

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

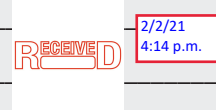
Aldermanic District _____

Zoning District _____

Urban Design District _____

Submission reviewed by _____

Legistar # _____



Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: 7104 Watts Road, Madison, WI

Title: Texas Roadhouse

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested March 10, 2021

- New development Alteration to an existing or previously-approved development
 Informational Initial approval Final approval

3. Project Type

- Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex

Signage

- Comprehensive Design Review (CDR)
 Signage Variance (i.e. modification of signage height, area, and setback)
 Signage Exception

Other

- Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name Jennifer Mowen
Street address 21 South Evergreen Ave, Suite 200
Telephone 630-207-7946

Company GreenbergFarrow
City/State/Zip Arlington Heights/ IL /60005
Email jmwowen@greenbergfarrow.com

Project contact person Jennifer Mowen
Street address 21 South Evergreen Ave, Suite 200
Telephone 630-207-7946

Company GreenbergFarrow
City/State/Zip Arlington Heights/ IL /60005
Email jmwowen@greenbergfarrow.com

Property owner (if not applicant) 7050 Watts Rd, LLC
Street address 1600 East Plano Parkway
Telephone 972-834-6010

City/State/Zip Plano/ TX /75074
Email dstewart@dec-en.com

5. Required Submittal Materials

- Application Form**
- Letter of Intent**
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development Plans** (Refer to checklist on Page 4 for plan details)
- Filing fee**
- Electronic Submittal***
- Notification to the District Alder**
 - Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Janine Glaeser and Chrissy Thiele on January 29, 2021.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Jennifer Mowen Relationship to property Agent for Texas Roadhouse Purchaser
 Authorizing signature of property owner *Daniel Strat* Date February 2, 2021

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

*** All plans must be legible, including the full-sized landscape and lighting plans (if required)*

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

- Grading Plan
- Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

February 2, 2021

To: City of Madison Planning Division
Urban Design Commission
215 Martin Luther King, JR. Blvd.
Madison WI 53701-2985
T: 608.266-4635

Re: Texas Roadhouse Signage Comprehensive Design Review - Letter of Intent

Enclosed is an application seeking a Comprehensive Design Review (CDR) approval for signage for a new Texas Roadhouse restaurant to be located at 7104 Watts Road. Texas Roadhouse is currently under contract to purchase approximately 1.41 acres from At Home for the development of an approximate 8,305-square foot new out of ground single story stand-alone restaurant with estimated interior dining seating capacity to be 330 seats. A separate "To Go" vestibule is provided for employee/customer interaction for take-out orders. As you may be aware, our PD-SIP for this project was granted final approval at the January 19th 2021 Common Council meeting.

We are proposing an identification wall sign (Sign A) along the front, south, building elevation and two (2) smaller wall signs (Signs B & C) above the main entrance and "To Go" doors along the east side of the building. Sign D is LED banding intended to accentuate the building façade. A freestanding monument sign (Sign E) is proposed near the southeast corner of the site. All proposed building and wall signage will be located on the property that will be owned by Texas Roadhouse.

Sign A

Texas Roadhouse does not advertise via traditional means such as television, radio, or print advertisements and as such, the wall sign on the front façade is intended to capture the first-time customer. The size of the sign, including the State of Texas/Hat Logo, has been limited to 80 square feet in order to adhere to the maximum 80 square feet allowed by Sign Control Ordinance Section 31.07. Our proposal has purposefully refrained from proposing wall signage on the rear, north, façade as the code's square footage limitation would not allow for signage to be visible enough from West Beltline Highway.

Signs B & C

Signs B & C comply with the square footage requirements of Sign Control Ordinance Section 31.07. However we are respectfully asking for relief from Section 31.07 (2a) to allow for CDR approval of two (2) signs on this façade. Sign B is designed to guide dine in guests to the main entrance/exit door and Sign C is designed to guide take out customers to the "To Go" door. Special emphasis has been placed on the interior layout of the building so that a separate "To Go" vestibule will be provided which will allow take out customers to pick up their food in a safe and efficient manner while not having to traverse thru the main

vestibule where dine in customers gather. This design has been especially critical to providing a safe customer experience during the COVID 19 pandemic and is an operational measure that will continue even once the pandemic has subsided. Therefore, it is critical that both dine in and take out guests are provided with easy way finding cues.

Sign E

The proposed freestanding monument sign is located near the southeast corner of the site and is within the property boundaries of the land that will be purchased by Texas Roadhouse. The height and square footage of the sign has been designed to be compatible with the existing At Home sign located on the opposite side of the drive aisle.

Listed below is how our application relates to the Zoning Code standards for a Comprehensive Review:

1. The proposal shall create visual harmony between the signs, building(s), and building site through unique and exceptional use of materials, design, color, any lighting, and other design elements; and shall result in signs of appropriate scale and character to the uses and building(s) on the zoning lot as well as adjacent buildings, structures and uses.
 - a. *All proposed signs are harmonious in their use of materials, design, color and logos that customers associate with wayfinding to the restaurant. The size of the signage has considered the residential character of the neighborhood to the south while also allowing for visibility for customers to safely navigate their way to the site.*
2. Each element shall be found to be necessary due to unique or unusual design aspects in the architecture or limitations in the building site or surrounding environment; except that when a request for an Additional Sign Code Approval under Sec. 31.043(3) is included in the Comprehensive Design Review, the sign(s) eligible for approval under Sec. 31.043(3) shall meet the applicable criteria of Sec. 31.043(3), except that sign approvals that come to Comprehensive Design Review from MXC and EC districts pursuant to 31.13(3) and (7) need not meet the criteria of this paragraph.
 - a. *The signage described above is determined to be found necessary for safe customer wayfinding to the site, as well as, within the site.*
3. The proposal shall not violate any of the stated purposes described in Secs. 31.02(1) and 33.24(2).
 - a. *This proposal does not violate Secs. 31.02(1) and 33.24(2).*
4. All signs must meet minimum construction requirements under Sec.31.04(5).
 - a. *All signs do meet the minimum construction requirements.*
5. The proposal shall not approve Advertising beyond the restrictions in Sec. 31.11 of Off-Premise Directional Signs beyond the restrictions in Sec.31.115.
 - a. *This proposal does not approve additional advertising for Sec. 31.11 nor does it approve any off-premise signage.*
6. The proposal shall not be approved if any element of the plan:
 - a. presents a hazard to vehicular or pedestrian traffic on public or private property,
 - b. obstructs view at points of ingress and egress of adjoining properties,
 - c. obstructs or impedes the visibility of existing lawful signs on adjacent property, or
 - d. negatively impacts the visual quality of public or private open space.
 - i. *This proposal does not do any of the above listed items.*

7. The proposal may only encompass signs on private property of the zoning lot or building site in question, and shall not approve any signs in the right of way or public property.
 - a. *All proposed signage included in this application is located on private property to be purchased by Texas Roadhouse.*

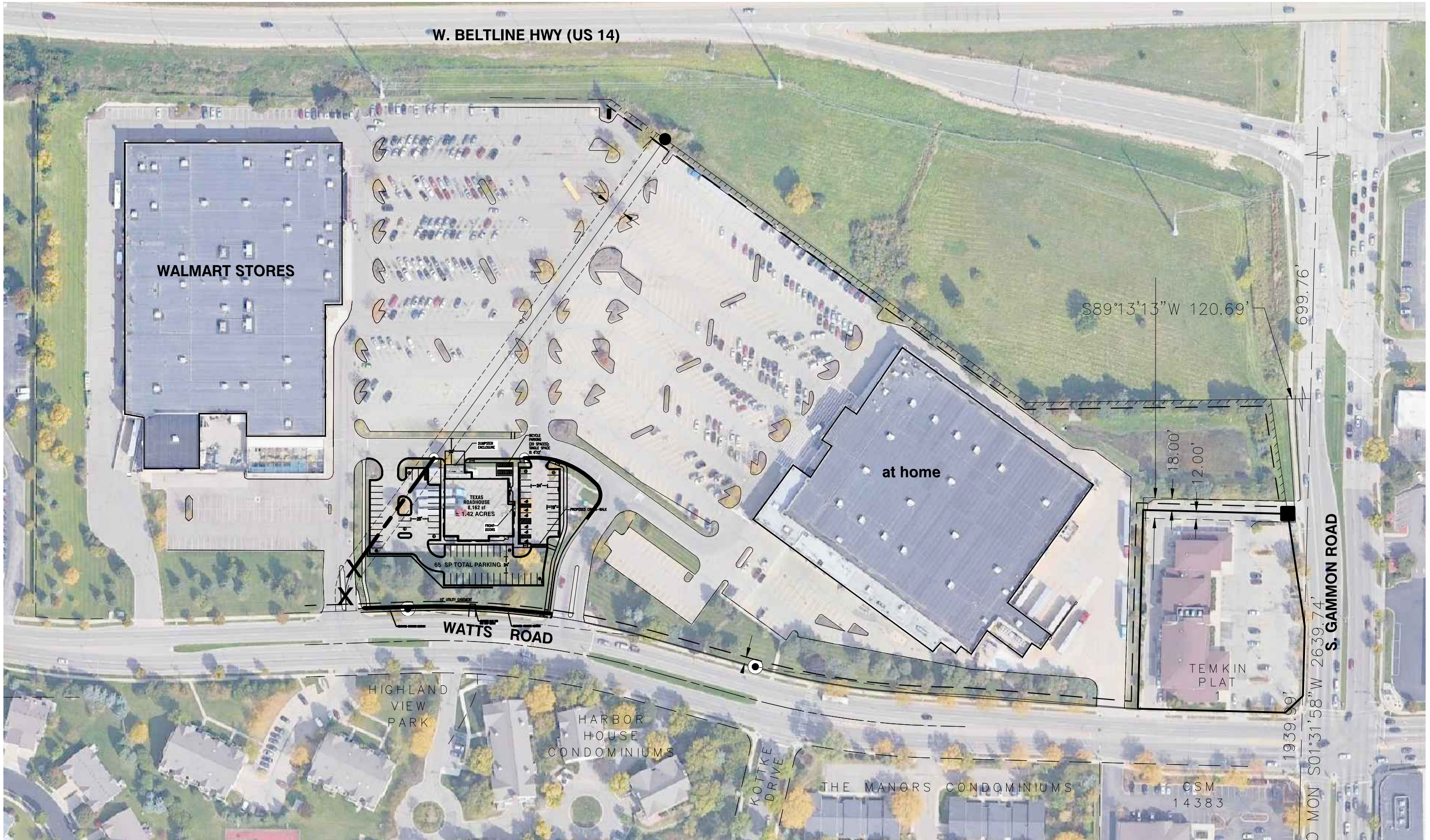
Please do not hesitate to contact me should you require clarification or need additional information related to our proposed signage.

Sincerely,



Jennifer M. Mowen, ASLA, CDP
Associate Principal
GreenbergFarrow

Cc: Daniel Stewart, Development Engineering Consultants, LLC
Danielle Benedict, GreenbergFarrow





GENERAL SITE NOTES:

- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SITE SETBACKS, EASEMENTS AND DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST STATE AND LOCAL GOVERNMENT CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- ALL HANDICAP ACCESSIBLE SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND REQUIREMENTS.
- IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED BY THE CONTRACTOR AFTER SUCH A DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
- CONTRACTOR SHALL COORDINATE ALL SITE IMPROVEMENTS WITH ARCHITECTURAL PLANS. ARCHITECTURAL PLANS SHALL BE USED FOR BUILDING STAKEOUT.
- CONTRACTOR SHALL COORDINATE ALL LANDSCAPE IMPROVEMENTS, INCLUDING NEW PLANTINGS AND TURF AREA RESTORATION REQUIREMENTS, WITH LANDSCAPE PLANS.
- CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL DIMENSIONS SHOWN ARE MEASURED FROM FACE OF CURB TO FACE OF CURB OR EDGE OF PAVEMENT TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL CURB RADI ARE MEASURED AT THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL NEW ASPHALT AND/OR CONCRETE PAVING SHALL MATCH EXISTING PAVEMENTS FLUSH.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
- ALL DETECTABLE WARNING PLATES SHALL BE PREFORMED PLASTIC INSERTS UNLESS OTHERWISE NOTED.
- SEE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

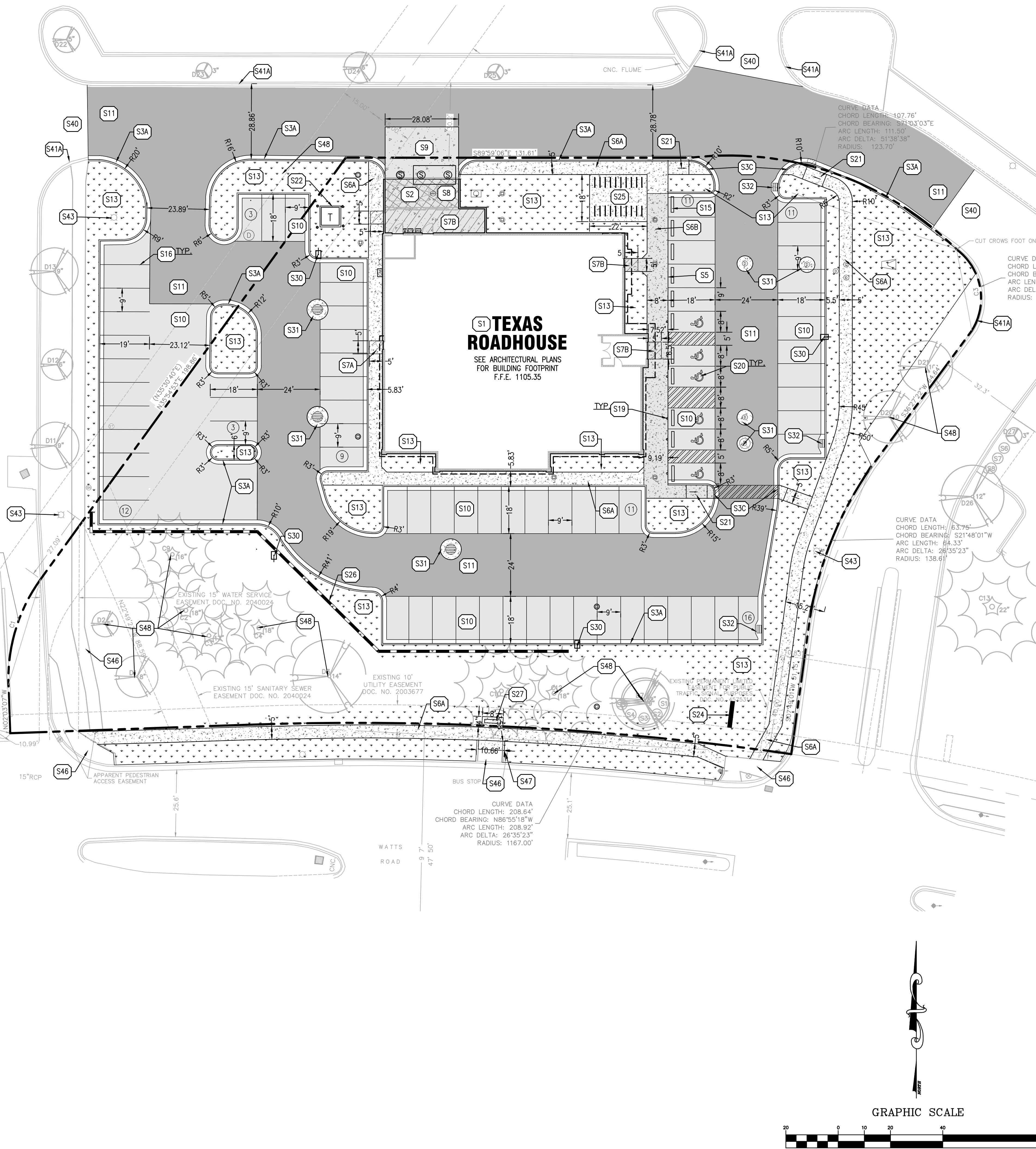
- SITE PLAN NOTES:**
- REFER TO THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY TERRACON CONSULTANTS, INC. AND DATED SEPTEMBER XXX, 2020 FOR ADDITIONAL INFORMATION REGARDING THE EXISTING SOIL CONDITIONS AND SUBGRADE PREPARATION REQUIREMENTS AND PROPOSED PAVEMENT RECOMMENDATIONS (TERRACON PROJECT NO. XXX).
 - SEE CONSTRUCTION DETAILS SHEET C7.0 FOR PAVEMENT SECTION DETAILS.
 - SEE GENERAL NOTES SHEET C1.0 FOR EXISTING LEGEND.

PROJECT INFORMATION:

SITE AREA:	±1.41 ACRES
ZONED:	PD-SIP
PROPOSED BUILDING AREA:	8,305 SQ. FT.
PROPOSED USE:	RESTAURANT
PARKING REQUIRED:	60 STALLS MINIMUM, 161 STALLS MAXIMUM (MIN. 15% OF SEATING CAPACITY, MAX. 40% OF SEATING CAPACITY, 402 OCCUPANTS)
PARKING PROVIDED:	62 STALLS (INCLUDES 6 ADA STALLS)
BIKE PARKING REQUIRED:	+14 STALLS ON WAL-MART PARCEL
BIKE PARKING PROVIDED:	20 BIKE SPACES (5% OF SEATING CAPACITY, 402 OCCUPANTS)

PAVEMENT HATCH LEGEND:

- PROPOSED CONCRETE SIDEWALK
5" PORTLAND CEMENT CONCRETE
4" AGGREGATE BASE
- PROPOSED INTEGRAL BLACK CONCRETE SIDEWALK
5" PORTLAND CEMENT CONCRETE
4" AGGREGATE BASE
- PROPOSED CONCRETE LANDING
6" PORTLAND CEMENT CONCRETE
(SEE STRUCTURAL PLANS FOR REINFORCEMENT, AGGREGATE, AND SUBGRADE REQUIREMENTS)
- PROPOSED INTEGRAL BLACK COLORED CONCRETE LANDING
6" PORTLAND CEMENT CONCRETE
(SEE STRUCTURAL PLANS FOR REINFORCEMENT, AGGREGATE, AND SUBGRADE REQUIREMENTS)
- PROPOSED HEAVY DUTY INTEGRAL BLACK COLORED CONCRETE
7" PORTLAND CEMENT CONCRETE
SEE STRUCTURAL PLANS FOR REINFORCEMENT, AGGREGATE, AND SUBGRADE REQUIREMENTS)
- PROPOSED HEAVY DUTY INTEGRAL BLACK COLORED CONCRETE SLAB
7" PORTLAND CEMENT CONCRETE
4" AGGREGATE BASE
- PROPOSED ASPHALT PAVEMENT
1.75" ASPHALT SURFACE COURSE
1.75" ASPHALT BASE COURSE
8" AGGREGATE BASE
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
2" ASPHALT SURFACE COURSE
3" ASPHALT BASE COURSE
8" AGGREGATE BASE
- PROPOSED LANDSCAPE AREA
(SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION AND DETAILS)

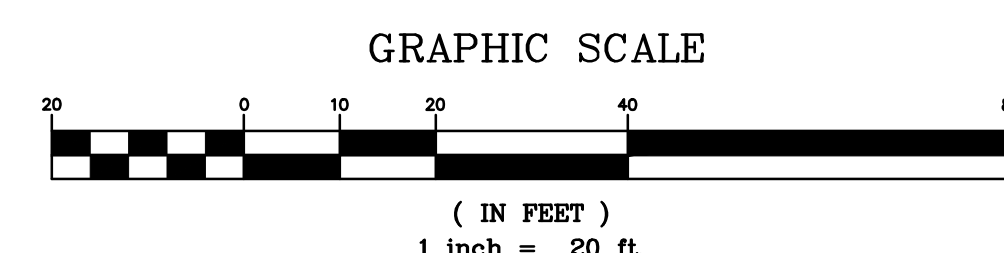


PROPOSED LEGEND:

- PROPERTY LINE
 - PROPOSED CONCRETE CURB AND GUTTER
 - PROPOSED DEPRESSED CURB AND GUTTER
 - PROPOSED PARKING STALL COUNT
 - PROPOSED CONCRETE WHEEL STOP
 - PROPOSED SIGN
 - PROPOSED LIGHT POLE
 - PROPOSED STORM SEWER STRUCTURES
 - PROPOSED STORM SEWER GREASE INTERCEPTOR
 - PROPOSED SANITARY SEWER STRUCTURES
 - PROPOSED SANITARY SEWER GREASE INTERCEPTOR
 - PROPOSED FIRE HYDRANT
 - PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
 - PROPOSED GATE VALVE AND VALVE BOX
 - PROPOSED TRANSFORMER PAD AND STEEL BOLLARDS
 - PROPOSED GAS METER
 - PROPOSED ELECTRIC METER, CT CABINET AND DISCONNECT
- NOTE: SEE SHEET C1.0 FOR EXISTING LEGEND

SITE KEY NOTES:

- S1 PROPOSED TEXAS ROADHOUSE BUILDING (SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S2 PROPOSED TRASH ENCLOSURE (SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S3A PROPOSED CONCRETE CURB AND GUTTER
- S3C PROPOSED DEPRESSED CONCRETE CURB AND GUTTER
- S5 PROPOSED MONOLITHIC CONCRETE CURB AND SIDEWALK
- S6A PROPOSED CONCRETE SIDEWALK
- S6B PROPOSED INTEGRAL BLACK CONCRETE SIDEWALK
- S7A PROPOSED CONCRETE LANDING (SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S7B PROPOSED INTEGRAL BLACK COLORED CONCRETE LANDING (SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S8 PROPOSED HEAVY DUTY INTEGRAL BLACK COLORED CONCRETE (SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S9 PROPOSED HEAVY DUTY INTEGRAL BLACK COLORED CONCRETE SLAB (SEE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION AND DETAILS)
- S10 PROPOSED ASPHALT PAVEMENT
- S11 PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- S13 PROPOSED LANDSCAPE AREA (SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S15 PROPOSED PRECAST CONCRETE WHEEL STOP (TYP. OF 11)
- S16 PROPOSED 4" WHITE PAVEMENT STRIPING PER LOCAL CODE
- S19 PROPOSED HANDICAP ACCESSIBLE PARKING SIGN PER LOCAL CODE (TYP. OF 6)
- S20 PROPOSED HANDICAP ACCESSIBLE PARKING STALL STRIPING AND SYMBOL PER LOCAL CODE (TYP.)
- S21 PROPOSED HANDICAP ACCESSIBLE CURB RAMP AT 12:1 MAXIMUM SLOPE PER LOCAL CODES
- S22 PROPOSED CONCRETE TRANSFORMER PAD WITH STEEL BOLLARD PROTECTION (CONTRACTOR SHALL COORDINATE CONCRETE TRANSFORMER PAD LOCATION, SIZE AND THICKNESS WITH ELECTRIC COMPANY PRIOR TO INSTALLATION)
- S24 PROPOSED MONUMENT SIGN
- S25 PROPOSED MAGLIN MB502 BIKE RACKS WITH BLACK POWDER COATED FINISH (TOTAL OF 20 BIKE RACKS PROVIDING 20 BICYCLE PARKING SPACES - SEE DETAIL ON SHEET C7.1)
- S26 PROPOSED MODULAR BLOCK RETAINING WALL (COLOR AND STYLE BY OWNER)
- S27 PROPOSED URBANSCAPE KENTLAND SERIES BENCH MODEL D1422S WITH FAUX WOOD AND SURFACE MOUNT OPTIONS
- S30 PROPOSED LIGHT POLE (CONTRACTOR SHALL CONNECT POWER SUPPLY FOR NEW LIGHT POLES TO TEXAS ROADHOUSE SITE LIGHTING CIRCUITRY)
- S31 PROPOSED 8" THICK CONCRETE COLLAR (SEE STORM SEWER STRUCTURE DETAILS ON SHEET C7.1)
- S32 PROPOSED CURB TRANSITION (SEE STORM SEWER STRUCTURE DETAILS ON SHEET C7.1)
- S40 EXISTING ASPHALT PAVEMENT TO REMAIN
- S41A EXISTING CONCRETE CURB AND GUTTER TO REMAIN
- S43 EXISTING LIGHT POLE TO REMAIN
- S46 EXISTING SIDEWALK TO REMAIN
- S47 EXISTING SIGN TO REMAIN
- S48 EXISTING TREE TO REMAIN AND BE PROTECTED



PROJECT TEAM

DATE	DESCRIPTION
09/24/20	DEVELOPER REVIEW
10/06/20	PERMIT SUBMITTAL

ISSUE/REVISION RECORD

DATE	DESCRIPTION
09/24/20	DEVELOPER REVIEW
10/06/20	PERMIT SUBMITTAL



PROFESSIONAL IN CHARGE
KERI WILLIAMS
PROFESSIONAL ENGINEER
LICENSE NO. 42288

PROJECT MANAGER
MATTHEW H. BUDDÉ

QUALITY CONTROL
EDWARD GOSS

DRAWN BY
MATTHEW H. BUDDÉ

PROJECT NAME
TEXAS ROADHOUSE

MADISON
1500 S
ATTN: ROAD
MADISON, WI

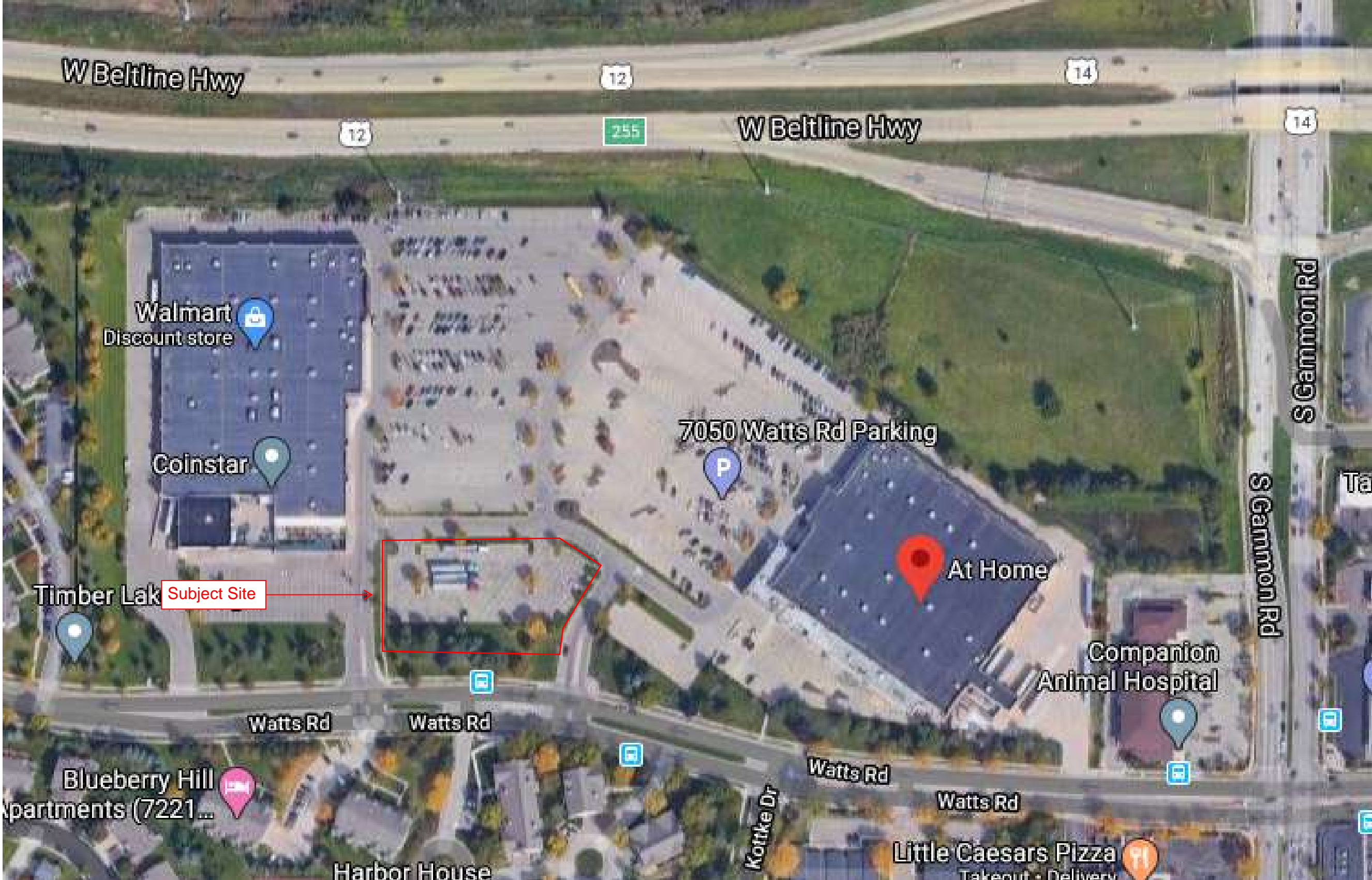


PROJECT NUMBER
20191059.0

SHEET TITLE
SITE

SHEET NUMBER

7050 Watts Road - Location Map



Texas Roadhouse – Night Signage Exhibit



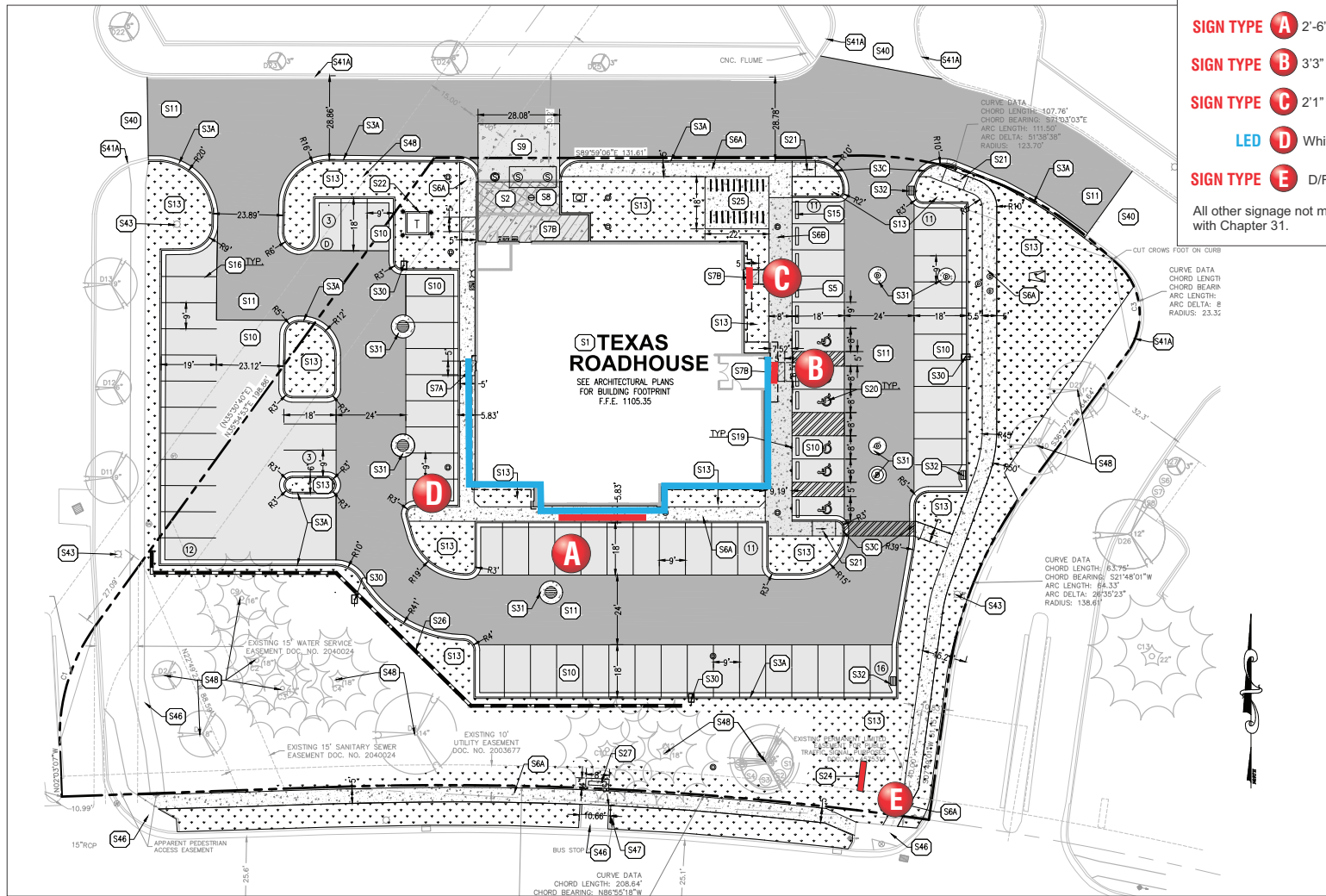
Texas Roadhouse – Madison, WI
7104 Watts Road – Night Signage Exhibit

GFA Project No.20191059.0
CDR Submittal February 2, 2021



Texas Roadhouse – Madison, WI
7104 Watts Road – Night Signage Exhibit

GFA Project No.20191059.0
CDR Submittal February 2, 2021



- SIGN TYPE A** 2'-6" Neon Channel Letterset w/ 3' logo.
 - SIGN TYPE B** 3'3" x 5'7" S/F Neon Wall Sign.
 - SIGN TYPE C** 2'1" x 3'10" S/F Neon Wall Sign.
 - LED D** White LED Border Lighting.
 - SIGN TYPE E** D/F LED Monument Sign.
- All other signage not mentioned in this CDR shall comply with Chapter 31.

SIGN PLACEMENT



160 W. Carmel Drive, Suite 236 Carmel, IN 46032
 (317) 581-7790 Fax (317) 581-7783

Manufacturing Facilities:
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 Office Locations:
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Revisions:
 1/29/21-SM-Revised Sign A: Channel letterset and Sign E: Monument Sign.
 Colors Depicted In This Rendering May Not Match Actual Finished Materials. Refer To Product Samples For Exact Color Match
 Client Approval/Date:
 Landlord Approval/Date:

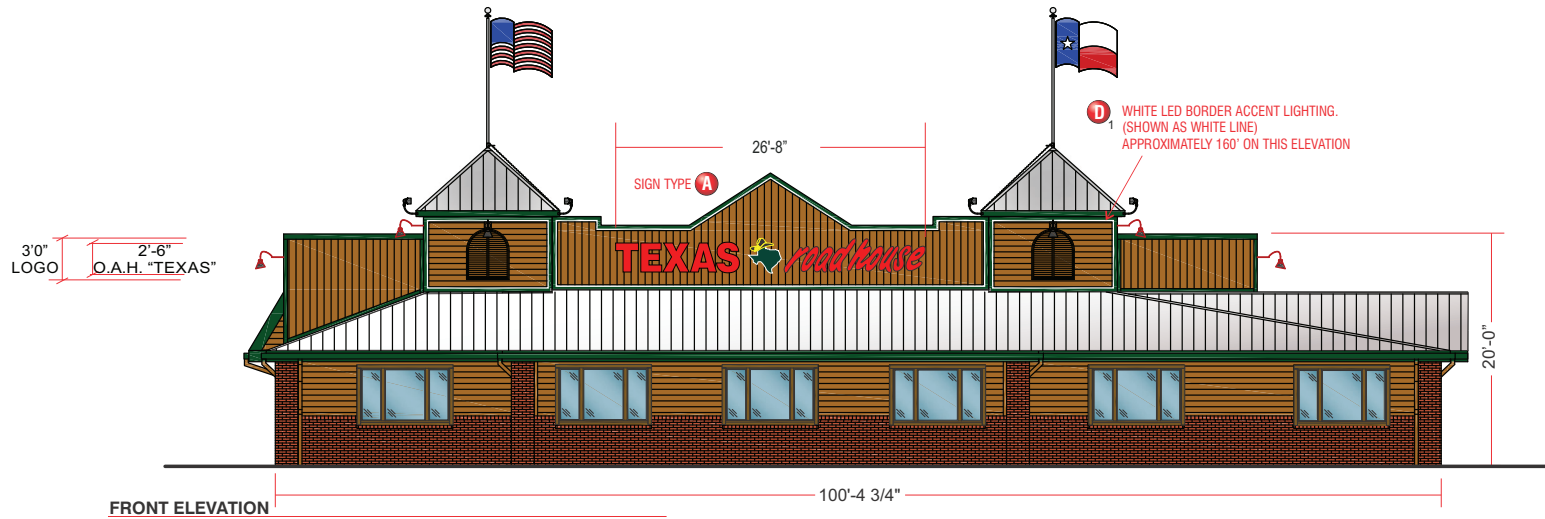
Account Rep: Randy Cearlock
 Project Manager: S. Maeser
 K. Singleton
 Drawn By:
 Underwriters Laboratories Inc. ELECTRICAL TO USE U.L.-48 LISTED COMPONENTS AND SHALL MEET ALL NEC REQUIREMENTS

Project / Location:

 7050 WATTS RD.
 MADISON, WISCONSIN, 53719

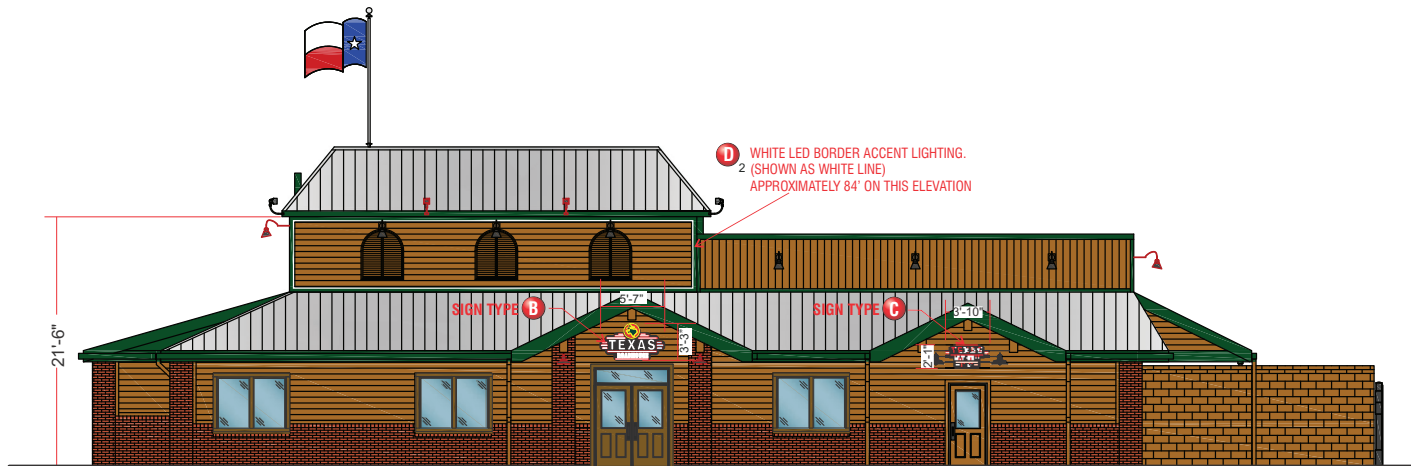
Job Number: 23-64715-10
 Date: March 5, 2021
 Sheet Number: 1 Of 8
 Design Number: 23-64715-10R1

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FRONT ELEVATION

SCALE : 3/32" = 1'-0"



RIGHT ELEVATION

SCALE : 3/32" = 1'-0"



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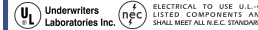
Revisions:

1/29/21-SM-Revised Sign A: Channel letterset and Sign E: Monument Sign.

Client Approval/Date: _____
 Landlord Approval/Date: _____

Colors Depicted In This Rendering May Not Match Actual Finished Materials. Refer To Product Samples For Exact Color Match

Account Rep: Randy Cearlock
 Project Manager: S. Maeser
 Drawn By: K. Singleton



Project / Location:

TEXAS roadhouse
 7050 WATTS RD.
 MADISON, WISCONSIN, 53719

Job Number: **23-64715-10**

Date: **March 5, 2021**

Sheet Number: **2** Of **8**

Design Number: **23-64715-10R1**

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LEFT ELEVATION

SCALE : 3/32" = 1'-0"



REAR ELEVATION

SCALE : 3/32" = 1'-0"



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 Client Approval/Date: _____
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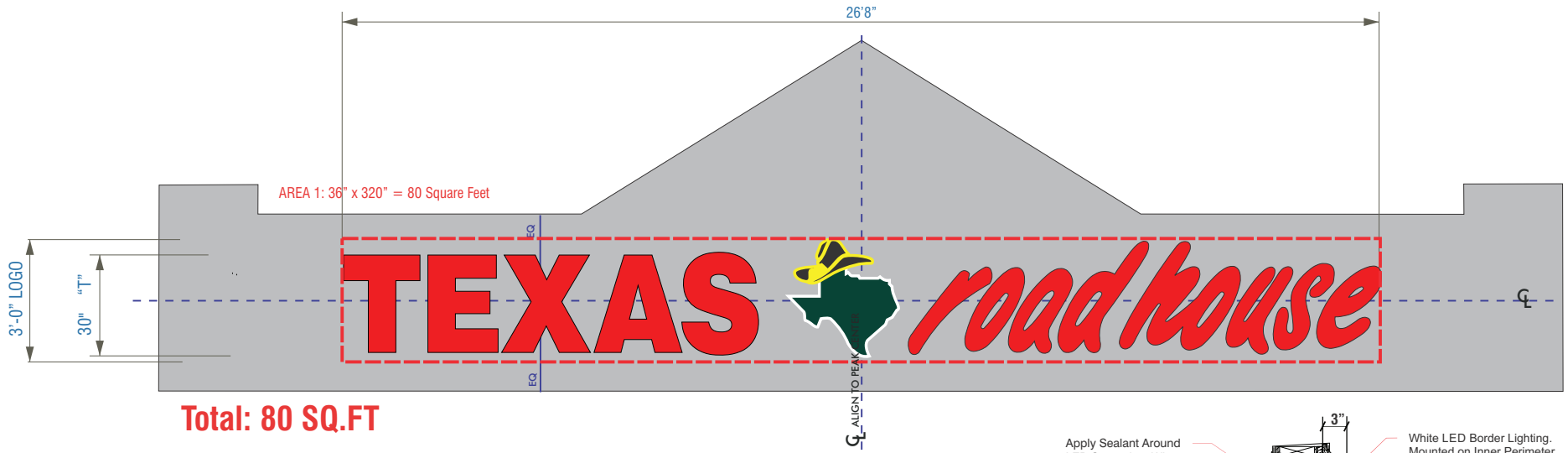
Account Rep: **Randy Cearlock**
 Project Manager: **S. Maeser**
 Drawn By: **K. Singleton**
 Underwriters Laboratories Inc.  ELECTRICAL TO USE U.L.-48 LISTED COMPONENTS AND SHALL MEET ALL R.E.C. STANDARDS

Project / Location:

**7050 WATTS RD.
 MADISON, WISCONSIN, 53719**

Job Number: **23-64715-10**
 Date: **March 5, 2021**
 Sheet Number: **3** Of **8**
 Design Number: **23-64715-10R1**

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Total: 80 SQ.FT

SIGN TYPE A Individual Lighted Channel Letters- One (1) Set Req'd.

SCOPE OF WORK:

Manufacture and install channel letters having remote transformers located in accessible area behind wall.

SCALE: 3/8" = 1'-0"

INSTALLER IS RESPONSIBLE FOR:
 PROVIDING AND INSTALLING ALL COMPONENTS REQUIRED TO RUN SECONDARY WIRING (CONNECTORS, GTO CONDUIT, ETC.) TO BE DETERMINED BY LOCAL CODE AND SITE CONDITIONS.
 PROVIDING ALL NEEDED INSTALLATION HARDWARE AS DETERMINED BY LOCAL CODE AND SITE CONDITIONS.

ELECTRICAL REQUIREMENTS PER SIGN

Total: 16.8 Amps

(2) 120V 20A Circuit Required .

ALL BRANCH CIRCUITS SHALL BE DEDICATED TO SIGNS (INCLUDING GROUND AND NEUTRAL) AND SHALL NOT BE SHARED WITH OTHER LOADS.

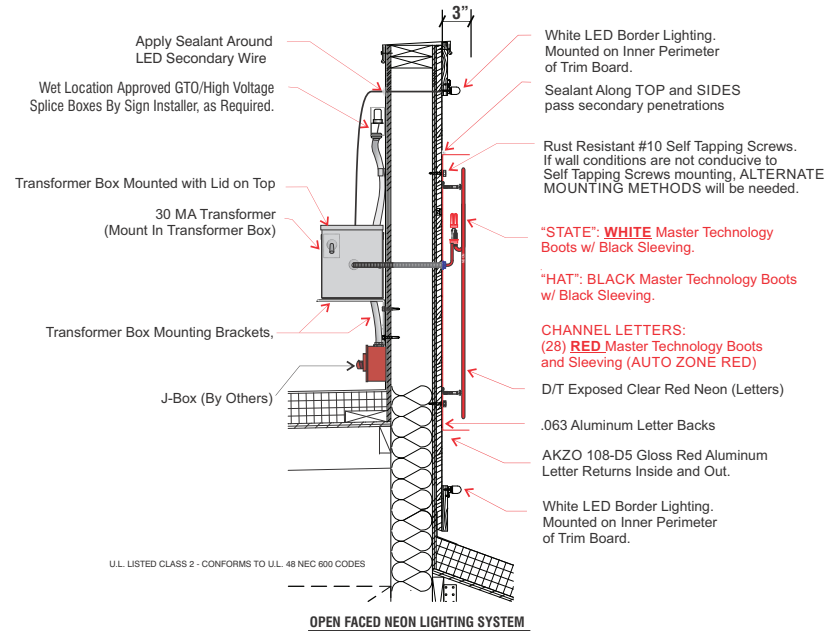
MATERIAL FINISH COLORS

AKZO 108-D5 Gloss Red	Double Tube Clear Red Neon	AKZO Gloss White	2100-24 Dk. Green Vinyl Applied to White Face Leaving White Outline.	Outlined W/ 6500Brite White Argon Tubing.	Match PMS-122	2100-03 Black Vinyl elements Applied to Yellow Bkgd. Leaving Yellow Outline.	Overlay "Hat" w/ Single Tube Clear Brite Yellow Argon Tubing.
Letters: Returns and Face	Letters	Logo: "State" Returns and Face	Logo: "State"	Logo: "State"	Logo: "Hat" Returns & Face.	Logo: "Hat"	Logo: "Hat"

CUSTOMER TO PROVIDE:

ALL BRANCH (PRIMARY ELECTRICAL SERVICE) CIRCUITS & FINAL CONNECTION TO EACH SIGN (WITHIN 5 FT.) TO BE BY CERTIFIED ELECTRICIAN:
 A. All branch circuits for signs must be totally dedicated to signs (including dedicated ground and dedicated neutral per circuit).
 B. Sign circuits must not be shared with other loads such as lighting, air conditioning, and other equipment.
 C. Properly sized ground wire that can be traced back to the breaker panel must be provided.
 D. Number and size of circuits for each sign to meet Federal Health Sign's requirement.
 Any deviation from the above recommendations may result in:
 1. Damage to or improper operation of the sign(s).
 2. Delays and additional costs.

Notes: - Certain electrical components of signs will fail prematurely if signs are not shut-off for a period of time, once, each day. For best performance, we recommend signs to be connected to an automatic controlling device such as an Energy Management System, Time Clock or Photo Cell that will automatically shut-off the sign for a period of time, each day. Failure to do so will cause damage to the electrical components of the sign and will void the warranty.
 - Some dimming devices will also adversely affect sign electrical components, causing failure. Any dimming of the sign without consultation with Federal Health Sign Co. will void the warranty.



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Revisions:

1/29/21-SM-Revised Sign A: Channel letter set and Sign E: Monument Sign.

Colors Depicted In This Rendering May Not Match Actual Finished Materials. Refer To Product Samples For Exact Color Match

Client Approval/Date:

Landlord Approval/Date:

Account Rep: **Randy Cearlock**

Project Manager: **S. Maeser**

Drawn By: **K. Singleton**



Project / Location:

TEXAS roadhouse
 7050 WATTS RD.
 MADISON, WISCONSIN, 53719

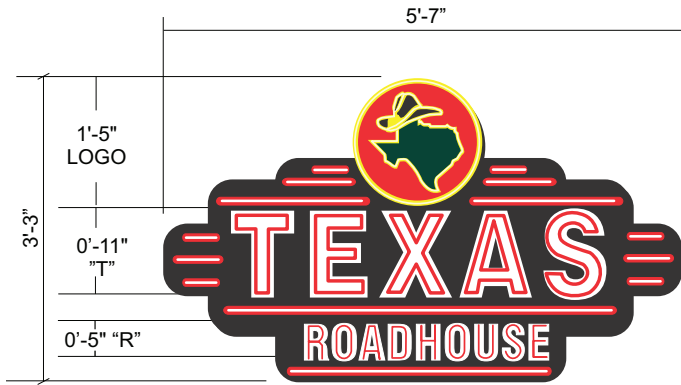
Job Number: **23-64715-10**

Date: **March 5, 2021**

Sheet Number: **4** Of **8**

Design Number: **23-64715-10R1**

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Single Face Illuminated Wall Sign One (1) Req'd

SIGN TYPE **B**

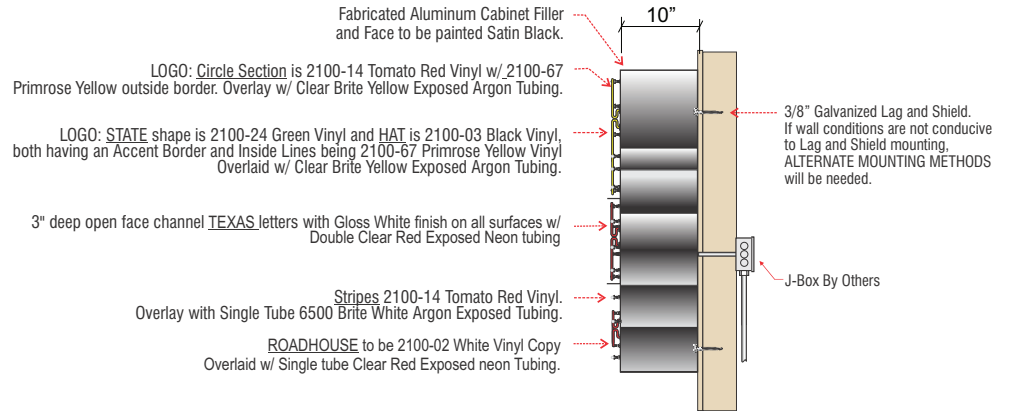
18.1 SQ.FT.

Scale: 3/4"= 1'-0"

SCOPE OF WORK:

Manufacture and install S/F illuminated wall sign.

PART # TR18WSN



Typical Cabinet End View

CUSTOMER TO PROVIDE:
 (For New / Remodel Construction) ADEQUATE BEHIND THE WALL BACKING AND ACCESS AS REQUIRED TO INSTALL SIGNAGE. CUSTOMER TO FORWARD COPY OF FINAL APPROVED SIGNAGE DRAWINGS TO BUILDING SITE CONTACT SO THAT THESE PROVISIONS CAN BE MADE DURING CONSTRUCTION AND PRIOR TO SIGN INSTALLATION.

ALL BRANCH (PRIMARY ELECTRICAL SERVICE) CIRCUITS & FINAL CONNECTION TO EACH SIGN (WITHIN 5 FT.) TO BE BY CERTIFIED ELECTRICIAN:
 A. All branch circuits for signs must be totally dedicated to signs (including dedicated ground and dedicated neutral per circuit).
 B. Sign circuits must not be shared with other loads such as lighting, air conditioning, and other equipment.
 C. Properly sized ground wire that can be traced back to the breaker panel must be provided.
 D. Number and size of circuits for each sign to meet Federal Health Signs requirement.

Any deviation from the above recommendations may result in:
 1. Damage to or improper operation of the sign(s).
 2. Delays and additional costs.

Notes: ○ Certain electrical components of signs will fail prematurely if signs are not shut-off for a period of time, once, each day. For best performance, we recommend signs to be connected to an automatic controlling device such as an Energy Management System, Time Clock or Photo Cell that will automatically shut-off the sign for a period of time, each day. Failure to do so will cause damage to the electrical components of the sign and will void the warranty.
 ○ Some dimming devices will also adversely affect sign electrical components, causing failure. Any dimming of the sign without consultation with Federal Health Sign Co. will void the warranty.

INSTALLER IS RESPONSIBLE FOR:
 PROVIDING AND INSTALLING ALL COMPONENTS REQUIRED TO RUN SECONDARY WIRING (CONNECTORS, GTO CONDUIT, ETC.) TO BE DETERMINED BY LOCAL CODE AND SITE CONDITIONS.

PROVIDING ALL NEEDED INSTALLATION HARDWARE AS DETERMINED BY LOCAL CODE AND SITE CONDITIONS.

SEALING BUILDING PENETRATIONS WITH SILICONE TO PREVENT MOISTURE PENETRATION @ EXTERIOR LOCATIONS..

ELECTRICAL REQUIREMENTS	
Total: <u>7.72</u> Amps	ALL BRANCH CIRCUITS SHALL BE DEDICATED TO SIGNS (INCLUDING GROUND AND NEUTRAL) AND SHALL NOT BE SHARED WITH OTHER LOADS.
(1) 120V 20A Circuit Required.	

MATERIAL FINISH COLORS

AKZO Satin Black	AKZO Gloss White	Double Tube Clear Red Neon	Single tube Clear Brite Yellow Argon Tubing.	
Cabinet and Face Bkgd	"TEXAS" Letters Inside and outside.	"Texas" and "Roadhouse" Letters	Logo: Circle, Hat and State	
6500Brite White Argon Tubing.	2100-14 Tomato Red Vinyl	2100-24 Dk. Green Vinyl	2100-67 Primrose Yellow	2100-03 Black Vinyl elements Applied to Yellow Bkgd.
Stripes	Logo Circle and Stripe Bkgd.	Logo: "State"	Logo: Circle, Hat and State Border.	Logo: "Hat"



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Revisions:
 1/29/21-SM-Revised Sign A: Channel letter set and Sign E: Monument Sign.

Colors Depicted In This Rendering May Not Match Actual Finished Materials. Refer To Product Samples For Exact Color Match

Client Approval/Date: _____
 Landlord Approval/Date: _____

Account Rep: **Randy Cearlock**
 Project Manager: **S. Maeser**
 Drawn By: **K. Singleton**

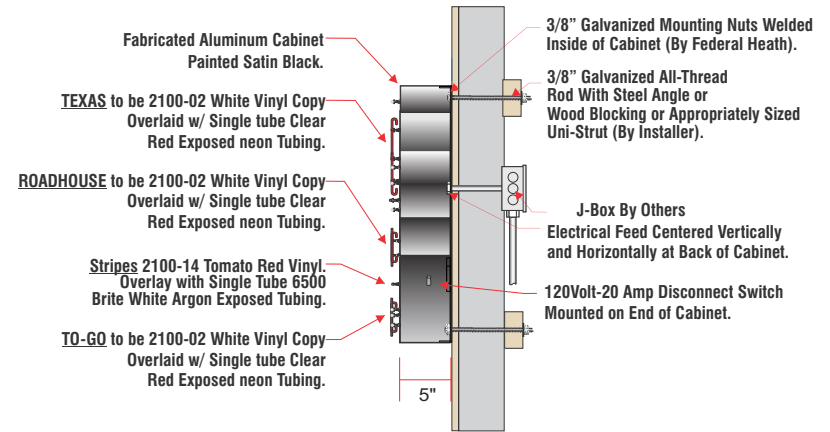
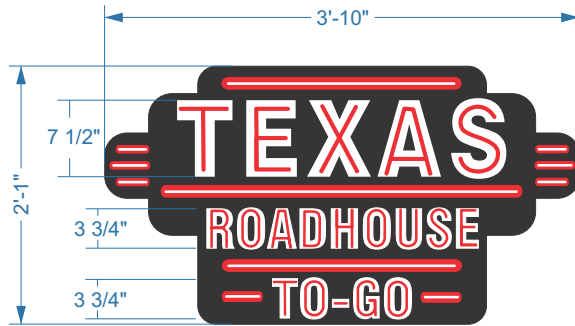
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Project / Location:

**7050 WATTS RD.
 MADISON, WISCONSIN, 53719**

Job Number: **23-64715-10**
 Date: **March 5, 2021**
 Sheet Number: **5** Of **8**
 Design Number: **23-64715-10R1**

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Typical Cabinet End View

SIGN TYPE **C**

Single Face Illuminated Wall Sign One (1) Req'd | 7.98 SQ.FT.

SCOPE OF WORK:

Manufacture and install S/F Internally illuminated wall sign.

Scale: 1" = 1'-0"

CUSTOMER TO PROVIDE:

(For New / Remodel Construction) ADEQUATE BEHIND THE WALL BACKING AND ACCESS AS REQUIRED TO INSTALL SIGNAGE. CUSTOMER TO FORWARD COPY OF FINAL APPROVED SIGNAGE DRAWINGS TO BUILDING SITE CONTACT SO THAT THESE PROVISIONS CAN BE MADE DURING CONSTRUCTION AND PRIOR TO SIGN INSTALLATION.

ALL BRANCH (PRIMARY ELECTRICAL SERVICE) CIRCUITS & FINAL CONNECTION TO EACH SIGN (WITHIN 5 FT.) TO BE BY CERTIFIED ELECTRICIAN:

- A. All branch circuits for signs must be totally dedicated to signs (including dedicated ground and dedicated neutral per circuit).
- B. Sign circuits must not be shared with other loads such as lighting, air conditioning, and other equipment.
- C. Properly sized ground wire that can be traced back to the breaker panel must be provided.
- D. Number and size of circuits for each sign to meet Federal Heath Sign's requirement.

Any deviation from the above recommendations may result in:

- 1. Damage to or improper operation of the sign(s).
- 2. Delays and additional costs.

Notes:

- Certain electrical components of signs will fail prematurely if signs are not shut-off for a period of time, once, each day. For best performance, we recommend signs to be connected to an automatic controlling device such as an Energy Management System, Time Clock or Photo Cell that will automatically shut-off the sign for a period of time, each day. Failure to do so will cause damage to the electrical components of the sign and will void the warranty.
- Some dimming devices will also adversely affect sign electrical components, causing failure. Any dimming of the sign without consultation with Federal Heath Sign Co. will void the warranty.

INSTALLER IS RESPONSIBLE FOR:

PROVIDING AND INSTALLING ALL COMPONENTS REQUIRED TO RUN SECONDARY WIRING (CONNECTORS, GTO CONDUIT, ETC.) TO BE DETERMINED BY LOCAL CODE AND SITE CONDITIONS.

PROVIDING ALL NEEDED INSTALLATION HARDWARE AS DETERMINED BY LOCAL CODE AND SITE CONDITIONS.

SEALING BUILDING PENETRATIONS WITH SILICONE TO PREVENT MOISTURE PENETRATION @ EXTERIOR LOCATIONS..

ELECTRICAL REQUIREMENTS

Total: 7.72 Amps

(1) 120V 20A Circuit Required.

ALL BRANCH CIRCUITS SHALL BE DEDICATED TO SIGNS (INCLUDING GROUND AND NEUTRAL) AND SHALL

MATERIAL FINISH COLORS



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Revisions:

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Client Approval/Date:

Landlord Approval/Date:

Account Rep: Randy Cearlock

Project Manager: S. Maeser

Drawn By: K. Singleton



Project / Location:

TEXAS
roadhouse
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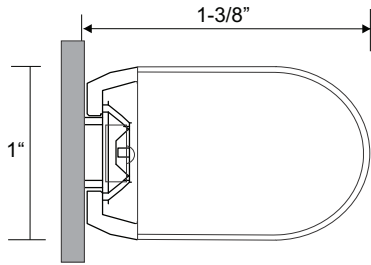
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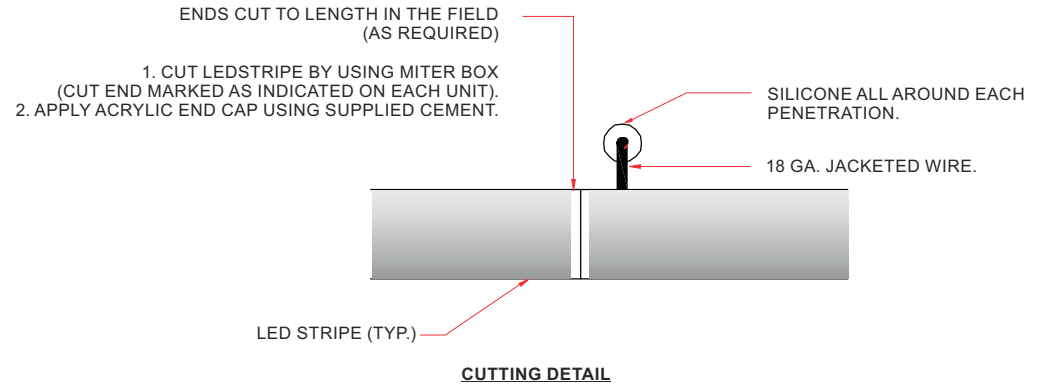
Sheet Number: **6** Of **8**

Design Number: **23-64715-10R1**

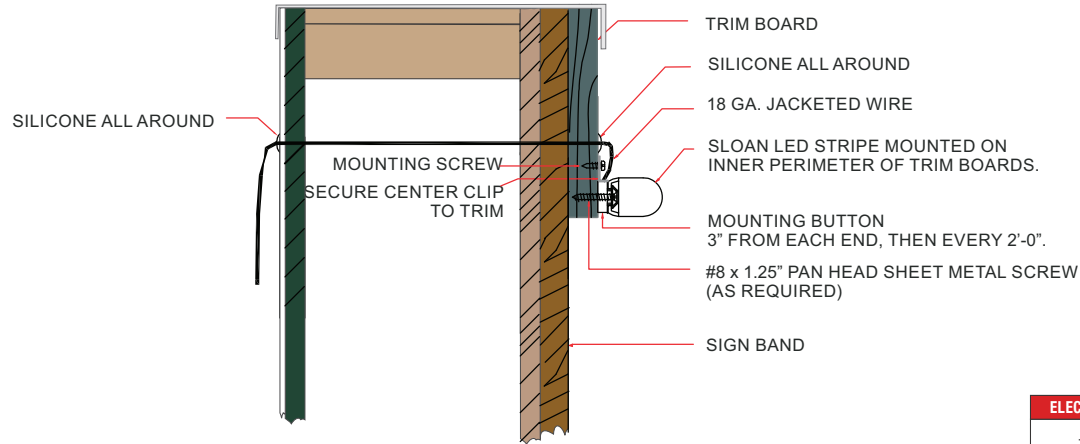
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CROSS SECTION (TYP.)



CUTTING DETAIL



CROSS SECTION-MOUNTING DETAIL (TYP.)

ELECTRICAL REQUIREMENTS	
Total: <u>6.0</u> Amps	ALL BRANCH CIRCUITS SHALL BE DEDICATED TO SIGNS (INCLUDING GROUND AND NEUTRAL) AND SHALL NOT BE SHARED WITH OTHER LOADS.
(<u>1</u>) 120V 20A Circuit Required.	

LED ACCENT LIGHTING **D** LEDSTRIP DETAIL

SCOPE OF WORK:

SCALE: NTS

Manufacture and install LED accent lighting on three elevation having remote transformers located in accessible area behind wall. (Transformers shall be mounted in Transformer Box if mounted outside of shelter.)



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 Drawn By: **K. Singleton**
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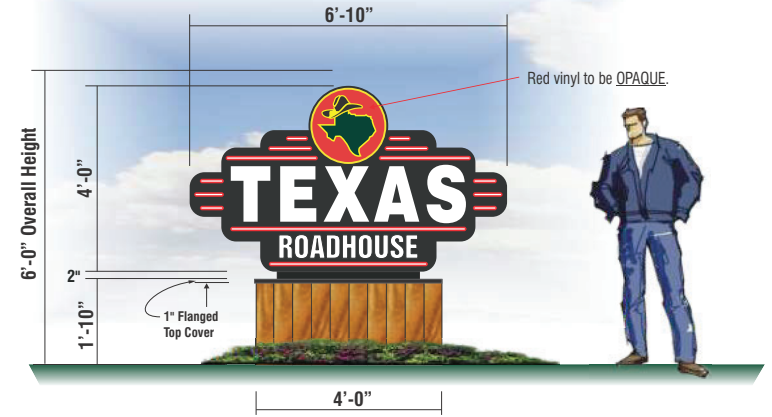
Job Number: **23-64715-10**
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 Sheet Number: **7** Of **8**
 Design Number: **23-64715-10R1**

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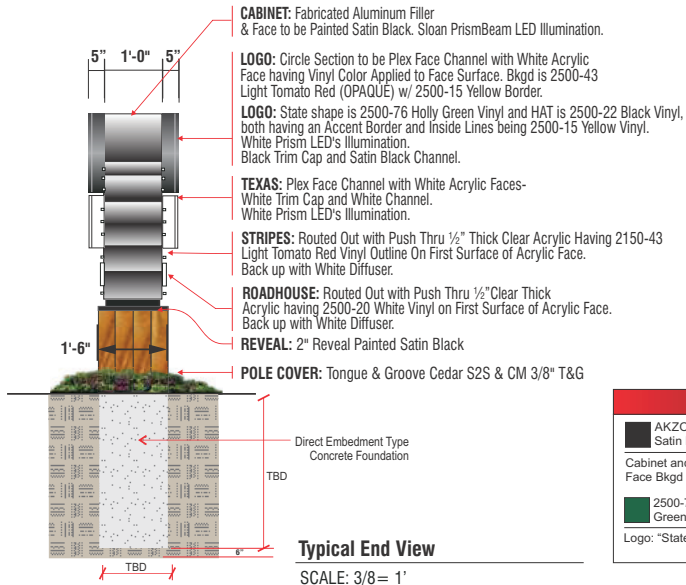
WATTS ROAD WEST BOUND



WATTS ROAD EAST BOUND



SIGN TYPE E DOUBLE SIDED INTERNALLY ILLUMINATED MONUMENT SIGN | ONE (1) REQUIRED | 27.33 SQ.FT.
 SCALE: 3/8" = 1"



STANDARD INSTALL IS TO BE DIRECT PIPE EMBEDMENT INTO CONCRETE FOOTING PER FH ENGINEERING SPECS.

MANUFACTURING WILL PROVIDE A STUB PIPE WITH SIGN CABINETS ONLY IF O.A.H. (CABINET + STUB PIPE) DOES NOT EXCEED 9'-7" MAXIMUM SHIPPING HEIGHT RESTRICTIONS.

NOTE: UPON CUSTOMER ACCEPTANCE, FEDERAL HEATH ENGINEERING DEPARTMENT WILL PROVIDE FABRICATION DRAWINGS & ENGINEERED SEAL DRAWINGS IF REQUIRED. THIS DRAWING IS FOR PRESENTATION ONLY.

MATERIAL FINISH COLORS		
AKZO Satin Black	2500-20 White Vinyl	2150-43 Light Tomato Red Vinyl
Cabinet and Face Bkgd	Copy	Logo Circle & Stripe Bkgd.
2500-76 Holly Green Vinyl	2500-15 Yellow Vinyl	2500-22 Black Vinyl Applied to Yellow Bkgd.
Logo: "State"	Logo: Circle, Hat & State Border.	Logo: "Hat"



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Job Number: **23-64715-10**
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