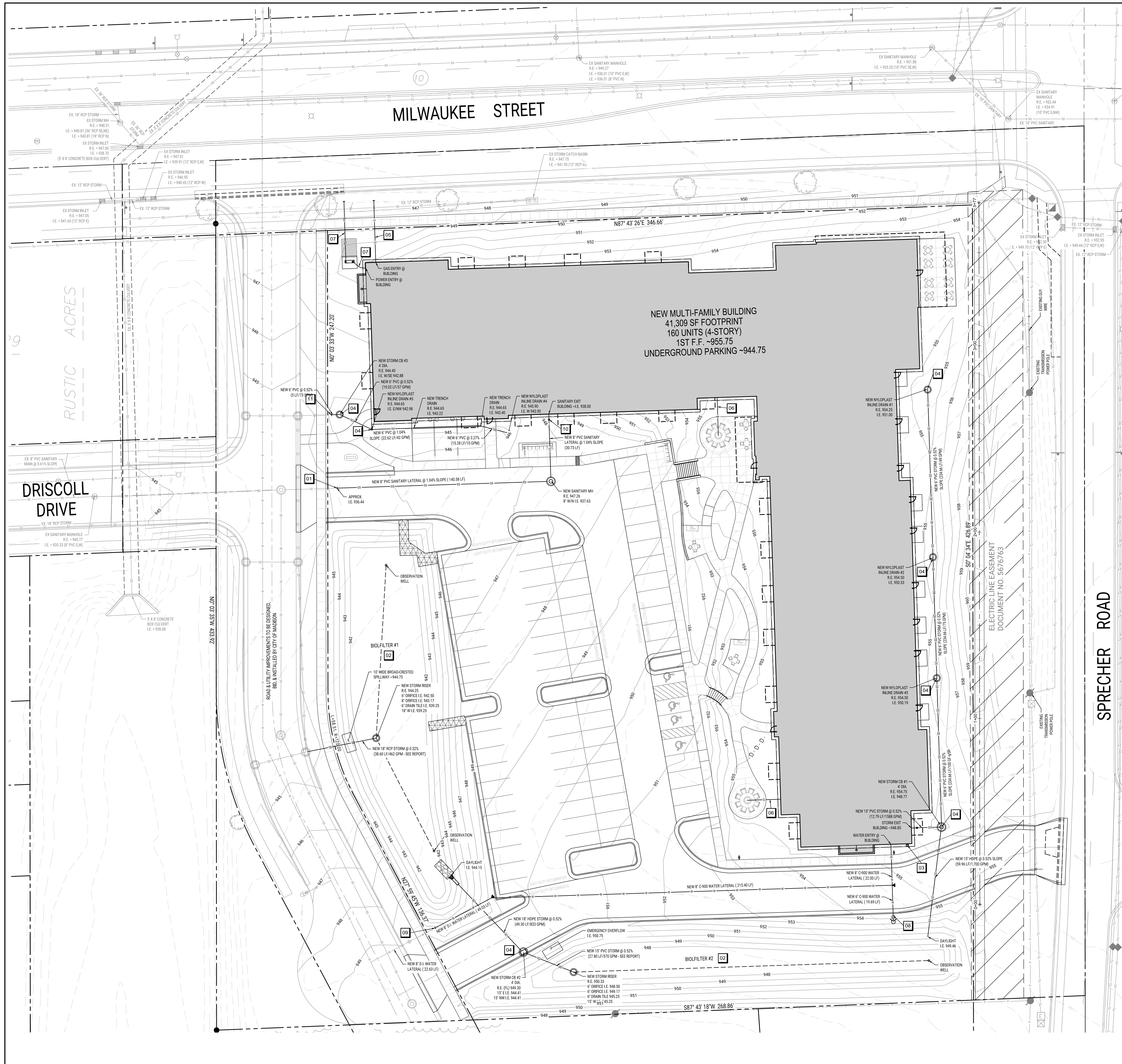
- 05 WISDOT URBAN TYPE B EROSION MAT SHALL BE PROVIDED ON SLOPES 4:1 OR GREATER.
06 NEW STORM FRAMED INLET PROTECTION. SEE DETAIL 22/C802.
07 USE BIOFILTER AS SEDIMENTATION BASIN DURING CONSTRUCTION. REMOVE AND DISPOSE OF SEDIMENT BUILT-UP IN BASIN. DO NOT INSTALL BIOFILTER ENGINEERED SOILS OR PEA GRAVEL. IN BIOFILTER AREA UNTIL END OF MAJOR SITE GRADING. SURROUND BIOFILTER WITH SEDIMENT LOG (ONCE ENGINEERED SOILS ARE INSTALLED) AND DO NOT REMOVE UNTIL VEGETATION HAS BEEN ESTABLISHED.
08 NEW SEDIMENT LOG TO SURROUND BASE OF BIOFILTER TO PREVENT FROM CLOGGING.

EROSION CONTROL PLAN
SCALE: 1"=20'
EROSION CONTROL NOTES
1. SEE SHEET C802 FOR EROSION CONTROL DETAILS.
2. CONTRACTOR IS RESPONSIBLE FOR ALL EROSION CONTROL INSTALLATIONS AND MAINTENANCE.
3. ALL WATER PUMPED FROM PITS, TRENCHES, PONDS, OR OTHER excavations MUST BE TREATED (PUMP TO SEDIMENT BASIN OR FILTER BAG) PRIOR TO DISCHARGE OFFSITE. DEWATERING SHALL BE PERFORMED ACCORDING TO WORKING TECHNICAL STANDARD 1061. SEE DETAIL 07/C802.

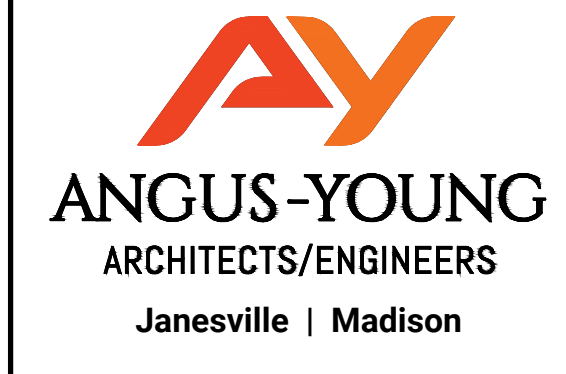
LATE SEASON STABILIZATION NOTES
CONSTRUCTION SITE MUST BE PERMANENTLY OR TEMPORARILY STABILIZED BY NOVEMBER 1 OF EACH YEAR. CRITERIA FOR STABILIZATION IS:
1. PERMANENT VEGETATION OPTION:
a. SEED ALL DISTURBED AREAS WITH PERMANENT VEGETATION BY SEP. 15, WITH APPROPRIATE FOLLOW-UP TO ADDRESS EROSION AND SEDIMENTATION PROBLEMS.
b. TEMPORARY VEGETATION OPTION (SEE BEFORE 10/15):
a. ALL DISTURBED AREAS SHALL BE TEMPORARILY SEEDED WITH A TEMPORARY SEED MIX (OATS, WINTER WHEAT OR ANNUAL RYE) BY OCT. 15, WITH APPROPRIATE FOLLOW-UP TO ADDRESS EROSION AND SEDIMENTATION PROBLEMS. THEN, PERMANENT SEED MIX SHALL BE APPLIED BY JUNE 1 OF THE FOLLOWING YEAR. SEEDING RATES AND MIXES SHALL CONFORM TO WI DOT ROADWAY STANDARD SECTION 630.
c. TEMPORARY STABILIZED VEGETATIVE COVER IS 70% VEGETATIVE COVERAGE DENSITY. COVERAGE MUST BE UNIFORM.
3. TEMPORARY STABILIZATION OPTION (SEE AFTER 10/15):
a. APPLY TOPSOIL, SEED AND EROSION CONTROL WHERE SHOWN ON EROSION CONTROL PLAN. IF EROSION CONTROL PLAN DOES NOT CALL FOR EROSION MAT, THEN APPLY A TYPE A SOIL STABILIZER OR HYDROMULCH WITH DORMANT TEMPORARY SEED ANNUAL RYE FROM THE WI DOT PAL TO ALL DISTURBED AREAS OF THE SITE. SEED SHALL BE AT 80 LBS/ACRE WITH A 97% SEED PURITY. SEE WI DNR CONSERVATION PRACTICE STANDARD NO. 1059 SEEDING FOR CONSTRUCTION SITE EROSION CONTROL. PROVIDE 2% LOOSE SOIL FOR SEED BED.
b. TEMPORARY STABILIZATION IS CONSIDERED COMPLIANT IF IT HAS SITE COVERAGE OF TOPSOIL, SEED AND TYPE A SOIL STABILIZER AND/OR EROSION CONTROL MATTING WHERE THE SITE RESTORATION PLAN CALLS FOR EROSION CONTROL MATTING AND/OR RPP RAP AS SHOWN ON PLANS, AND/OR FUTURE ROAD SURFACES GRADED WITH STONE BASE; AND/OR DITCHES WITH DITCH CHECKS AS SHOWN ON PLANS.
3. TEMPORARY STABILIZATION OPTION (UNABLE TO RE-APPLY TOPSOIL AFTER 11/1):
a. APPLY A TYPE A SOIL STABILIZER FROM THE WI DOT PAL TO ALL DISTURBED AREAS. INSTALL DITCH CHECKS IN ALL DITCHES WITH SLOPE GREATER THAN 0.5% AT INTERVALS WHERE THE TOP TO THE DOWNHILL DITCH CHECK IS AT THE ELEVATION OF THE FOOT OF THE UPHILL DITCH CHECK. (TRIANGULAR SILT DIKE, STONE INSTALLED PER WDNR TECH STANDARD. SEDIMENT LOG OR COMPARABLE PRODUCT APPROVED BY AUTHORITY HAVING JURISDICTION).
NOTES:
DISTURBED AREAS EXCLUDE ROADS AND PARKING AREAS THAT HAVE BEEN GRADED WITH BASE COURSE INSTALLED, AS WELL AS THE IMMEDIATE VICINITY (IE. 30' OF BUILDINGS THAT ARE ACTIVELY UNDER CONSTRUCTION WHERE EXTERIOR WORK IS STILL GOING ON, AND HAVE EFFECTIVE TEMPORARY BMPs TO CONTROL SEDIMENT.

DIGGERS HOTLINE
CALL TOLL FREE 1-800-242-8511
MILWAUKEE AREA 414-259-1181
FAX A LOCATE 1-800-338-3860
TDD (HEARING IMPAIRED) 1-800-542-2289
ONLINE: www.DiggersHotline.com
WISCONSIN STATUTE 102.0775 (1974) REQUIRES A MINIMUM OF THREE (3) WORKING DAYS NOTICE PRIOR TO EXCAVATION.





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 ONLINE: www.DiggersHotline.com



RWW 4605
 SPRECHER LLC
 SPRECHER AND MILWAUKEE
 DEVELOPMENT
 102 S. SPRECHER ROAD
 MADISON, WI

- SITE UTILITY PLAN GENERAL NOTES**
1. FIELD NORTH MAY VARY FROM PROJECT NORTH.
 2. CONSTRUCTION PRACTICES, MEANS AND METHODS, AND JOB SITE SAFETY, SHALL REMAIN THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 3. ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH THE FEDERAL OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA) AND ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES AS THEY PERTAIN TO THIS PROJECT.
 4. FIELD VERIFY ALL EXISTING AND PROPOSED UTILITIES, ELEVATIONS AND DIMENSIONS.
 5. COORDINATE REDUCTION OF ANY UTILITIES WITH THE UTILITY COMPANIES. NOTIFY THE ELECTRICAL UTILITY OF ANY EXCAVATION ADJACENT TO HIGH VOLTAGE LINES. PROTECT ALL UTILITIES TO REMAIN.
 6. DIGGER HOTLINE SHALL BE CALLED TO MARK UTILITIES PRIOR TO ANY EXCAVATION.
 7. COORDINATE WITH THE AUTHORITY HAVING JURISDICTION AND UTILITY COMPANIES AS NECESSARY.
 8. PROVIDE WATER CONNECTIONS AND CONTROL VALVES IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
 9. CONTRACTOR SHALL RESTORE CURB AND GUTTER AND PAVEMENT WORK TO MEET AUTHORITY HAVING JURISDICTION REQUIREMENTS. SAW CUT PAVEMENT TO PROVIDE CLEAN EDGE.
 10. TRACER WIRE SHALL BE INSTALLED ABOVE ALL SANITARY STORM AND WATER LATERALS THAT CONNECT TO A PUBLIC UTILITY. TRACER WIRE SHALL BE A MINIMUM OF 12 GAUGE, PLASTIC-COATED COPPER WIRE BURIED WITHIN 6" AND DIRECTLY ABOVE THE TOP OF THE PIPE. THE TRACER WIRE SHALL BE BOUND TO THE SURFACE AT LEAST EVERY 40'. PROTECT THE WIRE AT THE ACCESS POINTS. THE COLOR OF THE TRACER WIRE SHALL BE AS FOLLOWS:
 - GREEN FOR SANITARY SEWER
 - BROWN FOR STORM SEWER
 - BLUE FOR POTABLE WATER
 11. PROVIDE TRENCH BEDDING, UTILITY TRENCHES UNDER CONCRETE PAVEMENT SHALL UTILIZE FLOWABLE FILL IN AREAS DEEPLY TO COMPACT TO PREVENT CONCRETE CRACKING.
 12. PROVIDE MIN. 7" OF COVER OVER WATER LATERAL. SEE GRADING PLAN SHEET FOR EXISTING AND PROPOSED GRADES. COORDINATE AS NECESSARY PATIO/LANAI/AROUNDING STORAGE FACILITIES. PROVIDE MIN. 10" CLEARANCE UNDER OR 12" CLEARANCE OVER SANITARY AND STORM SEWER PIPES.
 13. ALL SANITARY STORM AND WATER UTILITY WORK WITHIN PUBLIC RIGHT OF WAY SHALL CONFORM TO AUTHORITY HAVING JURISDICTION REQUIREMENTS AND STANDARD SPECIFICATIONS.
 14. RESTORE ALL AREAS TO EXISTING GRASS UNLESS NOTED OTHERWISE.
 15. SEE ARCHITECTURAL AND PLUMBING DRAWINGS FOR ROOF DRAIN LOCATIONS.
 16. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION OF AN EXP. TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
 17. ALL WORK WITHIN THE CITY RIGHT-OF-WAY AND ALL PUBLIC IMPROVEMENTS TO SERVE THE PROJECT, INCLUDING LATERAL CONNECTIONS, SHALL BE COMPLETED PER THE CITY OF MADISON ISSUED PLANS (CONTRACT XXXX, PROJECT XXXXX).

- KEYNOTES**
- 01 NEW 8" PVC SANITARY LATERAL AND YARD CLEANOUT. SEE DETAIL XX/CB01. CONNECT TO CITY SANITARY CONNECTION. ADJUST SANITARY LATERAL INVERTS AFTER CITY UTILITY MAIN DESIGN IS COMPLETED.
 - 02 NEW BIOPFILTER RISER.
 - 03 NEW FOC CONNECTION AT BUILDING.
 - 04 NEW STORM PRECAST CONCRETE CATCH BASIN OR NYLOPLAST INLET. SEE DETAILS 11/CB01, 12/CB01.
 - 05 NEW GAS LATERAL, COORDINATE WITH MGE.
 - 06 NEW GAS SERVICE CONNECTION FROM BUILDING TO NATURAL GAS FIRE BOWLS.
 - 07 NEW BURIED UNDERGROUND POWER & TRANSFORMER BY M&E. FIELD VERIFY. BURY NEW TELEPHONE & CABLE IN SAME TRENCH FIELD VERIFY.
 - 08 NEW FIRE HYDRANT & VALVE. SEE DETAIL 22/CB01.
 - 09 NEW 8" D.I. WATER LATERAL. CONNECT TO CITY PROVIDED WATER STUB ON TO PROPERTY. FIELD VERIFY. LOCATION AFTER CITY UTILITY MAIN DESIGN IS COMPLETED. CITY SCOPE ANTICIPATED TO INCLUDE SHAFT OFF VALVE IN RIGHT-OF-WAY.
 - 10 NEW SANITARY CLEANOUT. SEE DETAIL 18/CB01.
 - 11 NEW STORM LATERAL. CONNECTION TO CITY MAIN. FIELD VERIFY STORM LATERAL INVERTS AFTER CITY UTILITY MAIN DESIGN IS COMPLETED.

SITE SYMBOL LEGEND	
	SIGN
	BOLLARD
	FIRE HYDRANT
	MANHOLE/CATCH BASIN/INLET
	CURB INLET
	NEW FLARED END SECTION WITH BR/PROP AND GUARD
	WATER VALVE OR GAS VALVE
	GAS METER
	LIGHT POLE
	UTILITY POLE
	GUY WIRE
	TRANSFORMER
	ELECTRIC METER AND CT CABINET
	NEW STRUCTURE OR ADDITION
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ALL SYMBOLS MAY NOT BE USED IN THIS SET.

SITE LINE LEGEND	
	PROPERTY LINE
	SETBACK LINE
	EASEMENT LINE
	EXISTING INTERMEDIATE CONTOUR
	EXISTING INDEX CONTOUR
	NEW INTERMEDIATE CONTOUR
	NEW INDEX CONTOUR
	PAVEMENT
	FENCE
	STORM DRAIN
	SANITARY SEWER
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	ELECTRICAL POWER
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	UNDERGROUND TELEPHONE
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	EDGE OF TREES OR SHRUBS

ALL SYMBOLS MAY NOT BE USED IN THIS SET.

SITE UTILITY PLAN
 SCALE: 1"=20'

ISSUANCES / REVISIONS		
NO.	DESCRIPTION:	DATE:
01	CITY LU AND CLP SUBMITTAL	06/10/2022

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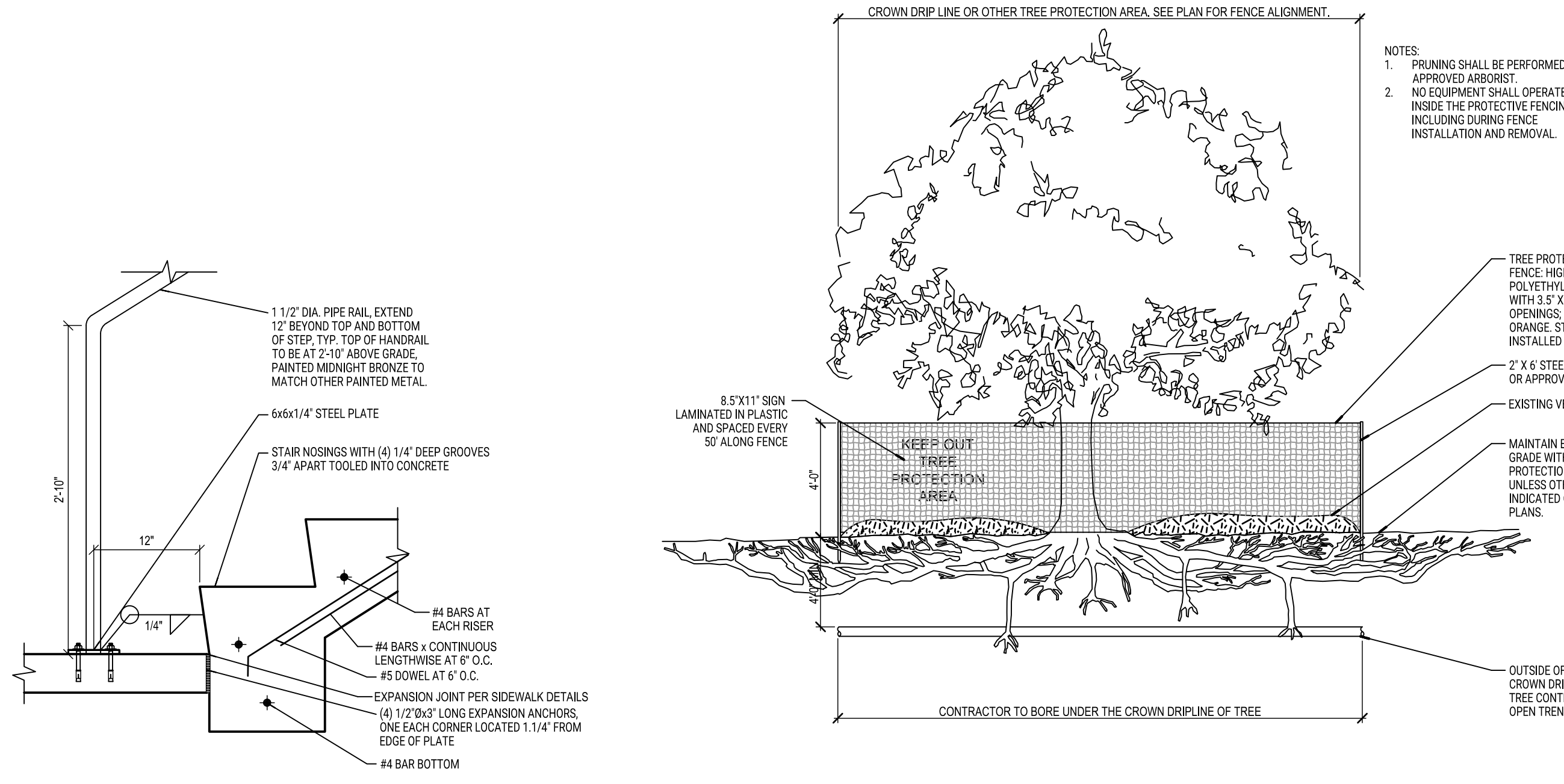
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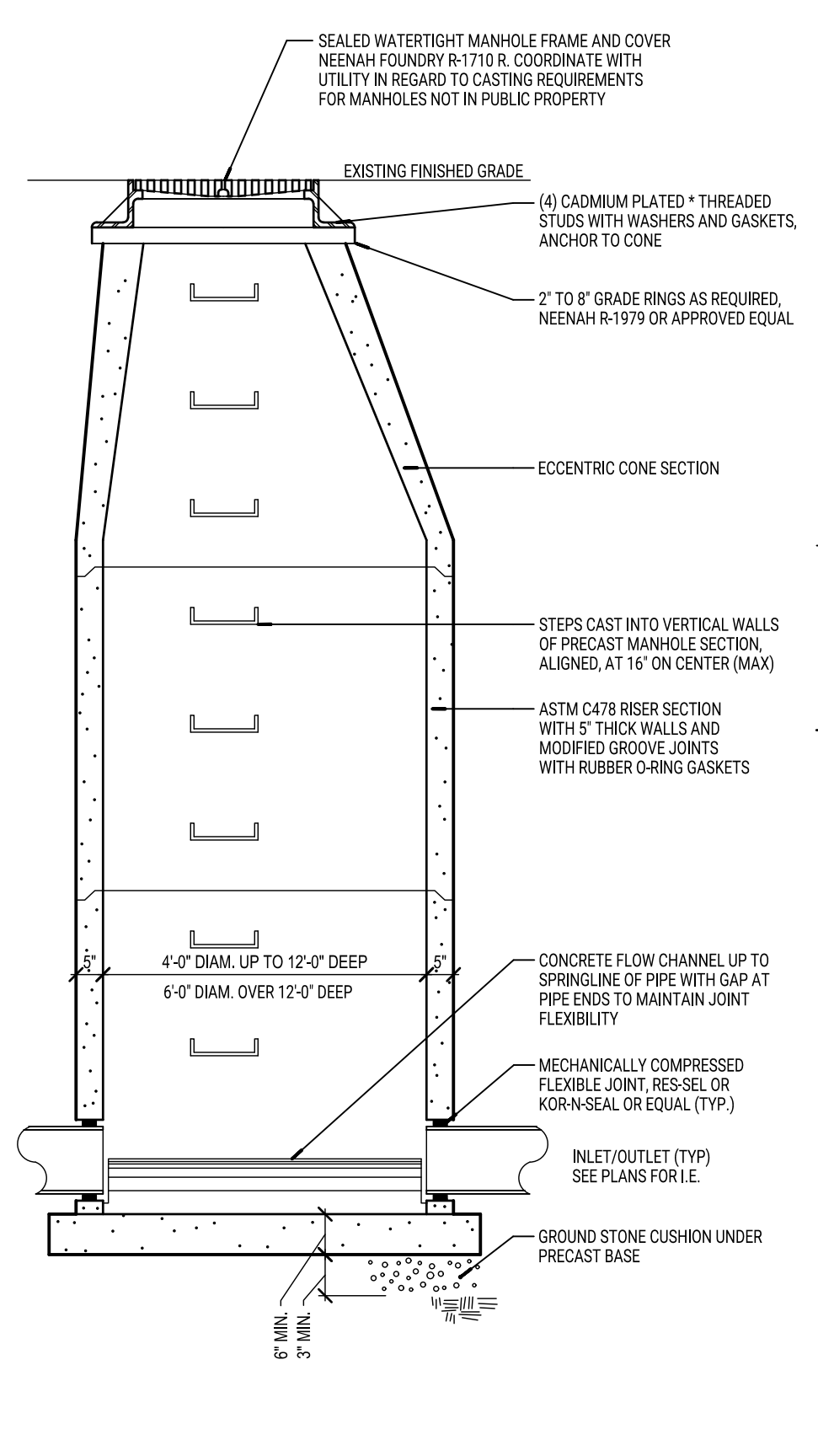
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SITE UTILITY PLAN
C401

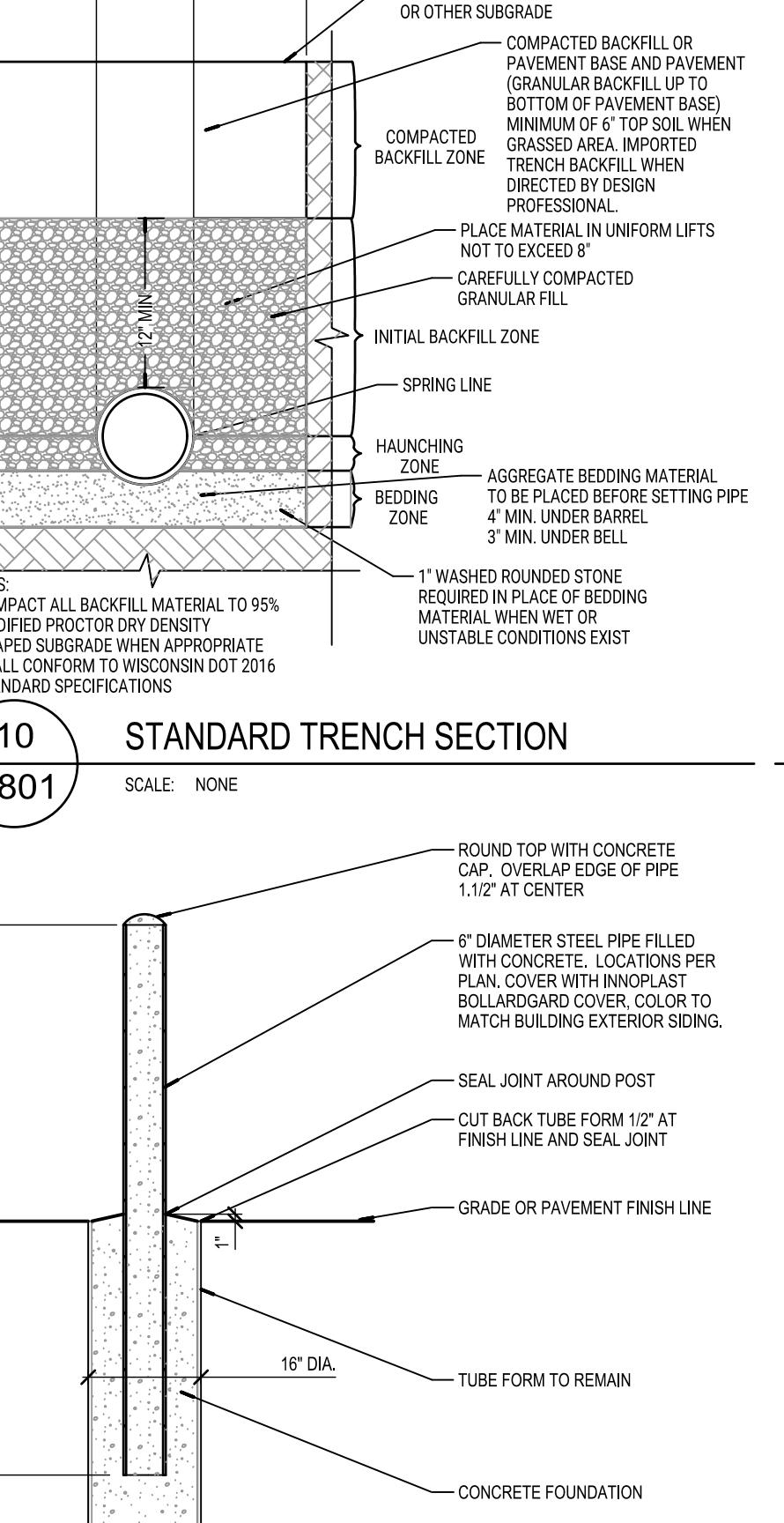


29
C801
TYPICAL FOOT OF CONCRETE
STAIR AND HANDRAIL DETAIL
SCALE: NTS

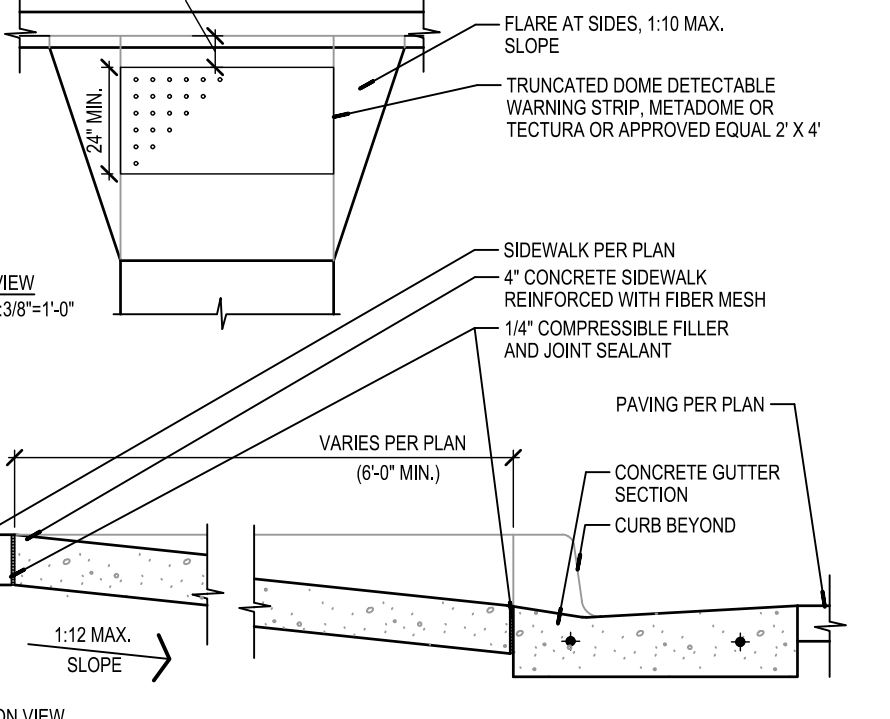
24
C801
TREE PROTECTION DETAIL
SCALE: 1/4"=1'-0"



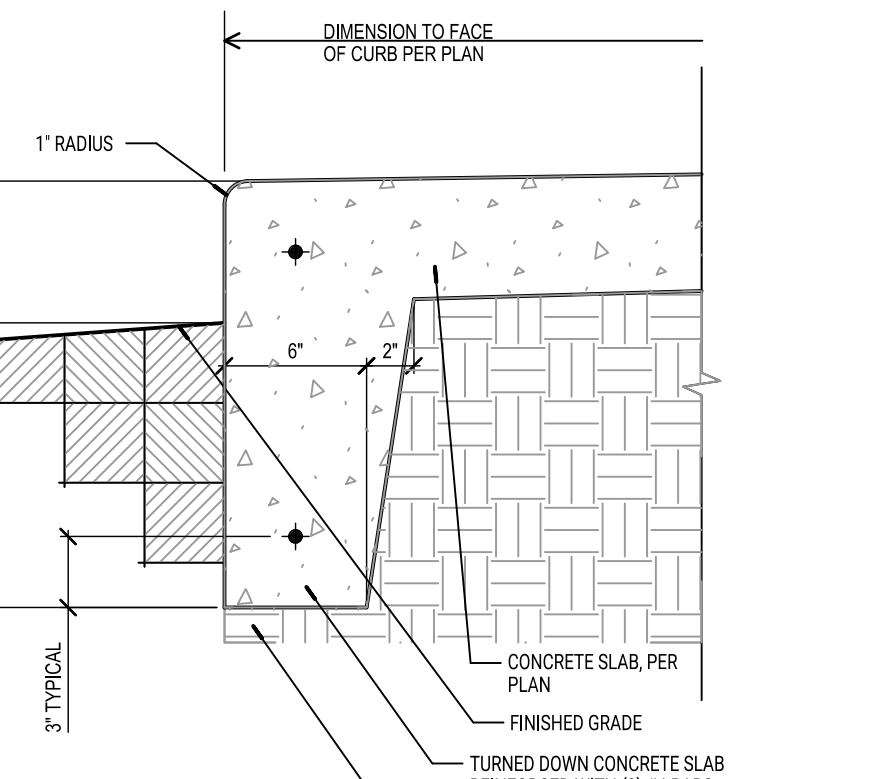
14
C801
SANITARY MANHOLE SECTION
SCALE: 1/2"=1'-0"



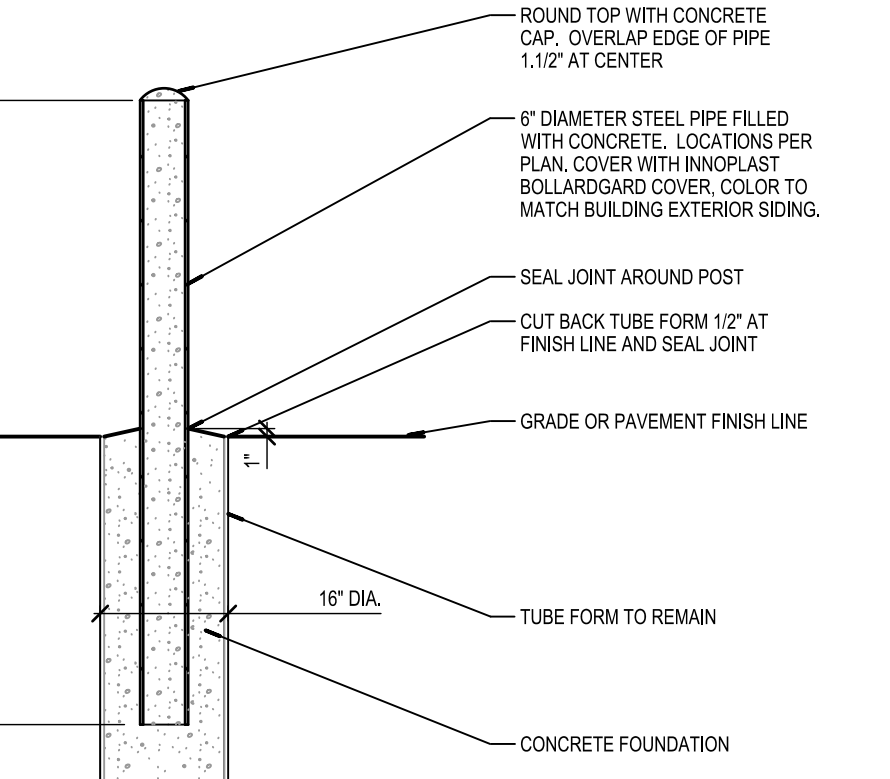
10
C801
STANDARD TRENCH SECTION
SCALE: NONE



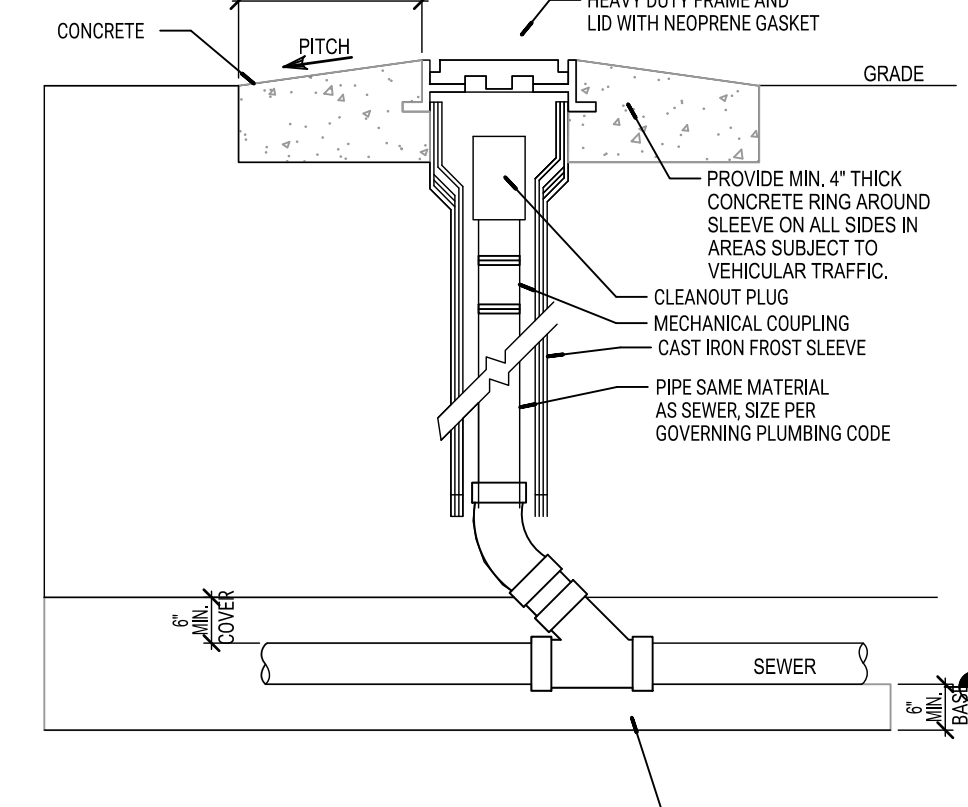
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C801
CONCRETE SIDEWALK CURB RAMP
SCALE: VARIES



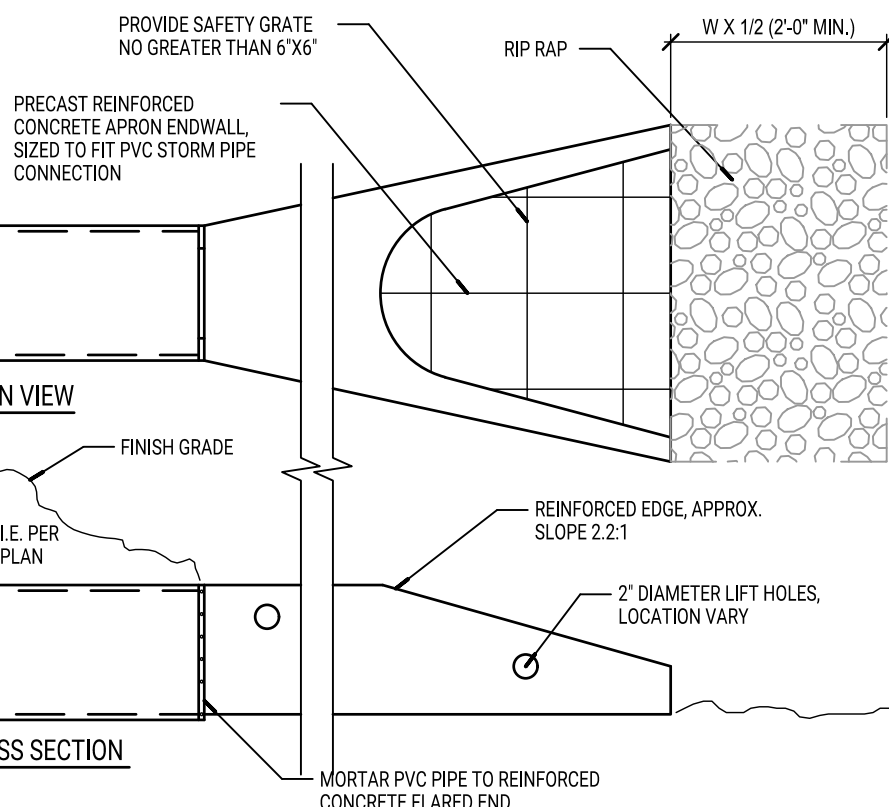
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C801
TURNDOWN CURB SECTION
SCALE: 1/2"=1'-0"



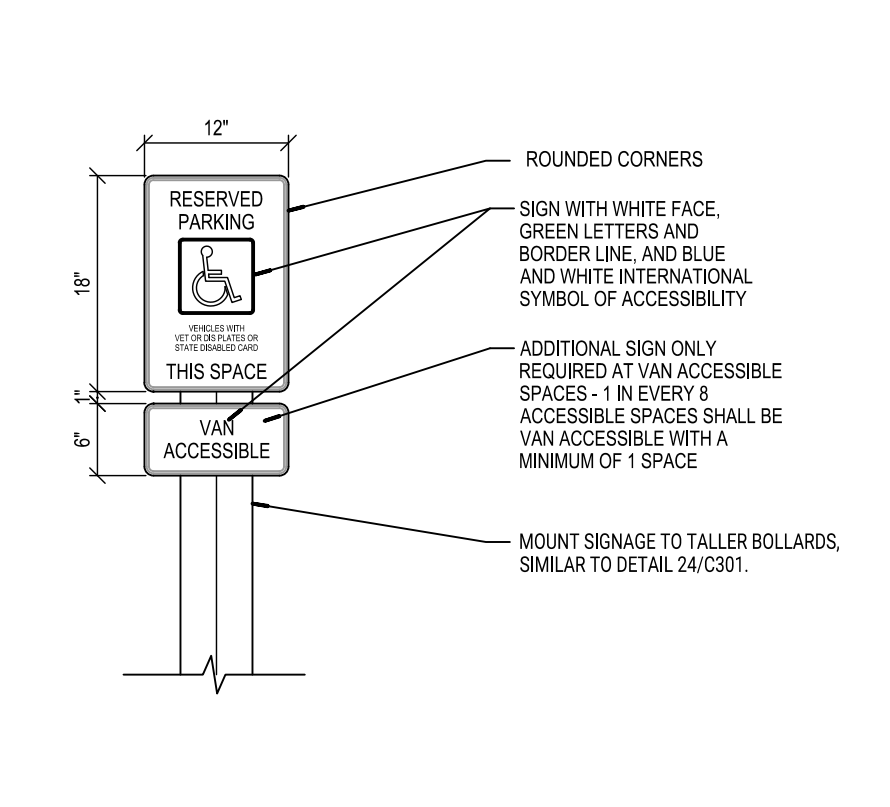
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C801
TYPICAL EXTERIOR 6" BOLLARD
SCALE: 1/2"=1'-0"



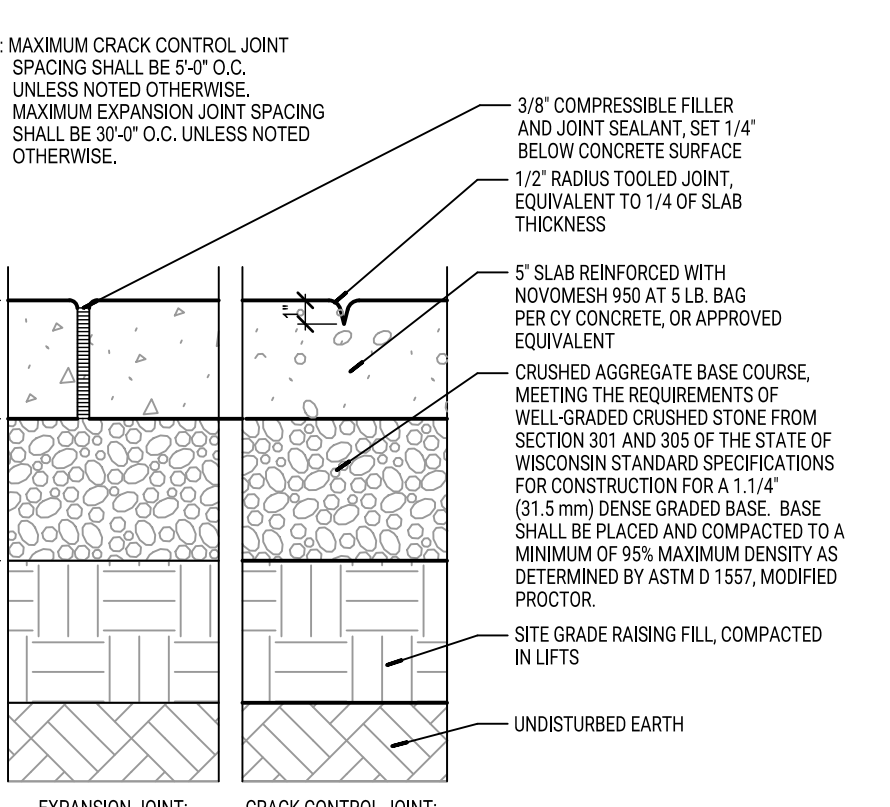
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C801
SANITARY CLEANOUT
SCALE: NONE



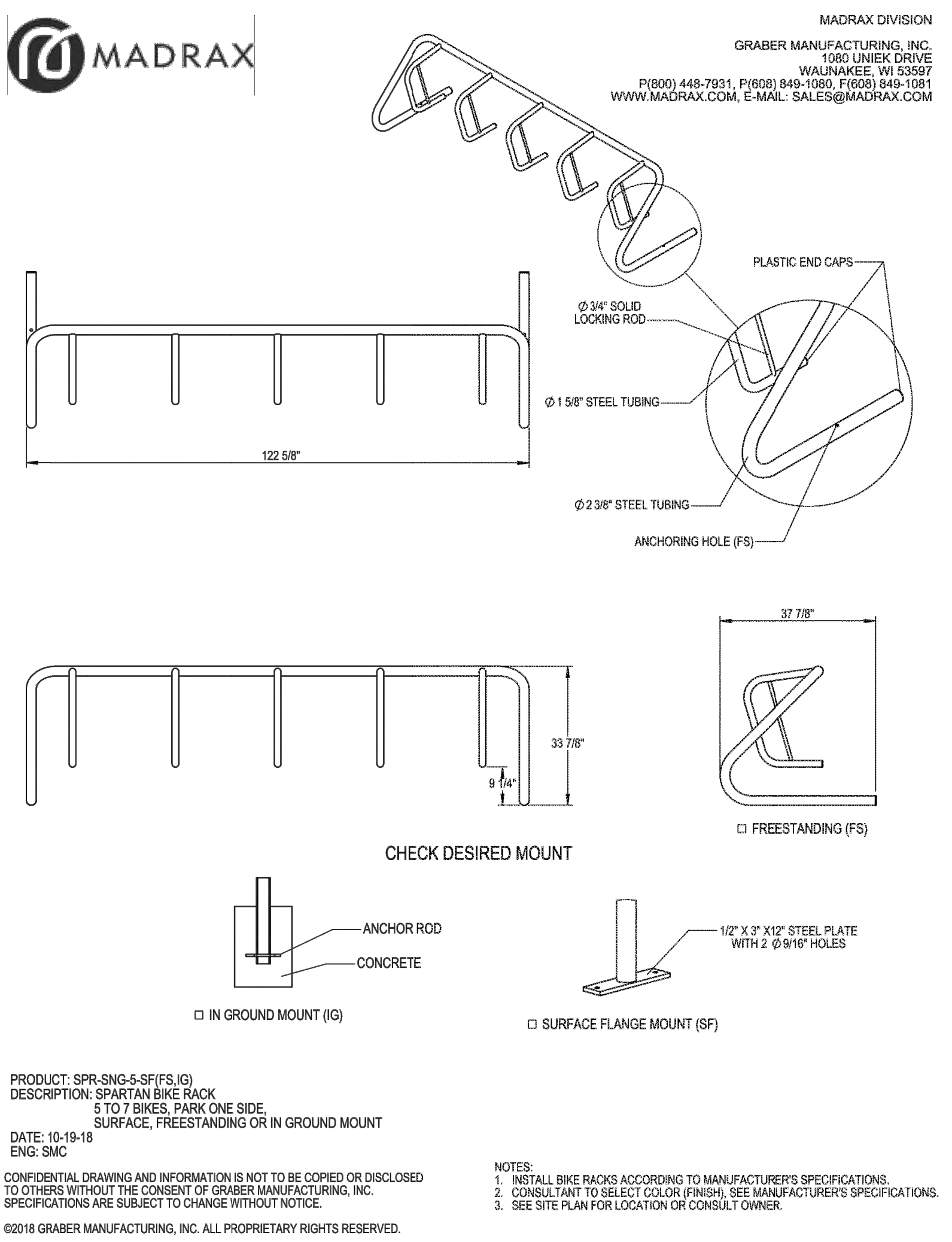
13
C801
FLARED PIPE SECTION
SCALE: NONE



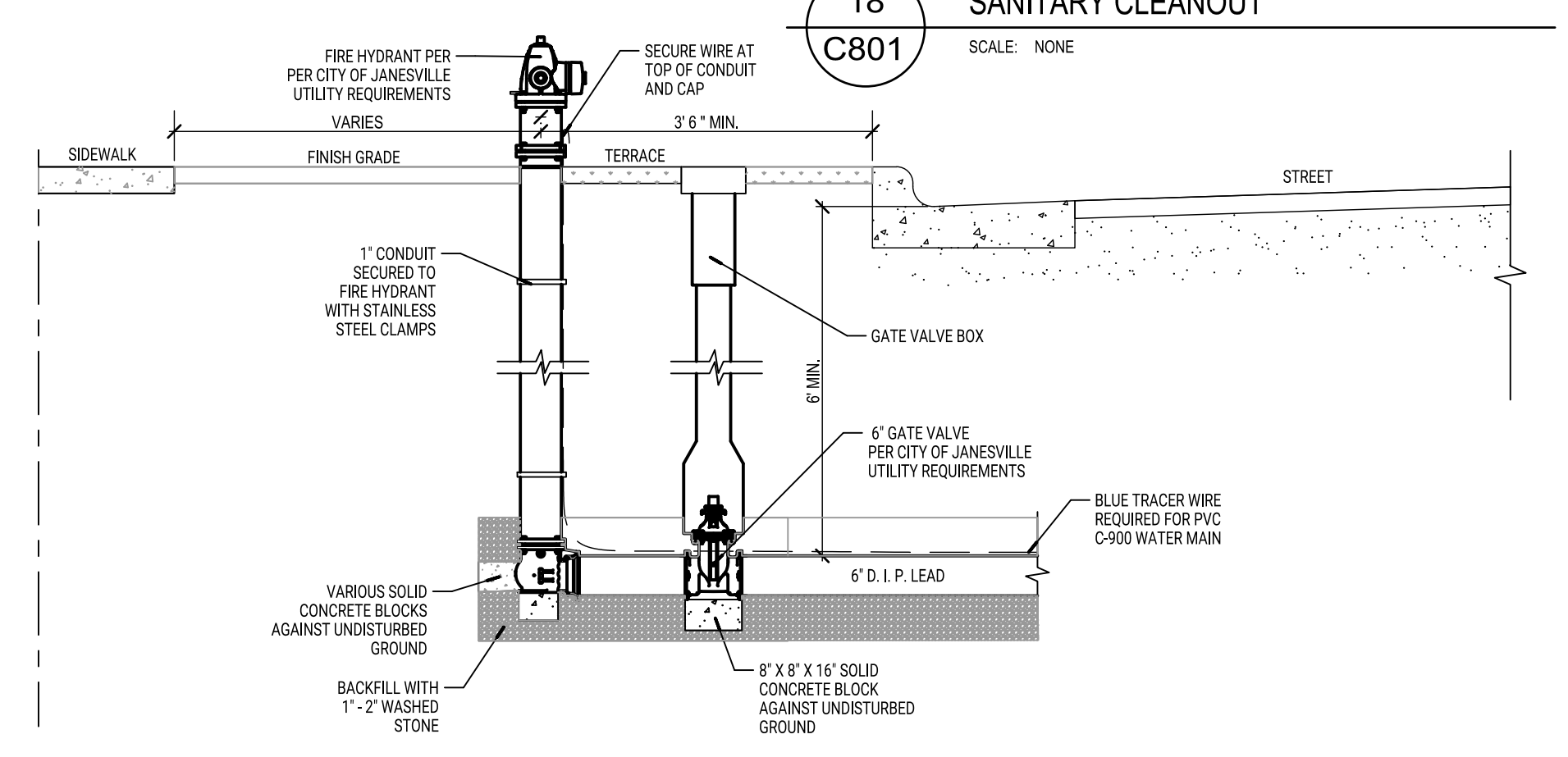
08
C801
SINGLE PARKING SPACE
BARRIER-FREE SIGN DETAIL
SCALE: 3/4"=1'-0"



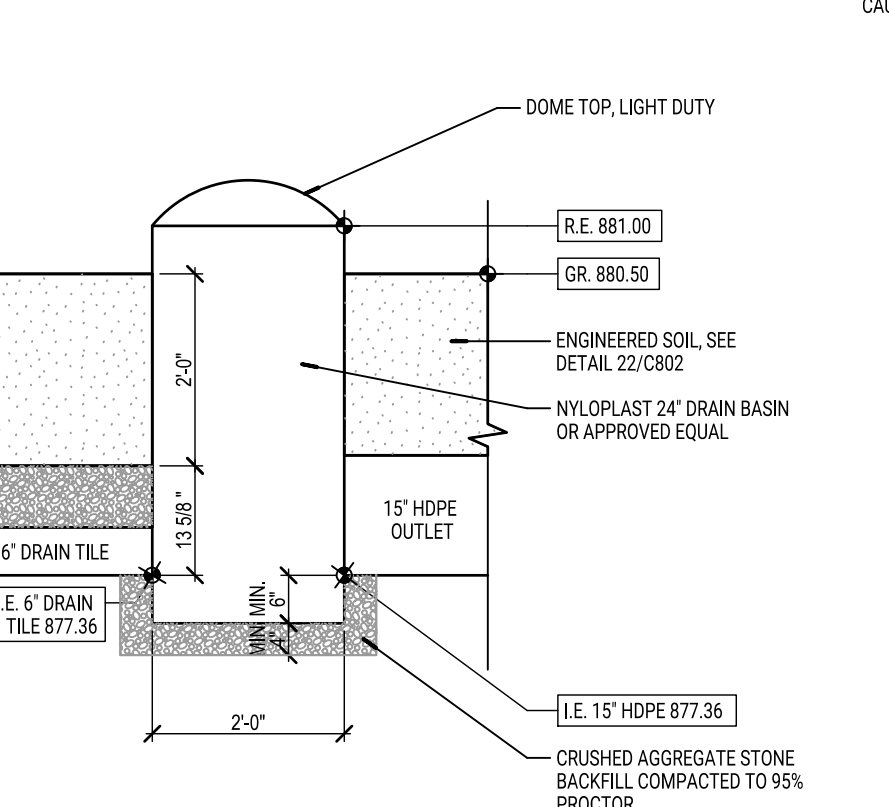
03
C801
SIDEWALK JOINTING DETAIL
SCALE: 1/2"=1'-0"



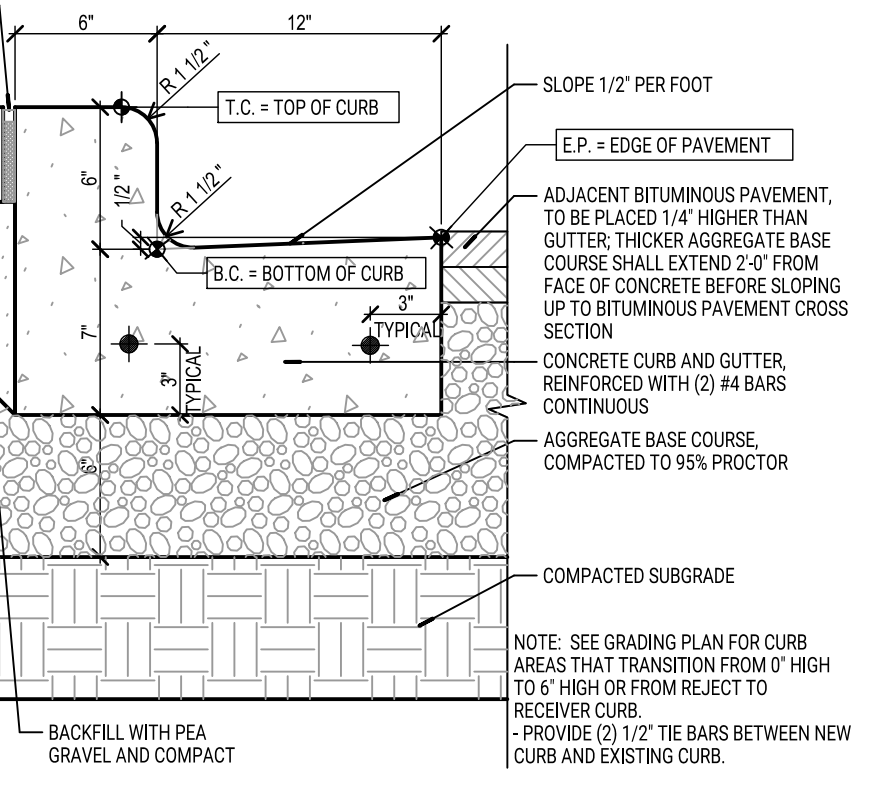
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C801
BIKE RACK DETAIL
SCALE: NTS



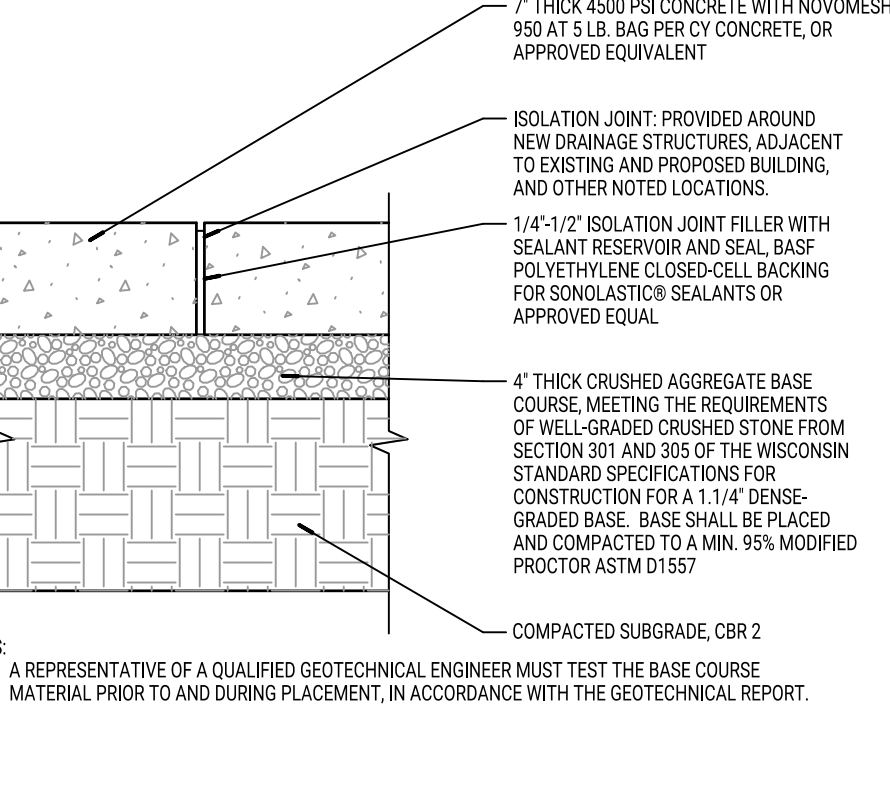
22
C801
FIRE HYDRANT LEAD WITH VALVE BOX
SCALE: 1/2"=1'-0"



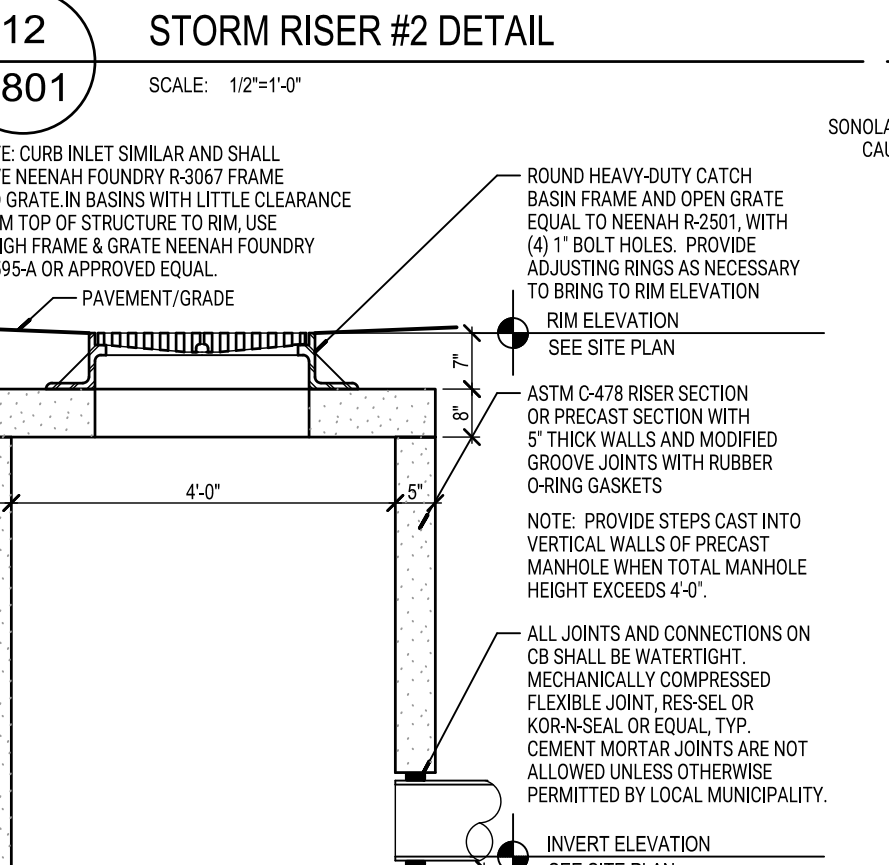
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C801
STORM RISER #2 DETAIL
SCALE: 1/2"=1'-0"



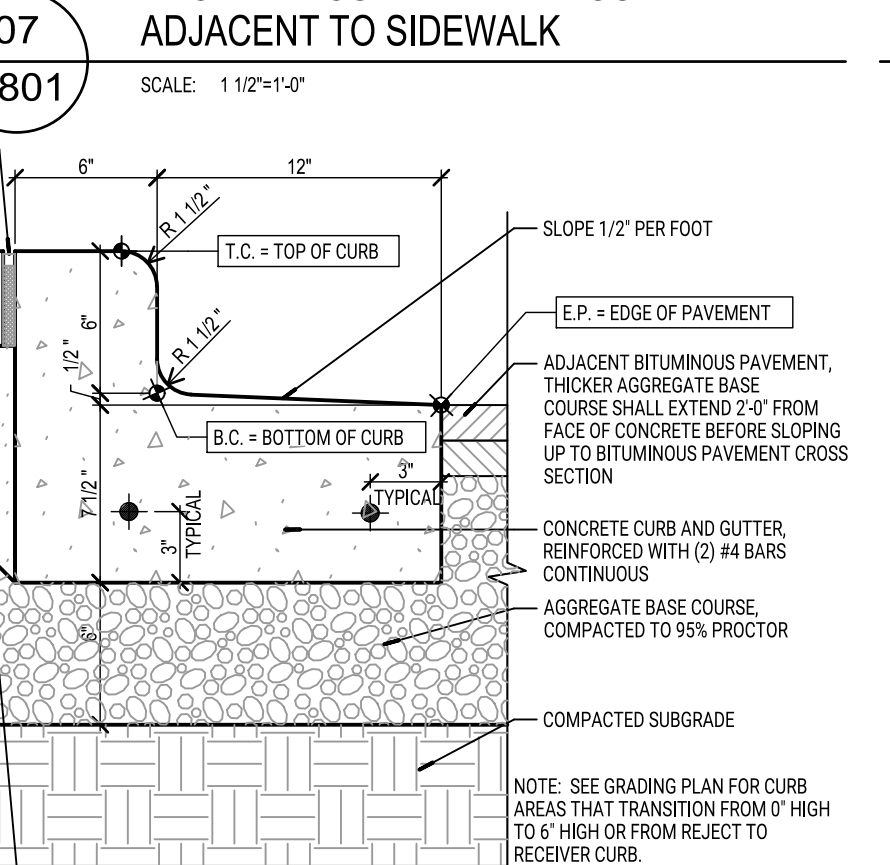
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C801
RECEIVER CURB WITH 12" GUTTER
ADJACENT TO SIDEWALK
SCALE: 1/2"=1'-0"



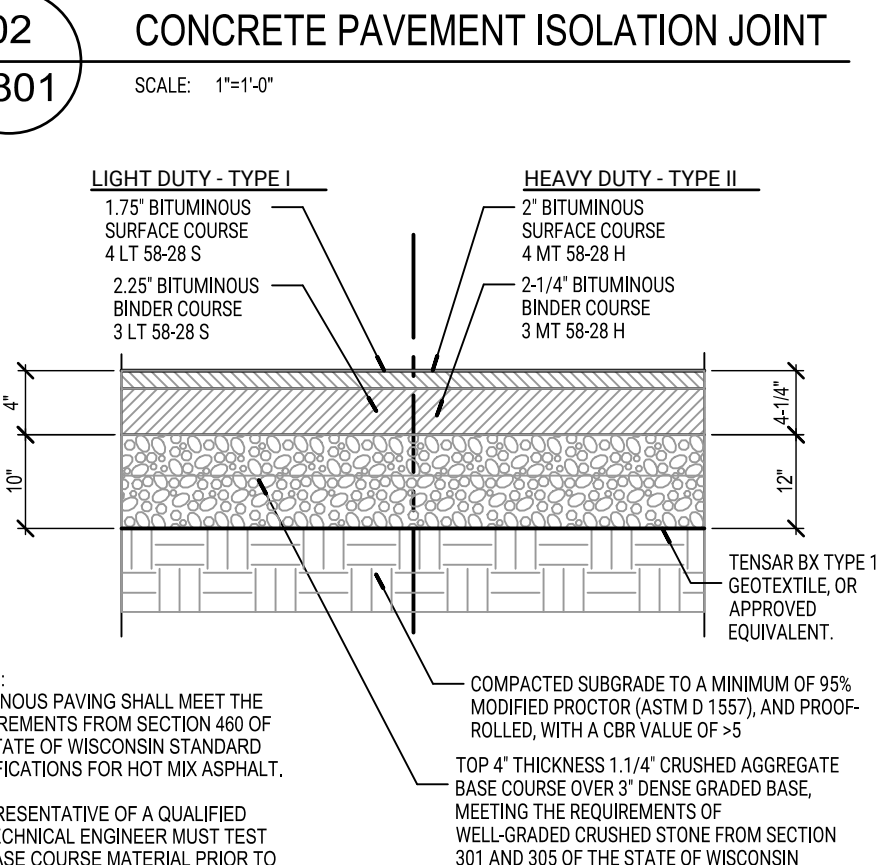
02
C801
CONCRETE PAVEMENT ISOLATION JOINT
SCALE: 1/2"=1'-0"



11
C801
STORM CATCH BASIN DETAIL
SCALE: 1/2"=1'-0"



06
C801
REJECT CURB WITH 12" GUTTER
ADJACENT TO SIDEWALK
SCALE: 1/2"=1'-0"



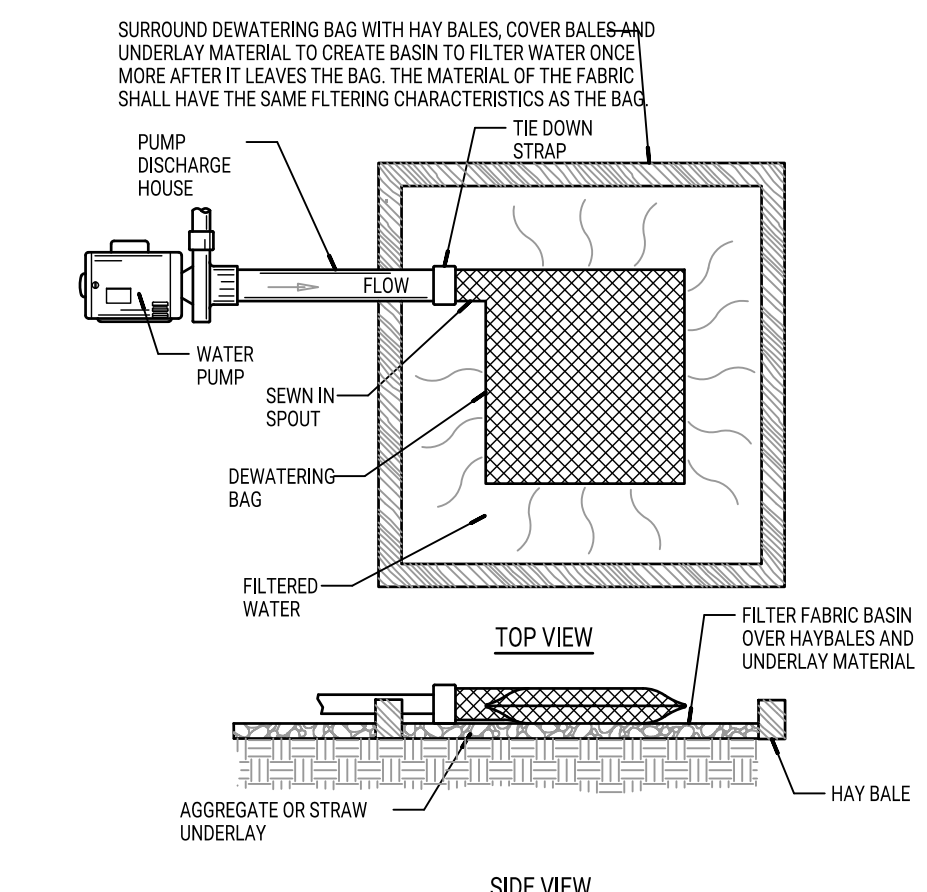
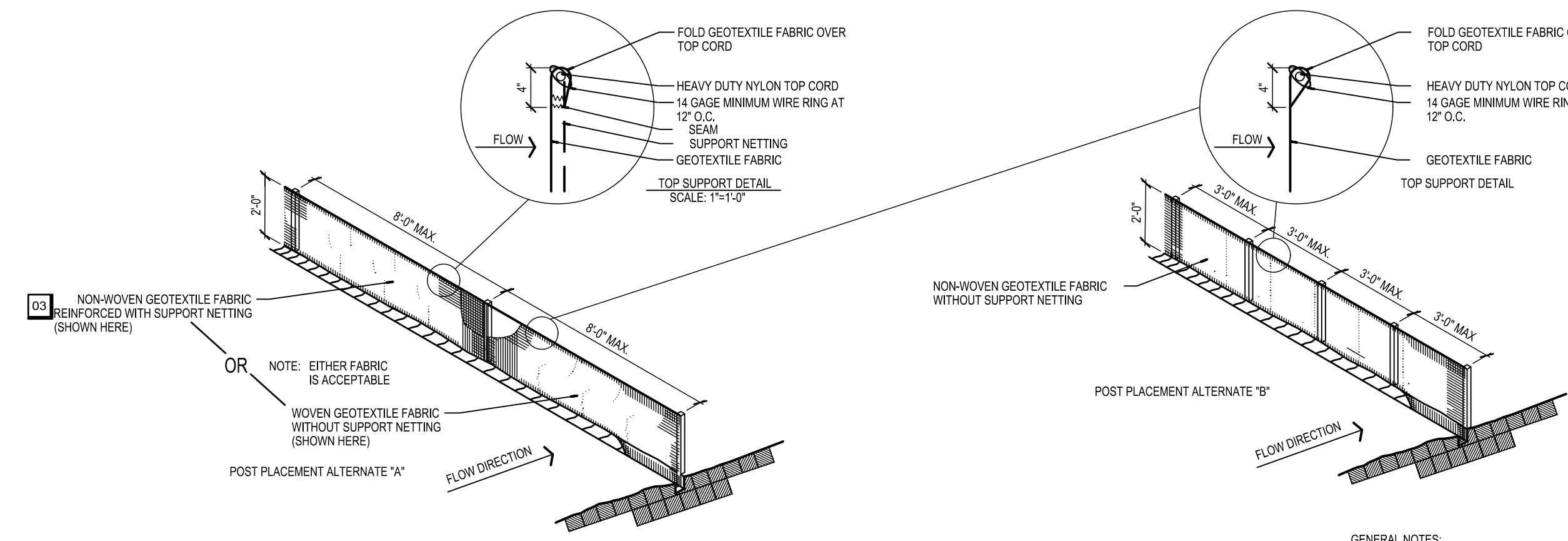
01
C801
BITUMINOUS PAVING DETAIL
SCALE: 1/2"=1'-0"

ISSUANCES / REVISIONS		
NO.	DESCRIPTION:	DATE:
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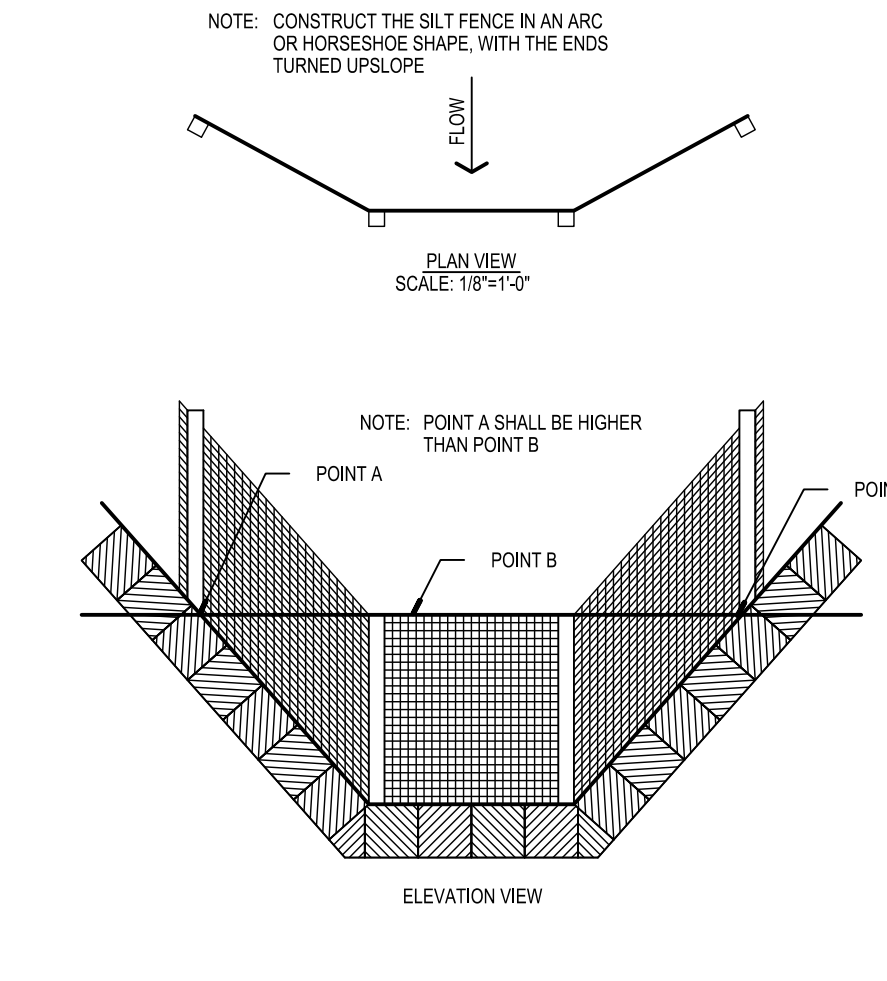
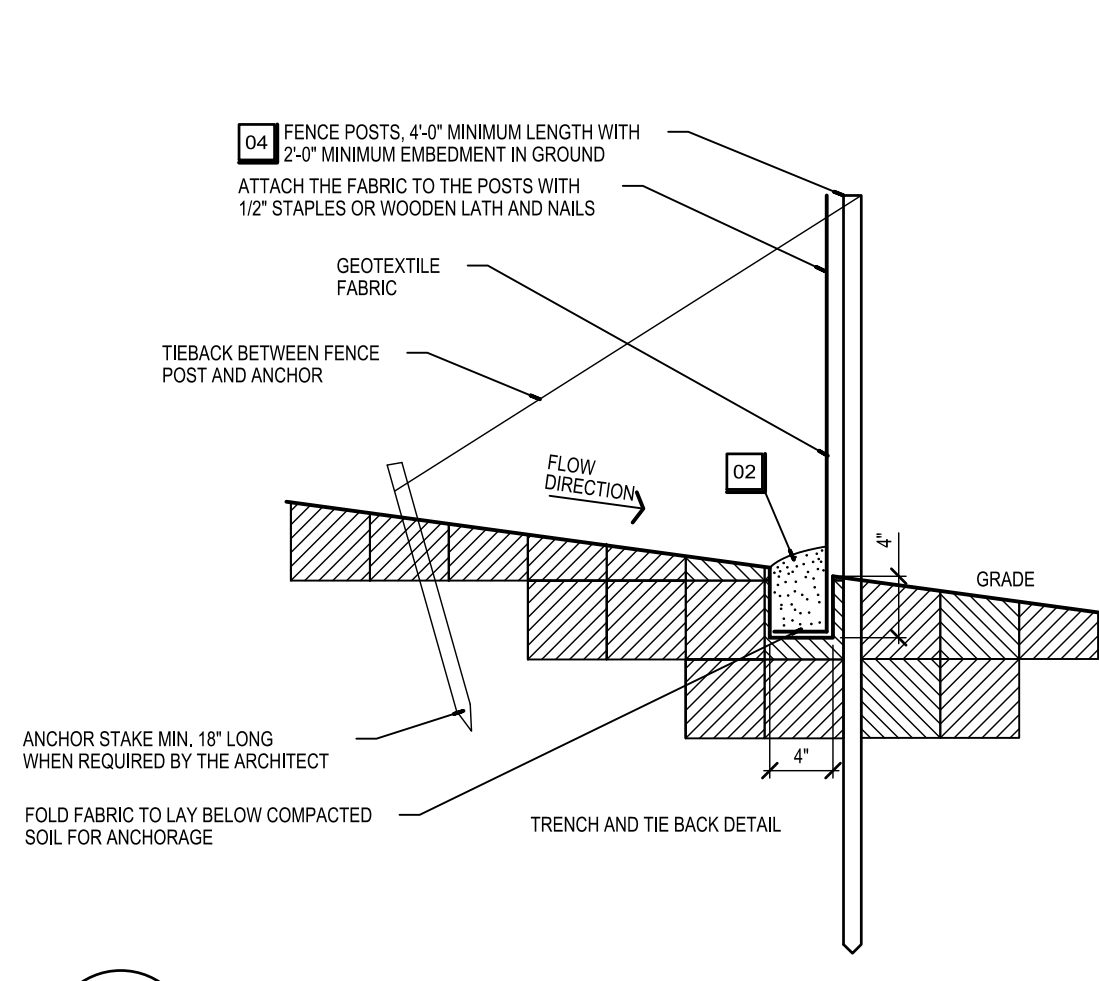
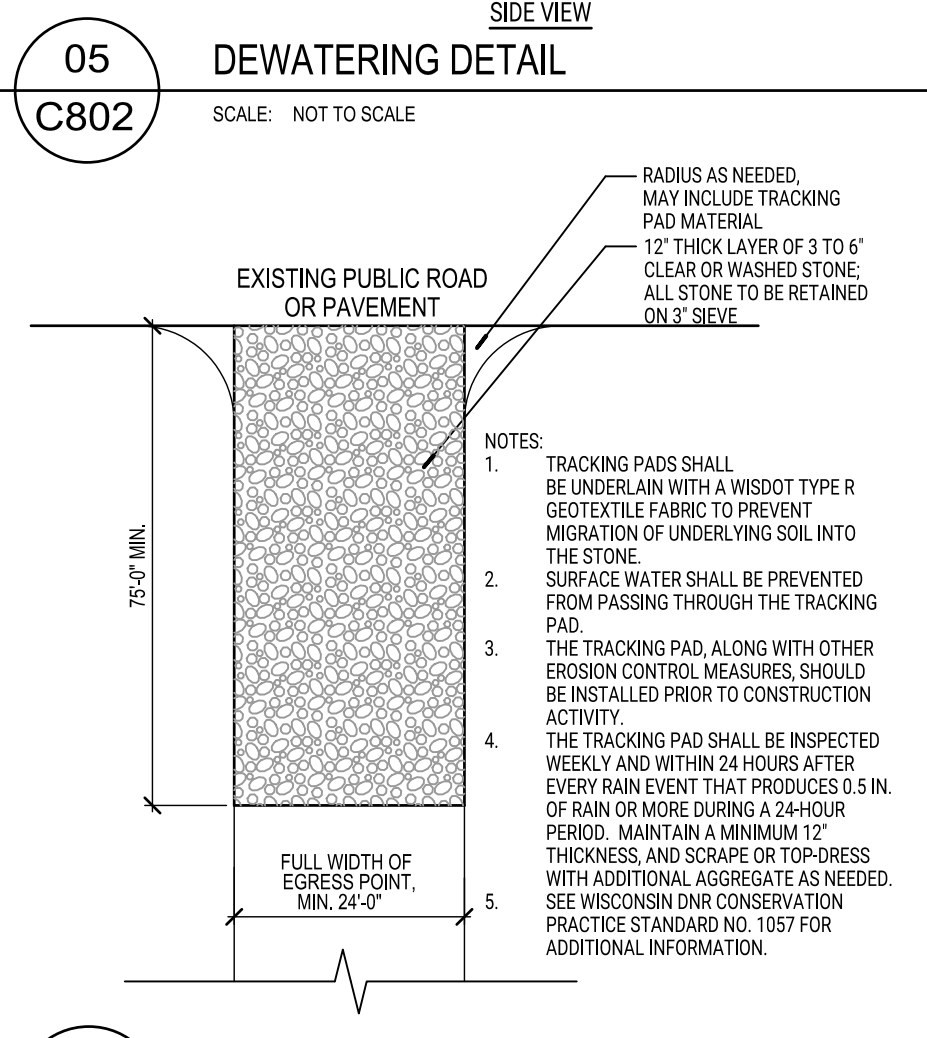
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REVIEWED BY	KAU
DRAWN BY	MWT
SITE DETAILS	



- GENERAL NOTES:**
- CONSTRUCTION SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS, THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK, AND ANY APPLICABLE SPECIAL PROVISIONS.
 - ALTERNATES A & B ARE EQUAL AND EITHER MAY BE USED.
 - INSTALL 96\"/>
- KEYNOTES:**
- CROSS BRACE WITH 2\"/>
 - EXCAVATE A 4\"/>
 - GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE NETTING WITH A MAXIMUM MESH SPACING OF 3/4\"/>
 - ANCHOR POSTS SHALL BE AS FOLLOWS:
 STEEL: STUDDED \"TEE\" OR 1\"/>
 WOOD: 1.18\"/>
- MAINTENANCE:**
- MAINTAIN AND INSPECT FENCE WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING PROLONGED RAINFALL.
 - REMOVE SEDIMENT DEPOSITS AFTER EACH STORM EVENT OR WHEN DEPOSITS REACH 1/2 FENCE HEIGHT, WHICHEVER OCCURS FIRST.
 - REPAIR OR REPLACE FENCE WHEN TORN, SAGGING, OVERTOPPED, BLOWN OVERLAYING DOWN, SHOWS A LACK OF MATERIAL INTEGRITY, OR IN ANY WAY IS NOT FUNCTIONING AS DESIGNED.

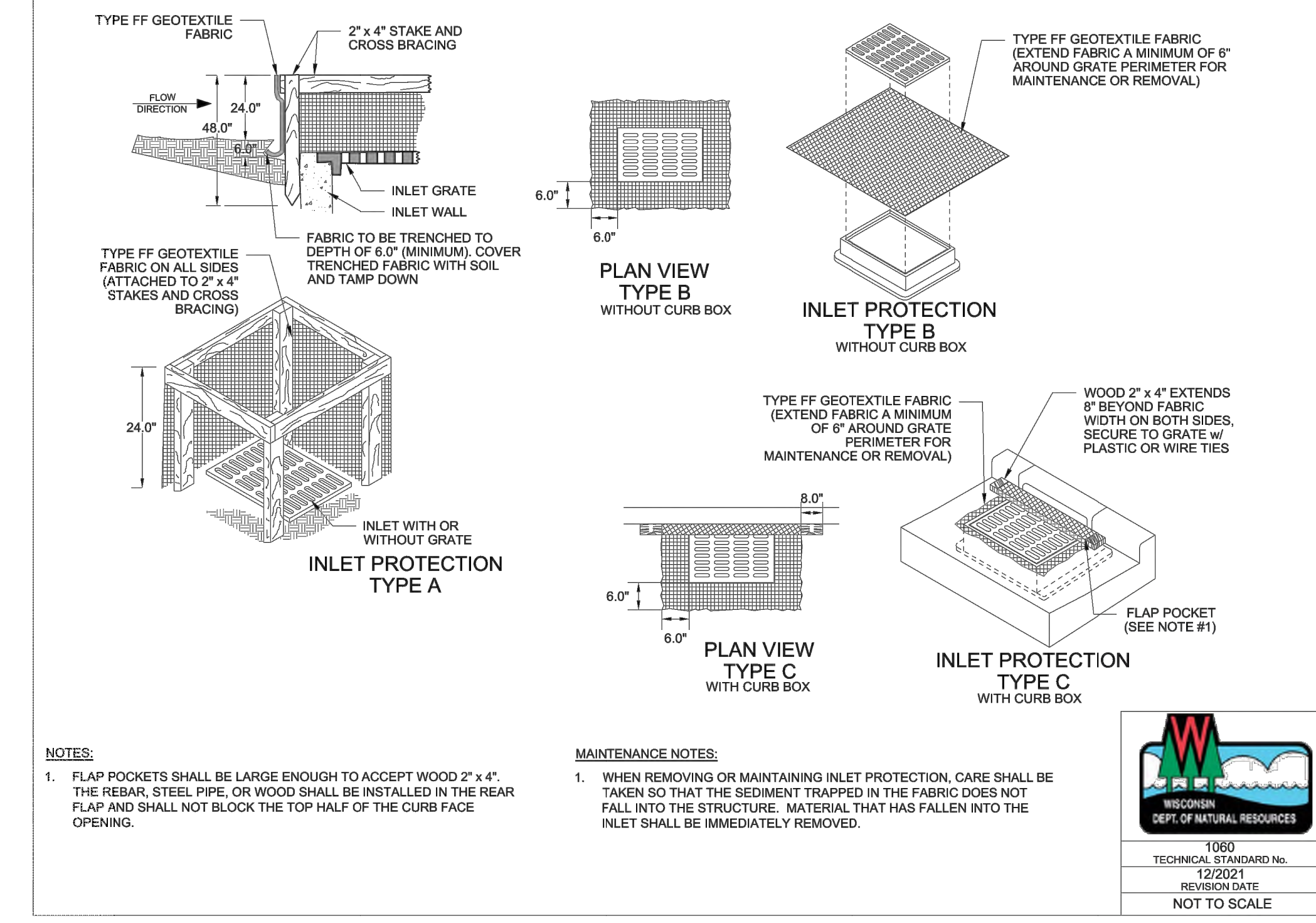


24
C802 OVERLAND FLOW SILT FENCE DETAILS
 SCALE: NOT TO SCALE

05
C802 DEWATERING DETAIL
 SCALE: NOT TO SCALE

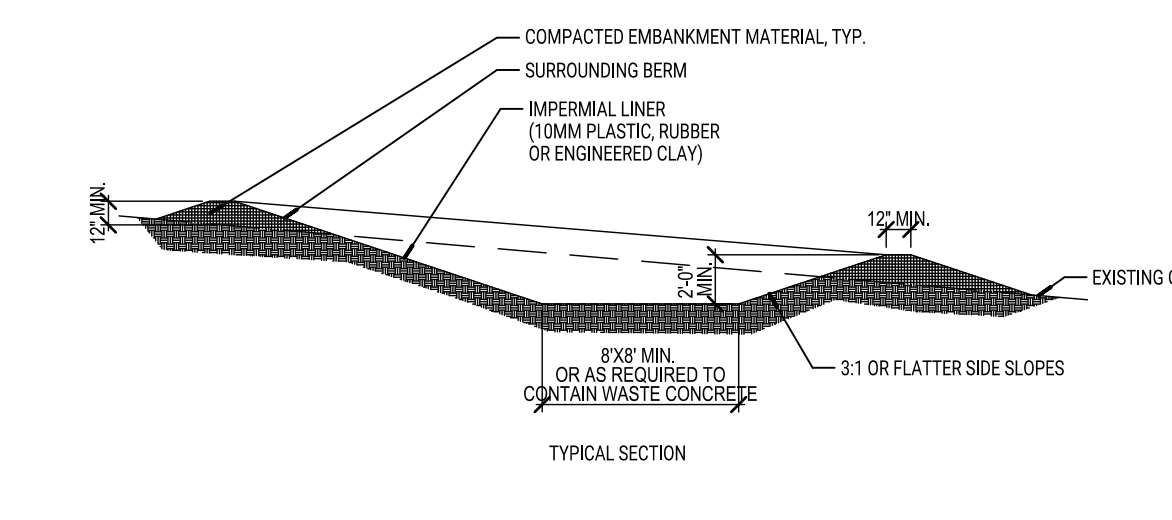
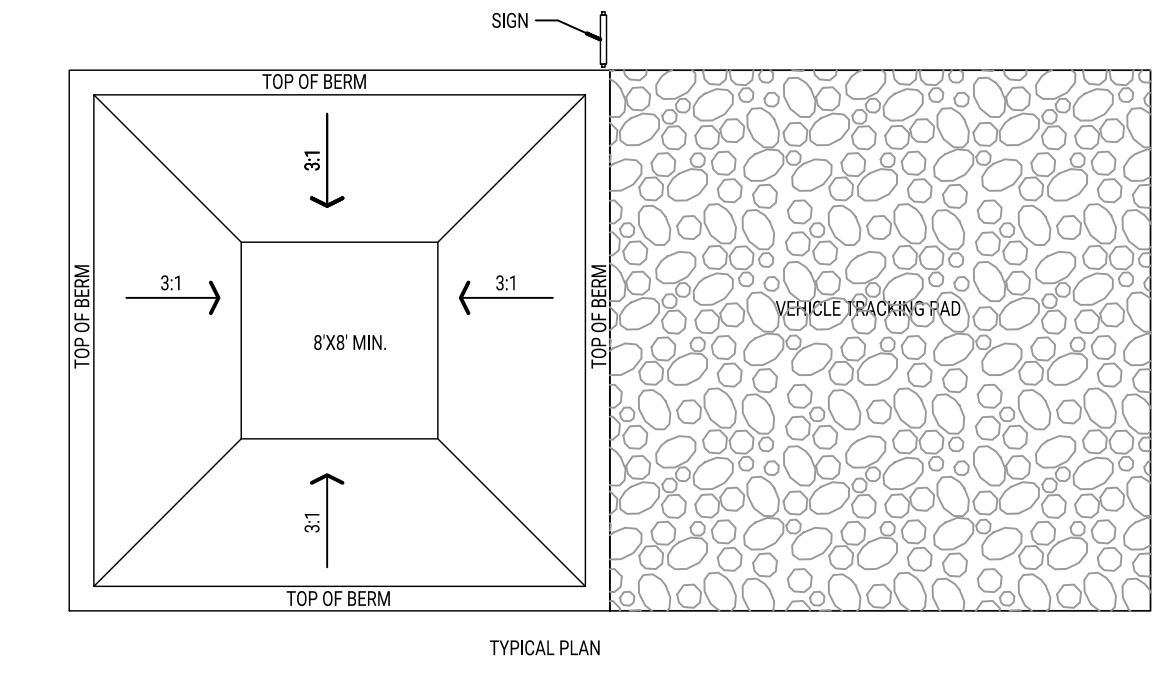
04
C802 STONE TRACKING PAD DETAIL
 SCALE: 1\"/>

FIGURE 1. INLET PROTECTION TYPES A, B AND C



- NOTES:**
- FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2\"/>
- MAINTENANCE NOTES:**
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

22
C802 STORM DRAIN INLET PROTECTION - TYPES A, B, AND C
 SCALE: NA



- CONCRETE WASHOUT AREA INSTALLATION NOTES:**
- SEE EROSION CONTROL PLAN FOR LOCATIONS OF CONCRETE WASHOUT AREAS; TO BE PLACED A MIN. OF 50' FROM DRAINAGEWAYS, BODIES OF WATER, AND INLETS.
 - THE CONCRETE WASHOUT AREAS SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
 - VEHICLE TRACKING CONTROL PADS ARE NEEDED AT THE ACCESS POINTS.
 - SENS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE AT THE WASHOUT AREAS, AND ELBOWS, AS NECESSARY, TO ALLOW INDICATION OF THE LOCATION OF THE CONCRETE WASHOUT AREAS TO OPERATORS OF CONCRETE TRUCKS AND PUMP TRUCKS.
 - EXCAVATED MATERIAL SHALL BE UTILIZED IN PERIMETER BERM CONSTRUCTION.
- CONCRETE WASHOUT AREA MAINTENANCE NOTES:**
- THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR WASHED CONCRETE.
 - AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM SITE AND DISPOSED OF AT AN APPROVED WASTE SITE.
 - WHEN CONCRETE WASHOUT AREAS ARE REMOVED, THE DISTURBED AREA SHALL BE STABILIZED PER SITE EROSION CONTROL MEASURES.
 - INSPECT WEEKLY AND DURING AND AFTER ALL STORM EVENTS, CLEANOUT OR COVER WASHOUT AREA PRIOR TO PREDICTED STORM EVENTS TO PREVENT OVERTFLOW.

07
C802 CONCRETE WASHOUT AREA
 SCALE: NOT TO SCALE

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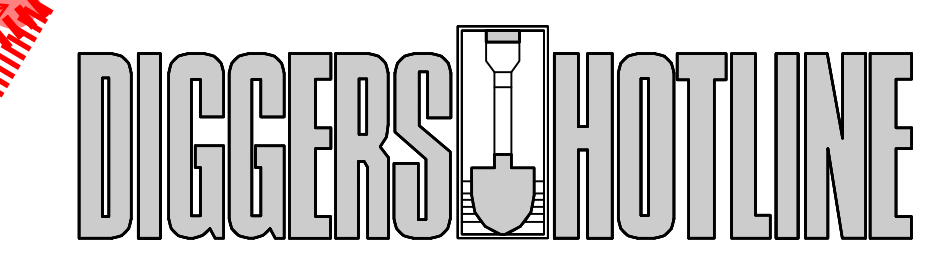
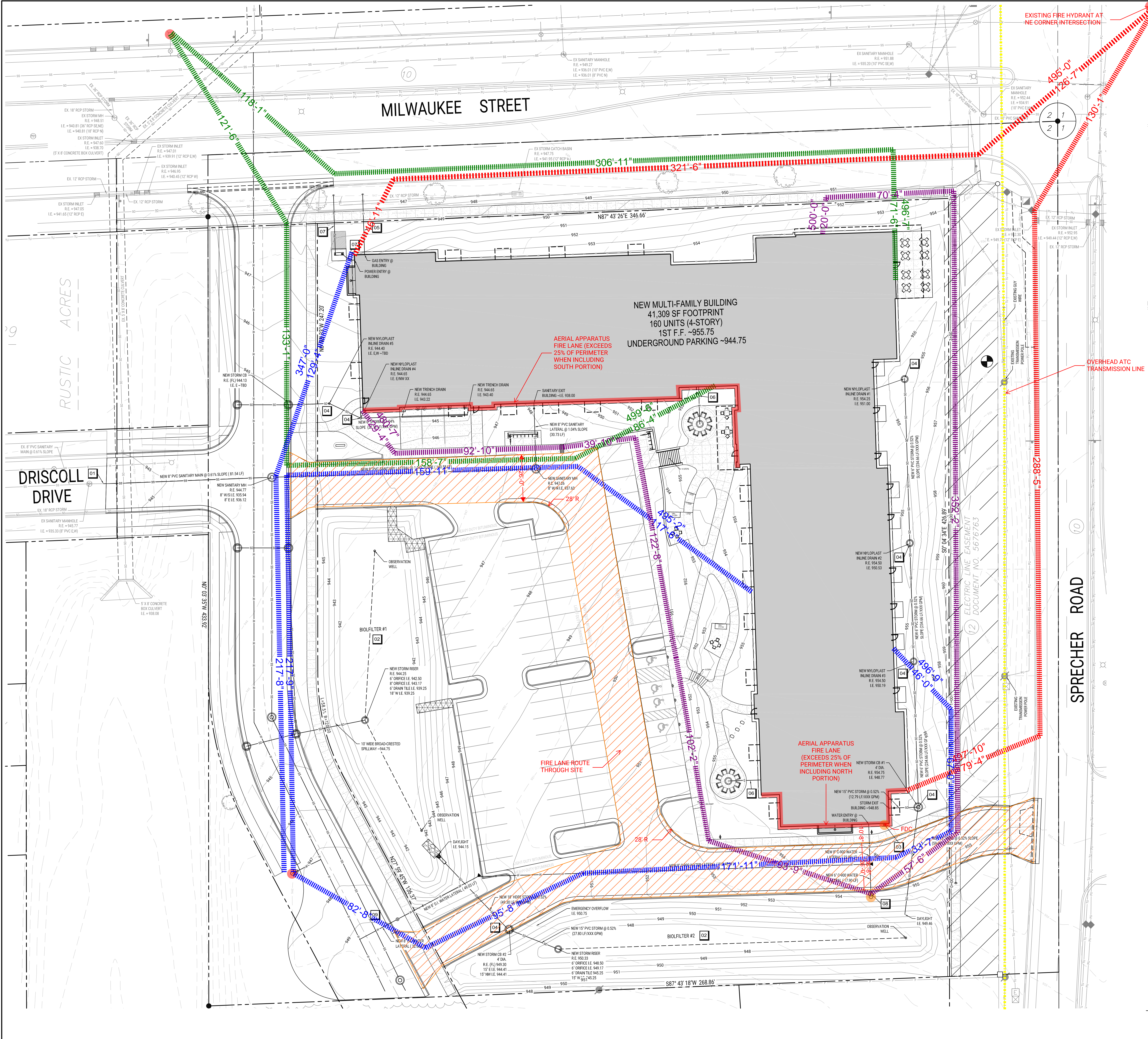
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SITE DETAILS



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 FAX A LOCATE 1-800-338-3860
 TDD (HEARING IMPAIRED) 1-800-542-2289
 ONLINE: www.DiggersHotline.com

- SITE UTILITY PLAN GENERAL NOTES**
- TRUE NORTH MAY VARY FROM PROJECT NORTH
 - CONSTRUCTION PRACTICES, MEANS AND METHODS, AND JOB SITE SAFETY, SHALL REMAIN THE SOLE RESPONSIBILITY OF THE CONTRACTOR
 - ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH THE FEDERAL OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA) AND ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES AS THEY PERTAIN TO THIS PROJECT
 - FIELD VERIFY ALL EXISTING AND PROPOSED UTILITIES, ELEVATIONS AND DIMENSIONS
 - COORDINATE RELOCATION OF ANY UTILITIES WITH THE UTILITY COMPANIES. NOTIFY THE ELECTRICAL UTILITY OF ANY EXCAVATION ADJACENT TO HIGH VOLTAGE LINES. PROTECT ALL UTILITIES TO REMAIN
 - UNDIGER HOTLINE SHALL BE CALLED TO MARK UTILITIES PRIOR TO ANY DISTURBANCE
 - COORDINATE WITH THE AUTHORITY HAVING JURISDICTION AND UTILITY COMPANIES AS NECESSARY
 - PROVIDE WATER CONNECTIONS AND CONTROL VALVES IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS
 - CONTRACTOR SHALL RESTORE CURB AND PAVEMENT WORK TO MEET AUTHORITY HAVING JURISDICTION REQUIREMENTS. SAWCUT PAVEMENT TO PROVIDE CLEAN EDGE
 - TRACER WIRE SHALL BE INSTALLED ABOVE ALL SANITARY STORM AND WATER LATERALS THAT CONNECT TO A PUBLIC UTILITY. TRACER WIRE SHALL BE A MINIMUM OF 12 GAUGE, PLASTIC-COATED COPPER WIRE BURIED WITHIN 6" AND DIRECTLY ABOVE THE TOP OF THE PIPE. THE TRACER WIRE SHALL BE BROUGHT TO THE SURFACE AT LEAST EVERY 400'. PROTECT THE WIRE AT THE ACCESS POINTS. THE COLOR OF THE TRACER WIRE SHALL BE AS FOLLOWS:
 - GREEN FOR SANITARY SEWER
 - BROWN FOR STORM SEWER
 - BLUE FOR POTABLE WATER
 - PROVIDE TRENCH BEDDING, UTILITY TRENCHES UNDER CONCRETE PAVEMENT SHALL UTILIZE FLOWABLE FILL IN AREAS DEEPLY TO CONTRACT TO PREVENT CONCRETE CRACKING
 - PROVIDE MIN. 7" COVER OVER WATER LATERAL. SEE GRADING PLAN SHEET FOR EXISTING AND PROPOSED GRADES. COORDINATE AS NECESSARY (POTENTIAL) AROUND WATER FACILITIES. PROVIDE MIN. 18" CLEARANCE UNDER OR 12" CLEARANCE OVER SANITARY AND STORM SEWER PIPES
 - ALL SANITARY STORM AND WATER UTILITY WORK WITHIN PUBLIC RIGHT OF WAY SHALL CONFORM TO AUTHORITY HAVING JURISDICTION REQUIREMENTS AND STANDARD SPECIFICATIONS
 - RESTORE ALL AREAS TO EXISTING GRADE UNLESS NOTED OTHERWISE
 - SEE ARCHITECTURAL AND PLUMBING DRAWINGS FOR ROOF DRAIN LOCATIONS
 - THE RIGHT-OF-WAY OF THE DOLL JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION PLAN OF TRAFFIC ENGINEERS AND CITY ENGINEERING DEPARTMENTS
 - ALL WORK WITHIN THE CITY RIGHT-OF-WAY AND ALL PUBLIC IMPROVEMENTS TO BE THE PROJECT, INCLUDING LATERAL CONNECTIONS, SHALL BE COMPLETED PER THE CITY OF MADISON ISSUED PLANS (CONTRACT XXXX, PROJECT XXXXX)

- KEYNOTES**
- 01 NEW 8" PVC SANITARY LATERAL AND YARD CLEANOUT. SEE DETAIL XX(C81), XX(C81). CONNECT TO CITY SANITARY CONNECTION. ADJUST SANITARY LATERAL INVERTS AFTER CITY UTILITY MAIN DESIGN IS COMPLETED.
 - 02 NEW BIOPILER RISER. SEE DETAILS XX(C81), XX(C81)
 - 03 NEW FDC CONNECTION AT BUILDING.
 - 04 NEW STORM PRECAST CONCRETE CATCH BASIN OR NYLOPLAST INLET. SEE DETAILS XX(C81), XX(C81).
 - 05 NEW GAS LATERAL. COORDINATE WITH MG&E.
 - 06 NEW GAS SERVICE CONNECTION FROM BUILDING TO NATURAL GAS FIRE BOWLS.
 - 07 NEW BURIED UNDERGROUND POWER & TRANSFORMER BY MG&E. FIELD VERIFY
 - 08 NEW FIRE HYDRANT & VALVE. SEE DETAIL XX(C81)
 - 09 NEW 8" DI WATER LATERAL. CONNECT TO CITY PROVIDED WATER STUB ON TO PROPERTY. FIELD VERIFY LOCATION AFTER CITY UTILITY MAIN DESIGN IS COMPLETED. CITY SERVICE ANTICIPATED TO INCLUDE SHUT OFF VALVE IN RIGHT-OF-WAY.

SITE SYMBOL LEGEND

	SPIN
	BOLLARD
	FIRE HYDRANT
	MANHOLE/CATCH BASIN/INLET
	CURB INLET
	NEW FLARED END SECTION WITH HIRRAP AND GUARD
	WATER VALVE OR GAS VALVE
	GAS METER
	LIGHT POLE
	UTILITY POLE
	GUY WIRE
	TRANSFORMER
	ELECTRIC METER AND CT CABINET
	NEW STRUCTURE OR ADDITION
	EXISTING STRUCTURE

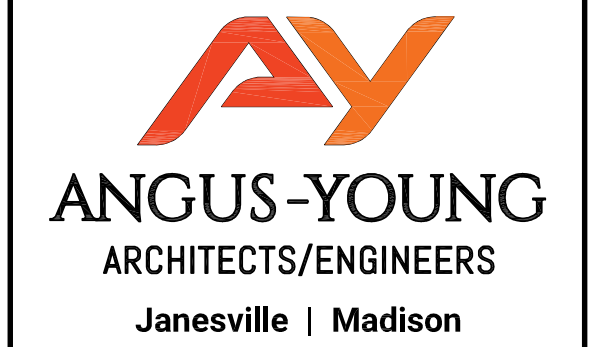
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SITE LINE LEGEND

	PROPERTY LINE
	SETBACK LINE
	EASEMENT LINE
	EXISTING INTERMEDIATE CONTOUR
	EXISTING INDEX CONTOUR
	NEW INTERMEDIATE CONTOUR
	NEW INDEX CONTOUR
	PAVEMENT
	FENCE
	STORM DRAIN
	SANITARY SEWER
	WATER
	GAS
	ELECTRICAL POWER
	UNDERGROUND ELECTRICAL POWER
	UNDERGROUND FIBER OPTIC
	TELEPHONE
	UNDERGROUND TELEPHONE
	CABLE
	EDGE OF TREES OR SHRUBS

ALL SYMBOLS MAY NOT BE USED IN THIS SET

SITE UTILITY PLAN
 SCALE: 1"=20'



RWW 4605
 SPRECHER LLC

SPRECHER AND MILWAUKEE
 DEVELOPMENT

4605 SPRECHER DR.
 MADISON, WI

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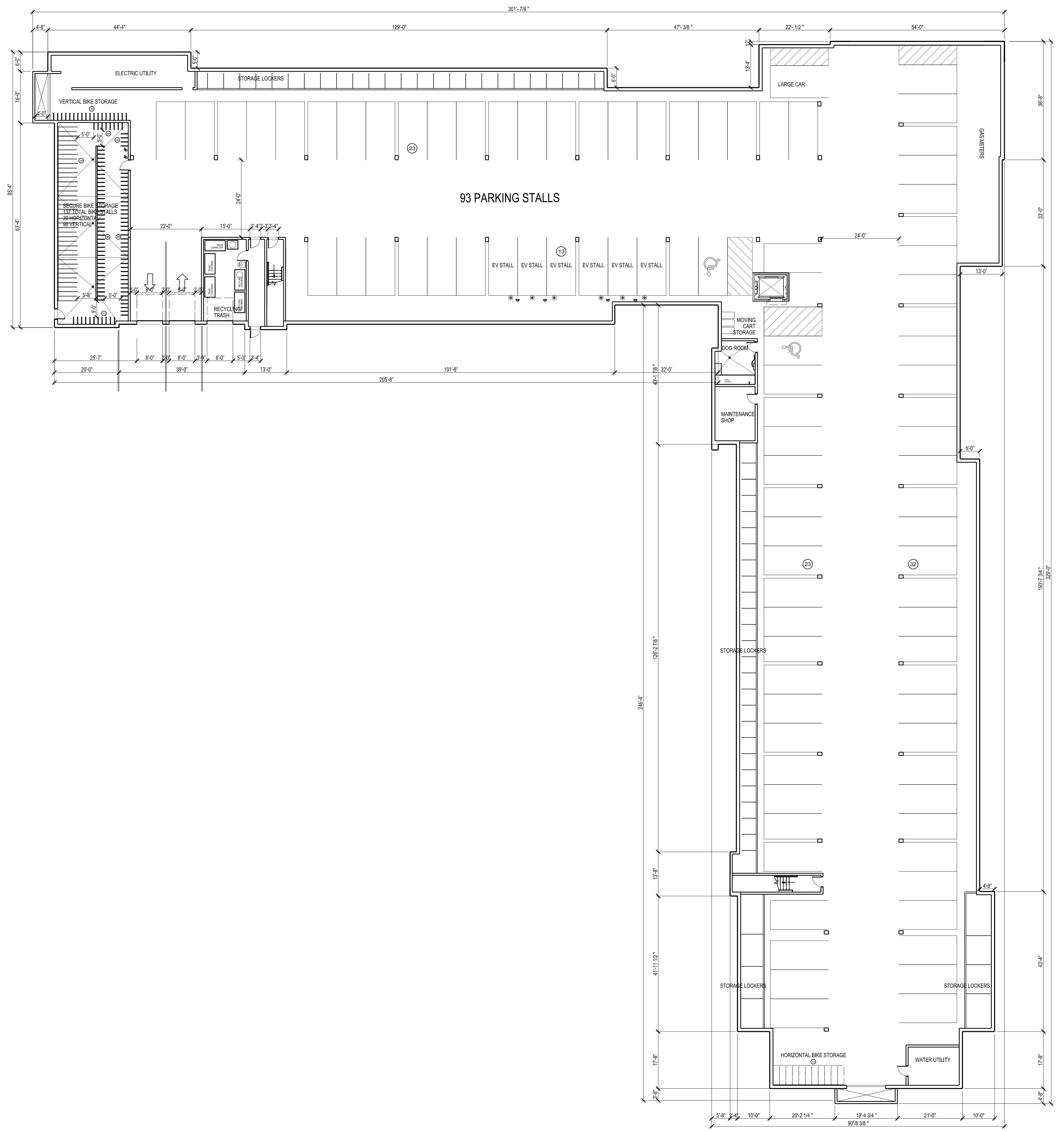
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SITE UTILITY PLAN

C401



LOWER LEVEL FLOOR PLAN
 SCALE: 1/8"=1'-0"

SCALE 1/8"=1'-0"

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PLOTTED BY: ERMher

ORIGINAL SIZE: 24" x 36"



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REVIEWED BY
 CTK

DRAWN BY
 JAD

LOWER LEVEL FLOOR PLAN

A100

PRELIMINARY - NOT FOR CONSTRUCTION



1ST LEVEL FLOOR PLAN
 SCALE: 1/8"=1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

Unit Count	Pkg. Req.	1st Level Unit Count	2nd Level Unit Count	3rd Level Unit Count	4th Level Unit Count
3 BR	7	3 BR	3 BR	3 BR	3 BR
2 BR+	9	2 BR+	2 BR+	2 BR+	2 BR+
2 BR	19	2 BR	2 BR	2 BR	2 BR
1BR+	5	1BR+	1BR+	1BR+	1BR+
1 BR	71	1 BR	1 BR	1 BR	1 BR
STUDIO	49	STUDIO	STUDIO	STUDIO	STUDIO
Total	160	Total	Total	Total	Total
	202		37	40	42
	202		37	40	41

Unit Breakdown	Percentage	Count
3 Bedroom Units	4.4%	7
2 Bedroom Units	17.5%	28
1 Bedroom Units	47.5%	76
Studio Units	30.6%	49

Amenities	
Fitness Center	920 nsf
1st Level Clubroom	853 nsf
Business Lounge/ Coffee Bar	1,625 nsf
Rentable Conf Rooms (2)	80 nsf ea
2nd Level Zoom Rooms (3)	135 nsf
3rd Level Zoom Rooms (3)	135 nsf

Common Lobby	
Leasing Office, Meeting Room, Restroom	435 nsf
Main Res. Lobby/ Elev. Lobby, Mail, Parcel	1,840 nsf

Total Square Footages	
Lower Level Parking	39,714
1st Level	39,714
2nd Level	39,714
3rd Level	39,714
4th Level	38,324
Total Residential GSF	157,466
Total Common NSF	23,761
Efficiency	84.91%

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1ST LEVEL
 FLOOR PLAN

SCALE 1/8"=1'-0"

X:\172800\cadd\72800a\A101.dgn

PLOTTED BY: EBH/eh

ORIGINAL SIZE: 24" x 36"



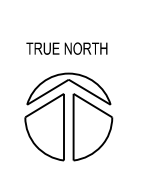
2ND LEVEL FLOOR PLAN
 SCALE: 1/8"=1'-0"

SCALE: 1/8"=1'-0"

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PLOTTED BY: EBH/mer

ORIGINAL SIZE: 24" x 36"



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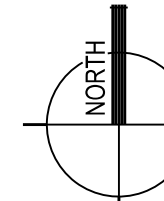
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2ND LEVEL
 FLOOR PLAN



3RD LEVEL FLOOR PLAN
 SCALE: 1/8"=1'-0"



PRELIMINARY - NOT FOR CONSTRUCTION

TRUE NORTH

ISSUANCES / REVISIONS

NO.	DESCRIPTION	DATE
1	CITY LAND CLIP SUBMITTAL	06/10/2022

6/10/2022 4:13:03 PM

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PROJECT NUMBER
72800

APPROVED BY
JAD

REVIEWED BY
CTK

DRAWN BY
JAD

3RD LEVEL
 FLOOR PLAN

A103

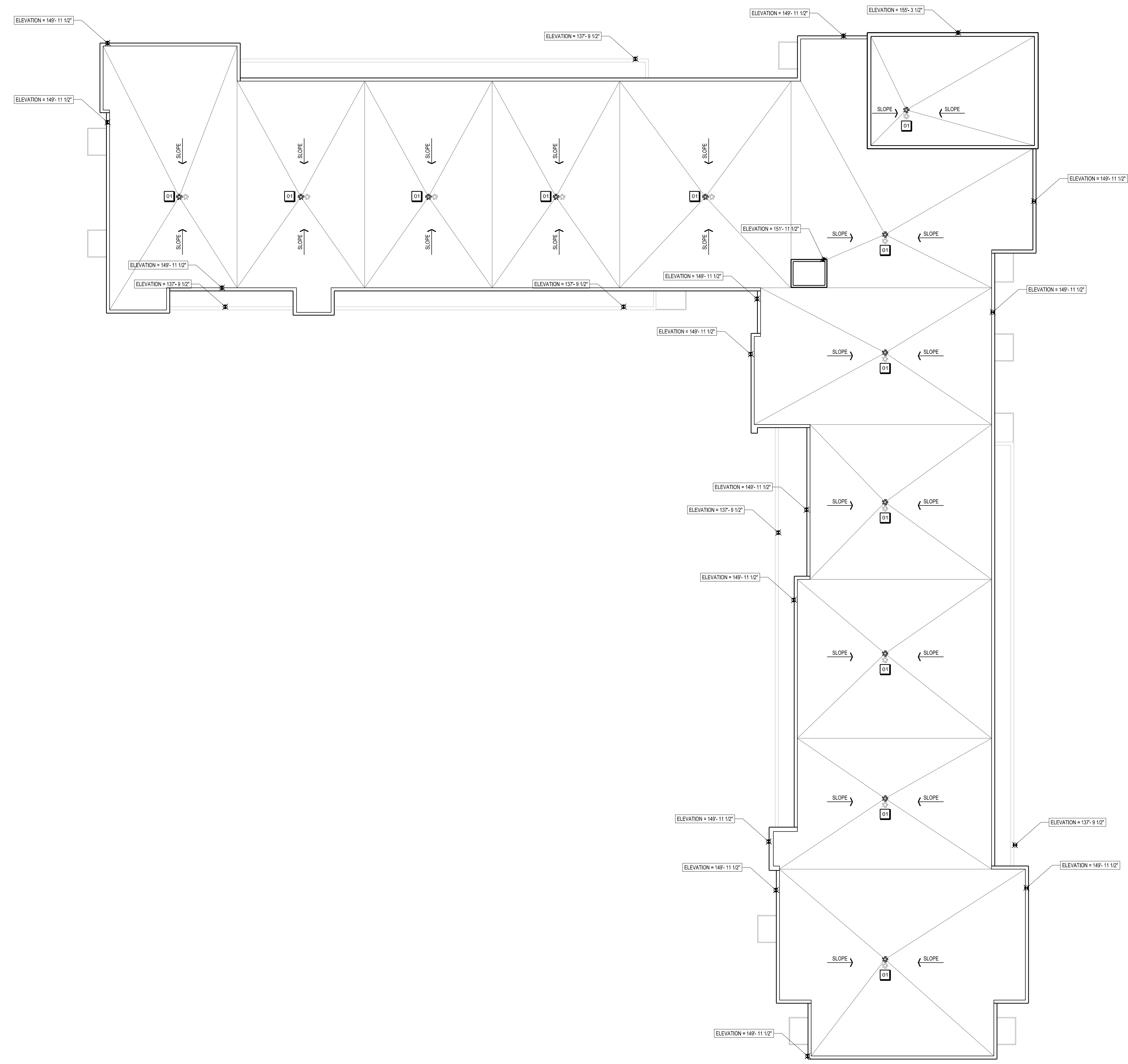
SCALE: 1/8"=1'-0"

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PLOTTED BY: EBH/eh

ORIGINAL SIZE: 24" x 36"

- KEY NOTES
1. REFER TO ELECTRICAL, MECHANICAL, AND PLUMBING DRAWINGS FOR PENETRATIONS THROUGH ROOF. GENERAL CONTRACTOR SHALL FLASH ALL ROOF PENETRATIONS AND MECHANICAL SUPPORTS IN ACCORDANCE WITH THE DRAWINGS AND THE MANUFACTURER'S RECOMMENDATIONS TO OBTAIN ROOF WARRANTY.
2. ALL ROOF PENETRATING OBJECTS SHALL BE PAINTED TO MATCH THE COLOR OF THE ROOF.
3. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ROOF CURB BLOCKING AND LEVELING OFF CURB TOPS.
4. ROOFING MATERIAL TO BE TPO MEMBRANE OVER 4" POLYSTYRENE/UREA AND/OR TAPERED INSULATION PER PLAN AND SPECIFICATIONS.
5. ANY ROOFTOP CONDENSING UNIT WILL NOT BE VISIBLE FROM GRADE.
6. PROVIDE SADDLES AND CRICKETS AT ALL ROOF TOP EQUIPMENT TO ENSURE PROPER DRAINAGE.
7. PER IBC 2015 SECTION 718.4.2 DRAFTSTOPPING SHALL BE PROVIDED IN ATTICS MANSARDS, OVERHANGS OR OTHER CONCEALED ROOF SPACES OF GROUP R-2 WITH THREE OR MORE DWELLING UNITS AND IN ALL GROUP R-1 BUILDINGS. DRAFT STOPPING SHALL BE INSTALLED ABOVE AND IN LINE WITH SLEEPING UNIT WALLS AND DWELLING UNIT SEPARATION WALLS THAT DO NOT EXTEND TO THE UNDERSIDE OF THE ROOF SHEATHING ABOVE. THIS IS A REQUIREMENT UNLESS SPRINKLERS ARE INSTALLED IN THE COMBUSTIBLE CONCEALED SPACES.



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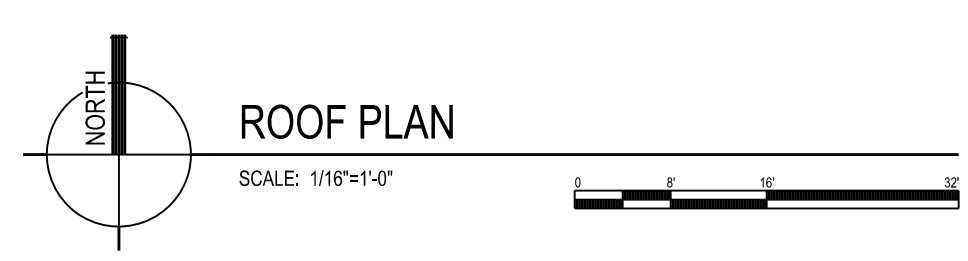
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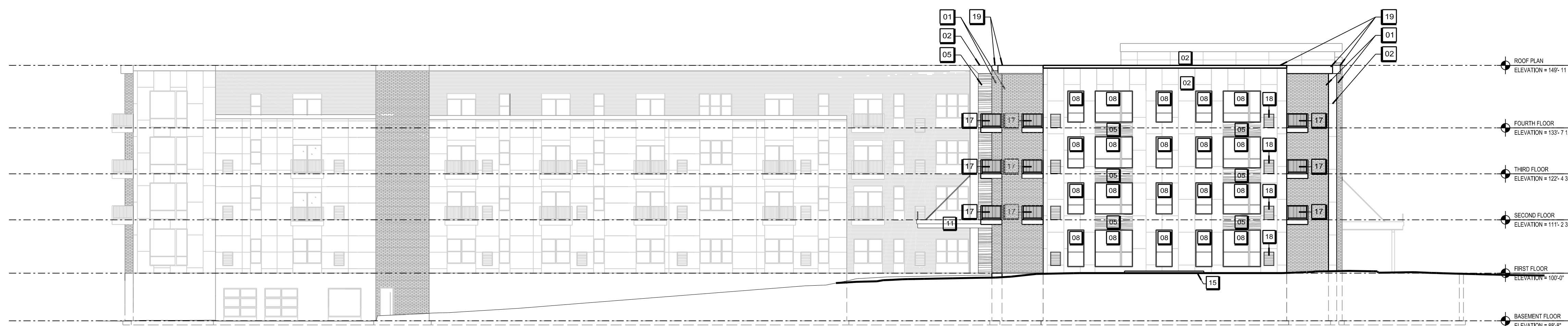
APPROVED BY
JAD

REVIEWED BY
CTK

DRAWN BY
JAD



- KEY NOTES**
- 01 UTILITY SIZE BRICK IN CREAM CITY
 - 02 CEMENTITIOUS SMOOTH PANEL IN WHITE
 - 03 CEMENTITIOUS SMOOTH PANEL IN DARK GREY
 - 04 CEMENTITIOUS LAP SIDING
 - 05 CEMENTITIOUS 'WOOD LOOK' PANEL
 - 06 KAWNEER ALUMINUM STOREFRONT SYSTEM
 - 07 VINYL PATIO DOOR w/ TEMPERED INSULATING GLAZING
 - 08 VINYL WINDOW
 - 09 ALUMINUM GUARDRAIL
 - 10 FLAT CEMENTITIOUS PANEL TO MATCH WINDOW TRIM
 - 11 METAL STANDING SEAM AWNING WITH POWDER COATED METAL CORBEL, PAINTED BLACK
 - 12 GLUE-LAMINATED WOOD
 - 13 INSULATED METAL GARAGE DOOR
 - 14 INSULATED HOLLOW METAL DOOR AND FRAMES
 - 15 AREA WELL, SEE PLANS FOR MORE INFO
 - 16 CONCRETE RETAINING WALL AND STAIR
 - 17 CANTILEVERED BALCONY
 - 18 MECHANICAL LOUVER
 - 19 PRE-FINISHED METAL CORNING IN GREY
 - 20 FLAT CEMENTITIOUS PANEL TO MATCH LAP SIDING/CREAM CITY BRICK
- GENERAL NOTES**
- ALL WINDOWS TO BE VINYL WINDOWS, UNLESS NOTED OTHERWISE ON ELEVATIONS



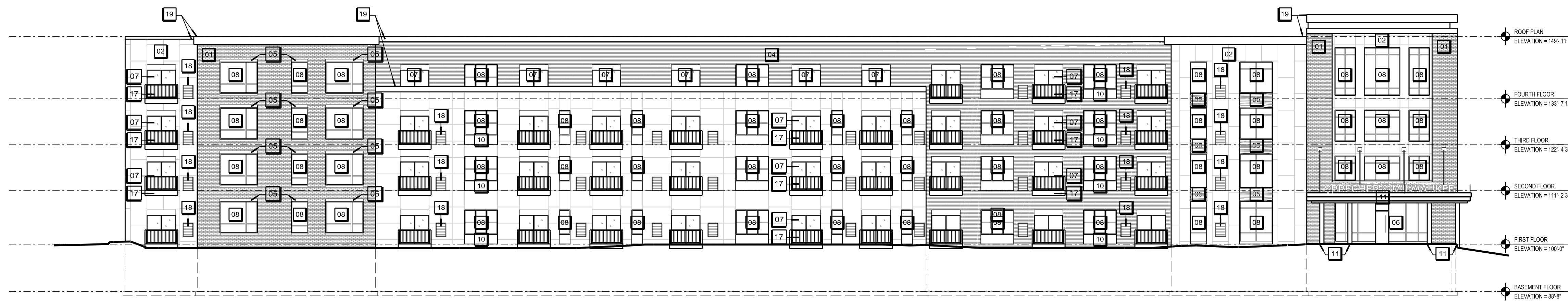
04
 A401
 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



03
 A401
 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



02
 A401
 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



01
 A401
 EAST ELEVATION
 SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

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PLOTTED BY: EBH/mef

ORIGINAL SIZE: 24" x 36"



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DRAWN BY

EXTERIOR ELEVATIONS

A401

RWW 4605
 SPRECHER LLC

SPRECHER AND
 MILWAUKEE
 DEVELOPMENT

102 S. SPRECHER ROAD
 MADISON, WI



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 REVIEWED BY
 CTK
 DRAWN BY

EXTERIOR ELEVATIONS

A402

- KEY NOTES**
- 01 UTILITY SIZE BRICK IN CREAM CITY
 - 02 CEMENTITIOUS SMOOTH PANEL IN WHITE
 - 03 CEMENTITIOUS SMOOTH PANEL IN DARK GREY
 - 04 CEMENTITIOUS LAP SIDING
 - 05 CEMENTITIOUS "WOOD LOOK" PANEL
 - 06 KAWNEER ALUMINUM STOREFRONT SYSTEM
 - 07 VINYL PATIO DOOR w/ TEMPERED INSULATING GLAZING
 - 08 VINYL WINDOW
 - 09 ALUMINUM GUARDRAIL
 - 10 FLAT CEMENTITIOUS PANEL TO MATCH WINDOW TRIM
 - 11 METAL STANDING SEAM AWNING WITH POWDER COATED METAL CORBEL, PAINTED BLACK
 - 12 GLUE-LAMINATED WOOD
 - 13 INSULATED METAL GARAGE DOOR
 - 14 INSULATED HOLLOW METAL DOOR AND FRAMES
 - 15 AREA WELL, SEE PLANS FOR MORE INFO
 - 16 CONCRETE RETAINING WALL AND STAIR
 - 17 CANTILEVERED BALCONY
 - 18 MECHANICAL LOUVER
 - 19 PRE-FINISHED METAL CORNING IN GREY
 - 20 FLAT CEMENTITIOUS PANEL TO MATCH LAP SIDING/CREAM CITY BRICK
- GENERAL NOTES**
- ALL WINDOWS TO BE VINYL WINDOWS, UNLESS NOTED OTHERWISE ON ELEVATIONS



02 PARTIAL SOUTH ELEVATION
 A402 SCALE: 1/8" = 1'-0"



01 PARTIAL WEST ELEVATION
 A402 SCALE: 1/8" = 1'-0"

ORIGINAL SIZE: 24" x 36" SCALE: 1/8" = 1'-0" PLOTTED BY: EBH/ehf K:\72800\cadd\72800a\A402.dgn

RWW 4605
 SPRECHER LLC

SPRECHER AND
 MILWAUKEE
 DEVELOPMENT

102 S. SPRECHER ROAD
 MADISON, WI



ISSUANCES / REVISIONS

NO.	DESCRIPTION	DATE
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PROJECT NUMBER
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 JAD

REVIEWED BY
 CTK

DRAWN BY

COLORED
 EXTERIOR ELEVATIONS

A404

-  CEMENTITIOUS SMOOTH PANEL IN DARK GREY
-  PRE-FINISHED METAL COPING IN GREY
-  WINDOW TRIM
-  CANTILEVERED BALCONY
-  UTILITY SIZE BRICK IN CREAM CITY
-  CEMENTITIOUS LAP SIDING
-  CEMENTITIOUS SMOOTH PANEL IN WHITE
-  CEMENTITIOUS WOOD LOOK PANEL



02 PARTIAL SOUTH ELEVATION
 A404 SCALE: 1/8" = 1'-0"



01 PARTIAL WEST ELEVATION
 A404 SCALE: 1/8" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

SCALE: 1/8" = 1'-0"

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PLOTTED BY: EBH/eh

ORIGINAL SIZE: 24" x 36"

RWW 4605
 SPRECHER LLC

SPRECHER AND
 MILWAUKEE
 DEVELOPMENT

102 S. SPRECHER ROAD
 MADISON, WI



04 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



03 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



02 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



01 EAST ELEVATION
 SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

X:\172800\04\172800A405.dgn

PLOTTED BY: EBH/eh

ORIGINAL SIZE: 24" x 36"



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PROJECT NUMBER
 72800

APPROVED BY
 JAD

REVIEWED BY
 CTK

DRAWN BY

SHADED
 EXTERIOR ELEVATIONS

A405



City of Madison Fire Department

30 West Mifflin Street, 8th & 9th Floors, Madison, WI 53703-2579

Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 4605 Specher (SW Quadrant of intersection of Sprecher & Milwaukee)

Contact Name & Phone #: Angus-Young, Jeff Davis & Katie Udell, 608-756-2326

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered , fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A

Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2012 Edition Chapter 5 and Appendix D**; please see the codes for further information.