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C-1.2	SITE LIGHTING LOT 47
C-2.1	SITE LIGHTING LOT 48
C-2.2	LOT COVERAGE LOT 47
C-3.1	LOT COVERAGE LOT 48
C-3.2	
C1	CIVIL TITLE SHEET
C2	NOTES & LEGENDS
C3	EXISTING CONDITIONS
C4	EROSION CONTROL PLAN
C5	PHASE I OVERALL SITE & UTILITY PLAN
C6	LOT 47 SITE & UTILITY PLAN
C7	LOT 48 SITE & UTILITY PLAN
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C10	LOT 48 GRADING PLAN
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L102	ENLARGED LANDSCAPE LOT 48
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A-1.3	THIRD FLOOR PLAN
A-1.4	FOURTH FLOOR PLAN
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A-2.2	EXTERIOR ELEVATIONS
A-2.3	EXTERIOR ELEVATIONS
A-2.4	EXTERIOR ELEVATIONS
A-2.5	ELEVATIONS COLORED
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A-2.8	ELEVATIONS COLORED
ARCHITECTURAL LOT 48	
A-1.0	BASEMENT PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	THIRD FLOOR PLAN
A-1.4	FOURTH FLOOR PLAN
A-2.1	EXTERIOR ELEVATIONS
A-2.2	EXTERIOR ELEVATIONS
A-2.3	EXTERIOR ELEVATIONS
A-2.4	ELEVATIONS COLORED
A-2.5	ELEVATIONS COLORED
A-2.6	ELEVATIONS COLORED
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R2	LOT 47 LOOKING NORTH
R3	LOT 47 LOOKING SOUTH
R4	LOT 47-48 LOOKING NORTHWEST
R5	LOT 48 LOOKING NORTH
R6	LOT 48 LOOKING SOUTHWEST
R7	LOT 48 LOOKING SOUTH

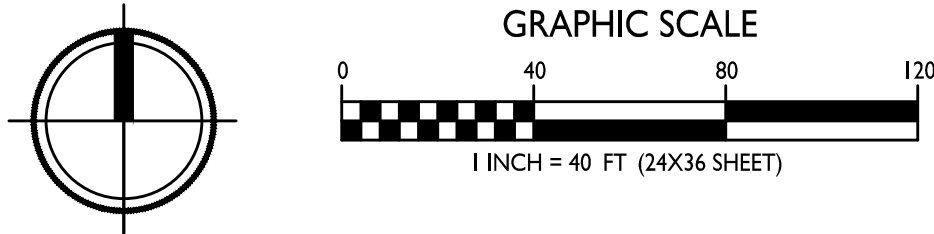
ISSUED
Issued for Land Use Submittal - February 27, 2023

PROJECT TITLE
**CASCADE -
THE AMERICAN
CENTER EASTPARK
FIFTH ADDITION**

4846 Eastpark Blvd.
Madison, WI
SHEET TITLE
**Phase I - Overall
Site Plan**

Lot 47-48
SHEET NUMBER

C-1.0
PROJECT NO. **2155**
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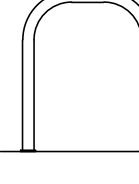





Site Development Data:		
Zoning	CC-T	
Densities:		
Lot Area	79,575 S.F./1.83 ACRES	
Dwelling Units	119 units	
Lot Area / D.U.	668 S.F./D.U.	
Density	PROVIDED 65 units/Acre	
Lot Coverage	60,500 S.F. (76%)	ZONING REQUIREMENTS 85% Max.
Building Height	5 stories/68'-0"	5 Stories/78" Max.
Gross Building Area	177,958 S.F.	
Commercial Area	7,638 S.F.	
Dwelling Unit Mix:		
Studio	25	
One Bedroom	49	
One Bedroom + Den	9	
Two Bedroom	36	
Total Dwelling Units	119	
Vehicle Parking Stalls:		
Underground Garage	103	
Surface	39	
Total	142	
Electric Vehicle Parking Stalls:		
EV Installed	3	3 - Min. 2% of Residential Stalls
EV Ready	10	10 - Min. 10% of Residential Stalls
Total	13	13 - Min. EV Required
Bicycle Parking:		
Long-Term Covered Garage	119	119 - Min. 100% of Req'd (103 F.M. & 16 W.M.)
Short-Term Guest - Surface	12	12 - Min. 10% of Units
Commercial - Surface	4	4 - Min. of 2 stalls (1 stall/2,000 S.F.)
Total	135	135 - Min. Bike Stalls Required

- GENERAL NOTES:**
- THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
 - ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
 - ALL DAMAGE TO THE PAVEMENT ON CITY STREETS, AND ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
 - ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
 - AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM
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 - SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
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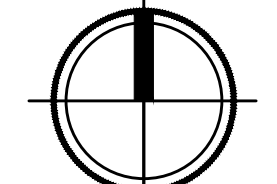
BIKE RACKS




INTERIOR & EXTERIOR FLOOR MOUNTED: "INVERTED U" TYPE. MADRAX UX OR SARIS BIKE DOCK



INTERIOR WALL MOUNTED: MADRAX VERTICAL RACK OR SARIS BIKE TRACK



GRAPHIC SCALE
0 20 40 60
1 INCH = 20 FT (24X36 SHEET)



knothe + bruce
ARCHITECTS
Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

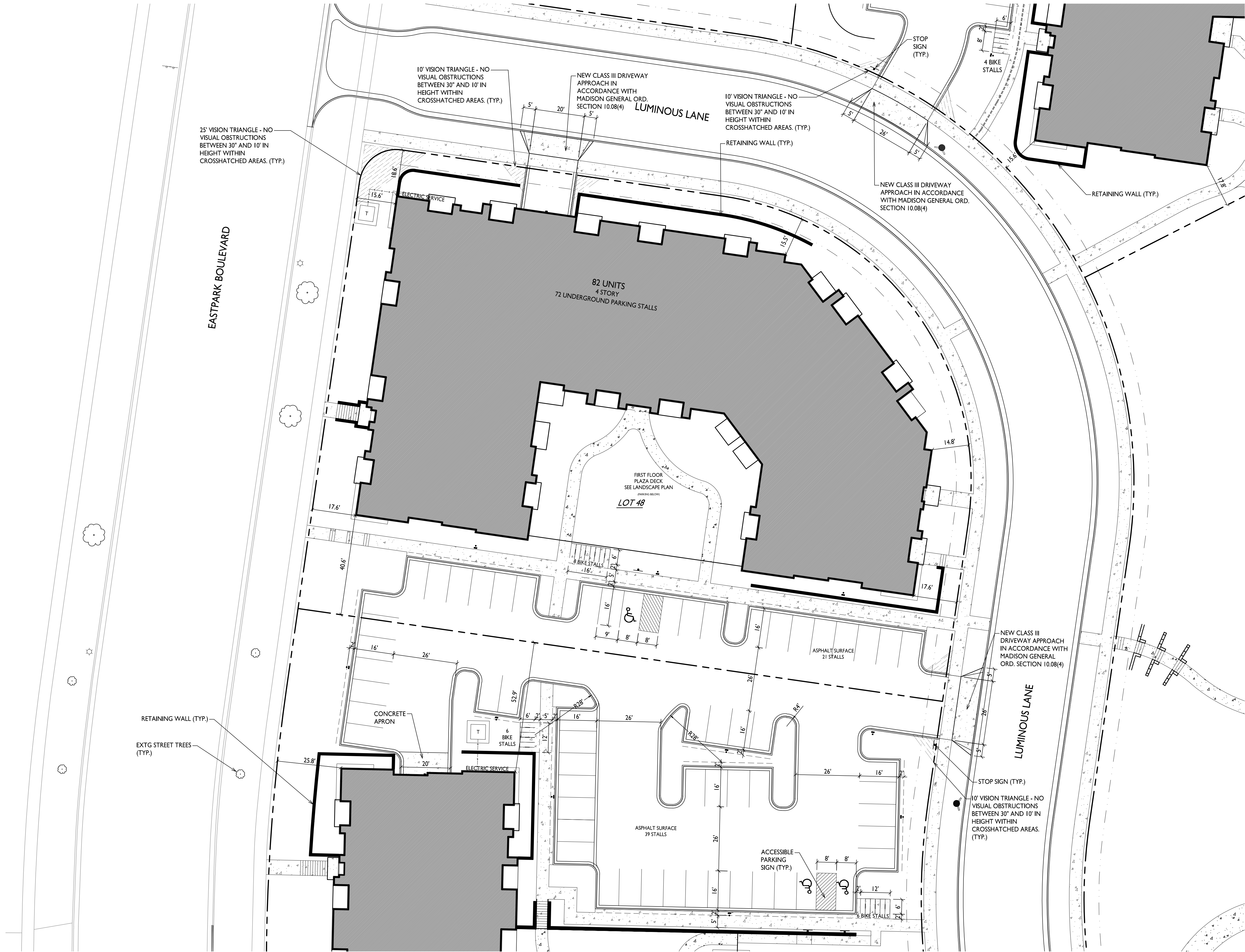
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PROJECT TITLE
CASCADE -
THE AMERICAN
CENTER EASTPARK
FIFTH ADDITION

4846 Eastpark Blvd.
Madison, WI
SHEET TITLE
Site Plan

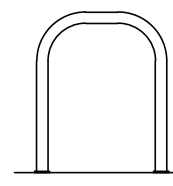
Lot 47
SHEET NUMBER

C-1.1
PROJECT NO. 2155
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Site Development Data:			
Zoning	TR-U2		
Densities:			
Lot Area	47,174 S.F./1.08 ACRES		
Dwelling Units	82 units		
Lot Area / D.U.	575 S.F./D.U.		
Density	PROVIDED	76 units/Acre	ZONING REQUIREMENTS
Lot Coverage	35,500 S.F. (75.3%)	75% Max.	
Building Height	4 stories/54'-0"	4 Stories/52' Max.	
Gross Building Area	113,899 S.F.		
Dwelling Unit Mix:			
Studio	15		
One Bedroom	32		
One Bedroom + Den	8		
Two Bedroom	27		
Total Dwelling Units	82		
Vehicle Parking Stalls:			
Underground Garage	72		
Surface	21		
Total	93		
Electric Vehicle Parking Stalls:			
EV Installed	2	2 - Min. 2% of Residential Stalls	
EV Ready	7	7 - Min. 10% of Residential Stalls	
Total	9	9 - Min. EV Required	
Bicycle Parking:			
Long-Term Covered Garage	82	82 - Min. 100% of Req'd	
(82 F.M.)			
Short-Term Guest - Surface	8	8 - Min. 10% of Units	
Total	90	90 - Min. Bike Stalls Required	

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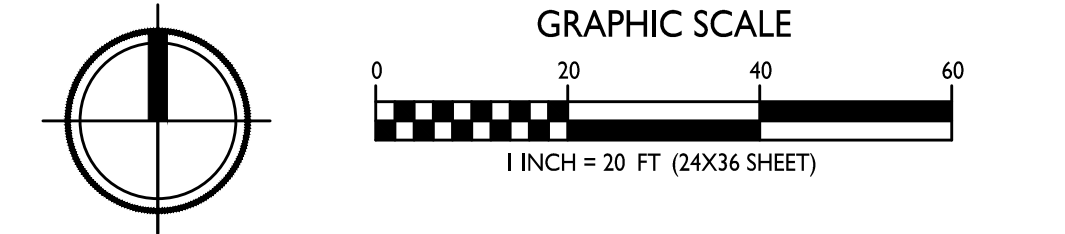


BIKE RACKS

INTERIOR & EXTERIOR FLOOR MOUNTED: "INVERTED U" TYPE. MADRAX UX OR SARIS BIKE DOCK



INTERIOR WALL MOUNTED: MADRAX VERTICAL RACK OR SARIS BIKE TRACK





knothe + bruce
ARCHITECTS

Phone: 7601 University Ave, Ste 201
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ISSUED
Issued for Land Use Submittal - February 27, 2023

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THE AMERICAN
CENTER EASTPARK
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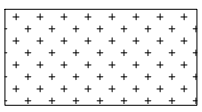
4846 Eastpark Blvd.
Madison, WI
SHEET TITLE
Site Plan

Lot 48
SHEET NUMBER

C-1.2
PROJECT NO. 2155
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LOT COVERAGE		
ZONING	CC-T	
MAXIMUM LOT COVERAGE	85%	
LOT AREA	79,575 S.F.	
PROPOSED COVERAGE	60,500 S.F. / 76%	



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608.836.3690 Middleton, WI 53562

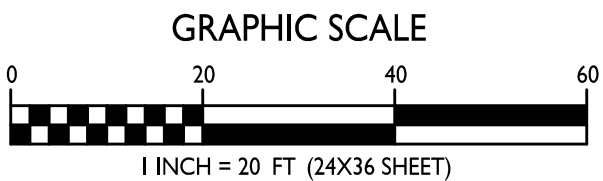
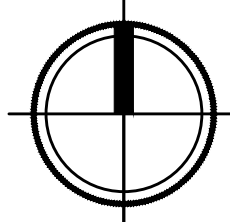
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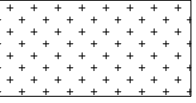
4846 Eastpark Blvd.
Madison, WI
SHEET TITLE
Lot Coverage

Lot 47
SHEET NUMBER

C-3.1
PROJECT NO. 2155
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LOT COVERAGE		
ZONING	TR-U2	
MAXIMUM LOT COVERAGE	80%	
LOT AREA	47,174 S.F.	
PROPOSED COVERAGE	35,500 S.F. / 75.3%	



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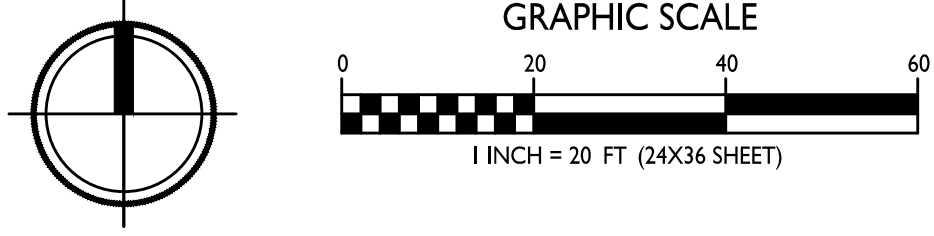
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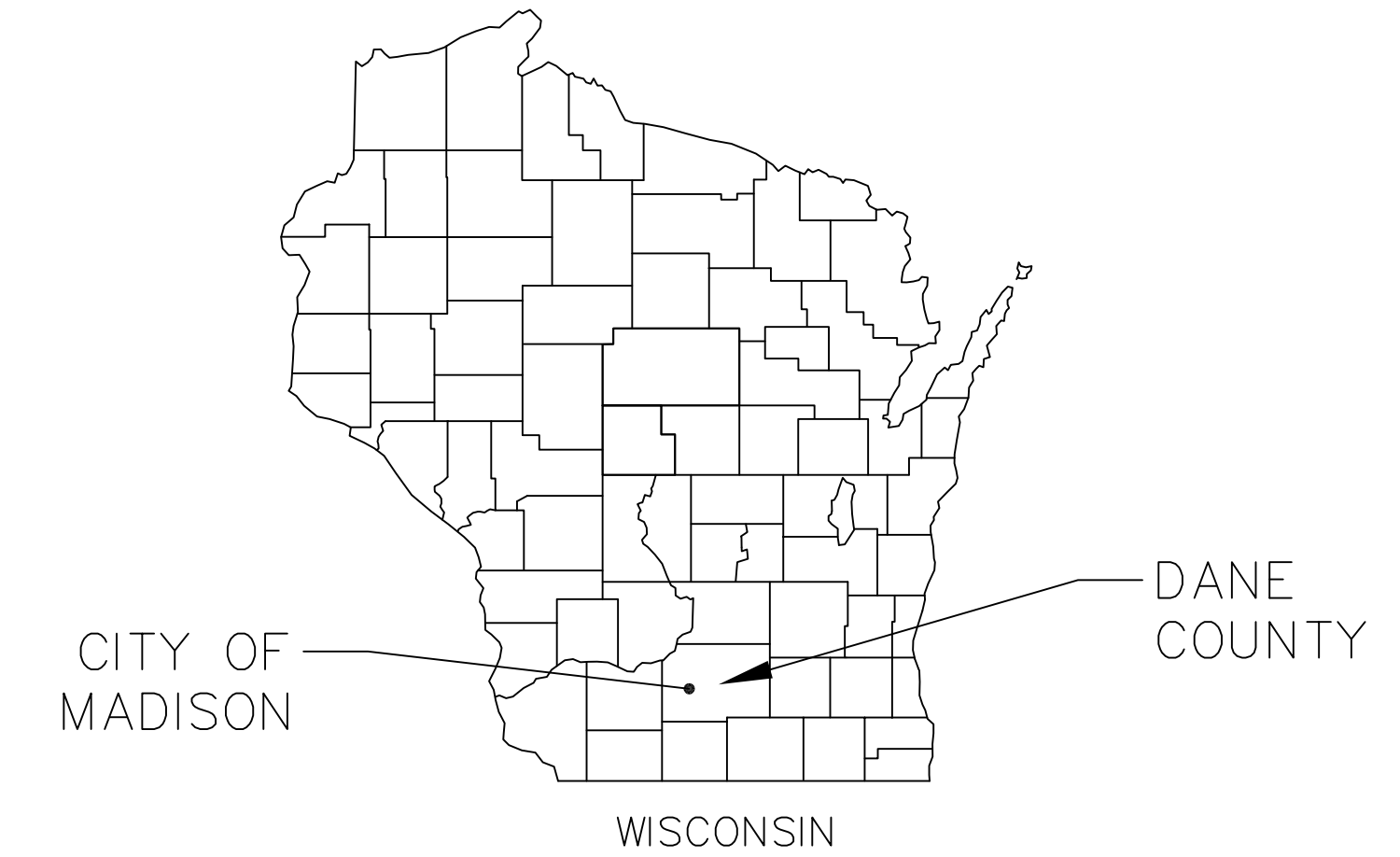
4846 Eastpark Blvd.
Madison, WI
SHEET TITLE
Lot Coverage

Lot 48
SHEET NUMBER

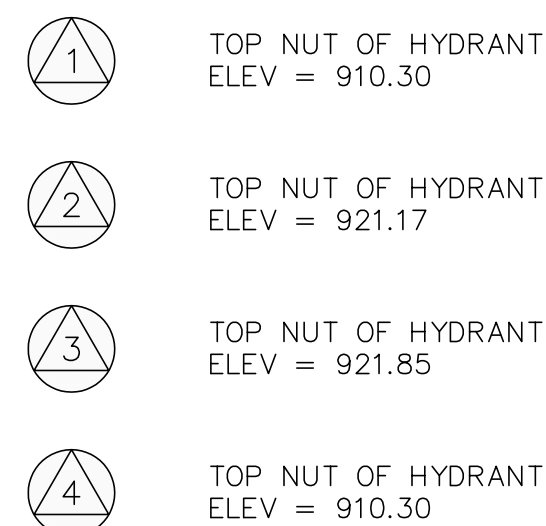
C-3.2
PROJECT NO. **2155**
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planners | engineers | advisors



SHEET NO.	DESCRIPTION
C1	TITLE SHEET
C2	NOTES & LEGENDS
C3	EXISTING CONDITIONS
C4	EROSION CONTROL PLAN
C5	PHASE 1 OVERALL SITE & UTILITY PLAN
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C8	PHASE 1 OVERALL GRADING PLAN
C9	LOT 47 GRADING PLAN
C10	LOT 48 GRADING PLAN
C11	FIRE ACCESS PLAN



CALL DIGGER'S HOTLINE
1-800-242-8511

NOT FOR CONSTRUCTION

DATE		2/27/2023	
DRAFTER		BBAR	
CHECKED		SCHU	
PROJECT NO.		210303	
REVIEWS		REVIEWS	
NO.	DATE	NO.	DATE
Title Sheet Cascade Phase 1 - The American Center Lot 47-48 City of Madison Dane County, Wisconsin			

ABBREVIATIONS

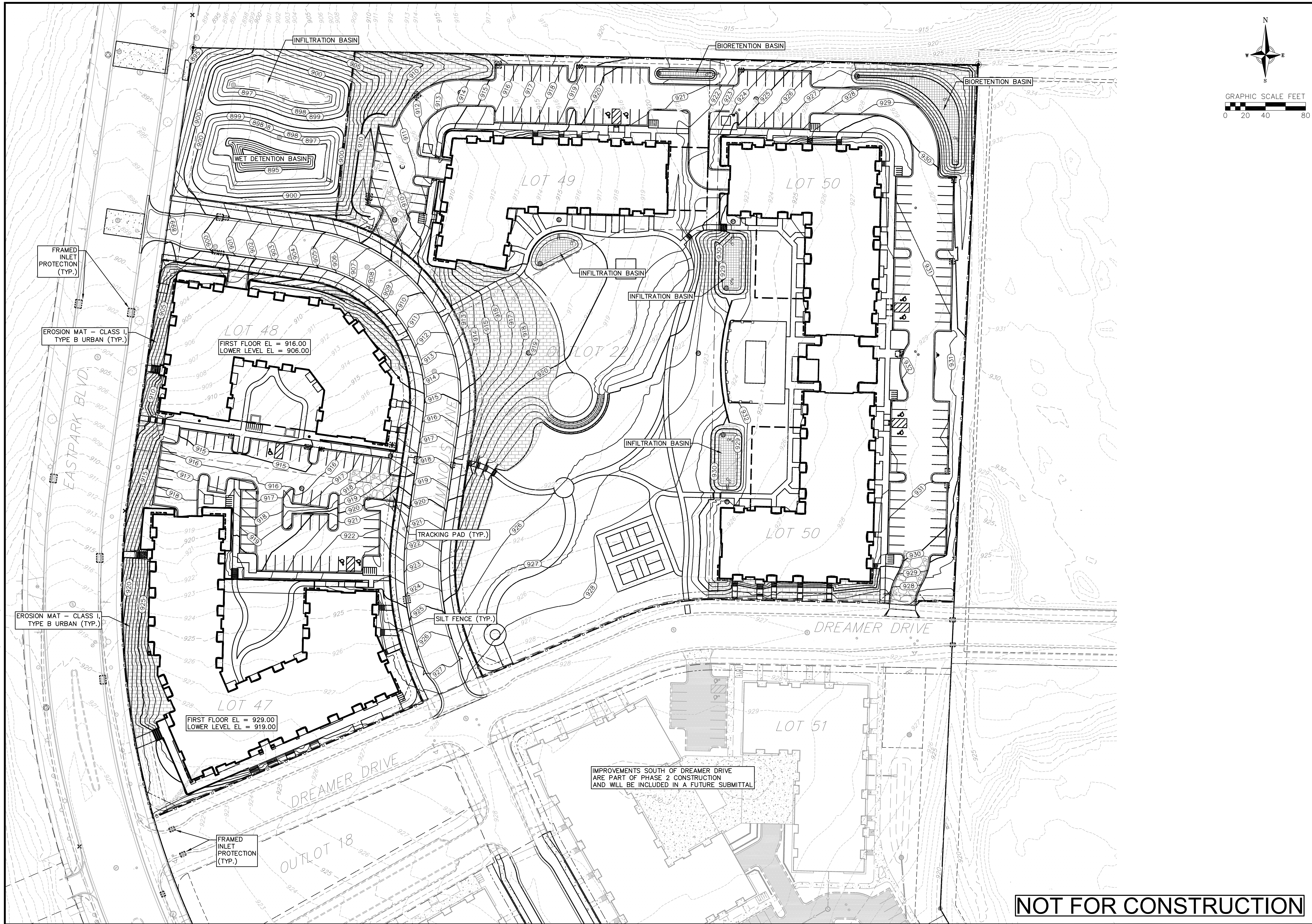
STMH – STORM MANHOLE
FI – FIELD INLET
CI – CURB INLET
CB – CATCH BASIN
EW – ENDWALL
SMH – SANITARY MANHOLE

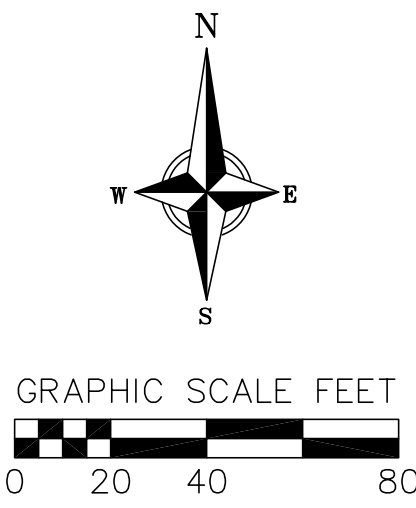
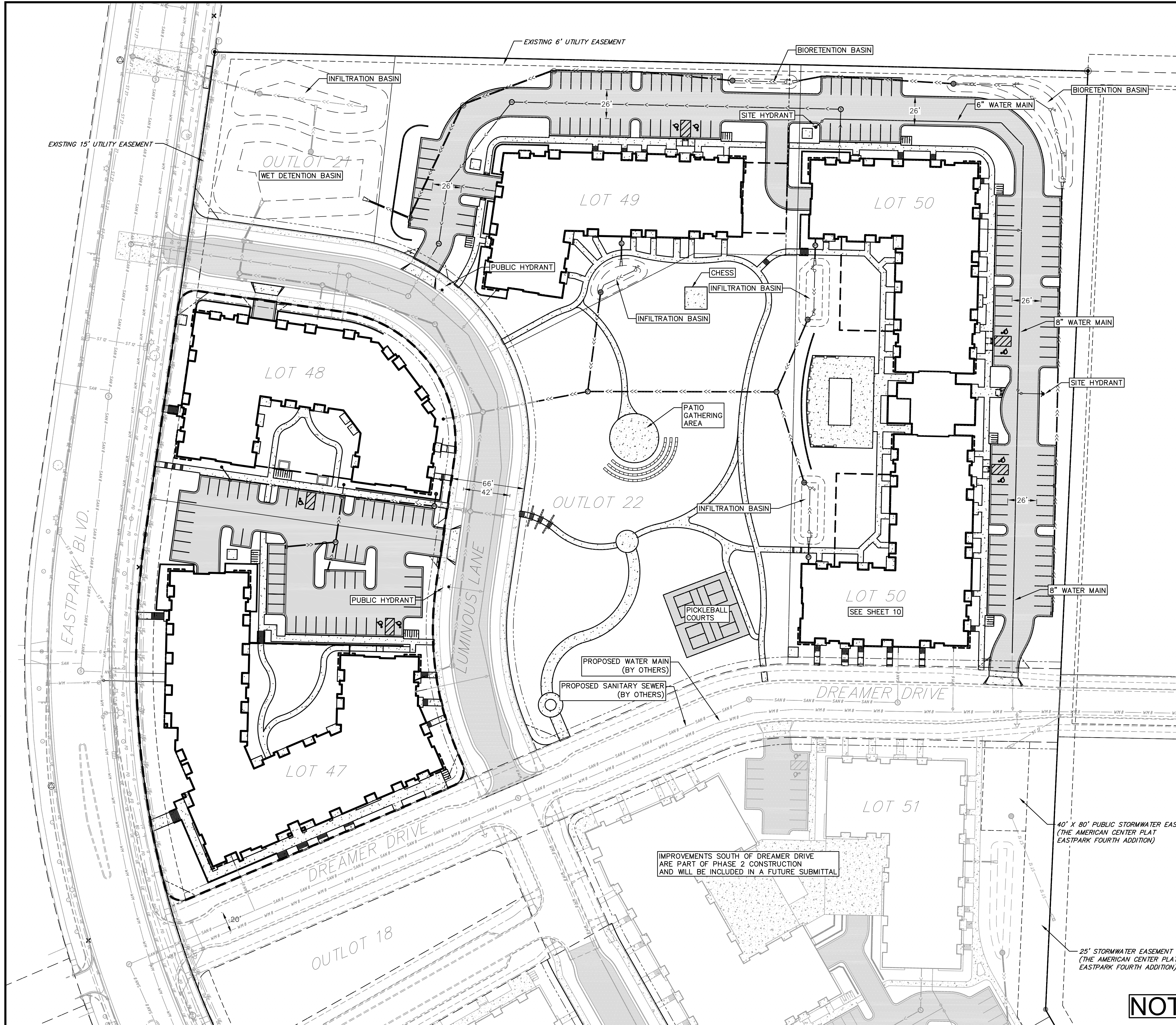


EXISTING SANITARY STRUCTURE TABLE				
NAME	TYPE	RIM/TC	INVERT	DIRECTION
S1	SMH	903.36	891.16	SE
			891.03	NW
S2	SMH	905.86	889.66	SE
			889.61	SW
			890.81	NW
			895.64	NW
S3	SMH	909.73	899.71	SE
			899.85	NW
S4	SMH	917.44	907.37	SE
			907.47	NW
S5	SMH	921.62	911.72	SE
			911.76	W
			911.83	NW
S6	SMH	917.90	907.28	N
			907.35	E
S7	SMH	904.37	893.84	N
			893.93	S
S8	SMH	894.48	883.69	N
			883.78	S
S9	SMH	890.05	877.47	N
			876.55	S
			876.47	W

1. This plan is not intended to be a property survey as defined in Chapter A-E 7 of the Wisconsin Administrative Code. The property lines shown on this plan are based on found monumentation, Certified Survey Map #15822, recorded as Document # 5778376 and subsequent surveys of record.
2. This plan is based upon field survey work performed on August 17, 18 and 24, 2022. Any changes in site conditions after August 24, 2022 are not reflected by this plan.
3. This plan is referenced to the Wisconsin County Coordinate System-Dane Zone, NAD 83 (2011). Elevations are referenced to NAVD 88 (2012) datum. Field data was obtained using Robotic Total Station and GPS.
4. All underground utilities have been located per markings placed on the ground or maps provided by the utilities (owners) and/or their authorized representatives. Markings are per Digger's Hotline ticket #020223311075 and #020223311078. No private locate request was made. Veribcher does not warrant the locations marked or mapped by others. Sewer and water pipe sizes were obtained from the City of Madison GWeb site. Some storm sewer pipe sizes were measured during the survey.
5. No attempt has been made as a part of this plan to obtain or show data concerning condition, or capacity of any utility or municipal/public service facility. For information regarding these utilities contact the appropriate agencies.
6. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, or ownership title evidence, or any other facts the title search might reveal, that affect the easements shown on the Creek Crossing at St. Francis plat.


DATE		2/27/2023	
DRAFTER		BBAR	
CHECKED		SCHU	
PROJECT NO.		210303	
C3			





FINAL DESIGN FOR REGIONAL STORMWATER BASINS AND OUTLOT 21 COMPLETED BY CITY OF MADISON. ALL IMPROVEMENTS WITHIN PUBLIC PARCELS SHALL BE CONSTRUCTED PER THE CITY ISSUED CONSTRUCTION PLANS.

FINAL DESIGN FOR LUMINOUS LANE COMPLETED BY CITY OF MADISON. ALL IMPROVEMENTS WITHIN PUBLIC RIGHT-OF-WAY AND PUBLIC PARCELS SHALL BE CONSTRUCTED PER THE CITY ISSUED CONSTRUCTION PLANS.



vierbicher
planners | engineers | advisors

Phase 1 Overall Site & Utility Plan

Cascade Phase 1 - The American Center Lot 47-48

City of Madison

Dane County, Wisconsin

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE
2/27/2023

DRAFTER
BBAR

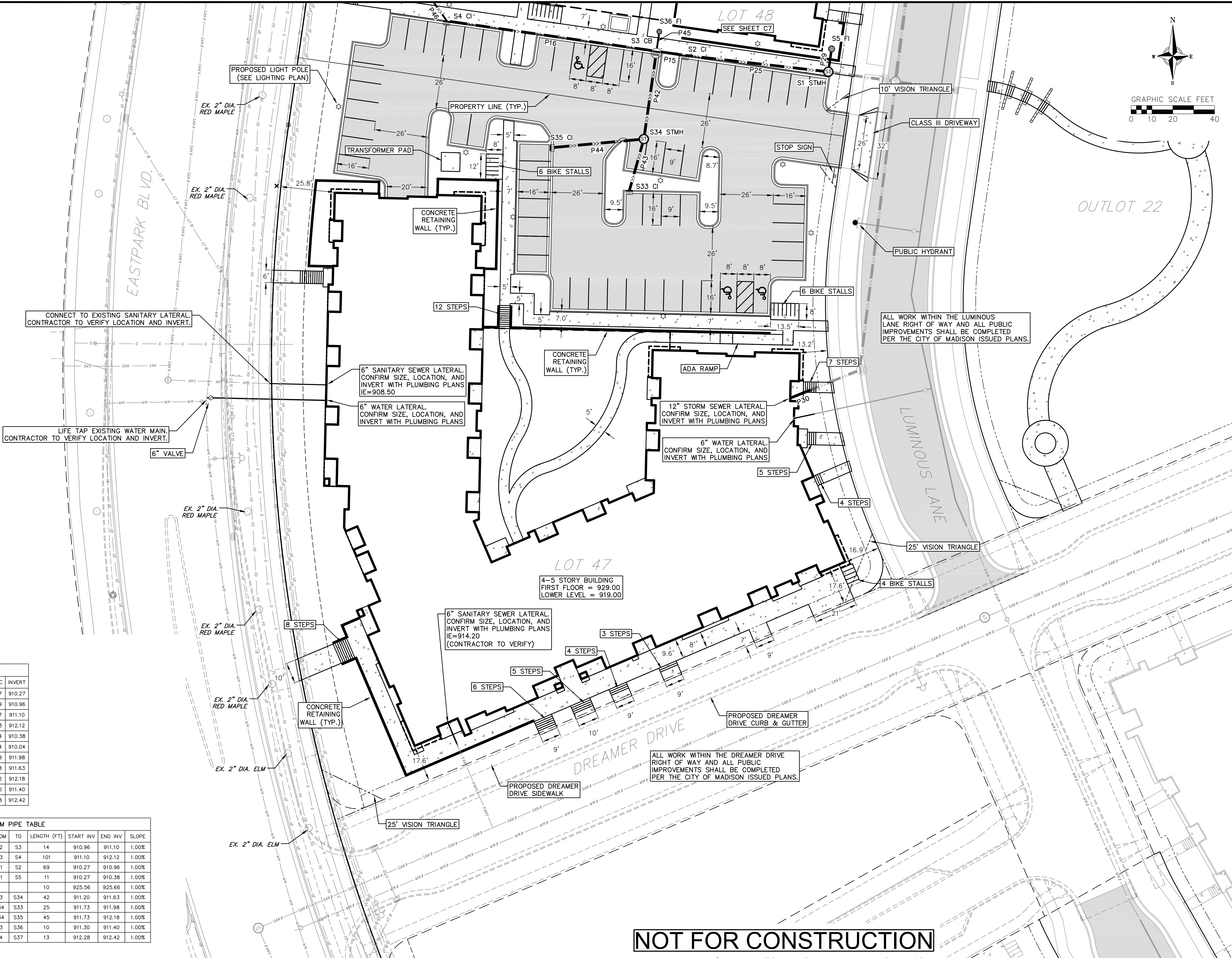
CHECKED
SCHU


PROJECT NO.
210303

C5

STORM STRUCTURE TABLE				
STRUCTURE NAME	STRUCTURE TYPE	RIM/TC	INVERT	
S1	48" CONC STMH	918.97	910.27	
S2	2' x 3' CI	915.49	910.96	
S3	48" CONC CB	914.87	911.10	
S4	2' x 3' CI	915.03	912.12	
S5	30" CONC FI	915.54	910.38	
S32	24" CONC FI	915.04	910.04	
S33	2' x 3' CI	919.58	911.98	
S34	48" CONC STMH	915.68	911.63	
S35	2' x 3' CI	916.62	912.18	
S36	24" CONC FI	915.00	911.40	
S37	24" CONC FI	915.28	912.42	

STORM PIPE TABLE								
PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	TO	LENGTH (FT)	START INV	END INV	SLOPE
P15	RCP	12	S2	S3	14	910.96	911.10	1.00%
P16	RCP	12	S3	S4	101	911.10	912.12	1.00%
P25	RCP	12	S1	S2	69	910.27	910.96	1.00%
P29	HDPE	12	S1	S5	11	910.27	910.38	1.00%
P30	RCP	12			10	925.56	925.66	1.00%
P42	RCP	12	S3	S34	42	911.20	911.63	1.00%
P43	RCP	12	S34	S33	25	911.73	911.98	1.00%
P44	RCP	12	S34	S35	45	911.73	912.18	1.00%
P45	PVC	10	S3	S36	10	911.30	911.40	1.00%
P46	PVC	10	S4	S37	13	912.28	912.42	1.00%





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Lot 47 Site & Utility Plan
Cascade Phase 1 - The American Center Lot 47-48
City of Madison
Dane County, Wisconsin

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE
2/27/2023

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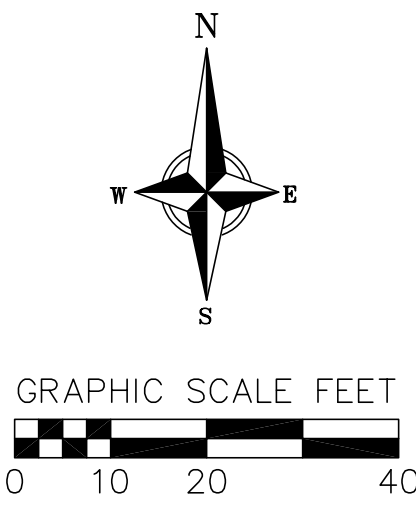
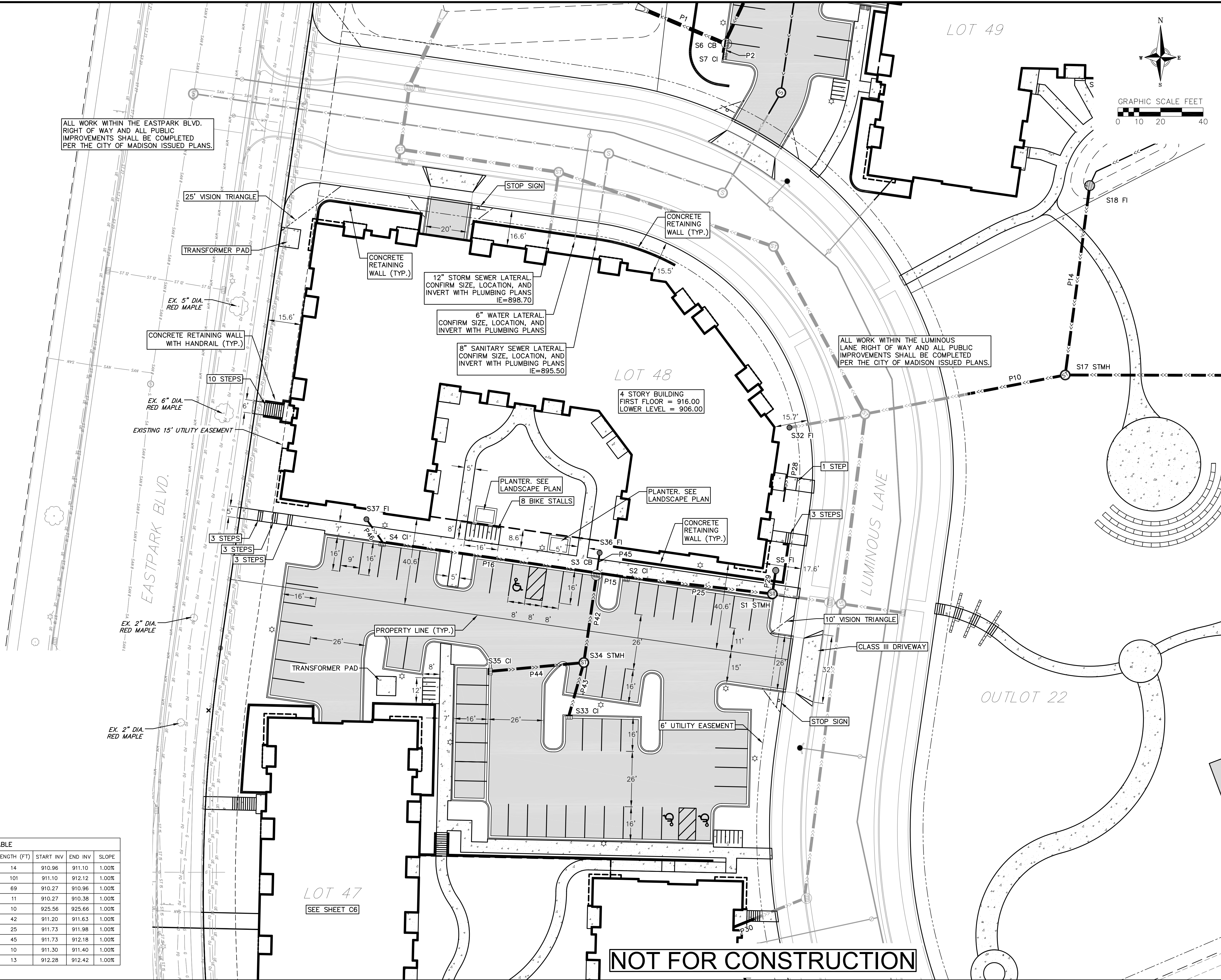
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C6

STORM STRUCTURE TABLE				
STRUCTURE NAME	STRUCTURE TYPE	RIM/TC	INVERT	
S1	48" CONC STMH	918.97	910.27	
S2	2' x 3' CI	915.49	910.96	
S3	48" CONC CB	914.87	911.10	
S4	2' x 3' CI	915.03	912.12	
S5	30" CONC FI	915.54	910.38	
S32	24" CONC FI	915.04	910.04	
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STORM PIPE TABLE								
PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	TO	LENGTH (FT)	START INV	END INV	SLOPE
P15	RCP	12	S2	S3	14	910.96	911.10	1.00%
P16	RCP	12	S3	S4	101	911.10	912.12	1.00%
P25	RCP	12	S1	S2	69	910.27	910.96	1.00%
P29	HDPE	12	S1	S5	11	910.27	910.38	1.00%
P30	RCP	12			10	925.56	925.66	1.00%
P42	RCP	12	S3	S34	42	911.20	911.63	1.00%
P43	RCP	12	S34	S33	25	911.73	911.98	1.00%
P44	RCP	12	S34	S35	45	911.73	912.18	1.00%
P45	PVC	10	S3	S36	10	911.30	911.40	1.00%
P46	PVC	10	S4	S37	13	912.28	912.42	1.00%



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Lot 48 Site & Utility Plan

Cascade Phase 1 - The American Center Lot 47-48

City of Madison

Dane County, Wisconsin

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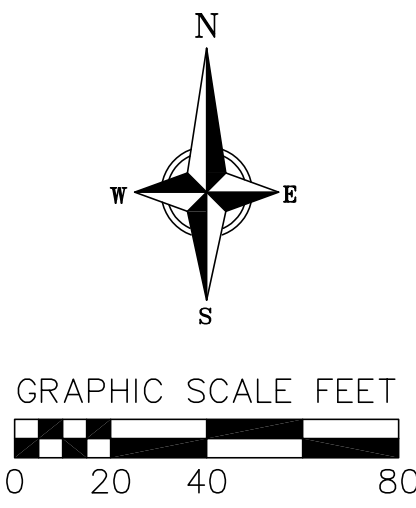
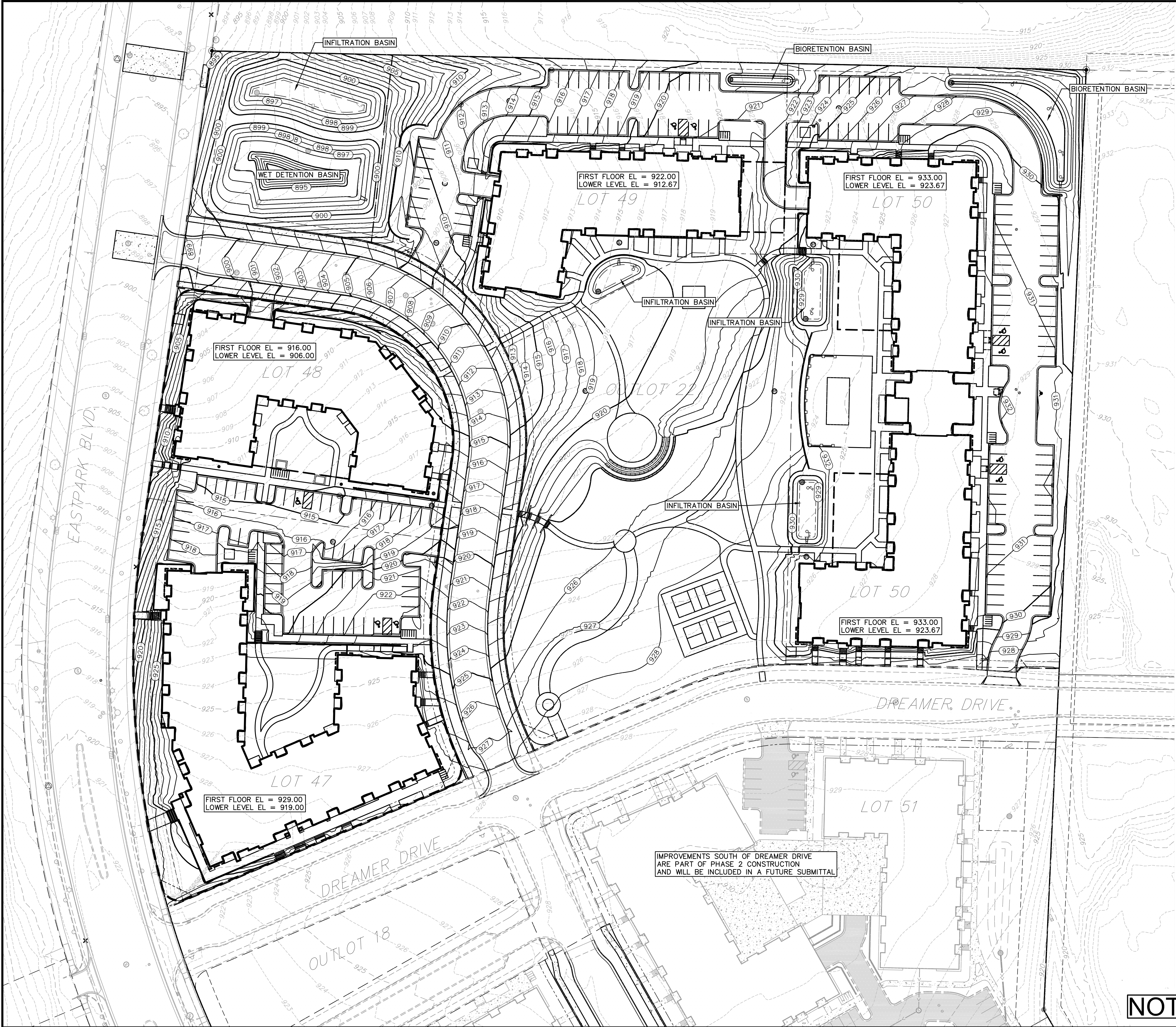
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C7




FINAL DESIGN FOR REGIONAL STORMWATER BASINS AND OUTLOT 21 COMPLETED BY CITY OF MADISON. ALL IMPROVEMENTS WITHIN PUBLIC PARCELS SHALL BE CONSTRUCTED PER THE CITY ISSUED CONSTRUCTION PLANS.

ALL WORK WITHIN LUMINOUS LANE, DREAMER DRIVE, AND EASTPARK BLVD. RIGHT OF WAY AND ALL PUBLIC IMPROVEMENTS SHALL BE COMPLETED PER THE CITY OF MADISON ISSUED PLANS.

IMPROVEMENTS SOUTH OF DREAMER DRIVE ARE PART OF PHASE 2 CONSTRUCTION AND WILL BE INCLUDED IN A FUTURE SUBMITTAL

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Phase 1 Overall Grading Plan

Cascade Phase 1 - The American Center Lot 47-48

City of Madison

Dane County, Wisconsin

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

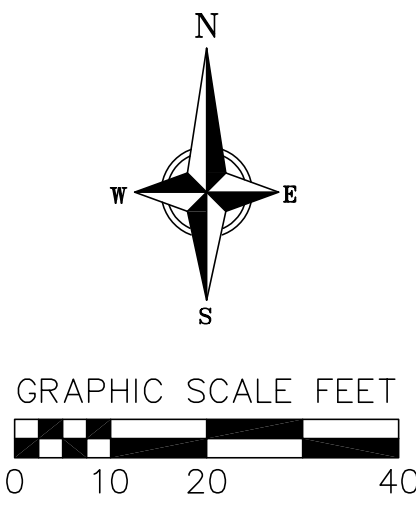
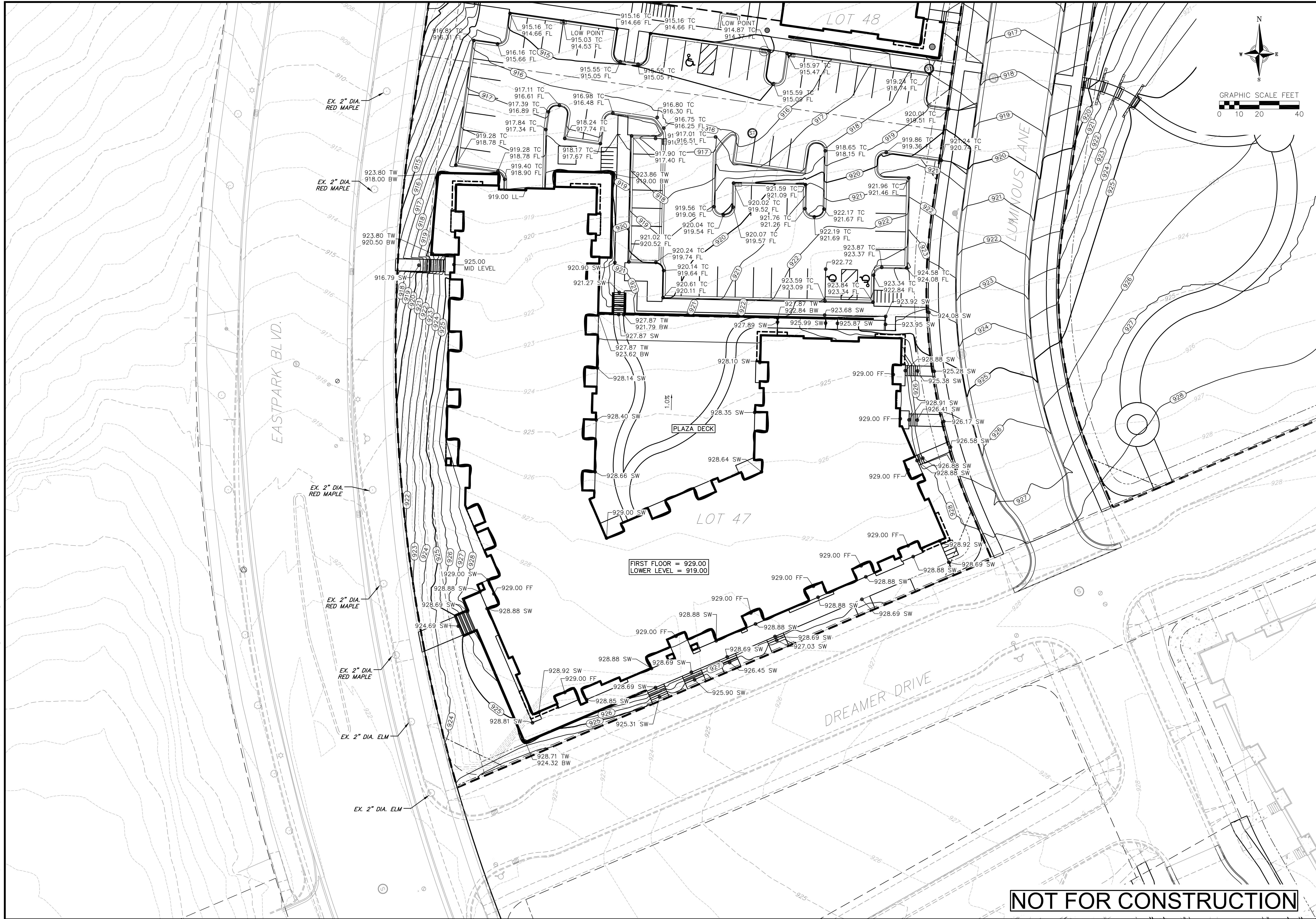
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Lot 47 Grading Plan
Cascade Phase 1 - The American Center Lot 47-48
City of Madison
Dane County, Wisconsin

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NO.	DATE	NO.	DATE

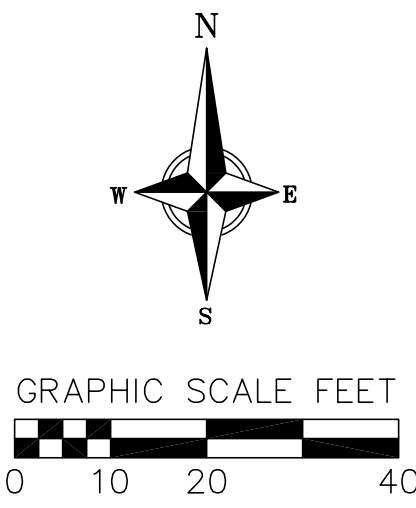
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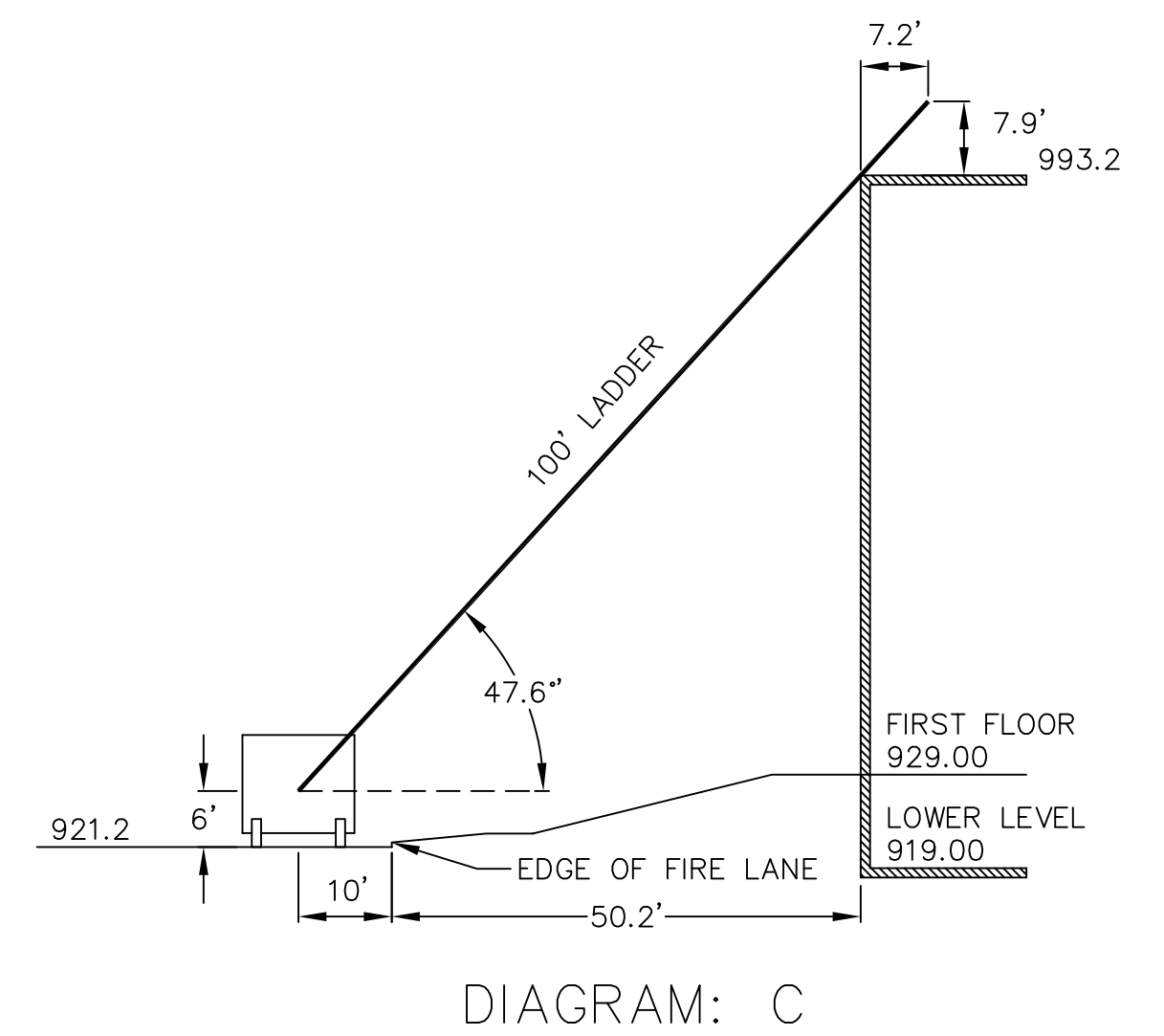
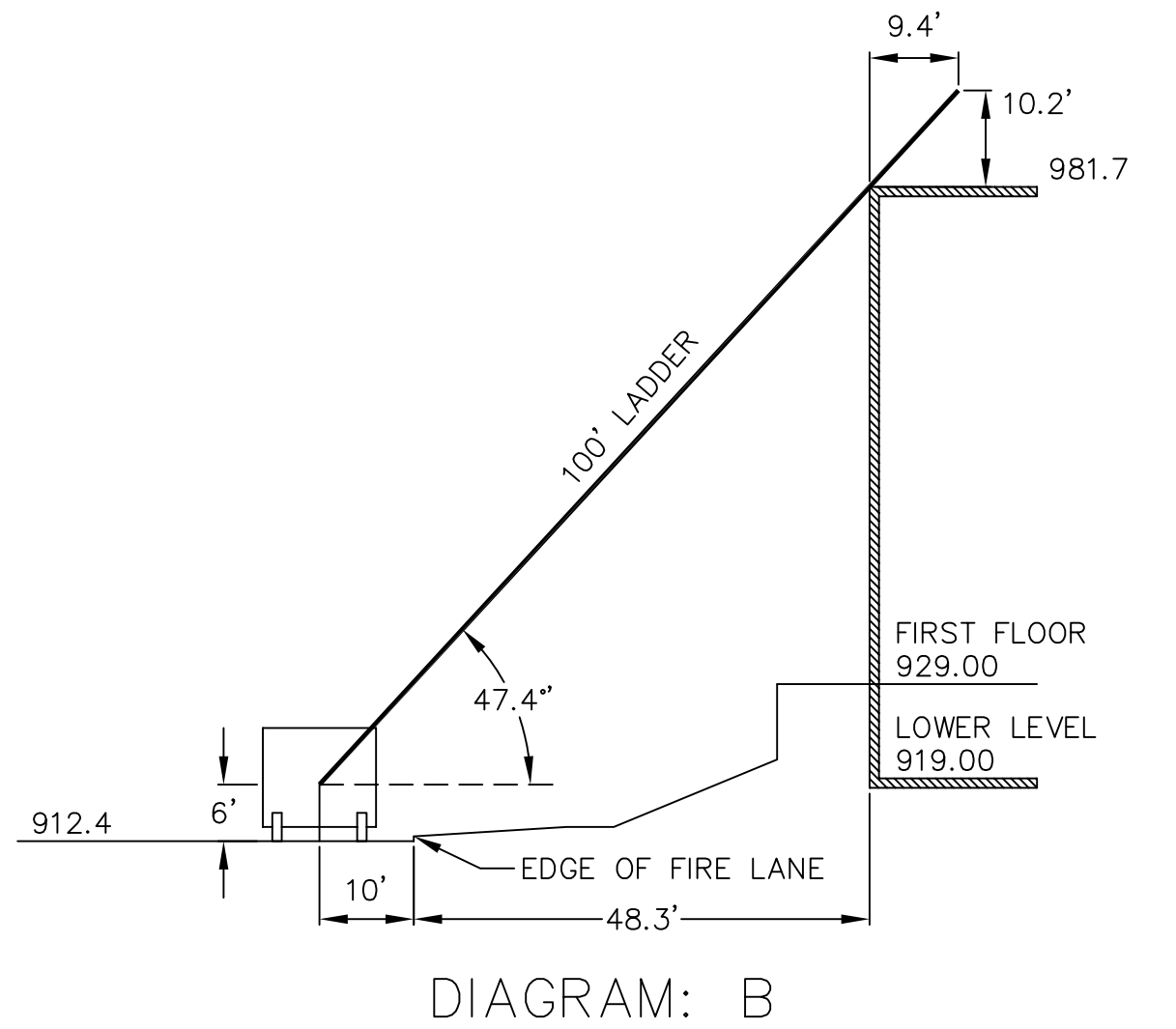
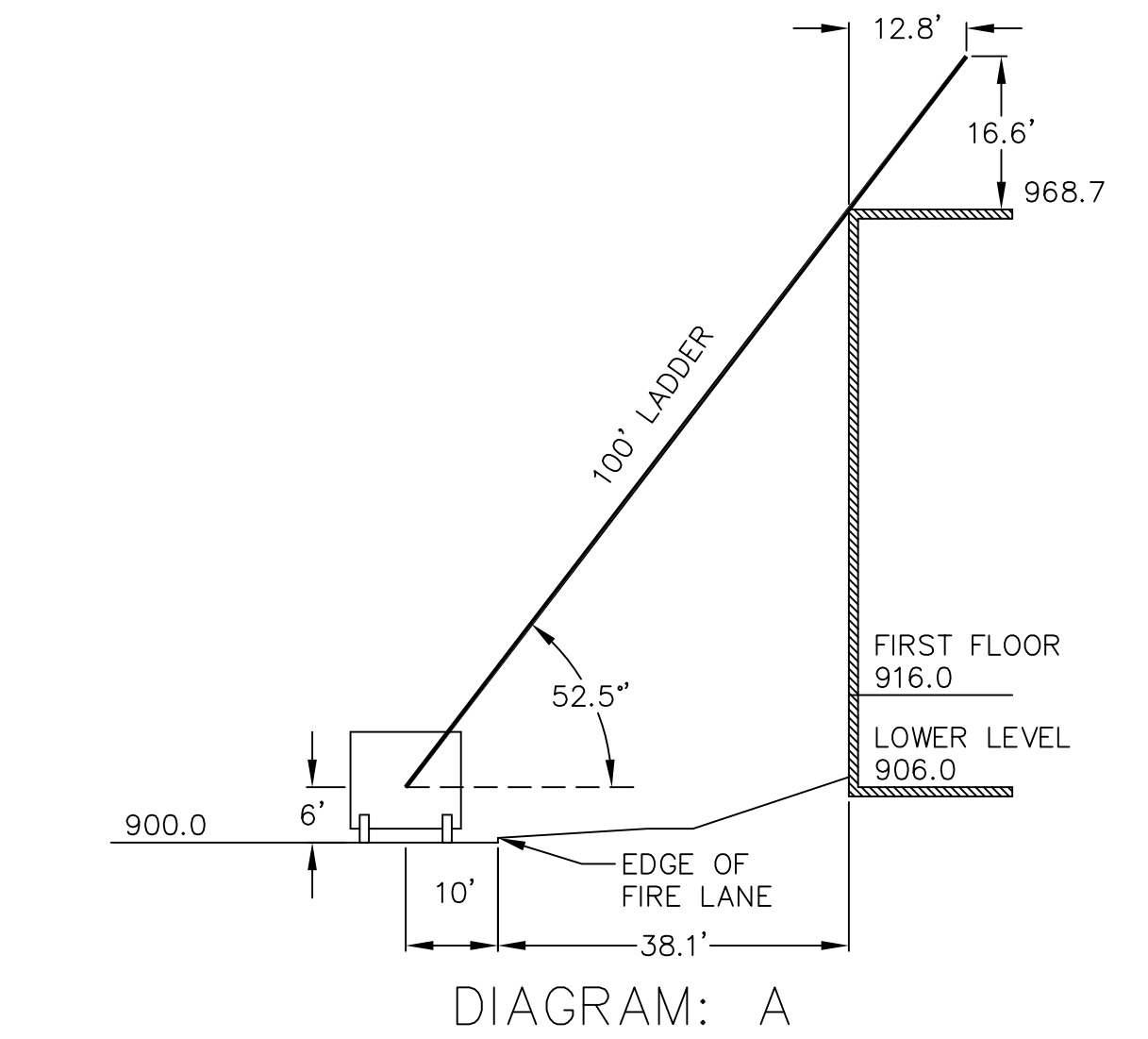
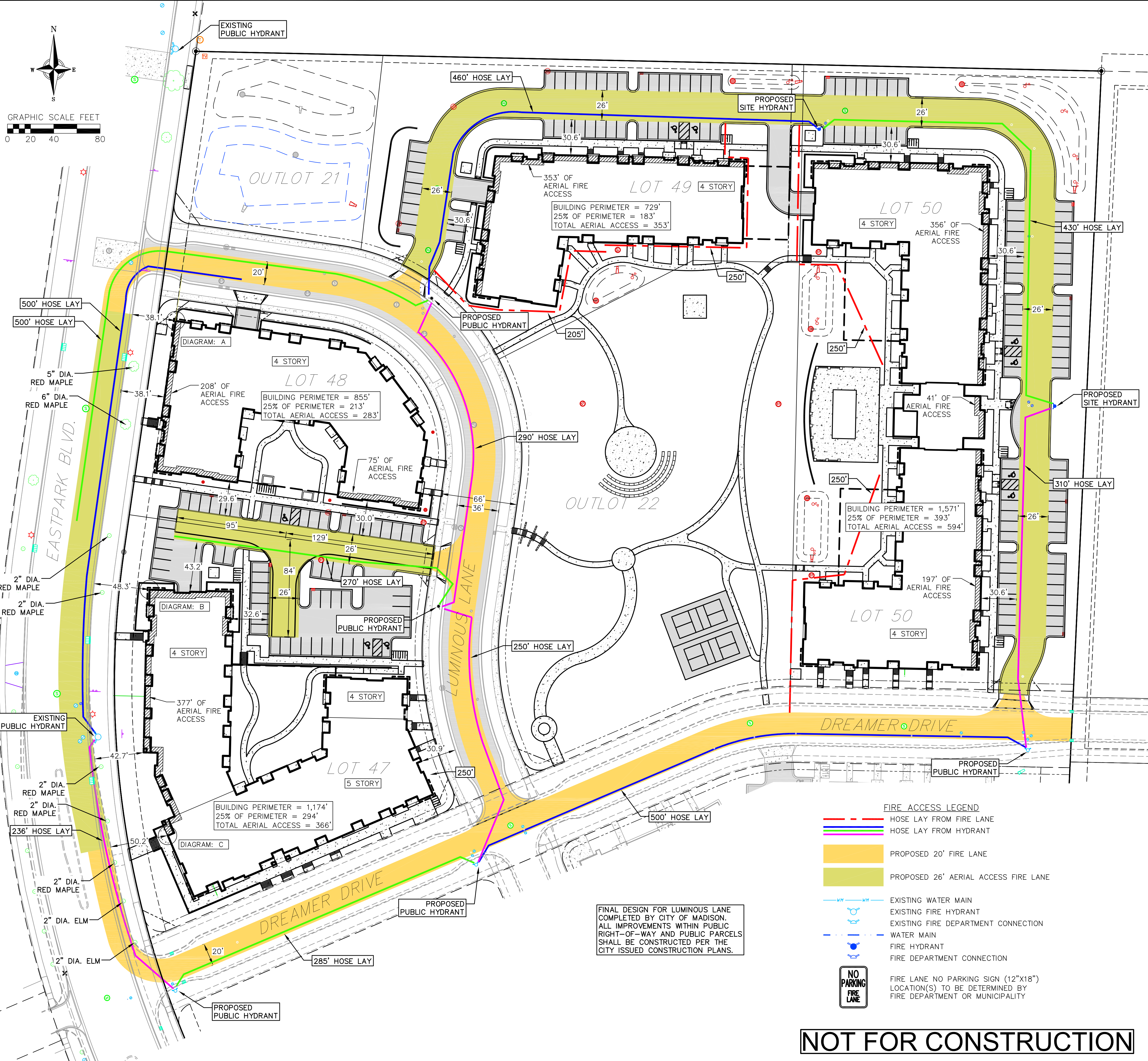
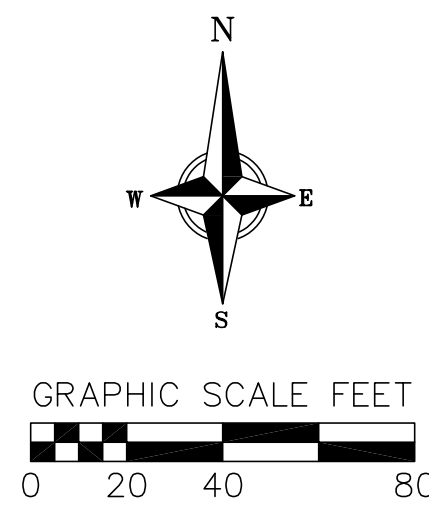
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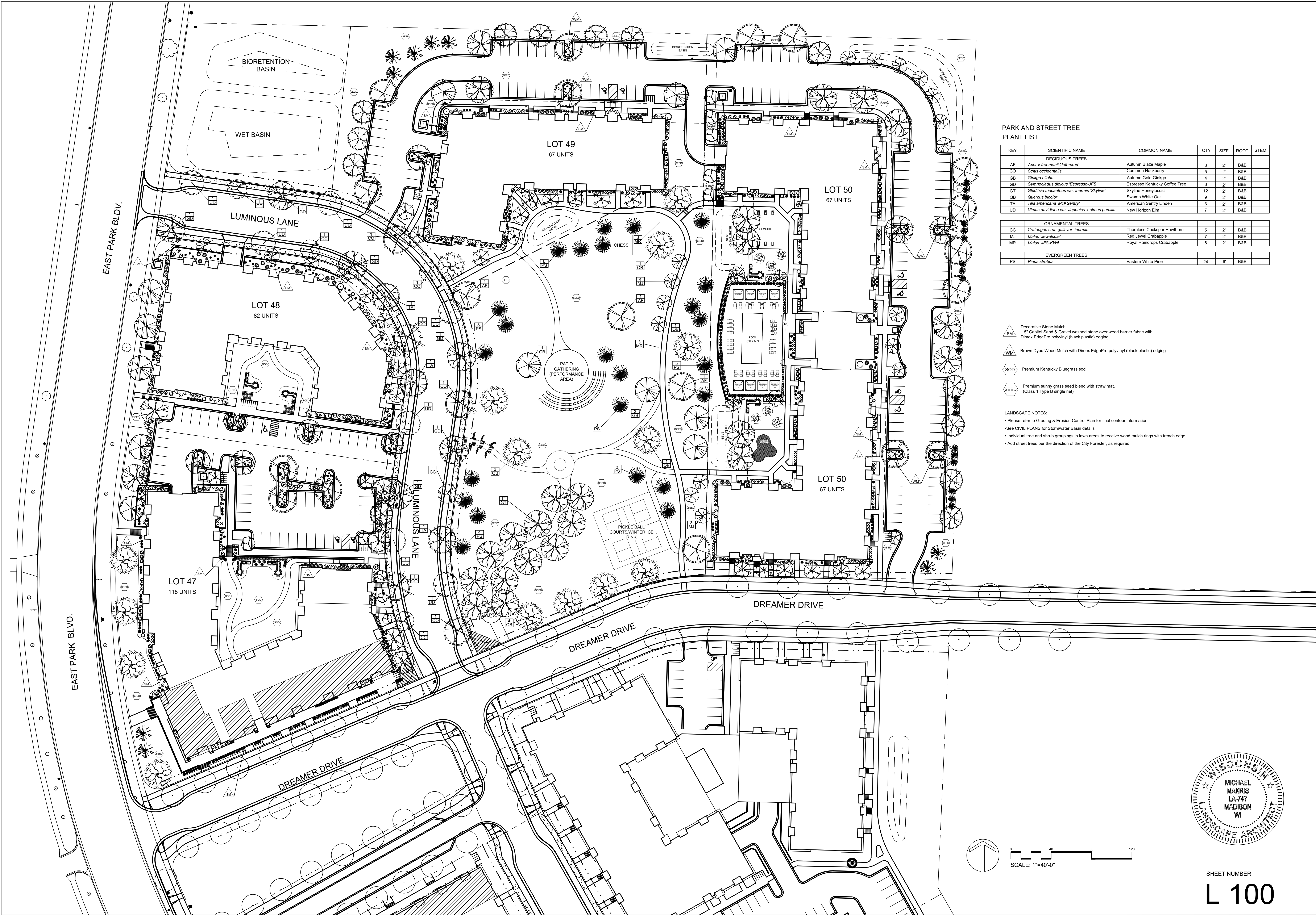
C9





1 LADDER REACH DIAGRAMS

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PARK AND STREET TREE PLANT LIST

KEY	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	ROOT	STEM
DECIDUOUS TREES						
AF	<i>Acer x freemanii 'Jeffersred'</i>	Autumn Blaze Maple	3	2"	B&B	
CO	<i>Celtis occidentalis</i>	Common Hackberry	5	2"	B&B	
GB	<i>Ginkgo biloba</i>	Autumn Gold Ginkgo	4	2"	B&B	
GD	<i>Gymnocladus dioica 'Espresso-JFS'</i>	Espresso Kentucky Coffee Tree	6	2"	B&B	
GT	<i>Gleditsia triacanthos var. inermis 'Skyline'</i>	Skyline Honeylocust	12	2"	B&B	
QB	<i>Quercus bicolor</i>	Swamp White Oak	9	2"	B&B	
TA	<i>Tilia americana 'McKsentry'</i>	American Sentry Linden	3	2"	B&B	
UD	<i>Ulmus davidiana var. japonica x ulmus pumila</i>	New Horizon Elm	7	2"	B&B	

ORNAMENTAL TREES						
CC	<i>Crataegus crus-galli var. inermis</i>	Thornless Cockspur Hawthorn	5	2"	B&B	
MJ	<i>Malus 'Jewelcole'</i>	Red Jewel Crabapple	7	2"	B&B	
MR	<i>Malus 'JFS-KWS'</i>	Royal Raindrops Crabapple	6	2"	B&B	

EVERGREEN TREES						
PS	<i>Pinus strobus</i>	Eastern White Pine	24	6"	B&B	

- △ SM Decorative Stone Mulch.
1.5" Capitol Sand & Gravel washed stone over weed barrier fabric with Dimex EdgePro polyvinyl (black plastic) edging
- △ WM Brown Dyed Wood Mulch with Dimex EdgePro polyvinyl (black plastic) edging
- SOD Premium Kentucky Bluegrass sod
- SEED Premium sunny grass seed blend with straw mat.
(Class 1 Type B single net)
- LANDSCAPE NOTES:
- Please refer to Grading & Erosion Control Plan for final contour information.
 - See CIVIL PLANS for Stormwater Basin details.
 - Individual tree and shrub groupings in lawn areas to receive wood mulch rings with trench edge.
 - Add street trees per the direction of the City Forester, as required.



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Verona, WI 53593
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FAX: (608) 827-9402
WEB: www.olsontoon.com

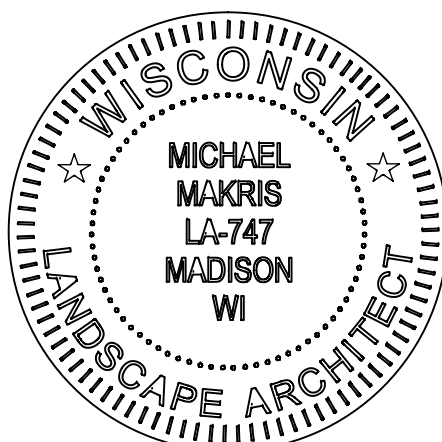
THE AMERICAN CENTER FIFTH ADDITION
OVERALL LANDSCAPE PLAN
Madison, Wisconsin

Date: January 6, 2023
Scale: 1"=40'-0"
Designer: kms
Job #

Seal:
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approved by the Landscape
Designer. This is not an original
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Revisions:
2023.01.26
2023.02.17
2023.02.24





Reference Name:
Cascade Development



SHEET NUMBER

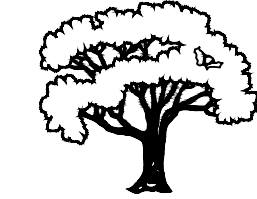
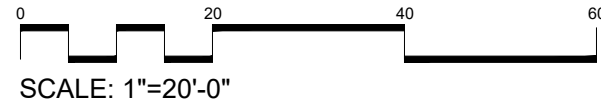
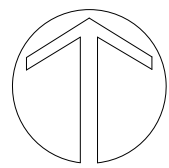
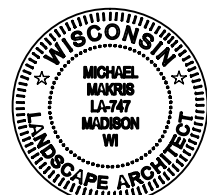
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LOT 47
PLANT LIST

	Decorative Stone Mulch 1.5" Capitol Sand & Gravel washed stone over weed barrier fabric with Dimex EdgePro polyvinyl (black plastic) edging
	Brown Dyed Wood Mulch with Dimex EdgePro polyvinyl (black plastic) edging
	Premium Kentucky Bluegrass sod
	Premium sunny grass seed blend with straw mat. (Class 1 Type B single net)

LANDSCAPE NOTES:

- Please refer to Grading & Erosion Control Plan for final contour information.
- See CIVIL PLANS for Stormwater Basin details
- Individual tree and shrub groupings in lawn areas to receive wood mulch rings with trench edges
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THE AMERICAN CENTER FIFTH ADDITION

LOT 47 LANDSCAPE PLAN
Madison, Wisconsin





Date: January 6, 2023
Scale: 1'-0"=20'-0"
Designer: kms
Job #

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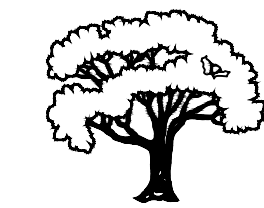
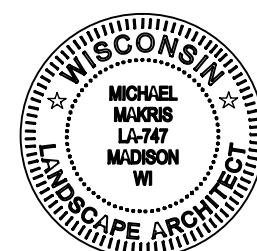
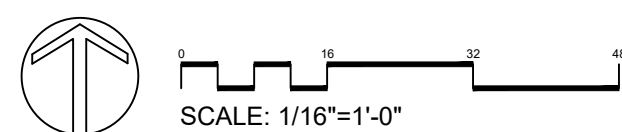
Reference Name:
Cascade Development

LOT 48
PLANT LIST

	Decorative Stone Mulch 1.5" Capitol Sand & Gravel washed stone over weed barrier fabric with Dimex EdgePro polyvinyl (black plastic) edging
	Brown Dyed Wood Mulch with Dimex EdgePro polyvinyl (black plastic) edging
	Premium Kentucky Bluegrass sod
	Premium sunny grass seed blend with straw mat. (Class 1 Type B single net)

LANDSCAPE NOTES:

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THE AMERICAN CENTER FIFTH ADDITION

LOT 48 LANDSCAPE PLAN
Madison, Wisconsin

Date: January 6, 2023
Scale: 1/16"=1'-0"
Designer: kms
Job #

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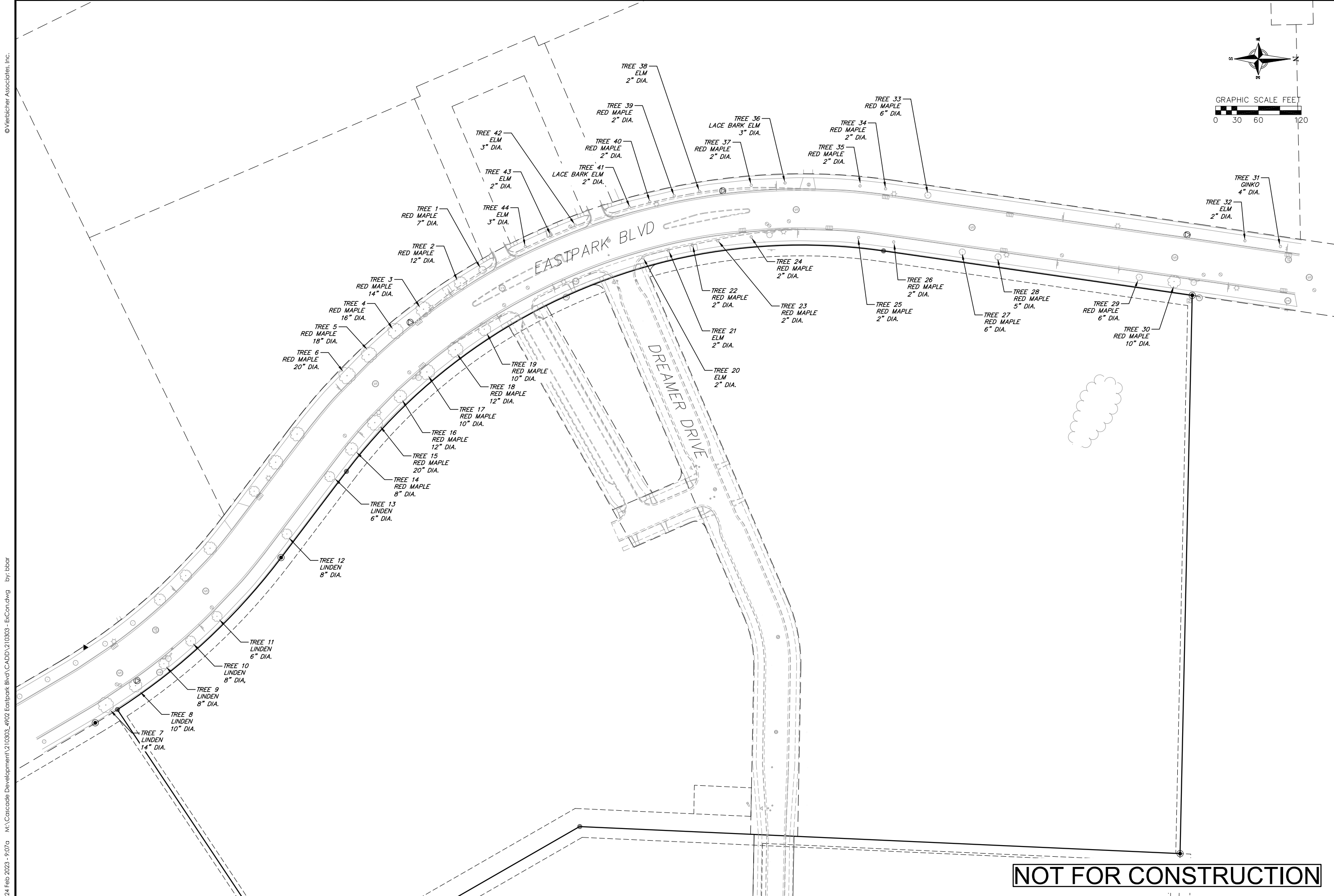
Revisions:
2023.01.26
2023.02.17
2023.02.24

Reference Name:
Cascade Development

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SHEET NUMBER

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Street Trees
Cascade Phase 1 - The American Center
City of Madison
Dane County, Wisconsin

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1 OF 1

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City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506
Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 4846 Eastpark Blvd - Lot 47-48

Contact Name & Phone #: Greg Held - 608-836-3690

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered , fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? <i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.