

Symbol	Qty	Label	Arrangement	Lumens/Lamp/LLF	Total Watts	Description
☐	8	XSPW-3MC	SINGLE	4109	1,010	XSPW-A-0-3-M-C-U-Z (42W, 57K)
☐	1	OSQK-4ME-2	2 @ 90 DEGREES	17291	0,930	OSQ-A-NM-4ME-K-57K-UL-BZ w/OSQ-DABZ

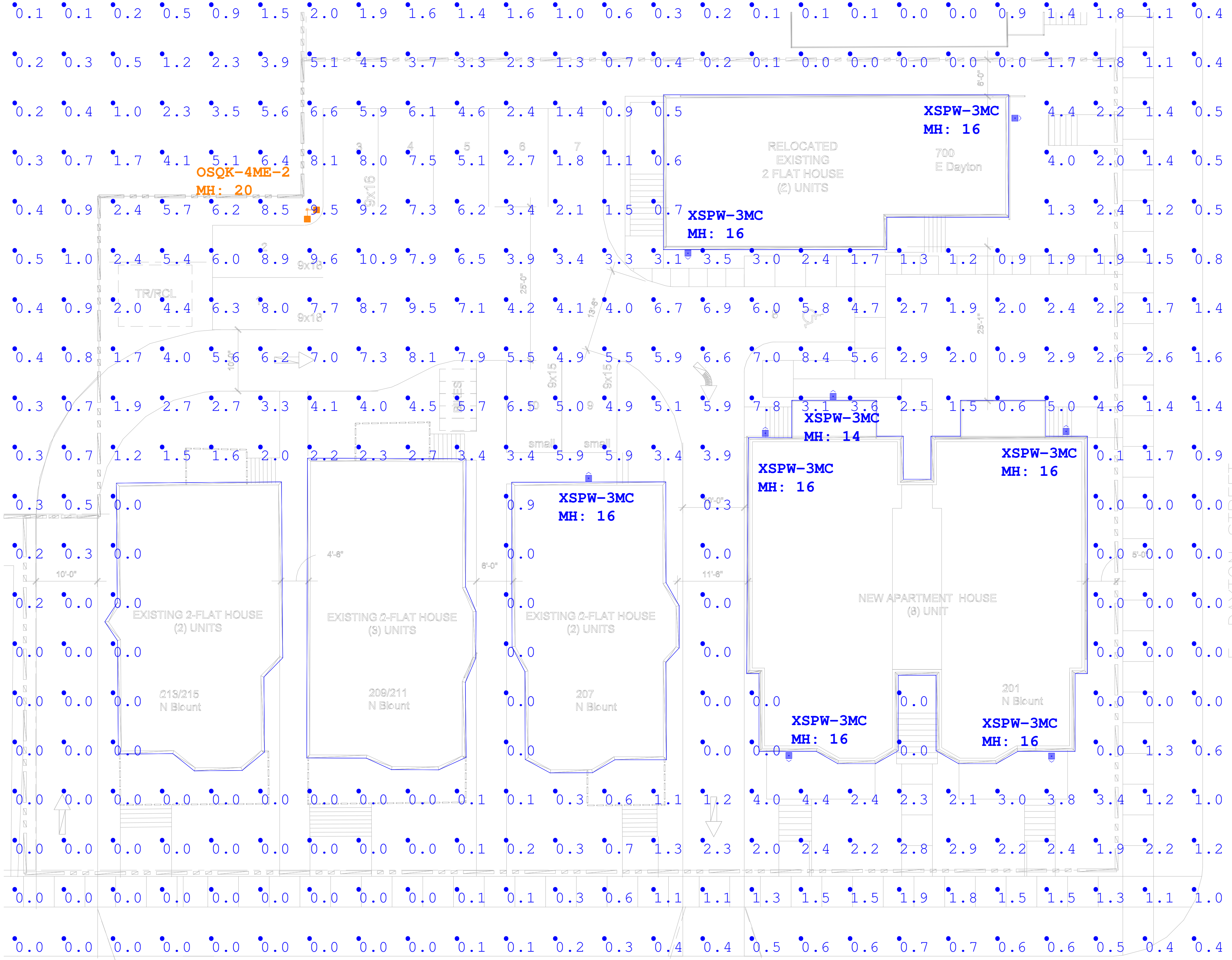
Footcandles calculated using predicted lumen values after 50K hours of operation					
Label	Avg	Max	Min	Avg/Min	Max/Min
All Calc Points	2.07	10.9	0.0	N.A.	N.A.

Fixture Mounting Height:
Pole Mounted: 1, 20' AFG (17' Pole + 3.0' Base)

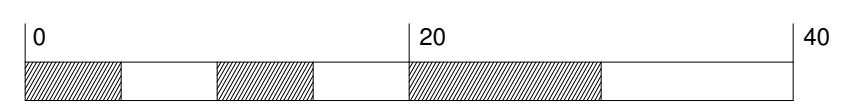
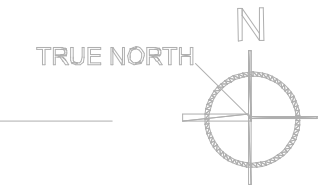
Proposed Poles Meets 140MPH Sustained Winds.

Additional Required Equipment:
(1) - PS4S17C3BZ - (17' X 4" X 0.125", Steel Square Pole, 2@90°)
(2) - OSQ-DABZ - (Direct Arm Mount)

Customer to verify Color, Mounting, Fixture Location and Voltage prior to ordering.



ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"



Customer responsible to verify ordering information/
catalogue number prior to placing order.

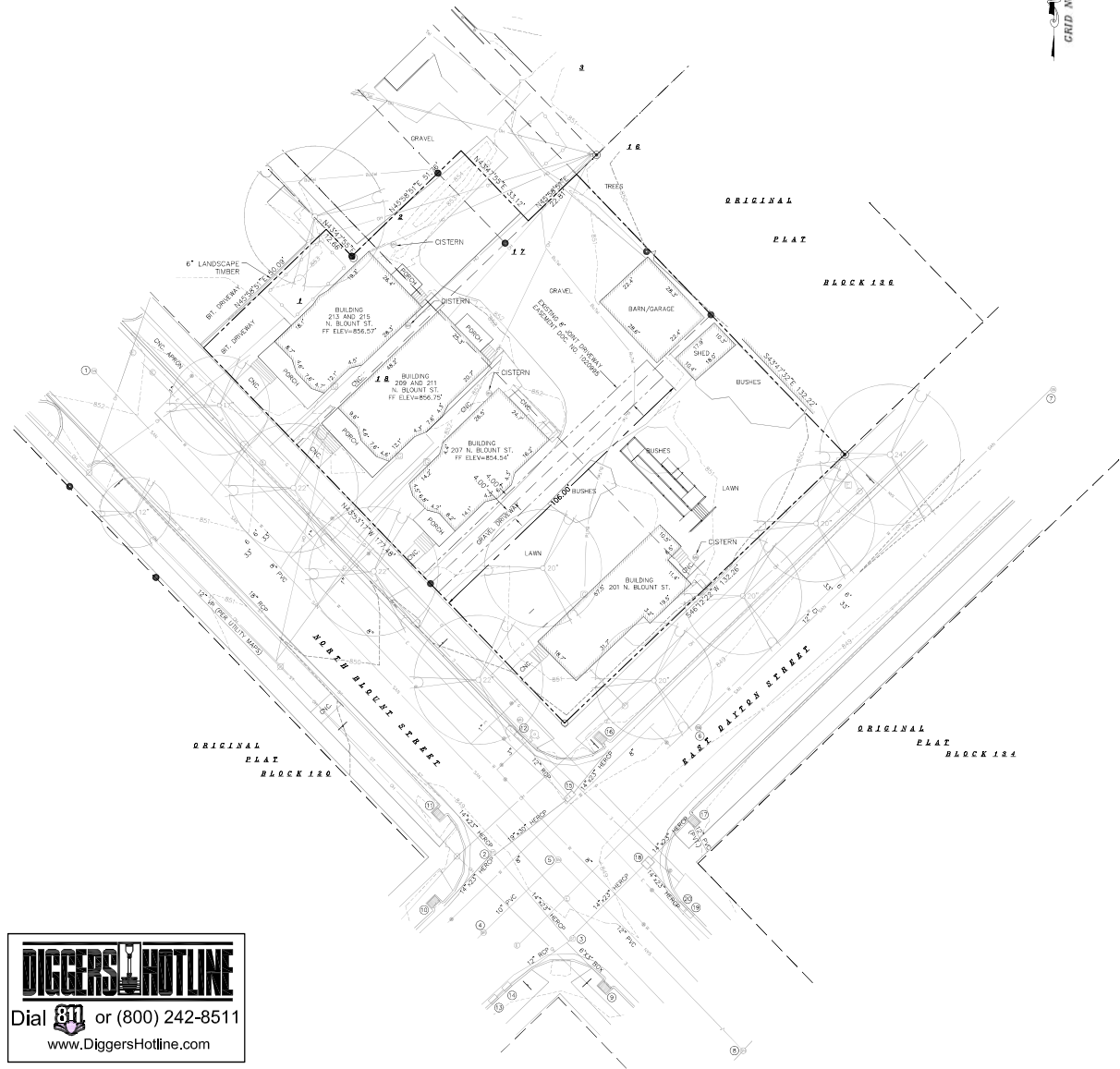


1200 92nd Street - Stoutport, WI 53177
www.cree.com - (800) 256-6800

Project Name: 201-215 North Blunt St., Madison, WI 53703 - Site	SR-21667
Date: 3/7/2017	Scale: 1"=10'
Filename: 160307NB1CJW.AGI	Footcandles calculated at grade
	Layout by: Collin Witherow

Illumination results shown on this lighting design are based on project parameters provided to Cree, Inc. used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting, or energy code.

PART OF LOTS 1, 2, 17 AND 18, BLOCK 136, ORIGINAL PLAT OF MADISON, AS RECORDED IN VOLUME A OF PLATS, ON PAGE 3, DANE COUNTY REGISTRY, LOCATED IN THE NORTHWEST AND NORTHEAST QUARTERS OF THE SOUTHWEST QUARTER OF SECTION 13, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.



BSE1908 201-215 N. BLOUNT STREET										
STORM SEWER AND SANITARY SEWER ELEVATION TABLE										
NUMBER	RM/TC	ELEVATION	ELEVATION	ELEVATION	ELEVATION	DESCRIPTION				
1	202.37	W	245.94	SE	245.57	SE	245.42			SANITARY SEWER - MANHOLE
2	245.95	NW	245.42	NE	245.42	SE	245.44	SW	245.40	STORM SEWER - MANHOLE
3	245.95	FLR	245.42	NE	245.87					STORM SEWER - MANHOLE ONLY NE PIPE VISIBLE
4	245.94	SW	242.74	NE	242.02					SANITARY SEWER - MANHOLE
5	245.92	NE	242.40	SW	241.23	SE	241.25			SANITARY SEWER - MANHOLE
6	245.95	NE	242.34							SANITARY SEWER - MANHOLE
7	245.94	SW	242.91	NW	243.77	NE	243.54			SANITARY SEWER - MANHOLE
8	245.79	NW	245.42	SW	245.48	NE	243.34			SANITARY SEWER - MANHOLE
9	245.79	FLR	243.42							STORM SEWER - 3 792.0 CATCH BASIN
10	245.43	FLR	245.42							STORM SEWER - 3 792.0 CATCH BASIN
11	245.93	FLR	245.63							STORM SEWER - 3 792.0 CATCH BASIN
12	245.42	SE	245.25							STORM SEWER - CURB INLET
13	245.95	NE	245.95	NE	245.63					STORM SEWER - CURB INLET
14	245.95	SW	245.63	NE	245.63					STORM SEWER - CURB INLET
15	245.95	SW	245.63	NW	245.02	NE	245.14			STORM SEWER - 3 792.0 CATCH BASIN
16	245.79	SE	245.42							STORM SEWER - 3 792.0 CATCH BASIN
17	245.79	SW	245.63	SW	245.67					STORM SEWER - 3 792.0 CATCH BASIN
18	245.57	NE	245.52	SE	245.40	SW	245.37			STORM SEWER - 3 792.0 CATCH BASIN
19	245.93	NW	245.42							STORM SEWER - CURB INLET
20	245.93	SE	245.63	NW	245.53					STORM SEWER - CURB INLET

LEGEND

- 1-1/4" SOLID IRON ROD FOUND
- 1" IRON PIPE FOUND
- X FOUND CHISELED "X" IN CONCRETE
- ▲ FOUND SURVEY NAIL
- 3/4" x 18" SOLID IRON RE-ROD SET, WT. 1.50 lbs./ft.
- OVERHEAD UTILITY WIRE
- BURIED GAS LINE
- WATER MAIN
- SANITARY SEWER
- STORM SEWER
- BURIED ELECTRIC
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING SPOT ELEVATION
- BOLLARD
- CISTERN
- WATER VALVE
- GAS METER
- UTILITY POLE
- CHAIN LINK FENCE
- LIGHT POLE
- GUY WIRE
- DEODOROUS TREE
- () INDICATES RECORDED AS MEASURED TO THE NEAREST HUNDRETH OF A FOOT. BUILDINGS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.

- NOTES:**
- 1) Except as specifically stated or shown on this map, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations; and any other facts that an accurate and current title search may disclose. Survey was performed without the benefit of a title report.
 - 2) No attempt has been made as a part of this survey to obtain or show data concerning condition or capacity of any utility or municipal/public service facility. For information regarding these utilities or facilities, please contact the appropriate agencies.
 - 3) Dates of field work: August 4-5, August 11-12, 2016.
 - 4) Surveyor has made no investigation or independent search for encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
 - 5) All surface and subsurface improvements on and adjacent to the site are not necessarily shown herein.
 - 6) All trees, hedges and ground cover on the site may not necessarily be shown herein.
 - 7) Routing of public utilities is based upon markings provided by Digger's Hotline Ticket Numbers 20163303963, 20163303973, 20163303981 and visible above ground structures. Additional buried utilities/structures may be encountered. No excavations were made to locate utilities. Before excavations are performed contact Digger's Hotline.
 - 8) 201 N. Blount St. parcel area = 8,726 square feet
207, 209 and 211 N. Blount St. parcel area = 3,XXX square feet
213 and 215 N. Blount St. parcel area = XXXX square feet
 - 9) Elevations are based upon NAVD88 datum. The Surveyor transferred elevations to the site utilizing the MISCORS network AND RIK GPS surveying methods.

DIGGERS HOTLINE
 Dial 811 or (800) 242-8511
 www.DiggersHotline.com

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 Surveying and Engineering, Inc.
 2801 International Lane, Suite 101
 Madison, WI 53704
 Phone: 608-250-0000
 Fax: 608-250-0000
 e-mail: mburse@bse-inc.net
 www.burseengineering.com

1/4 inch
 201-215 N. Blount St
 Madison, WI 53704
Renaissance Property Group LLC
 2132 Eastern Ave. Suite #100
 Madison, WI 53704

PROJECT #: BSE1908
PLOT DATE: 03-15-2017

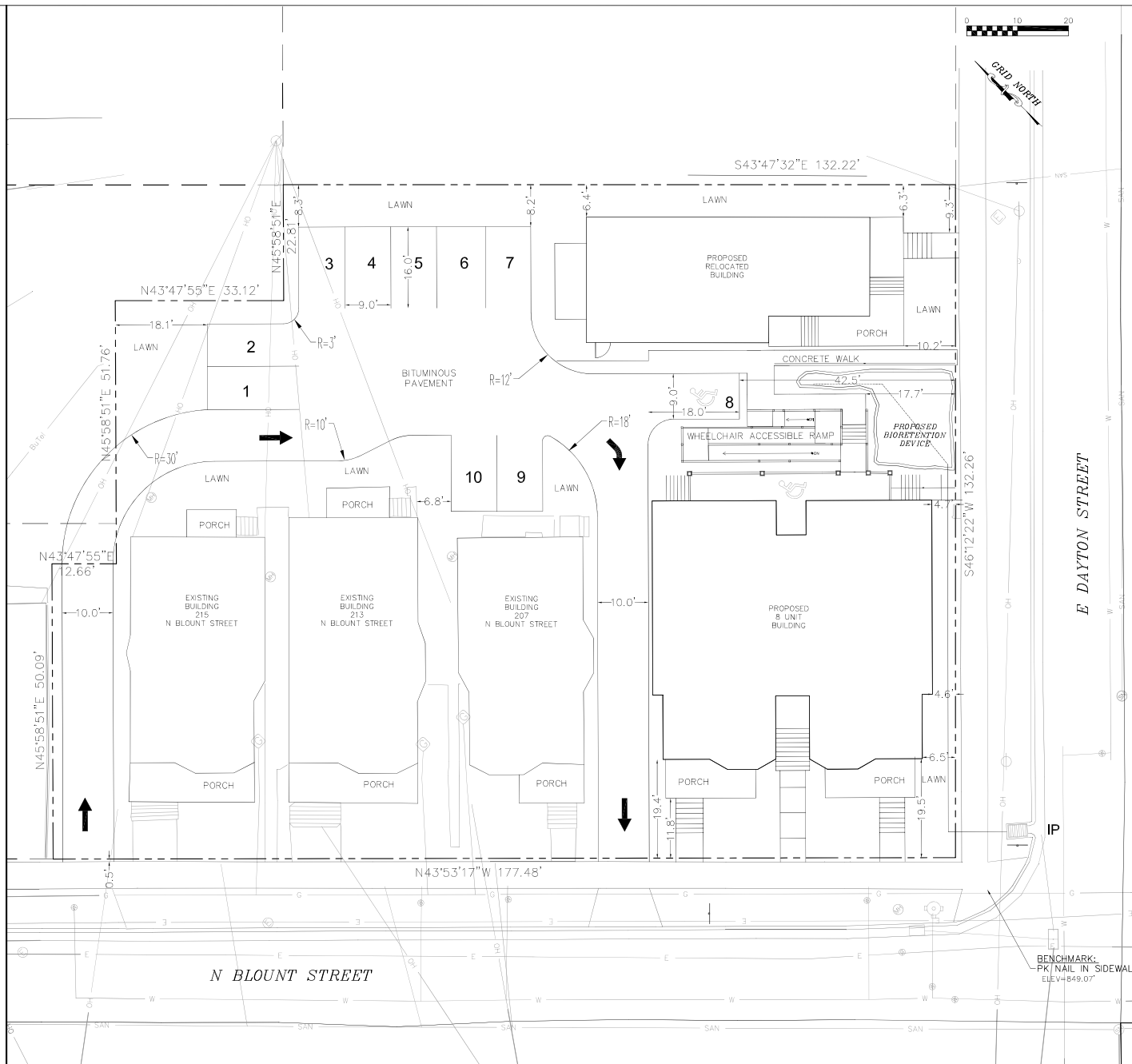
REVISION DATES:

ISSUE DATES:

EXISTING CONDITIONS PLAN

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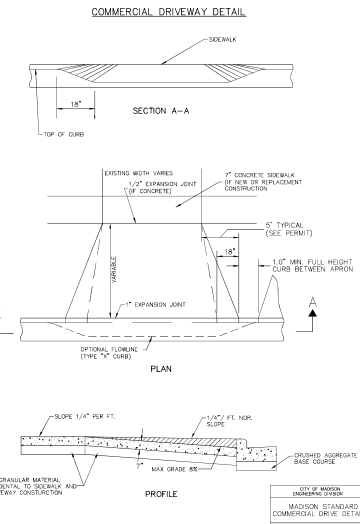
DRAWING NUMBER
C100



NOTES:
 1. ALL SIDEWALK, PAVEMENT, AND CURB & GUTTER ADJUTING THE PROPERTY, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB & GUTTER THAT THE CITY ENGINEER DETERMINES THAT IT NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR.
 2. ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY ISSUED PLANS FOR PROJECT NO. [TBD].

LEGEND

● 1-1/4" SOLID IRON ROD FOUND	○ BOLLARD
⊙ 1" IRON PIPE FOUND	⊙ CISTERN
✕ FOUND CHISELED "X" IN CONCRETE	⊙ WATER VALVE
▲ FOUND SURVEY NAIL	⊙ GAS METER
○ 3/4" X 18" SOLID IRON RE-ROD SET, WT. 1.50 lbs./ft.	⊙ UTILITY POLE
— OVERHEAD UTILITY WIRE	⊙ CHAIN LINK FENCE
— BURIED GAS LINE	⊙ LIGHT POLE
— WATER MAIN	⊙ GUY WIRE
— SANITARY SEWER	⊙ DECIDUOUS TREE
— STORM SEWER	() INDICATES RECORDED AS
— BURIED ELECTRIC	DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT. DIMENSIONS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.
— 885 — MAJOR CONTOUR	
— 854 — MINOR CONTOUR	
— 884.0 — EXISTING SPOT ELEVATION	



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 Dial 811 or (800) 242-8511
 www.DiggersHotline.com

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 Madison, WI 53704
 Phone: (608) 250-8900
 Fax: (608) 250-8066
 e-mail: Mburse@BSE-INC.net
 www.burseengineering.com

APPROVAL	PREPARED	REVISIONS	DATE	BY	DATE	BY	DATE	BY

1/4 POINT
 2012-215 N. Blount St
 Madison, WI 53704
Renaissance Property Group LLC
 2132 Excelsior Ave, Suite #1400
 Madison, WI 53704

PROJECT #: BSE1908
 PLOT DATE: 03-15-2017

REVISION DATES:

NO.	DATE	DESCRIPTION

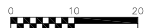
ISSUE DATES:

NO.	DATE	DESCRIPTION

CIVIL SITE PLAN

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C200

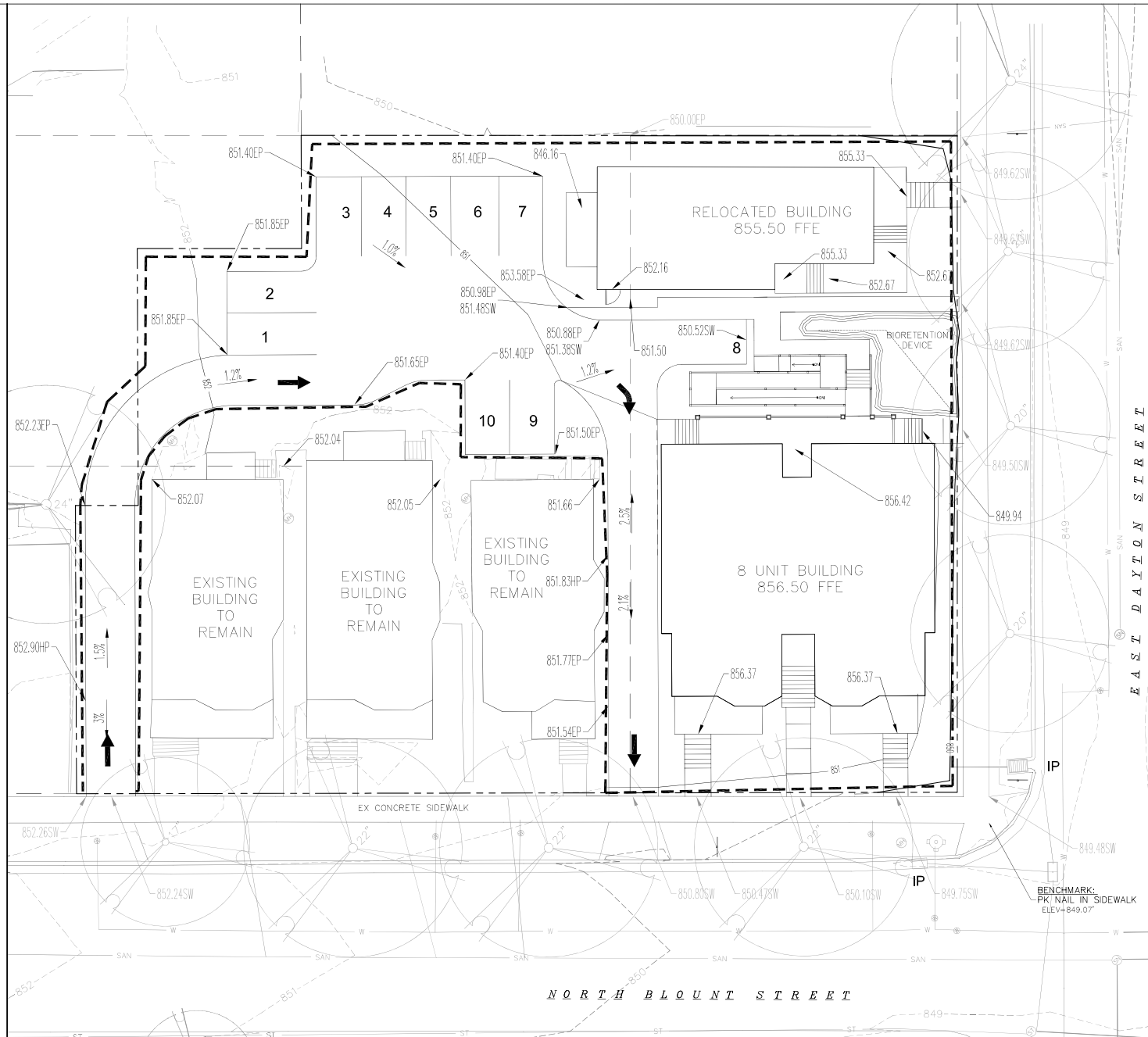


NOTES:

1. ALL PRIVATE UTILITIES (GAS, ELECTRIC, AND TELECOMMUNICATIONS) SERVING EXISTING BUILDINGS SCHEDULED FOR DEMOLITION TO BE ABANDONED OR REMOVED BY CORRESPONDING UTILITY COMPANY.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
3. CONTRACTOR SHALL VERIFY THE SIZE, TYPE, SLOPE, AND INVERTS OF ALL EXISTING STORM AND SANITARY LATERALS CALLED OUT TO BE CONNECTED TO. CONTRACTOR SHALL SUBMIT THE INFORMATION ON THE PIPES TO THE CITY INSPECTOR AND PROJECT CIVIL ENGINEER.
4. ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON'S STANDARD SPECIFICATION.
5. ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY ISSUED PLANS FOR PROJECT NO. (TBD).
6. ALL GRADES SHOWN ARE TO FINISHED SURFACE.

LEGEND

- 852--- EXISTING MINOR CONTOUR
- 855--- EXISTING MAJOR CONTOUR
- 852--- PROPOSED MINOR CONTOUR
- 855--- PROPOSED MAJOR CONTOUR
- 861.81 PROPOSED SPOT ELEVATION
- 861.81 EP PROPOSED EDGE-OF-PAVEMENT ELEVATION
- 861.81 SW PROPOSED SIDEWALK ELEVATION
- 861.81 EXISTING SPOT ELEVATION
- IP INLET PROTECTION
- SALT FENCE



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Madison, WI 53704
Phone: 608-250-9993
Fax: 608-250-9996
e-mail: Mburse@BSE-INC.net
www.burseengineering.com

APPROVALS	DATE	BY
PROJECT MANAGER		
DESIGNER		
CHECKER		
ENGINEER		
APPROVER		

1/4 POINT
201-215 N. Blount St
Madison, WI 53704
Renaissance Property Group LLC
2132 Eastern Ave, Suite #1400
Madison, WI 53704

PROJECT #: BSE1908
PLOT DATE: 03/15/2017

REVISION DATES:

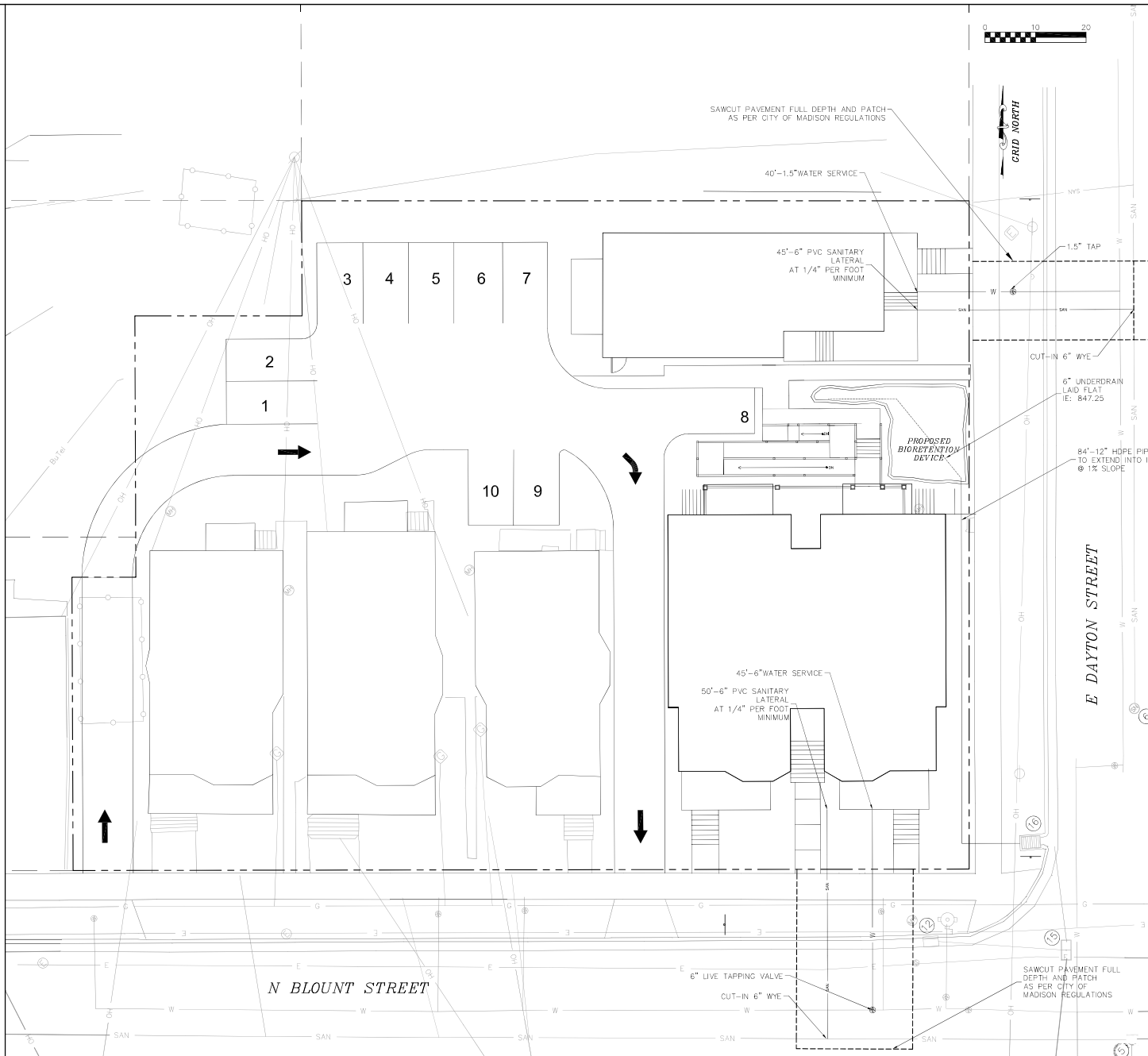
ISSUE DATES:

GRADING AND EROSION CONTROL PLAN

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2801 International Lane, Suite 101
Madison, WI 53704
Phone: 608-250-9993
Fax: 608-250-9996
e-mail: Mburse@BSE-INC.net
www.burseengineering.com



GRID NORTH

LEGEND

— OH — OVERHEAD UTILITY WIRE	○ BOLLARD
— B — BURIED GAS LINE	● OBTUSE
— W — WATER MAIN	⊗ WATER VALVE
— SAN — SANITARY SEWER	⊗ GAS METER
— S — STORM SEWER	⊗ UTILITY POLE
— E — BURIED ELECTRIC	⊗ CHAIN LINK FENCE
— M — MAJOR CONTOUR	□ LIGHT POLE
— M — MINOR CONTOUR	○ GUY WIRE
— XBS4.0 — EXISTING SPOT ELEVATION	⊗ DEODOROUS TREE
	() INDICATES RECORDED AS

- NOTES:**
1. ALL PRIVATE UTILITIES (GAS, ELECTRIC, AND TELECOMMUNICATIONS) SERVING EXISTING BUILDINGS SCHEDULED FOR DEMOLITION TO BE ABANDONED OR REMOVED BY CORRESPONDING UTILITY COMPANY.
 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
 3. CONTRACTOR SHALL VERIFY THE SIZE, TYPE, SLOPE, AND INVERTS OF ALL EXISTING STORM AND SANITARY LATERALS CALLED OUT TO BE CONNECTED TO. CONTRACTOR SHALL SUBMIT THE INFORMATION ON THE PIPES TO THE CITY INSPECTOR AND PROJECT CIVIL ENGINEER.
 4. ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON'S STANDARD SPECIFICATION.
 5. THE CITY WILL LIKELY REQUIRE SEVERAL ULO'S TO VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES. THIS INFORMATION MAY REQUIRE THE PROPOSED GRADES AND SLOPES OF NEW PIPING TO BE ADJUSTED. ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY ISSUED PLANS FOR PROJECT NO. 11214.
 6. ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-APPROVED CONTRACTOR

**BSE1908 201-215 N. BLOUNT STREET
STORM SEWER AND SANITARY SEWER ELEVATION TABLE**

NUMBER	INVERT ELEVATION	DESCRIPTION	ELEVATION	DESCRIPTION	ELEVATION	DESCRIPTION
1	582.20	45'-6" PVC SANITARY LATERAL AT 1/4" PER FOOT MINIMUM	582.20	50'-6" WATER SERVICE	582.20	STORM SEWER - MANHOLE
2	582.20	45'-6" PVC SANITARY LATERAL AT 1/4" PER FOOT MINIMUM	582.20	50'-6" WATER SERVICE	582.20	STORM SEWER - MANHOLE
3	582.20	45'-6" PVC SANITARY LATERAL AT 1/4" PER FOOT MINIMUM	582.20	50'-6" WATER SERVICE	582.20	STORM SEWER - MANHOLE
4	582.20	45'-6" PVC SANITARY LATERAL AT 1/4" PER FOOT MINIMUM	582.20	50'-6" WATER SERVICE	582.20	STORM SEWER - MANHOLE
5	582.20	45'-6" PVC SANITARY LATERAL AT 1/4" PER FOOT MINIMUM	582.20	50'-6" WATER SERVICE	582.20	STORM SEWER - MANHOLE
6	582.20	45'-6" PVC SANITARY LATERAL AT 1/4" PER FOOT MINIMUM	582.20	50'-6" WATER SERVICE	582.20	STORM SEWER - MANHOLE
7	582.20	45'-6" PVC SANITARY LATERAL AT 1/4" PER FOOT MINIMUM	582.20	50'-6" WATER SERVICE	582.20	STORM SEWER - MANHOLE
8	582.20	45'-6" PVC SANITARY LATERAL AT 1/4" PER FOOT MINIMUM	582.20	50'-6" WATER SERVICE	582.20	STORM SEWER - MANHOLE
9	582.20	45'-6" PVC SANITARY LATERAL AT 1/4" PER FOOT MINIMUM	582.20	50'-6" WATER SERVICE	582.20	STORM SEWER - MANHOLE
10	582.20	45'-6" PVC SANITARY LATERAL AT 1/4" PER FOOT MINIMUM	582.20	50'-6" WATER SERVICE	582.20	STORM SEWER - MANHOLE

APPROVALS

DATE	BY	FOR

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Madison, WI 53704
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Fax: (608) 250-9306
e-mail: Mburse@BSE-INC.net
www.burseandengr.com

APPROVALS

DATE	BY	FOR

1/4 POINT
201-215 N. Blount St
Madison, WI 53704
Renaissance Property Group LLC
2132 Exchange Ave, Suite #400
Madison, WI 53704

PROJECT # BSE1908
PLOT DATE: 03-15-2017

REVISION DATES:

ISSUE DATES:

UTILITY PLAN

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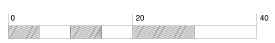
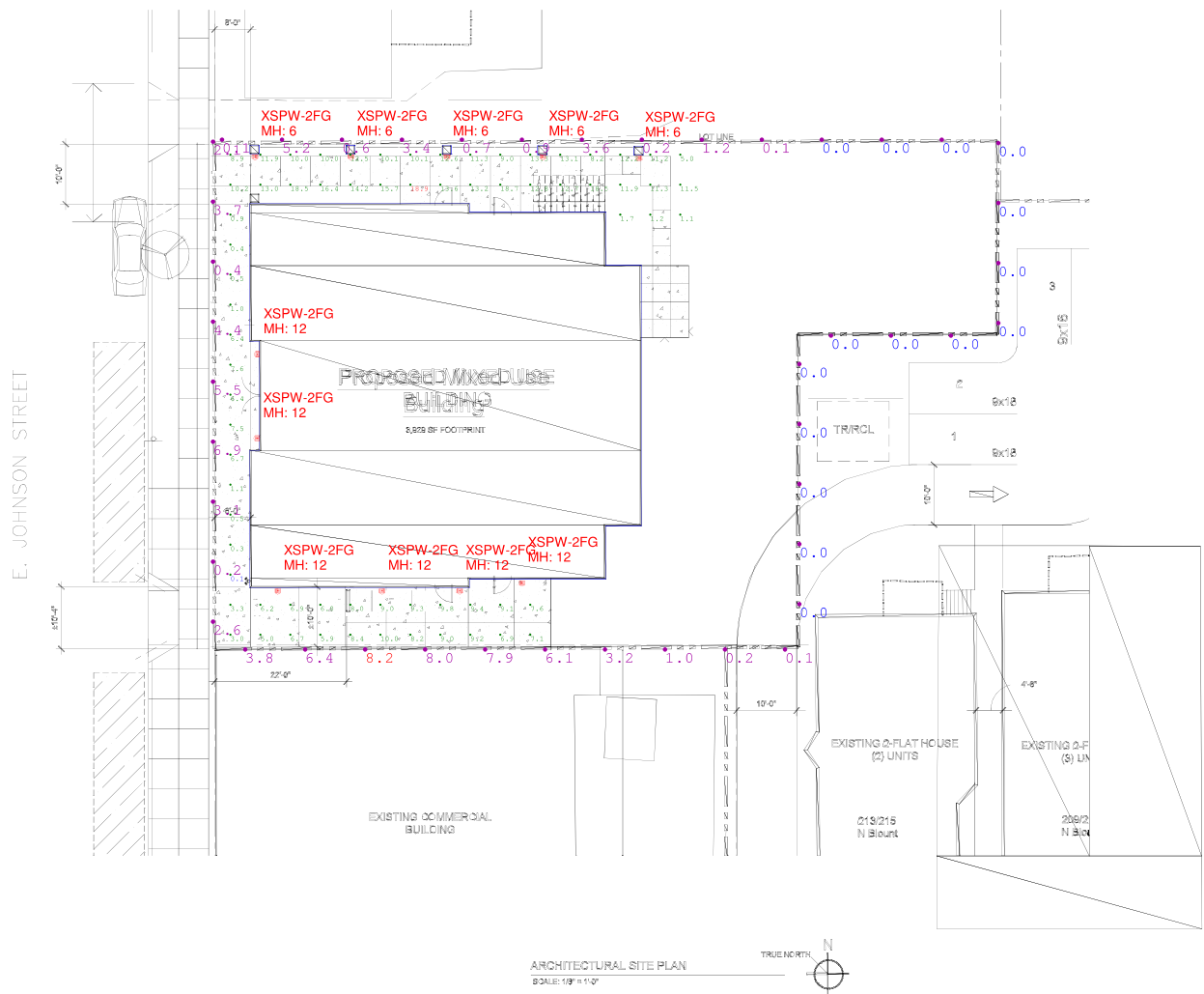
DIGGERS HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

Luminaire Schedule / Did you know that utility rebates can cover 25% or more of a product's cost? Email rebates@cree.com to get help on your project!

Symbol	Qty	Label	Arrangement	Luminaire/Lamp	LF	Total Watts	Description
■	11	XSPW-2FG	SINGLE	2529	1,000	275	XSPW-A-0-2-F-G-U-Z (25W, 40K)

Contractor to verify mounting and voltage prior to placing order.

Footcandles calculated using predicted lumen values after 50K hours of operation						
Label	Avg	Max	Min	Avg Min	Max Min	
CalcPt1_1	8.66	16.9	0.1	86.80	189.00	
Property Line	2.04	8.2	0.0	N.A.	N.A.	

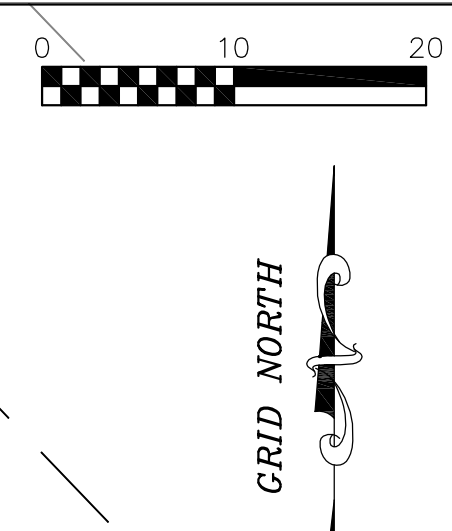
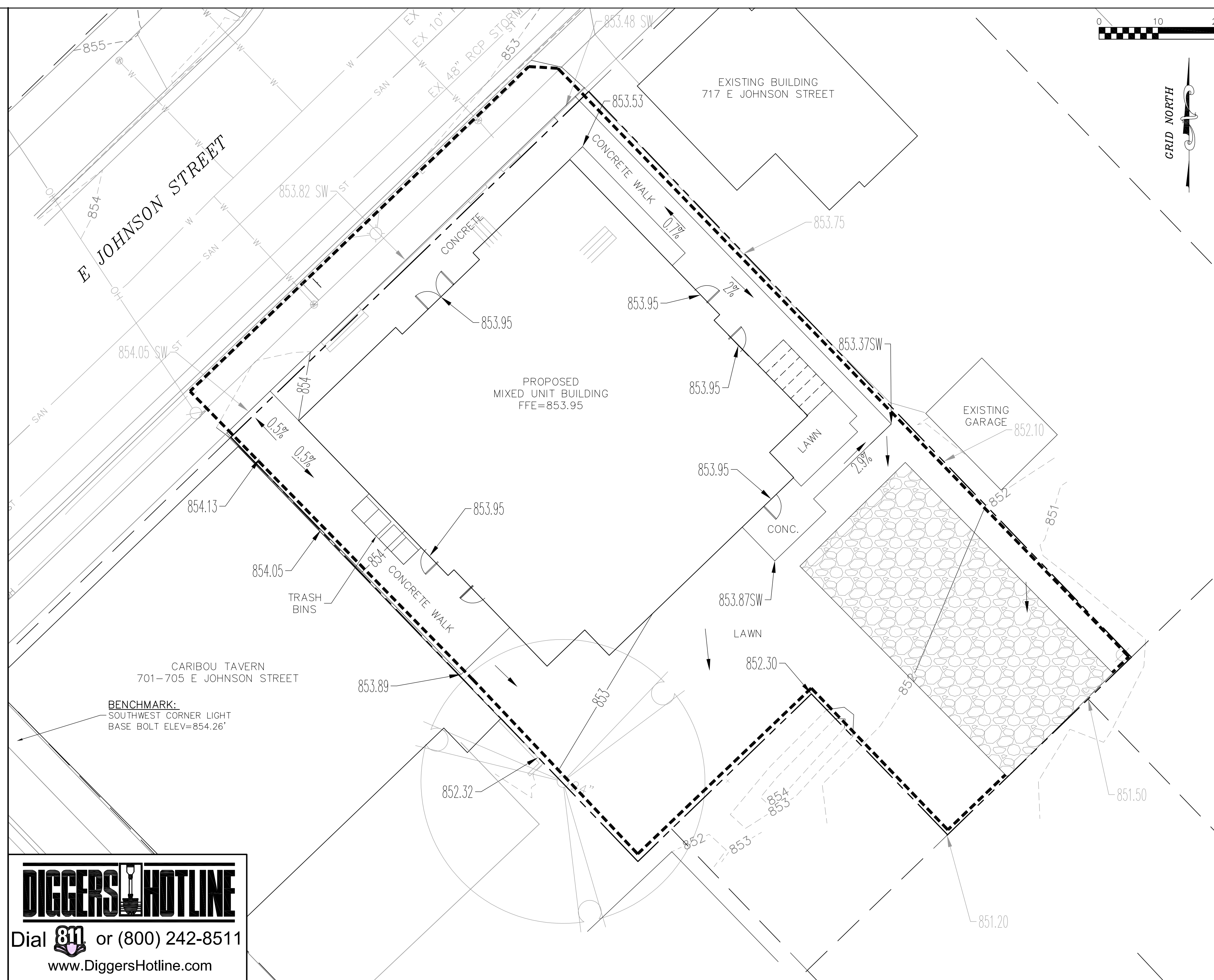


CREE

1200 92nd Street - Burlington, WI 53177
www.cree.com - (800) 236-6900

Project Name: 707-713 E Johnson - 700 East Dayton St., Madison, WI 53703 / No: SR-211666
Date: 3/6/2017 / Scale: 1/8" = 1'-0" / Footcandles calculated at grade
Filename: 1702096CO1BAF.AGI / Layout by: Ben Foster

Estimation results shown on this lighting design are based on project parameters provided to Cree, Inc. used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting, or energy code.



- Erosion Control Notes/Specifications:**
- Erosion control devices and/or structures shall be installed prior to clearing and grubbing operations. These shall be properly maintained for maximum effectiveness until vegetation is re-established.
 - Erosion control is the responsibility of the contractor until acceptance of this project. Erosion control measures as shown shall be the minimum precautions that will be allowed. The contractor shall be responsible for recognizing and correcting all erosion control problems that are the result of construction activities. Additional erosion control measures, as requested in writing by the state or local inspectors, or the developer's engineer, shall be installed within 24 hours.
 - All erosion control measures and structures serving the site must be inspected at least weekly or within 24 hours of the time 0.5 inches of rain is produced. All maintenance will follow an inspection within 24 hours. Inspection schedule and record keeping shall comply with NR 216.46(9), Wis. Adm. Code.
 - Construction Entrances - Provide a stone tracking pad at each point of access. Install according to WDNR Standard 1057. Refer to WDNR's stormwater web page of technical standards at: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html. The Tracking Pad must be maintained in a condition that prevents the tracking of material onto the public street.
 - Soil Stockpiles - A row of silt fence placed downslope and at least 10 feet away from the stockpile shall protect all stockpiles. Soil stockpiles that are inactive for more than 14 consecutive days shall be stabilized with seed & mulch, erosion mat, polymer, or covered with tarps or similar material. No stockpile shall be placed within 20 feet of a drainage way.
 - Dewatering - Water pumped from the site shall be treated by using a temporary sedimentation basin, portable dewatering basin, geotextile bag, or an equivalent device. Show on the plan the anticipated locations of dewatering activity, and provide an engineering detail of the dewatering system. Devices shall comply with WDNR Technical Standard 1061 found at: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html. This water shall be discharged in a manner that does not induce erosion of the site or adjacent property.
 - Storm Sewer Inlets - Provide WDOT Type D "CatchAll" inlet protection or equivalent. Refer to WDOT Product Acceptability List at: <http://www.dot.wisconsin.gov/business/engserv/pal.htm>. Inlet protection shall be installed prior to the storm sewer system receiving site runoff. Other than for performing maintenance, these devices shall not be removed until plot-level stabilization is complete.
 - Building and waste materials shall be prevented from running-off the site and entering waters of the state in conformance with NR151.12(6m).
 - No solid material shall be discharged or deposited into waters of the state in violation of Ch. 30 or 31 of the Wisconsin State Statutes or 33 USC 1344 permits.
 - Erosion control devices shall adhere to the technical standards found at: <http://dnr.wi.gov/runoff/stormwater/techstds.htm> and comply with all City of Madison ordinances.
 - All debris tracked onto public streets shall be swept or scraped clean by the end of each workday.
 - All building and waste material shall be handled properly to prevent runoff of these materials off of the site.
 - All disturbed areas shall be seeded immediately after grading activities have been completed.
 - All disturbed areas, except paved areas, shall receive a minimum of four (4) inches of topsoil, fertilizer, seed, and mulch. Seed mixtures shall be selected appropriate to the intended function. A qualified Landscaping Contractor, Landscape Architect or Nursery can be consulted for recommendations. Seeding rates shall be based on pounds or ounces of Pure Live Seed per acre and shall be provided by the seed supplier. Fertilizer can be applied to help promote growth, but a soil test is recommended to determine the type and amount of fertilizer to be applied. All seeding and restoration shall be in conformance to WDNR Technical Standard 1059 found at http://dnr.wi.gov/topic/stormwater/standards/const_standards.html. Seeding and sodding may only be used from May 1st to September 15th of any year. Temporary seed shall be used after September 15. If temporary seeding is used, a permanent cover shall also be required as part of the final site stabilization.
 - For the first six (6) weeks after the initial stabilization of a disturbed area, watering shall be performed whenever more than seven (7) days of dry weather elapse.

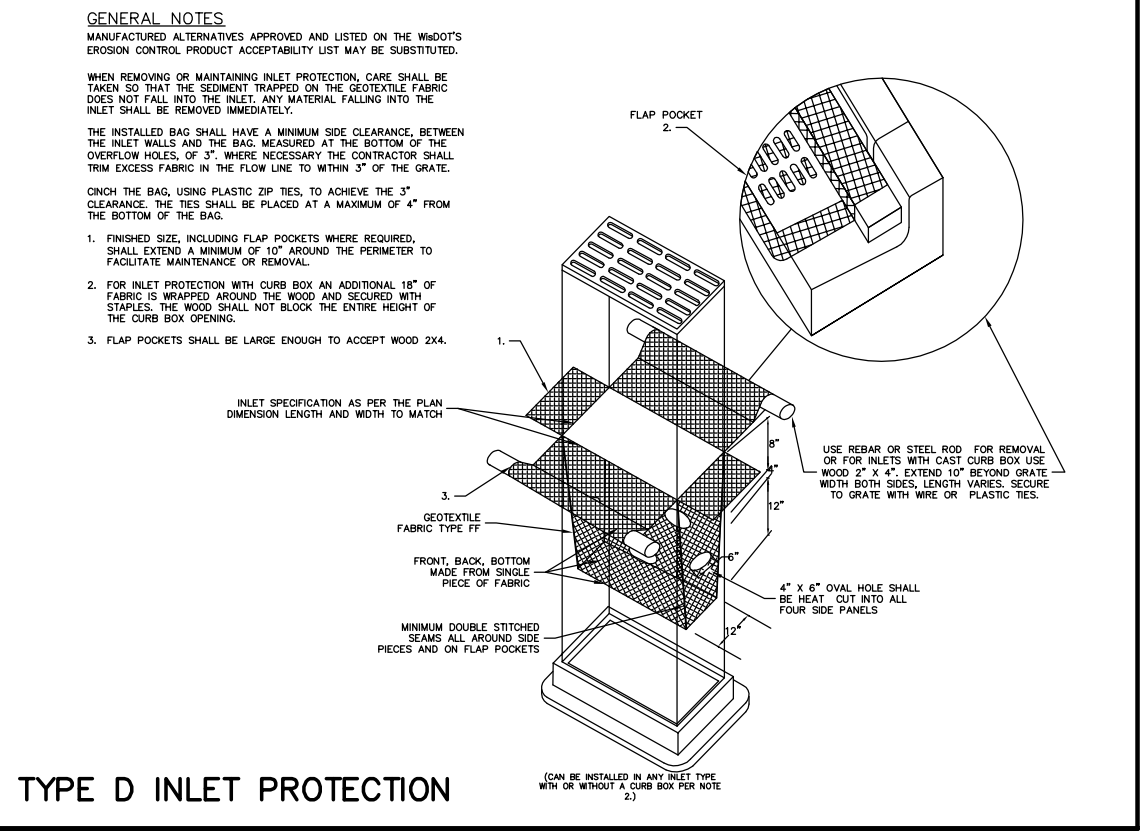
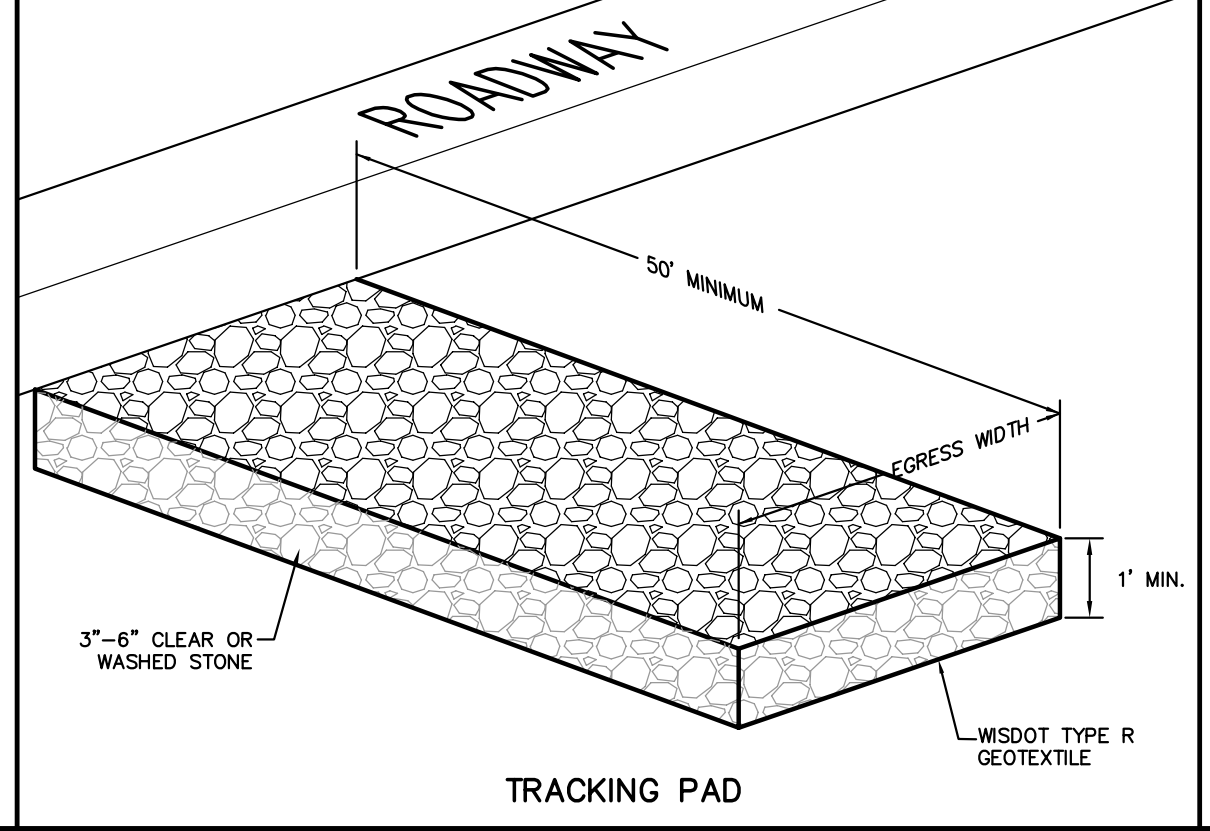
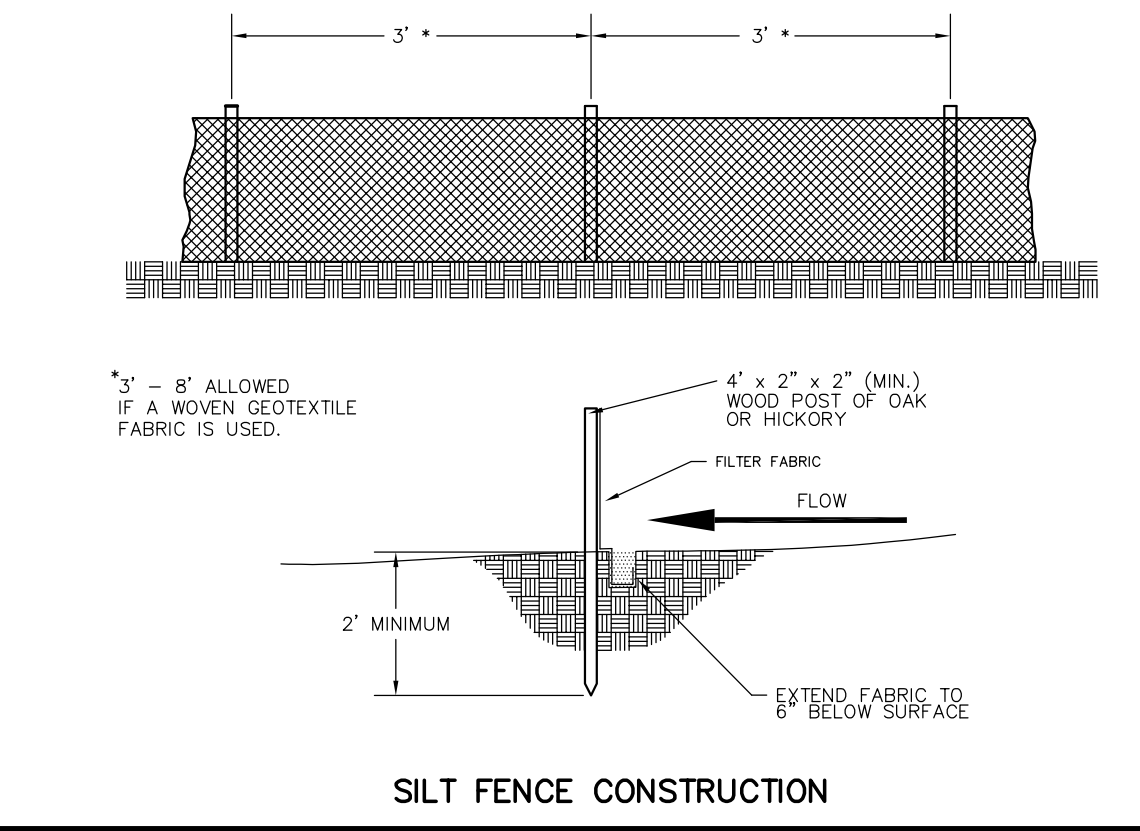
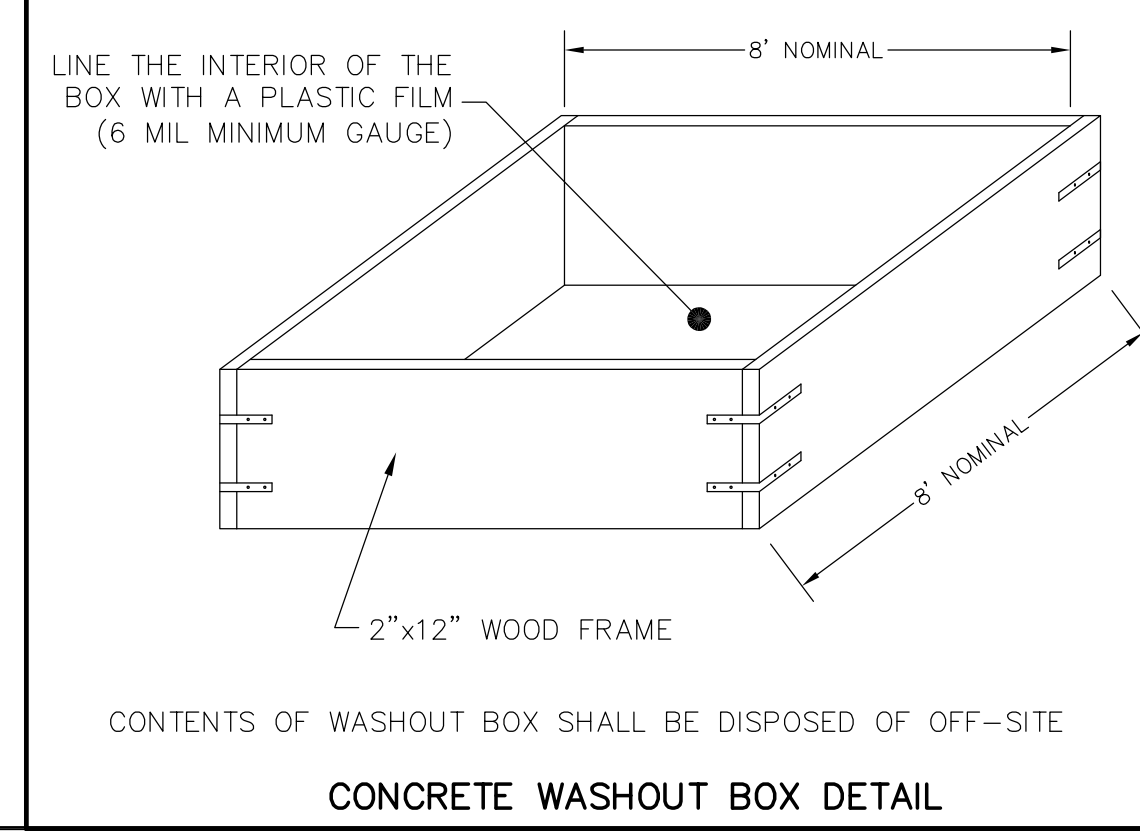
Emergency Contact
 Michael Matty
 2132 Fordem Avenue Suite #1400
 Madison WI 53704
 608.301.0000
 mmatty@rgrentals.com
 www.rgrentals.com

Schedule:

June 1, 2017	Install silt fence and construction entrance.
June 2, 2017	Raze existing buildings
July 1, 2017	Begin construction of new building
May 1, 2018	Building complete and all site work completed. Seed and mulch all disturbed area and/or install landscaping
July 1, 2018	Vegetation established.

- NOTES:**
- ALL PRIVATE UTILITIES (GAS, ELECTRIC, AND TELECOMMUNICATIONS) SERVING EXISTING BUILDINGS SCHEDULED FOR DEMOLITION TO BE ABANDONED OR REMOVED BY CORRESPONDING UTILITY COMPANY.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
 - CONTRACTOR SHALL VERIFY THE SIZE, TYPE, SLOPE, AND INVERTS OF ALL EXISTING STORM AND SANITARY LATERALS CALLED OUT TO BE CONNECTED TO. CONTRACTOR SHALL SUBMIT THE INFORMATION ON THE PIPES TO THE CITY INSPECTOR AND PROJECT CIVIL ENGINEER.
 - ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON'S STANDARD SPECIFICATION.
 - ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY ISSUED PLANS FOR PROJECT NO. (TBD).
 - ALL GRADES SHOWN ARE TO BE FINISHED SURFACE

DIGGERS HOTLINE
 Dial 811 or (800) 242-8511
 www.DiggersHotline.com



LEGEND

---852---	EXISTING MINOR CONTOUR
---855---	EXISTING MAJOR CONTOUR
---852---	PROPOSED MINOR CONTOUR
---855---	PROPOSED MAJOR CONTOUR
861.81	PROPOSED SPOT ELEVATION
861.81 TC	PROPOSED TO-OFF-CURB ELEVATION
861.81 EP	PROPOSED EDGE-OF-PAVEMENT ELEVATION
861.81	EXISTING SPOT ELEVATION
861.81SW	EXISTING SIDE WALK
→	DRAINAGE ARROW

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 Phone: 608-250-9263
 Fax: 608-250-9266
 e-mail: MBurse@Burse-INC.net
www.bursesurveyengr.com

APPROVALS:
 PROJECT FILE: _____
 PREPARED BY: _____
 DRAWN BY: _____
 CHECKED BY: _____
 DATE: _____

The KM2 Building
 707-713 E. Johnson St
 Madison, WI 53704

Renaissance Property Group LLC
 2132 Fordem Ave Suite #1400
 Madison, WI 53704

PROJECT #: BSE1908
PLOT DATE: 03-15-2017

REVISION DATES:

ISSUE DATES:

GRADING AND EROSION CONTROL PLAN

Burse
 Surveying and Engineering, Inc.

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DRAWING NUMBER
C300

