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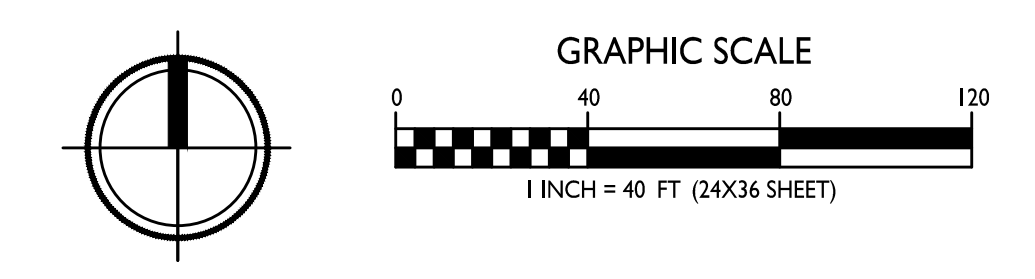
**ISSUED**  
 Issued for Land Use Submittal - February 27, 2023

**PROJECT TITLE**  
 CASCADE -  
 THE AMERICAN  
 CENTER EASTPARK  
 FIFTH ADDITION

IMPROVEMENTS SOUTH OF  
 DREAMER DRIVE ARE PART OF  
 PHASE 2 CONSTRUCTION AND  
 WILL BE INCLUDED IN A  
 FUTURE SUBMITTAL

4846 Eastpark Blvd.  
 Madison, WI  
**SHEET TITLE**  
 Phase I - Overall  
 Site Plan

**Lot 47-48**  
 SHEET NUMBER





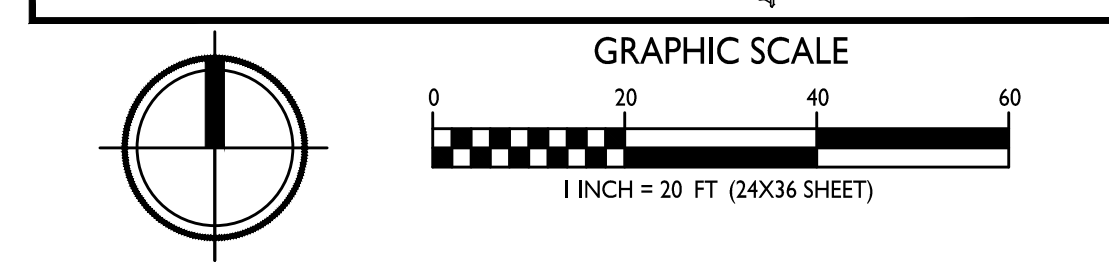
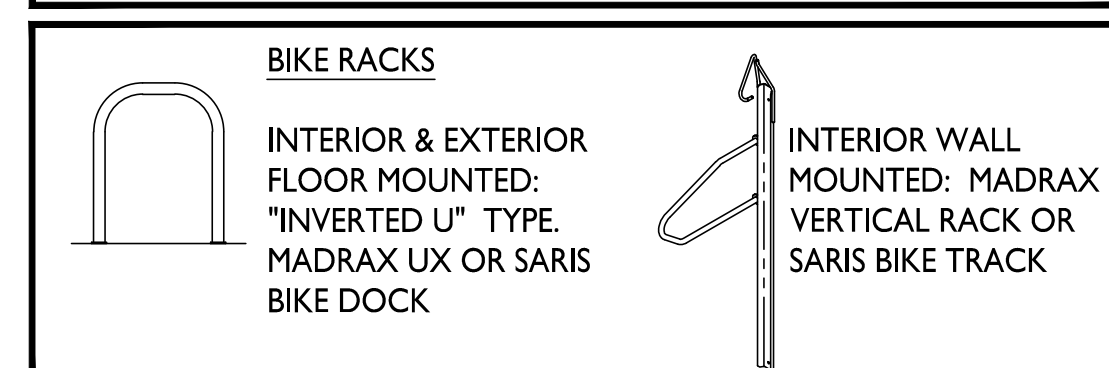
**knothe + bruce**  
ARCHITECTS

Phone: 7601 University Ave, Ste 201  
608.836.3690 Middleton, WI 53562

Site Development Data:		
Zoning	CC-T	
Densities:		
Lot Area	79,575 S.F./1.83 ACRES	
Dwelling Units	119 units	
Lot Area / D.U.	668 S.F./D.U.	
Density	65 units/Acre	
Lot Coverage	PROVIDED	
Building Height	60,500 S.F. (76%) 85% Max.	
Gross Building Area	5 stories/68'-0" 5 Stories/78' Max.	
Commercial Area	177,958 S.F.	
	7,638 S.F.	
<b>Dwelling Unit Mix:</b>		
Studio	25	
One Bedroom	49	
One Bedroom + Den	9	
Two Bedroom	36	
Total Dwelling Units	119	
<b>Vehicle Parking Stalls:</b>		
Underground Garage	103	
Surface	39	
Total	142	
<b>Electric Vehicle Parking Stalls:</b>		
EV Installed	3	3 - Min. 2% of Residential Stalls
EV Ready	10	10 - Min. 10% of Residential Stalls
Total	13	13 - Min. EV Required
<b>Bicycle Parking:</b>		
Long-Term Covered Garage	119	119 - Min. 100% of Req'd
(103 F.M. & 16 W.M.)		
Short-Term Guest - Surface	12	12 - Min. 10% of Units
Commercial - Surface	4	4 - Min. of 2 stalls (1 stall/2,000 S.F.)
Total	135	135 - Min. Bike Stalls Required

**GENERAL NOTES:**

- THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
- ALL DAMAGE TO THE PAVEMENT ON CITY STREETS, AND ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
- ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
- AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM
- CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
- SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
- ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
- STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
- AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.
- APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER (266-4816).
- THE PUBLIC RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME. NO ITEMS SHOWN ON THIS SITE PLAN IN THE RIGHT-OF-WAY ARE PERMANENT AND MAY NEED TO BE REMOVED AT THE APPLICANT'S EXPENSE UPON NOTIFICATION BY THE CITY.



ISSUED  
Issued for Land Use Submittal - February 27, 2023

PROJECT TITLE  
**CASCADE -  
THE AMERICAN  
CENTER EASTPARK  
FIFTH ADDITION**

4846 Eastpark Blvd.  
Madison, WI  
SHEET TITLE  
**Site Plan**

**Lot 47**  
SHEET NUMBER

**C-1.1**

PROJECT NO. **2155**  
© Knothe & Bruce Architects, LLC



**knothe + bruce**  
ARCHITECTS

Phone: 7601 University Ave, Ste 201  
608.836.3690 Middleton, WI 53562

Site Development Data:		
Zoning	TR-U2	
Densities:		
Lot Area	47,174 S.F./1.08 ACRES	
Dwelling Units	82 units	
Lot Area / D.U.	575 S.F./D.U.	
Density	76 units/Acre	
Lot Coverage	35,500 S.F. (75.3%)	
Building Height	4 stories/54'-0"	
Gross Building Area	113,899 S.F.	
<b>ZONING REQUIREMENTS PROVIDED</b>		
	75% Max.	
	4 Stories/52' Max.	
<b>Dwelling Unit Mix:</b>		
Studio	15	
One Bedroom	32	
One Bedroom + Den	8	
Two Bedroom	27	
Total Dwelling Units	82	
<b>Vehicle Parking Stalls:</b>		
Underground Garage	72	
Surface	21	
Total	93	
<b>Electric Vehicle Parking Stalls:</b>		
EV Installed	2	2 - Min. 2% of Residential Stalls
EV Ready	7	7 - Min. 10% of Residential Stalls
Total	9	9 - Min. EV Required
<b>Bicycle Parking:</b>		
Long-Term Covered Garage	82	82 - Min. 100% of Req'd
(82 F.M.)		
Short-Term Guest - Surface	8	8 - Min. 10% of Units
Total	90	90 - Min. Bike Stalls Required

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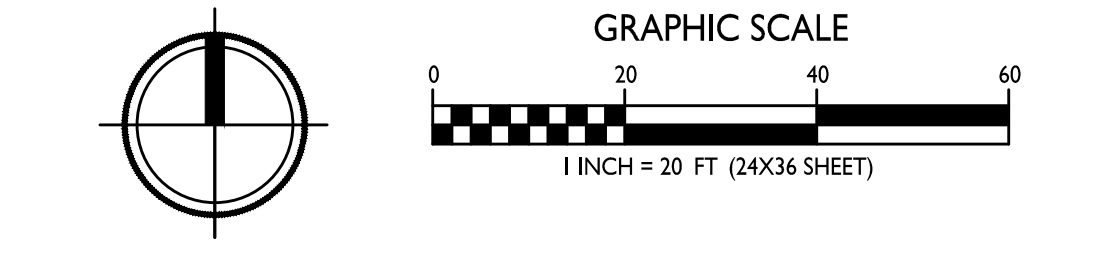
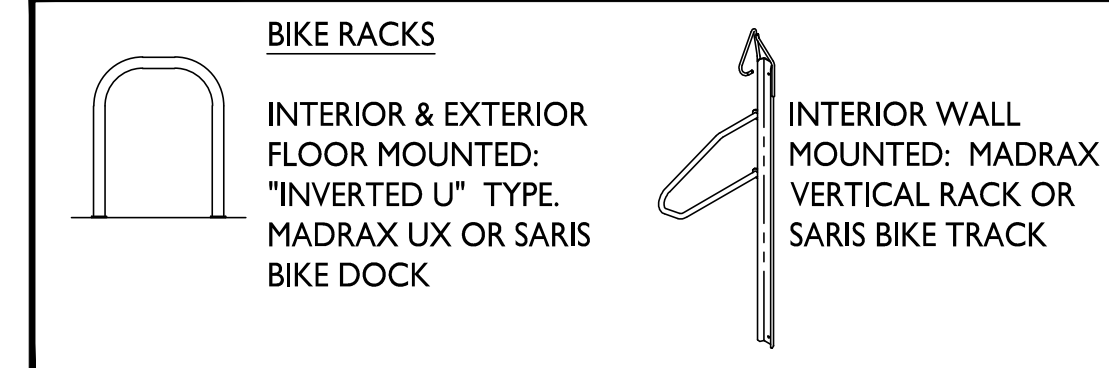
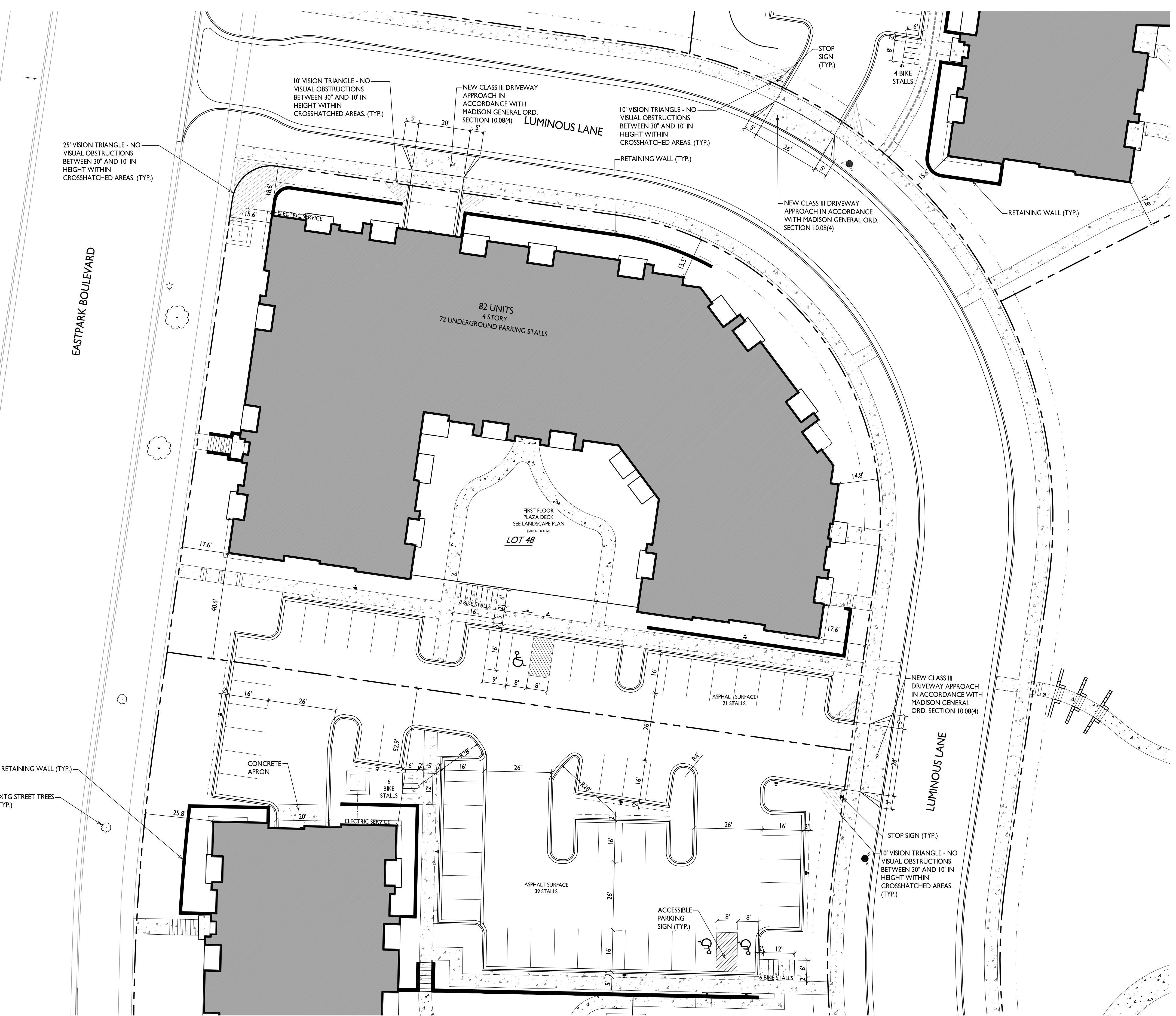
PROJECT TITLE  
**CASCADE -  
THE AMERICAN  
CENTER EASTPARK  
FIFTH ADDITION**

4846 Eastpark Blvd.  
Madison, WI  
SHEET TITLE  
**Site Plan**

**Lot 48**  
SHEET NUMBER

**C-1.2**

PROJECT NO. **2155**  
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LOT COVERAGE	
ZONING	CC-T
MAXIMUM LOT COVERAGE	85%
LOT AREA	79,575 S.F.
PROPOSED COVERAGE	60,500 S.F. / 76%

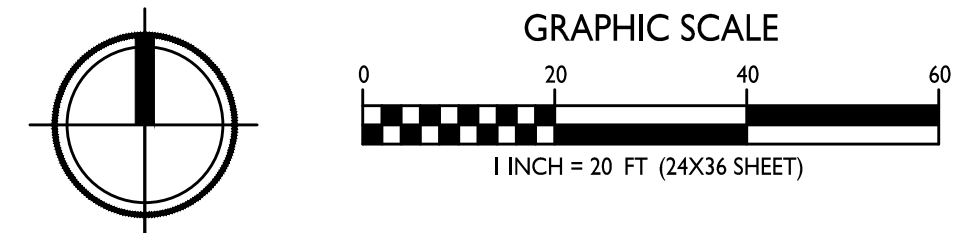
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PROJECT TITLE  
**CASCADE -  
 THE AMERICAN  
 CENTER EASTPARK  
 FIFTH ADDITION**

4846 Eastpark Blvd.  
 Madison, WI  
 SHEET TITLE  
**Lot Coverage**

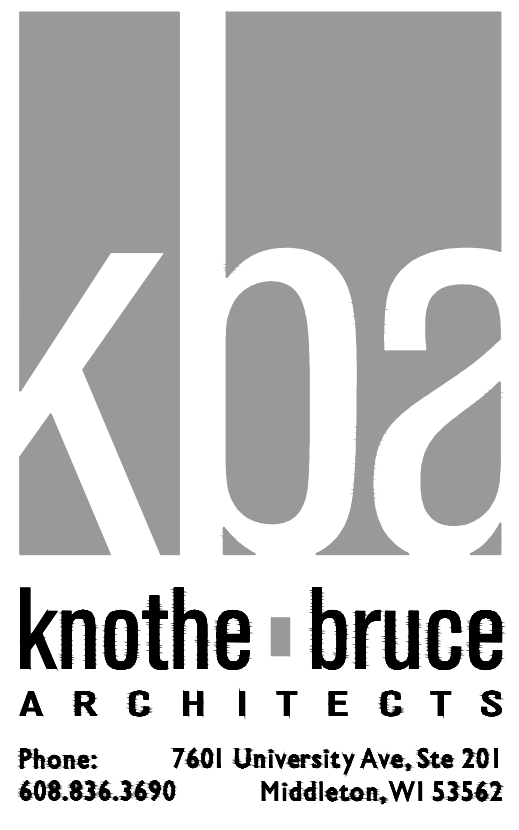
**Lot 47**  
 SHEET NUMBER

**C-3.1**  
 PROJECT NO. **2155**  
 © Knothe & Bruce Architects, LLC





LOT COVERAGE	
ZONING	TR-U2
MAXIMUM LOT COVERAGE	80%
LOT AREA	47,174 S.F.
PROPOSED COVERAGE	35,500 S.F. / 75.3%



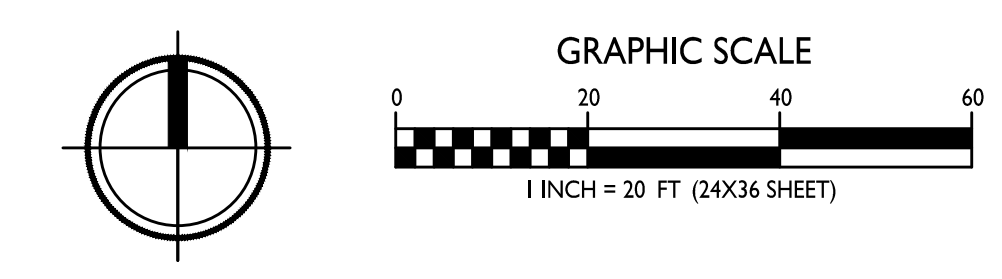
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**CASCADE -  
THE AMERICAN  
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4846 Eastpark Blvd.  
Madison, WI  
SHEET TITLE  
**Lot Coverage**

**Lot 48**  
SHEET NUMBER

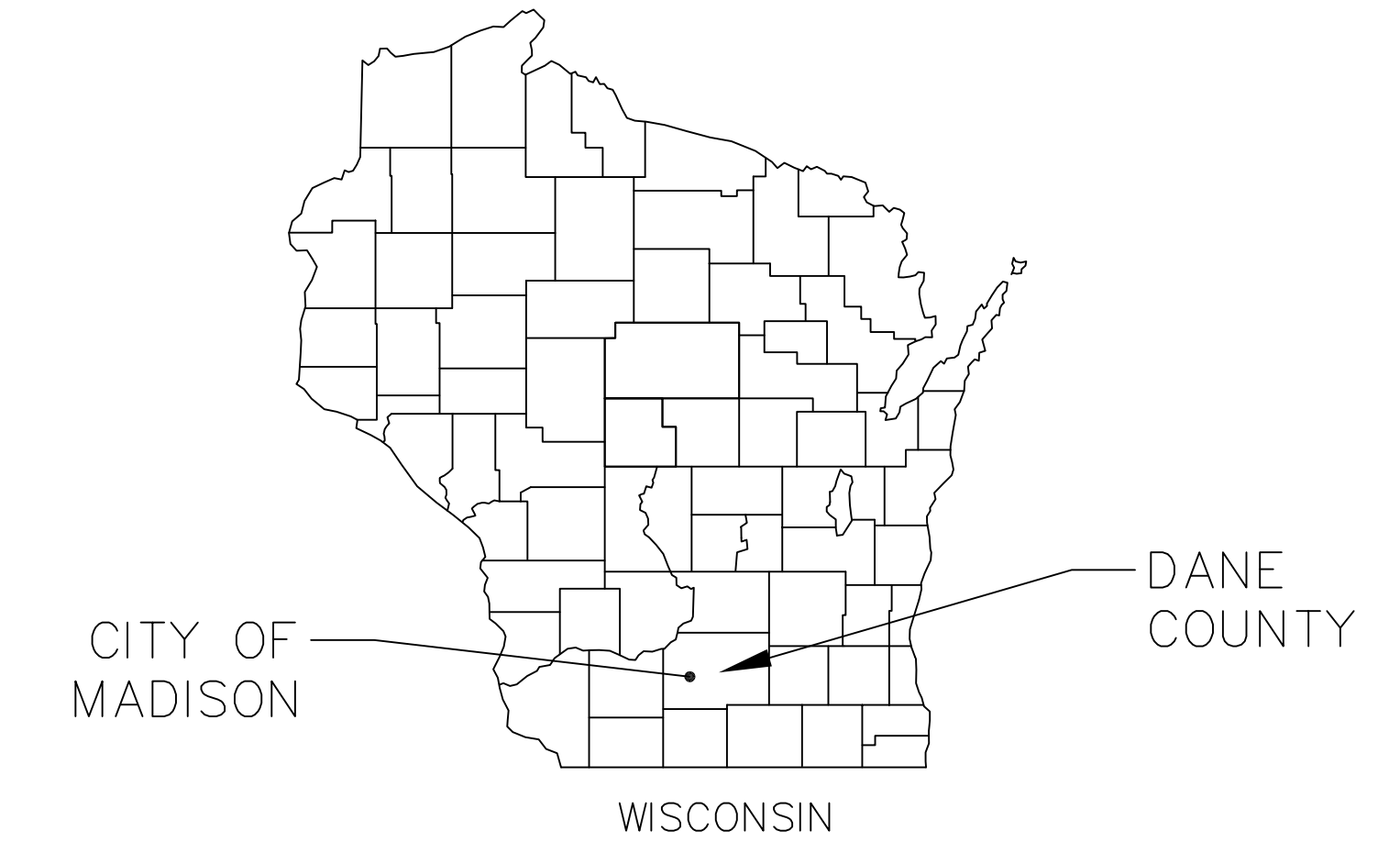
**C-3.2**  
PROJECT NO. 2155  
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# CASCADE - PHASE 1 - SITE IMPROVEMENTS

## THE AMERICAN CENTER LOTS 47-48

### CITY OF MADISON, WISCONSIN



SHEET NO.	DESCRIPTION
C1	TITLE SHEET
C2	NOTES & LEGENDS
C3	EXISTING CONDITIONS
C4	EROSION CONTROL PLAN
C5	PHASE 1 OVERALL SITE & UTILITY PLAN
C6	LOT 47 SITE & UTILITY PLAN
C7	LOT 48 SITE & UTILITY PLAN
C8	PHASE 1 OVERALL GRADING PLAN
C9	LOT 47 GRADING PLAN
C10	LOT 48 GRADING PLAN
C11	FIRE ACCESS PLAN



#### SITE BENCHMARKS

- TOP NUT OF HYDRANT  
ELEV = 910.30
- TOP NUT OF HYDRANT  
ELEV = 921.17
- TOP NUT OF HYDRANT  
ELEV = 921.85
- TOP NUT OF HYDRANT  
ELEV = 910.30

THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE  
1-800-242-8511

**NOT FOR CONSTRUCTION**

Title Sheet  
Cascade Phase 1 - The American Center Lot 47-48  
City of Madison  
Dane County, Wisconsin

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE  
2/27/2023  
DRAFTER  
BBAR  
CHECKED  
SCHU  
PROJECT NO.  
210303

C1

**TOPOGRAPHIC LINEWORK LEGEND**

- FO - EXISTING FIBER OPTIC LINE
- G - EXISTING GAS LINE
- UE - EXISTING UNDERGROUND ELECTRIC LINE
- SAN - EXISTING SANITARY SEWER LINE (SIZE NOTED)
- ST - EXISTING STORM SEWER LINE (SIZE NOTED)
- WH - EXISTING WATER MAIN (SIZE NOTED)
- 820 - EXISTING MAJOR CONTOUR
- 818 - EXISTING MINOR CONTOUR
- - - - - EXISTING EDGE OF PAVEMENT
- - - - - EXISTING EDGE OF GRAVEL
- - - - - EXISTING GRAVEL SURFACE
- - - - - EXISTING CONCRETE SURFACE
- - - - - EXISTING ASPHALT SURFACE

**TOPOGRAPHIC SYMBOL LEGEND**

- EXISTING SIGN (TYPE NOTED)
- EXISTING CURB INLET
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- EXISTING GAS VALVE
- EXISTING LIGHT POLE
- EXISTING TV PEDESTAL
- EXISTING TELEPHONE MANHOLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING DECIDUOUS TREE

**SITE PLAN LEGEND**

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED CHAIN LINK FENCE
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED SIGN
- PROPOSED HANDICAP PARKING

**ABBREVIATIONS**

- TC - TOP OF CURB
- FF - FINISHED FLOOR
- FL - FLOW LINE
- SW - TOP OF WALK
- TW - TOP OF WALL
- BW - BOTTOM OF WALL

**GRADING LEGEND**

- 820 - PROPOSED MAJOR CONTOURS
- 818 - PROPOSED MINOR CONTOURS
- - - - - DITCH CENTERLINE
- - - - - SILT FENCE
- - - - - DISTURBED LIMITS
- BERM
- DRAINAGE DIRECTION
- 1048.61 - EXISTING SPOT ELEVATIONS
- 1048.61 - PROPOSED SPOT ELEVATIONS
- STONE WEEPER
- VELOCITY CHECK
- INLET PROTECTION
- EROSION MAT CLASS II, TYPE A
- EROSION MAT CLASS I, TYPE B
- EROSION MAT CLASS III, TYPE C
- EROSION MAT CLASS II, TYPE A
- TRACKING PAD
- RIP RAP

**PROPOSED UTILITY LEGEND**

- STORM SEWER PIPE
- STORM SEWER MANHOLE
- STORM SEWER ENDWALL
- STORM SEWER CURB INLET
- STORM SEWER CURB INLET W/MANHOLE
- STORM SEWER FIELD INLET
- ROOF DRAIN CLEANOUT
- SANITARY SEWER PIPE (GRAVITY)
- SANITARY SEWER LATERAL PIPE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER MAIN
- WATER SERVICE LATERAL PIPE
- FIRE HYDRANT
- WATER VALVE
- CURB STOP
- PROPOSED PIPE INSULATION

**ABBREVIATIONS**

- STMH - STORM MANHOLE
- FI - FIELD INLET
- CI - CURB INLET
- CB - CATCH BASIN
- EW - ENDWALL
- SMH - SANITARY MANHOLE

**GENERAL NOTES:**

- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
- EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
- RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
- CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.

**DEMOLITION NOTES:**

- CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
- COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
- ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
- CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
- COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
- CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
- ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.

**SITE PLAN NOTES:**

- CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
- CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
- ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
- CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
- CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
- ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
- ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION.

**GRADING NOTES:**

- CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
- ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
- CROSS SLOPE OF SIDEWALKS SHALL BE 2.0% UNLESS OTHERWISE NOTED.
- LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
- LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
- ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2.0% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
- NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
- SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.

**UTILITY NOTES:**

- CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
- SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
- CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
- FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
- IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
- A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
- PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
- STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
- UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
- PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
- PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
- A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).
- EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b).
- NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
- SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
- CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES
- CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
- SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 21. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 26.
- ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
- SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP.
- INSTALL 1 SHEET OF 4'x8'x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.

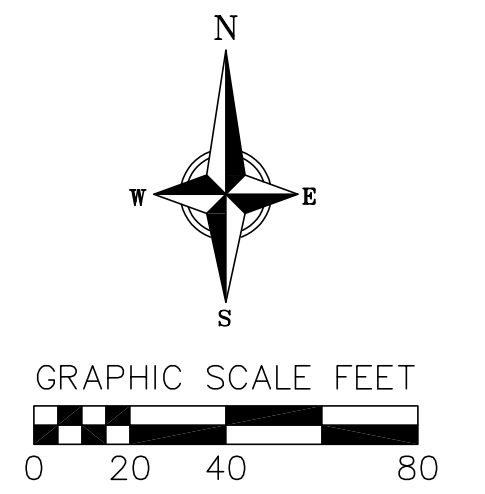
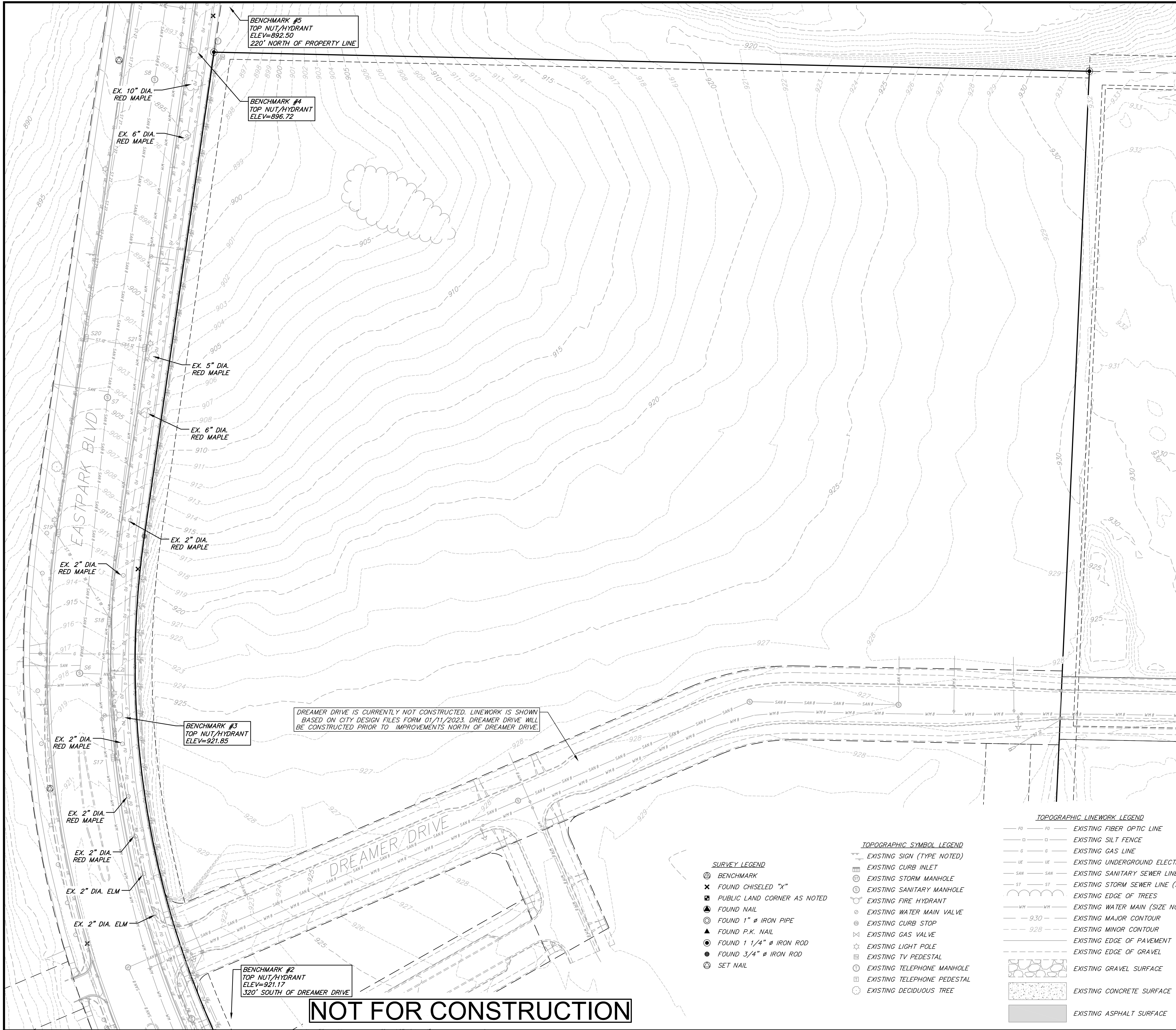
**STREET TREE NOTES:**

- ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY.
- CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREES. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY.
- AS DEFINED BY SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSES THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING.
- SECTION 107.13(g) OF THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS, OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN 5 FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
- STREET TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION.

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE: 2/27/2023  
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**NOT FOR CONSTRUCTION**



EXISTING STORM STRUCTURE TABLE				
NAME	TYPE	RIM/TC	INVERT	DIRECTION
S11	CIN	906.23	901.53	SE
			901.79	NW
S12	STMH	907.63	903.21	NE
			902.89	S
			903.16	NW
S13	CIN	907.57	903.68	SW
S14	CIN	912.70	909.19	SE
			909.24	NW
S15	CIN	919.28	914.88	E
			914.73	SE
			914.93	SW
S16	CIN	918.59	915.39	W
S17	CIN	920.61	917.21	N
S18	CIN	915.63	912.32	S
			912.07	NW
S19	CIN	911.41	907.32	N
			907.37	SE
S20	CIN	901.86	896.83	N
			897.30	E
			897.06	S
S21	CIN	902.02	898.32	W
S22	STMH	890.10	880.45	N
			880.45	E
			883.70	S
			880.40	W
S23	CIN	890.31	880.40	N
			880.40	E
			880.40	W
S24	CIN	890.38	882.20	NE
			881.73	W

EXISTING SANITARY STRUCTURE TABLE				
NAME	TYPE	RIM/TC	INVERT	DIRECTION
S1	SMH	903.36	891.16	SE
			891.03	NW
S2	SMH	905.86	889.66	SE
			889.61	SW
			890.81	NW
			895.64	NW
S3	SMH	909.73	899.71	SE
			899.85	NW
S4	SMH	917.44	907.37	SE
			907.47	NW
S5	SMH	921.62	911.72	SE
			911.76	W
			911.83	NW
S6	SMH	917.90	907.28	N
			907.35	E
S7	SMH	904.37	893.84	N
			893.93	S
S8	SMH	894.48	883.69	N
			883.78	S
S9	SMH	890.05	877.47	N
			876.55	S
			876.47	W

- GENERAL NOTES:**
- This plan is not intended to be a property survey as defined in Chapter A-E 7 of the Wisconsin Administrative Code. The property lines shown on this plan are based on found monumentation, Certified Survey Map #15829, recorded as Document # 5778376 and subsequent surveys of record.
  - This plan is based upon field survey work performed on August 17, 18 and 24, 2022. Any changes in site conditions after August 24, 2022 are not reflected by this plan.
  - This plan is referenced to the Wisconsin County Coordinate System-Dane Zone, NAD 83 (2011). Elevations are referenced to NAVD 88 (2012) datum. Field data was obtained using Robotic Total Station and GPS.
  - All underground utilities have been located per markings placed on the ground or maps provided by the utilities (owners) and/or their authorized representatives. Markings are per Digger's Hotline ticket #20223311075 and #20223311078. No private locate request was made. Vierbicher does not warrant the locations marked or mapped by others. Sewer and water pipe sizes were obtained from the City of Madison Gtweb site. Some storm sewer pipe sizes were measured during the survey.
  - No attempt has been made as a part of this plan to obtain or show data concerning condition, or capacity of any utility or municipal/public service facility. For information regarding these utilities contact the appropriate agencies.
  - Surveyor has made no investigation or independent search for easements of record, encroachments, restrictive covenants, or ownership title evidence, or any other facts that a title search might reveal, except those easements shown on the Creek Crossing At St. Francis plat.

**SURVEY LEGEND**

- ⊙ BENCHMARK
- ✕ FOUND CHISELED "X"
- PUBLIC LAND CORNER AS NOTED
- ▲ FOUND NAIL
- FOUND 1" Ø IRON PIPE
- ▲ FOUND P.K. NAIL
- FOUND 1 1/4" Ø IRON ROD
- FOUND 3/4" Ø IRON ROD
- ⊙ SET NAIL

**TOPOGRAPHIC SYMBOL LEGEND**

- EXISTING SIGN (TYPE NOTED)
- EXISTING CURB INLET
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- EXISTING GAS VALVE
- EXISTING LIGHT POLE
- EXISTING TV PEDESTAL
- EXISTING TELEPHONE MANHOLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING DECIDUOUS TREE

**TOPOGRAPHIC LINEWORK LEGEND**

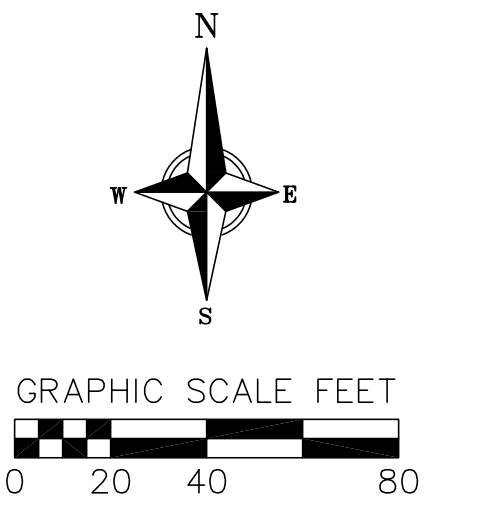
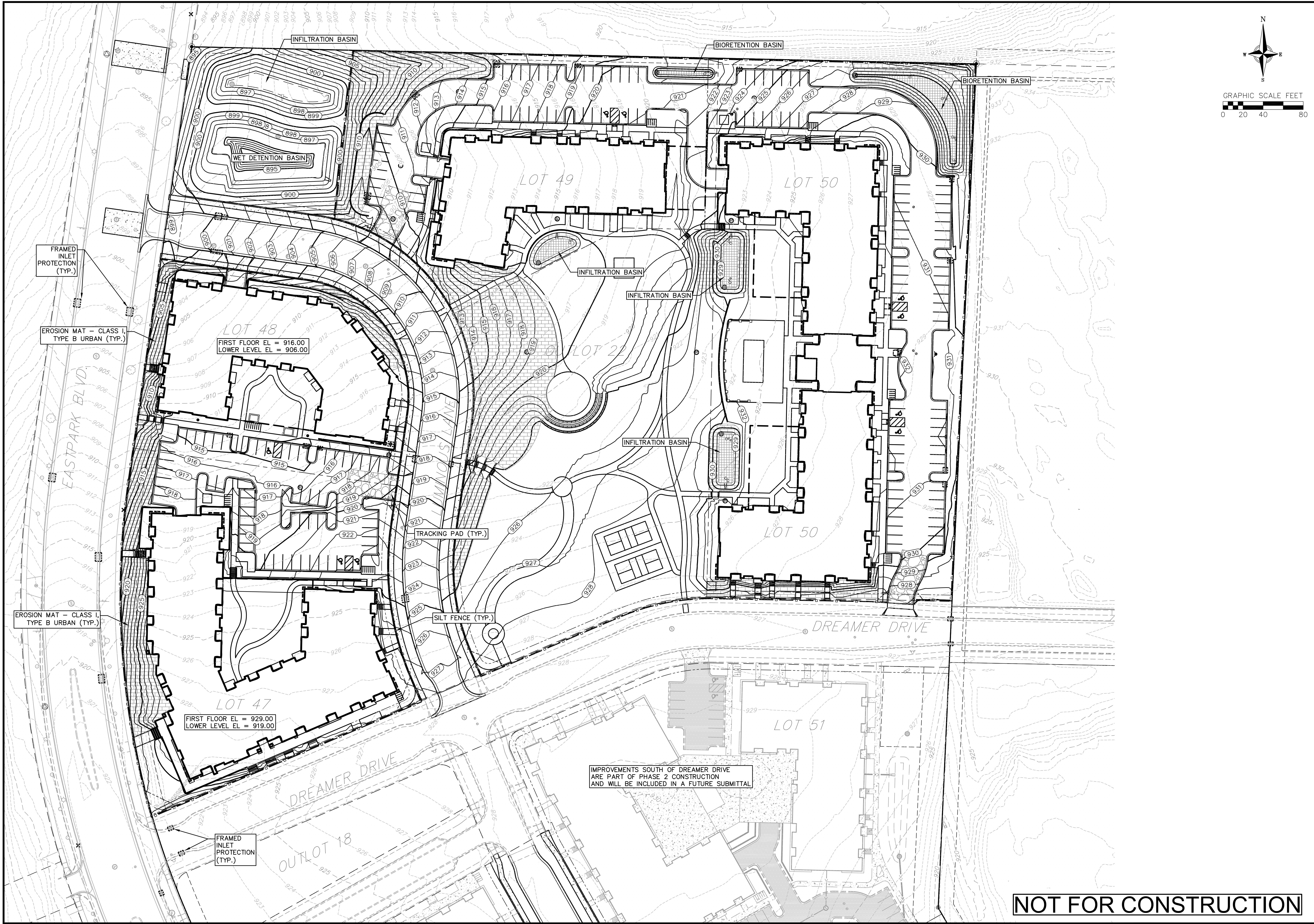
- FO — FO — EXISTING FIBER OPTIC LINE
- S — S — EXISTING SILT FENCE
- G — G — EXISTING GAS LINE
- UE — UE — EXISTING UNDERGROUND ELECTRIC LINE
- SAN — SAN — EXISTING SANITARY SEWER LINE (SIZE NOTED)
- ST — ST — EXISTING STORM SEWER LINE (SIZE NOTED)
- — — EXISTING EDGE OF TREES
- WM — WM — EXISTING WATER MAIN (SIZE NOTED)
- — — EXISTING MAJOR CONTOUR
- — — EXISTING MINOR CONTOUR
- — — EXISTING EDGE OF PAVEMENT
- — — EXISTING EDGE OF GRAVEL
- — — EXISTING GRAVEL SURFACE
- — — EXISTING CONCRETE SURFACE
- — — EXISTING ASPHALT SURFACE

**NOT FOR CONSTRUCTION**

REVISIONS		NO.	DATE	REMARKS

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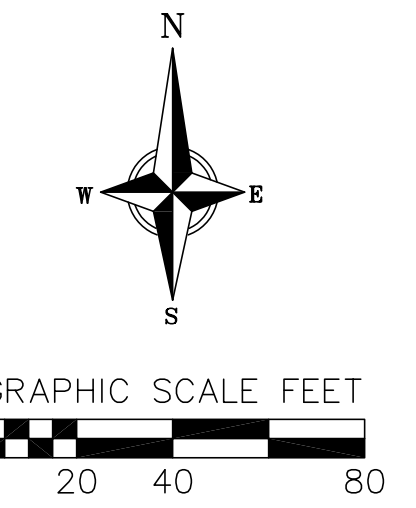
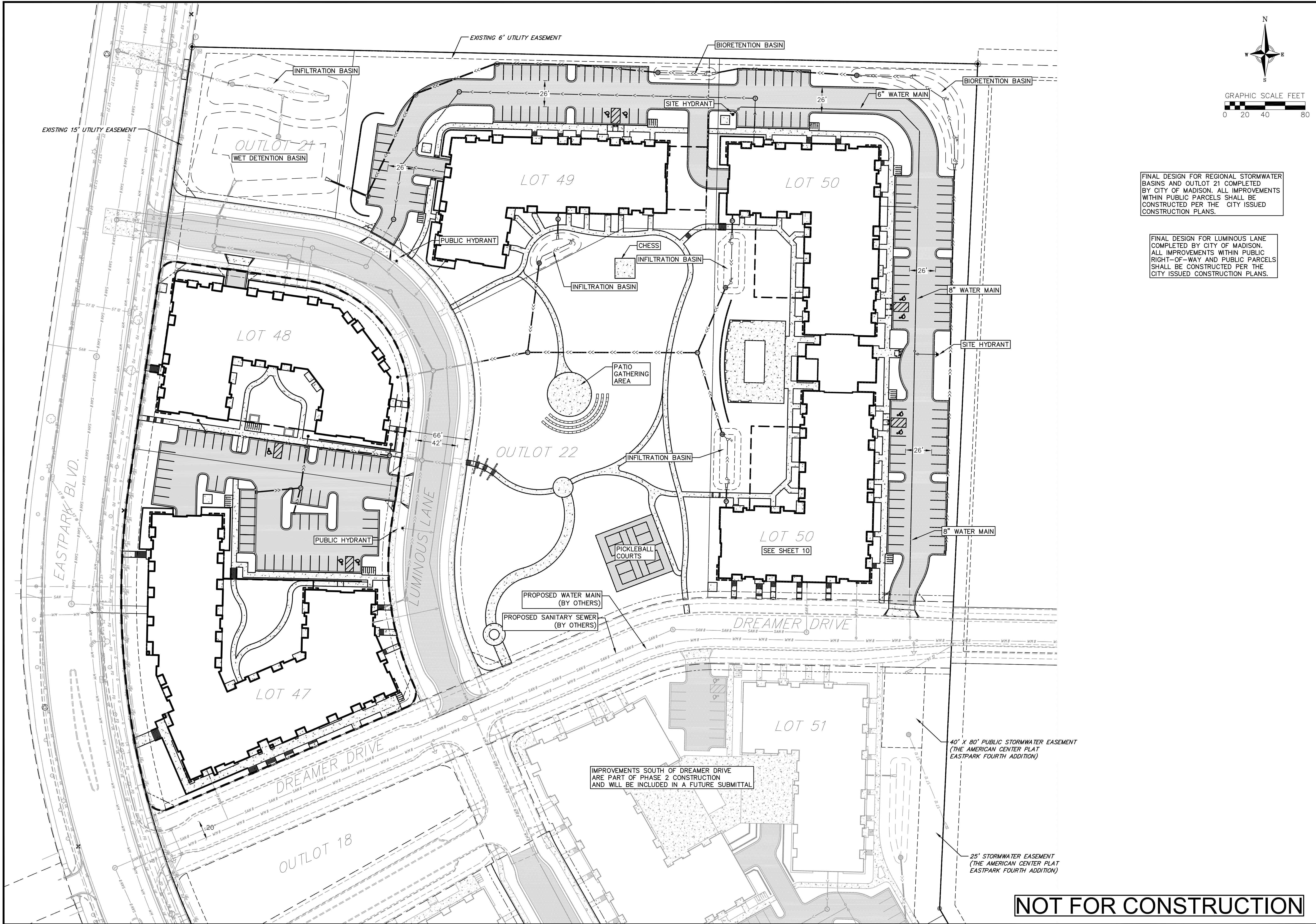




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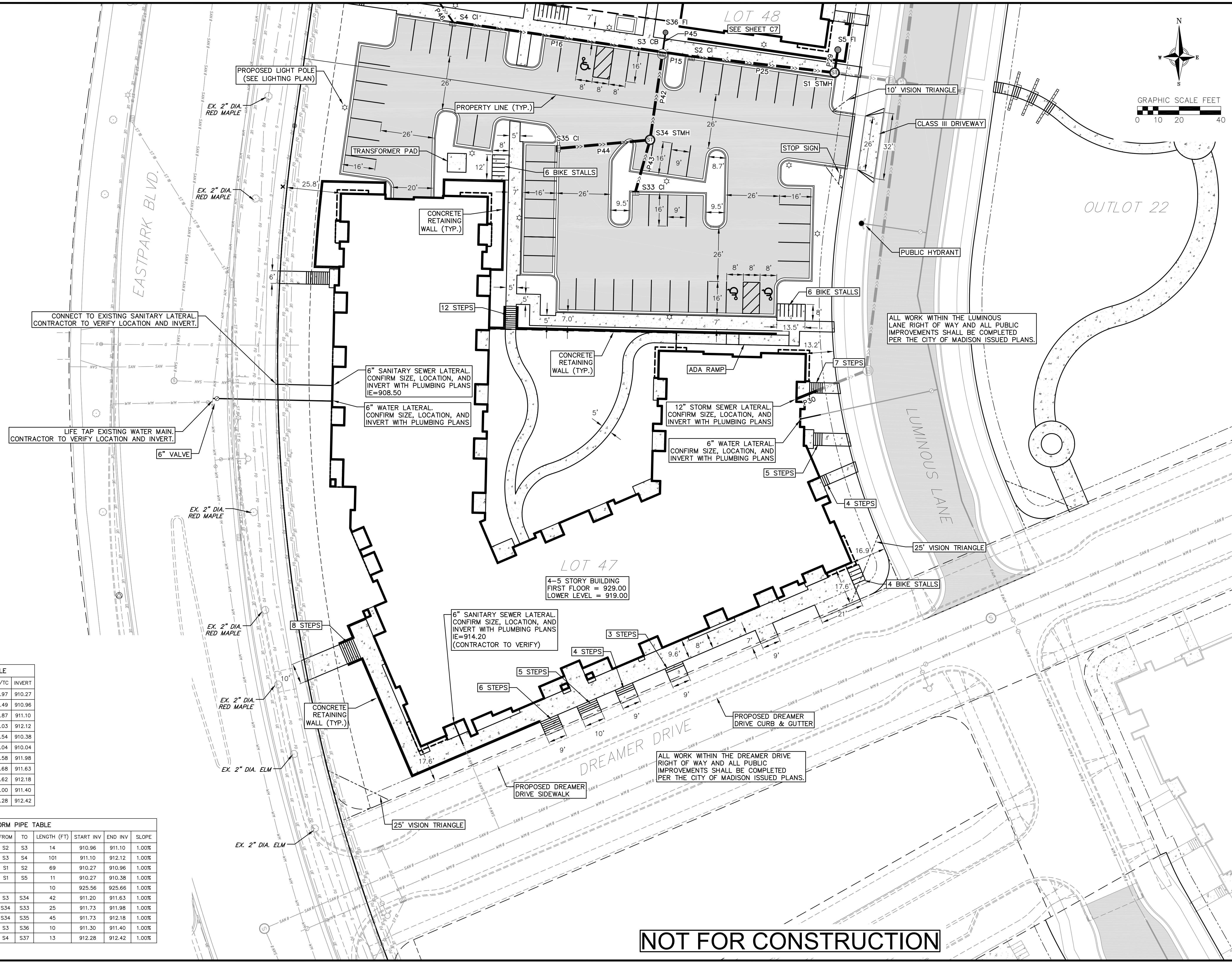
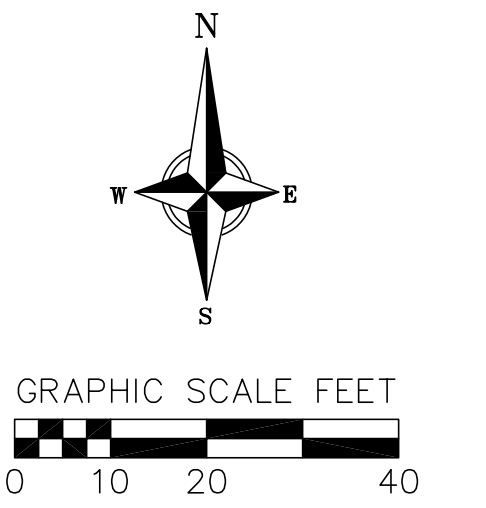


FINAL DESIGN FOR REGIONAL STORMWATER BASINS AND OUTLOT 21 COMPLETED BY CITY OF MADISON. ALL IMPROVEMENTS WITHIN PUBLIC PARCELS SHALL BE CONSTRUCTED PER THE CITY ISSUED CONSTRUCTION PLANS.

FINAL DESIGN FOR LUMINOUS LANE COMPLETED BY CITY OF MADISON. ALL IMPROVEMENTS WITHIN PUBLIC RIGHT-OF-WAY AND PUBLIC PARCELS SHALL BE CONSTRUCTED PER THE CITY ISSUED CONSTRUCTION PLANS.

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**STORM STRUCTURE TABLE**

STRUCTURE NAME	STRUCTURE TYPE	RIM/TC	INVERT
S1	48" CONC STMH	918.97	910.27
S2	2' x 3' CI	915.49	910.96
S3	48" CONC CB	914.87	911.10
S4	2' x 3' CI	915.03	912.12
S5	30" CONC FI	915.54	910.38
S32	24" CONC FI	915.04	910.04
S33	2' x 3' CI	919.58	911.98
S34	48" CONC STMH	915.68	911.63
S35	2' x 3' CI	916.62	912.18
S36	24" CONC FI	915.00	911.40
S37	24" CONC FI	915.28	912.42

**STORM PIPE TABLE**

PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	TO	LENGTH (FT)	START INV	END INV	SLOPE
P15	RCP	12	S2	S3	14	910.96	911.10	1.00%
P16	RCP	12	S3	S4	101	911.10	912.12	1.00%
P25	RCP	12	S1	S2	69	910.27	910.96	1.00%
P29	HDPE	12	S1	S5	11	910.27	910.38	1.00%
P30	RCP	12			10	925.56	925.66	1.00%
P42	RCP	12	S3	S34	42	911.20	911.63	1.00%
P43	RCP	12	S34	S33	25	911.73	911.98	1.00%
P44	RCP	12	S34	S35	45	911.73	912.18	1.00%
P45	PVC	10	S3	S36	10	911.30	911.40	1.00%
P46	PVC	10	S4	S37	13	912.28	912.42	1.00%

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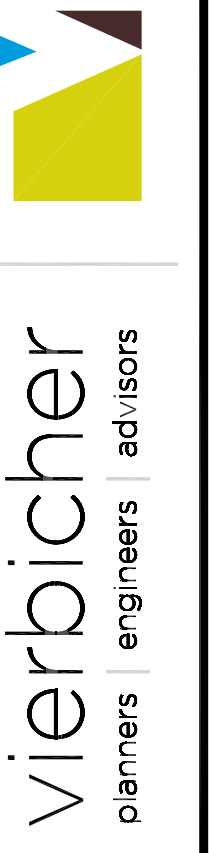
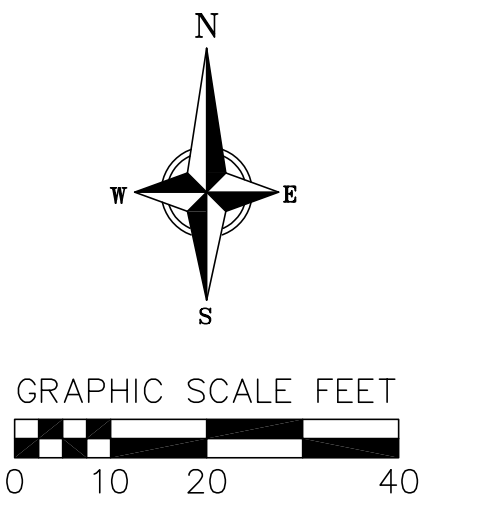
**Lot 47 Site & Utility Plan**  
 Cascade Phase 1 - The American Center Lot 47-48  
 City of Madison  
 Dane County, Wisconsin

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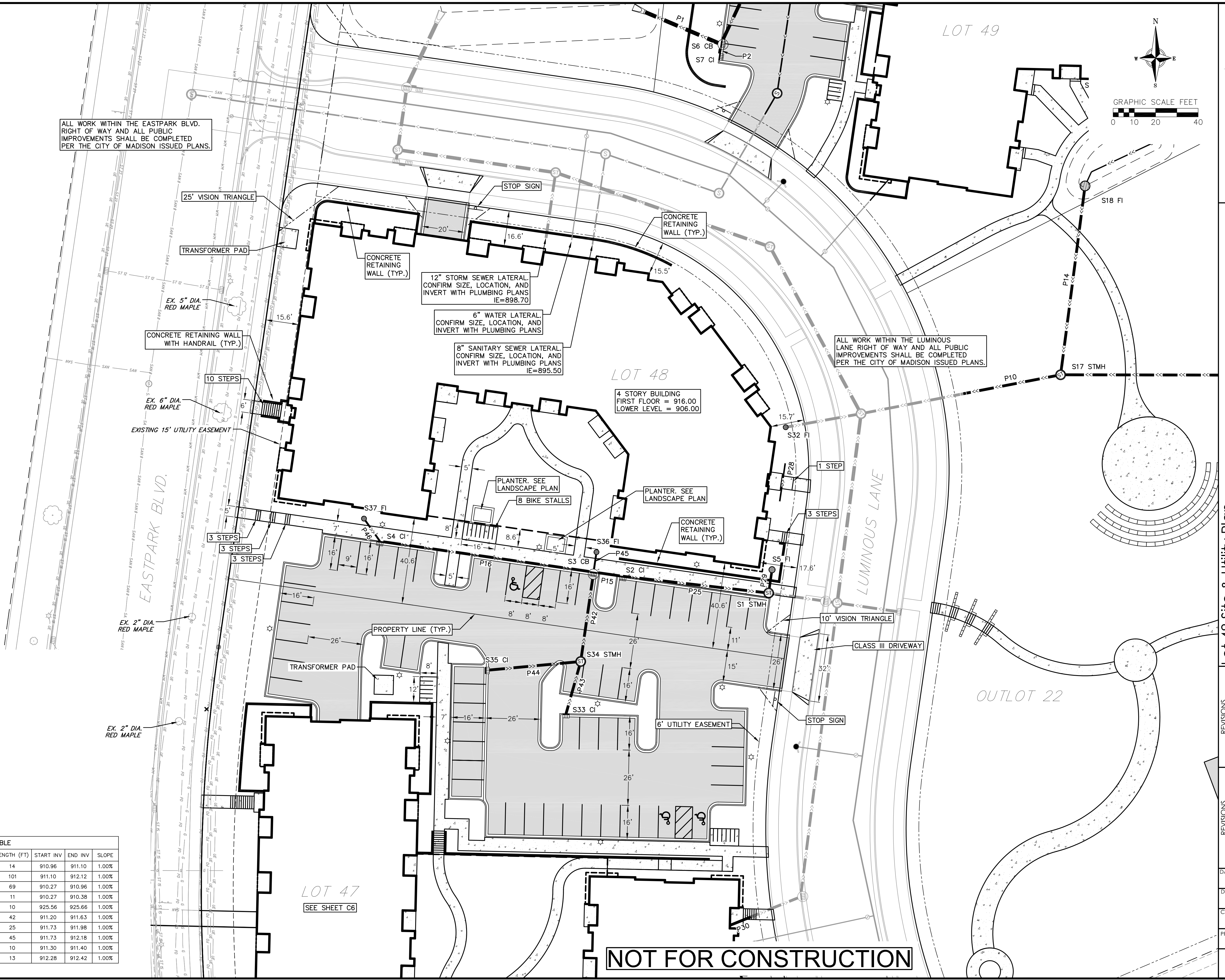
ALL WORK WITHIN THE EASTPARK BLVD. RIGHT OF WAY AND ALL PUBLIC IMPROVEMENTS SHALL BE COMPLETED PER THE CITY OF MADISON ISSUED PLANS.

ALL WORK WITHIN THE LUMINOUS LANE RIGHT OF WAY AND ALL PUBLIC IMPROVEMENTS SHALL BE COMPLETED PER THE CITY OF MADISON ISSUED PLANS.



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PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	TO	LENGTH (FT)	START INV	END INV	SLOPE
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P30	RCP	12			10	925.56	925.66	1.00%
P42	RCP	12	S3	S34	42	911.20	911.63	1.00%
P43	RCP	12	S34	S33	25	911.73	911.98	1.00%
P44	RCP	12	S34	S35	45	911.73	912.18	1.00%
P45	PVC	10	S3	S36	10	911.30	911.40	1.00%
P46	PVC	10	S4	S37	13	912.28	912.42	1.00%

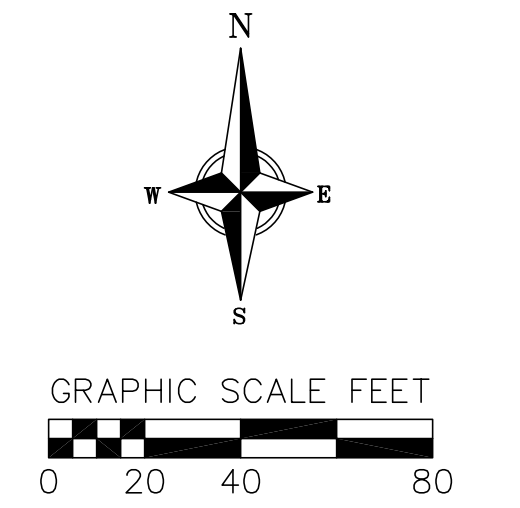
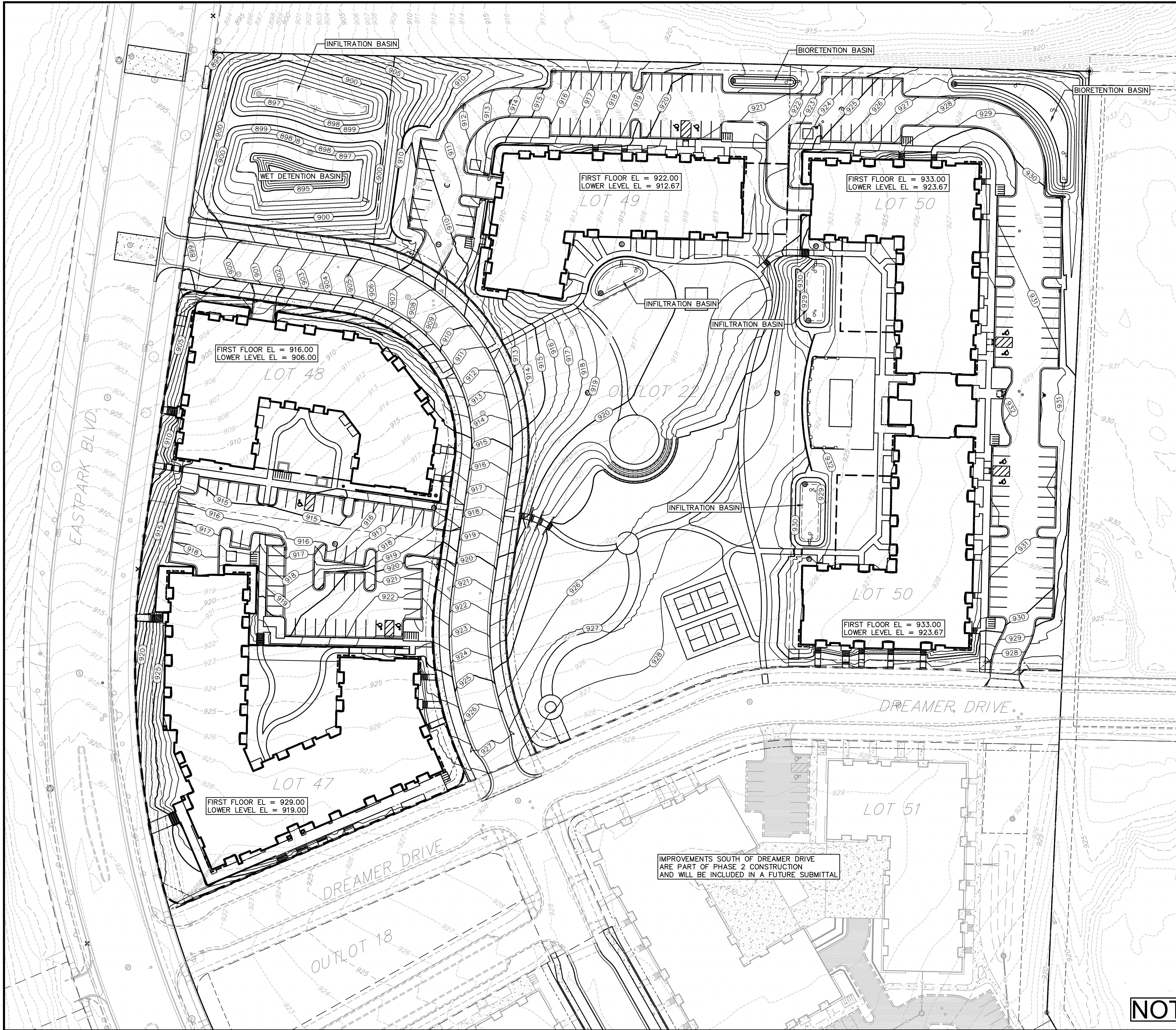


Lot 48 Site & Utility Plan

Cascade Phase 1 - The American Center Lot 47-48  
City of Madison  
Dane County, Wisconsin

REVISIONS NO.	DATE	REMARKS

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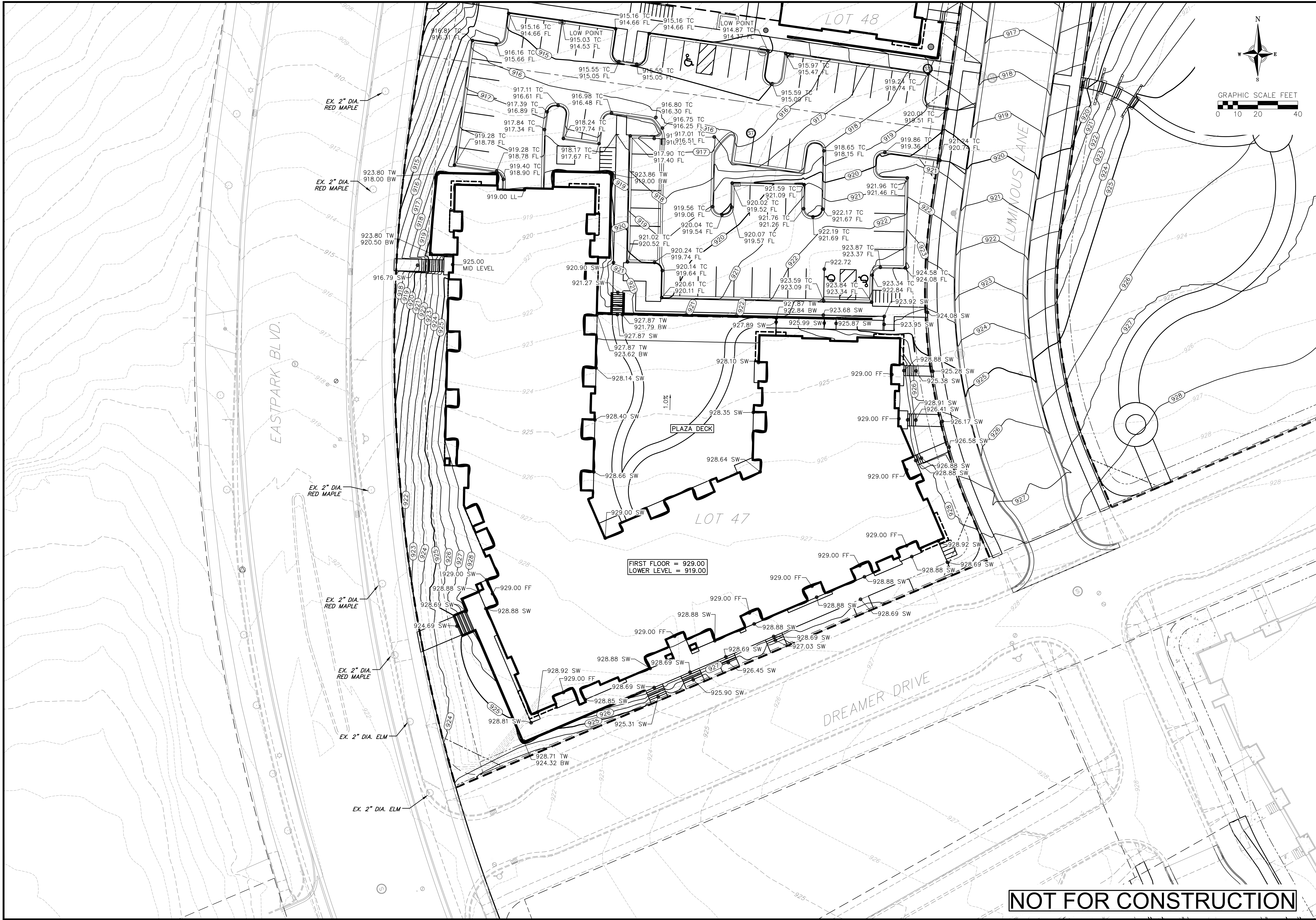
FINAL DESIGN FOR REGIONAL STORMWATER BASINS AND OUTLOT 21 COMPLETED BY CITY OF MADISON. ALL IMPROVEMENTS WITHIN PUBLIC PARCELS SHALL BE CONSTRUCTED PER THE CITY ISSUED CONSTRUCTION PLANS.

ALL WORK WITHIN LUMINOUS LANE, DREAMER DRIVE, AND EASTPARK BLVD. RIGHT OF WAY AND ALL PUBLIC IMPROVEMENTS SHALL BE COMPLETED PER THE CITY OF MADISON ISSUED PLANS.

IMPROVEMENTS SOUTH OF DREAMER DRIVE ARE PART OF PHASE 2 CONSTRUCTION AND WILL BE INCLUDED IN A FUTURE SUBMITTAL

**NOT FOR CONSTRUCTION**

REVISIONS	NO.	DATE	REMARKS



**vierbicher**  
planners | engineers | advisors

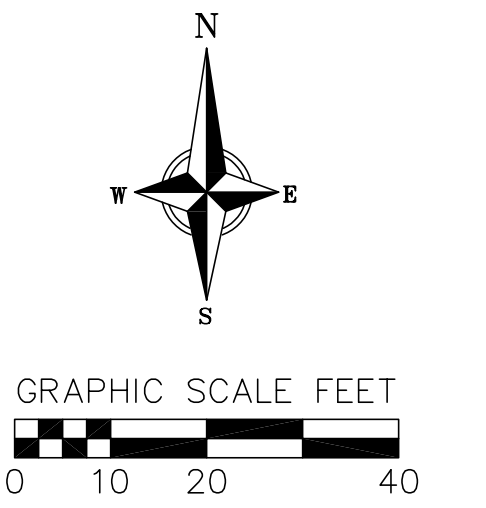
**Lot 47 Grading Plan**  
Cascade Phase 1 - The American Center Lot 47-48  
City of Madison  
Dane County, Wisconsin

REVISIONS		REVISIONS	
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PROJECT NO. 210303  
**C9**

**NOT FOR CONSTRUCTION**



EASTPARK BLVD.

LUMINOUS LANE

LOT 49

LOT 48

OUTLOT 22

LOT 47

FIRST FLOOR = 916.00  
 LOWER LEVEL = 906.00  
 LOWER LEVEL AT GARAGE ENTRANCE = 903.50

EX. 5" DIA. RED MAPLE

EX. 6" DIA. RED MAPLE

EX. 2" DIA. RED MAPLE

EX. 2" DIA. RED MAPLE

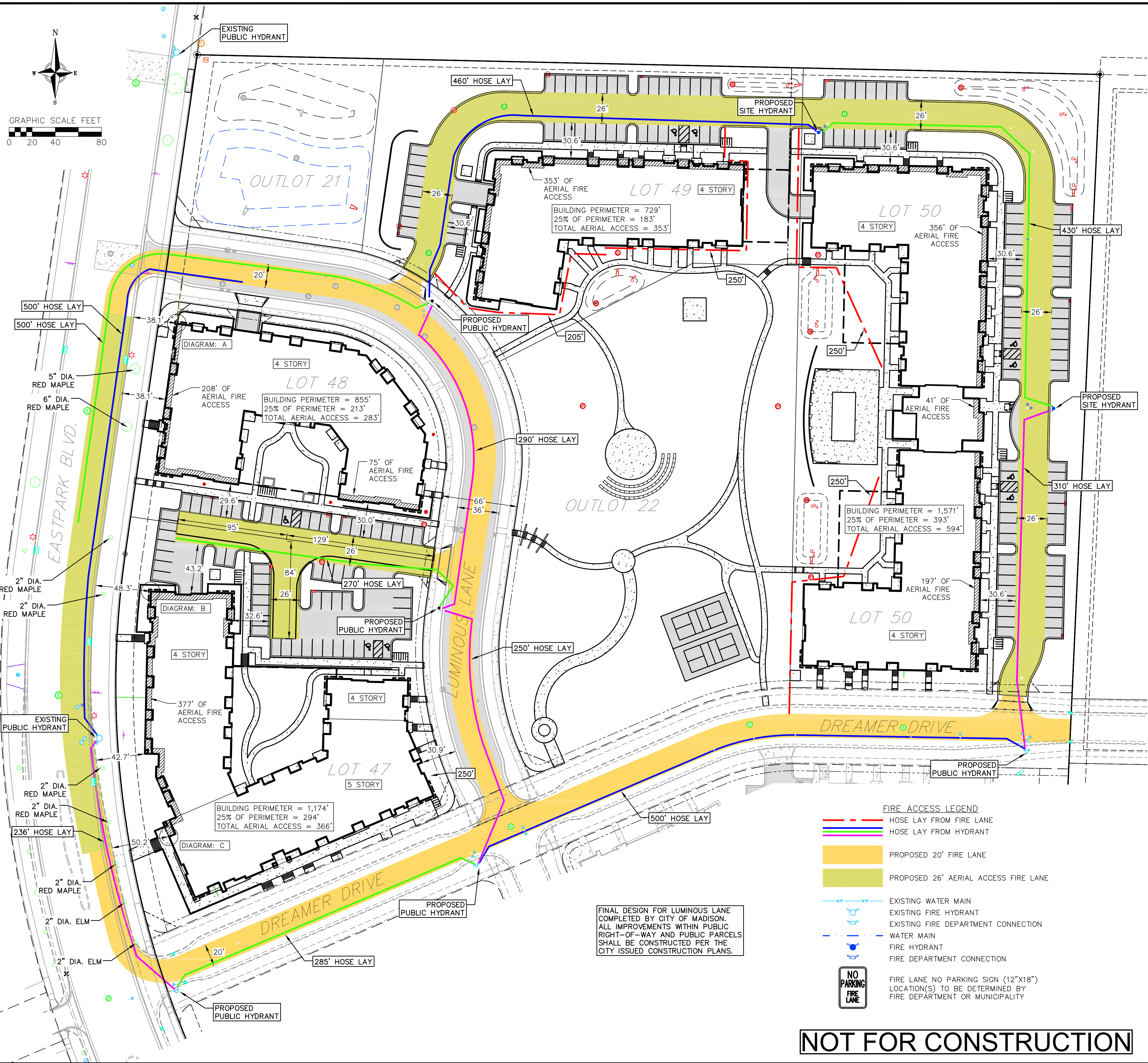
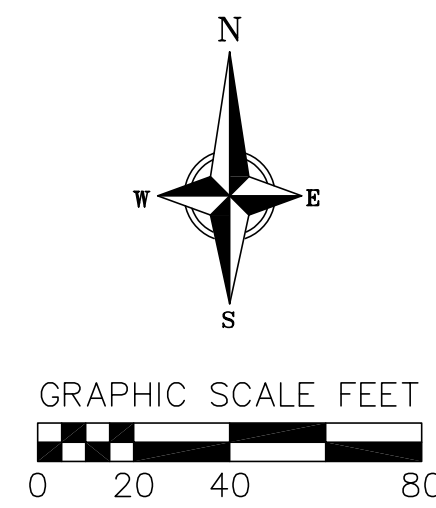
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**NOT FOR CONSTRUCTION**

**Lot 48 Grading Plan**  
 Cascade Phase 1 - The American Center Lot 47-48  
 City of Madison  
 Dane County, Wisconsin

REVISIONS NO.	DATE	REMARKS

DATE: 2/27/2023  
 DRAFTER: BBAR  
 CHECKED: SCHU  
 PROJECT NO.: 210303

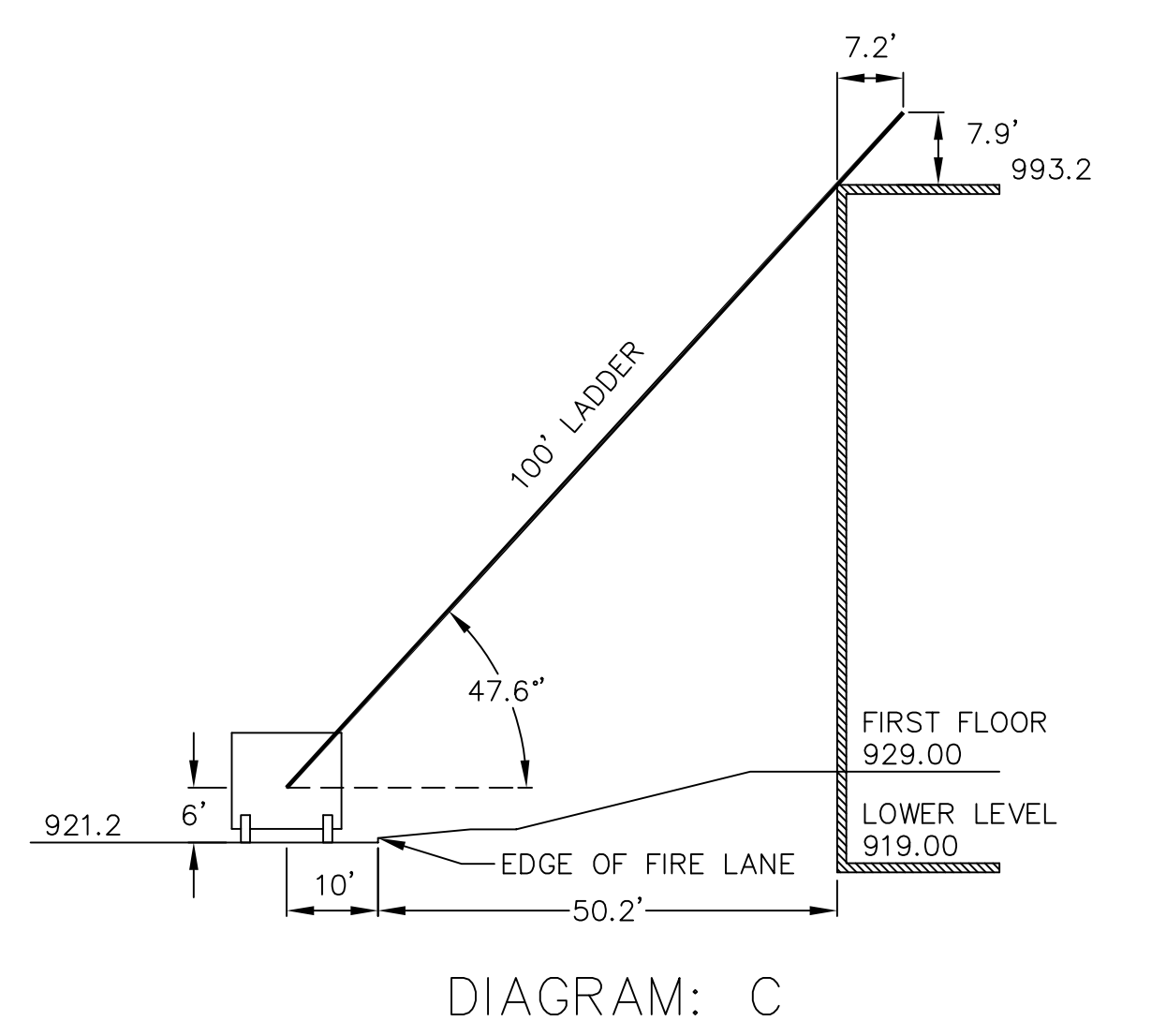
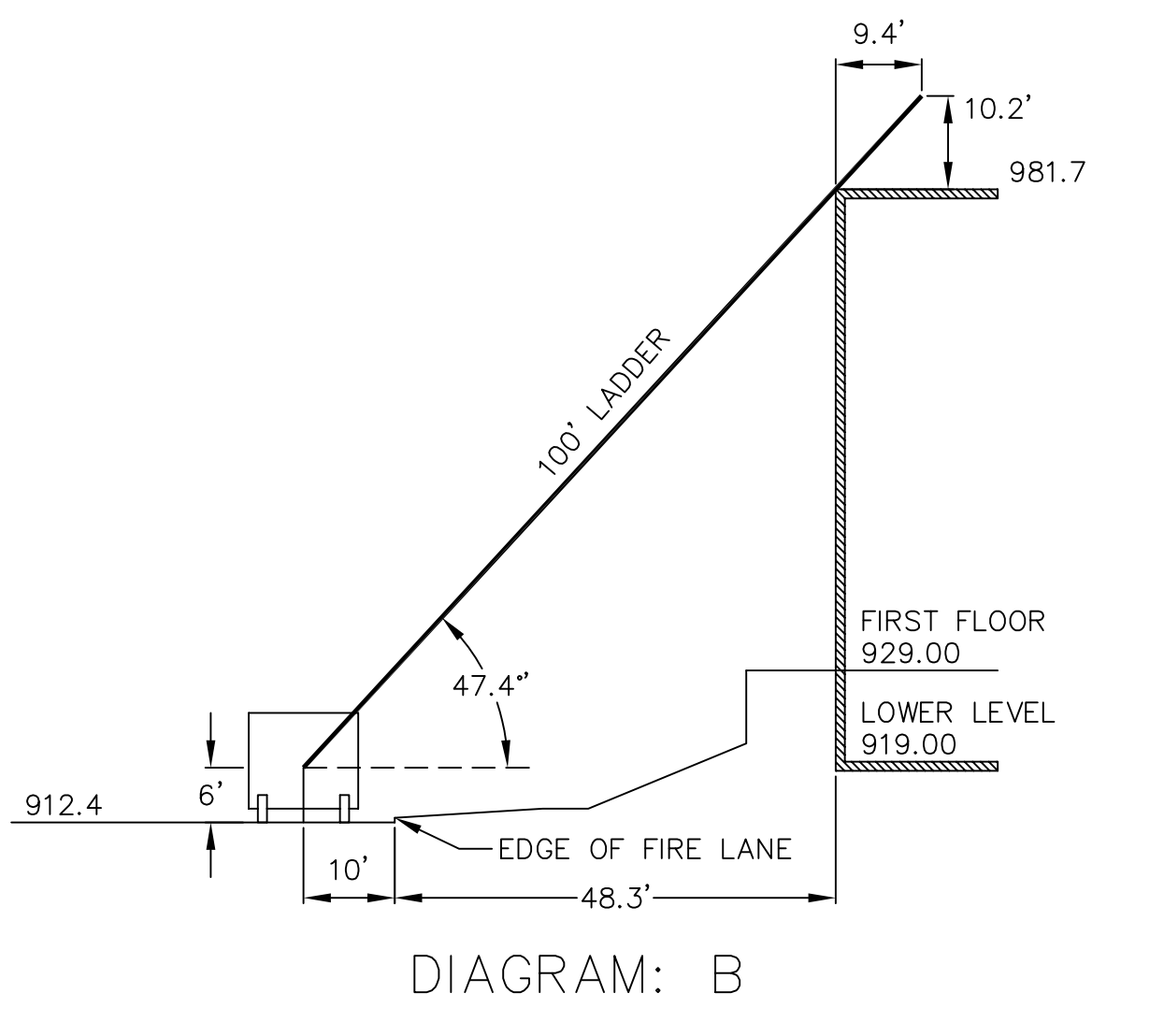
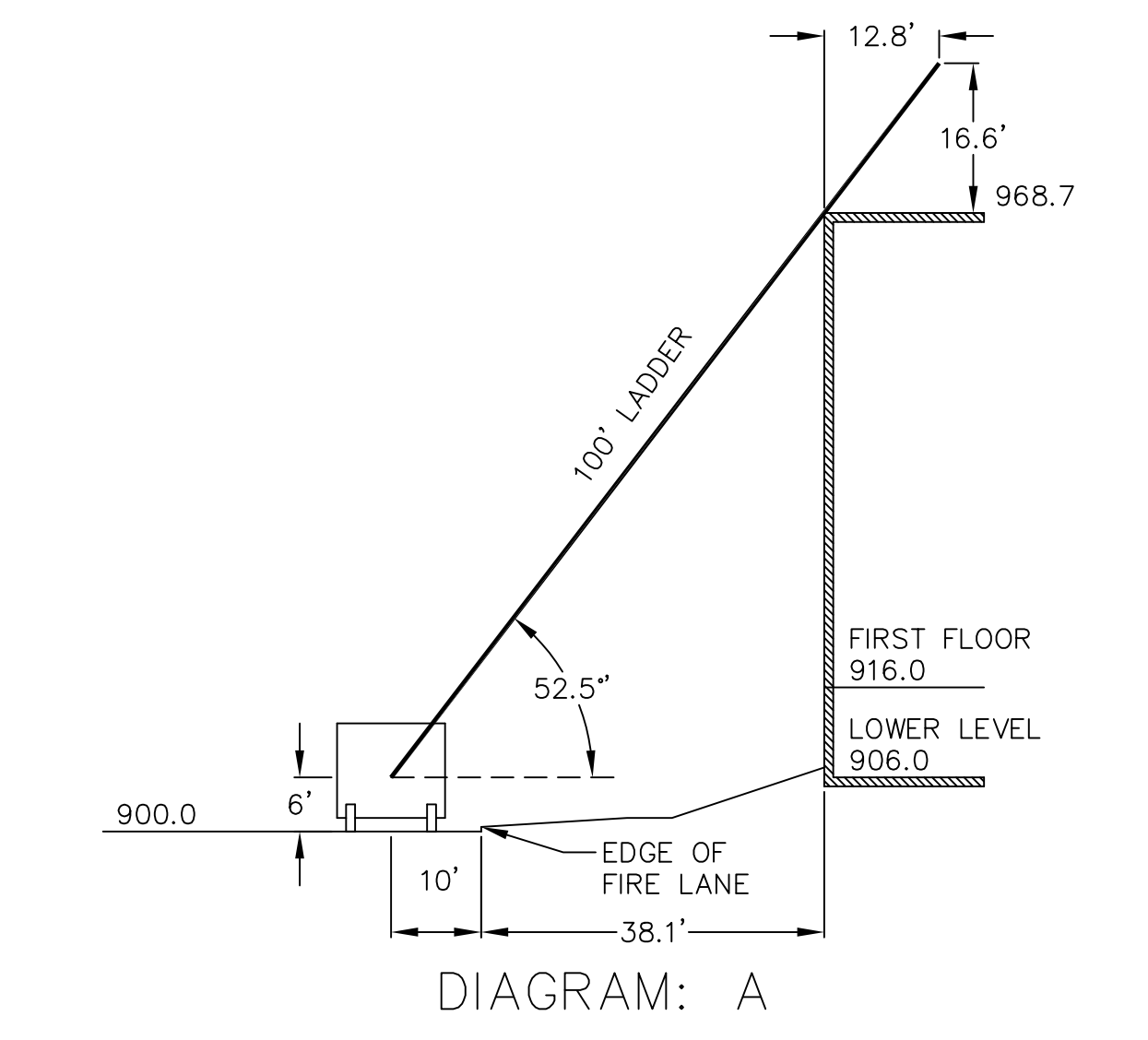


**FIRE ACCESS LEGEND**

- HOSE LAY FROM FIRE LANE
- HOSE LAY FROM HYDRANT
- PROPOSED 20' FIRE LANE
- PROPOSED 26' AERIAL ACCESS FIRE LANE
- EXISTING WATER MAIN
- EXISTING FIRE HYDRANT
- EXISTING FIRE DEPARTMENT CONNECTION
- WATER MAIN
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- FIRE LANE NO PARKING SIGN (12"x18") LOCATION(S) TO BE DETERMINED BY FIRE DEPARTMENT OR MUNICIPALITY

FINAL DESIGN FOR LUMINOUS LANE COMPLETED BY CITY OF MADISON. ALL IMPROVEMENTS WITHIN PUBLIC RIGHT-OF-WAY AND PUBLIC PARCELS SHALL BE CONSTRUCTED PER THE CITY ISSUED CONSTRUCTION PLANS.

**NOT FOR CONSTRUCTION**



**1 LADDER REACH DIAGRAMS**

REVISIONS	NO.	DATE	REMARKS

DATE: 2/27/2023  
DRAFTER: BBAR  
CHECKED: SCHU  
PROJECT NO.: 210303



**THE AMERICAN CENTER FIFTH ADDITION**

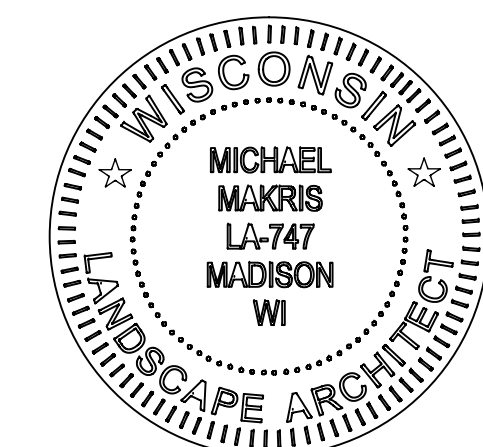
OVERALL LANDSCAPE PLAN  
Madison, Wisconsin

Date: January 6, 2023  
Scale: 1"=40'-0"  
Designer: kms  
Job #

Seal:  
To protect against legal liability,  
the plans presented herein are  
"schematic," and should not be  
outsourced as "biddable" or  
"construction documents" unless  
approved by the Landscape  
Designer. This is not an original  
document unless stamped in  
red, as ORIGINAL.

Revisions:  
2023.01.26  
2023.02.17  
2023.02.24

Reference Name:  
Cascade Development



SHEET NUMBER

**L 100**

**PARK AND STREET TREE  
PLANT LIST**

KEY	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	ROOT	STEM
<b>DECIDUOUS TREES</b>						
AF	<i>Acer x freemanii 'Jeffersred'</i>	Autumn Blaze Maple	3	2"	B&B	
CO	<i>Celtis occidentalis</i>	Common Hackberry	5	2"	B&B	
GB	<i>Ginkgo biloba</i>	Autumn Gold Ginkgo	4	2"	B&B	
GD	<i>Gymnocladus dioica 'Espresso-JFS'</i>	Espresso Kentucky Coffee Tree	6	2"	B&B	
GT	<i>Gleditsia triacanthos var. inermis 'Skyline'</i>	Skyline Honeylocust	12	2"	B&B	
QB	<i>Quercus bicolor</i>	Swamp White Oak	9	2"	B&B	
TA	<i>Tilia americana 'McK-Sentry'</i>	American Sentry Linden	3	2"	B&B	
UD	<i>Ulmus davidiana var. japonica x ulmus pumilus</i>	New Horizon Elm	7	2"	B&B	

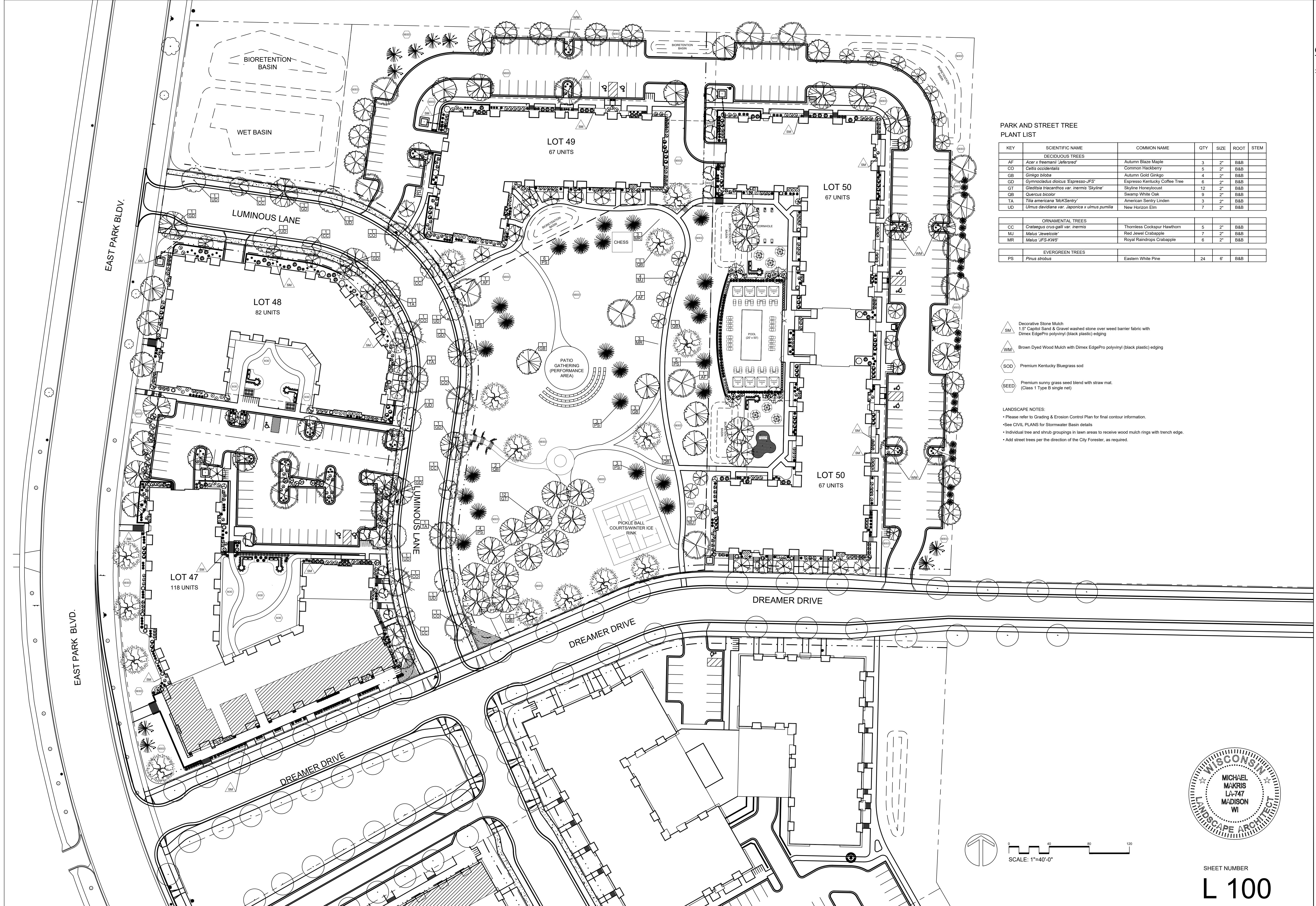
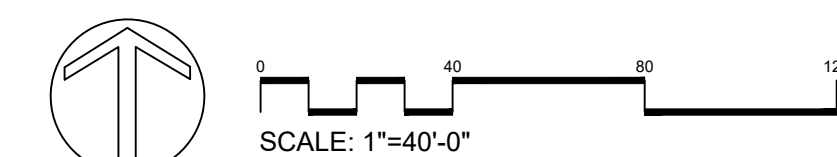
<b>ORNAMENTAL TREES</b>						
CC	<i>Crataegus crus-galli var. inermis</i>	Thornless Cockspur Hawthorn	5	2"	B&B	
MJ	<i>Malus 'Jewelcole'</i>	Red Jewel Crabapple	7	2"	B&B	
MR	<i>Malus 'JFS-KWS'</i>	Royal Raindrops Crabapple	6	2"	B&B	

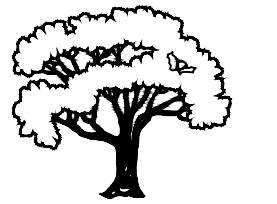
<b>EVERGREEN TREES</b>						
PS	<i>Pinus strobus</i>	Eastern White Pine	24	6"	B&B	

- Decorative Stone Mulch  
1.5" Capitol Sand & Gravel washed stone over weed barrier fabric with Dimex EdgePro polyvinyl (black plastic) edging
- Brown Dyed Wood Mulch with Dimex EdgePro polyvinyl (black plastic) edging
- Premium Kentucky Bluegrass sod
- Premium sunny grass seed blend with straw mat.  
(Class 1 Type B single net)

**LANDSCAPE NOTES:**

- Please refer to Grading & Erosion Control Plan for final contour information.
- See CIVIL PLANS for Stormwater Basin details.
- Individual tree and shrub groupings in lawn areas to receive wood mulch rings with trench edge.
- Add street trees per the direction of the City Forester, as required.





3570 Pioneer Road  
Verona, WI 53593  
PH: (608) 827-9401  
FAX: (608) 827-9402  
WEB: www.olsontoon.com

**THE AMERICAN CENTER FIFTH ADDITION**  
LOT 47 LANDSCAPE PLAN  
Madison, Wisconsin

Date: January 6, 2023  
Scale: 1'-0"=20'-0"  
Designer: kms  
Job #

Seal:  
To protect against legal liability,  
the plans presented herein are  
"schematic," and should not be  
outsourced as "biddable" or  
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approved by the Landscape  
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Revisions:  
2023.01.26  
2023.02.17  
2023.02.24

Reference Name:  
Cascade Development

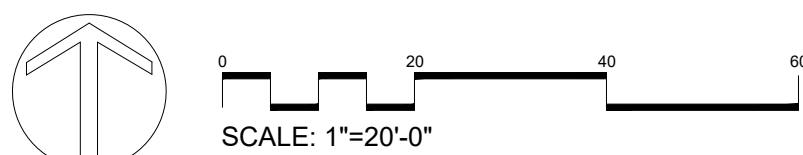
CREDITS / EXISTING LANDSCAPING		NEW / PROPOSED LANDSCAPING	
PLANT TYPE / ELEMENT	POINT VALUE	QUANTITY	POINTS ACHIEVED
Overstory Deciduous	35	0	17
Tall Evergreen Tree	35	0	2
Ornamental Tree	15	0	4
Upright Evergreen Shrub (i.e. arborvitae)	10	0	103
Shrub, deciduous	3	0	19
Shrub, evergreen	4	0	181
Ornamental Grasses/Perennials	2	0	0
Ornamental/Decorative Fencing or Wall (4pts / 10LF)	4	0	0
Existing Significant Specimen Tree	14	0	0
Landscape Furniture for public seating and/or transit connections	5	0	0
<b>TOTAL POINTS ACHIEVED</b>			<b>1557</b>

**LOT 47**  
PLANT LIST

KEY	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	ROOT	STEM
<b>DECIDUOUS TREES</b>						
AF	<i>Acer x freemanii</i> 'Jefersred'	Autumn Blaze Maple	3	2"	B&B	
GB	<i>Ginkgo biloba</i>	Autumn Gold Ginkgo	4	2"	B&B	
GT	<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Skyline'	Skyline Honeylocust	1	2"	B&B	
QB	<i>Quercus bicolor</i>	Swamp White Oak	4	2"	B&B	
TA	<i>Tilia americana</i> 'McKsentry'	American Sentry Linden	5	2"	B&B	
<b>ORNAMENTAL TREES</b>						
MR	<i>Malus</i> 'JFS-KW5'	Royal Raindrops Crabapple	5	2"	B&B	
SR	<i>Syringa reticulata</i> 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	2	2"	B&B	
<b>EVERGREEN TREES</b>						
PG	<i>Picea glauca</i> var. <i>densata</i>	Black Hills Spruce	2	6'	B&B	
TO	<i>Thuja occidentalis</i> 'Emerald Green'	Emerald Green Arborvitae	4	6'	B&B	
<b>EVERGREEN SHRUBS</b>						
Pp	<i>Picea pungens</i> 'Globosa'	Dwarf Globe Blue Spruce	6	#5	Cont.	
Tm	<i>Taxus x media</i> 'Tautonii'	Taunton Yew	13	#5	Cont.	
<b>DECIDUOUS SHRUBS</b>						
Cc	<i>Cotinus coggygria</i> 'NCC01'	Winecraft Black Smokebush	14	#5	Cont.	
Ca	<i>Cornus alba</i> 'Bailhalo'	Ivory Halo Red Twig Dogwood	8	#3	Cont.	
Dk	<i>Diervilla</i> 'G2X885411'	Kodiak Red Bush Honeysuckle	13	#3	Cont.	
Hp	<i>Hydrangea paniculata</i> 'SMHPLQF'	Little Quickfire Hydrangea	8	#3	Cont.	
Iv	<i>Itea virginica</i> 'Sprich'	Little Henry Dwarf Virginia Sweetspire	12	#3	Cont.	
Pa	<i>Physocarpus opulifolius</i> 'Jefam'	Amber Jubilee Ninebark	2	#3	Cont.	
Po	<i>Physocarpus opulifolius</i> 'SMPOTW'	Tiny Wine Ninebark	7	#3	Cont.	
Rr	<i>Rosa</i> 'BAIset'	Sunrise Sunset Rose	6	#3	Cont.	
Sb	<i>Syringa</i> 'SMSJBP7'	Bloomerang Dark Purple Lilac	2	#5	Cont.	
St	<i>Spiraea betulifolia</i> 'Tor'	Tor Birchleaf Spirea	31	#3	Cont.	
<b>ORNAMENTAL GRASSES &amp; PERENNIALS</b>						
ca	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	68	#1	Cont.	
hb	<i>Hemerocallis</i> 'Going Bananas'	Going Bananas Daylily	42	#1	Cont.	
he	<i>Hosta</i> 'Rainbow's End'	Rainbow's End Hosta	6	#1	Cont.	
hr	<i>Hemerocallis</i> 'Rosy Returns'	Rosy Returns Daylily	12	#1	Cont.	
ms	<i>Miscanthus sinensis</i> 'Purpurascens'	Purple Maiden Grass	18	#1	Cont.	
pa	<i>Perovskia atriplicifolia</i> 'Little Spire'	Little Spire Russian Sage	35	#1	Cont.	

- Decorative Stone Mulch  
1.5" Capitol Sand & Gravel washed stone over weed barrier fabric with Dimex EdgePro polyvinyl (black plastic) edging
- Brown Dyed Wood Mulch with Dimex EdgePro polyvinyl (black plastic) edging
- Premium Kentucky Bluegrass sod
- Premium sunny grass seed blend with straw mat.  
(Class 1 Type B single net)

- LANDSCAPE NOTES:**
- Please refer to Grading & Erosion Control Plan for final contour information.
  - See CIVIL PLANS for Stormwater Basin details
  - Individual tree and shrub groupings in lawn areas to receive wood mulch rings with trench edge.
  - Add street trees per the direction of the City Forester, as required.



EAST PARK BLVD.

LUMINOUS LANE

DREAMER DRIVE

LOT 47  
118 UNITS

SHEET NUMBER

**L 101**

City of Madison, WI Landscape Worksheet		Lot 48	
Zoning District Category			
1/6/2023			
City of Madison, Wisconsin Landscape Worksheet		LANDSCAPE POINTS REQ.	
DEVELOPED LOTS	SQUARE FEET	431	
Total Developed Area			
47,454 sf (lot) - 21,580 (building footprint)	25,874		
	CREDITS / EXISTING LANDSCAPING	NEW / PROPOSED LANDSCAPING	
PLANT TYPE / ELEMENT	POINT VALUE	QUANTITY	POINTS ACHIEVED
Overstory Deciduous	35	0	6
Tall Evergreen Tree	35	0	0
Ornamental Tree	15	0	11
Upright Evergreen Shrub (i.e. arborvitae)	10	0	7
Shrub, deciduous	3	0	77
Shrub, evergreen	4	0	16
Ornamental Grasses/Perennials	2	0	74
Ornamental/Decorative Fencing or Wall (4pts / 10LF)	4	0	0
Existing Significant Specimen Tree	14	0	0
Landscape Furniture for public seating and/or transit connections	5	0	0
		0	888
TOTAL POINTS ACHIEVED		888	

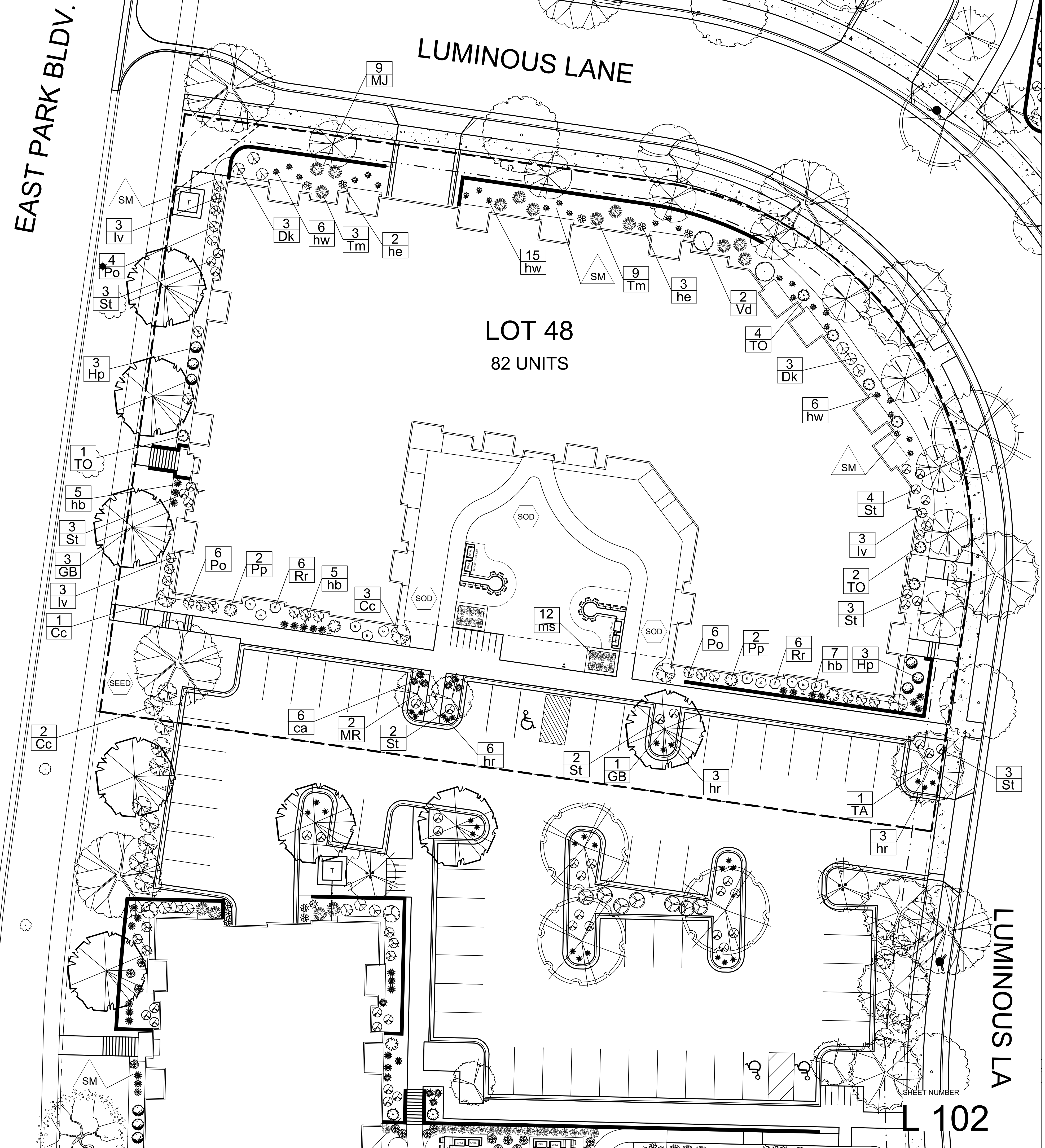
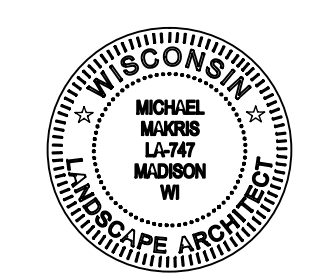
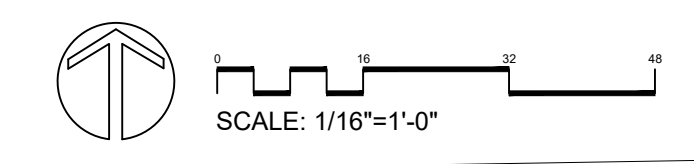
LOT 48  
PLANT LIST

KEY	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	ROOT	STEM
DECIDUOUS TREES						
GB	<i>Ginkgo biloba</i>	Autumn Gold Ginkgo	4	2"	B&B	
GT	<i>Gleditsia triacanthos var. inermis 'Skyline'</i>	Skyline Honeylocust	1	2"	B&B	
TA	<i>Tilia americana 'McK Sentry'</i>	American Sentry Linden	1	2"	B&B	
ORNAMENTAL TREES						
MJ	<i>Malus 'Jewelcole'</i>	Red Jewel Crabapple	9	2"	B&B	
MR	<i>Malus 'JFS-KW5'</i>	Royal Raindrops Crabapple	2	2"	B&B	
EVERGREEN TREES						
TO	<i>Thuja occidentalis 'Emerald Green'</i>	Emerald Green Arborvitae	7	6'	B&B	
EVERGREEN SHRUBS						
Pp	<i>Picea pungens 'Glabosa'</i>	Dwarf Globe Blue Spruce	4	#5	Cont.	
Tm	<i>Taxus x media 'Tautonii'</i>	Taunton Yew	12	#5	Cont.	
DECIDUOUS SHRUBS						
Cc	<i>Cotinus coccinea 'NCC01'</i>	Winecraft Black Smokebush	6	#5	Cont.	
Dk	<i>Diervilla 'G2X885411'</i>	Kodiak Red Bush Honeysuckle	6	#3	Cont.	
Hp	<i>Hydrangea paniculata 'SMHPLQF'</i>	Little Quickfire Hydrangea	6	#3	Cont.	
Iv	<i>Itea virginica 'Sprich'</i>	Little Henry Dwarf Virginia Sweetspire	9	#3	Cont.	
Po	<i>Physocarpus opulifolius 'SMPOTW'</i>	Tiny Wine Ninebark	16	#3	Cont.	
Rr	<i>Rosa 'BAlset'</i>	Sunrise Sunset Rose	12	#3	Cont.	
St	<i>Spiraea betulifolia 'Tor'</i>	Tor Birchleaf Spirea	20	#3	Cont.	
Vd	<i>Viburnum dentatum 'Christom'</i>	Blue Muffin Arrowwood Viburnum	2	#5	Cont.	
ORNAMENTAL GRASSES & PERENNIALS						
ca	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	Karl Foerster Feather Reed Grass	6	#1	Cont.	
hb	<i>Hemerocallis 'Going Bananas'</i>	Going Bananas Daylily	12	#1	Cont.	
he	<i>Hosta 'Rainbow's End'</i>	Rainbow's End Hosta	5	#1	Cont.	
hr	<i>Hemerocallis 'Rosy Returns'</i>	Rosy Returns Daylily	12	#1	Cont.	
hw	<i>Heuchera 'Wildberry'</i>	Dolce Wildberry Coralbell	27	#1	Cont.	
ms	<i>Miscanthus sinensis 'Purpurascens'</i>	Purple Maiden Grass	12	#1	Cont.	

- SM Decorative Stone Mulch  
15" Capitol Sand & Gravel washed stone over weed barrier fabric with Dimex EdgePro polyvinyl (black plastic) edging
- WM Brown Dyed Wood Mulch with Dimex EdgePro polyvinyl (black plastic) edging
- SOD Premium Kentucky Bluegrass sod
- SEED Premium sunny grass seed blend with straw mat.  
(Class 1 Type B single net)

LANDSCAPE NOTES:

- Please refer to Grading & Erosion Control Plan for final contour information.
- See CIVIL PLANS for Stormwater Basin details
- Individual tree and shrub groupings in lawn areas to receive wood mulch rings with trench edge.
- Add street trees per the direction of the City Forester, as required.



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Verona, WI 53593  
PH: (608) 827-9401  
FAX: (608) 827-9402  
WEB: www.olsontoon.com

**THE AMERICAN CENTER FIFTH ADDITION**  
LOT 48 LANDSCAPE PLAN  
Madison, Wisconsin

Date: January 6, 2023  
Scale: 1/16"=1'-0"  
Designer: kms  
Job #

Seal:  
To protect against legal liability, the plans presented herein are "schematic," and should not be outsourced as "biddable" or "construction documents" unless approved by the Landscape Designer. This is not an original document unless stamped in red, as ORIGINAL.

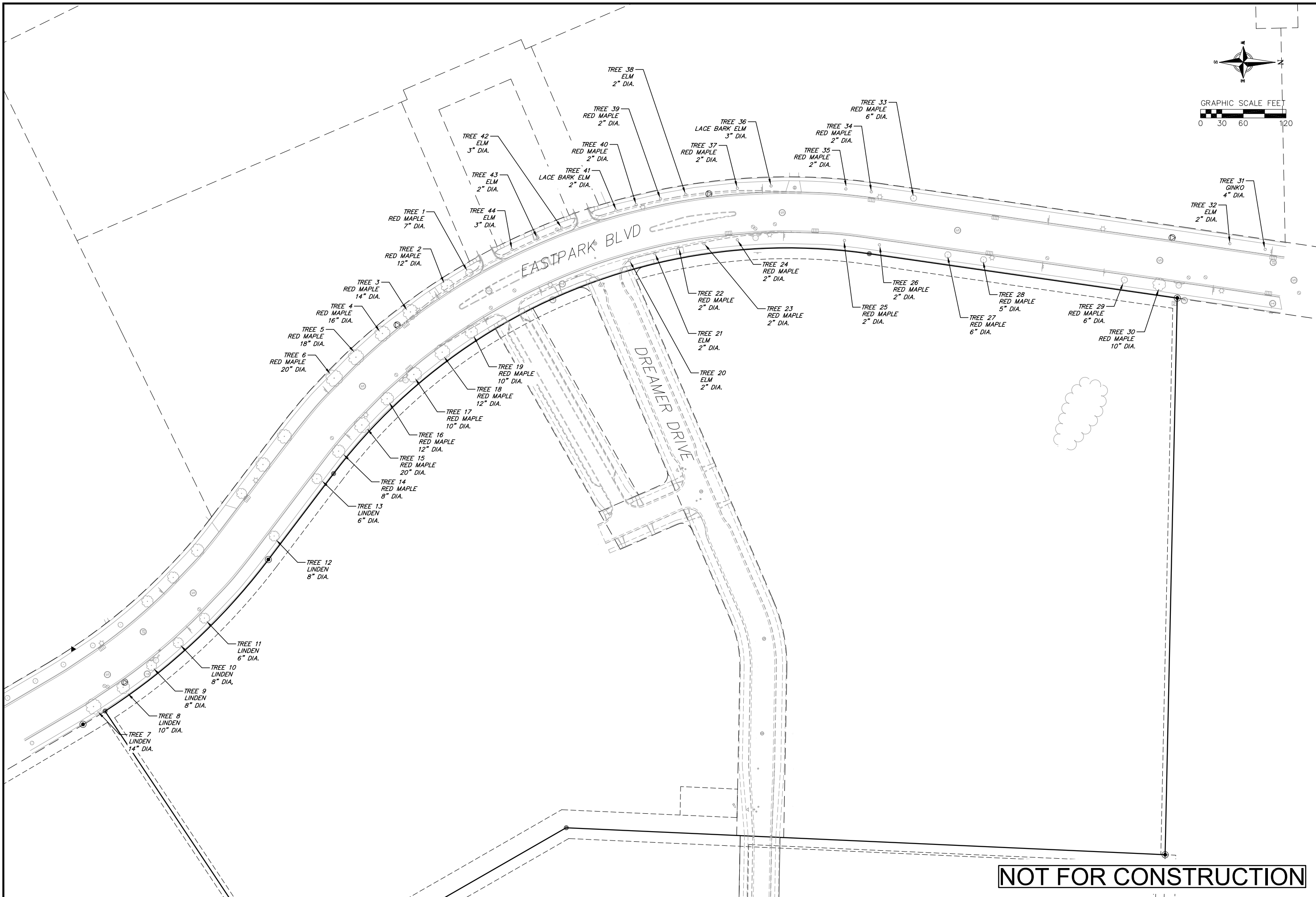
Revisions:  
2023.01.26  
2023.02.17  
2023.02.24

Reference Name:  
Cascade Development

LUMINOUS LA

SHEET NUMBER

L 102



**NOT FOR CONSTRUCTION**

**Street Trees**  
Cascade Phase 1 - The American Center  
City of Madison  
Dane County, Wisconsin

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE: 1/30/2023  
 DRAFTER: BBAR  
 CHECKED: SCHU  
 PROJECT NO.: 210303  
 SHEET: 1 OF 1



# City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506  
 Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: [fire@cityofmadison.com](mailto:fire@cityofmadison.com)

**Project Address:** 4846 Eastpark Blvd - Lot 47-48

**Contact Name & Phone #:** Greg Held - 608-836-3690

## FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? <b>If non-sprinklered</b> , fire lanes extend to within 150-feet of all portions of the exterior wall? <b>If sprinklered</b> , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? <i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.