

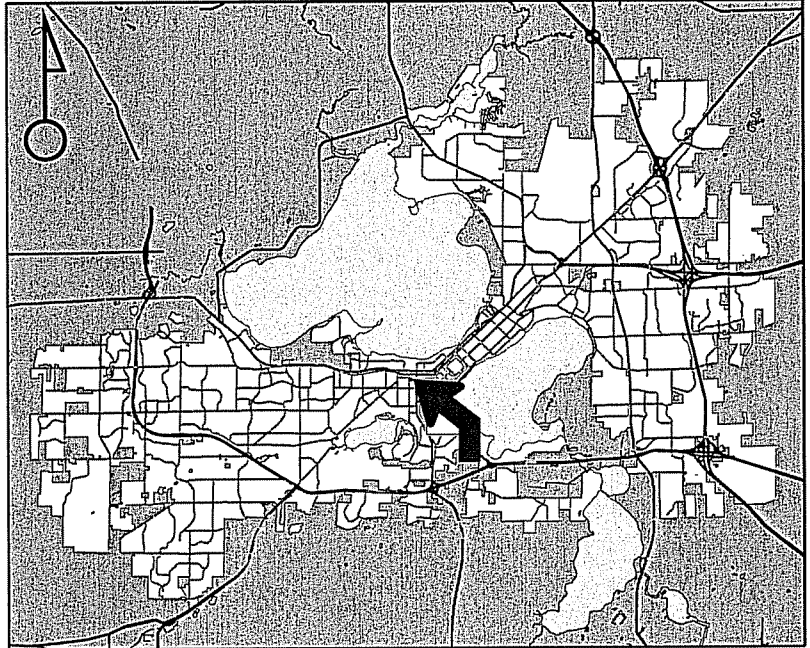


Location  
115 North Mills Street

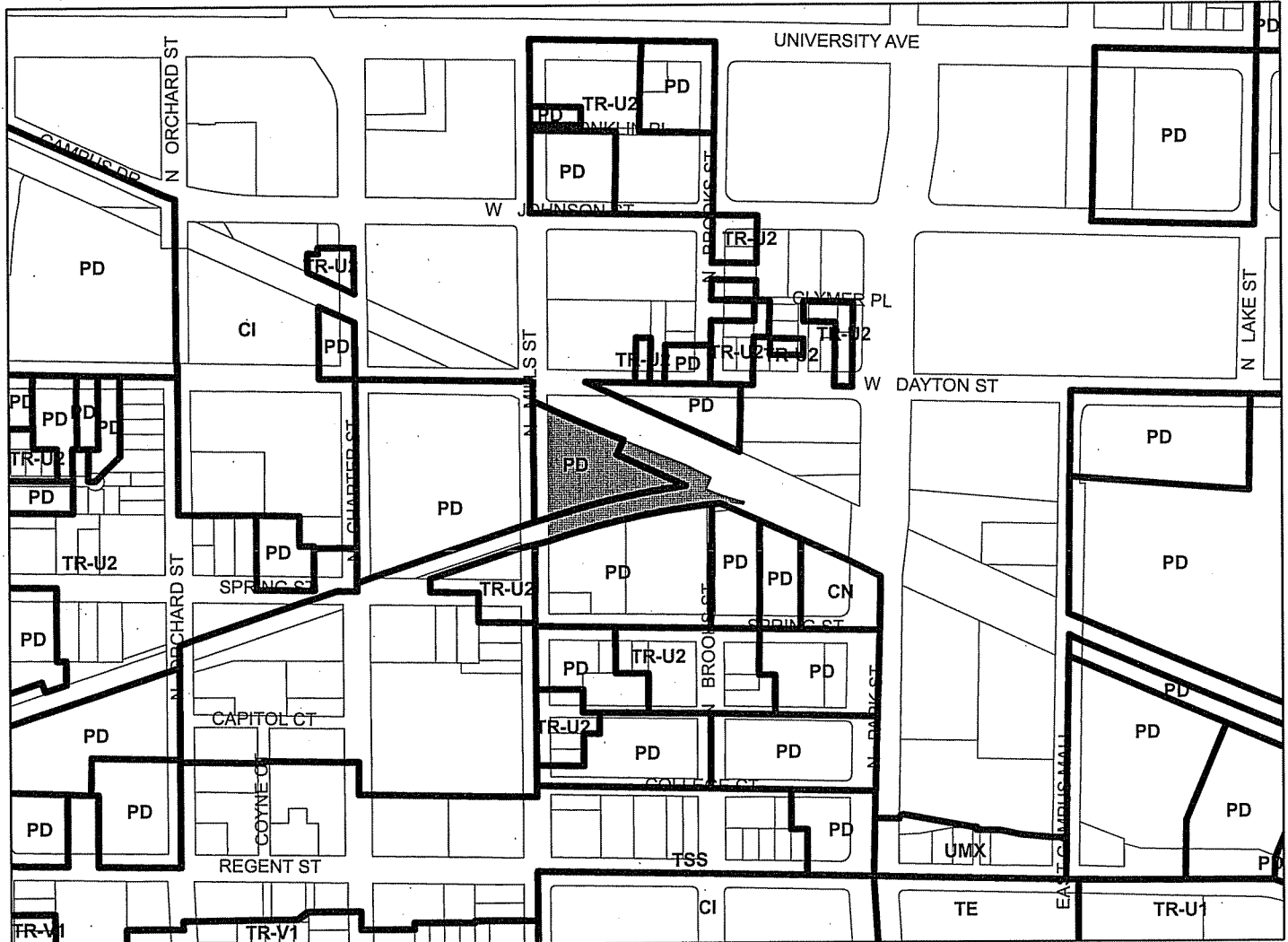
Applicant  
Board of Regents – UW System/  
Gary Brown – UW Madison

Proposed Use  
Extend approval period for surface  
parking lot on UW campus

Public Hearing Date  
Plan Commission  
18 May 2015

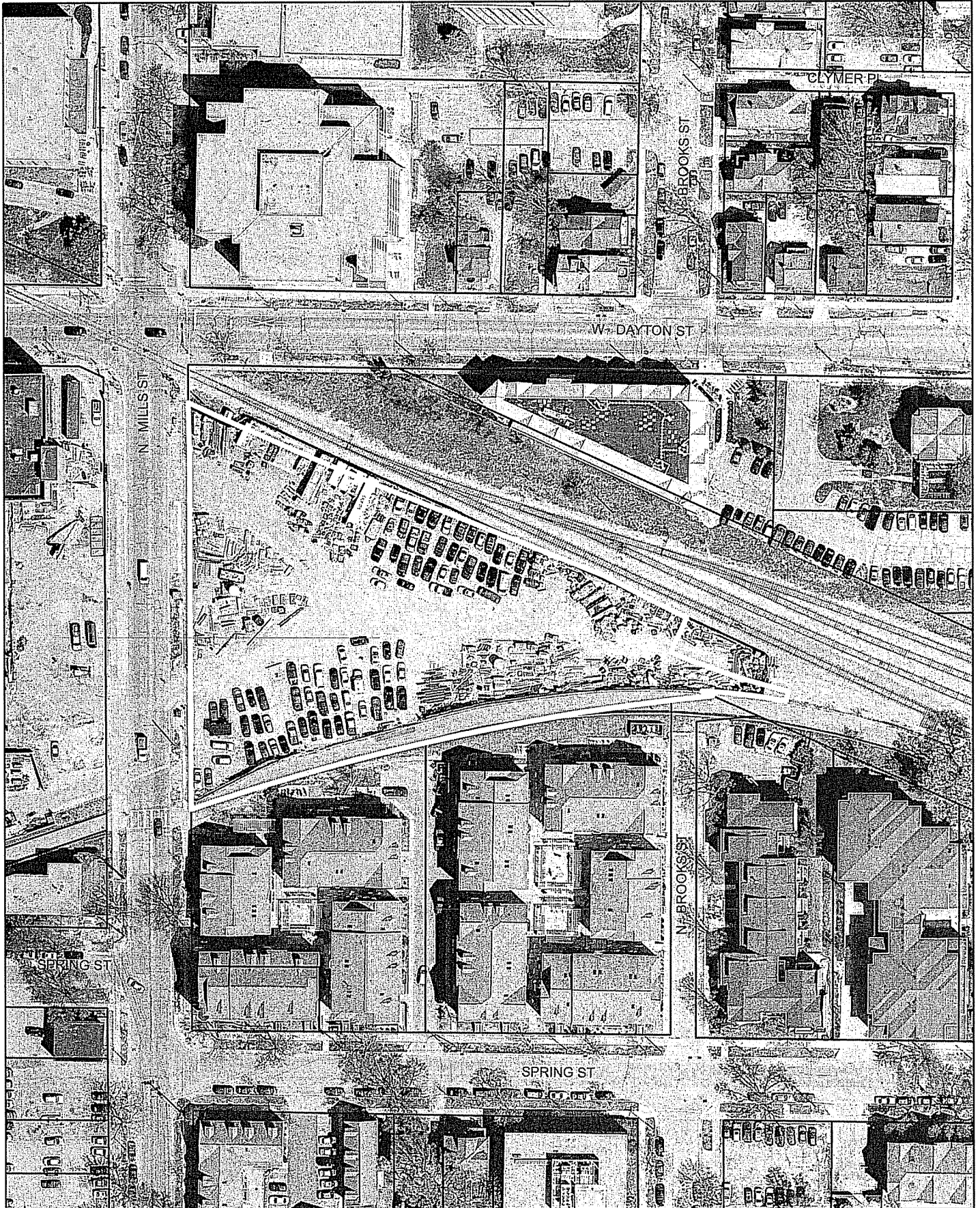


For Questions Contact: Tim Parks at: 261-9632 or [tparks@cityofmadison.com](mailto:tparks@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 11 May 2015





# LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:  
[www.cityofmadison.com/developmentcenter/landdevelopment](http://www.cityofmadison.com/developmentcenter/landdevelopment)

FOR OFFICE USE ONLY:	
Amt. Paid _____	Receipt No. _____
Date Received <u>4/6/15</u>	
Received By <u>JK</u>	
Parcel No. <u>0709-232-1730-5</u>	
Aldermanic District <u>8 Scott Resnick</u>	
Zoning District <u>CL, PD</u>	
Special Requirements <u>Zoned PD, Hold</u>	
Review Required By: <u>REHSF</u>	
<input type="checkbox"/> Urban Design Commission	<input type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. Project Address: 115 N. Charter Street / 115 N Mills St  
Project Title (if any): Chater Street Temporary Parking Lot

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from \_\_\_\_\_ to \_\_\_\_\_
- Major Amendment to Approved PD-GDP Zoning       Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: \_\_\_\_\_

### 3. Applicant, Agent & Property Owner Information:

Applicant Name: Gary Brown, Dir., Campus Planning & Landscape Company: UW-Madison, Facilities Planning & Management  
 Street Address: 610 Walnut St., Suite 900 WARF City/State: Madison, WI Zip: 53726  
 Telephone: (608) 263-3023 Fax: ( ) Email: gbrown@fpm.wisc.edu

Project Contact Person: same as above Company: \_\_\_\_\_  
 Street Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Telephone: ( ) Fax: ( ) Email: \_\_\_\_\_

Property Owner (if not applicant): Board of Regents, University of Wisconsin System  
 Street Address: 1220 Linden Drive City/State: Madison, WI Zip: 53706

### 4. Project Information:

Provide a brief description of the project and all proposed uses of the site: This is for the re-approval of a temporary parking lot.  
Constructed in the fall of 2012, it is necessary to extend the approval beyond the two-year timeframe until a building is identified through the 2015 master plan process for this site.

Development Schedule: Commencement NA Completion Completed in Fall 2012

## 5. Required Submittal Information

All Land Use applications are required to include the following:

**Project Plans** including:\*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altere buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

\* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

**Letter of Intent: Provide one (1) Copy per Plan Set** describing this application in detail including, but not limited to:

- |   |   |  |
|---|---|--|
| • Project Team                                | • Building Square Footage                       | • Value of Land  |
| • Existing Conditions                         | • Number of Dwelling Units                      | • Estimated Project Cost                                     |
| • Project Schedule                            | • Auto and Bike Parking Stalls                  | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft <sup>2</sup> of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested                                   |
| • Hours of Operation                          |   |  |

**Filing Fee:** Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

**Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

**Additional Information** may be required, depending on application. Refer to the Supplemental Submittal Requirements.

## 6. Applicant Declarations

**Pre-application Notification:** The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:  
Alder Scott Resnick, Notified 8/11/14 via email

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

**Pre-application Meeting with Staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Tim Parks/Jacob Moskowitz Date: 3/16/15 Zoning Staff: NA Date: NA

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Gary Brown Relationship to Property: owner's representative  
Authorizing Signature of Property Owner Gary Brown Date 4/6/15



April 6, 2015

Mr. Tim Parks  
City of Madison  
215 Martin Luther King Jr. Blvd  
Rm. LL-100, Municipal Building  
Madison, WI 53710

**RE: REVIEW OF ALTERATION TO A PLANNED DEVELOPMENT – L.O.I. FOR THE  
RE-APPROVAL OF A TEMPORARY PARKING LOT AT 115. N. CHARTER STREET**

Dear Mr. Parks,

This is an application for a review of alteration to a planned development. On July 19, 2011 the Common Council approved an amended PUD-GDP for the Charter Street Heating Plant project, which included an ancillary parking facility (Lot 45) directly east of the site. This approval had the following conditions:

*#38. That the next University master plan show the parking lot at 115 N. Mills Street as a temporary use, with the future long-term use of that site to be as a biomass storage and handling facility or academic building.*

*#39. That the approval of the interim parking lot at 115 N. Mills Street be valid for a period of two years following construction. Use of the parking lot beyond the two year period will require re-approval by the Plan Commission.*

The University is seeking re-approval to maintain this lot beyond 2-years as a temporary parking facility until a new building constructed per the Campus Master Plan is completed. The University-owned and operated off-street parking facility (Lot 45) was shown as a long-term temporary land use until a planned future bio-mass handling and storage building was to be constructed. Project budgeting and a shift in alternative energy focus eliminated this proposed building site in the near-term. The long-term goal in both the 2005, and anticipated in the 2015 Campus Master Plan is for this parking lot to be replaced with a future building. It is in the best interests of the University to reduce surface parking facilities in favor of integrated facilities whenever possible.

The attached materials include as-built plans for the parking lot as well as images as it appears today. Although this is viewed by the University as a temporary facility, please note the level of vegetative screening, tree plantings and upgraded lighting additions to enhance the visual appearance of this facility.

Please contact me at 608-263-3023 if you have any questions or need further information.

Thank you,

Gary A. Brown, FASLA  
Director, Campus Planning & Landscape Architecture  
Facilities Planning & Management, University of Wisconsin-Madison

cc: Alder Scott Resnick, District 8, City of Madison Common Council



# LAND USE APPLICATION

CITY OF MADISON

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PO Box 2985; Madison, Wisconsin 53701-2985  
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FOR OFFICE USE ONLY:	
Amt. Paid _____	Receipt No. _____
Date Received _____	
Received By _____	
Parcel No. _____	
Aldermanic District _____	
Zoning District _____	
Special Requirements _____	
Review Required By:	
<input type="checkbox"/> Urban Design Commission	<input type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

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**Street Address:** 610 Walnut St., Suite 900 WARF      **City/State:** Madison, WI      **Zip:** 53726  
**Telephone:** (608) 263-3023      **Fax:** ( )      **Email:** gbrown@fpm.wisc.edu

**Project Contact Person:** same as above      **Company:** \_\_\_\_\_  
**Street Address:** \_\_\_\_\_      **City/State:** \_\_\_\_\_      **Zip:** \_\_\_\_\_  
**Telephone:** ( )      **Fax:** ( )      **Email:** \_\_\_\_\_

**Property Owner (if not applicant):** Board of Regents, University of Wisconsin System  
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|---|---|--|
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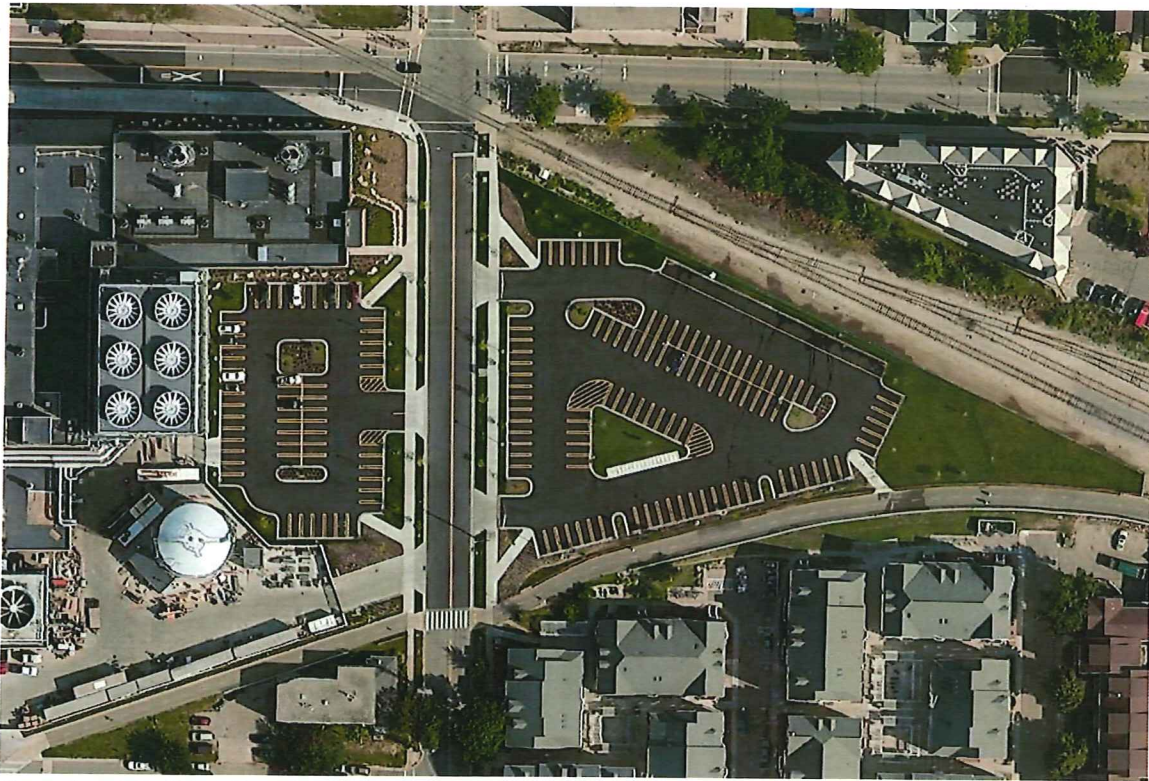
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The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Gary Brown Relationship to Property: owner's representative  
Authorizing Signature of Property Owner Gary Brown Date 4/6/15

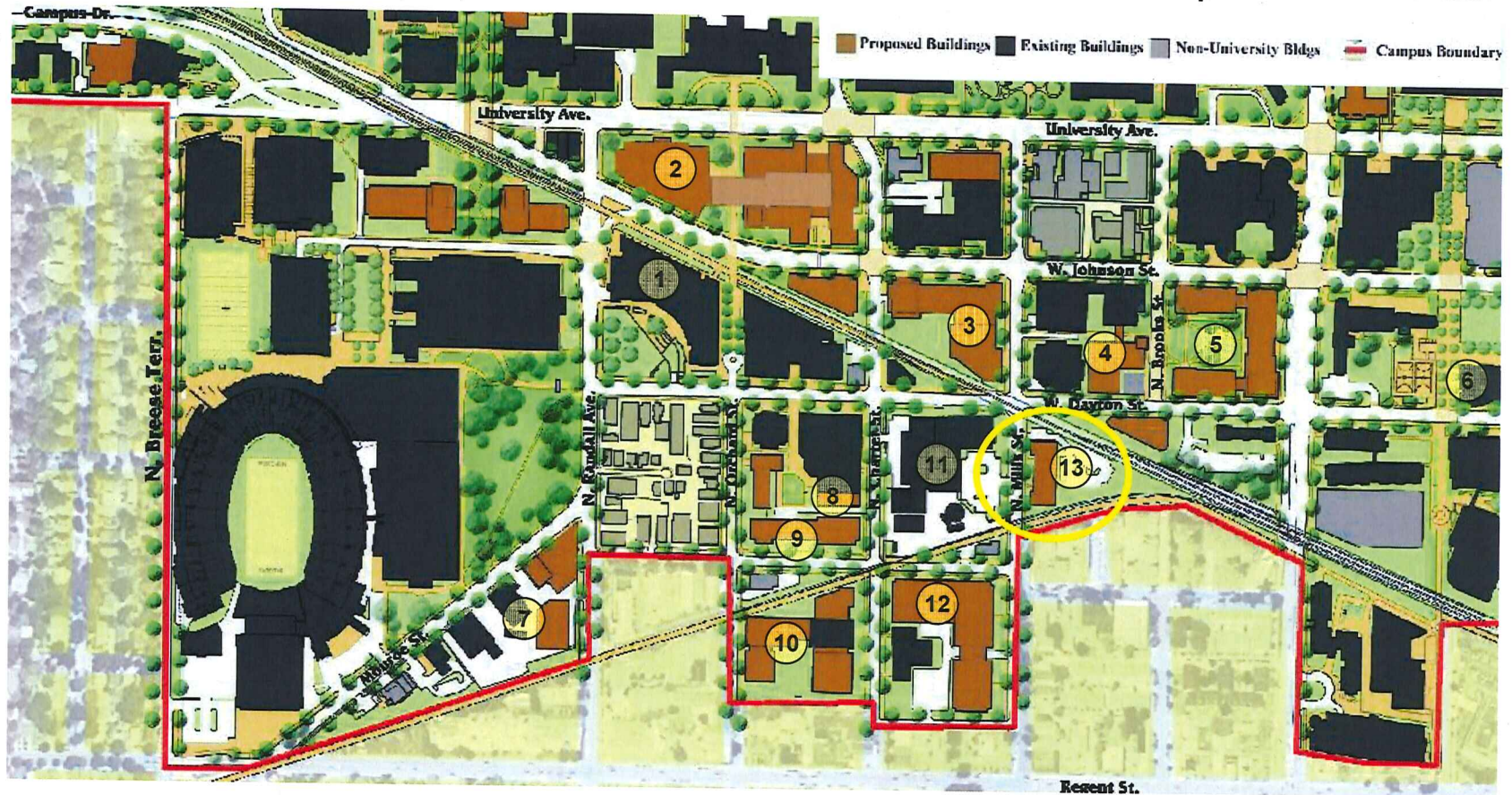


Completed Parking Lot, Spring 2013



Completed Parking Lot, Summer 2013 (View NE)



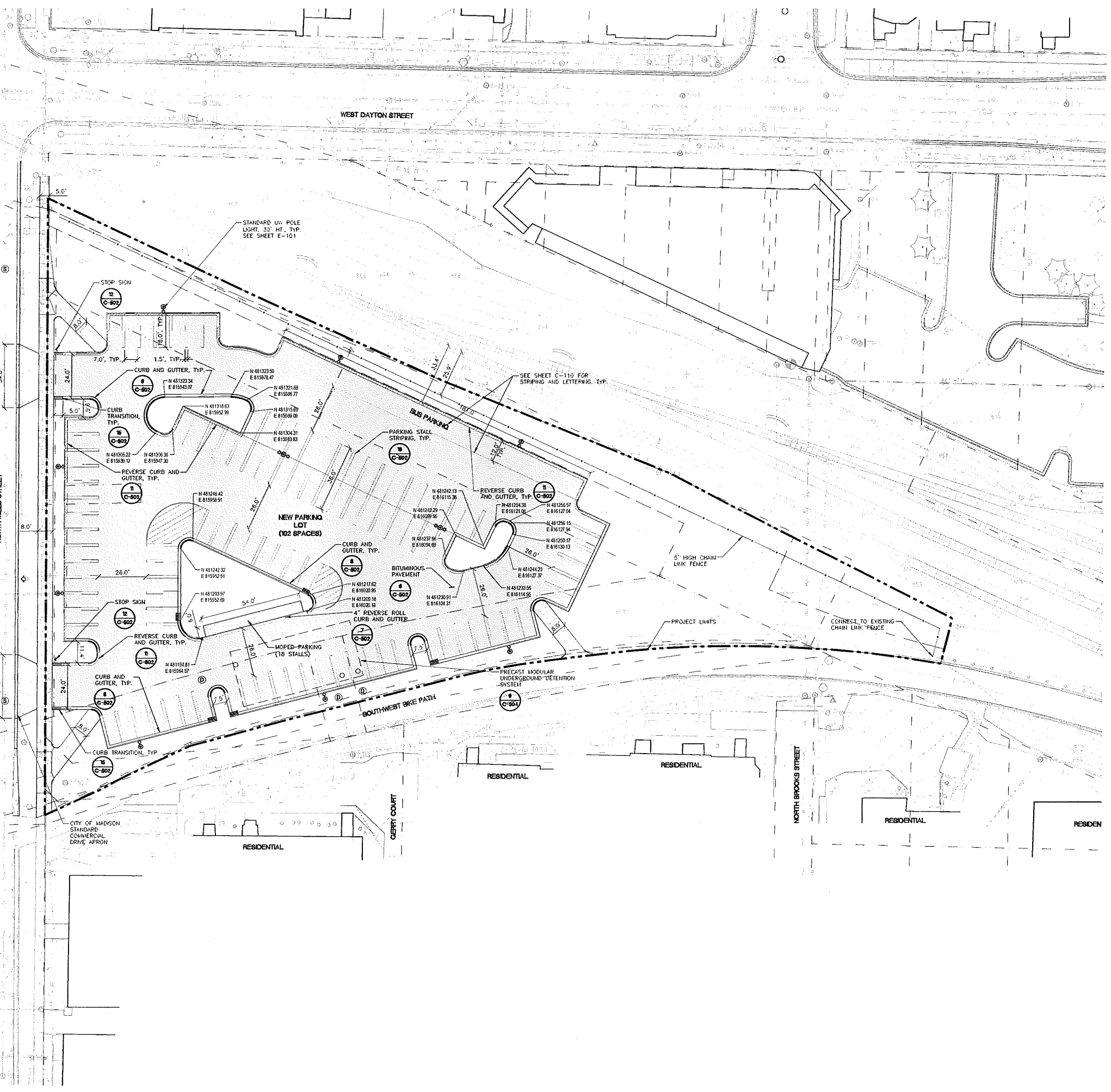


**Future (Completed) Identified Projects in the Regent Street South Campus Planning Area**

- |  |  |
|--|--|
| 1. Union South Redevelopment & Parking Structure | 8. Weeks Hall Addition                             |
| 2. Wisconsin Institutes of Discovery             | 9. Proposed Academic/Research Facility             |
| 3. Noland / Zoology Redevelopment                | 10. Primate Center Additions                       |
| 4. Educational Sciences Addition                 | 11. Charter Street Heating Plant Renovations       |
| 5. Proposed Academic/Research Facility           | 12. UW Physical Plant Services & Parking Structure |
| 6. Gordon Commons Renovation & Addition          | 13. Proposed Building for Existing Lot 45          |
| 7. UW Police Renovation & Addition               |  |

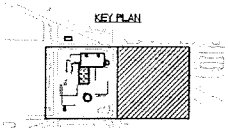
MATCHLINE - SEE SHEET C-103

MATCHLINE - SEE SHEET C-103



- SITE LAYOUT LEGEND:**
- PROJECT LIMITS
  - PROPERTY LINES
  - CONTROL JOINT
  - EXPANSION JOINT
  - CHAIN LINK FENCE
  - SCREEN WALL
  - STEEL FENCE
  - CURB AND GUTTER
  - SIGN
  - LIGHT POLE
  - FIRE LANE
  - CATCH BASIN/MANHOLE
  - REVERSE CURB
  - CONCRETE PAVEMENT
  - BITUMINOUS PAVEMENT

- SITE LAYOUT AND MATERIALS NOTES:**
1. CONTRACTOR SHALL CONTACT DIGGERS HOTLINE AND APPROPRIATE UTILITY COMPANIES TO FILE VERIFY UTILITIES PRIOR TO ANY CONSTRUCTION.
  2. SEE EXISTING CONDITIONS PLANS V-101 - V-103 FOR LEGEND OF EXISTING FEATURES, PROJECT CONTROL BENCHMARKS, AND CONTROL MOVEMENTS.
  3. LAYOUT INFORMATION WILL BE PROVIDED TO CONTRACTOR IN ELECTRONIC FORMAT FOR CONSTRUCTION LAYOUT. ALL DIMENSIONS SHOWN ARE FOR INFORMATIONAL PURPOSES ONLY. ANY DISCREPANCIES BETWEEN INFORMATION SHOWN ON CAD FILE SHALL BE BROUGHT TO ENGINEER/LANDSCAPE ARCHITECTS ATTENTION PRIOR TO CONSTRUCTION.
  4. IN ADDITION TO THOSE NOTED ON PLANS, EXPANSION JOINTS SHALL BE LOCATED AT ALL FIXED SITE STRUCTURES, I.E. BUILDING FACE, WALLS, ETC.
  5. ALL WORK IN THE PUBLIC RIGHT OF WAY TO BE PERFORMED BY CITY LICENSED CONTRACTORS.
  6. FINAL RESTORATION OF PUBLIC RIGHT OF WAY SHALL BE APPROVED SEPARATELY BY THE BOARD OF PUBLIC WORKS AND SHALL BE ISSUED ON CITY OF MADISON PLANS, SHOWN FOR REFERENCE ONLY.
  7. TYPICAL PARKING LOT DIMENSIONS SHOWN FROM FACE OF CURB TO FACE OF CURB.
  8. STANDARD U/L PARKING SIGNS NOT SHOWN TO BE PROVIDED BY OWNER.
  9. THE PARKING STALL DESIGN IS ACCORDING TO STATE OF WISCONSIN PARKING DESIGN STANDARDS AND APPROVED BY THE STATE OF WISCONSIN.
  10. SEE SHEET G-103 FOR GATE INFORMATION.



740 PEGNET STREET  
SUITE 202  
MADISON, WISCONSIN 53715

Consultant:

Business & Finance  
Engineering  
Architecture  
Environmental Science

JJR LLC  
625 WILLIAMSON STREET  
MADISON, WI 53703  
608.261.1171  
608.261.8147  
www.jjr.us.com

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State of Wisconsin  
Department of Administration  
Division of State Facilities

Agency / Institution:  
UNIVERSITY OF WISCONSIN - MADISON

---

Project Title:  
**CHARTER STREET HEATING PLANT REBUILD**  
Project Location:  
**MADISON, WI**

Sheet Title:  
Site Layout and Materials Plan

---

Revisions:

No.	Date	Description
1	04/20/11	DDP-SP SITE REVIEW
2	05/11/11	DDP-SP CITY REVIEW
3	06/15/11	DDP-SP REVISED REVIEW
4	08/18/11	DDP-SP SITE REVIEW
5	09/21/11	FINAL CITY REVIEW
6	12/01/11	ISSUED FOR CONSTRUCTION
7	03/21/12	OFF REVIEW CONDITIONAL APPROVAL COMMENTS
8	04/12/12	CONTRACTOR
9	06/28/12	DDP-SP SET

---

Graphic Scale: 0' 5' 10' 20' 30'

DSP Number: 09A2L

Set Type: CD

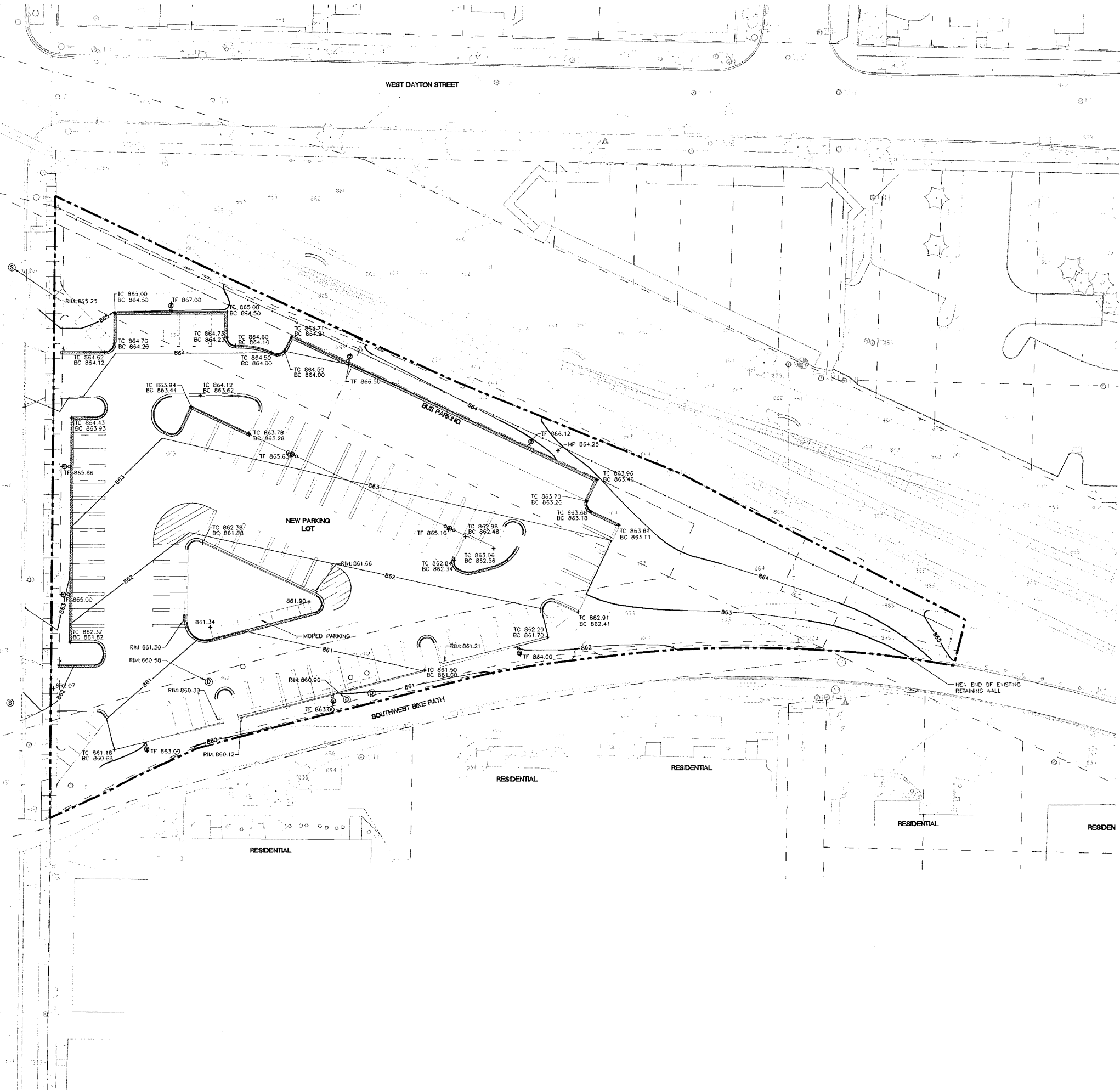
Date Issued: 06/28/2012

Sheet Number: F-100  
C-104

CAD FILENAME: F:\30303\003\CAD\Chart\09A2L-SET-104.dwg

MATCHLINE - SEE SHEET C-105

MATCHLINE - SEE SHEET C-105



- LEGEND:**
- PROJECT LIMITS
  - PROPERTY LINE
  - 864 MINOR CONTOUR
  - 865 MAJOR CONTOUR
  - GRADE BREAK LINE
  - +865.44 SPOT ELEVATION
  - +T: 866.50 TOP OF WALL ELEVATION
  - +B: 866.00 BOTTOM OF WALL ELEVATION
  - +TC 866.50 TOP OF CURB ELEVATION
  - +BC 866.00 BOTTOM OF CURB ELEVATION
  - +HP 866.00 HIGH POINT
  - +TF 866.00 TOP OF FOOTING
  - REVERSE CURB

- NOTES:**
1. CONTRACTOR SHALL CONTACT DIGGERS HOTLINE AND APPROPRIATE UTILITY COMPANIES TO FIELD VERIFY UTILITIES PRIOR TO ANY CONSTRUCTION.
  2. HAND 88 873.30 ELEVATION = 100'-0" ARCHITECTURAL ELEVATION
  3. SEE EXISTING CONDITIONS PLANS V-101 - V-103 FOR LEGEND OF EXISTING FEATURES AND LOCATIONS OF PROJECT CONTROL BENCHMARKS AND CONTROL MONUMENTS.
  4. ALL WORK IN THE PUBLIC RIGHT OF WAY TO BE PERFORMED BY THE CITY LICENSED CONTRACTORS.
  5. FINAL RESTORATION OF PUBLIC RIGHT OF WAY SHALL BE APPROVED SEPARATELY BY THE BOARD OF PUBLIC WORKS AND SHALL BE ISSUED ON CITY OF MADISON PLANS, SHOWN FOR REFERENCE ONLY.

**BOLDT artec**  
 Charter Street Heating Plant  
 740 REGENT STREET  
 SUITE 202  
 MADISON, WISCONSIN 53715

Consultant:  
**JJR**  
 JJR LLC  
 425 WILKINSON STREET  
 MADISON, WI 53703  
 608.251.1177  
 608.251.5475  
 www.jjr.com

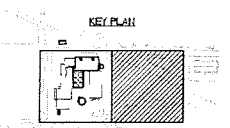
SOURCE: SEALSHP

State of Wisconsin  
 Department of Administration  
 Division of State Facilities  
 UNIVERSITY OF WISCONSIN - MADISON

Project Title:  
**CHARTER STREET HEATING PLANT REBUILD**  
 Project Location:  
**MADISON, WI**  
 Sheet Title:  
**Site Grading Plan**

No.	Date	Description
04/20/11	04/20/11	CDP-SP STATE REVIEW
05/11/11	05/11/11	CDP-SP CITY REVIEW
08/15/11	08/15/11	BOULEVARD REVIEW
08/18/11	08/18/11	CDP-SP STATE REVIEW
09/23/11	09/23/11	FINAL CITY REVIEW
12/01/11	12/01/11	ISSUED FOR CONSTRUCTION
03/21/12	03/21/12	CDP REVIEW COMMENTS APPROVAL COMMENTS
06/28/12	06/28/12	CDP-SP SET

Graphic Scale: 0' 5' 10' 20' 30'  
 DSF Number: 09A2L  
 Set Type: CD  
 Date Issued: 06/28/2012  
 Sheet Number: F-100 C-106



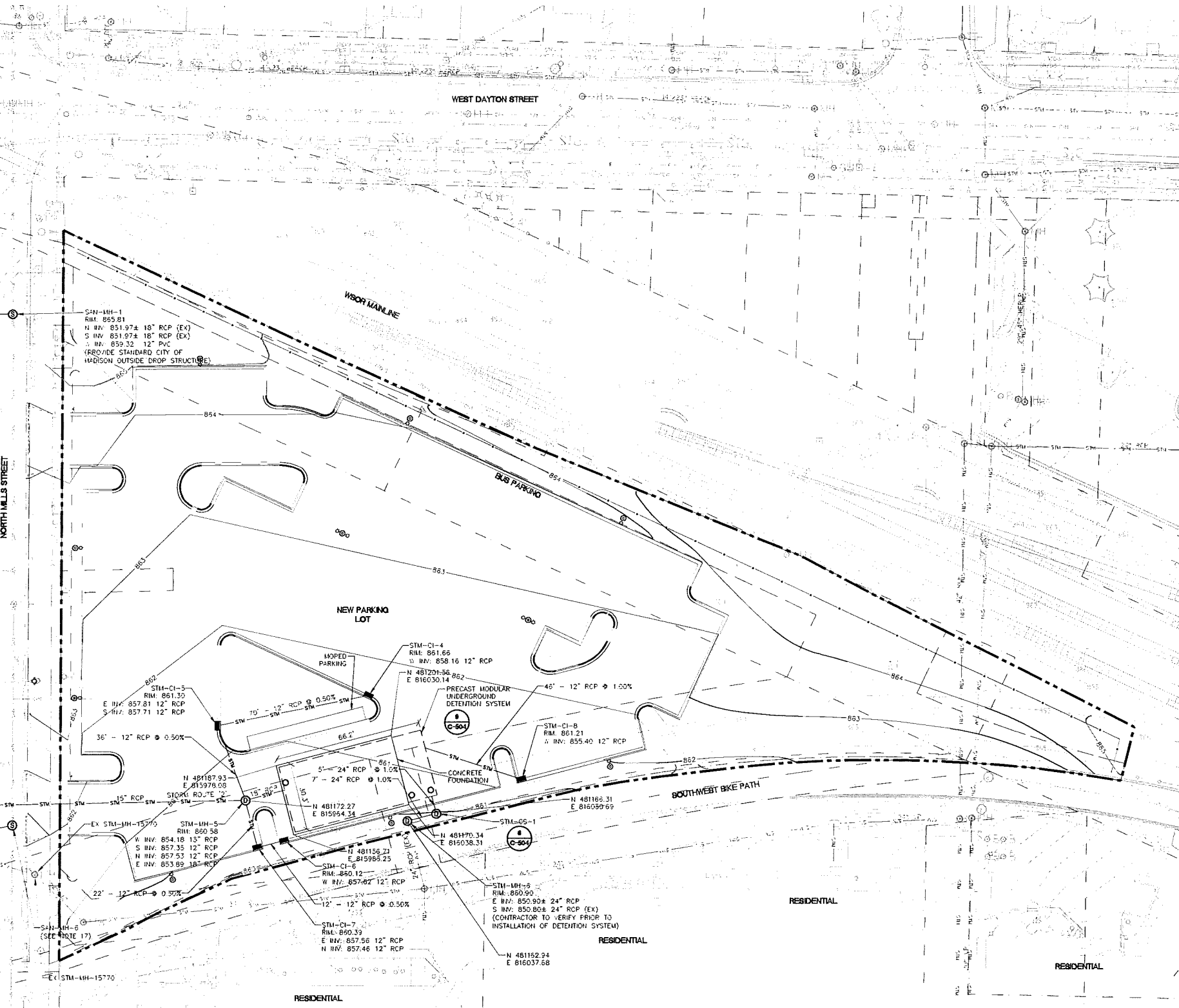
**811**  
 Know what's below.  
 Call before you dig.

CDP FILENAME: F:\30365\000\CDP\Sheet\09A2L-FRF-C-106.dwg

MATCHLINE - SEE SHEET C-107

NORTH MILLS STREET

MATCHLINE - SEE SHEET C-107



LEGEND:

- PROJECT LIMITS
- STM --- STORM LINE
- SAN --- SANITARY LINE
- W --- WATER LINE
- FP --- FIRE PROTECTION MAIN (FOR REFERENCE ONLY - SEE NOTE 14)
- G --- GAS LINE (FOR REFERENCE ONLY - SEE NOTE 14)
- CURB INLET
- ⊕ STORM MANHOLE / CATCH BASIN
- ⊙ SANITARY MANHOLE
- ⊙ HYDRANT (FOR REFERENCE ONLY - SEE NOTE 14)
- ⊙ GATE VALVE (FOR REFERENCE ONLY - SEE NOTE 14)
- ⊙ POST INDICATOR VALVE (FOR REFERENCE ONLY - SEE NOTE 14)

NOTES:

1. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE AND APPROPRIATE UTILITY COMPANIES TO FIELD VERIFY UTILITIES PRIOR TO ANY CONSTRUCTION.
2. SEE EXISTING CONDITIONS PLAN SHEETS V-101 - V-103 FOR LEGEND OF EXISTING FEATURES AND PROJECT CONTROL BENCHMARKS AND CONTROL MONUMENTS.
3. EXISTING STORM SEWER CONNECTS TO WMSD SANITARY SEWER IN SPRING STREET. THESE EXISTING PIPES AND STRUCTURES WILL BE MODIFIED TO ACCEPT SANITARY FLOWS. NEW SANITARY CASTINGS TO BE PROVIDED ON EXISTING STRUCTURES. WHERE NECESSARY PROVIDE A FLO-LINE AND BENCH, AND SEAL THE JOINTS IN EXISTING STRUCTURES.
4. PROPOSED NATURAL GAS MAIN ROUTING TO BE PERFORMED BY M&E. LOCATION SHOWN FOR REFERENCE ONLY.
5. ALL UTILITY DEMOLITION SHALL BE COORDINATED WITH THE INSTALLATION OF NEW UTILITY TO ENSURE CONTINUOUS OPERATION.
6. ALL PRIVATE WATER MAINS AND SERVICES SHALL BE INSTALLED WITH A MINIMUM OF 6" OF COVER.
7. REFER TO STRUCTURE TABLE FOR FRAME AND GRATE TYPES FOR SEWER STRUCTURES.
8. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR PRECAST MODULAR UNDERGROUND DETENTION SYSTEM FOR REVIEW BY ENGINEER. PRELIMINARY DRAWINGS BY OTHERS TITLED "STORITRAP PRECAST MODULAR STORMWATER MANAGEMENT SYSTEM" ARE INCLUDED WITH THESE CONSTRUCTION DRAWINGS FOR CONTRACTOR'S INFORMATION.
9. SEE PLUMBING DRAWINGS, ISSUED BY HOOPER FOR DETAILS OF THE OIL INTERCEPTOR VAULT AND SAMPLING MANHOLE (NOT INCLUDED IN GDP-51P SET).
10. SITE LIGHTING SHOWN FOR REFERENCE ONLY. SEE SHEET E-101 FOR SITE LIGHTING PLAN.
11. SEE SHEET C-201 FOR PLAN, PROFILE, RIM AND INVERT OF STORM ROUTE '1'.
12. SEE SHEET C-202 FOR PLAN, PROFILE, RIM AND INVERT OF STORM ROUTE '2'.
13. STORM SEWER ON CHARTER STREET TO BE DIVERTED TO CITY OF MADISON SEWERS WHEN CHARTER STREET IS REBUILT IN 2013. TO BE COORDINATED WITH THE CITY OF MADISON'S CONTRACTOR AND ENGINEERING DIVISION.
14. THE UNDERGROUND WATER LOOP, FDC, AND HYDRANT LOCATIONS ARE SHOWN ON THESE DRAWINGS FOR REFERENCE ONLY. REFER TO THE FIRE PROTECTION DRAWINGS BY JFAHERN FOR CONSTRUCTION DRAWINGS AND DETAILS.
15. PROVIDE A MINIMUM CLEARANCE OF 1'5" BETWEEN THE TOP OF THE RECONSTRUCTED WATERMAIN AND THE BOTTOM OF THE STORM SEWER.
16. CONTROL VALVE AT THE CONTAINMENT SUMP TO REMAIN CLOSED DURING NORMAL OPERATION. VALVE TO BE OPENED BY OPERATOR ONLY AFTER SUMP INSPECTION REVEALS NO PRESENCE OF OIL IN SUMP.
17. SEE SHEET C-203 FOR PLAN, PROFILE, RIM AND INVERTS OF THE SANITARY DRAIN LINE FROM THE FOAM SUPPRESSION BUILDING.
18. COORDINATES FOR PRECAST MODULAR UNDERGROUND DETENTION SYSTEM GIVEN TO CORNERS OF CONCRETE FOUNDATION.

**BOLDT arnec**  
Charter Street Heating Plant  
740 REGENT STREET  
SUITE 232  
MADISON, WISCONSIN 53715

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Consultant:

**JJR**  
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interior design  
landscape architecture  
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environmental science  
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626 WILLIAMSON STREET  
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STATE OF WISCONSIN  
Department of Administration  
Division of State Facilities

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Project Name:  
**CHARTER STREET HEATING PLANT REBUILD**  
Project Location:  
**MADISON, WI**  
Sheet Title:  
**Site Utility Plan**

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Revisions

No.	Date	Description
04/20/11	04/20/11	GDP-5P STATE REVIEW
05/11/11	05/11/11	GDP-5P CITY REVIEW
06/15/11	06/15/11	BOLDT-ARNEC REVIEW
08/18/11	08/18/11	GDP-5P STATE REVIEW
09/14/11	09/14/11	PC PHASE-1 UTILITY REVIEW
09/23/11	09/23/11	FINAL CITY REVIEW
03/21/12	03/21/12	OFF-PLAN ADDITIONAL APPROVAL COMMENTS
04/12/12	04/12/12	CSH REVISIONS
04/28/12	04/28/12	GDP-5P SET

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Graphic Scale: 0 5 10' 20' 30'

DSF Number: 09A2L

Set Type: CD

Date Issued: 06/28/2012

Sheet Number: F-100 C-108

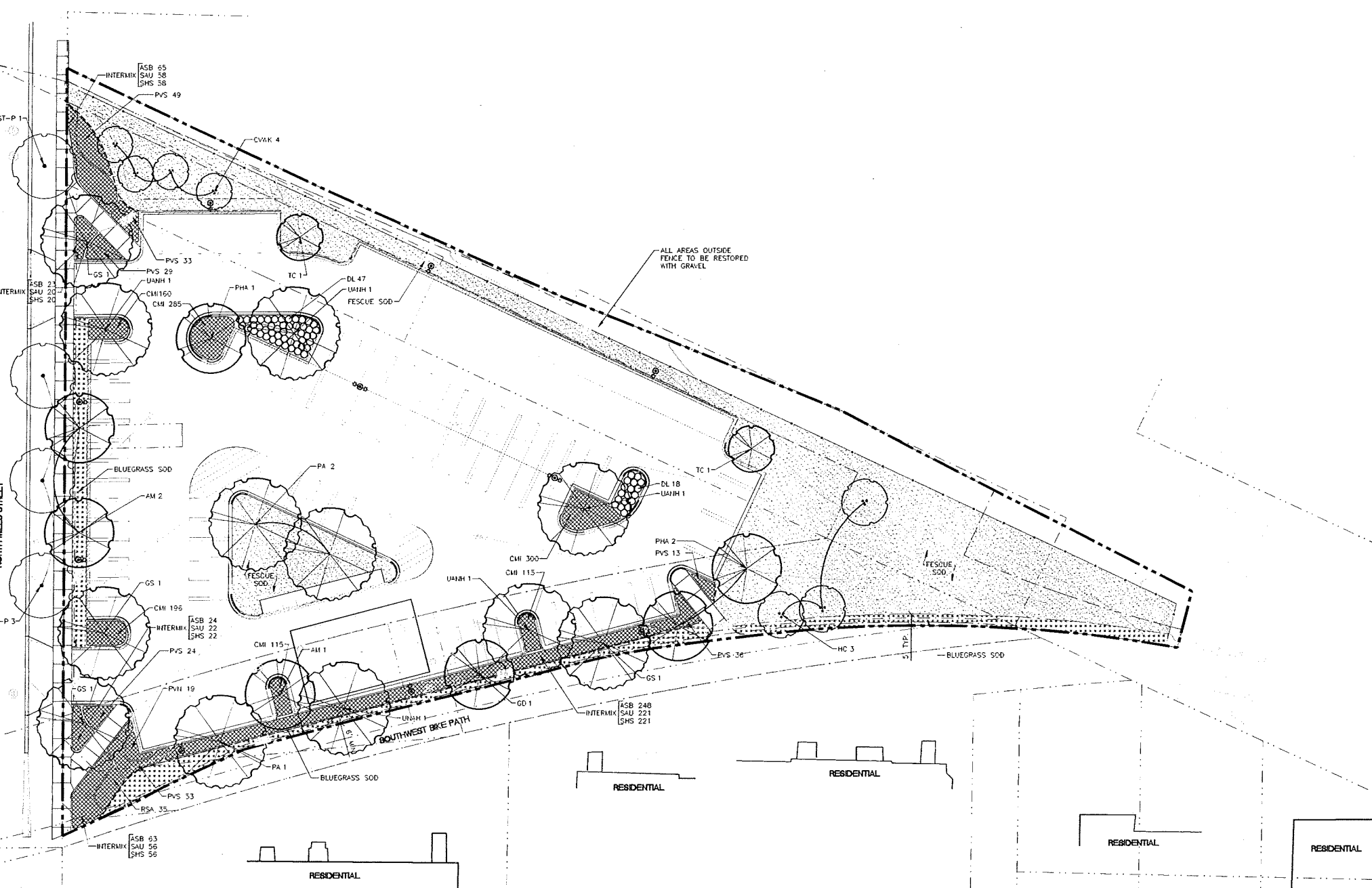
**811**  
Know what's below.  
Call before you dig.

CAD FILENAME: F:\50308\000\CAD\sheet\09A2L-F100-C108.dwg

MATCHLINE - SEE SHEET L-101

MATCHLINE - SEE SHEET L-101

1 CHARTER STREET HEATING PLANT LANDSCAPE PLAN - EAST



SCALE: 1" = 20'-0"

**LEGEND:**

- PROJECT LIMITS
- RIGHT OF WAY
- EASEMENT
- DECIDUOUS TREE
- STREET TREE (SEE NOTE G)
- EXISTING TREE TO REMAIN
- DECIDUOUS SHRUB
- PERENNIALS
- FESCUE SOD
- BLUEGRASS SOD
- BED EDGE
- UTILITY STRUCTURE / MANHOLE

- NOTES:**
- CONTRACTOR SHALL CONTACT DIGGERS HOTLINE AND APPROPRIATE UTILITY COMPANIES TO FIELD VERIFY UTILITIES PRIOR TO ANY CONSTRUCTION
  - SEE EXISTING CONDITIONS PLAN V-101 FOR LEGEND OF EXISTING FEATURES AND PROJECT CONTROL BENCHMARKS AND CONTROL INSTRUMENTS
  - SEE SITE LAYOUT SHEETS C-103 - C-104 FOR LAYOUT AND MATERIALS INFORMATION
  - SEE SITE GRADING SHEETS C-105 - C-106 FOR GRADING INFORMATION
  - SEE SHEET L-501 FOR SITE LANDSCAPE PLANT LIST AND PLANTING DETAILS
  - TEMPORARY STREET TREE LOCATIONS ARE SHOWN IN THE PUBLIC RIGHT OF WAY. STREET TREE LOCATIONS AND SPECIES SELECTION SHALL BE COORDINATED WITH CITY FORESTRY. PLEASE CONTACT DEAN WALK WITH CITY FORESTRY AT 508-255-4891 OR 508-255-4819.
  - ALL WORK IN THE PUBLIC RIGHT OF WAY TO BE PERFORMED BY THE CITY LICENSED CONTRACTORS
  - PAUL RESTORATION OF PUBLIC RIGHT OF WAY SHALL BE APPROVED SEPARATELY BY THE BOARD OF PUBLIC WORKS AND SHALL BE ISSUED ON CITY OF MADISON PLANS, SHOWN FOR REFERENCE ONLY.
  - TOPSOIL DEPTH SHALL BE 3'-0" IN ALL PLANTING BEDS EXCEPT WHERE LIMITED BY DEPTH OF UNDERGROUND UTILITIES. TOPSOIL DEPTH SHALL BE A MINIMUM OF 12" IN ALL AREAS DESIGNATED FOR SOD
  - RELOCATE TRANSPLANTED STREET TREE FROM SHEET C-101. TREE TO BE RELOCATED FOR NEW DRIVE APRON.

**LANDSCAPE REQUIREMENT CHART**

1. NUMBER OF TREES REQUIRED  
The number of trees required for planting will be based on the number of parking stalls. Using the Schedule for Perennial Trees on the right side of the worksheet, determine the number of trees required. (Example: 1 tree required for 1 parking stall.)

2. NUMBER OF LANDSCAPE POINTS REQUIRED  
The number of landscape points required is based on the number of parking stalls. Using the Schedule for Landscape Points on the right side of the worksheet, determine the number of landscape points required. (Example: 400 points required for 100 stalls. A point fraction of 0.5 or less may be disregarded, unless a fraction series of 0.5 or less is required as per note. Then 400 points would be rounded down to 300 points required.)

3. TABULATION OF POINTS AND CREDITS  
Indicate below the quantity and points for all required landscape elements. Also, indicate the quantity of screening and any credits permitted to be claimed.

ELEMENT	QUANTITY	POINTS	CREDITS	NET POINTS
Canopy Tree (12" DBH)	10	13	455	0
Deciduous Shrub	2	65	130	0
Evergreen Shrub	1	0	0	0
Deciduous and Evergreen	5	0	0	0
Perennial	5	0	0	0
Screening	15	0	0	0
Canopy Tree or Street Tree (1" DBH)	15	7	105	0
<b>TOTAL</b>		<b>85</b>	<b>590</b>	<b>0</b>

NOTE: NO ON-SITE EXTERIOR STORAGE AREAS ARE PROPOSED.

**KEY PLAN**

**811**  
Know what's below.  
Call before you dig.

Revisions

No.	Date	Description
04/20/11	04/20/11	QSP-SP STATE PER-EA
05/11/11	05/11/11	QSP-SP CITY REVIEW
06/15/11	06/15/11	BOLDF-AMEC REVIEW
06/16/11	06/16/11	QSP-SP STATE PER-EA
05/23/11	05/23/11	PANEL CITY REVIEW
12/08/11	12/08/11	ISSUED FOR CONSTRUCTION
03/21/12	03/21/12	DRY-WEATHER CONDITIONAL APPROVAL COMMENTS
04/28/12	04/28/12	QSP-SP SET

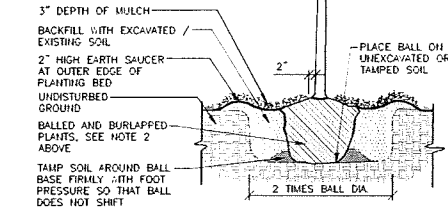
Graphic Scale: 0' 5' 10' 20' 30'

QSP Number: 09A2L  
Set Type: CD  
Date Issued: 06/28/2012  
Sheet Number: F-100 L-102

Plant List						
Key	Scientific Name	Common Name	Quantity Total	Condition	Size	Comments
<b>Shade Trees</b>						
AM	Acer glabrum 'Stone Street'	Stone Street Maple	7	BB	2"	
OS	Quercus macrocarpa 'Ironhorse'	Swainson's Ironhorse	5	BB	2 1/2"	
DD	Quercus alba 'Pringle's Giant'	Pringle's Giant White Oak	1	BB	2"	
PHA	Pinus strobus 'Munich'	Seedless Amur Pine	5	BB	2"	
PA	Platanus x acerifolia 'Vander Zanden'	Excelsior London Plane	3	BB	2 1/2"	
TC	Tilia cordata 'Chancellor'	Chancellor Linden	2	BB	2"	
UANH	Ulmus americana 'New Harmony'	New Harmony American Elm	8	BB	2 1/2"	
<b>Ornamental Trees</b>						
CWK	Crataegus viridis 'Winter King'	Winter King Green Hawthorn	4	BB	2"	
HC	Halesia carolina	Carolina Silverbell	3	BB	2"	
<b>Coniferous Trees</b>						
TDSB	Taxodium distichum 'Shoemaker's Blue'	Shoemaker's Blue Baldcypress	1	BB	3"	
TP	Thuja plicata x standishii 'Green Giant'	Green Giant Western Red Cedar	3	BB	3' height	
<b>Deciduous Shrubs</b>						
AMM	Amelanchier alnifolia 'Brilliantissima'	Brilliantissima Red Dogwood	13	BB	3"	4'-3" O.D.
DL	Dieris elaeagnifolia	Lamb's Ear	120	Cont.	4"	3'-3" O.D.
RAG	Rhus aromatica 'Dracopis'	Fragnant Sumac	53	Cont.	4"	4'-3" O.D.
VDK	Viburnum dentatum 'Kilm' sevenstar'	White Star Viburnum	7	BB	26"	4'-3" O.D.
<b>Perennials, Vines &amp; Ornamental Grasses</b>						
APS	Allium affinis 'Purple Sensation'	Purple Sensation Allium	450	Cont.	3 1/2"	Plant randomly, 2 bulbs/st. For 1st yr.
ASB	Allium angulosum 'Summer Beauty'	Summer Beauty Allium	943	Cont.	#594	12" O.D., Group irregular masses in bed
CMI	Carex morrowii 'Ice Dance'	Japanese Grass Sedge	4455	Cont.	2.5"	12" O.D., Mats of 32
FN	Fargesia nitida	Blue Fountain Bamboo	154	Cont.	#1	24" O.D., New generation stock
HAMA	Hakonechloa macrocarpa 'All Gold'	Japanese Forest Grass	615	Cont.	#1	18" O.D.
KBS	Kalmia latifolia 'Blue Star'	Blue Star Kalmia	53	Cont.	#594	12" O.D., Group irregular masses in bed
LSA	Lilaeopsis spicata	Creeping Lilyturf	778	Cont.	#1	12" O.D.
PV	Panicum virgatum 'Heavy Metal'	Heavy Metal Switchgrass	92	Cont.	#594	24" O.D.
PVH	Panicum virgatum 'Nanawaho'	Nanawaho Switchgrass	48	Cont.	#1	24" O.D.
PVN	Panicum virgatum 'Shenandoah'	Shenandoah Switchgrass	227	Cont.	#1	24" O.D.
PVS	Panicum virgatum 'Shenandoah'	Shenandoah Switchgrass	488	Cont.	#1	24" O.D.
RSA	Rudbeckia subtomentosa 'Henry's Head'	Sweet Coreopsis	153	Cont.	#594	24" O.D.
SAU	Sesleria autumnalis	Autumn Moor Grass	331	Cont.	#1	18" O.D.
SHT	Sporobolus heterolepis	Prairie Dropseed	533	Cont.	#1	18" O.D.
SHT	Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	53	Cont.	#1	12" O.D., Group irregular masses in bed
<b>Street Tree</b>						
ST-P	To be determined by City of Madison Department of Forestry		3			

**NOTES:**

- PLANT EACH TREE SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
- IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET AND REMOVE COMPLETELY FROM ROOT BALL. REMOVE TAPE, ROPE, AND BURLAP ENTIRELY FROM ROOT BALL.
- DO NOT PLACE MULCH IN CONTACT WITH TRUNK.
- PRUNE PER DETAIL.



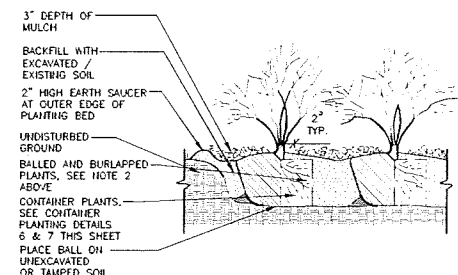
1 DECIDUOUS TREE PLANTING DETAIL NOT TO SCALE

- REMOVE SUCKER SHOOTS AT BASE OF TREE.
- MAKE CLEAN CUTS AT BRANCH/BARK RIDGE ON OLD STUBS, IF PRESENT.
- REMOVE SUCKER SHOOTS ALONG TRUNK.
- REMOVE INJURED BRANCHES.

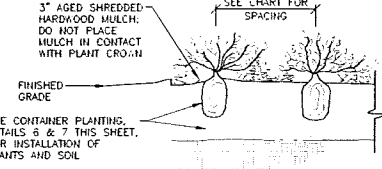
2 TREE PRUNING DETAIL NOT TO SCALE

**NOTES:**

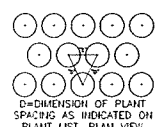
- PLANT EACH SHRUB SUCH THAT THE ROOT COLLAR IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
- IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET AND REMOVE COMPLETELY FROM ROOT BALL. REMOVE TAPE, ROPE, AND BURLAP ENTIRELY FROM ROOT BALL.
- DO NOT PLACE MULCH IN CONTACT WITH STEMS.



3 SHRUB PLANTING DETAIL NOT TO SCALE



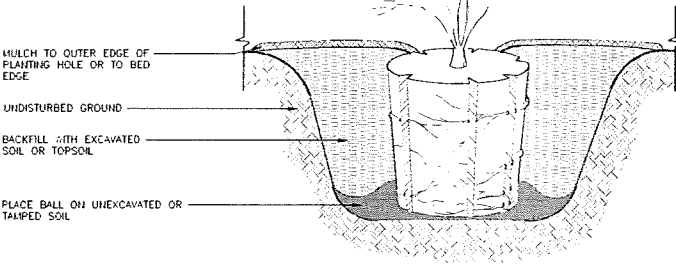
4 PERENNIAL PLANTING DETAIL NOT TO SCALE



5 PLANT SPACING DETAIL NOT TO SCALE

**NOTES:**

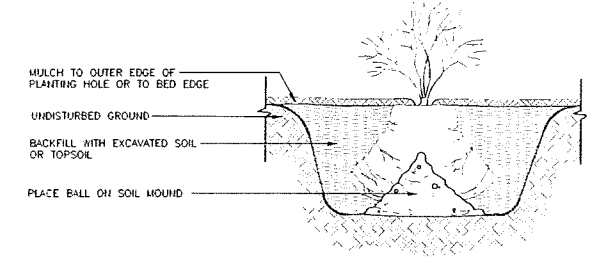
- FOR 3 TO 10 GALLON CONTAINERS MAKE 1" - 2" DEEP VERTICAL CUTS EVERY 5" AROUND THE CIRCUMFERENCE OF THE ROOT BALL BEFORE PLANTING.
- PLANT EACH PLANT SUCH THAT THE STEM FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
- PLANTING HOLE MUST BE NO DEEPER THAN THE HEIGHT OF THE ROOT BALL.
- DO NOT PLACE MULCH IN CONTACT WITH STEMS.



6 LARGE CONTAINER PLANTING DETAIL NOT TO SCALE

**NOTES:**

- FOR 1 TO 2 GALLON CONTAINERS: BUTTERFLY ROOT BALL. SEVER LOWER 1/3 TO 1/2 OF ROOT BALL WITH A SINGLE CUT. SPREAD OPEN SEVERED ROOT BALL AND PLACE AGAINST BOTTOM OF THE HOUNDED PLANTING HOLE.
- PLANT EACH PLANT SUCH THAT THE STEM FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
- PLANTING HOLE MUST BE NO DEEPER THAN THE HEIGHT OF THE ROOT BALL.
- DO NOT PLACE MULCH IN CONTACT WITH STEMS.



7 SMALL CONTAINER PLANTING DETAIL NOT TO SCALE



740 PECENT STREET  
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State of Wisconsin  
Department of Administration  
Division of State Facilities

UNIVERSITY OF WISCONSIN - MADISON

Project Title:  
**CHARTER STREET HEATING PLANT REBUILD**  
MADISON, WI

Project Location:  
MADISON, WI

Sheet Title:  
Site Landscape Plant List and Details

No.	Date	Description
1	04/20/11	CDP-SP STATE PEI-EX
2	05/11/11	CDP-SP CITY REVIEW
3	06/15/11	BOLDT-AMEC REVIEW
4	06/18/11	CDP-SP STATE PEI-EX
5	09/23/11	FINAL CITY REVIEW
6	12/08/11	RESOLVE TOP CONSTRUCTION
7	03/21/12	DRY REVIEW CONDITIONAL APPROVAL COMMENTS
8	04/26/12	CDP-SP SET

Graphic Scale

DSF Number: 09A2L

Set Type: CD

Date Issued: 06/28/2012

Sheet Number: F-100 L-501