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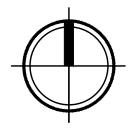
## PROJECT TITLE CASCADE -THE AMERICAN CENTER EASTPARK FIFTH ADDITION

4846 Eastpark Blvd. Madison, WI SHEET TITLE Phase I - Overall Site Plan

Lot 47-48

SHEET NUMBER

C-1.0 PROJECT NO. 2155 © Knothe & Bruce Architects, LLC



GRAPHIC SCALE 0 40 80 I INCH = 40 FT (24X36 SHEET)



Site Development Data:		
Zoning	CC-T	
Densities:		
Lot Area	79,575 S.F./I.83 AC	KES
Dwelling Units	119 units	
Lot Area / D.U.	668 S.F./D.U.	
Density	65 units/Acre	
	PROVIDED	ZONING REQUIREMENTS
Lot Coverage	60,500 S.F. (76%)	85% Max.
Building Height	5 stories/68'-0"	5 Stories/78' Max.
Gross Building Area	177,958 S.F.	
Commercial Area	7,638 S.F.	
Dwelling Unit Mix:		
Studio	25	
One Bedroom	49	
One Bedroom + Den	9	
Two Bedroom	36	
Total Dwelling Units	119	
Vehicle Parking Stalls:		
Underground Garage	103	
Surface	39	
Total	142	
Electric Vehicle Parking Stalls: EV Installed	3	3 - Min. 2% of Residential Stalls
EV Ready	10	10 - Min. 10% of Residential Stalls
Total	13	13 - Min. EV Required
lotai	15	15 - Min. EV Required
Bicycle Parking:		
Long-Term Covered Garage	119	119 - Min. 100% of Req'd
(103 F.M. & 16 )	W.M.)	
Short-Term Guest - Surface	12	12 - Min. 10% of Units
Commercial - Surface	4	<u>4 - Min. of 2 stalls (1 stall/2,000 S.F.)</u>
Total	135	135 - Min. Bike Stalls Required

GENERAL NOTES:

THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

2. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.

3. ALL DAMAGE TO THE PAVEMENT ON CITY STREETS, AND ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.

4. ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.

AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM

6. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.

7. SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.

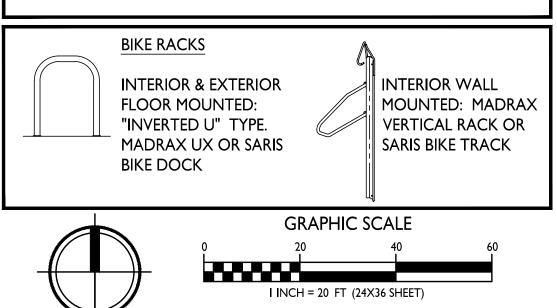
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9. STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART I STANDARDS FOR PRUNING.

10. AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

11. APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER (266-4816).

12. THE PUBLIC RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME. NO ITEMS SHOWN ON THIS SITE PLAN IN THE RIGHT-OF-WAY ARE PERMANENT AND MAY NEED TO BE REMOVED AT THE APPLICANTS EXPENSE UPON NOTIFICATION BY THE CITY.



knothe bruce ARCHITECTS 7601 University Ave, Ste 201 Phone: 608.836.3690 Middleton, WI 53562

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PROJECT TITLE CASCADE -THE AMERICAN CENTER EASTPARK FIFTH ADDITION

4846 Eastpark Blvd. Madison, WI SHEET TITLE Site Plan

Lot  $4\overline{2}$ 

SHEET NUMBER

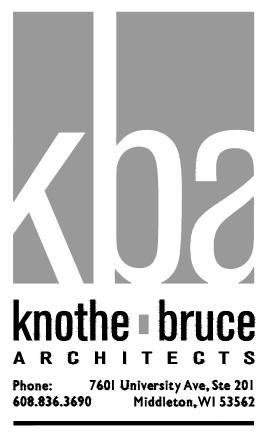
PROJECT NO.



2155 © Knothe & Bruce Architects, LLC



Site Development Data:		
Zoning	TR-U2	
Densities:		
Lot Area	47,174 S.F./1.08 ACI	RES
Dwelling Units	82 units	
Lot Area / D.U.	575 S.F./D.U.	
Density	76 units/Acre	
Bensie	PROVIDED	ZONING REQUIREMENTS
Lot Coverage	35,500 S.F. (75.3%)	
Building Height	4 stories/54'-0"	4 Stories/52' Max.
Gross Building Area	113,899 S.F.	
Gross building Area	115,077 5.1.	
Dwelling Unit Mix:		
Studio	15	
One Bedroom	32	
One Bedroom + Den	8	
Two Bedroom	27	
Total Dwelling Units	82	
	02	
Vehicle Parking Stalls:		
Underground Garage	72	
Surface	21	
Total	93	
Electric Vehicle Parking Stalls:		
EV Installed	2	2 - Min. 2% of Residential Stalls
EV Ready	7	7 - Min. 10% of Residential Stalls
Total	9	9 - Min. EV Required
	·	
Bicycle Parking:		
Long-Term Covered Garage	82	82 - Min. 100% of Req'd
	F.M.)	····· · · · · · · · · · · · · · · · ·
Short-Term Guest - Surface	8	8 - Min. 10% of Units
Total	90	90 - Min. Bike Stalls Required



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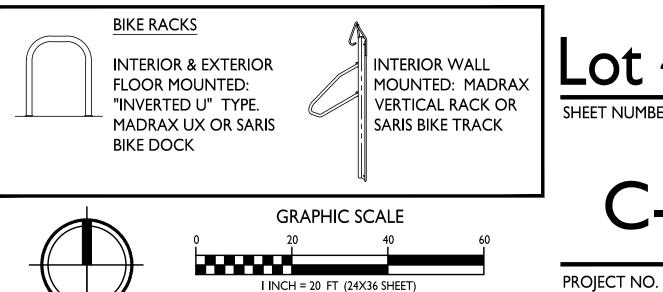
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PROJECT TITLE CASCADE -THE AMERICAN CENTER EASTPARK FIFTH ADDITION

4846 Eastpark Blvd. Madison, WI SHEET TITLE Site Plan

Lot 48

SHEET NUMBER

C-1.2

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2155

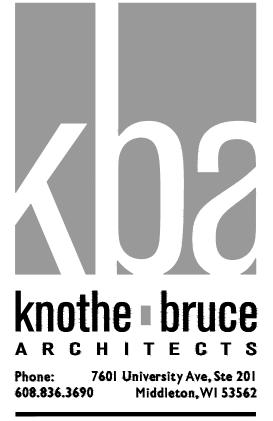


# LOT COVERAGE

ZONING MAXIMUM LOT COVERAGE 85% LOT AREA PROPOSED COVERAGE

79,575 S.F. 60,500 S.F. / 76%

CC-T



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# PROJECT TITLE THE AMERICAN CENTER EASTPARK FIFTH ADDITION

4846 Eastpark Blvd. Madison, Wl SHEET TITLE Lot Coverage

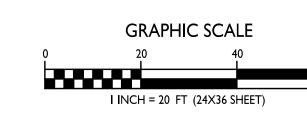
Lot 47

SHEET NUMBER

C-3.1 PROJECT NO. 2155

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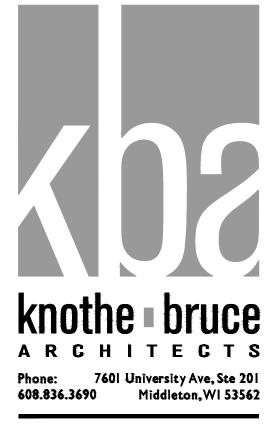


LOT AREA PROPOSED COVERAGE

47,174 S.F. 35,500 S.F. / 75.3%

TR-U2

80%



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# PROJECT TITLE THE AMERICAN CENTER EASTPARK FIFTH ADDITION

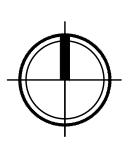
4846 Eastpark Blvd. Madison, Wl SHEET TITLE Lot Coverage

Lot 48

SHEET NUMBER

C-3.2

PROJECT NO. 2155 © Knothe & Bruce Architects, LLC



	GRAPHIC	SCALE	
)	20 I	40 I	6
	I INCH = 20 FT	(24X36 SHEET)	

ISSUED





THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

> CALL DIGGER'S HOTLINE 1-800-242-8511

# SITE BENCHMARKS



TOP NUT OF HYDRANT ELEV = 910.30



TOP NUT OF HYDRANT ELEV = 921.17



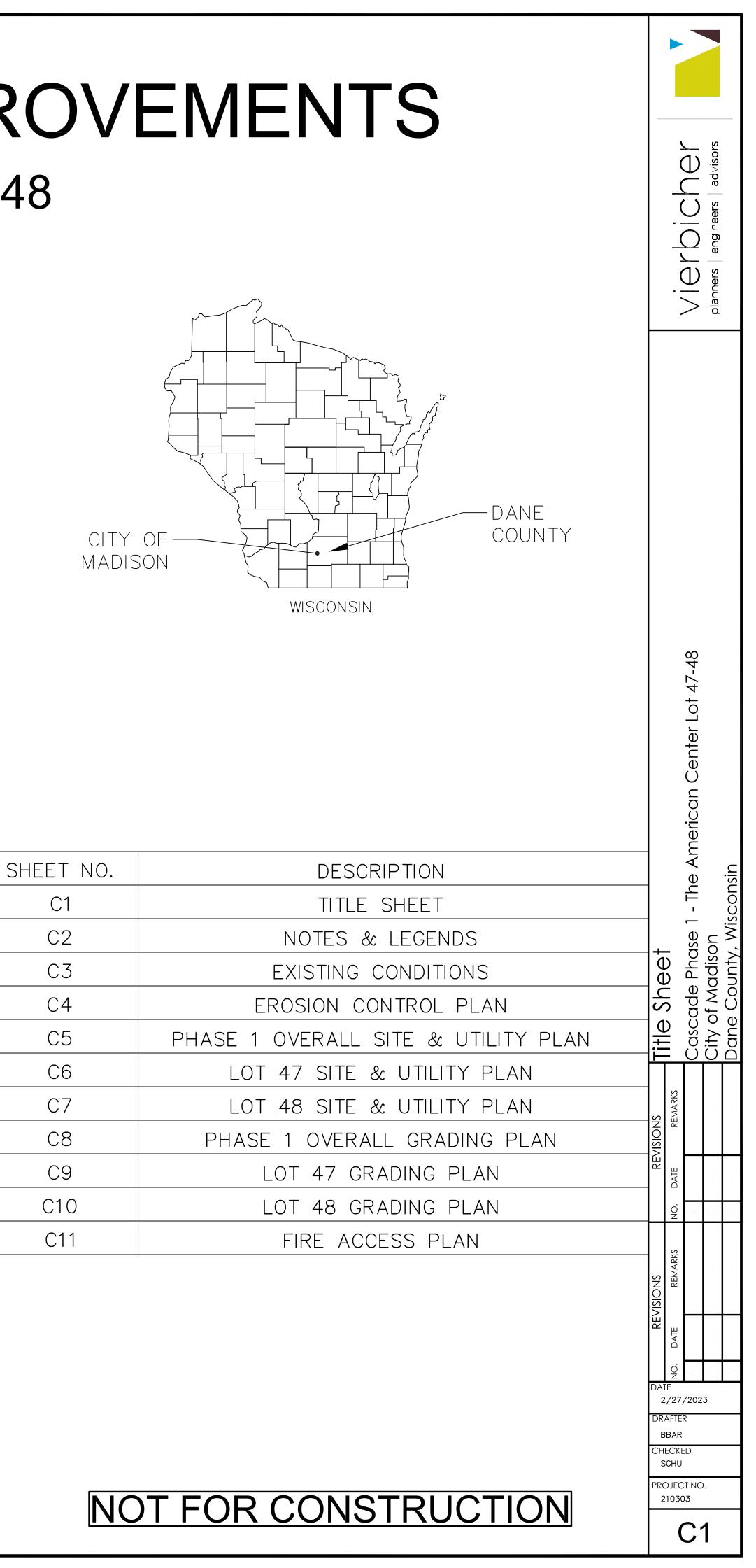
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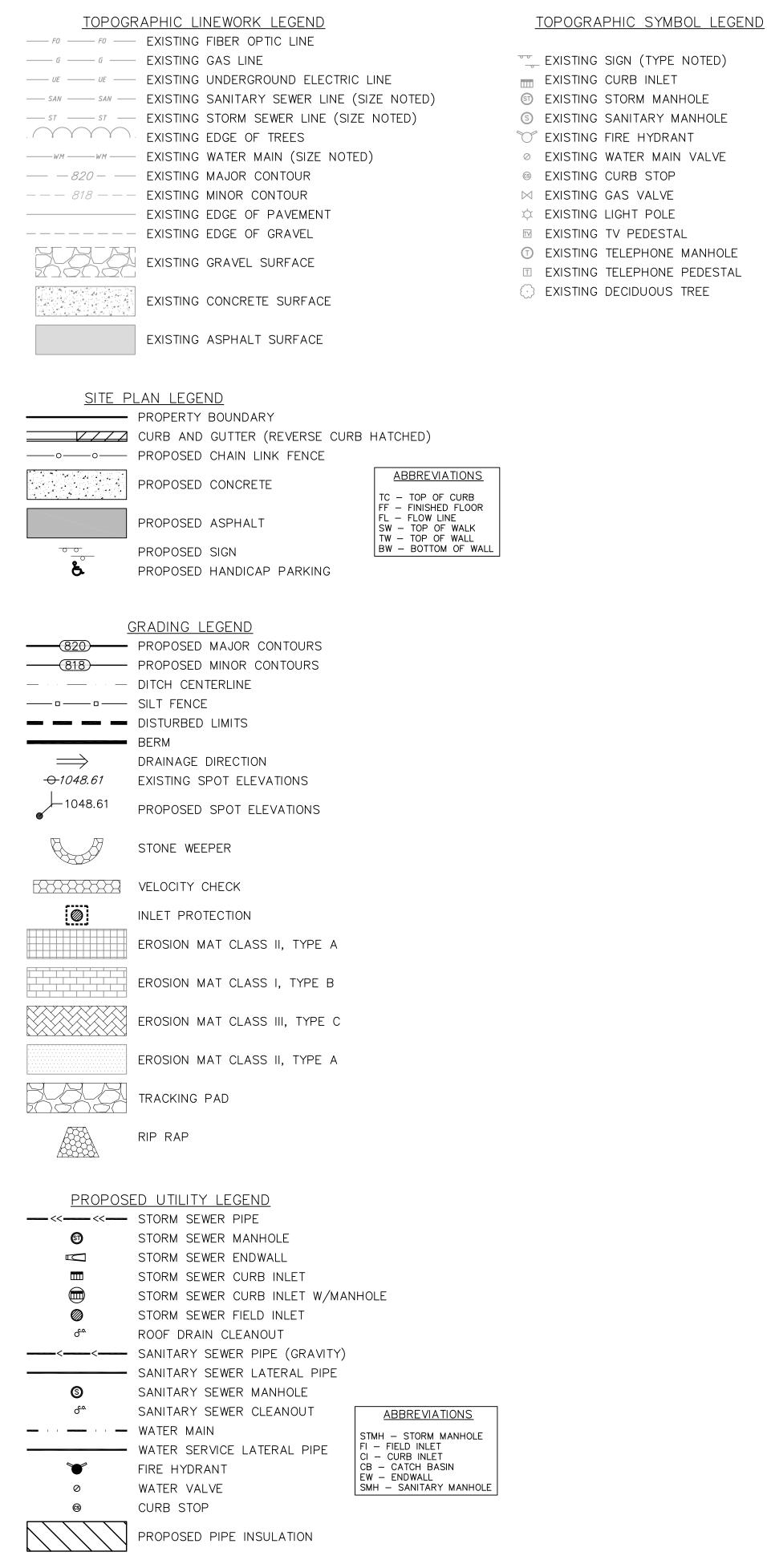
TOP NUT OF HYDRANT ELEV = 910.30

TOP NUT OF HYDRANT

ELEV = 921.85

# CASCADE - PHASE 1 - SITE IMPROVEMENTS THE AMERICAN CENTER LOTS 47-48 CITY OF MADISON, WISCONSIN





EXISTING SIGN (TYPE NOTED)

- EXISTING CURB INLET
- I EXISTING STORM MANHOLE
- S EXISTING SANITARY MANHOLE
- C EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- © EXISTING CURB STOP
- ⋈ EXISTING GAS VALVE
- $\dot{\mathbf{x}}$  EXISTING LIGHT POLE
- EXISTING TV PEDESTAL
- ① EXISTING TELEPHONE MANHOLE
- EXISTING TELEPHONE PEDESTAL (·) EXISTING DECIDUOUS TREE

GENERAL NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
- 2. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
- 3. EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
- 4. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
- 5. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.

**DEMOLITION NOTES:** 

- 1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
- 2. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
- ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
- 4. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
- 5. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
- 6. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
- 7. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.

SITE PLAN NOTES:

- 1. CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
- CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
- 3. ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
- 4. CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
- 5. CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
- 6. ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
- 7. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION.

**GRADING NOTES:** 

- 1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
- 2. ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
- 3. CROSS SLOPE OF SIDEWALKS SHALL BE 2.0% UNLESS OTHERWISE NOTED.
- 4. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
- 5. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
- 6. ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2.0% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
- 7. NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
- 8. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.

<u>UTILITY NO</u>

- CONSTRUCTION.

- FORESTRY.

**NOT FOR CONSTRUCTION** 

OTES:	

1. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.

2. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.

3. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.

4. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.

5. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.

6. FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER. 7. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING

WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.

8. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.

9. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.

10. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).

11. UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).

12. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).

13. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).

14. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).

15. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b.).

16. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.

17. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.

18. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.

19. CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES

20. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF

21. SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 21. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 26.

22. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.

23. SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAT 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP.

24. INSTALL 1 SHEET OF 4'x8'x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.

### STREET TREE NOTES:

ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY

2. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCES OF THE STREET TREES. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY.

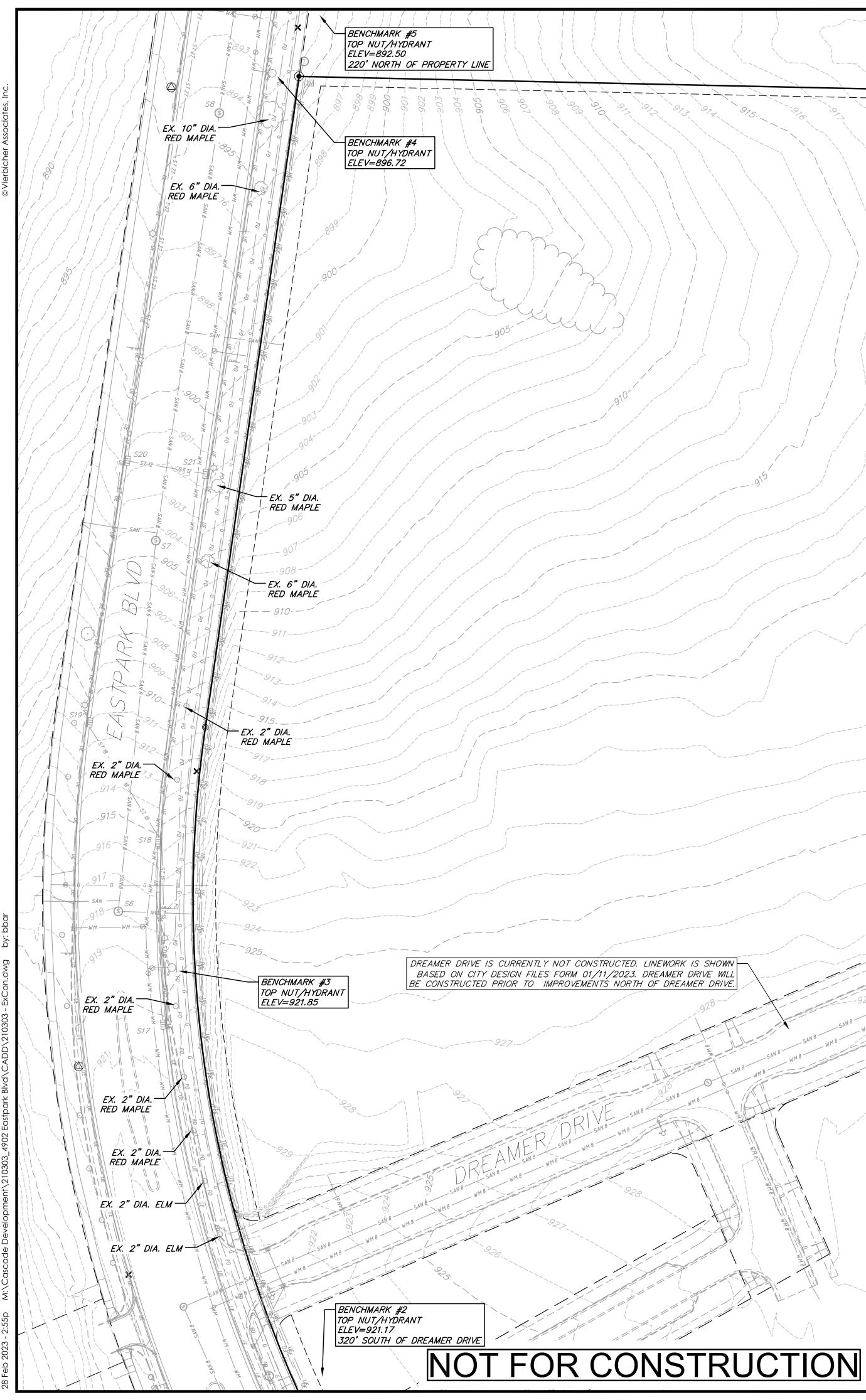
3. AS DEFINED BY SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCITON: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSES THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING.

SECTION 107.13(g) OF THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS, OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN 5 FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.

5. STREET TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION.

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Notes & Legends		Cascade Phase 1 - The American Center Lot 47-48	City of Madison	Dane County, Wisconsin
REVISIONS	REMARKS			
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REVISIONS	REMARKS			
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<u>SURVEY LEGEND</u>

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- 🖄 BENCHMARK
- 🗙 FOUND CHISELED "X"
- PUBLIC LAND CORNER AS NOTED
- SOUND NAIL
- ◎ FOUND 1" Ø IRON PIPE
- FOUND P.K. NAIL
- FOUND 1 1/4" Ø IRON ROD ● FOUND 3/4" ø IRON ROD
- SET NAIL

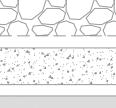
### TOPOGRAPHIC SYMBOL LEGEND

- EXISTING SIGN (TYPE NOTED)
- EXISTING CURB INLET
- (ST) EXISTING STORM MANHOLE
- S EXISTING SANITARY MANHOLE
- 🖤 EXISTING FIRE HYDRANT
- ⊘ EXISTING WATER MAIN VALVE
- © EXISTING CURB STOP
- 🖂 EXISTING GAS VALVE
- $\Diamond$  EXISTING LIGHT POLE
- M EXISTING TV PEDESTAL
- (T) EXISTING TELEPHONE MANHOLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING DECIDUOUS TREE

- ----- EXISTING SILT FENCE

- EXISTING EDGE OF TREES
- ---- 928 ---- EXISTING MINOR CONTOUR









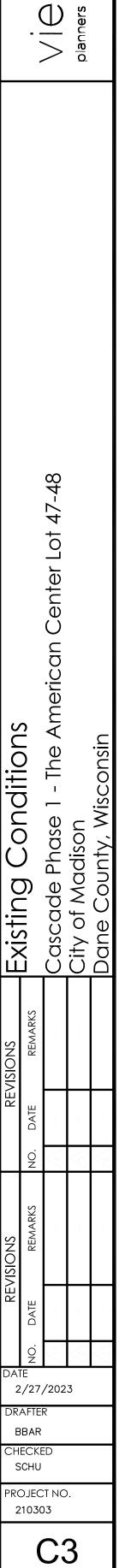
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EXIST	TING SA	NITARY	STRUCTU	RE TABLE
NAME	TYPE	RIM/TC	INVERT	DIRECTION
S1	SMH	903.36	891.16	SE
			891.03	NW
S2	SMH	905.86	889.66	SE
			889.61	SW
			890.81	NW
			895.64	NW
S3	SMH	909.73	899.71	SE
			899.85	NW
S4	SMH	917.44	907.37	SE
			907.47	NW
S5	SMH	921.62	911.72	SE
			911.76	W
			911.83	NW
S6	SMH	917.90	907.28	N
			907.35	E
S7	SMH	904.37	893.84	N
			893.93	S
S8	SMH	894.48	883.69	N
			883.78	S
S9	SMH	890.05	877.47	N
			876.55	S
			876.47	W

### <u>GENERAL NOTES:</u>

- 1. This plan is not intended to be a property survey as defined in Chapter A–E 7 of the Wisconsin Administrative Code. The property lines shown on this plan are based on found monumentation, Certified Survey Map #15829, recorded as Document # 5778376 and subsequent surveys of record.
- 2. This plan is based upon field survey work performed on August 17, 18 and 24, 2022. Any changes in site conditions after August 24, 2022 are not reflected by this plan.
- 3. This plan is referenced to the Wisconsin County Coordinate System-Dane Zone, NAD 83 (2011). Elevations are referenced to NAVD 88 (2012) datum. Field data was obtained using Robotic Total Station and GPS.
- 4. All underground utilities have been located per markings placed on the ground or maps provided by the utilities (owners) and/or their authorized representatives. Markings are per Digger's Hotline ticket #20223311075 and #20223311078. No private locate request was made. Vierbicher does not warrant the locations marked or mapped by others. Sewer and water pipe sizes were obtained from the City of Madison GTweb site. Some storm sewer pipe sizes were measured during the survey.
- 5. No attempt has been made as a part of this plan to obtain or show data concerning condition,or capacity of any utility or municipal/public service facility. For information regarding these utilities contact the appropriate agencies.
- 6. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, or ownership title evidence, or any other facts that a title search might reveal, except those easements shown on the Creek Crossing At St. Francis plat.



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EXIS	STING S	TORM ST	FRUCTUR	E TABLE
NAME	ТҮРЕ	RIM/TC	INVERT	DIRECTION
S11	CIN	906.23	901.53	SE
			901.79	NW
S12	sтмн	907.63	903.21	NE
			902.89	S
			903.16	NW
S13	CIN	907.57	903.68	SW
S14	CIN	912.70	909.19	SE
			909.24	NW
S15	CIN	919.28	914.88	E
			914.73	SE
			914.93	SW
S16	CIN	918.59	915.39	W
S17	CIN	920.61	917.21	N
S18	CIN	915.63	912.32	S
			912.07	NW
S19	CIN	911.41	907.32	N
			907.37	SE
S20	CIN	901.86	896.83	N
			897.30	E
			897.06	S
S21	CIN	902.02	898.32	W
S22	sтмн	890.10	880.45	N
			880.45	E
			883.70	S
			880.40	W
S23	CIN	890.31	880.40	N
			880.40	E
			880.40	W
S24	CIN	890.38	882.20	NE
<u> </u>			881.73	W

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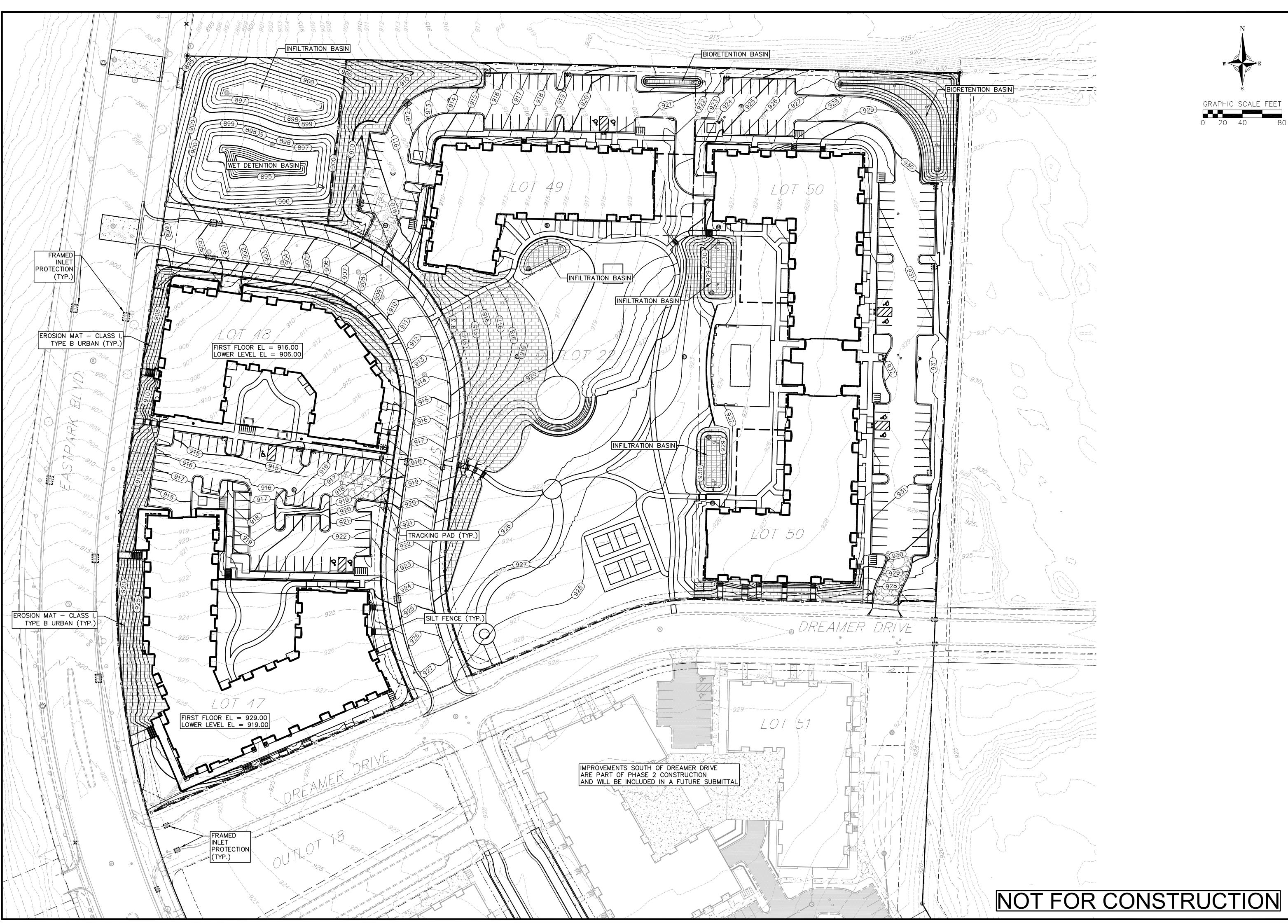
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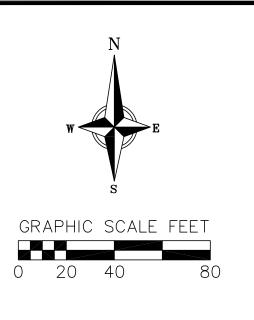
### TOPOGRAPHIC LINEWORK LEGEND

- ----- FO ----- EXISTING FIBER OPTIC LINE
- ----- G ----- EXISTING GAS LINE
- ----- UE ----- EXISTING UNDERGROUND ELECTRIC LINE
- SAN SAN EXISTING SANITARY SEWER LINE (SIZE NOTED)
- ---- st ----- st ---- EXISTING STORM SEWER LINE (SIZE NOTED)
- - EXISTING EDGE OF PAVEMENT
- ----- EXISTING EDGE OF GRAVEL
  - EXISTING GRAVEL SURFACE
  - EXISTING CONCRETE SURFACE

EXISTING ASPHALT SURFACE

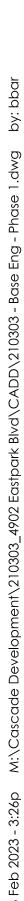


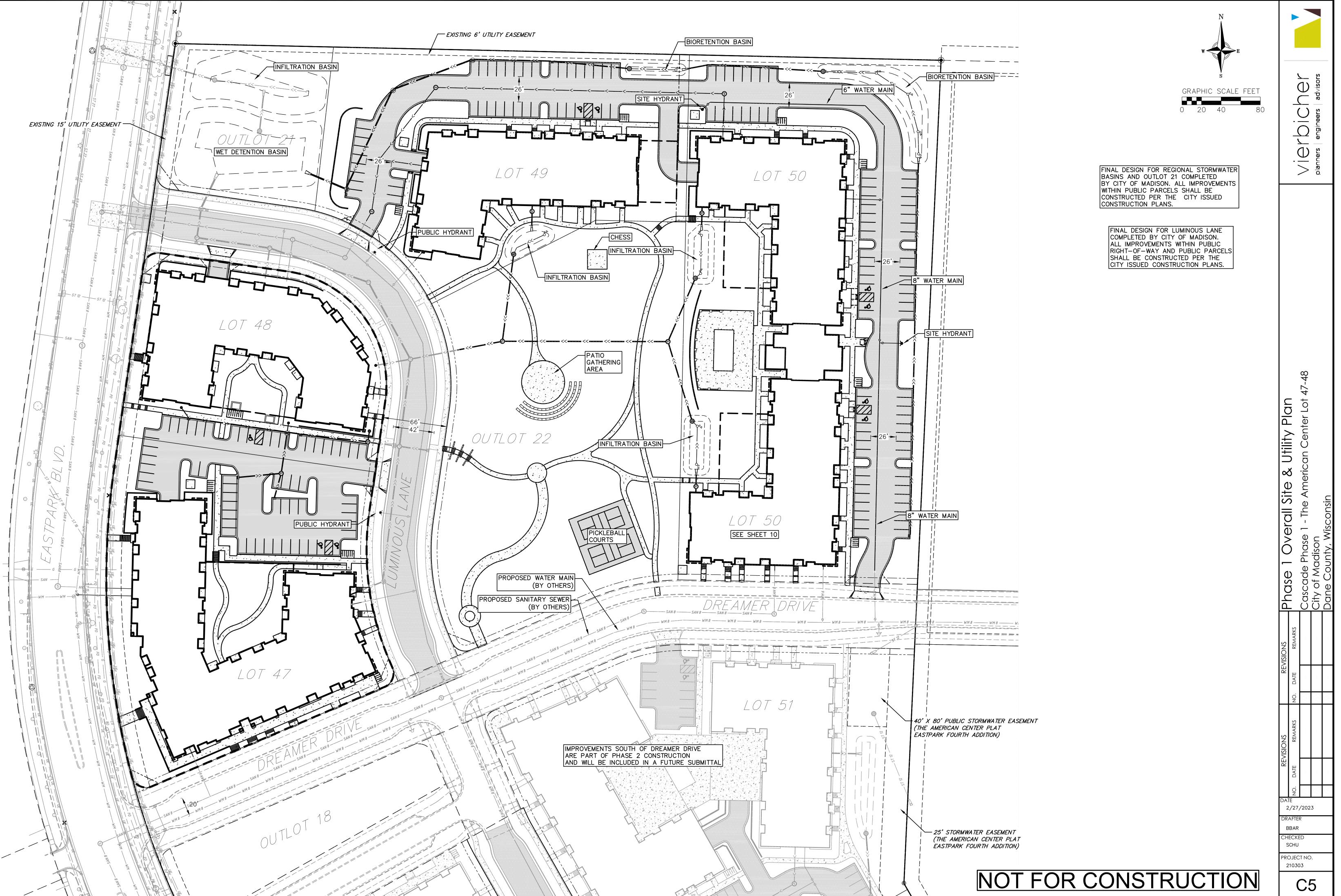




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			planners engineers adv	
		47-48		
Jerosion Control Plan		Cascade Phase 1 - The American Center Lot 47-48	City of Madison	Dane County, Wisconsin
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REVISIONS	REMARKS			
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S1

S2

S3

S4

S5

S32

S33

S34

S35

S36

S37

PIPE NAME

P15

P16

P25

P29

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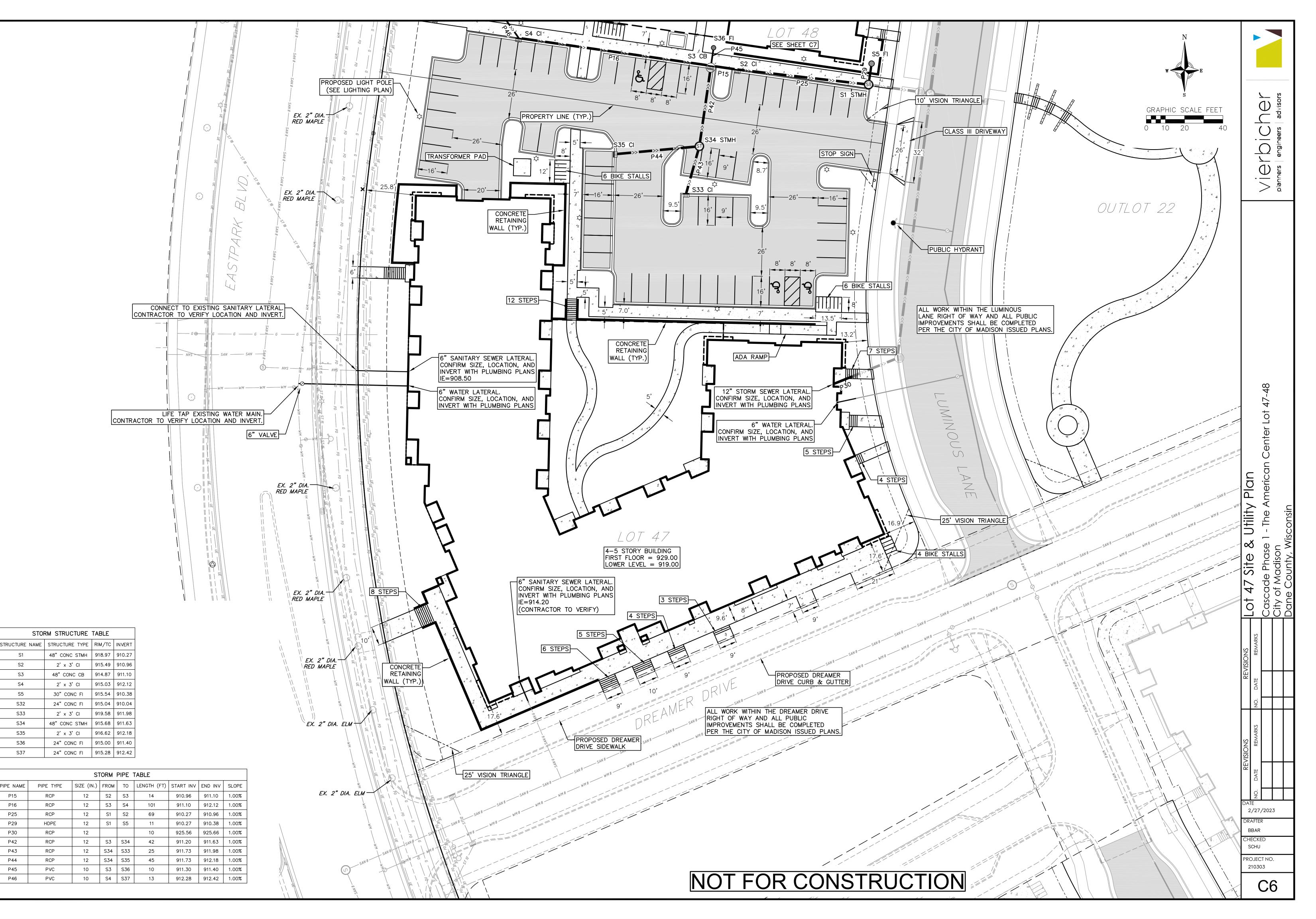
P42

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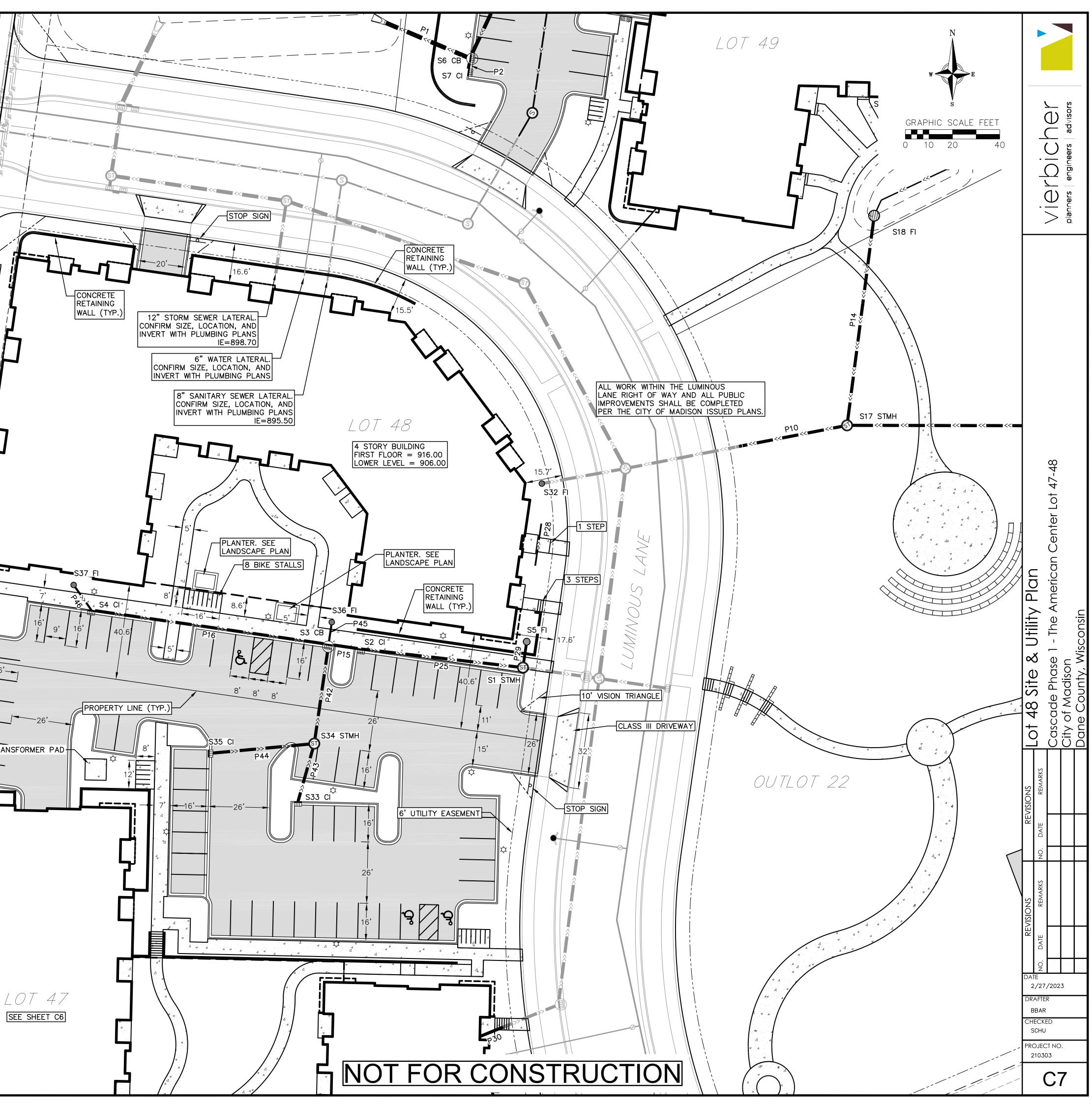
Vierbicher Associates, Inc.

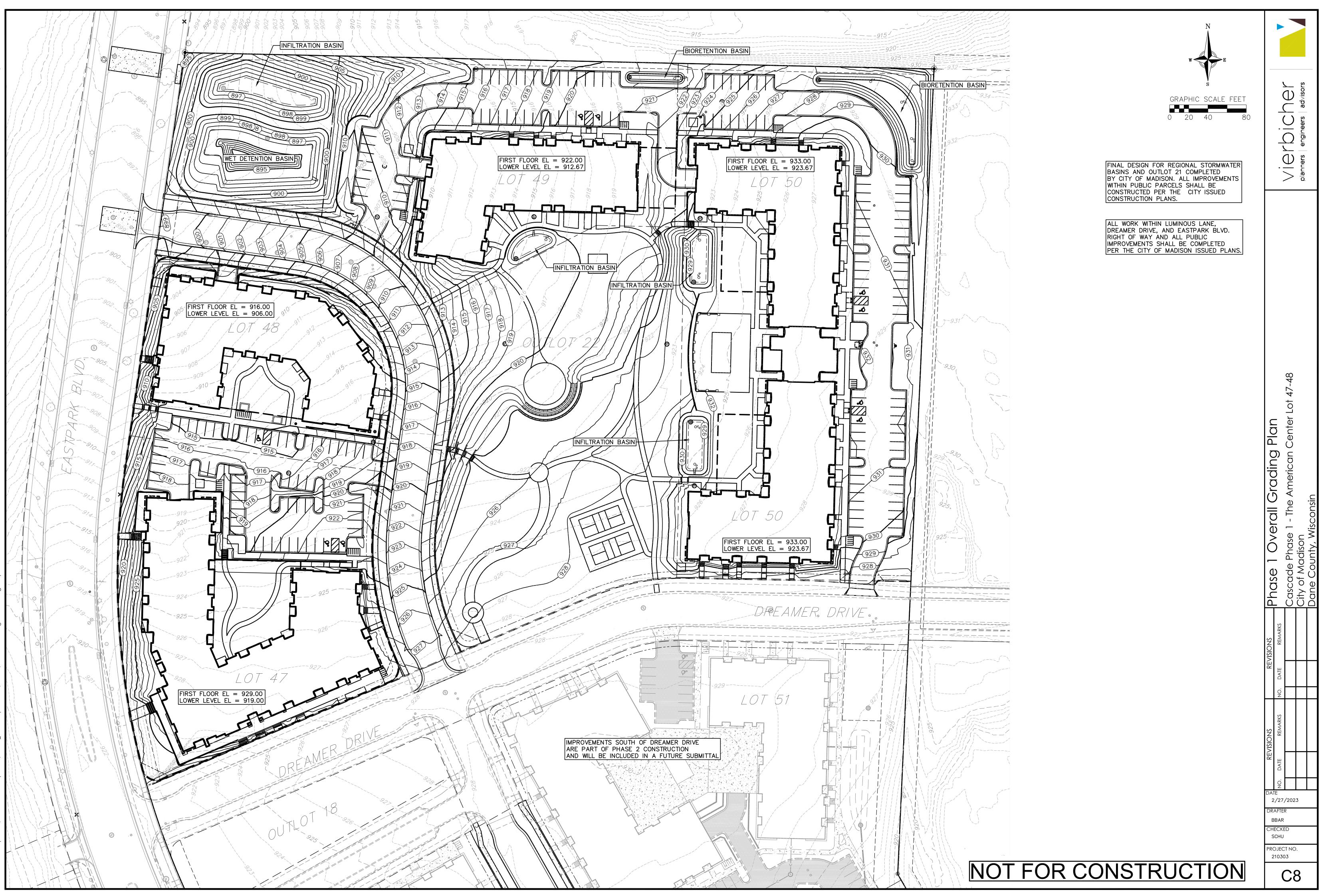
FT)       START INV       END INV       SLOPE         910.27       910.36       1.007         910.27       910.36       1.007
F)       START INV       END INV       SLOPE         910.27       910.38       1.008         910.27       910.38       1.008
Image: Start INV     END INV     SLOPE       FT)     START INV     END INV       910.36     911.10       910.27     910.96       910.27     910.96       910.27     910.98
FT)     START INV     END INV     SLOPE       910.96     911.10     1.00%       910.27     910.38     1.00%
925.56       925.66       1.00%         911.20       911.63       1.00%         911.73       912.18       1.00%         911.30       911.40       1.00%         912.28       912.42       1.00%

b 2023 - 3:33p M:\Cascade Development\210303\_4902 Eastpark Blvd\CADD\210303 - Base Eng - Phase 1.dwg by: bbo

STO	RM STRUCTURE	TABLE	
STRUCTURE NAME	STRUCTURE TYPE	RIM/TC	INVERT
S1	48" CONC STMH	918.97	910.27
S2	2' x 3' CI	915.49	910.96
S3	48" CONC CB	914.87	911.10
S4	2' x 3' CI	915.03	912.12
S5	30" CONC FI	915.54	910.38
S32	24" CONC FI	915.04	910.04
S33	2' x 3' CI	919.58	911.98
S34	48" CONC STMH	915.68	911.63
S35	2' x 3' CI	916.62	912.18
S36	24" CONC FI	915.00	911.40
S37	24" CONC FI	915.28	912.42

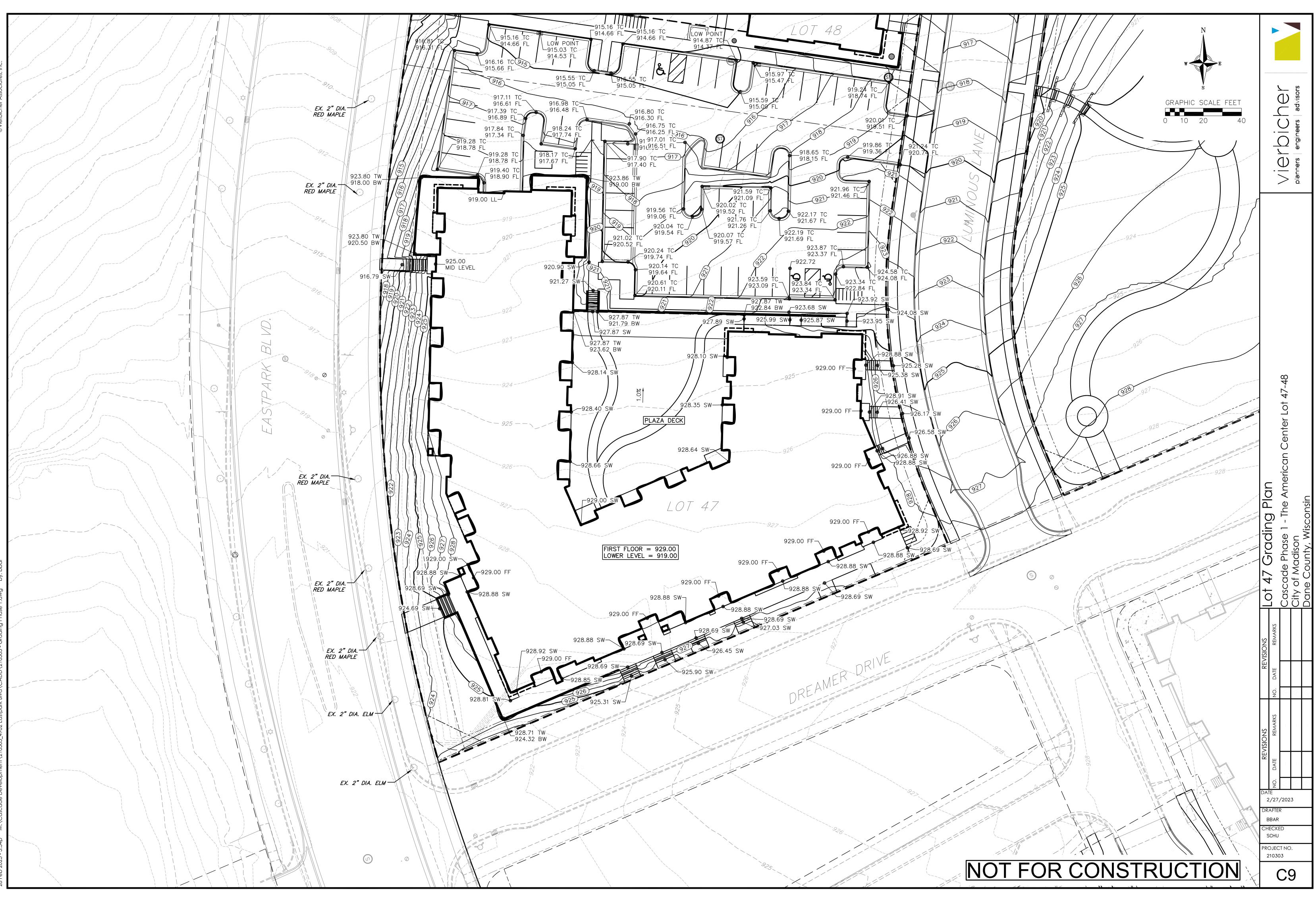
		SI	FORM	PIPE <sup>·</sup>	TABLE			
PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	ТО	LENGTH (FT)	START INV	END INV	SLOPE
P15	RCP	12	S2	S3	14	910.96	911.10	1.00%
P16	RCP	12	S3	S4	101	911.10	912.12	1.00%
P25	RCP	12	S1	S2	69	910.27	910.96	1.00%
P29	HDPE	12	S1	S5	11	910.27	910.38	1.00%
P30	RCP	12			10	925.56	925.66	1.00%
P42	RCP	12	S3	S34	42	911.20	911.63	1.00%
P43	RCP	12	S34	S33	25	911.73	911.98	1.00%
P44	RCP	12	S34	S35	45	911.73	912.18	1.00%
P45	PVC	10	S3	S36	10	911.30	911.40	1.00%
P46	PVC	10	S4	S37	13	912.28	912.42	1.00%



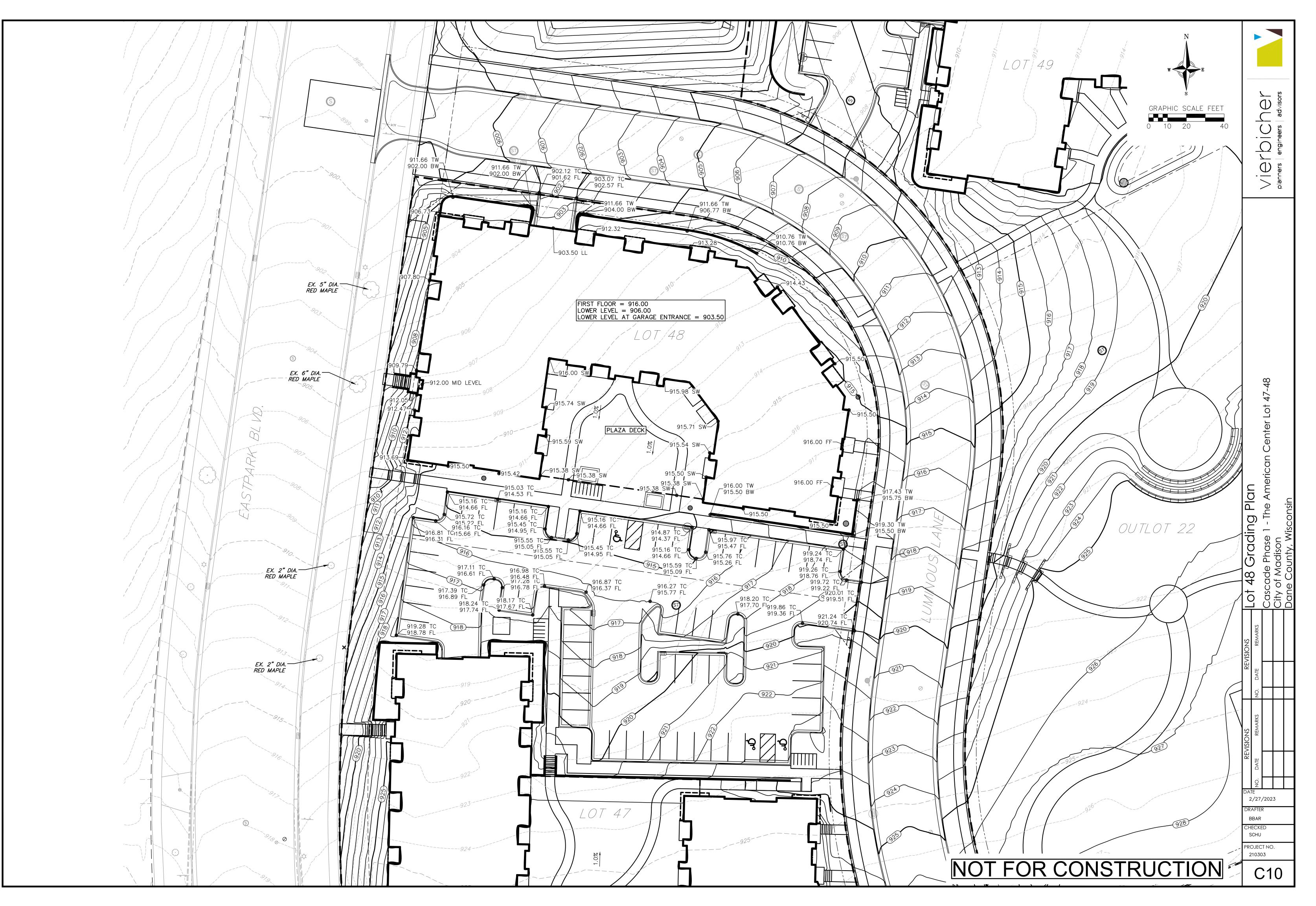


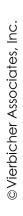
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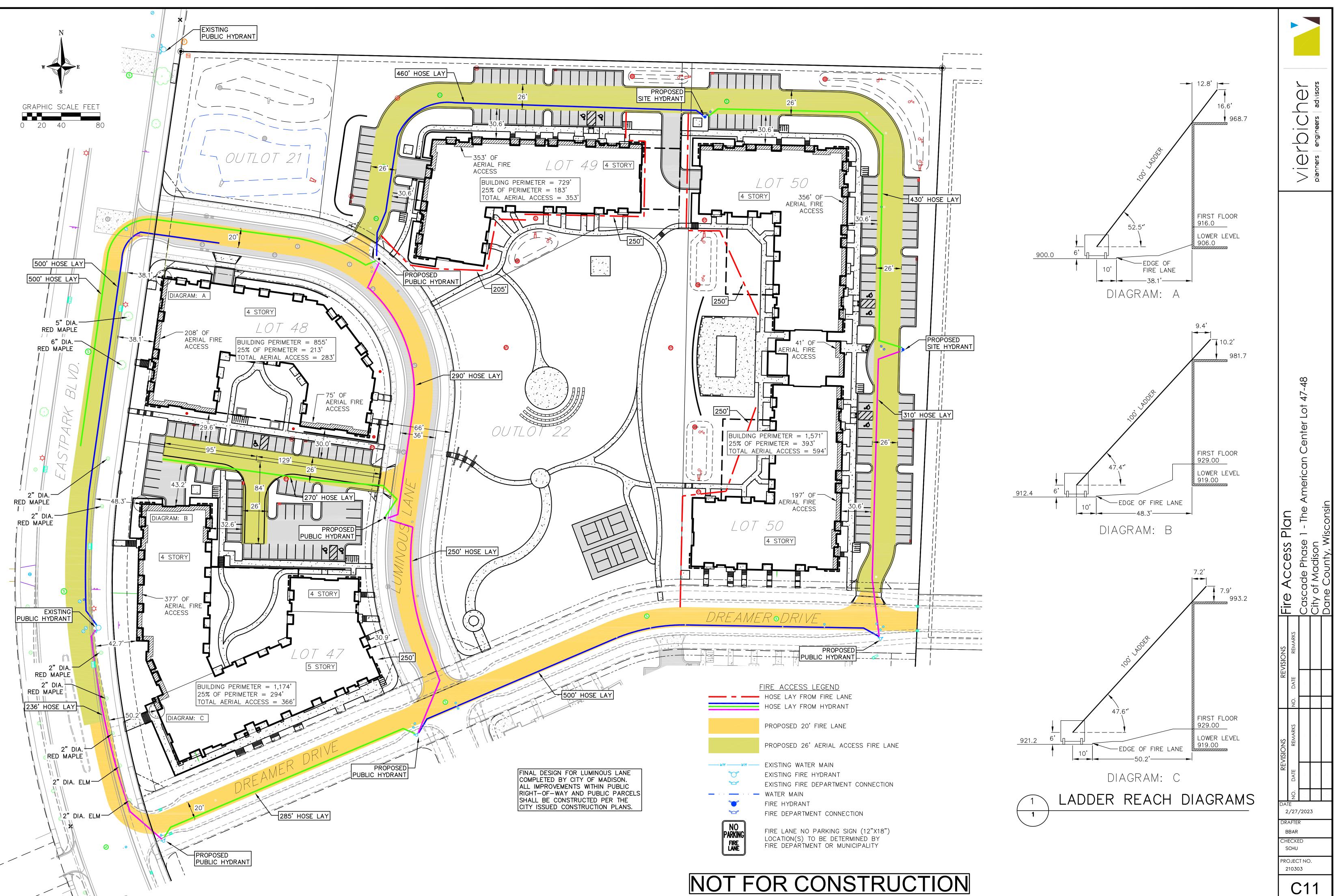
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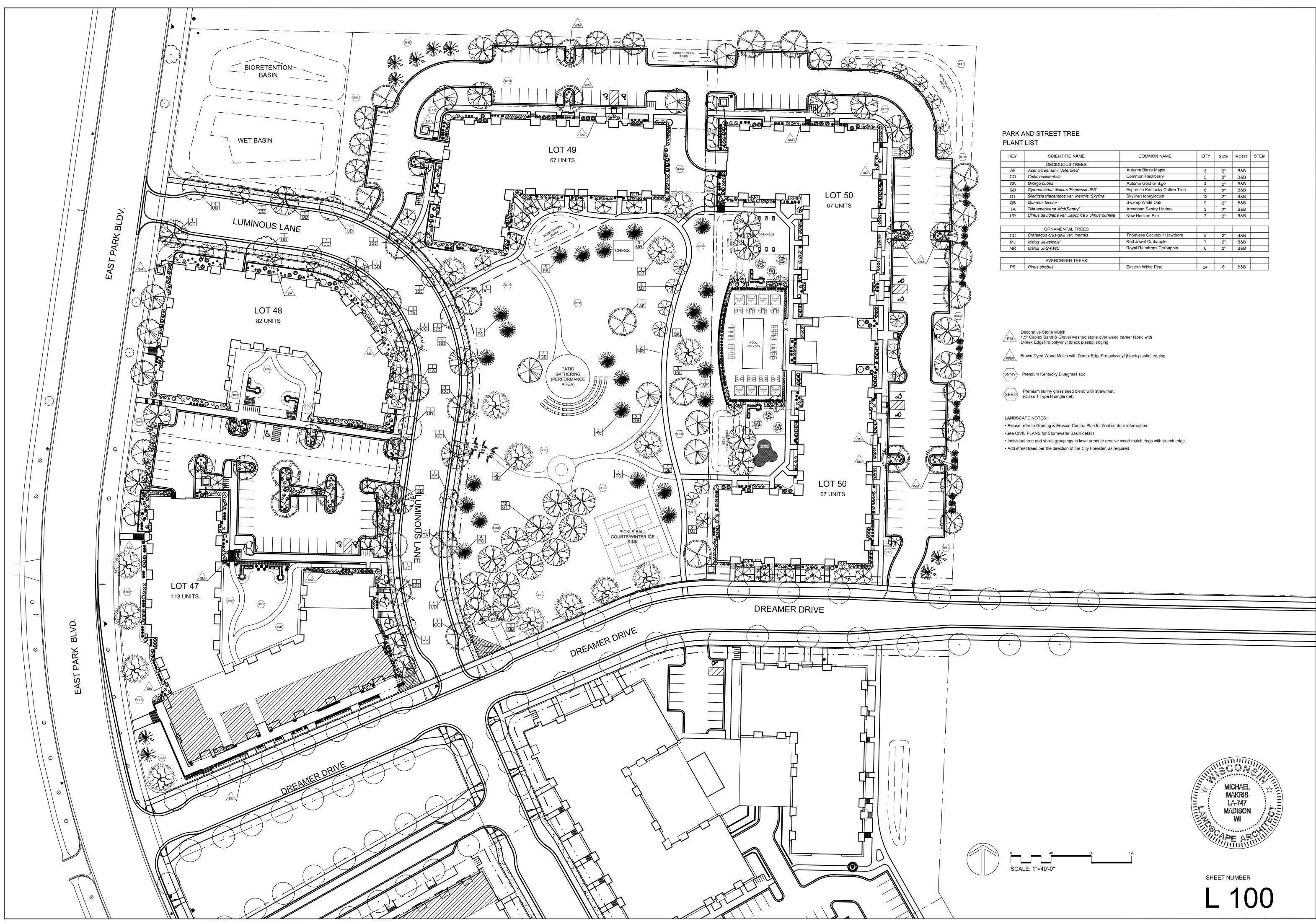


:8 Feb 2023 - 3:54p M:\Cascade Development\210303\_4902 Eastpark Blvd\CADD\210303 - Grading Phase 1.dwg by: bbar











3570 Pioneer Road Verona, WI 53593 PH: (608) 827-9401 FAX: (608) 827-9402 WEB: www.olsontoon.com

KEY	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	ROOT	STEM
	DECIDUOUS TREES					
AF	Acer x freemanii 'Jefersred'	Autumn Blaze Maple	3	2"	B&B	
CO	Celtis occidentalis	Common Hackberry	5	2"	B&B	
GB	Ginkgo biloba	Autumn Gold Ginkgo	4	2"	B&B	
GD	Gymnocladus dioicus 'Espresso-JFS'	Espresso Kentucky Coffee Tree	6	2"	B&B	
GT	Gleditsia triacanthos var. inermis 'Skyline'	Skyline Honeylocust	12	2"	B&B	
QB	Quercus bicolor	Swamp White Oak	9	2"	B&B	
TA	Tilia americana 'McKSentry'	American Sentry Linden	3	2"	B&B	
UD	Ulmus davidiana var. Japonica x ulmus pumilia	New Horizon Elm	7	2"	B&B	
	ORNAMENTAL TREES					
CC	Crataegus crus-galli var. inermis	Thornless Cockspur Hawthorn	5	2"	B&B	
MJ	Malus 'Jewelcole'	Red Jewel Crabapple	7	2"	B&B	
MR	Malus 'JFS-KW5'	Royal Raindrops Crabapple	6	2"	B&B	
	EVERGREEN TREES					
PS	Pinus strobus	Eastern White Pine	24	6'	B&B	

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Date: January 6, 2023 Scale: 1'-0"=40'-0" Designer: kms Job #

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Seal: To protect against legal liability, the plans presented herein are "schematic," and should not be outsourced as "biddable" or "construction documents" unless approved by the Landscape Designer. This is not an original document unless stamped in red, as ORIGINAL.

Revisions: 2023.01.26 2023.02.17 2023.02.24

Reference Name:

Cascade Development

Zoning District Category					
1/6/2023					
City of Madison, Wisconsin Landscape Wo	rksheet				
					LANDSCAPE
DEVELOPED LOTS	SQUARE FEET				POINTS REQ.
Total Developed Area					
79,853 sf (lot) - 30,559 (building footprint)	49,294				822
		CREDITS / EXISTI	NG LANDSCAPING	NEW / PROP	OSED LANDSCAPING
			POINTS		
PLANT TYPE / ELEMENT	POINT VALUE	QUANTITY	ACHIEVED	QUANTITY	POINTS ACHIEVED
Overstory Deciduous	35		0	17	595
Tall Evergreen Tree	35		0	2	70
Ornamental Tree	15		0	7	105
Upright Evergreen Shrub (i.e. arborvitae)	10		0	4	40
Shrub, deciduous	3		0	103	309
Shrub, evergreen	4		0	19	76
Ornamental Grasses/Perennials	2		0	181	362
Ornamental/Decorative Fencing or Wall					
(4pts / 10LF)	4		0		0
Existing Significant Specimen Tree	14		0		0
Landscape Furniture for public seating					
and/or transit connections	5		0		0
	•		0		1557

TOTAL POINTS ACHIEVED

1557

# LOT 47

### PLANT LIST

KEY	SCIENTIFIC NAME		QTY	SIZE	ROOT	STEM
	DECIDUOUS TREES					
AF 2	Acer x freemanii 'Jefersred'	Autumn Blaze Maple	3	2"	B&B	
GB (	Ginkgo biloba	Autumn Gold Ginkgo	4	2"	B&B	
GT	Gleditsia triacanthos var. inermis 'Skyline'	Skyline Honeylocust	1	2"	B&B	
QB (	Quercus bicolor	Swamp White Oak	4	2"	B&B	
TA	Tilia americana 'McKSentry'	American Sentry Linden	5	2"	B&B	
	ORNAMENTAL TREES					
MR /	Malus 'JFS-KW5'	Royal Raindrops Crabapple	5	2"	B&B	
	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	2	2"	B&B	
I						
	EVERGREEN TREES	COMMON NAME				
PG /	Picea glauca var. densata	Black Hills Spruce	2	6'	B&B	
то	Thuja occidentalis 'Emerald Green'	Emerald Green Arborvitae	4	6'	B&B	
L						•
	EVERGREEN SHRUBS					
Pp /	Picea pungens 'Globosa'	Dwarf Globe Blue Spruce	6	#5	Cont.	
Tm	Taxus x media 'Tautonii'	Taunton Yew	13	#5	Cont.	
	DECIDUOUS SHRUBS					
Cc (	Cotinus coggygria 'NCC01'	Winecraft Black Smokebush	14	#5	Cont.	
Ca	Cornus alba 'Bailhalo'	Ivory Halo Red Twig Dogwood	8	#3	Cont.	
Dk /	Diervilla 'G2X885411'	Kodiak Red Bush Honeysuckle	13	#3	Cont.	
Hp /	Hydrangea paniculata 'SMHPLQF'	Little Quickfire Hydrangea	8	#3	Cont.	
lv l	Itea virginica 'Sprich'	Little Henry Dwarf Virginia Sweetspire	12	#3	Cont.	
Pa /	Physocarpus opulifolius 'Jefam'	Amber Jubilee Ninebark	2	#3	Cont.	
Po /	Physocarpus opulifolius 'SMPOTW'	Tiny Wine Ninebark	7	#3	Cont.	
Rr /	Rosa 'BAlset'	Sunrise Sunset Rose	6	#3	Cont.	
Sb .	Syringa 'SMSJBP7'	Bloomerang Dark Purple Lilac	2	#5	Cont.	
St 3	Spiraea betulifolia 'Tor'	Tor Birchleaf Spirea	31	#3	Cont.	
	ORNAMENTAL GRASSES & PERENNIALS					
ca (	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	68	#1	Cont.	
hb /	Hemerocallis 'Going Bananas'	Going Bananas Daylily	42	#1	Cont.	
he /	Hosta 'Rainbow's End'	Rainbow's End Hosta	6	#1	Cont.	
	Hemerocallis 'Rosy Returns'	Rosy Returns Daylily	12	#1	Cont.	
ms /	Miscanthus sinensis 'Purpurascens'	Purple Maiden Grass	18	#1	Cont.	
pa I	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	35	#1	Cont.	

SM Decorative Stone Mulch 1.5" Capitol Sand & Gravel washed stone over weed barrier fabric with Dimex EdgePro polyvinyl (black plastic) edging

WM Brown Dyed Wood Mulch with Dimex EdgePro polyvinyl (black plastic) edging

SOD Premium Kentucky Bluegrass sod





Premium sunny grass seed blend with straw mat. (Class 1 Type B single net)

LANDSCAPE NOTES:

• Please refer to Grading & Erosion Control Plan for final contour information.

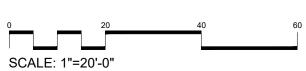
•See CIVIL PLANS for Stormwater Basin details

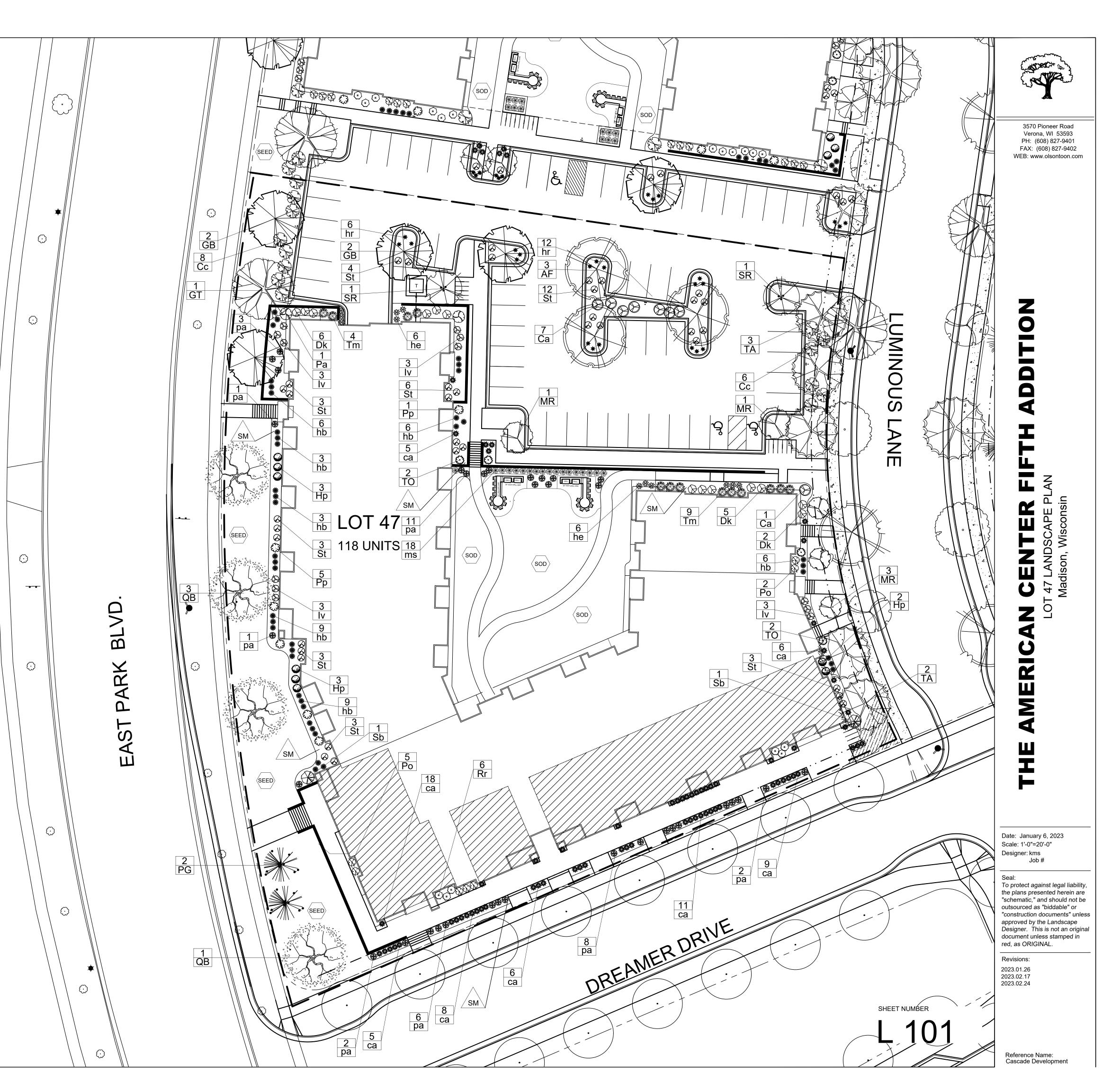
• Individual tree and shrub groupings in lawn areas to receive wood mulch rings with trench edge.

• Add street trees per the direction of the City Forester, as required.



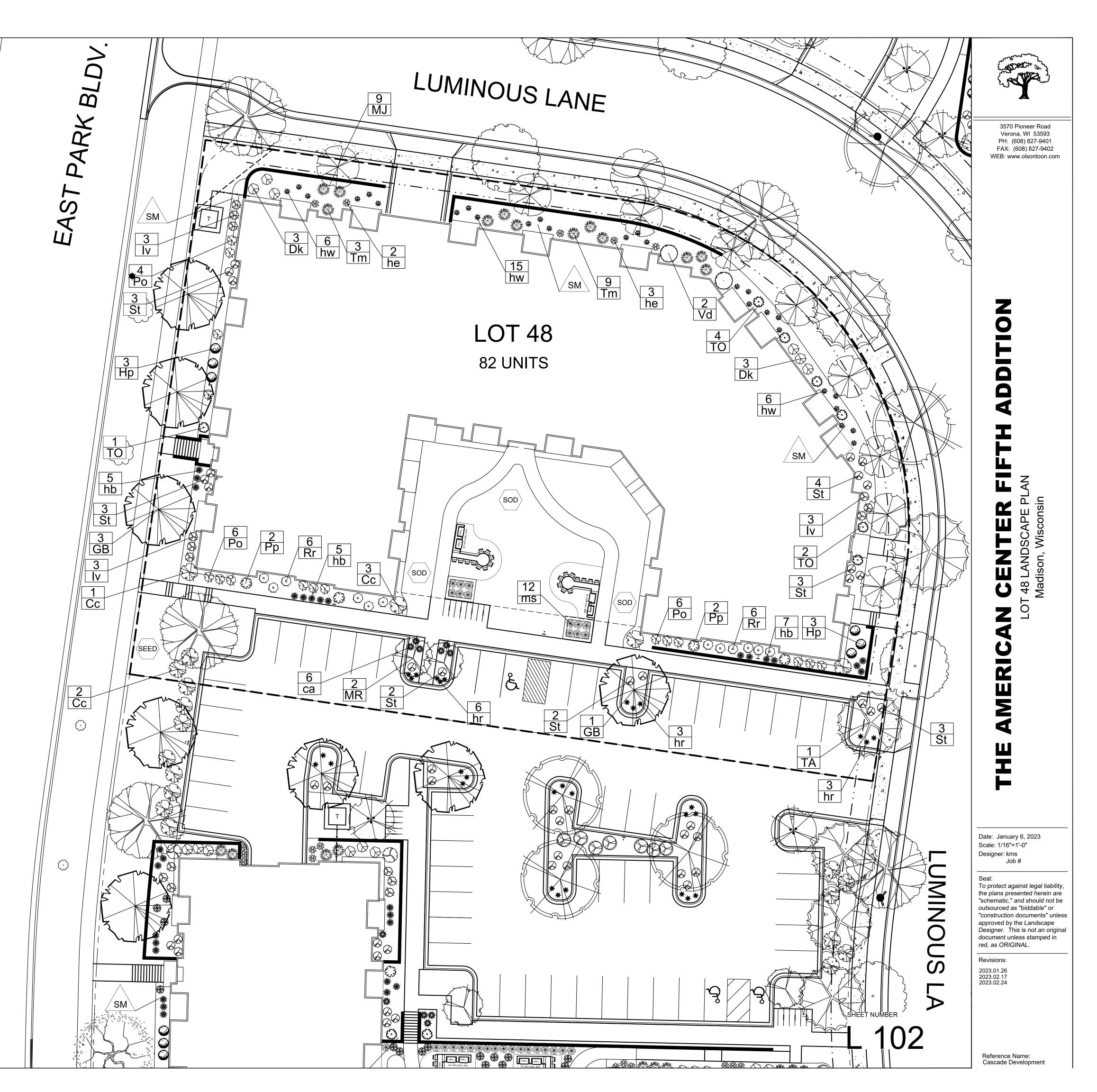


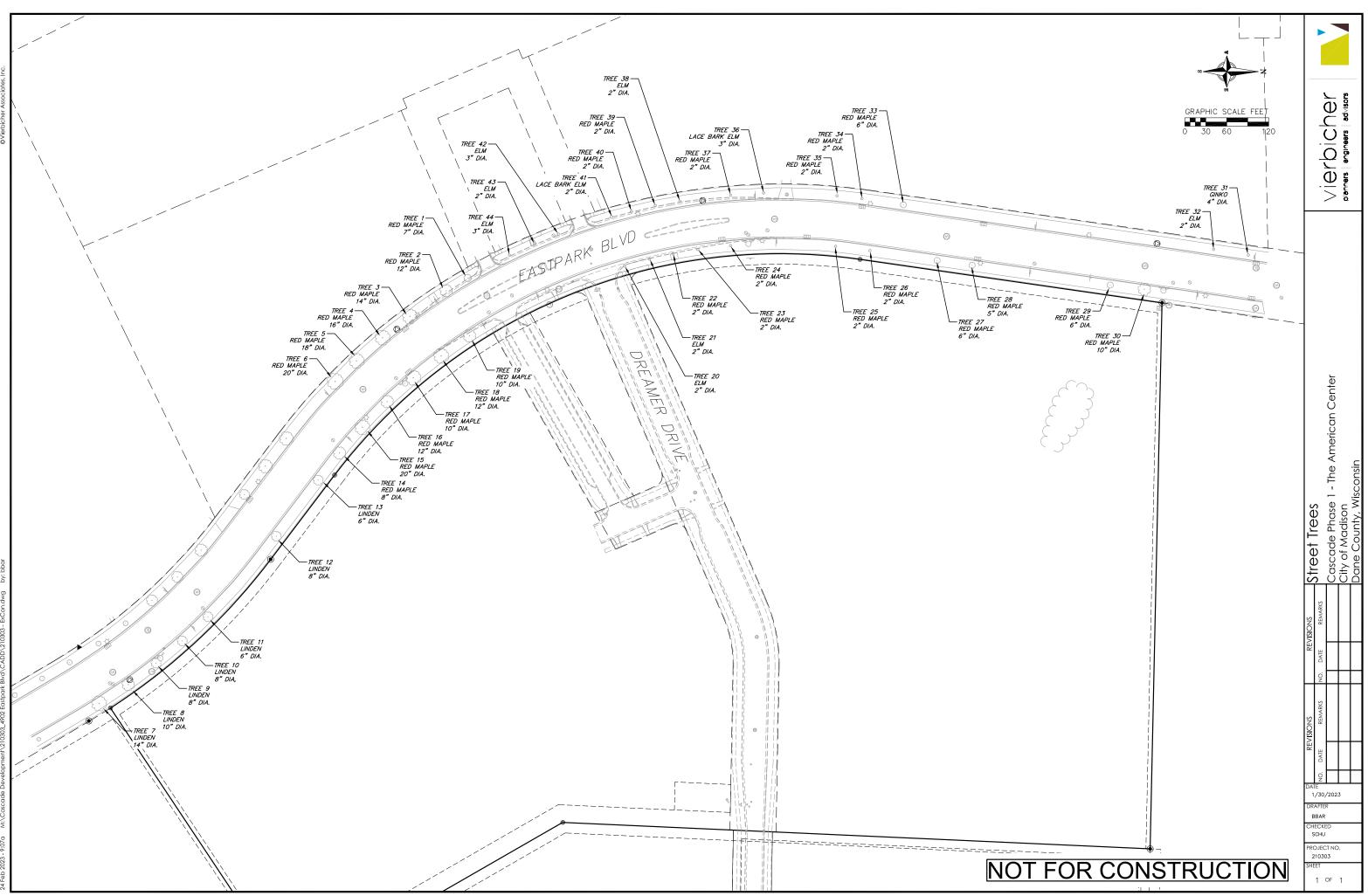




City of Madison, Wisconsin Landscape Wo	orksheet				Lot 48		
DEVELOPED LOTS	SQUARE FEI	ET				SCAPE TS REQ.	
Total Developed Area 47,454 sf (lot) - 21,580 (building footprint)	25,874					431	
	23,0/4	CREDITS / EXISTI	NG LANDSCAPING	NEW / PRO	POSED	-	ING
PLANT TYPE / ELEMENT	POINT VALU	JE QUANTITY	POINTS ACHIEVED	QUANTITY	POIN	TS ACHIE	VED
Overstory Deciduous	35		0	6		210	
Tall Evergreen Tree Ornamental Tree	<u>35</u> 15		0	0		0 165	
Upright Evergreen Shrub (i.e. arborvitae) Shrub, deciduous	<u>10</u> 3		0	7		70 231	
Shrub, evergreen	4		0	16		64	
Ornamental Grasses/Perennials Ornamental/Decorative Fencing or Wall	2		0	74		148	
(4pts / 10LF)	4		0			0	
Existing Significant Specimen Tree Landscape Furniture for public seating	14		0			0	
and/or transit connections	5		0			0	/
			0			888	]
			TOTAL POINTS		)		888
LOT 48							
PLANT LIST	I					,	
KEY SCIENTIFIC NAME DECIDUOUS TREES		COMMON	I NAME	QTY	SIZE	ROOT	STEM
GB Ginkgo biloba		Autumn Gold Gink	-	4	2"	B&B	
GT Gleditsia triacanthos var. inermis 'S TA Tilia americana 'McKSentry'	Skyline'	Skyline Honeylocu American Sentry I		1 1	2" 2"	B&B B&B	
ORNAMENTAL TREES	I	-				·i	
MJ Malus 'Jewelcole'		Red Jewel Crabar	-	9	2"	B&B	
MR Malus 'JFS-KW5'		Royal Raindrops (	Jrabapple	2	2"	B&B	
EVERGREEN TREES		Emerald Or	boruitaa		61		
TO Thuja occidentalis 'Emerald Green'	[	Emerald Green Ar	DUIVITAE	7	6'	B&B	
EVERGREEN SHRUBS           Pp         Picea pungens 'Globosa'		Dwarf Globe Blue	Spruce	4	#5	Cont.	
Tm Taxus x media 'Tautonii'		Taunton Yew		12	#5	Cont.	
DECIDUOUS SHRUBS							
CcCotinus coggygria 'NCC01'DkDiervilla 'G2X885411'		Ninecraft Black Smo Kodiak Red Bush Ho		6	#5 #3	Cont. Cont.	
Hp Hydrangea paniculata 'SMHPLQF' Iv Itea virginica 'Sprich'		Little Quickfire Hydra Little Henry Dwarf Vii	÷	6	°#3 ∧#3	Cont. Cont.	
Po Physocarpus opulifolius 'SMPOTW		Tiny Wine Ninebark		16	#3	Cont.	
RrRosa 'BAIset'StSpiraea betulifolia 'Tor'		Sunrise Sunset Rose Tor Birchleaf Spirea	)	12 20	#3 #3	Cont. Cont.	
Vd Viburnum dentatum 'Christom'	E	Blue Muffin Arrowwo	od Viburnum	2	#5	Cont.	
ORNAMENTAL GRASSES & PER			han Daad Orean		ща	Cant	
ca     Calamagrostis x acutiflora 'Karl Foe       hb     Hemerocallis 'Going Bananas'	erster	Karl Foerster Feat Going Bananas Da		6 12	#1 #1	Cont. Cont.	
he Hosta 'Rainbow's End' hr Hemerocallis 'Rosy Returns'		Rainbow's End Ho Rosy Returns Day		5	#1 #1	Cont. Cont.	
hw Heuchera 'Wildberry'		Dolce Wildberry C	oralbell	27	#1	Cont.	
ms Miscanthus sinensis 'Purpurascens	5	Purple Maiden Gra		12	#1 	Cont.	
				<b>.</b>			
Decorative Stone Mulch				$\sim$			
SM 1.5" Capitol Sand & Gravel washed sto Dimex EdgePro polyvinyl (black plastic)		arrier fabric with		نٽ			
$\wedge$	dgePro polyvinv	/l (black plastic) edoi	ng				
Brown Dyed Wood Mulch with Dimex E	,,	,9			1		
Brown Dyed Wood Mulch with Dimex E							
WM       Brown Dyed Wood Mulch with Dimex E         SOD       Premium Kentucky Bluegrass sod							
SOD Premium Kentucky Bluegrass sod							
	n straw mat.						
SOD Premium Kentucky Bluegrass sod	n straw mat.			3			
SOD Premium Kentucky Bluegrass sod Premium sunny grass seed blend with (Class 1 Type B single net)	n straw mat.			3			
SOD Premium Kentucky Bluegrass sod Premium sunny grass seed blend with (Class 1 Type B single net) LANDSCAPE NOTES:		ur information.		3			
SOD Premium Kentucky Bluegrass sod Premium sunny grass seed blend with (Class 1 Type B single net)	n for final contou	ur information.		3			
SOD       Premium Kentucky Bluegrass sod         SEED       Premium sunny grass seed blend with (Class 1 Type B single net)         LANDSCAPE NOTES:       • Please refer to Grading & Erosion Control Planet         • See CIVIL PLANS for Stormwater Basin details       • Individual tree and shrub groupings in lawn are	n for final contou s eas to receive w	rood mulch rings with	n trench edge.	3			
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# **City of Madison Fire Department**

314 W Dayton Street, Madison, WI 53703-2506 Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 4846 Eastpark Blvd - Lot 47-48

Contact Name & Phone #: Greg Held - 608-836-3690

### FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

<ol> <li>Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?     </li> </ol>	X Yes Yes X Yes	☐ No ☐ No ☐ No	□ N/A X N/A N/A
<ul> <li>2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs?</li> <li>a) Is the fire lane a minimum unobstructed width of at least 20-feet?</li> <li>b) Is the fire lane unobstructed with a vertical clearance of at least 13<sup>1</sup>/<sub>2</sub>-feet?</li> <li>c) Is the minimum inside turning radius of the fire lane at least 28-feet?</li> <li>d) Is the grade of the fire lane not more than a slope of 8%?</li> <li>e) Is the fire lane posted as fire lane? (Provide detail of signage.)</li> <li>f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.)</li> <li>g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)</li> </ul>	<ul> <li>X Yes</li> <li>X Yes</li> <li>X Yes</li> <li>X Yes</li> <li>X Yes</li> <li>Q Yes</li> <li>Q Yes</li> <li>Q Yes</li> <li>Q Yes</li> </ul>	□ No □ No □ No □ No □ No ☑ No ☑ No ☑ No	□ N/A □ N/A □ N/A □ N/A □ N/A □ N/A □ N/A
<ul><li>3. Is the fire lane obstructed by security gates or barricades? If yes:</li><li>a) Is the gate a minimum of 20-feet clear opening?</li><li>b) Is an approved means of emergency operations installed, key vault, padlock or key switch?</li></ul>	☐ Yes ☐ Yes ☐ Yes	X No No No	N/A N/A N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	☐ Yes ☐ Yes	X No No	N/A N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	Yes	X No	N/A
6. Is any part of the building greater than 30-feet above the grade plane?	X Yes	🗌 No	N/A
<ul> <li>If yes, answer the following questions:</li> <li>a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter?</li> <li>b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building?</li> <li>c) Are there any overhead power or utility lines located across the aerial apparatus fire lane?</li> <li>d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species)</li> </ul>	X Yes Yes Yes Yes	☐ No X No X No X No	□ N/A □ N/A □ N/A □ N/A
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Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on MGO 34.503 and IFC 2015 Edition Chapter 5 and Appendix D; please see the codes for further information.