

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Date Received 3/27/26 3:01 p.m. Initial Submittal
Paid _____ Revised Submittal

Complete all sections of this application, including the desired meeting date and the action requested. If your project requires both UDC and Land Use application submittals, a completed [Land Use Application](#) and accompanying submittal materials are also required to be submitted.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the Planning Division at (608) 266-4635.

Si necesita interprete, traductor, materiales en diferentes formatos, u otro tipo de ayuda para acceder a estos formularios, por favor llame al (608) 266-4635.

Yog tias koj xov tau ib tug neeg txhais lus, tus neeg txhais ntawv, los sis xav tau cov ntau ntawv ua lwm hom ntawv los sis lwm cov kev pab kom paub txog cov lus qhia no, thov hu rau Koog Npaj (Planning Division) (608) 266-4635.

1. Project Information

Address (list all addresses on the project site): 1910 Roth Street, Madison, WI 53704 & 1201 Huxley St, Madison, WI 53704

Title: Huxley Affordable Housing Project

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested May 20, 2026

- New development Alteration to an existing or previously-approved development
 Informational Initial Approval Final Approval

3. Project Type

- Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex

Signage

- Comprehensive Design Review (CDR)
 Modifications of Height, Area, and Setback
 Sign Exceptions as noted in [Sec. 31.043\(3\)](#), MGO

Other

- Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name Nick Storlie
Street address 10900 NE 8th Street, Suite 1200
Telephone 763-688-1119

Company DevCo Preservation, LLC
City/State/Zip Bellevue, WA 98004
Email Nick.Storlie@DevCoUS.com

Project contact person Melanie Davies
Street address 10900 NE 8th Street, Suite 1200
Telephone 425-293-4412

Company DevCo Preservation, LLC
City/State/Zip Bellevue, WA 98004
Email Melanie.Davies@DevCoUS.com

Property owner (if not applicant) OM Land, LLC
Street address 172 S Broadway
Telephone 914-821-5173

City/State/Zip White Plains, NY 10605
Email AlexReich@Reichbrothers.com

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. A request for an Informational Presentation to the UDC may be requested prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design efforts. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Modification requests)
- Initial Approval. Applicants may, at their discretion, request Initial Approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the Initial Approval must be addressed at this time.

Presentations to the Commission

The Urban Design Commission meets virtually via Zoom, typically on the second and fourth Wednesdays of each month at 4:30 p.m. Applicant presentations are strongly encouraged, although not required. Prior to the meeting, each individual speaker is required to complete an online registration form to speak at the meeting. A link to complete the online registration will be provided by staff prior to the meeting. Please note that individual presentations will be limited to a **maximum of three (3) minutes**. The pooling of time may be utilized to provide one speaker more time to present, however the additional time will be based on the number of registrants from the applicant team, i.e. two (2) applicant registrants = six (6) minutes for one (1) speaker.

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics. Please note that presentation slides, in a PDF file format, are required to be submitted **the Friday before** the UDC meeting.

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimum application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in **both** black & white and color for all building sides, including material and color callouts
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

- Grading Plan
- Lighting Plan, including fixture cut sheets and photometrics plan (must be legible)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- Site Plan showing site amenities, fencing, trash, bike parking, etc. (if applicable)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials
- Proposed sign areas and types (if applicable)

4. Signage Approval (*Comprehensive Design Review (CDR), Sign Modifications, and Sign Exceptions (per [Sec. 31.043\(3\)](#))*)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Modifications criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets [Ch. 31, MGO](#) compared to what is being requested
- Graphic of the proposed signage as it relates to what the [Ch. 31, MGO](#) would permit

5. Required Submittal Materials

Application Form

- A completed application form is required for each UDC appearance. For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (Initial or Final Approval) from the UDC.

Letter of Intent

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required.
- For signage applications, a summary of how the proposed signage is consistent with the applicable Comprehensive Design Review (CDR) or Signage Modification review criteria is required.

Development Plans (Refer to checklist on Page 4 for plan details)

Filing Fee (Refer to Section 7 (below) for a list of application fees by request type)

Electronic Submittal

- Complete electronic submittals must be received prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. All plans must be legible and scalable when reduced. Individual PDF files of each item submitted should be submitted via email to UDCapplications@cityofmadison.com. The email must include the project address, project name, and applicant name.
- Email Size Limits. Note that an individual email cannot exceed 20MB and it is the responsibility of the applicant to present files in a manner that can be accepted. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

Notification to the District Alder

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Jessica Vaughn on 3/5/2026.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Nick Storlie Relationship to property Option to Purchase

Authorizing signature of property owner  Date 3/23/26

7. Application Filing Fees

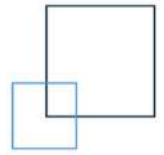
Fee payments are due by the submittal date. Payments received after the submittal deadline may result in the submittal being scheduled for the next application review cycle. Fees may be paid in-person, via US Mail, or City drop box. If mailed, please mail to: *City of Madison Building Inspection, P.O. Box 2984, Madison, WI 53701-2984*. The City's drop box is located outside the Municipal Building at 215 Martin Luther King, Jr. Blvd. on the E Doty Street side of the building. Please make checks payable to *City Treasurer*, and include a completed application form or cover letter indicating the project location and applicant information with all checks mailed or submitted via the City's drop box.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per [§33.24\(6\) MGO](#)).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per [§33.24\(6\)\(b\) MGO](#))
- Comprehensive Design Review: \$500 (per [§31.041\(3\)\(d\)\(1\)\(a\) MGO](#))
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per [§31.041\(3\)\(d\)\(1\)\(c\) MGO](#))
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for Sign Modifications (of height, area, and setback), and additional sign code approvals: \$300 (per [§31.041\(3\)\(d\)\(2\) MGO](#))

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex



March 27, 2026

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
Madison, WI 53701-2985

RE: Huxley Street Apartments, 1201 Huxley Street & 1910 Roth St., Madison, WI 53704
Parcel Numbers: 0810-313-0403-3, 0810-313-0404-1

DevCo Residential Group is pleased to submit our proposal to develop a 163-unit affordable multifamily residential community at 1201 Huxley Street, the former transit hub site located in District 12 in the City of Madison. The project will transform an underutilized property into a vibrant residential community that provides high-quality, long-term affordable housing for working families and individuals.

The proposed development will consist of 163 affordable rental apartments serving households earning between 50% and 70% of Area Median Income (AMI). The community will include a mix of one-, two-, and three-bedroom units designed to accommodate a variety of household types and support the City's efforts to expand access to stable, workforce housing.

Existing Site Conditions

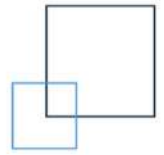
The project site is located at 1201 Huxley Street and 1901 Roth Street is the location of a former transit hub facility. The property currently consists primarily of paved surfaces and infrastructure associated with its prior transit use. The site's size, location, and proximity to public transportation, neighborhood services, and employment centers make it well suited for residential redevelopment.

Redevelopment of the property will involve removal of remaining transit infrastructure, site grading, installation of utilities, and construction of new residential buildings and site improvements. The project will incorporate landscaped open spaces, pedestrian connections, and site amenities that contribute to the surrounding neighborhood fabric while creating a welcoming residential environment.

Land Use and Entitlements

To facilitate the proposed development, the project team intends to pursue the following approvals from the City of Madison:

- Land Use Approval to rezone one parcel from TR-U1 to TR-U2 so that both parcels are zone TR-U2
- Conditional Use approval for the proposed residential building complex and density



In addition, the development team will submit a Certified Survey Map (CSM) to combine the two existing parcels that currently comprise the project site into a single development lot. The proposed subdivision will result in one consolidated lot that will accommodate the entire residential development.

There are no additional development lots are proposed as part of the subdivision application. The intent of the CSM is to create a single lot configuration that supports efficient site planning, building placement, circulation, and utility infrastructure for the multifamily residential community.

The Subdivision application for the CSM will be submitted concurrently with the Land Use application, allowing the City to review the lot consolidation and land use approvals in parallel as part of the overall development proposal.

These approvals will allow for an appropriate residential density and building configuration that supports the creation of meaningful affordable housing while remaining consistent with the surrounding neighborhood context.

Proposed Development Program

The proposed development will include approximately 165,443 gross square feet of residential and amenity space. The community will consist of 163 multifamily apartment units designed to provide comfortable, durable, and energy-efficient homes for residents.

The preliminary unit mix will include a combination of one-, two-, and three-bedroom apartments, providing housing options suitable for individuals, couples, and families.

Resident amenities are expected to include:

- A community room and shared gathering spaces
- On-site property management offices
- Landscaped outdoor spaces and common areas
- Bicycle storage and resident parking

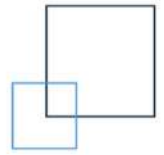
The buildings will be designed to promote long-term operational sustainability while providing high-quality living environments for residents.

Operations and Staffing

The property will operate as a residential community. On-site property management staff will maintain regular office hours for leasing, resident services, and property operations.

Anticipated staffing for the development includes:

- 1 Property Manager
- 2 Leasing and administrative staff



- 2 Maintenance personnel

This staffing structure will ensure professional property management, responsive maintenance, and consistent oversight of building operations.

Project Schedule and Phasing

The proposed development is anticipated to be constructed in a single phase, allowing for coordinated construction and efficient project delivery.

The current projected schedule is as follows:

- **Entitlements and Approvals:** June 2026
- **Site Plan & Building Plan Approvals:** October 2026
- **Project Closing:** November 2026
- **Construction Start:** Shortly after closing in late 2026
- **Construction Duration:** Approximately 16 months
- **Projected Completion:** April 2028

Delivering the development in a single phase will allow all residential units and community amenities to be completed concurrently and available to residents upon project completion.

Project Team

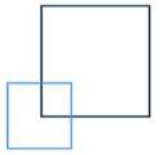
The proposed development will be delivered by an experienced team with expertise in affordable housing development, architecture, and civil engineering.

- **Developer:** DevCo Residential Group
Trevor Martinez, Development Manager, Nick Storlie, Senior Development Associate, Melanie Davies, Senior Planning Manager, & Corban Lawlor, Assistant Project Manager.
- **Architect:** Kaas Wilson Architects
Nick Conniff, Vice President of Operations, Amy Caran, Architectural Designer 3, & Esau Rodriguez, Architect 2.
Civil Engineer & Surveyor: Civil Site Group
Matt Pavek, Civil Engineer, David Knaeble PE, Project Manager, Will Bruestle EIT, Project Engineer & Jazmin Hernandez, Landscape Designer, Rory Synsteliën, Director of Land Surveying

The team brings extensive experience designing and delivering multifamily residential developments that are responsive to community needs and aligned with local planning objectives.

Community Impact

Redevelopment of the former transit hub site represents an important opportunity to increase the supply of high-quality affordable housing in Madison. The project will provide 163 new affordable homes for households earning between 50% and 70% of AMI, helping address the city's growing demand for workforce housing.



By converting an underutilized property into a well-designed residential community, the development will enhance land use efficiency, support transit accessibility, and contribute positively to the continued vitality of District 12.

Conclusion

DevCo Residential Group is committed to working collaboratively with the City of Madison and community stakeholders to deliver a thoughtful, high-quality affordable housing development at 1201 Huxley Street. We appreciate the opportunity to present this proposal and look forward to continuing discussions as the project advances through the City’s review process.

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DevCo - 1201 Huxley & 1901 Roth

1201 Huxley St & 1901 Roth St, Madison, WI 53704
03/27/2026
#25164



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UNIT_PLAN_UNIT_2-0	A7.1
UNIT_PLAN_UNIT_3-0	A7.2
Grand total:	32

PROJECT TEAM

DEVELOPMENT

DevCo
 10900 NE 8th Street
 Suite 1200
 Bellevue, WA 98004
 Melanie Davies
 425-293-4412

ARCHITECT

Kaas Wilson Architects
 1301 American Blvd E, Suite 100
 Bloomington, MN 55425
 (612) 879-6000

CIVIL ENGINEER

Civil Site Group, PC
 5000 Glenwood Avenue
 Golden Valley, MN 55422
 (612) 615-0060

SITE METRICS

PARCEL ID:

1201 Huxley St : 0810-313-0403-3

1910 Roth St : 0810-313-0404-1

ADDRESS

1201 Huxley St - 110,934 sq ft

1910 Roth St - 71,987 sq ft

PARCEL AREA 182,921 SQ.FT. (4.199 ACRES)

ZONING

1201 Huxley St - TR-U2, TR-U1

1910 Roth St - TR-U2

APPLICATIONS

—

PROJECT SUMMARY:

THE SITE IS COMPOSED OF 2, 4 STORY, L SHAPE MULTIFAMILY BUILDINGS. BOTH BUILDINGS HAVE 163 UNITS. ONE BUILDING WILL HAVE A COMMUNITY SPACE AS WELL AS A WELLNESS ROOM. THE PARKING WILL BE EXTERIOR ON SITE AND WE'LL HAVE 197 STALLS. PER THE CITY, WE WILL HAVE BIKE PARKING PER THE UNIT TO BIKE RATIO REQUIRED.

PROJECT NOTES:

- BIRD SAFE GLASS WILL NOT BE REQUIRED SINCE GLAZING AREAS ARE UNDER 50SF FT
- BIKE STORAGE PARKING:
 - 1910 ROTH: 93 COVERED STALLS
 - 1202 HUXLEY: 90 COVERED STALLS
 - OUTDOOR 9 SHORT TERM PER BUILDING
 - TOTAL BIKE STORAGE LOCKERS: 10

Covered Bike Storage Building A : 1910 Roth				
Bedroom Count	Unit Count	Bike Factor	Total	
1	24	1	1	24
2	39	1	1	39
3	20	1.5	30	
Total	83			
Total for building A				93

Covered Bike Storage Building B : 1202 Huxley				
Bedroom Count	Unit Count	Bike Factor	Total	
1	21	1	1	21
2	39	1	1	39
3	20	1.5	30	
Total	80			
Total for building B				90



VICINITY MAP



SITE LOCATION

GROSS AREA - BLDG A	
Level	Area
Level 4	25,805 SF
Level 3	25,805 SF
Level 2	25,805 SF
Level 1	25,805 SF
Grand total	103,220 SF

GROSS AREA - BLDG B	
Level	Area
Level 4	25,805 SF
Level 3	25,805 SF
Level 2	25,805 SF
Level 1	25,805 SF
Grand total	103,220 SF

GROSS AREA - BLDG A UNITS 1910 ROTH

Name	Area	Building
Unit 1-0		
Unit 1-0	16,352 SF	Building A
Unit 1-0: 24	16,352 SF	
Unit 2-0		
Unit 2-0	40,612 SF	Building A
Unit 2-0: 39	40,612 SF	
Unit 3-0		
Unit 3-0	21,440 SF	Building A
Unit 3-0: 16	21,440 SF	
Unit 3-2		
Unit 3-2	5,680 SF	Building A
Unit 3-2: 4	5,680 SF	
Grand total:	84,084 SF	
83		

GROSS AREA - BLDG B UNITS 1210 HUX

Name	Area	Building
Unit 1-0		
Unit 1-0	14,308 SF	Building B
Unit 1-0: 21	14,308 SF	
Unit 2-0		
Unit 2-0	40,612 SF	Building B
Unit 2-0: 39	40,612 SF	
Unit 3-0		
Unit 3-0	21,440 SF	Building B
Unit 3-0: 16	21,440 SF	
Unit 3-2		
Unit 3-2	5,680 SF	Building B
Unit 3-2: 4	5,680 SF	
Grand total:	82,040 SF	
80		

UNIT MIX - GROSS AREA

Name	Count	Unit Gross Area	Total Area	%
		Main Floor		
1 BR				
Unit 1-0	45	681 SF	30,660 SF	28%
	45		30,660 SF	28%
2BR				
Unit 2-0	78	1,041 SF	81,224 SF	48%
	78		81,224 SF	48%
3BR				
Unit 3-0	32	1,340 SF	42,880 SF	20%
Unit 3-2	8	1,420 SF	11,360 SF	5%
	40		54,240 SF	25%
Grand total	163		166,124 SF	100%

PARKING

Description	Count
8' x 16' Compact	49
9' x 18' Standard	140
9' x 18' ADA Accessible	8

197 stalls
163 units
1.21 ratio

197



South of Site Huxley and Roth Intersection



Field Across: 1910 Roth St



Storage Across: 1201 Huxley St



Building Across: 1201 Huxley St



North West of Site Huxley and Aberg Ave Intersection



Residential North of Site on Aberg Ave

VIEW FROM NORTH TO SOUTH



VIEW FROM SOUTH TO NORTH



EXISTING BUS STATION TO BE REMOVED

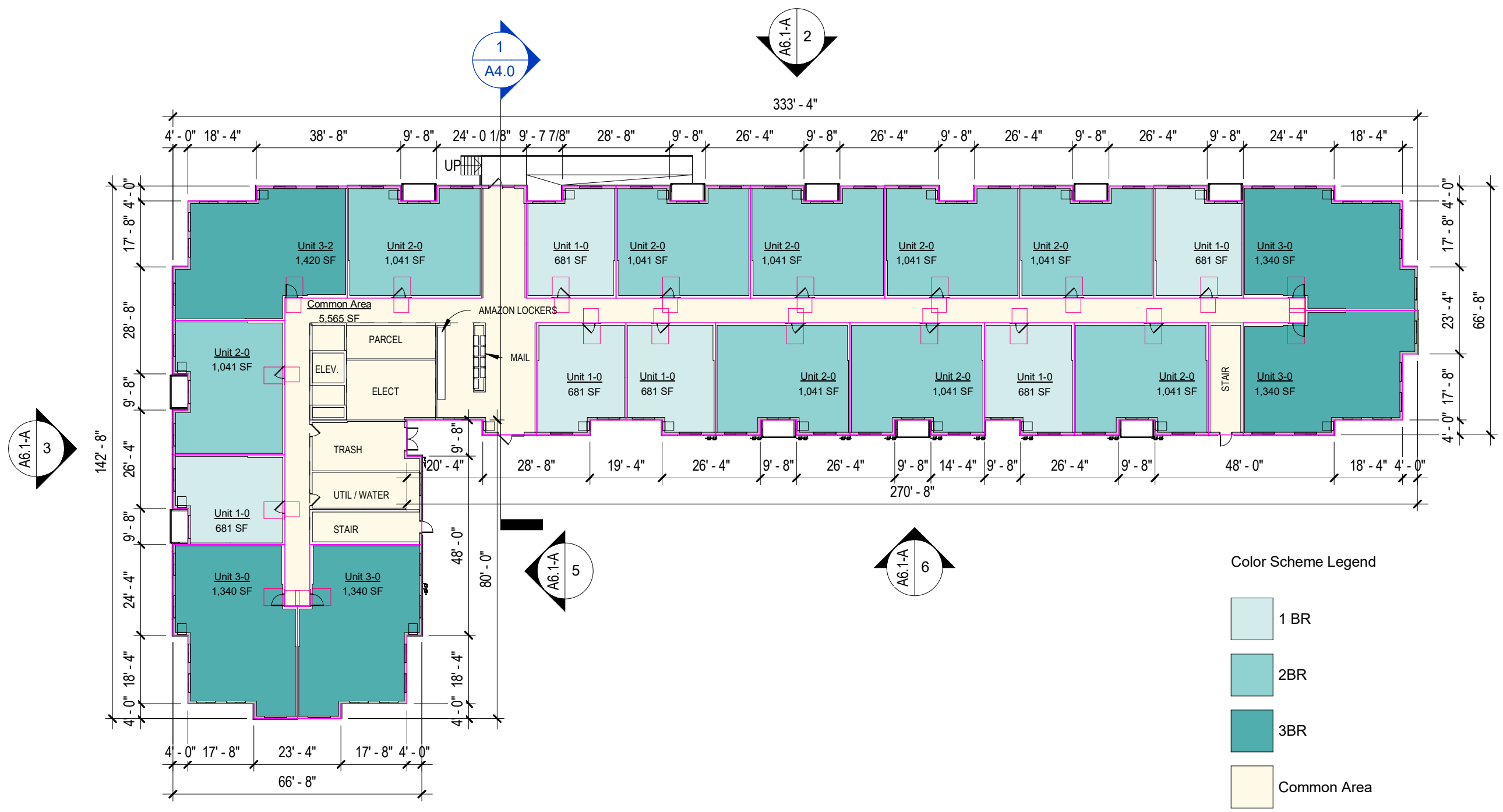




1 SD Site Plan
1" = 60'-0"

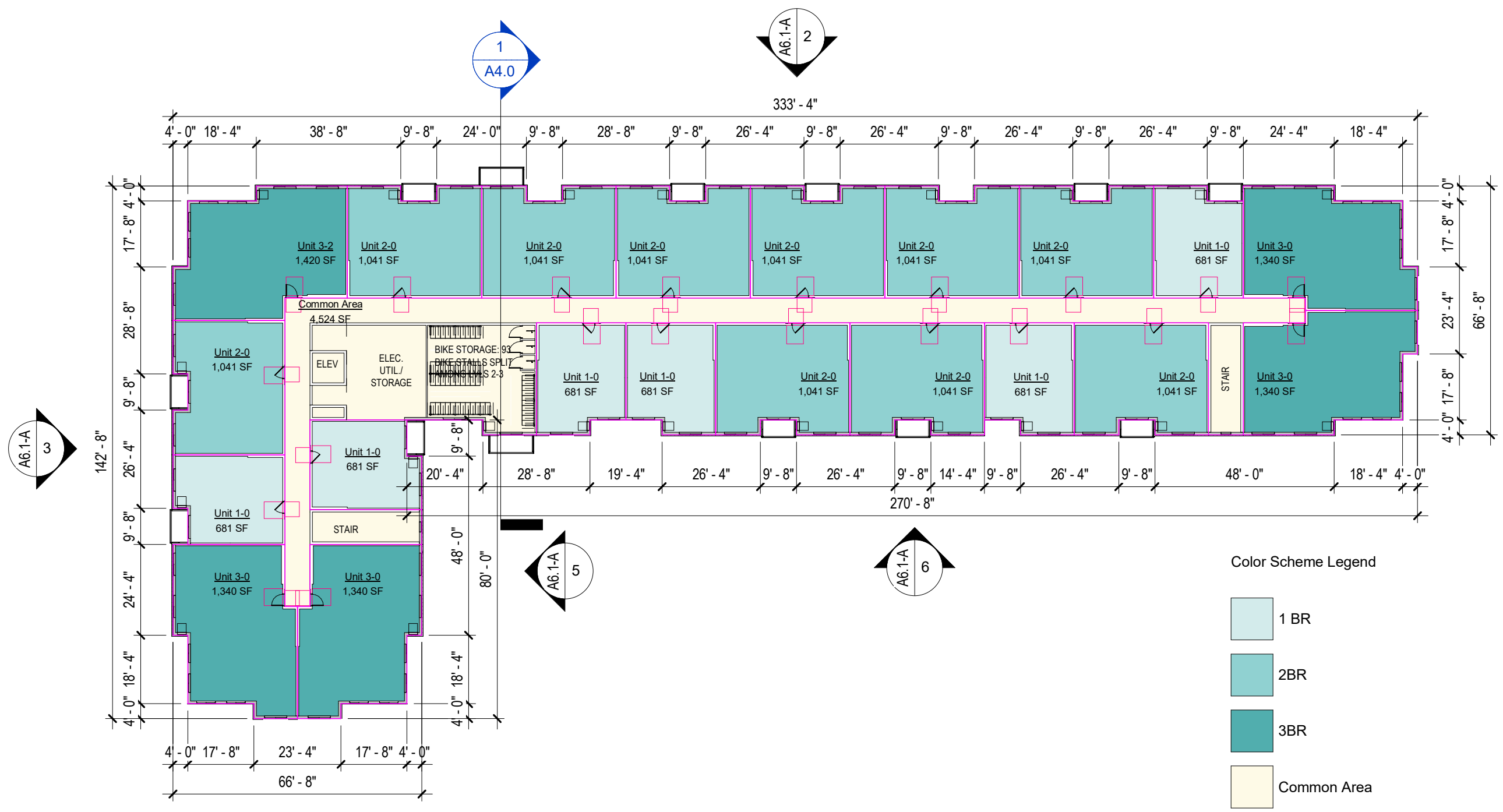


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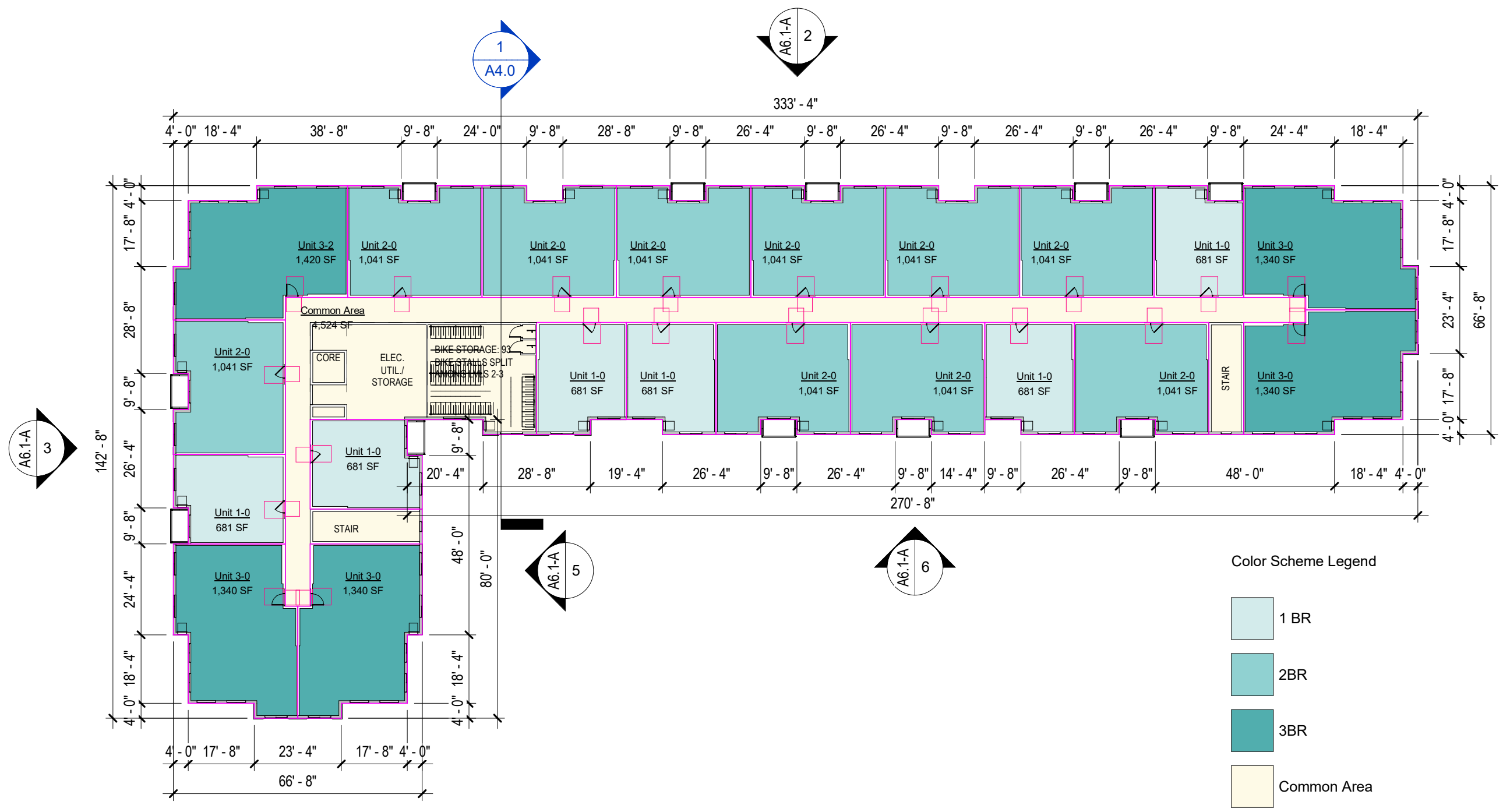
1 Building A - Level 1
1" = 30'-0"





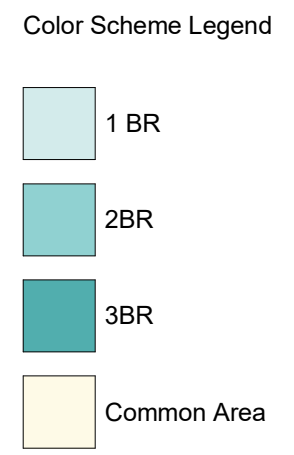
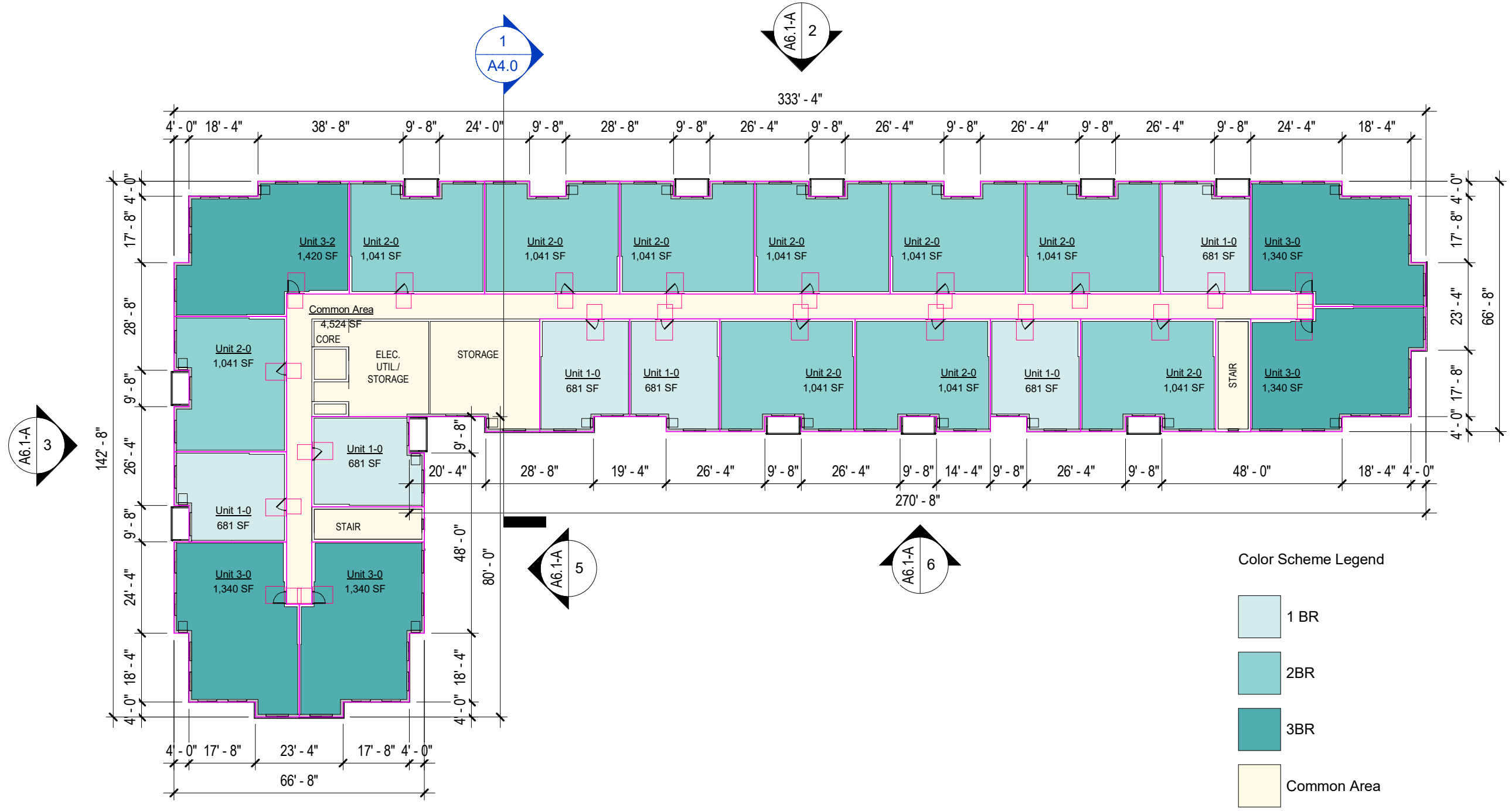
1 Building A - Level 2
1" = 30'-0"





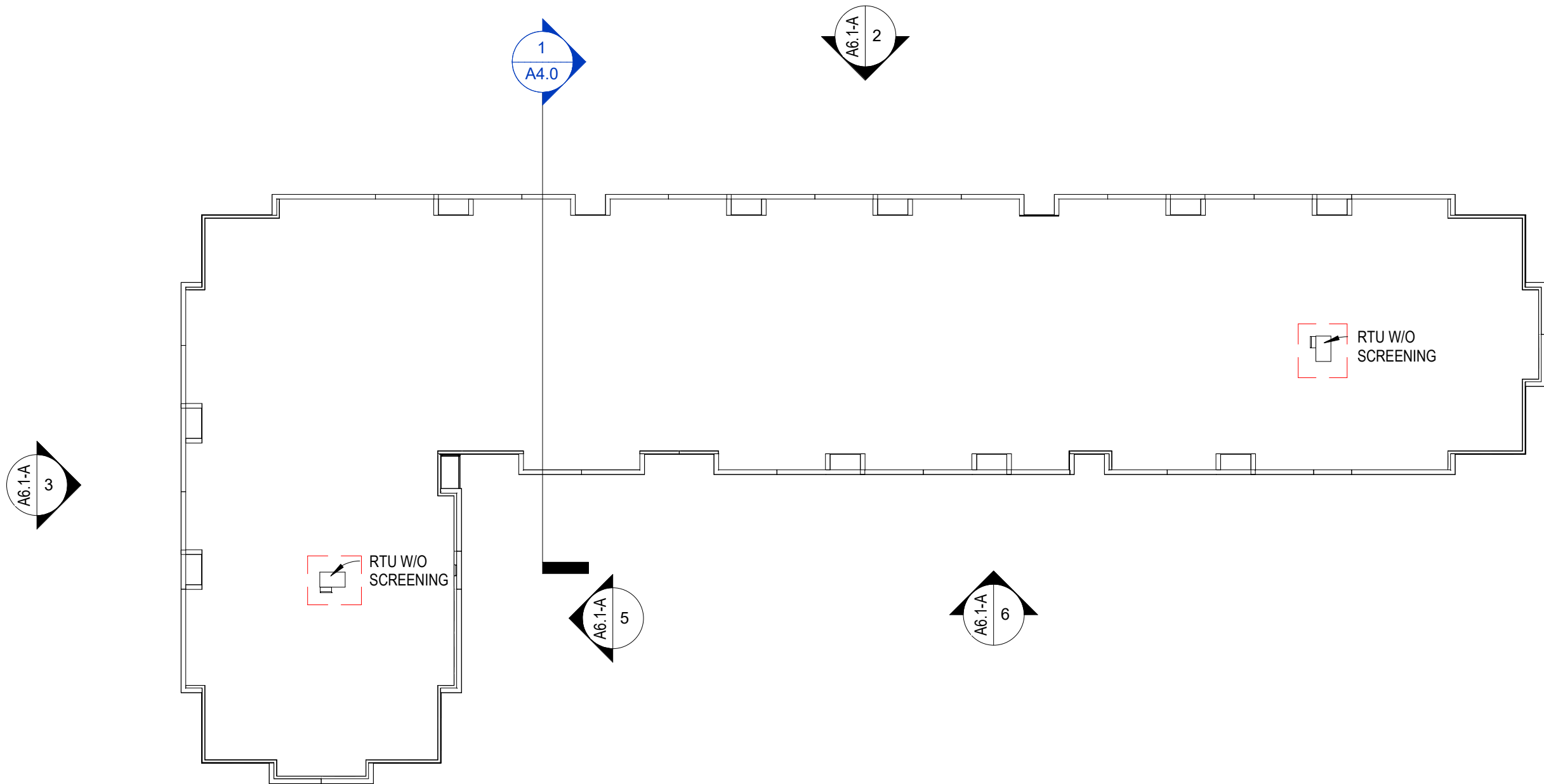
1 Building A - Level 3
1" = 30'-0"





1 Building A - Level 4
1" = 30'-0"

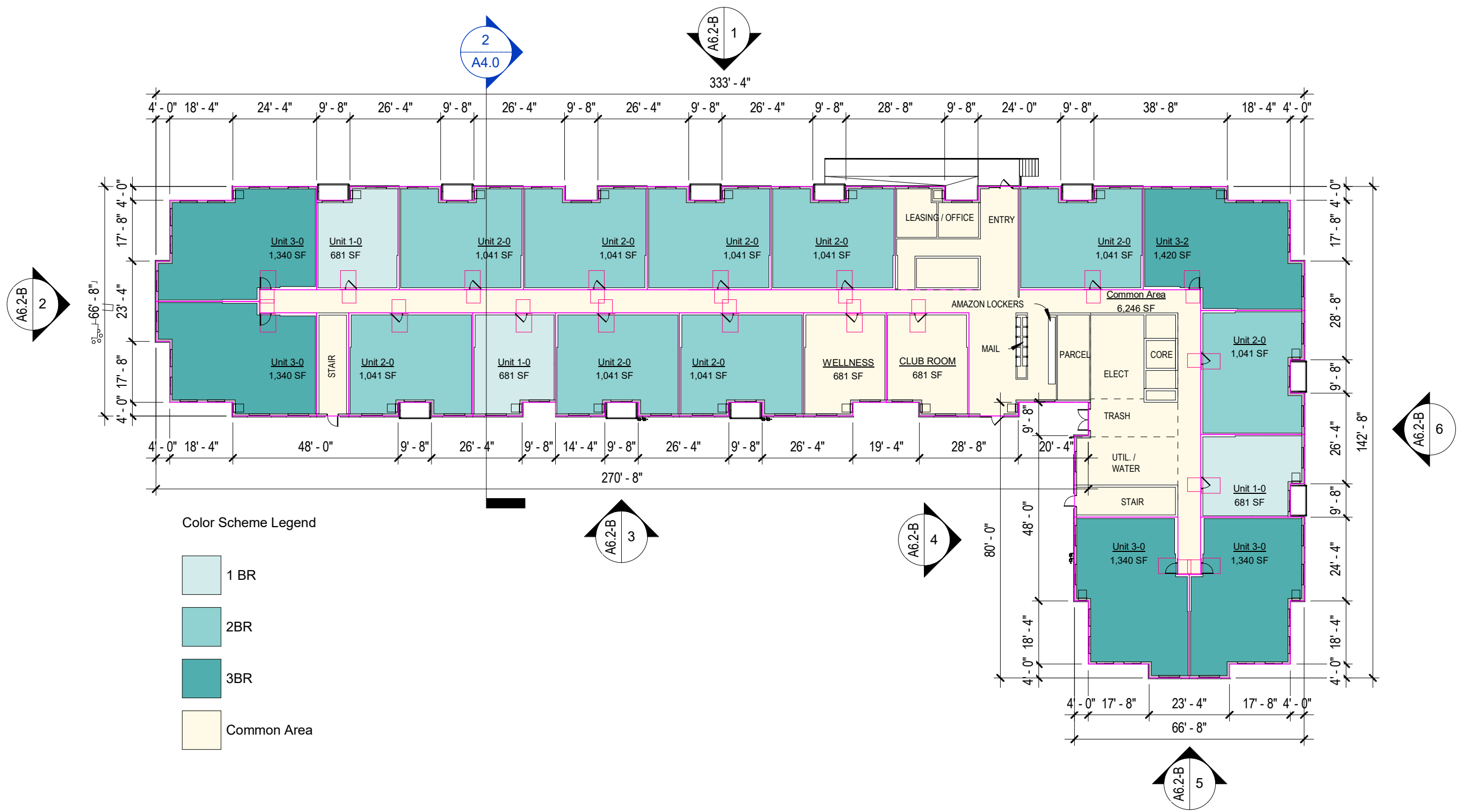




① Building A - Roof Plan
1" = 30'-0"

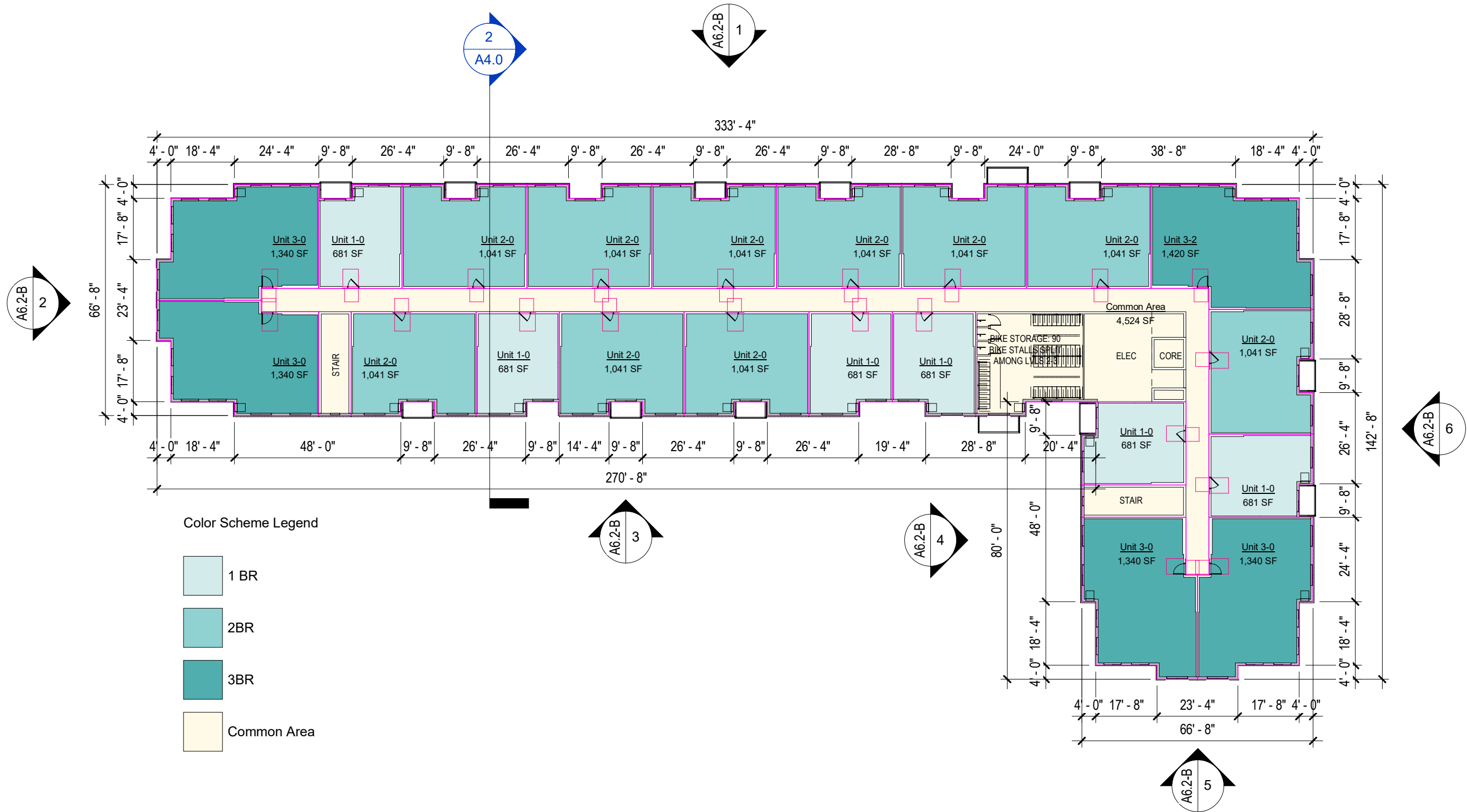


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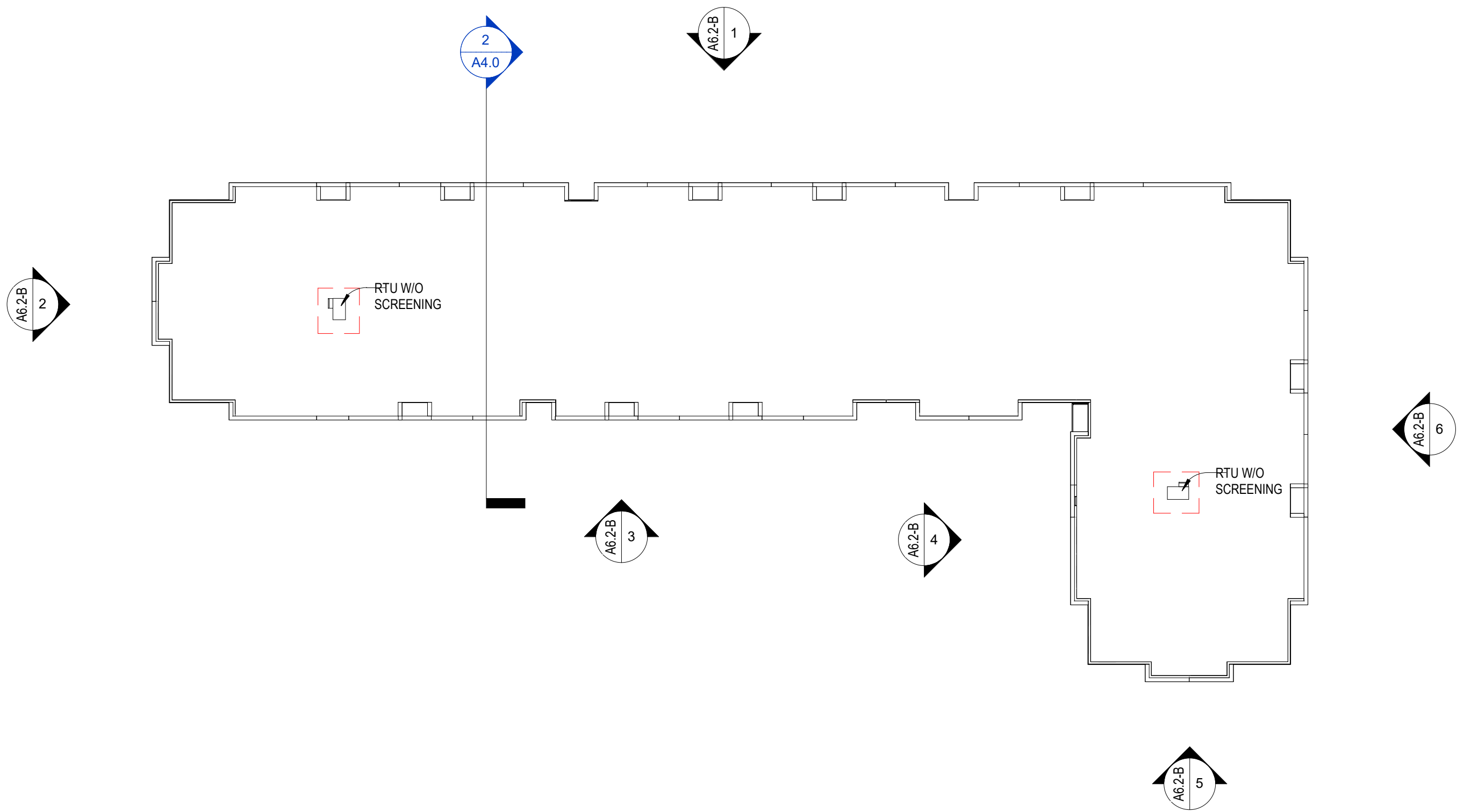
① Building B - Level 1
1" = 30'-0"





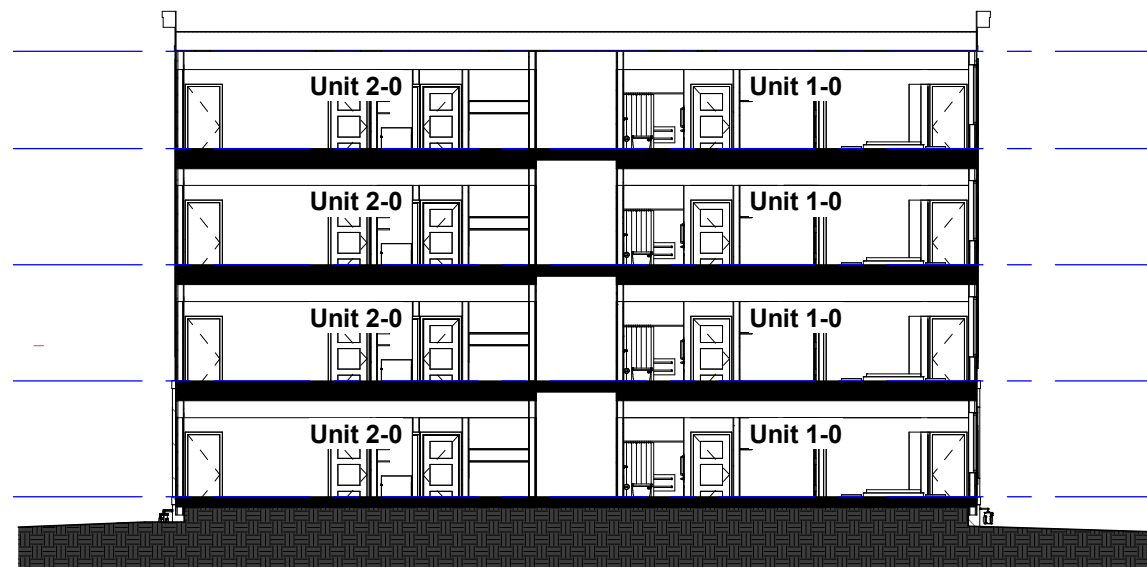
① Building B - Level 2
1" = 30'-0"



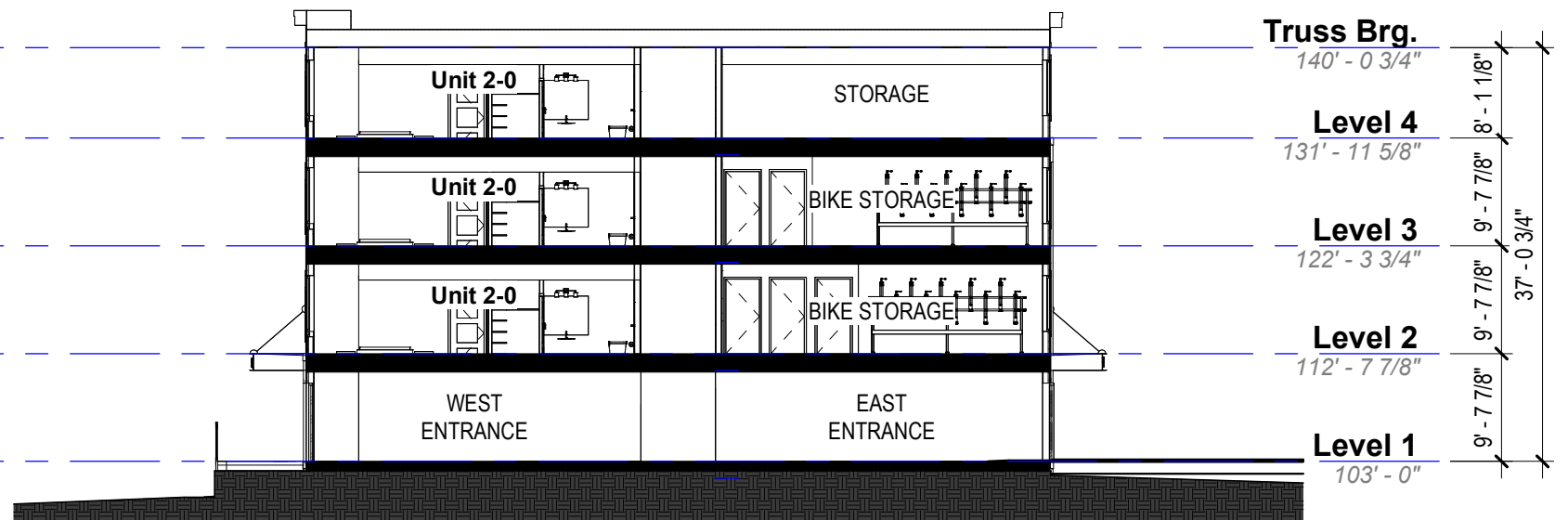


① Building B - Roof Plan
1" = 30'-0"

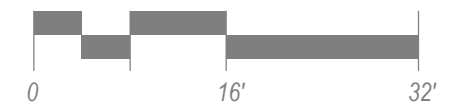




② BUILDING B SECTION
1/16" = 1'-0"



① BUILDING A SECTION
1/16" = 1'-0"





RENDERING - BUILDING A - NORTHWEST



RENDERING - BUILDING A - SOUTHWEST



RENDERING - BUILDING A - SOUTH



RENDERING - BUILDING A - EAST



RENDERING - BUILDING B - NORTHWEST



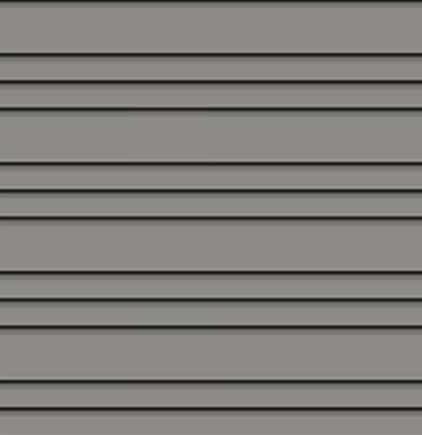



RENDERING - BUILDING B - SOUTHWEST

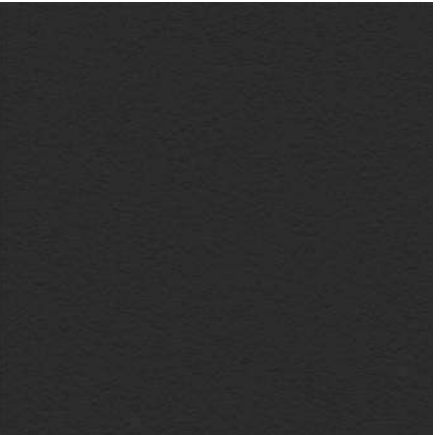





RENDERING - BUILDING B - NORTHEAST

EXTERIOR MATERIALS

Material Mark	Description	Image
4.1	Smooth Face Architectural CMU - Integral Color: Khaki	
4.2	Manufactured Stone Veneer - Color: Echo Ridge	
7.1	Fiber Cement Lap Siding - Alternating Horizontal Exposure 4"/4"/8" - Color: Gray Slate	
7.2	Fiber Cement Panel - Color: Arctic White	

EXTERIOR MATERIALS

Material Mark	Description	Image
7.3	Fiber Cement Panel - Color: Iron Gray	
7.4	Fiber Cement Panel - Board & Batten - Color: Evening Blue	
7.5	Fiber Cement Panel - Board & Batten - Color: Mountain Sage	
8.0	08-Glass	

3/26/2026 8:46:25 PM



① Bldg A Elevation 1
1" = 30'-0"



② Bldg A Elevation 2
1" = 30'-0"

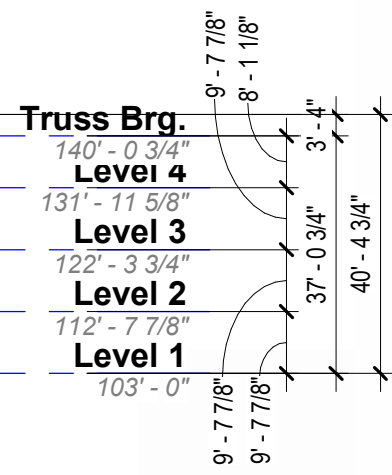
Truss Brg.
140' - 0 3/4"
Level 4
131' - 11 5/8"
Level 3
122' - 3 3/4"
Level 2
112' - 7 7/8"
Level 1
103' - 0"



③ Bldg A Elevation 3
1" = 30'-0"



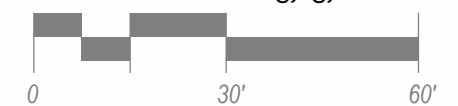
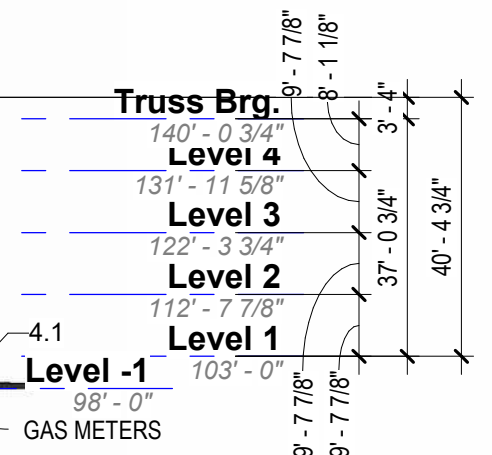
④ Bldg A Elevation 4
1" = 30'-0"



⑤ Bldg A Elevation 5
1" = 30'-0"



⑥ Bldg A Elevation 6
1" = 30'-0"



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① Bldg A Elevation 1
1" = 30'-0"

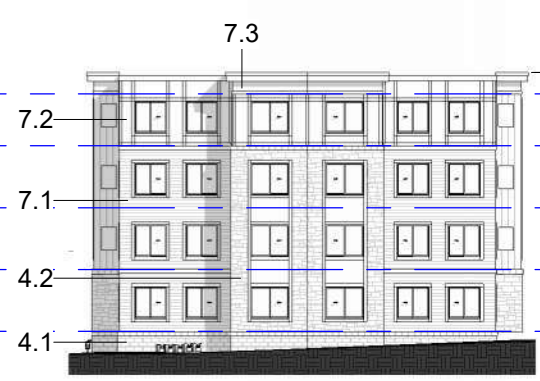


② Bldg A Elevation 2
1" = 30'-0"

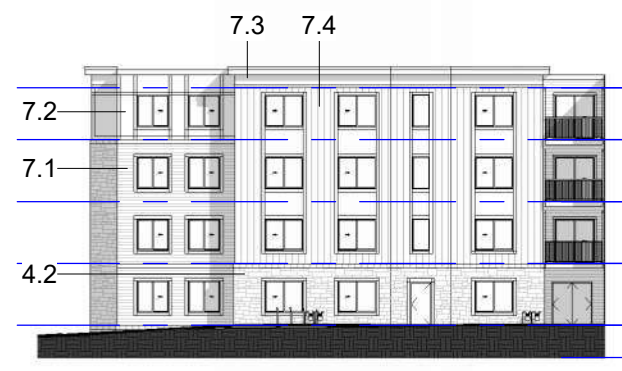
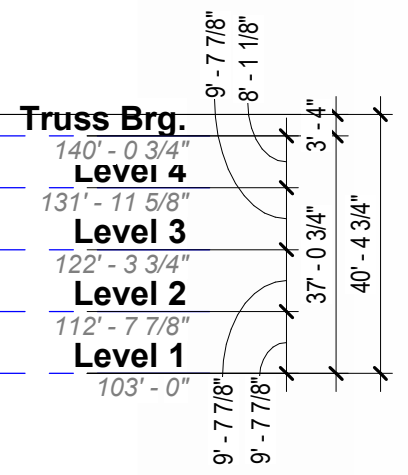
Truss Brg.
 140' - 0 3/4"
Level 4
 131' - 11 5/8"
Level 3
 122' - 3 3/4"
Level 2
 112' - 7 7/8"
Level 1
 103' - 0"



③ Bldg A Elevation 3
1" = 30'-0"



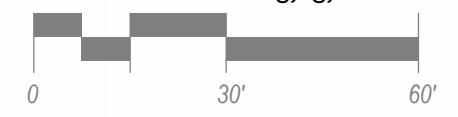
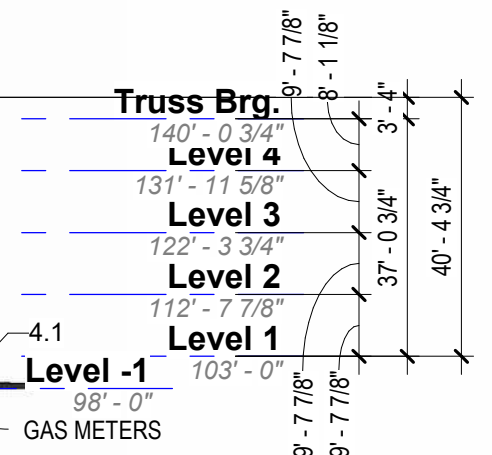
④ Bldg A Elevation 4
1" = 30'-0"



⑤ Bldg A Elevation 5
1" = 30'-0"



⑥ Bldg A Elevation 6
1" = 30'-0"



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① Bldg B Elevation 1
1" = 30'-0"



② Bldg B Elevation 2
1" = 30'-0"



③ Bldg B Elevation 3
1" = 30'-0"



④ Bldg B Elevation 4
1" = 30'-0"



⑤ Bldg B Elevation 5
1" = 30'-0"



⑥ Bldg B Elevation 6
1" = 30'-0"



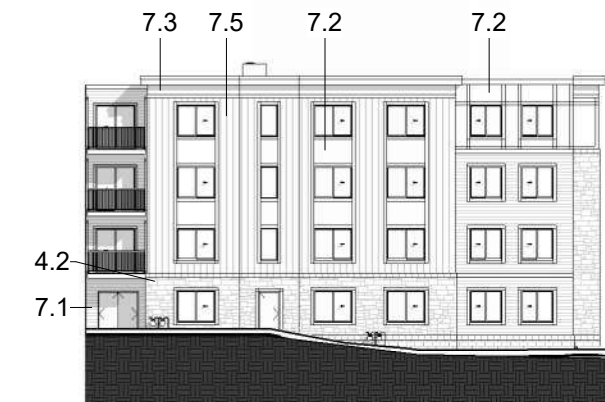
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1" = 30'-0"



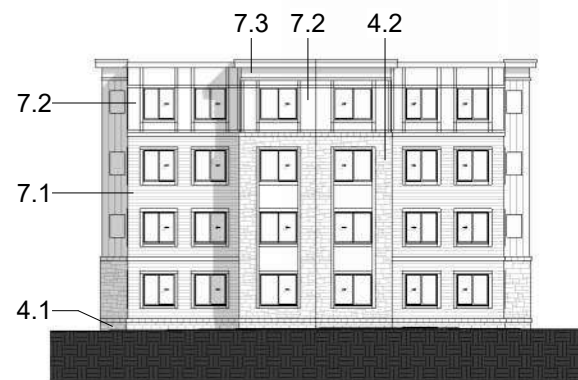
② Bldg B Elevation 2
1" = 30'-0"



③ Bldg B Elevation 3
1" = 30'-0"



④ Bldg B Elevation 4
1" = 30'-0"

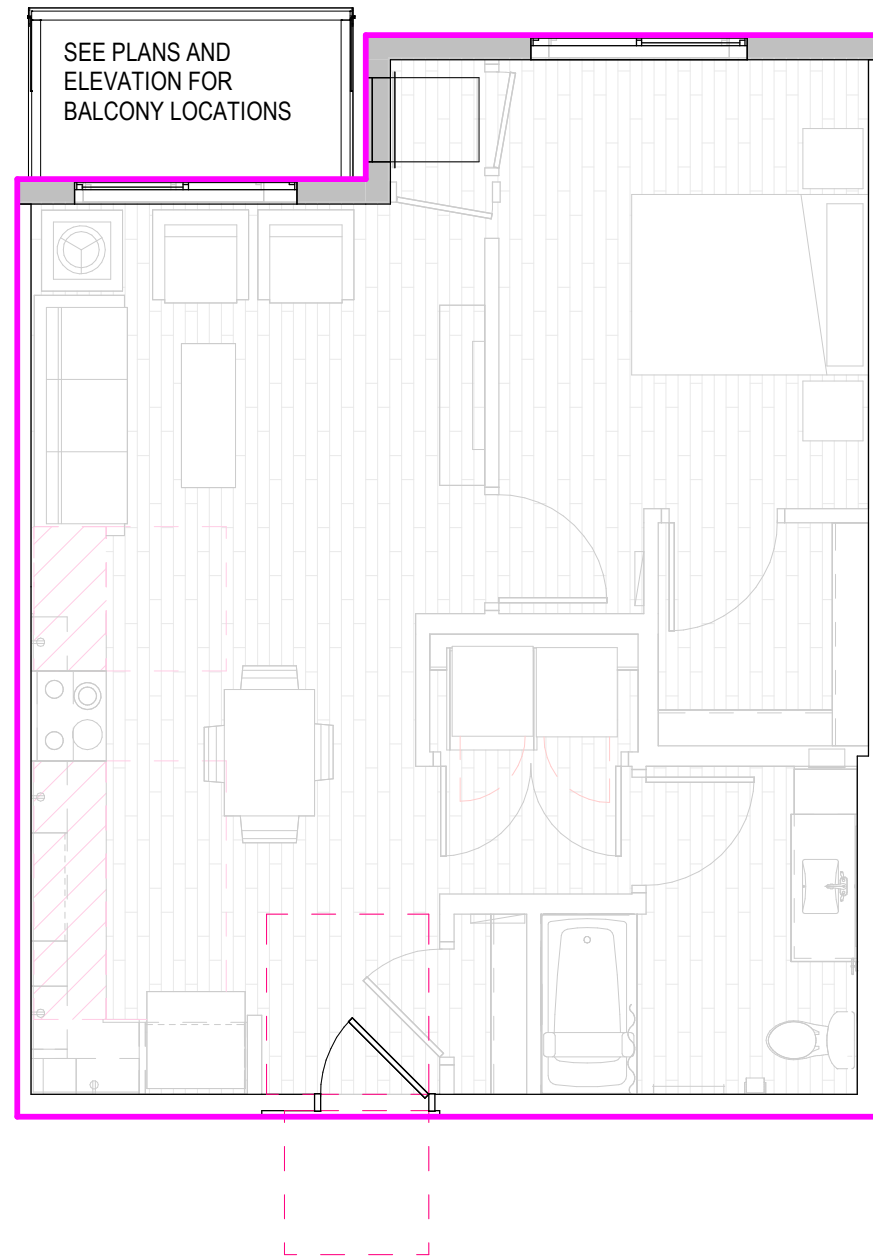


⑤ Bldg B Elevation 5
1" = 30'-0"

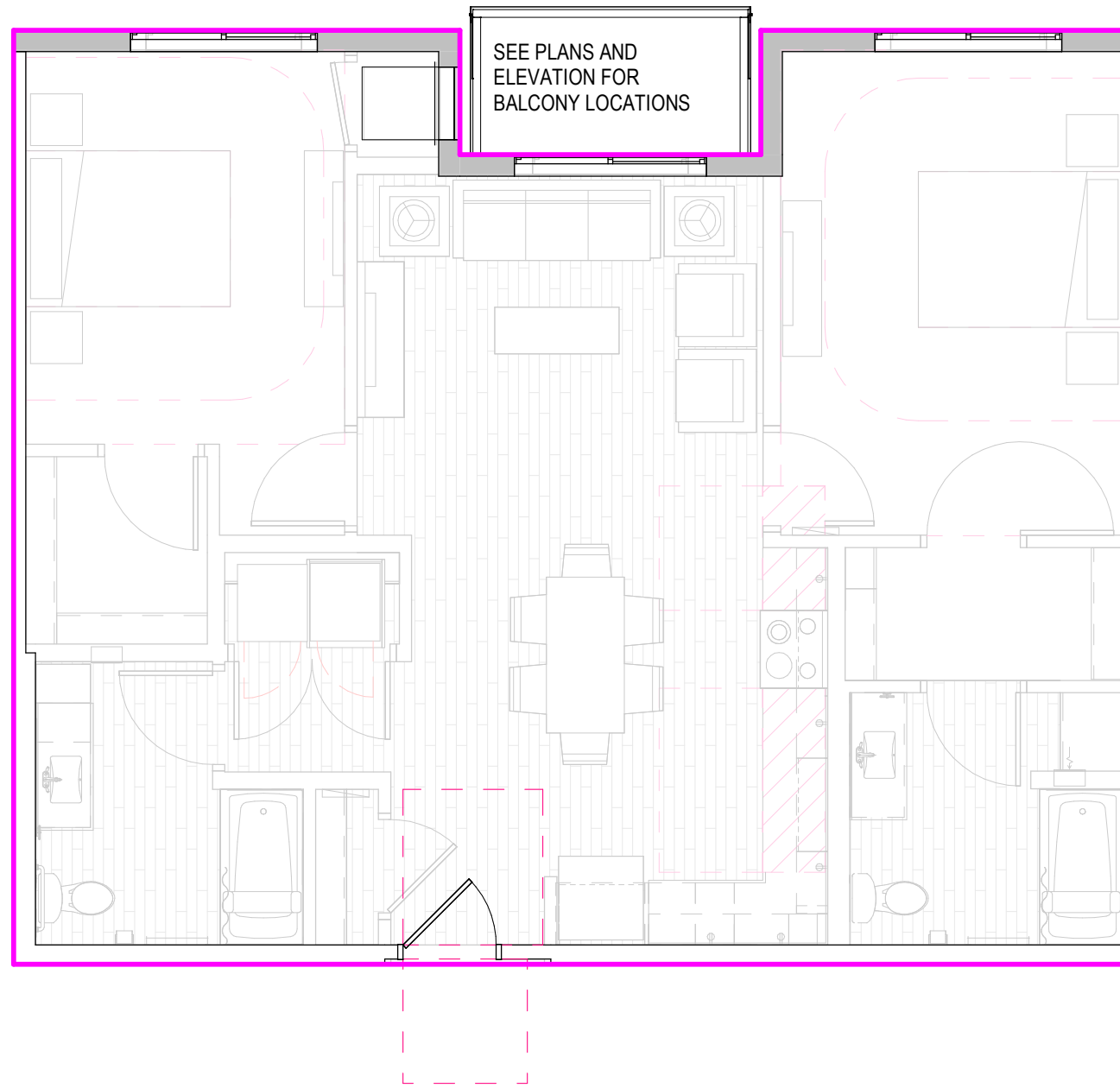


⑥ Bldg B Elevation 6
1" = 30'-0"

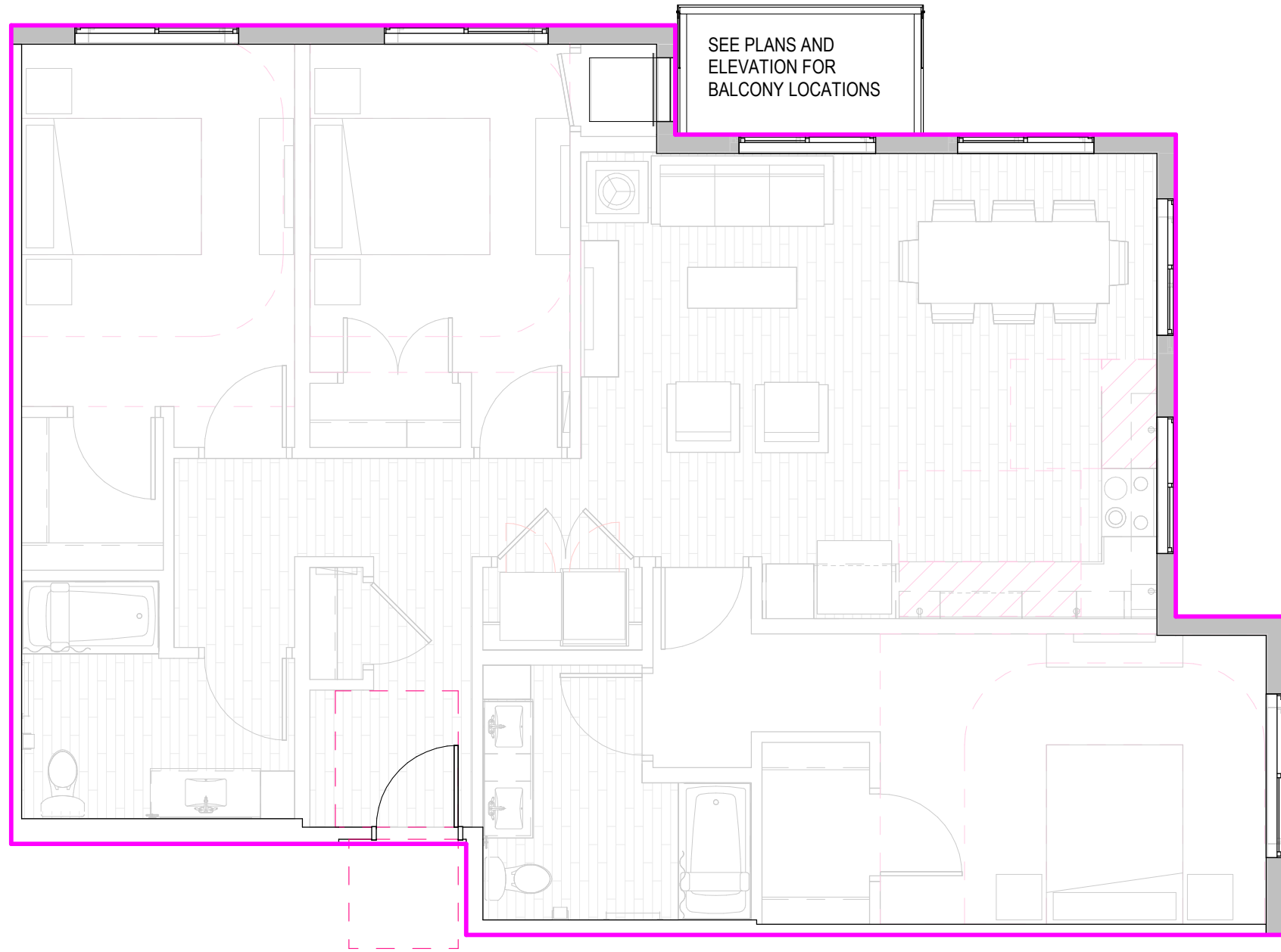
GAS METERS



① Unit Plan Base - Unit 1-0
3/16" = 1'-0"



① Unit Plan Base - Unit 2-0
3/16" = 1'-0"



① Unit Plan Base - Unit 3-0
3/16" = 1'-0"

HUXLEY APARTMENTS

MADISON, WISCONSIN

ISSUED FOR: CITY SUBMITTAL

PRELIMINARY:
NOT FOR
CONSTRUCTION

HUXLEY APARTMENTS

1201 HUXLEY ST, MADISON, WI 53704

DEVCO US CONSTRUCTION, LLC

10900 NE 8TH ST, BELLEVUE, WA 98004

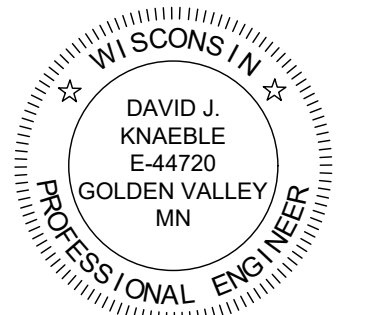
PROJECT

OWNER



SITE LOCATION MAP

SITE LOCATION



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

David J. Knaeble
David J. Knaeble

DATE 03/30/26 LICENSE NO. 44720-6

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
03/30/26	CITY SUBMITTAL

REVISION SUMMARY

DATE	DESCRIPTION
------	-------------

PROJECT MANAGER DAVID KNAEBLE

CONTACT NUMBER 612-615-0060 X 703

DRAWN BY DK JK

REVIEWED BY DK

PROJECT NUMBER 1041

SHEET INDEX

SHEET NUMBER	SHEET TITLE
C0.0	TITLE SHEET
C1.0	REMOVALS PLAN - OVERALL
C1.1	TREE PRESERVATION & INVENTORY PLAN
C2.0	SITE PLAN - OVERALL
C2.1	SITE PLAN NORTH
C2.2	SITE PLAN SOUTH
C2.3	FIRE DEPT. ACC. & TURNING MOVEMENT PLAN
C2.4	PARKING LOT GREEN AREAS DIAGRAM
C3.0	GRADING PLAN - OVERALL
C3.1	GRADING PLAN NORTH
C3.2	GRADING PLAN SOUTH
C4.0	UTILITY PLAN - OVERALL
C4.1	UTILITY PLAN NORTH
C4.2	UTILITY PLAN SOUTH
C5.0	CIVIL DETAILS
C5.1	CIVIL DETAILS
C5.2	CIVIL DETAILS
C5.3	CIVIL DETAILS
C5.4	CIVIL DETAILS
L1.0	LANDSCAPE PLAN - OVERALL
L1.1	LANDSCAPE PLAN NORTH
L1.2	LANDSCAPE PLAN SOUTH
L1.3	LANDSCAPE PLAN NOTES & DETAILS
SW1.0	SWPPP - EXISTING CONDITIONS
SW1.1	SWPPP - PROPOSED CONDITIONS
SW1.2	SWPPP - DETAILS
SW1.3	SWPPP - NARRATIVE
SW1.4	SWPPP - ATTACHMENTS

TITLE SHEET

C0.0

PROJECT CONTACTS

	NAME & ADDRESS	CONTACT
CIVIL ENGINEER	CIVIL SITE GROUP 5000 GLENWOOD AVE GOLDEN VALLEY, MN 55422	DAVID KNAEBLE 612-615-0060 DKNAEBLE@CIVILSITEGROUP.COM
LANDSCAPE ARCHITECT	CIVIL SITE GROUP 5000 GLENWOOD AVE GOLDEN VALLEY, MN 55422	PATRICK SARVER 612-615-0060 PSARVER@CIVILSITEGROUP.COM
DEVELOPER	DEVCO US CONSTRUCTION, LLC 10900 NE 8TH STREET, #1200 BELLEVUE, WA 98004	CORBAN LAWLOR 206-915-3171 CORBAN.LAWLOR@DEVCOUS.COM
PROPERTY OWNER	DEVCO US CONSTRUCTION, LLC 10900 NE 8TH STREET, #1200 BELLEVUE, WA 98004	CORBAN LAWLOR 206-915-3171 CORBAN.LAWLOR@DEVCOUS.COM
ARCHITECT	KAAS WILSON ARCHITECTS 1301 AMERICAN BLVD BLOOMINGTON, MN 55425	NICK CONNIFF 612-284-8224 NICKC@KAASWILSON.COM
SURVEYOR	RASMITH 16745 W BLUEMOUND RD, BROOKFIELD, WI 53005	MICHAEL J. RATZBURG 262-317-3249 MICHAEL.RATZBURG@RASMITH.COM
GEOTECHNICAL ENGINEER	CGC, INC. 2921 PERRY STREET MADISON, WI 53713	TIM GASSENHEIMER 608-288-4100 TGASSENHEIMER@CGCINC.NET

PROJECT DATUM

BEARINGS ARE BASED ON THE NORTH LINE OF THE SOUTHWEST 1/4 OF SECTION 31, TOWNSHIP8 NORTH, RANGE 10 EAST IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, WHICH BEARS NORTH 89°38'45" EAST.

ELEVATIONS ARE BASED ON NAVD 88 DATUM.

PROJECT BENCHMARK

ELEV=863.31

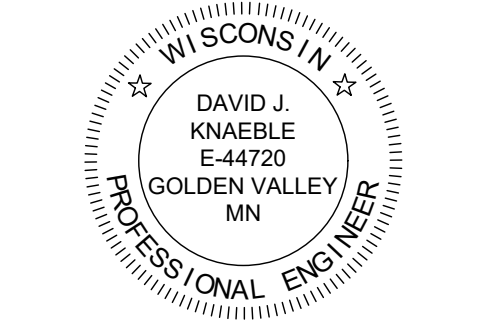
STARTING BM: CITY OF MADISON CONCRETE MONUMENT, CENTER OF SECTION 31-8-10.

ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "DIGGERS HOTLINE" (811 OR 800-242-8511) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



**PRELIMINARY:
NOT FOR
CONSTRUCTION**

PROJECT
HUXLEY APARTMENTS
1201 HUXLEY ST, MADISON, WI 53704
OWNER
DEVCO US CONSTRUCTION, LLC
10900 NE 8TH ST, BELLEVUE, WA 98004



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

David J. Knaeble
DATE 03/30/26 LICENSE NO. 44720-6

DATE	DESCRIPTION
03/30/26	CITY SUBMITTAL

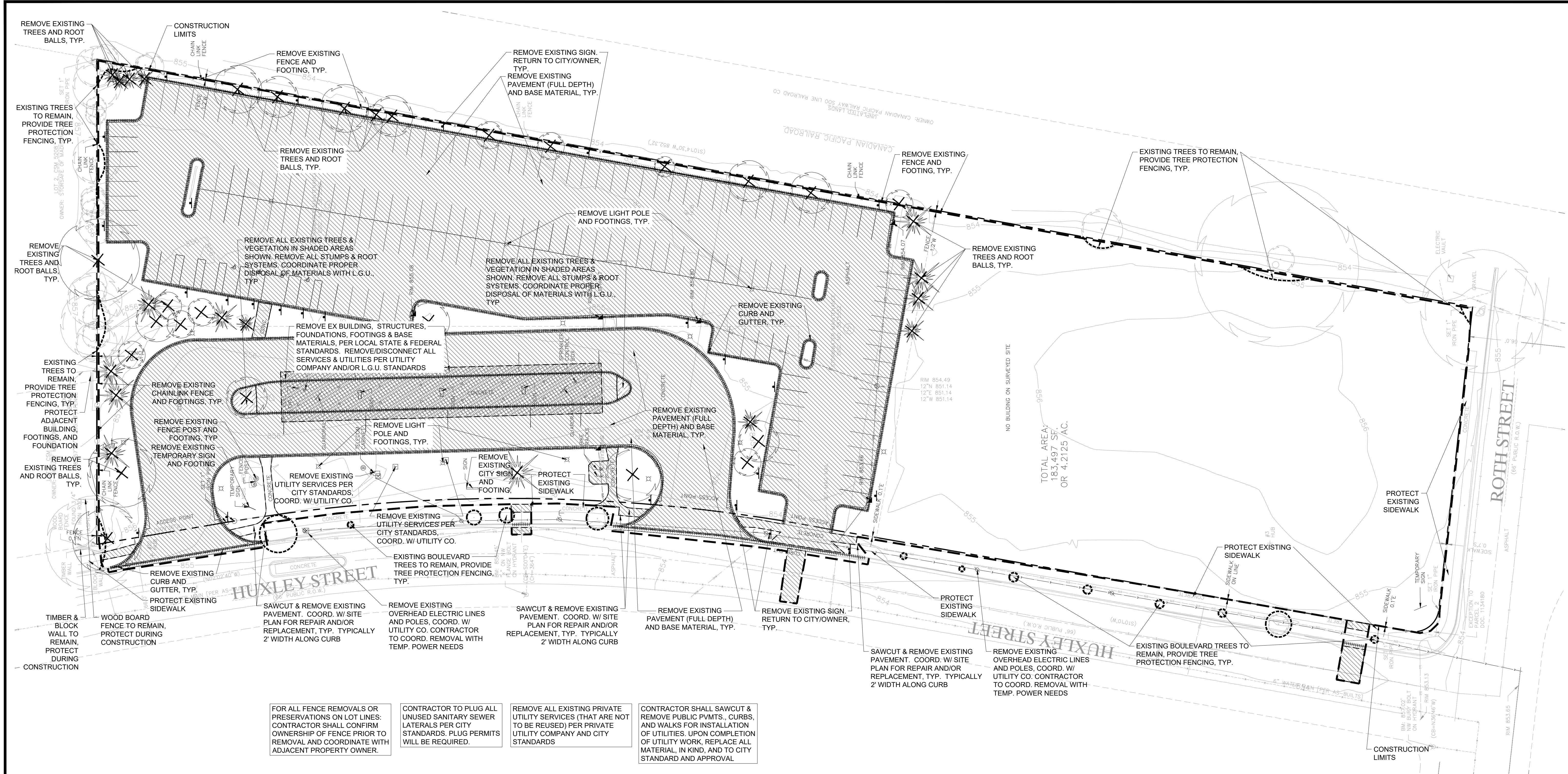
PROJECT MANAGER	DATE	DESCRIPTION
DAVID J. KNAEBLE	03/30/26	CITY SUBMITTAL

REVISION SUMMARY

DATE	DESCRIPTION

REMOVALS PLAN - OVERALL

C1.0
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- REMOVAL NOTES:**
- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "DIGGERS HOTLINE" (800-242-8511) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
 - SEE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PLAN FOR CONSTRUCTION STORM WATER MANAGEMENT PLAN.
 - REMOVAL OF MATERIALS NOTED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH WISDOT, STATE AND LOCAL REGULATIONS.
 - REMOVAL OF PRIVATE UTILITIES SHALL BE COORDINATED WITH UTILITY OWNER PRIOR TO CONSTRUCTION ACTIVITIES.
 - EXISTING PAVEMENTS SHALL BE SAWCUT IN LOCATIONS AS SHOWN ON THE DRAWINGS OR THE NEAREST JOINT FOR PROPOSED PAVEMENT CONNECTIONS.
 - REMOVED MATERIALS SHALL BE DISPOSED OF TO A LEGAL OFF-SITE LOCATION AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
 - ABANDON, REMOVAL, CONNECTION, AND PROTECTION NOTES SHOWN ON THE DRAWINGS ARE APPROXIMATE. COORDINATE WITH PROPOSED PLANS.
 - EXISTING ON-SITE FEATURES NOT NOTED FOR REMOVAL SHALL BE PROTECTED THROUGHOUT THE DURATION OF THE CONTRACT.
 - PROPERTY LINES SHALL BE CONSIDERED GENERAL CONSTRUCTION LIMITS UNLESS OTHERWISE NOTED ON THE DRAWINGS. WORK WITHIN THE GENERAL CONSTRUCTION LIMITS SHALL INCLUDE STAGING, DEMOLITION AND CLEAN-UP OPERATIONS AS WELL AS CONSTRUCTION SHOWN ON THE DRAWINGS.
 - MINOR WORK OUTSIDE OF THE GENERAL CONSTRUCTION LIMITS SHALL BE ALLOWED AS SHOWN ON THE PLAN AND PER CITY REQUIREMENTS. FOR ANY WORK ON ADJACENT PRIVATE PROPERTY, THE CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER PRIOR TO ANY WORK.
 - DAMAGE BEYOND THE PROPERTY LIMITS CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED IN A MANNER APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT OR IN ACCORDANCE WITH THE CITY.
 - PROPOSED WORK (BUILDING AND CIVIL) SHALL NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE SHOWN ON THE DRAWINGS AND APPROVED BY THE CITY PRIOR TO CONSTRUCTION.
 - SITE SECURITY MAY BE NECESSARY AND PROVIDED IN A MANNER TO PROHIBIT VANDALISM, AND THEFT, DURING AND AFTER NORMAL WORK HOURS, THROUGHOUT THE DURATION OF THE CONTRACT. SECURITY MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY.
 - VEHICULAR ACCESS TO THE SITE SHALL BE MAINTAINED FOR DELIVERY AND INSPECTION ACCESS DURING NORMAL OPERATING HOURS. AT NO POINT THROUGHOUT THE DURATION OF THE CONTRACT SHALL CIRCULATION OF ADJACENT STREETS BE BLOCKED WITHOUT APPROVAL BY THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
 - ALL TRAFFIC CONTROLS SHALL BE PROVIDED AND ESTABLISHED PER THE REQUIREMENTS OF THE WISCONSIN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (WMUTCD) AND THE CITY. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, SIGNAGE, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL REMAIN OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.
 - SHORING FOR BUILDING EXCAVATION MAY BE USED AT THE DISCRETION OF THE CONTRACTOR AND AS APPROVED BY THE OWNER'S REPRESENTATIVE AND THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
 - STAGING, DEMOLITION, AND CLEAN-UP AREAS SHALL BE WITHIN THE PROPERTY LIMITS AS SHOWN ON THE DRAWINGS AND MAINTAINED IN A MANNER AS REQUIRED BY THE CITY.
 - ALL EXISTING SITE TRAFFIC/REGULATORY SIGNAGE TO BE INVENTORIED AND IF REMOVED FOR CONSTRUCTION SHALL BE RETURNED TO LGU.

- CITY OF MADISON REMOVAL NOTES:**
- ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING.
 - ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
 - STREET TREE REMOVALS REQUIRE APPROVAL AND TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY.
 - AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 10' OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY AT (608) 266-4816 PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/ENGINEERING/DOCUMENTS/STANDARD-SPECIFICATIONS/2016/COMPLETE-SPECBOOK.PDF](https://www.cityofmadison.com/engineering/documents/standard-specifications/2016/complete-specbook.pdf)
 - SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/ENGINEERING/DOCUMENTS/STANDARD-SPECIFICATIONS/2016/COMPLETE-SPECBOOK.PDF](https://www.cityofmadison.com/engineering/documents/standard-specifications/2016/complete-specbook.pdf)) ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN 10' FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.

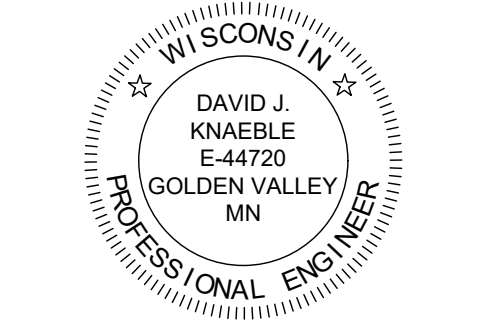
- REMOVALS PLAN LEGEND:**
- REMOVAL OF PAVEMENT AND ALL BASE MATERIAL, INCLUDING BIT., CONC., AND GRAVEL PVMTS.
 - REMOVAL OF STRUCTURE INCLUDING ALL FOOTINGS AND FOUNDATIONS.
 - REMOVAL OF TREES AND VEGETATION INCLUDING STUMPS AND ROOT SYSTEMS
 - CONSTRUCTION LIMITS
 - PROPERTY LINE
 - REMOVE CURB AND GUTTER. IF IN RIGHT-OF-WAY, COORDINATE WITH LOCAL GOVERNING UNIT.
 - TREE PROTECTION
 - TREE REMOVAL - INCLUDING ROOTS AND STUMPS

EROSION CONTROL NOTES: SEE SWPPP ON SHEETS SW1.0 - SW1.4
OWNER INFORMATION: DEVCO US CONSTRUCTION, LLC
10900 NE 8TH STREET, #1200
BELLEVUE, WA 98004
CORBAN LAWLOR
206-915-3171
CORBAN.LAWLOR@DEVCOUS.COM



**PRELIMINARY:
 NOT FOR
 CONSTRUCTION**

PROJECT
HUXLEY APARTMENTS
 1201 HUXLEY ST., MADISON, WI 53704
OWNER
DEVCO US CONSTRUCTION, LLC
 10800 NE 8TH ST., BELLEVUE, WA 98004



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

David J. Knaeble
 DATE 03/30/26 LICENSE NO. 44720-6

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
03/30/26	CITY SUBMITTAL

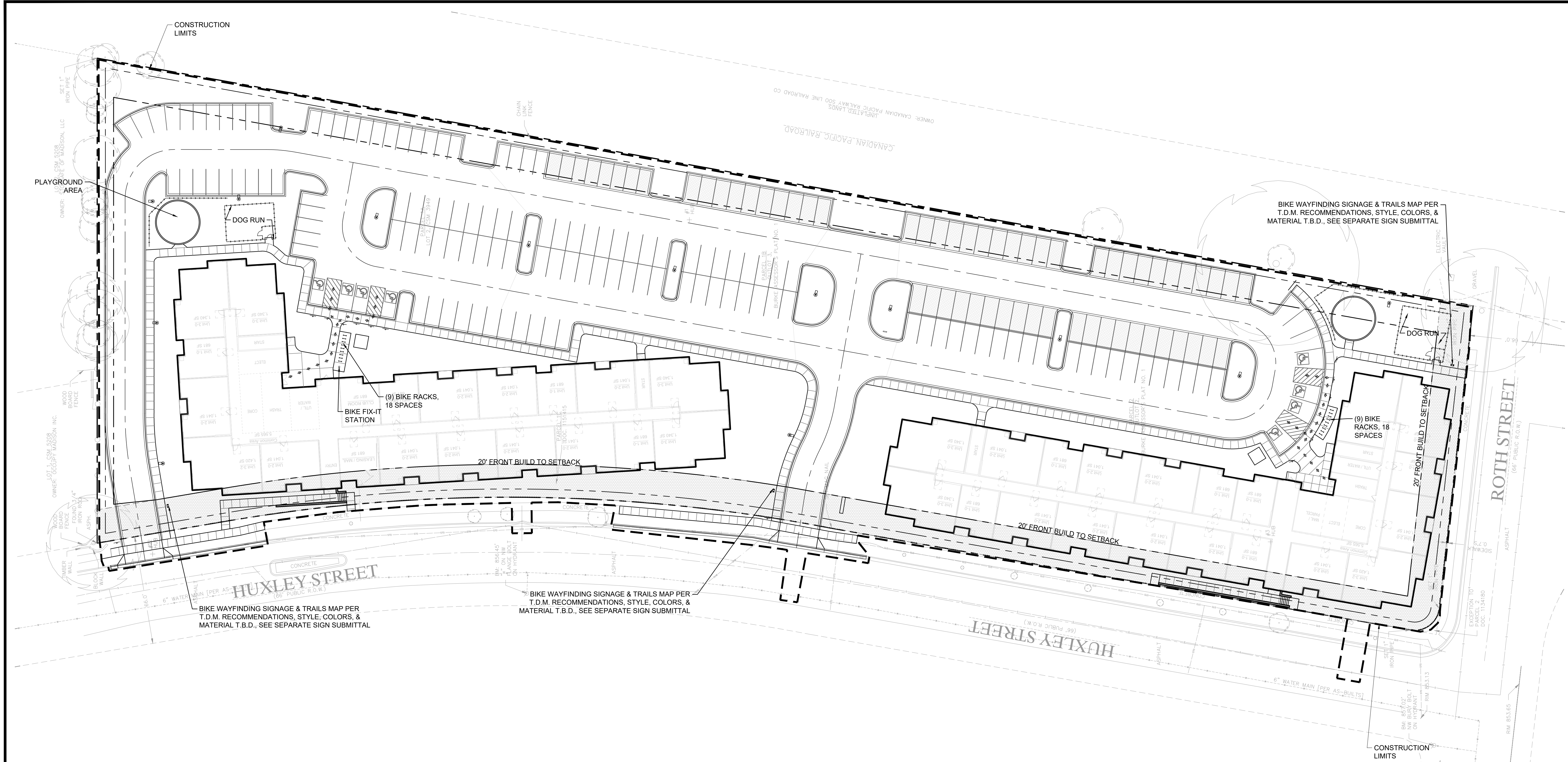
PROJECT MANAGER: DAVID KNAEBLE
 CONTACT NUMBER: (608) 980-8708
 DRAWN BY: DK
 REVIEWED BY: DK
 PROJECT NUMBER: 0543

REVISION SUMMARY

DATE	DESCRIPTION

SITE PLAN - OVERALL

C2.0
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- SITE LAYOUT NOTES:**
- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "DIGGERS HOTLINE" (800-242-8511) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
 - CONTRACTOR SHALL VERIFY LOCATIONS AND LAYOUT OF ALL SITE ELEMENTS PRIOR TO BEGINNING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, LOCATIONS OF EXISTING AND PROPOSED PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, BUILDINGS AND PAVEMENTS. CONTRACTOR IS RESPONSIBLE FOR FINAL LOCATIONS OF ALL ELEMENTS FOR THE SITE. ANY REVISIONS REQUIRED AFTER COMMENCEMENT OF CONSTRUCTION, DUE TO LOCAL ADJUSTMENTS SHALL BE CORRECTED AT NO ADDITIONAL COST TO OWNER. ADJUSTMENTS TO THE LAYOUT SHALL BE APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF MATERIALS. STAKE LAYOUT FOR APPROVAL.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, INCLUDING A RIGHT-OF-WAY AND STREET OPENING PERMIT.
 - THE CONTRACTOR SHALL VERIFY RECOMMENDATIONS NOTED IN THE GEOTECHNICAL REPORT PRIOR TO INSTALLATION OF SITE IMPROVEMENT MATERIALS.
 - CONTRACTOR SHALL FIELD VERIFY COORDINATES AND LOCATION DIMENSIONS & ELEVATIONS OF THE BUILDING AND STAKE FOR REVIEW AND APPROVAL BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION OF FOOTING MATERIALS.
 - LOCATIONS OF STRUCTURES, ROADWAY PAVEMENTS, CURBS AND GUTTERS, BOLLARDS, AND WALKS ARE APPROXIMATE AND SHALL BE STAKED IN THE FIELD, PRIOR TO INSTALLATION. FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT.
 - CURB DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF CONCRETE FOUNDATION. LOCATION OF BUILDING IS TO BUILDING FOUNDATION AND SHALL BE AS SHOWN ON THE DRAWINGS.
 - THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR SAMPLES AS SPECIFIED FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO FABRICATION FOR ALL PREFABRICATED SITE IMPROVEMENT MATERIALS SUCH AS, BUT NOT LIMITED TO THE FOLLOWING, FURNISHINGS, PAVEMENTS, WALLS, RAILINGS, BENCHES, FLAGPOLES, LANDING PADS FOR CURB RAMPS, AND LIGHT AND POLES. THE OWNER RESERVES THE RIGHT TO REJECT INSTALLED MATERIALS NOT PREVIOUSLY APPROVED.
 - PEDESTRIAN CURB RAMPS SHALL BE CONSTRUCTED WITH TRUNCATED DOME LANDING AREAS IN ACCORDANCE WITH A.D.A. REQUIREMENTS-SEE DETAIL.
 - CROSSWALK STRIPING SHALL BE 24" WIDE WHITE PAINTED LINE, SPACED 48" ON CENTER PERPENDICULAR TO THE FLOW OF TRAFFIC. ALL OTHER PAVEMENT MARKINGS SHALL BE WHITE IN COLOR UNLESS OTHERWISE NOTED OR REQUIRED BY ADA OR LOCAL GOVERNING BODIES.
 - SEE SITE PLAN FOR CURB AND GUTTER TYPE. TAPER BETWEEN CURB TYPES-SEE DETAIL.
 - ALL CURB RADII ARE MINIMUM 3' UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL REFER TO FINAL PLAT FOR LOT BOUNDARIES, NUMBERS, AREAS AND DIMENSIONS PRIOR TO SITE IMPROVEMENTS.
 - FIELD VERIFY ALL EXISTING SITE CONDITIONS, DIMENSIONS.
 - PARKING IS TO BE SET PARALLEL OR PERPENDICULAR TO EXISTING BUILDING UNLESS NOTED OTHERWISE.
 - ALL PARKING LOT PAINT STRIPING TO BE WHITE, 4" WIDE TYP.
 - BITUMINOUS PAVING TO BE "LIGHT DUTY" UNLESS OTHERWISE NOTED. SEE DETAIL SHEETS FOR PAVEMENT SECTIONS.
 - ALL TREES THAT ARE TO REMAIN ARE TO BE PROTECTED FROM DAMAGE WITH A CONSTRUCTION FENCE AT THE DRIP LINE. SEE LANDSCAPE DOCUMENTS.

SITE DATA

ZONING SUMMARY		
EXISTING ZONING	TR-U1 & TR-U2	
PROPOSED ZONING	TR-U2	
	REQUIRED	PROVIDED
BUILDING SETBACKS		
FRONT	20FT	20FT
REAR	20FT	20FT
SIDE	20FT	20FT
BUILT TO SETBACK (30% OF BUILDINGS)	20FT	20FT
PARKING SETBACKS		
FRONT	NONE	5FT
REAR	NONE	5FT
SIDE	NONE	5FT
	REQUIRED	PROVIDED
PARKING SUMMARY		
PARKING STALL DIMENSIONS	9'X18'	9'X18'
COMPACT PARKING STALL DIMENSIONS	8'X16'	8'X16'
DRIVE AISLE DIMENSIONS	24'	24'-0"
FIRE ACCESS ROAD DIMENSIONS	20' MIN	24'-0"
	REQUIRED	PROVIDED
PARKING STALLS - SURFACE	244 (MAX)	
STANDARD STALLS		140
COMPACT STALLS		49 25%
ADA STALLS		8
TOTAL		197

CITY OF MADISON SITE SPECIFIC NOTES:

- RESERVED FOR CITY SPECIFIC SITE NOTES.

OPERATIONAL NOTES

SNOW REMOVAL	ALL SNOW SHALL BE STORED ON-SITE OUTSIDE PARKING LOT. WHEN FULL, REMOVAL CO. SHALL REMOVE EXCESS OFF-SITE.
TRASH REMOVAL	TRASH SHALL BE PLACED IN EXTERIOR TRASH AREA AND REMOVED BY COMMERCIAL CO. WEEKLY.
DELIVERIES	DELIVERIES SHALL OCCUR AT THE FRONT DOOR VIA STANDARD COMMERCIAL DELIVERY VEHICLES (UPS, FED-EX, USPS).

SITE AREA CALCULATIONS

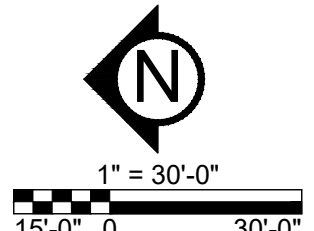
	EXISTING CONDITION		PROPOSED CONDITION	
IMPERVIOUS SURFACES				
BUILDING COVERAGE	5,961 SF	3.2%	52,022 SF	28.4%
PAVEMENT	81,843 SF	44.6%	85,419 SF	46.6%
TOTAL	87,804 SF	47.9%	137,441 SF	74.9%
	2.0 AC		3.2 AC	
PERVIOUS SURFACES				
TOTAL	95,693 SF	52.1%	46,056 SF	25.1%
	2.2 AC		1.1 AC	
TOTAL SITE AREA	183,497 SF	100.0%	183,497 SF	100.0%
	4.2 AC		4.2 AC	
DIFFERENCE (EX. VS PROP.)	49,637 SF	27.1%		
DISTURBED AREA	190,195 SF	4.4 AC		

SITE PLAN LEGEND:

- LIGHT DUTY BITUMINOUS PAVEMENT (IF APPLICABLE). SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & WEAR COURSE DEPTH. SEE DETAIL.
- HEAVY DUTY BITUMINOUS PAVEMENT (IF APPLICABLE). SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & WEAR COURSE DEPTH. SEE DETAIL.
- CONCRETE PAVEMENT (IF APPLICABLE) AS SPECIFIED (PAD OR WALK) SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & CONCRETE DEPTHS. WITHIN ROW SEE CITY DETAIL. WITHIN PRIVATE PROPERTY SEE CSG DETAIL
- PERMEABLE PAVERS. SEE CSG DETAILS
- BUILD TO SETBACK LINE
- PROPERTY LINE
- CONSTRUCTION LIMITS
- CURB AND GUTTER-SEE NOTES (T.O.) TIP OUT GUTTER WHERE APPLICABLE-SEE PLAN
- CURB TAPER
- COMPACT STALLS
- SIGN AND POST ASSEMBLY. SHOP DRAWINGS REQUIRED.
- HC = ACCESSIBLE SIGN
- NP = NO PARKING FIRE LANE
- ST = STOP
- CP = COMPACT CAR PARKING ONLY
- ACCESSIBILITY ROUTE ARROW (IF APPLICABLE) DO NOT PAINT.

OWNER INFORMATION
 DEVCO US CONSTRUCTION, LLC
 10900 NE 8TH STREET, #1200
 BELLEVUE, WA 98004
 CORBAN LAWLOR
 206-915-3171
 CORBAN.LAWLOR@DEVCOUS.COM

DIGGERS HOTLINE
 Dial 811 or (800)242-8511
 www.DiggersHotline.com



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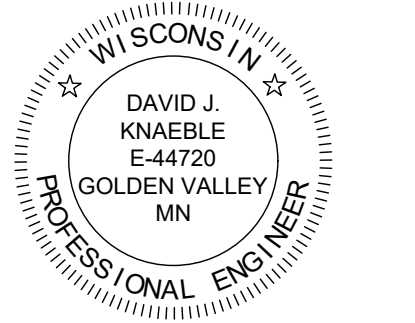
HUXLEY APARTMENTS

1201 HUXLEY ST., MADISON, WI 53704

DEVCO US CONSTRUCTION, LLC
10800 NE 8TH ST., BELLEVUE, WA 98004

PROJECT

OWNER



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

David J. Knaeble
DATE: 03/30/26 LICENSE NO.: 44720-6

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
03/30/26	CITY SUBMITTAL

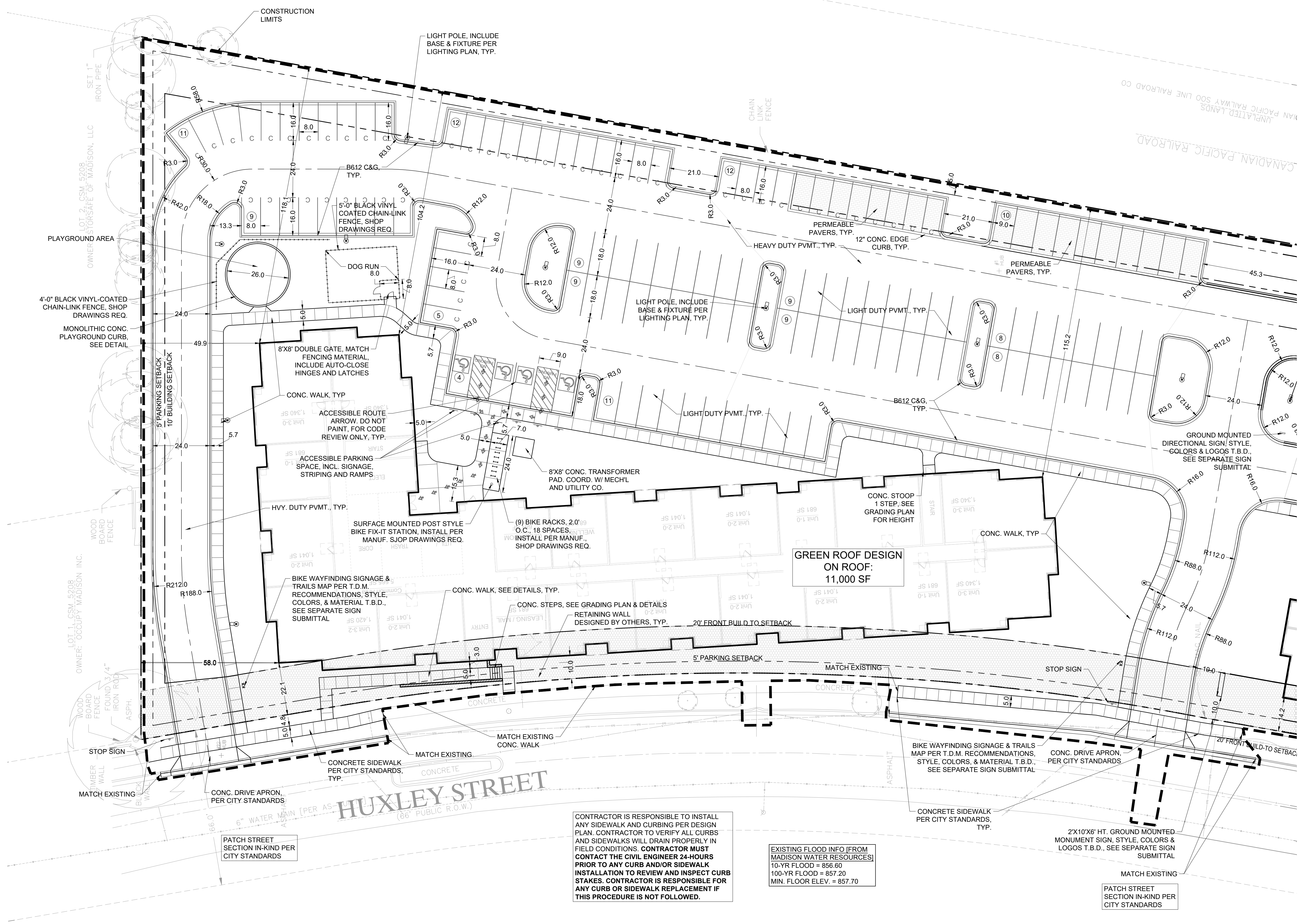
PROJECT MANAGER: DAVID KNAEBLE
CONTACT NUMBER: (612) 615-0060 X708
DRAWN BY: DK
REVIEWED BY: DK
PROJECT NUMBER: 15431

REVISION SUMMARY

DATE	DESCRIPTION

SITE PLAN NORTH

C2.1



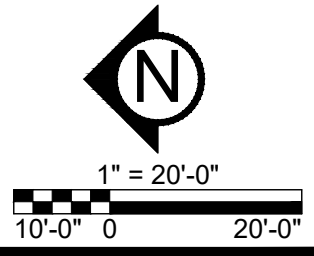
**GREEN ROOF DESIGN
ON ROOF:
11,000 SF**

CONTRACTOR IS RESPONSIBLE TO INSTALL ANY SIDEWALK AND CURBING PER DESIGN PLAN. CONTRACTOR TO VERIFY ALL CURBS AND SIDEWALKS WILL DRAIN PROPERLY IN FIELD CONDITIONS. CONTRACTOR MUST CONTACT THE CIVIL ENGINEER 24-HOURS PRIOR TO ANY CURB AND/OR SIDEWALK INSTALLATION TO REVIEW AND INSPECT CURB STAKES. CONTRACTOR IS RESPONSIBLE FOR ANY CURB OR SIDEWALK REPLACEMENT IF THIS PROCEDURE IS NOT FOLLOWED.

EXISTING FLOOD INFO (FROM MADISON WATER RESOURCES)
10-YR FLOOD = 856.60
100-YR FLOOD = 857.20
MIN. FLOOR ELEV. = 857.70

SEE SHEET C2.0 FOR LEGEND & GENERAL SITE NOTES

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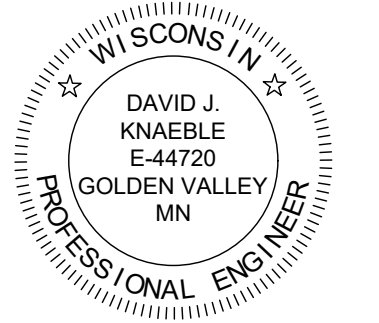
HUXLEY APARTMENTS

1201 HUXLEY ST., MADISON, WI 53704

DEVCO US CONSTRUCTION, LLC
10900 NE 8TH ST., BELLEVUE, WA 98004

PROJECT

OWNER



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David J. Knaeble
David J. Knaeble
DATE: 03/30/26 LICENSE NO.: 44720-6

ISSUE/SUBMITTAL SUMMARY

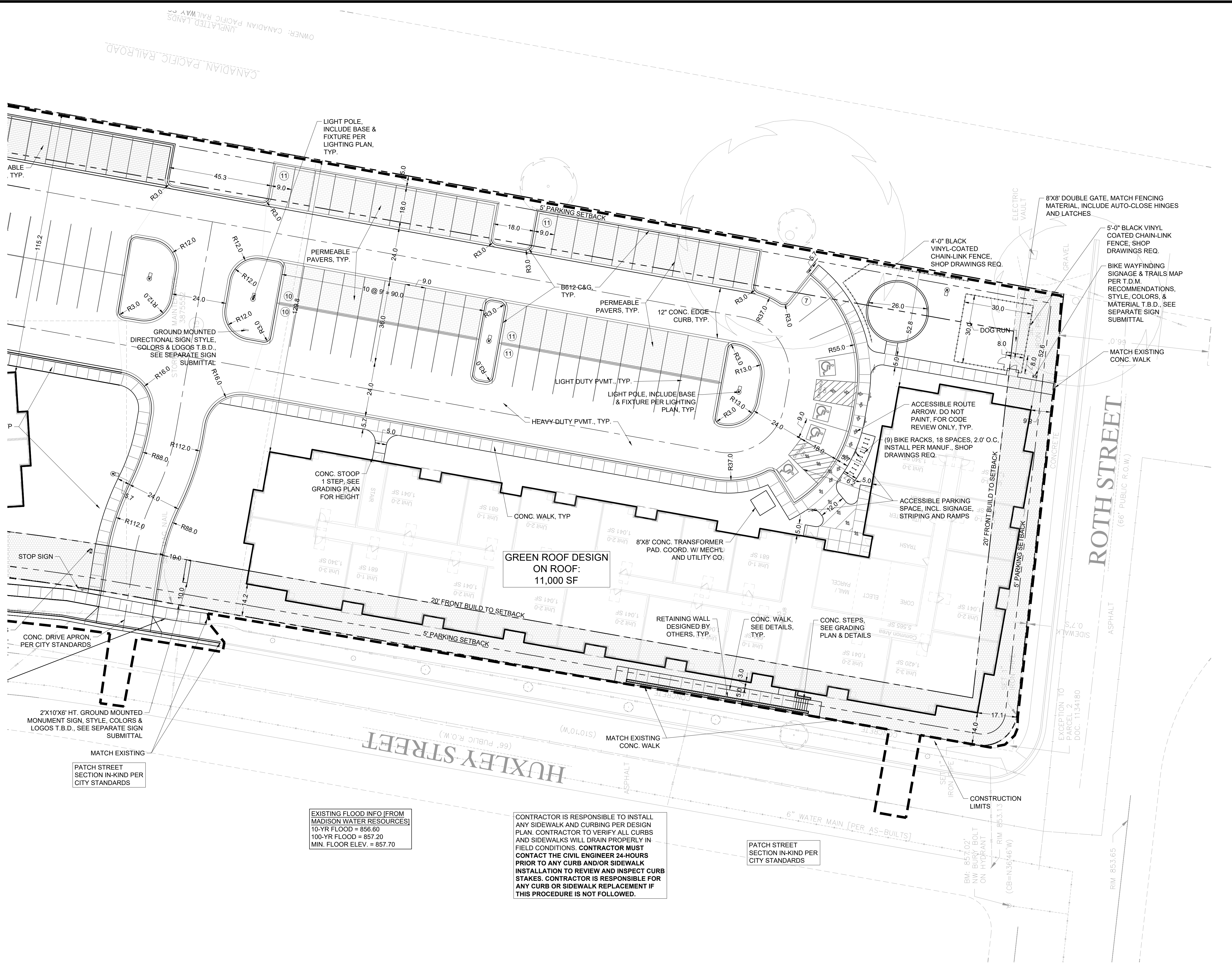
DATE	DESCRIPTION
03/30/26	CITY SUBMITTAL

PROJECT MANAGER	DAVID KNAEBLE
CONTACT NUMBER	612-615-0060 X703
DRAWN BY	DK, JS
REVIEWED BY	DK
PROJECT NUMBER	15431

REVISION SUMMARY	
DATE	DESCRIPTION

SITE PLAN SOUTH

C2.2

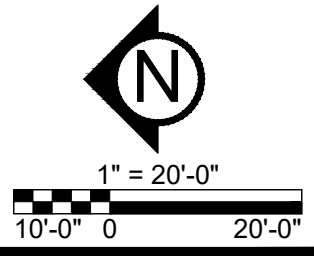


EXISTING FLOOD INFO (FROM MADISON WATER RESOURCES)
10-YR FLOOD = 856.60
100-YR FLOOD = 857.20
MIN. FLOOR ELEV. = 857.70

CONTRACTOR IS RESPONSIBLE TO INSTALL ANY SIDEWALK AND CURBING PER DESIGN PLAN. CONTRACTOR TO VERIFY ALL CURBS AND SIDEWALKS WILL DRAIN PROPERLY IN FIELD CONDITIONS. CONTRACTOR MUST CONTACT THE CIVIL ENGINEER 24-HOURS PRIOR TO ANY CURB AND/OR SIDEWALK INSTALLATION TO REVIEW AND INSPECT CURB STAKES. CONTRACTOR IS RESPONSIBLE FOR ANY CURB OR SIDEWALK REPLACEMENT IF THIS PROCEDURE IS NOT FOLLOWED.

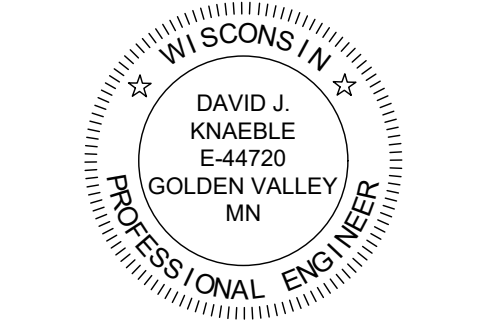
PATCH STREET SECTION IN-KIND PER CITY STANDARDS

SEE SHEET C2.0 FOR LEGEND & GENERAL SITE NOTES



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CONSTRUCTION**

HUXLEY APARTMENTS
1201 HUXLEY ST., MADISON, WI 53704
DEVCO US CONSTRUCTION, LLC
10800 NE 8TH ST., BELLEVUE, WA 98004



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David J. Knaeble
DATE: 03/30/26 LICENSE NO. 44720-6

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
03/30/26	CITY SUBMITTAL

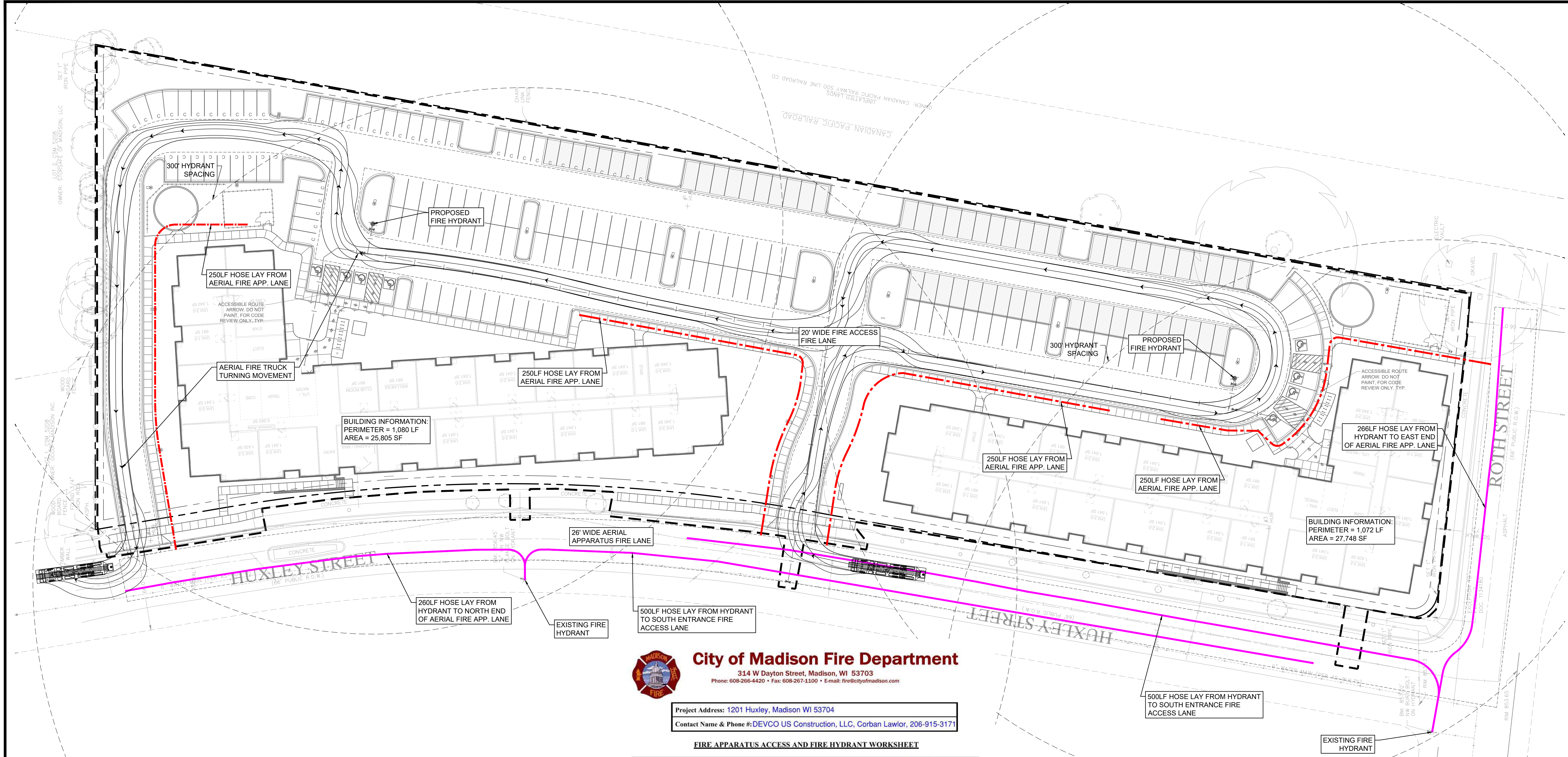
PROJECT MANAGER: DAVID KNAEBLE
CONTRACT NUMBER: WISCONSIN 44720
DRAWN BY: DK
REVIEWED BY: DK
PROJECT NUMBER: 0541

REVISION SUMMARY

DATE	DESCRIPTION
------	-------------

**FIRE DEPARTMENT
ACCESS & TURNING
MOVEMENT PLAN**

C2.3
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City of Madison Fire Department
314 W Dayton Street, Madison, WI 53703
Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 1201 Huxley, Madison WI 53704
Contact Name & Phone #: DEVCO US Construction, LLC, Corban Lawlor, 206-915-3171

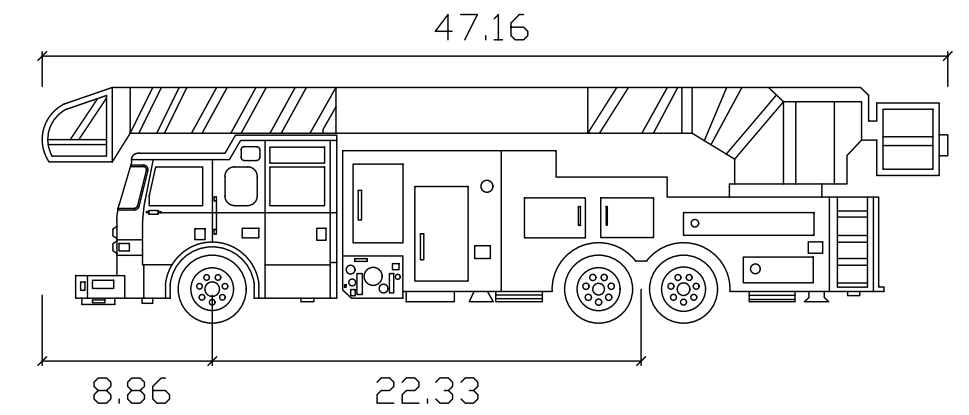
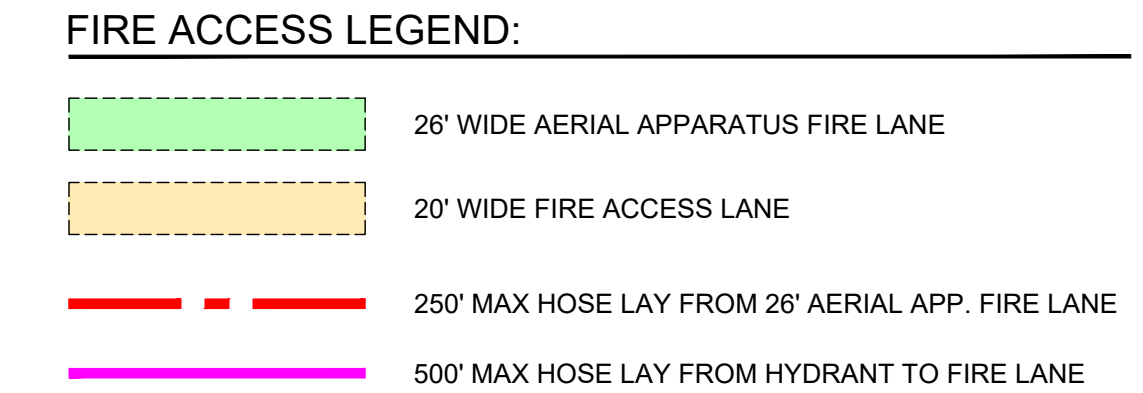
FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered , fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13 1/2-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-foot clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6? If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
6. Is any part of the building greater than 30-feet above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3 1/2-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1 1/2-feet, within 5-feet of a fire hydrant? <i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

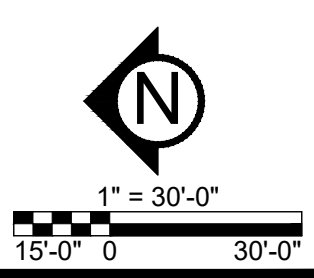
This worksheet is based on MGO 34.503 and IFC 2021 Edition Chapter 5 and Appendix D; please see the codes for further information.

Revised 08/2022



Pierce Arrow XT
Width : 8.01
Track : 8.01
Lock to Lock Time : 6.0
Steering Angle : 45.5

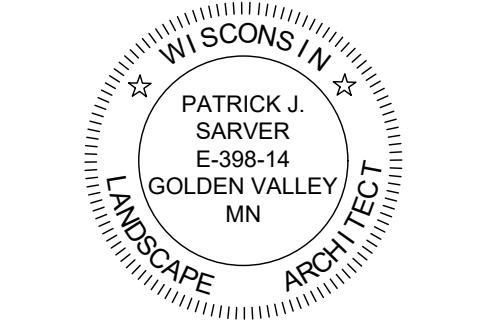
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www.DiggersHotline.com



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 CONSTRUCTION**

PROJECT
HUXLEY APARTMENTS
 1201 HUXLEY ST, MADISON, WI 53704

OWNER
 DEVCO US CONSTRUCTION, LLC
 10900 NE 8TH ST, BELLEVUE, WA 98004



03/30/26

ISSUE/SUBMITTAL SUMMARY	
DATE	DESCRIPTION
03/30/26	CITY SUBMITTAL

PROJECT MANAGER	DAVID KNEIBEL
CONTACT NUMBER	612-615-0060 X 703
DRAWN BY	DK, JF
REVIEWED BY	DK
PROJECT NUMBER	15431

REVISION SUMMARY	
DATE	DESCRIPTION

DATE	DESCRIPTION

PARKING LOT GREEN AREAS DIAGRAM

C2.4
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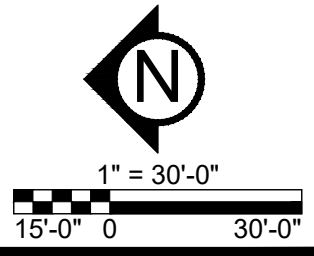
PARKING LOT AREAS SUMMARY		
	SF	% OF TOTAL
OVERALL LOT AREA	72,951.3	100.0%
PARKING LOT GREEN AREAS (8% REQ.)		
ISLAND A	83.3	0.1%
ISLAND B	321.3	0.4%
ISLAND C	257.3	0.4%
ISLAND D	312.4	0.4%
ISLAND E	476.4	0.7%
ISLAND F	135.5	0.2%
ISLAND G	260.8	0.4%
ISLAND H	332.1	0.5%
ISLAND I	260.8	0.4%
ISLAND J	656.8	0.9%
ISLAND K	788.5	1.1%
ISLAND L	656.8	0.9%
ISLAND M	297.6	0.4%
ISLAND N	260.8	0.4%
ISLAND O	324.5	0.4%
ISLAND P	474.1	0.6%
TOTAL	5899	8.1%

PARKING LOT GREEN AREAS LEGEND:

ISLAND GREEN AREAS

OVERALL PARKING LOT AREA

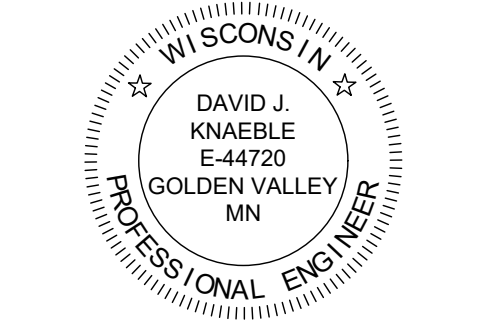
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PROJECT
HUXLEY APARTMENTS
1201 HUXLEY ST., MADISON, WI 53704

OWNER
DEVCO US CONSTRUCTION, LLC
10800 NE 8TH ST., BELLEVUE, WA 98004



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David J. Knaeble
David J. Knaeble
DATE: 03/30/26 LICENSE NO.: 44720-6

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
03/30/26	CITY SUBMITTAL

PROJECT MANAGER	DATE	DESCRIPTION
DAVID KNAEBLE		
CONTRACT NUMBER		
DRAWN BY		
REVIEWED BY		
PROJECT NUMBER		

REVISION SUMMARY

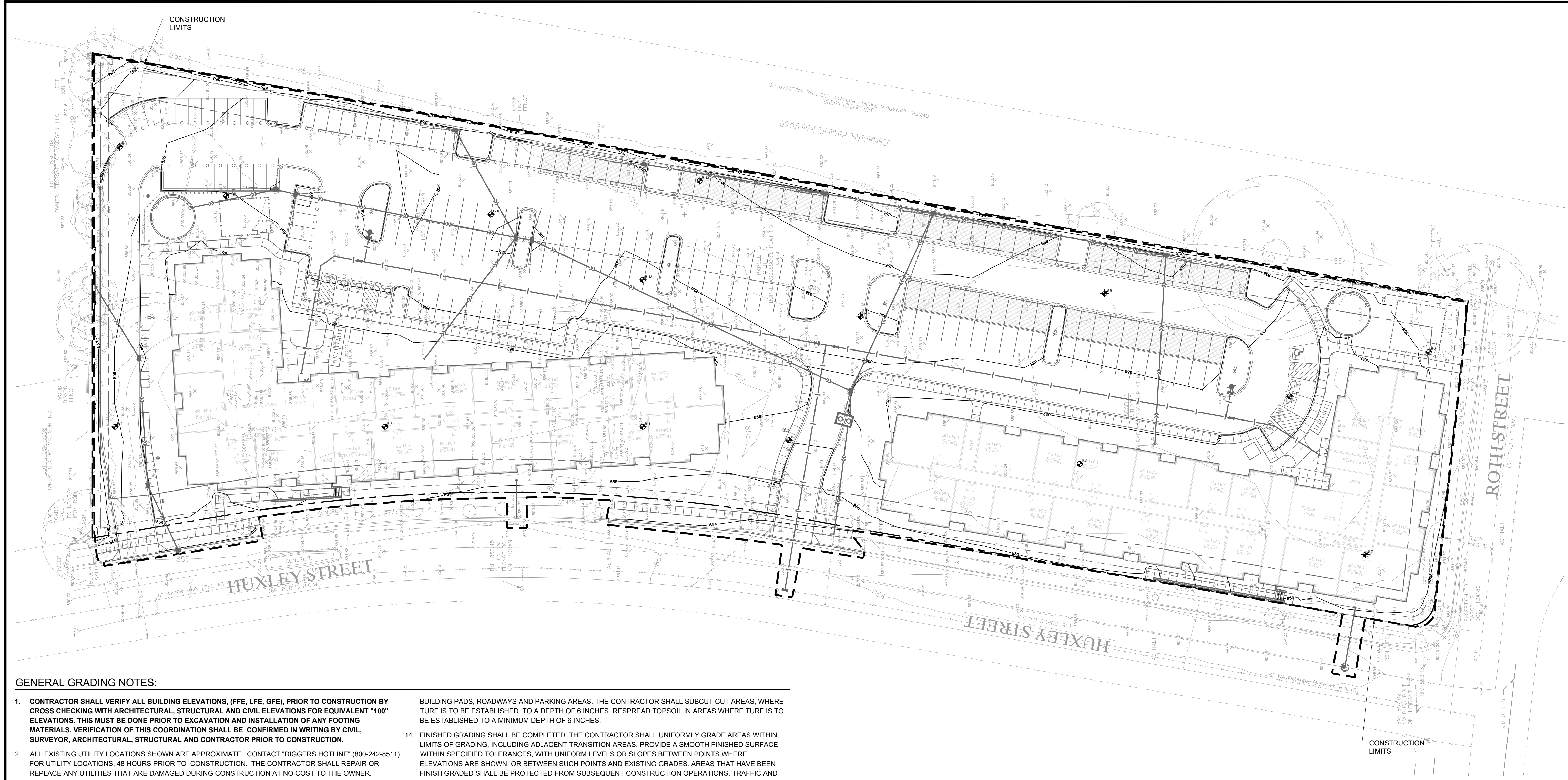
DATE	DESCRIPTION

DATE	DESCRIPTION

GRADING PLAN - OVERALL

C3.0

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GENERAL GRADING NOTES:

- CONTRACTOR SHALL VERIFY ALL BUILDING ELEVATIONS, (FFE, LFE, GFE), PRIOR TO CONSTRUCTION BY CROSS CHECKING WITH ARCHITECTURAL, STRUCTURAL AND CIVIL ELEVATIONS FOR EQUIVALENT "100" ELEVATIONS. THIS MUST BE DONE PRIOR TO EXCAVATION AND INSTALLATION OF ANY FOOTING MATERIALS. VERIFICATION OF THIS COORDINATION SHALL BE CONFIRMED IN WRITING BY CIVIL, SURVEYOR, ARCHITECTURAL, STRUCTURAL AND CONTRACTOR PRIOR TO CONSTRUCTION.
- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "DIGGERS HOTLINE" (800-242-8511) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- SEE SITE PLAN FOR HORIZONTAL LAYOUT & GENERAL GRADING NOTES.
- THE CONTRACTOR SHALL COMPLETE THE SITE GRADING CONSTRUCTION (INCLUDING BUT NOT LIMITED TO SITE PREPARATION, SOIL CORRECTION, EXCAVATION, EMBANKMENT, ETC.) IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER'S SOILS ENGINEER. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S SOILS ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTS AND INSPECTIONS WITH THE SOILS ENGINEER.
- ANY ELEMENTS OF AN EARTH RETENTION SYSTEM AND RELATED EXCAVATIONS THAT FALL WITHIN THE PUBLIC RIGHT OF WAY WILL REQUIRE A "RIGHT OF WAY EXCAVATION PERMIT". CONTRACTOR IS RESPONSIBLE FOR ACQUIRING THIS PERMIT PRIOR TO CONSTRUCTION IF APPLICABLE.
- GRADING AND EXCAVATION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS & PERMIT REQUIREMENTS OF THE CITY.
- PROPOSED SPOT GRADES ARE FLOW-LINE FINISHED GRADE ELEVATIONS, UNLESS OTHERWISE NOTED.
- GRADES OF WALKS SHALL BE INSTALLED WITH 4.5% MAX. LONGITUDINAL SLOPE AND 1% MIN. AND 1.5% MAX. CROSS SLOPE, UNLESS OTHERWISE NOTED.
- PROPOSED SLOPES SHALL NOT EXCEED 3:1 UNLESS INDICATED OTHERWISE ON THE DRAWINGS. MAXIMUM SLOPES IN MAINTAINED AREAS IS 4:1.
- PROPOSED RETAINING WALLS, FREESTANDING WALLS, OR COMBINATION OF WALL TYPES GREATER THAN 4' IN HEIGHT SHALL BE DESIGNED AND ENGINEERED BY A REGISTERED RETAINING WALL ENGINEER. DESIGN DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF GRADE STAKES THROUGHOUT THE DURATION OF CONSTRUCTION TO ESTABLISH PROPER GRADES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR A FINAL FIELD CHECK OF FINISHED GRADES ACCEPTABLE TO THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO TOPSOIL AND SODDING ACTIVITIES.
- IF EXCESS OR SHORTAGE OF SOIL MATERIAL EXISTS, THE CONTRACTOR SHALL TRANSPORT ALL EXCESS SOIL MATERIAL OFF THE SITE TO AN AREA SELECTED BY THE CONTRACTOR, OR IMPORT SUITABLE MATERIAL TO THE SITE.
- EXCAVATE TOPSOIL FROM AREAS TO BE FURTHER EXCAVATED OR REGRADED AND STOCKPILE IN AREAS DESIGNATED ON THE SITE. THE CONTRACTOR SHALL SALVAGE ENOUGH TOPSOIL FOR RESPREADING ON THE SITE AS SPECIFIED. EXCESS TOPSOIL SHALL BE PLACED IN EMBANKMENT AREAS, OUTSIDE OF

- BUILDING PADS, ROADWAYS AND PARKING AREAS. THE CONTRACTOR SHALL SUBCUT CUT AREAS, WHERE TURF IS TO BE ESTABLISHED, TO A DEPTH OF 6 INCHES. RESPREAD TOPSOIL IN AREAS WHERE TURF IS TO BE ESTABLISHED TO A MINIMUM DEPTH OF 6 INCHES.
- FINISHED GRADING SHALL BE COMPLETED. THE CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING, INCLUDING ADJACENT TRANSITION AREAS. PROVIDE A SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCES, WITH UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN, OR BETWEEN SUCH POINTS AND EXISTING GRADES. AREAS THAT HAVE BEEN FINISH GRADED SHALL BE PROTECTED FROM SUBSEQUENT CONSTRUCTION OPERATIONS, TRAFFIC AND EROSION. REPAIR ALL AREAS THAT HAVE BECOME RUTTED BY TRAFFIC OR ERODED BY WATER OR HAS SETTLED BELOW THE CORRECT GRADE. ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO EQUAL OR BETTER THAN ORIGINAL CONDITION OR TO THE REQUIREMENTS OF THE NEW WORK.
- PRIOR TO PLACEMENT OF THE AGGREGATE BASE, A TEST ROLL WILL BE REQUIRED ON THE STREET AND/OR PARKING AREA SUBGRADE. THE CONTRACTOR SHALL PROVIDE A LOADED TANDEM AXLE TRUCK WITH A GROSS WEIGHT OF 25 TONS. THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL DETERMINE WHICH SECTIONS OF THE STREET OR PARKING AREA ARE UNSTABLE. CORRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER. NO TEST ROLL SHALL OCCUR WITHIN 10' OF ANY UNDERGROUND STORM RETENTION/RETENTION SYSTEMS.
- TOLERANCES
 - THE BUILDING SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.30 FOOT ABOVE, OR 0.30 FOOT BELOW, THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE.
 - THE STREET OR PARKING AREA SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.05 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION OF ANY POINT WHERE MEASUREMENT IS MADE.
 - AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE GRADED TO WITHIN 0.30 FOOT ABOVE OR BELOW THE REQUIRED ELEVATION, UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
 - TOPSOIL SHALL BE GRADED TO PLUS OR MINUS 1/2 INCH OF THE SPECIFIED THICKNESS.
- MAINTENANCE
 - THE CONTRACTOR SHALL PROTECT NEWLY GRADED AREAS FROM TRAFFIC AND EROSION, AND KEEP AREA FREE OF TRASH AND DEBRIS.
 - CONTRACTOR SHALL REPAIR AND REESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS TO SPECIFIED TOLERANCES. DURING THE CONSTRUCTION, IF REQUIRED, AND DURING THE WARRANTY PERIOD, ERODED AREAS WHERE TURF IS TO BE ESTABLISHED SHALL BE RESEEDING AND MULCHED.
 - WHERE COMPLETED COMPACTED AREAS ARE DISTURBED BY SUBSEQUENT CONSTRUCTION OPERATIONS OR ADVERSE WEATHER, CONTRACTOR SHALL SCARIFY, SURFACE, RESHAPE, AND COMPACT TO REQUIRED DENSITY PRIOR TO FURTHER CONSTRUCTION.

CITY OF MADISON GRADING NOTES:

- RESERVED FOR CITY SPECIFIC GRADING NOTES.

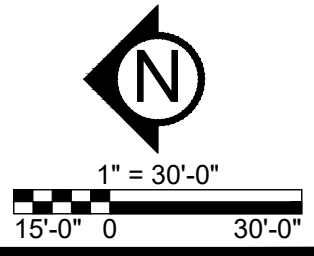
EROSION CONTROL NOTES:
SEE SWPPP ON SHEETS SW1.0 - SW1.4

GROUNDWATER ELEVATION PER BORING

BORING	GROUND WATER ELEVATION
B-1	848.00
B-2	845.00
B-3	848.00
B-4	843.00
B-5	843.00
B-6	850.50
B-7	850.50
B-8	850.50
B-9	848.00
B-10	844.00

PER GEOTECHNICAL REPORT COMPLETED BY CGC, INC. ON 03/03/2026.

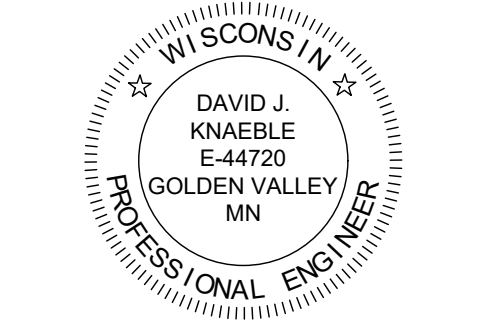
- GRADING PLAN LEGEND:**
- 1125 ----- EX. 1' CONTOUR ELEVATION INTERVAL
 - 1137 ----- 1.0' CONTOUR ELEVATION INTERVAL
 - 41.26 SPOT GRADE ELEVATION (GUTTER/FLOW LINE UNLESS OTHERWISE NOTED)
 - 891.00 G SPOT GRADE ELEVATION GUTTER
 - 891.00 TC SPOT GRADE ELEVATION TOP OF CURB
 - 891.00 BS/TS SPOT GRADE ELEVATION BOTTOM OF STAIRS/TOP OF STAIRS
 - 891.00 ME SPOT GRADE ELEVATION MATCH EXISTING
 - ⊙ GRADE BREAK - HIGH POINTS
 - ==== TO CURB AND GUTTER (T.O = TIP OUT)
 - EOP=1135.52 EMERGENCY OVERFLOW
 - CONSTRUCTION LIMITS



**PRELIMINARY:
NOT FOR
CONSTRUCTION**

HUXLEY APARTMENTS
1201 HUXLEY ST., MADISON, WI 53704

DEVCO US CONSTRUCTION, LLC
10800 NE 8TH ST., BELLEVUE, WA 98004



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

David J. Knaeble
David J. Knaeble
DATE 03/30/26 LICENSE NO. 44720-6

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
03/30/26	CITY SUBMITTAL

PROJECT MANAGER: DAVID KNAEBLE
CONTACT NUMBER: 612-615-0060 X708
DRAWN BY: DK
REVIEWED BY: DK
PROJECT NUMBER: 15431

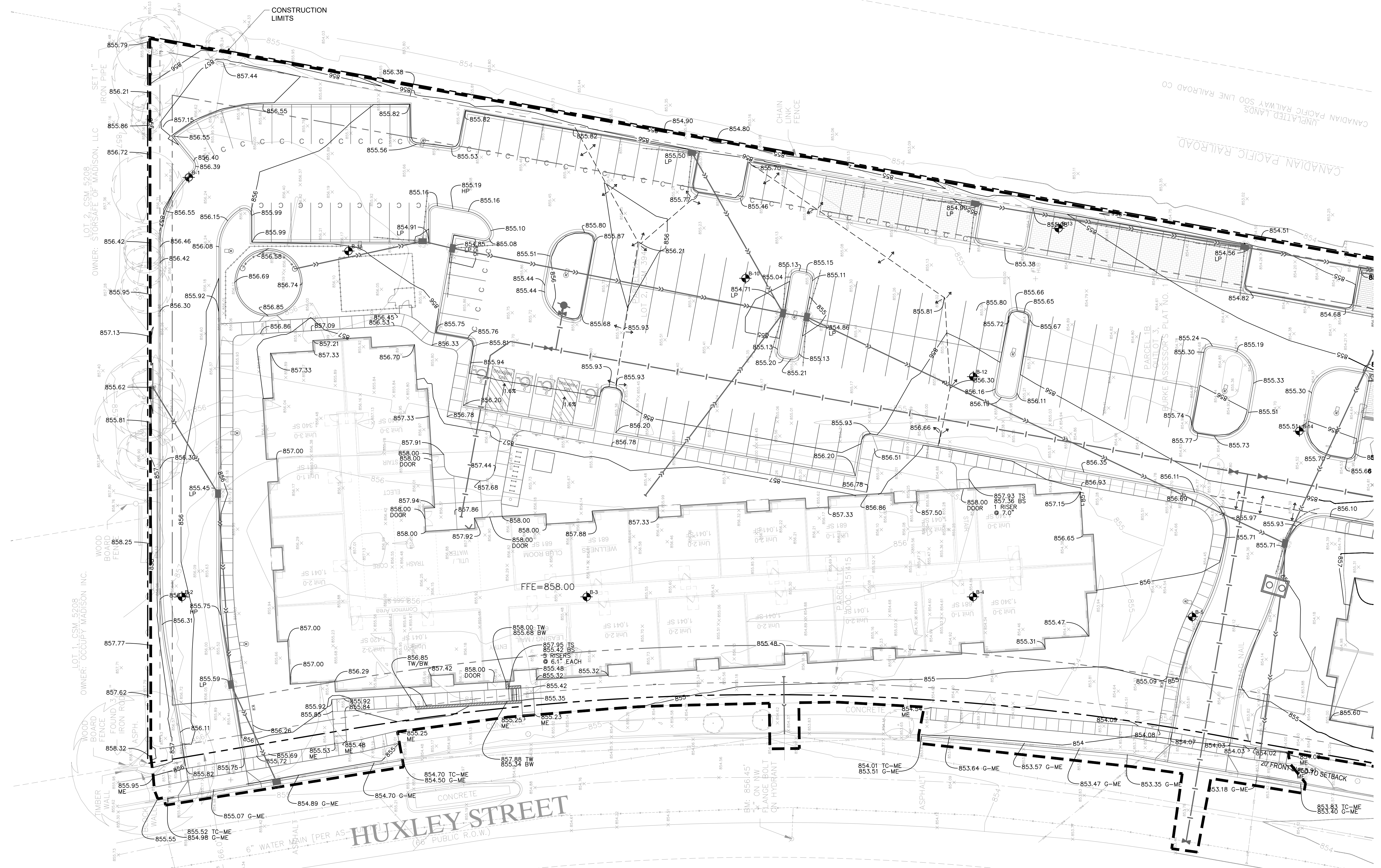
REVISION SUMMARY

DATE	DESCRIPTION

GRADING PLAN
NORTH

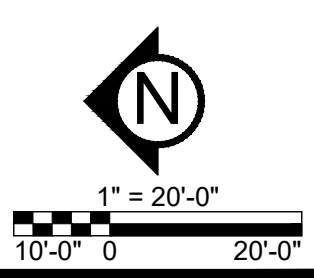
C3.1

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EXISTING FLOOD INFO (FROM MADISON WATER RESOURCES)
10-YR FLOOD = 856.60
100-YR FLOOD = 857.20
MIN. FLOOR ELEV. = 857.70

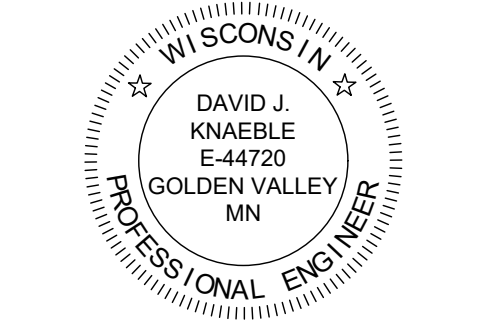
SEE SHEET C3.0 FOR LEGEND & GENERAL GRADING NOTES



PRELIMINARY:
NOT FOR
CONSTRUCTION

PROJECT
HUXLEY APARTMENTS
1201 HUXLEY ST., MADISON, WI 53704

OWNER
DEVCO US CONSTRUCTION, LLC
10800 NE 8TH ST., BELLEVUE, WA 98004



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David J. Knaeble
David J. Knaeble
DATE 03/30/26 LICENSE NO. 44720-6

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
03/30/26	CITY SUBMITTAL

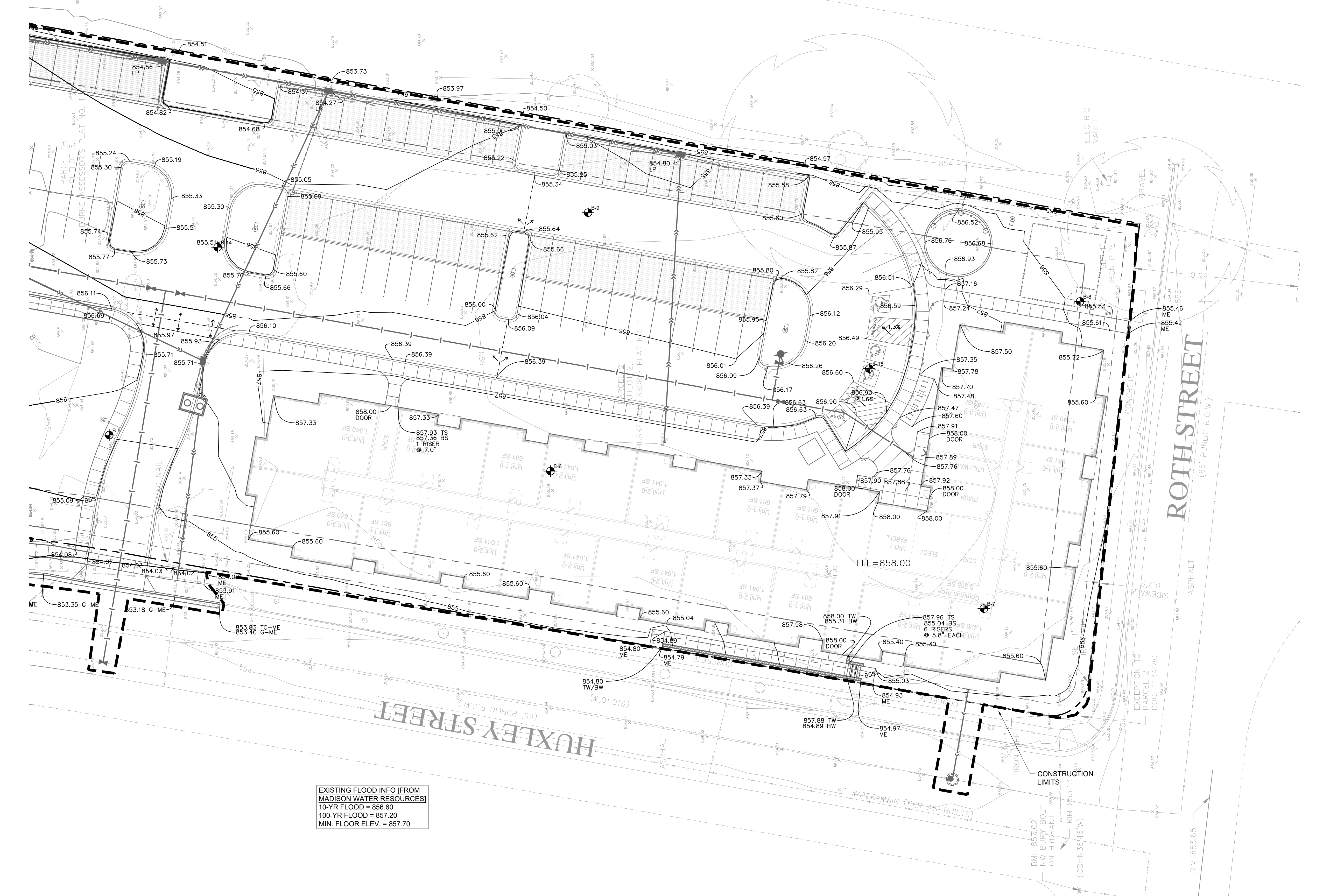
REVISION SUMMARY

DATE	DESCRIPTION

PROJECT MANAGER DAVID KNAEBLE
CONTACT NUMBER (762) 980-7103
DRAWN BY DK, JK
REVIEWED BY DK
PROJECT NUMBER 15431

GRADING PLAN SOUTH

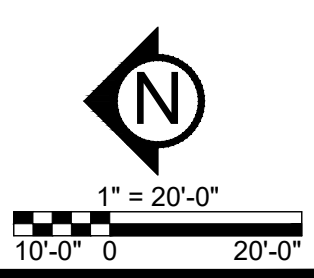
C3.2
© COPYRIGHT 2026 CIVIL SITE GROUP INC.



EXISTING FLOOD INFO (FROM MADISON WATER RESOURCES)
10-YR FLOOD = 856.80
100-YR FLOOD = 857.20
MIN. FLOOR ELEV. = 857.70

SEE SHEET C3.0 FOR LEGEND & GENERAL GRADING NOTES

DIGGERSHOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com

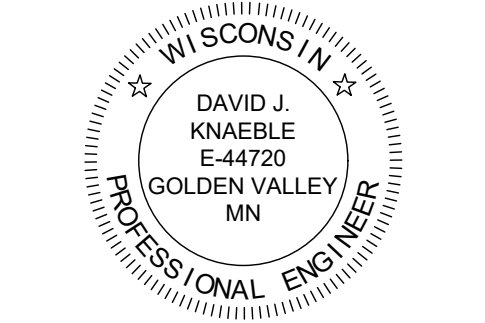


OWNER: CANADIAN PACIFIC RAILWAY
UNPLATTED LANDS
CANADIAN PACIFIC RAILROAD

**PRELIMINARY:
NOT FOR
CONSTRUCTION**

PROJECT
HUXLEY APARTMENTS
1201 HUXLEY ST., MADISON, WI 53704

OWNER
DEVCO US CONSTRUCTION, LLC
10800 NE 8TH ST., BELLEVUE, WA 98004



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David J. Knaeble
David J. Knaeble
DATE 03/30/26 LICENSE NO. 44720-6

DATE	DESCRIPTION
03/30/26	CITY SUBMITTAL

REVISION SUMMARY	
DATE	DESCRIPTION

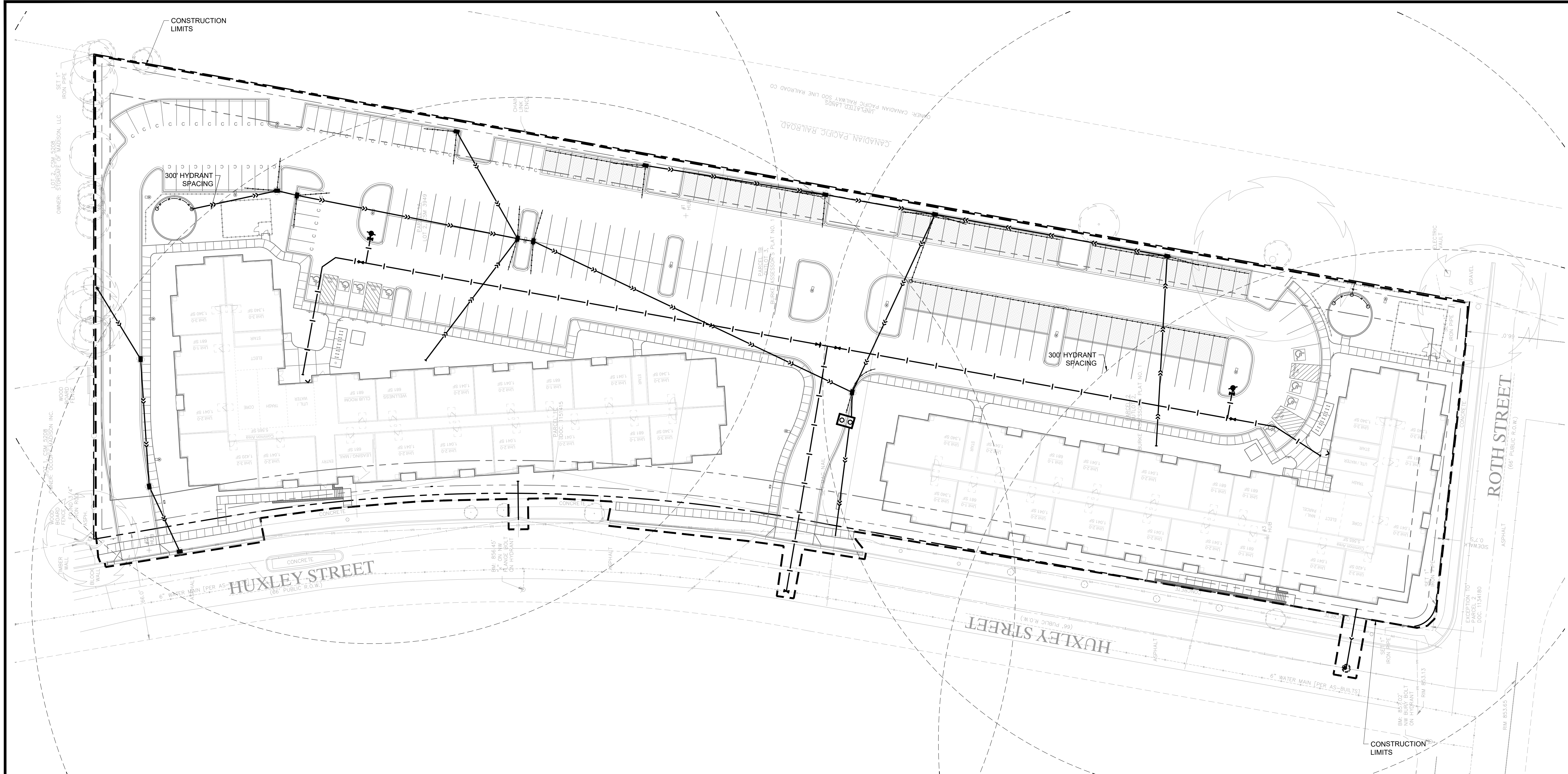
PROJECT MANAGER	DAVID KNAEBLE
CONTACT NUMBER	612-615-0060 X 703
DRAWN BY	DK, JF
REVIEWED BY	DK
PROJECT NUMBER	0543

REVISION SUMMARY	
DATE	DESCRIPTION

UTILITY PLAN - OVERALL

C4.0

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GENERAL UTILITY NOTES:

- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "DIGGERS HOTLINE" (800-242-8511) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- SEE SITE PLAN FOR HORIZONTAL DIMENSIONS AND LAYOUT.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- UTILITY INSTALLATION SHALL CONFORM TO THE CURRENT EDITION OF "WISCONSIN STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION" AND SHALL CONFORM WITH THE REQUIREMENTS OF THE CITY AND THE PROJECT SPECIFICATIONS.
- CASTINGS SHALL BE SALVAGED FROM STRUCTURE REMOVALS AND RE-USED OR PLACED AT THE DIRECTION OF THE OWNER.
- ALL WATER PIPE SHALL BE CLASS 52 DUCTILE IRON PIPE (DIP) AWWA C151, ASME B16.4, AWWA C110, AWWA C153 UNLESS OTHERWISE NOTED.
- ALL SANITARY SEWER SHALL BE SDR 35 POLYVINYL CHLORIDE (PVC) ASTM D3034 & F679, OR SCH 40 ASTM D1785, 2665, ASTM F794, 1866 UNLESS OTHERWISE NOTED.
- ALL STORM SEWER PIPE SHALL BE HDPE ASTM F714 & F2306 WITH ASTM D3212 SPEC FITTINGS UNLESS OTHERWISE NOTED.
- PIPE LENGTHS SHOWN ARE FROM CENTER TO CENTER OF STRUCTURE OR TO END OF FLARED END SECTION.
- UTILITIES ON THE PLAN ARE SHOWN TO WITHIN 5' OF THE BUILDING FOOTPRINT. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE FINAL CONNECTION TO BUILDING LINES. COORDINATE WITH ARCHITECTURAL AND MECHANICAL PLANS.
- CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.15 FEET PER DETAILS. RIM ELEVATIONS SHOWN ON THIS PLAN DO NOT REFLECT SUMPED ELEVATIONS.
- A MINIMUM OF 8 FEET OF COVER IS REQUIRED OVER ALL WATER MAIN, UNLESS OTHERWISE NOTED. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. EXTRA DEPTH WATER MAIN IS INCIDENTAL.
- HYDRANT SHALL BE INSTALLED WITH AN 8.5' BURY DEPTH.
- ALL WATER MAIN THRUST RESTRAINT SHALL FOLLOW THE CURRENT "WISCONSIN STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN".
- A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED FOR ALL UTILITIES, UNLESS OTHERWISE NOTED.
- INSULATION REQUIRED OVER WATER MAIN AND WATER LATERALS WHERE STORM CROSSES. INSULATION SHALL BE 4"X8"X4" RIGID EXTRUDED POLYSTYRENE BOARD CLOSED CELL OR APPROVED EQUIVALENT.

- ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH CITY STANDARDS AND COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION.
- CONNECTIONS TO EXISTING STRUCTURES SHALL BE CORE-DRILLED.
- COORDINATE LOCATIONS AND SIZES OF SERVICE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
- COORDINATE INSTALLATION AND SCHEDULING OF THE INSTALLATION OF UTILITIES WITH ADJACENT CONTRACTORS AND CITY STAFF.
- ALL STREET REPAIRS AND PATCHING SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. ALL PAVEMENT CONNECTIONS SHALL BE SAWCUT. ALL TRAFFIC CONTROLS SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE ESTABLISHED PER THE REQUIREMENTS OF THE WISCONSIN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (WMUTCD) AND THE CITY. THIS SHALL INCLUDE BUT NOT BE LIMITED TO SIGNAGE, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL BE OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.
- ALL STRUCTURES, PUBLIC AND PRIVATE, SHALL BE ADJUSTED TO PROPOSED GRADES WHERE REQUIRED. THE REQUIREMENTS OF ALL OWNERS MUST BE COMPLIED WITH. STRUCTURES BEING RESET TO PAVED AREAS MUST MEET OWNERS REQUIREMENTS FOR TRAFFIC LOADING.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH PRIVATE UTILITY COMPANIES.
- CONTRACTOR SHALL COORDINATE CONNECTION OF IRRIGATION SERVICE TO UTILITIES. COORDINATE THE INSTALLATION OF IRRIGATION SLEEVES NECESSARY AS TO NOT IMPACT INSTALLATION OF UTILITIES.
- CONTRACTOR SHALL MAINTAIN AS-BUILT PLANS THROUGHOUT CONSTRUCTION AND SUBMIT THESE PLANS TO ENGINEER UPON COMPLETION OF WORK.
- ALL JOINTS AND CONNECTIONS IN STORM SEWER SYSTEM SHALL BE GAS TIGHT OR WATERTIGHT. APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCH BASINS, OR OTHER STRUCTURES.
- FOR ALL SITES LOCATED IN CLAY SOIL AREAS, DRAIN TILE MUST BE INSTALLED AT ALL LOW POINT CATCH BASINS 25' IN EACH DIRECTION. SEE PLAN AND DETAIL. INSTALL LOW POINT DRAIN TILE PER PLANS AND GEOTECHNICAL REPORT RECOMMENDATIONS AND REQUIREMENTS.

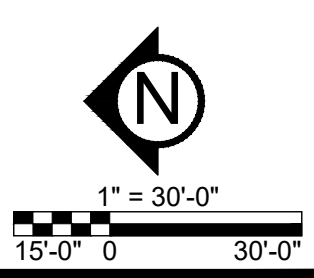
CITY OF MADISON UTILITY NOTES:

- RESERVED FOR CITY SPECIFIC UTILITY NOTES.

UTILITY PLAN LEGEND:

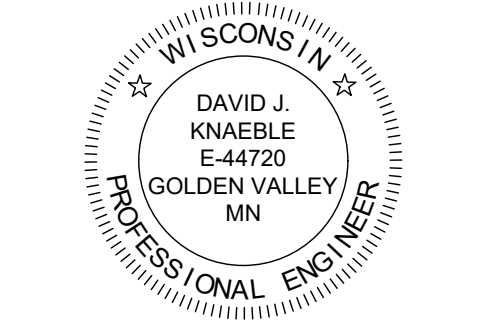
- CATCH BASIN
- MANHOLE
- GATE VALVE AND VALVE BOX
- PROPOSED FIRE HYDRANT
- DRAINTILE
- WATER MAIN
- SANITARY SEWER
- STORM SEWER
- FES AND RIP RAP
- TRENCH DRAIN
- CONSTRUCTION LIMITS

DIGGERS HOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com





HUXLEY APARTMENTS
1201 HUXLEY ST., MADISON, WI 53704
DEVCO US CONSTRUCTION, LLC
10800 NE 8TH ST., BELLEVUE, WA 98004



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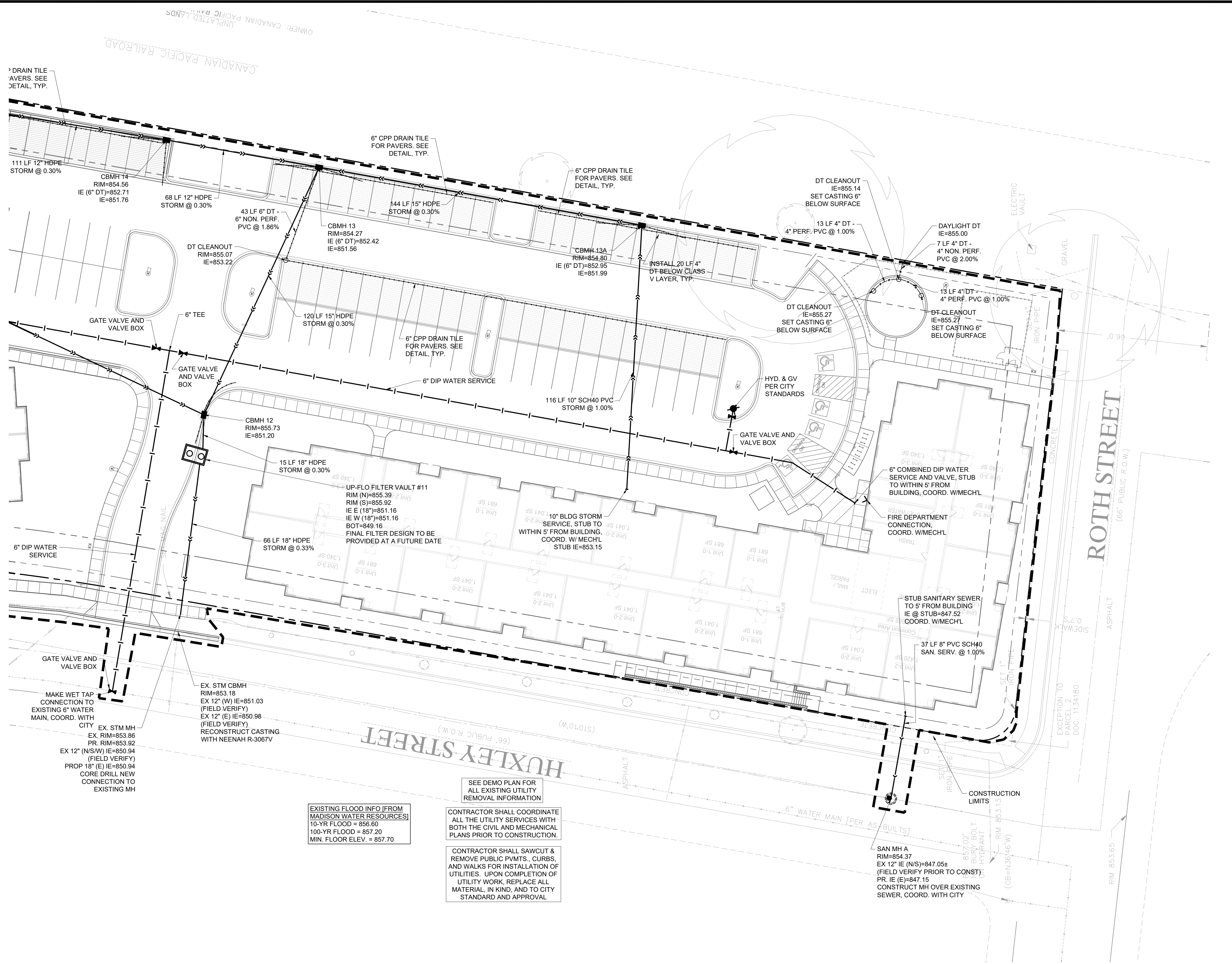
David J. Knaeble
David J. Knaeble
DATE: 03/30/26 LICENSE NO.: 44720-6

ISSUE/SUBMITTAL SUMMARY	DATE	DESCRIPTION
03/30/26		CITY SUBMITTAL

PROJECT MANAGER	PROJECT NUMBER	CONTRACT NUMBER	DRAWN BY	REVIEWED BY	PROJECT NUMBER
DAVID KNAEBLE	17185080 X 703	OK 25	OK	OK	15431

REVISION SUMMARY	
DATE	DESCRIPTION

UTILITY PLAN SOUTH
C4.2
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3 DRAIN TILE AVERS. SEE DETAIL, TYP.

111 LF 12" HDPE STORM @ 0.30%

CBMH 14
RIM=854.56
IE (6" DT)=852.71
IE=851.76

68 LF 12" HDPE STORM @ 0.30%

43 LF 6" DT - 6" NON. PERF. PVC @ 1.86%

CBMH 13
RIM=854.27
IE (6" DT)=852.42
IE=851.56

144 LF 15" HDPE STORM @ 0.30%

CBMH 13A
RIM=854.80
IE (6" DT)=852.95
IE=851.99

INSTALL 20 LF 4" DT-BELOW CLASS V LAYER, TYP.

DT CLEANOUT IE=855.14 SET CASTING 6" BELOW SURFACE

13 LF 4" DT - 4" PERF. PVC @ 1.00%

DAYLIGHT DT IE=855.00 7 LF 4" DT - 4" NON. PERF. PVC @ 2.00%

DT CLEANOUT IE=855.27 SET CASTING 6" BELOW SURFACE

13 LF 4" DT - 4" PERF. PVC @ 1.00%

GATE VALVE AND VALVE BOX

6" TEE

GATE VALVE AND VALVE BOX

6" CPP DRAIN TILE FOR PAVERS. SEE DETAIL, TYP.

6" DIP WATER SERVICE

116 LF 10" SCH40 PVC STORM @ 1.00%

HYD. & GV PER CITY STANDARDS

GATE VALVE AND VALVE BOX

6" COMBINED DIP WATER SERVICE AND VALVE, STUB TO WITHIN 5' FROM BUILDING, COORD. W/MECH'L

FIRE DEPARTMENT CONNECTION, COORD. W/MECH'L

CBMH 12
RIM=855.73
IE=851.20

15 LF 18" HDPE STORM @ 0.30%

UP-FLO FILTER VAULT #11
RIM (N)=855.39
RIM (S)=855.92
IE E (18")=851.16
IE W (18")=851.16
BOT=849.16
FINAL FILTER DESIGN TO BE PROVIDED AT A FUTURE DATE

10" BLDG STORM SERVICE, STUB TO WITHIN 5' FROM BUILDING, COORD. W/MECH'L STUB IE=853.15

STUB SANITARY SEWER TO 5' FROM BUILDING IE @ STUB=847.52 COORD. W/MECH'L

37 LF 8" PVC SCH40 SAN. SERV. @ 1.00%

6" DIP WATER SERVICE

GATE VALVE AND VALVE BOX

MAKE WET TAP CONNECTION TO EXISTING 6" WATER MAIN, COORD. WITH CITY

EX. STM CBMH RIM=853.18 EX 12" (W) IE=851.03 (FIELD VERIFY) EX 12" (E) IE=850.98 (FIELD VERIFY) RECONSTRUCT CASTING WITH NEENAH R-3067V

EX. STM MH EX. RIM=853.86 PR. RIM=853.92 EX 12" (N/S/W) IE=850.94 (FIELD VERIFY) PROP 18" (E) IE=850.94 CORE DRILL NEW CONNECTION TO EXISTING MH

SEE DEMO PLAN FOR ALL EXISTING UTILITY REMOVAL INFORMATION

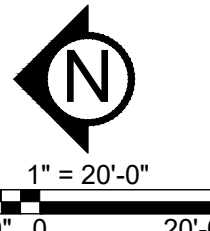
EXISTING FLOOD INFO (FROM MADISON WATER RESOURCES)
10-YR FLOOD = 856.60
100-YR FLOOD = 857.20
MIN. FLOOR ELEV. = 857.70

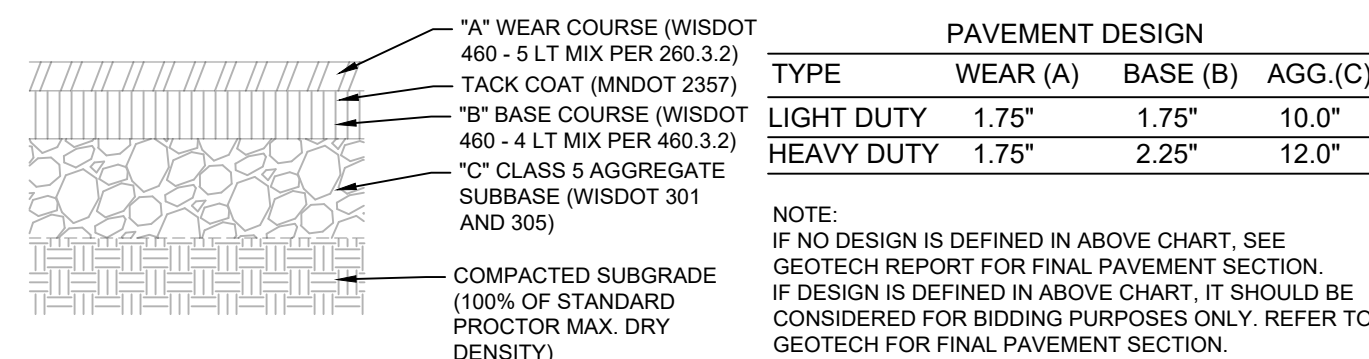
CONTRACTOR SHALL COORDINATE ALL THE UTILITY SERVICES WITH BOTH THE CIVIL AND MECHANICAL PLANS PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL SAWCUT & REMOVE PUBLIC PVMTS., CURBS, AND WALKS FOR INSTALLATION OF UTILITIES. UPON COMPLETION OF UTILITY WORK, REPLACE ALL MATERIAL, IN KIND, AND TO CITY STANDARD AND APPROVAL

SAN MH A RIM=854.37 EX 12" IE (N/S)=847.05± (FIELD VERIFY PRIOR TO CONST) PR. IE (E)=847.15 CONSTRUCT MH OVER EXISTING SEWER, COORD. WITH CITY

SEE SHEET C4.0 FOR LEGEND & GENERAL UTILITY NOTES



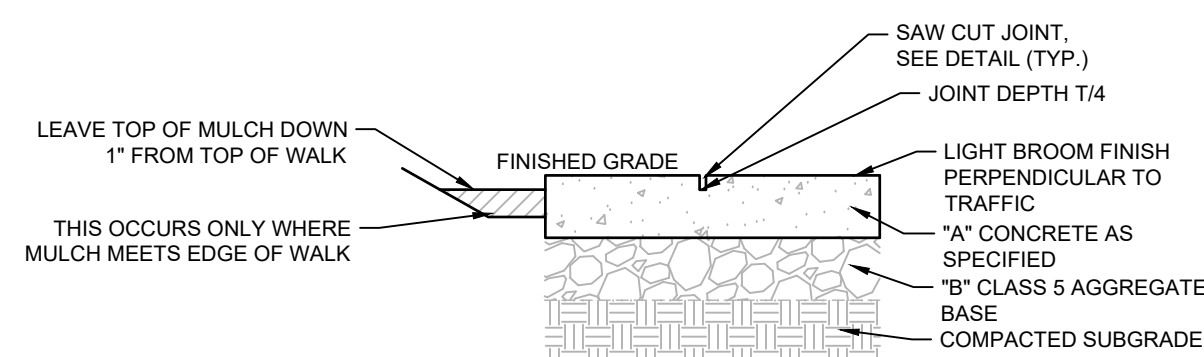


PAVEMENT DESIGN

TYPE	WEAR (A)	BASE (B)	AGG.(C)
LIGHT DUTY	1.75"	1.75"	10.0"
HEAVY DUTY	1.75"	2.25"	12.0"

NOTE:
IF NO DESIGN IS DEFINED IN ABOVE CHART, SEE GEOTECH REPORT FOR FINAL PAVEMENT SECTION.
IF DESIGN IS DEFINED IN ABOVE CHART, IT SHOULD BE CONSIDERED FOR BIDDING PURPOSES ONLY. REFER TO GEOTECH FOR FINAL PAVEMENT SECTION.

1 BITUMINOUS PAVEMENT - ALL TYPES
N T S

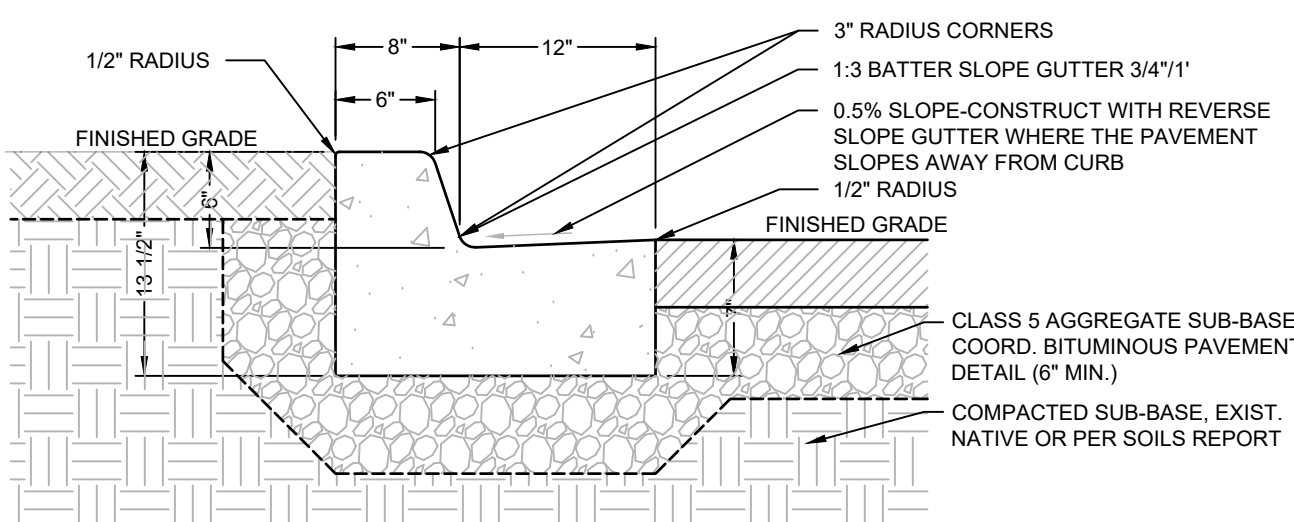


PAVEMENT DESIGN

TYPE	CONC. (A)	AGG.(B)
WALKS	4.0"	6.0"
CONC. PVMT.	6.0"	6.0"

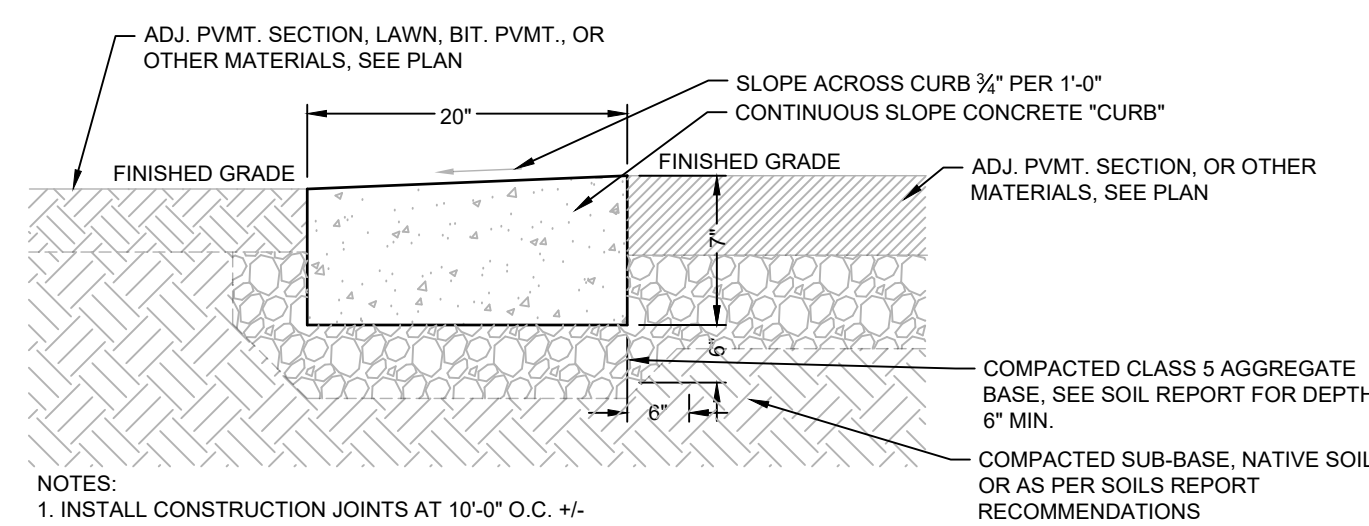
- CURING:**
1. APPLY CURING COMPOUNDS IMMEDIATELY UPON FINAL FINISHING OF CONC. SURFACE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTION AND THE SPECIFICATIONS BELOW.
2. ALL CONC. SURFACES SHALL HAVE CURING COMPOUNDS ALLIED PER ASTM C-1315. AT 200 S.F. PER GAL.
3. ALL CURING COMPOUNDS SHALL BE TYPE 1 (CLEAR) AND CONTAIN ACRYLIC BASED CLASS B RESTRICTED RESIN SOLIDS.
- NOTES:**
1. INSTALLATION SHALL BE CERTIFIED AND IN ACCORDANCE TO AN ON-SITE A.C.I. TECHNICIAN AS SPECIFIED.
2. SEE GEO-TECHNICAL RECOMMENDATIONS FOR GROSS WEIGHT REQUIREMENTS.
3. IF NO DESIGN IS DEFINED IN CHART, SEE GEOTECH REPORT FOR FINAL PAVEMENT SECTION.
4. IF DESIGN IS DEFINED IN CHART, IT SHOULD BE CONSIDERED FOR BIDDING PURPOSES ONLY. REFER TO GEOTECH FOR FINAL PAVEMENT SECTION.

2 CONCRETE PVMT./WALK/PAD- NO FIBER
N T S (PRIVATE PROPERTY)



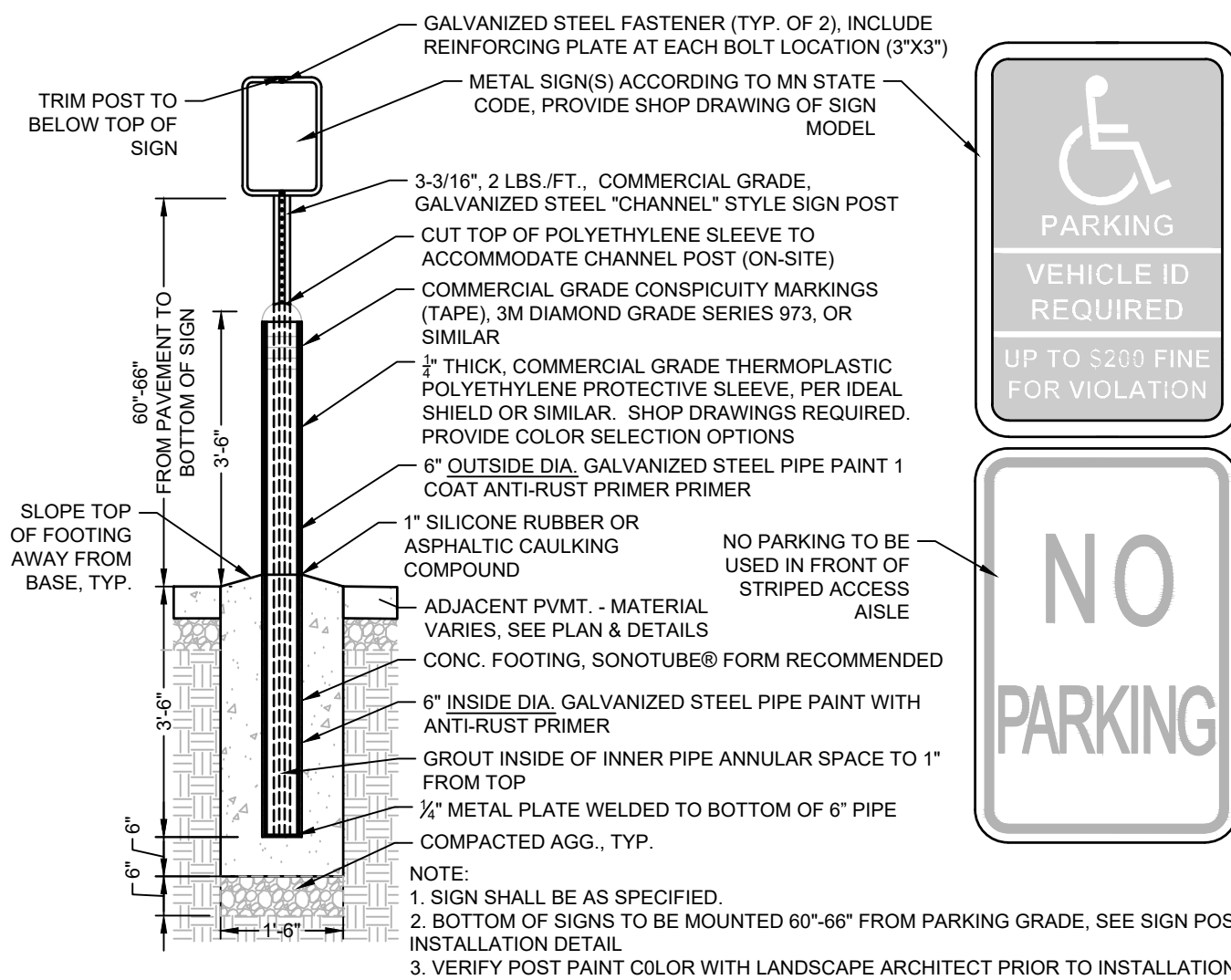
- NOTE:**
1. INSTALL CONSTRUCTION JOINTS AT 10'-0" O.C. +/-
2. BASE DEPTH DEPENDANT UPON SOIL CONDITIONS

3 B-612 CONCRETE CURB AND GUTTER
N T S

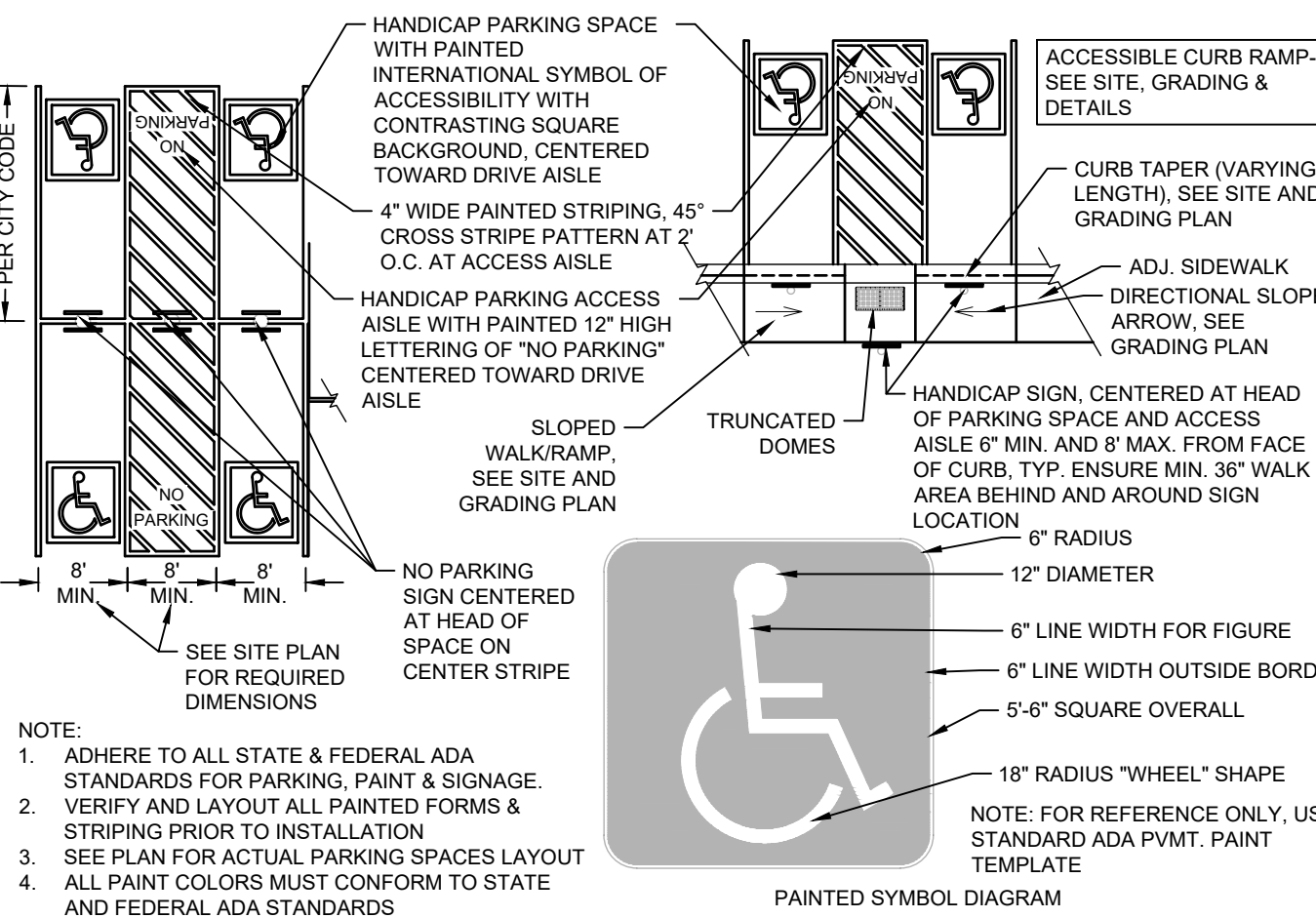


- NOTE:**
1. INSTALL CONSTRUCTION JOINTS AT 10'-0" O.C. +/-
2. BASE DEPTH DEPENDANT UPON SOIL CONDITIONS

4 RIBBON CURB
N T S

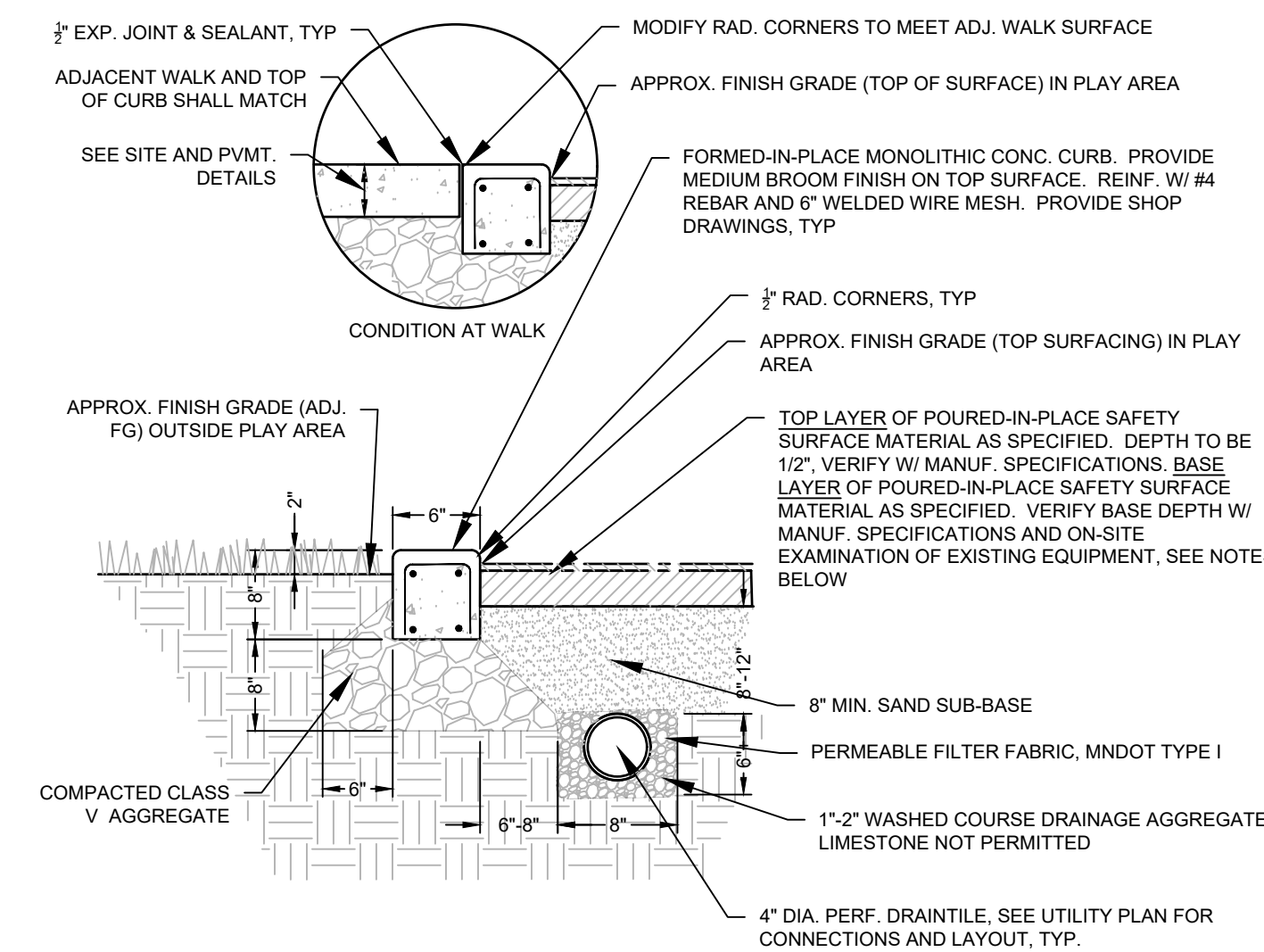


5 ACCESSIBLE SIGN & CHANNEL POST - LOT LOCATION
N T S



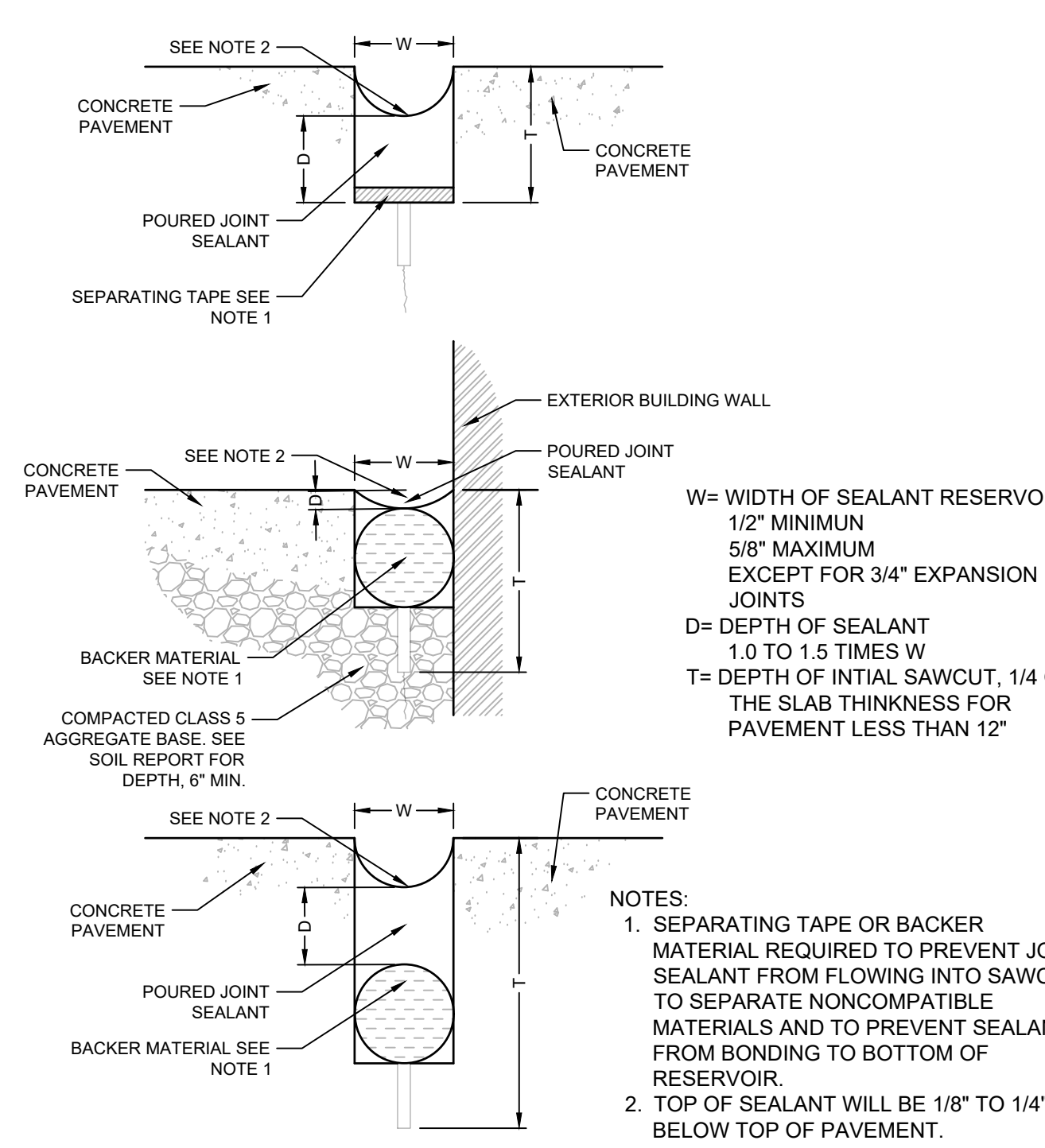
- NOTE:**
1. ADHERE TO ALL STATE & FEDERAL ADA STANDARDS FOR PARKING, PAINT & SIGNAGE.
2. VERIFY AND LAYOUT ALL PAINTED FORMS & STRIPING PRIOR TO INSTALLATION.
3. SEE PLAN FOR ACTUAL PARKING SPACES LAYOUT.
4. ALL PAINT COLORS MUST CONFORM TO STATE AND FEDERAL ADA STANDARDS.

6 ACCESSIBLE PARKING PAVEMENT MARKING
N T S



- NOTE:**
1. SHOP DRAWING REQ. FOR CURB & SURFACING PRIOR TO CONSTRUCTION. DETAIL BASED ON Poured-IN-PLACE PLAYGROUND SURFACING SYSTEM, MANUF. BY SURFACE AMERICA, INC., WILLIAMSVILLE, NY - 800-999-0555; EMAIL: INFO@SURFACEAMERICA.COM; WEB: WWW.SURFACEAMERICA.COM.
2. VERIFY ALL SAFETY SURFACE MATERIALS BASED ON MANUF. SPECIFICATIONS AND ON-SITE VERIFICATION OF PLAY EQUIPMENT HEIGHTS.
3. PROVIDE COLOR SAMPLES FOR TOP LAYER OF SURFACING, PRIOR TO CONSTRUCTION.

7 PLAYGROUND CURB & SURFACING
N T S



8 EXPANSION JOINT SEALANT DETAILS
N T S

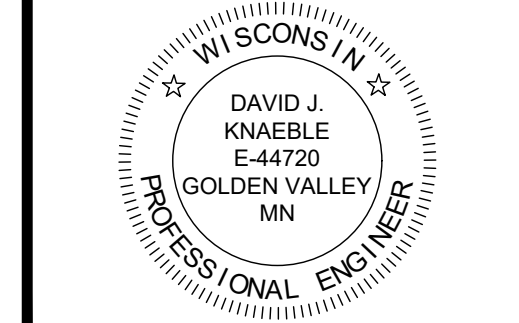
W= WIDTH OF SEALANT RESERVOIR
1/2" MINIMUM
5/8" MAXIMUM
EXCEPT FOR 3/4" EXPANSION JOINTS
D= DEPTH OF SEALANT
1.0 TO 1.5 TIMES W
T= DEPTH OF INTIAL SAWCUT, 1/4 OF THE SLAB THICKNESS FOR PAVEMENT LESS THAN 12"

- NOTES:**
1. SEPARATING TAPE OR BACKER MATERIAL REQUIRED TO PREVENT JOINT SEALANT FROM FLOWING INTO SAWCUT, TO SEPARATE NONCOMPATIBLE MATERIALS AND TO PREVENT SEALANT FROM BONDING TO BOTTOM OF RESERVOIR.
2. TOP OF SEALANT WILL BE 1/8" TO 1/4" BELOW TOP OF PAVEMENT.

**PRELIMINARY:
NOT FOR
CONSTRUCTION**

PROJECT
HUXLEY APARTMENTS
1201 HUXLEY ST., MADISON, WI 53704

OWNER
DEVCO US CONSTRUCTION, LLC
10900 NE 8TH ST., BELLEVUE, WA 98004



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

David J. Knaeble
David J. Knaeble
DATE: 03/30/26 LICENSE NO. 44720-6

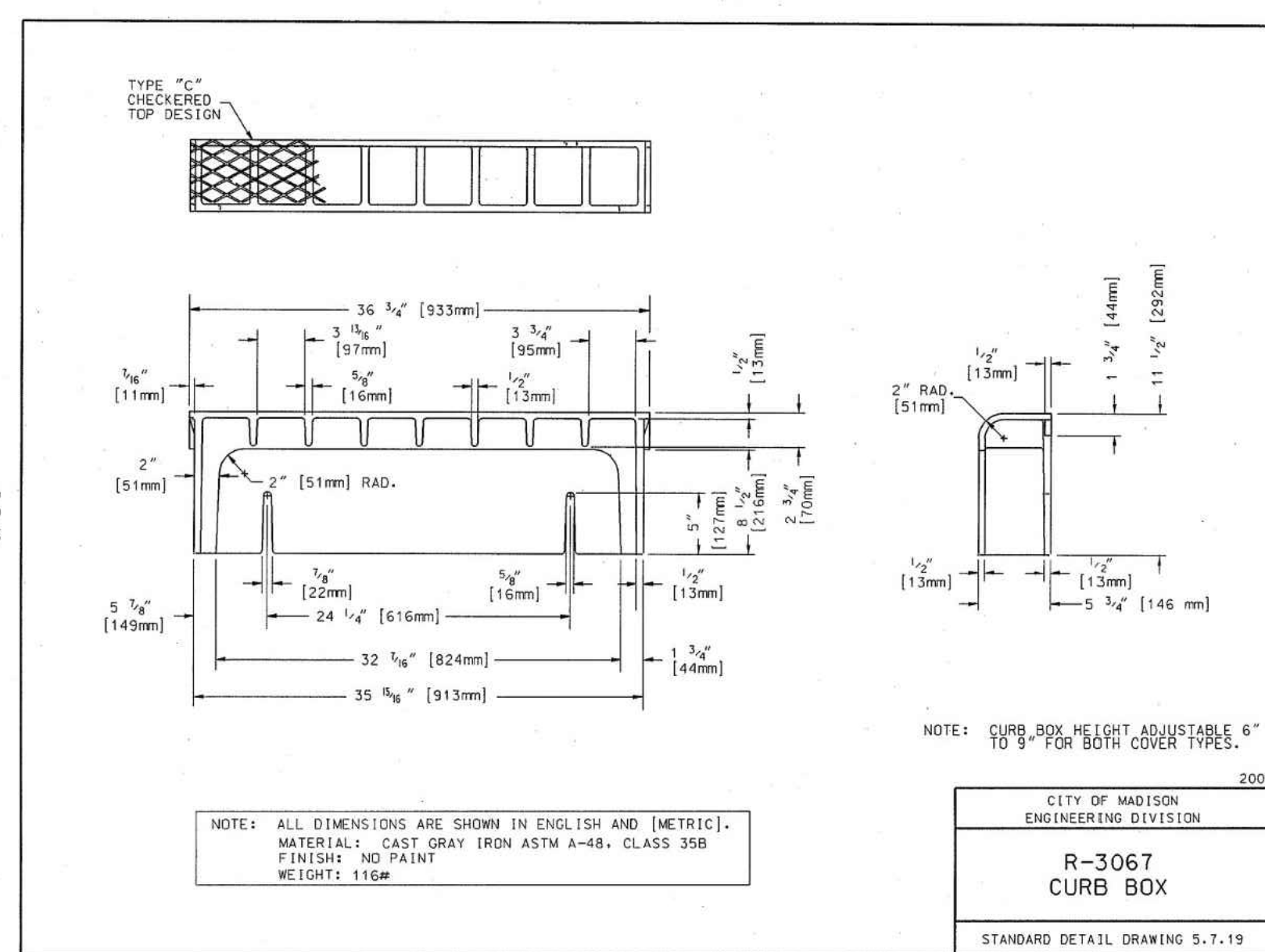
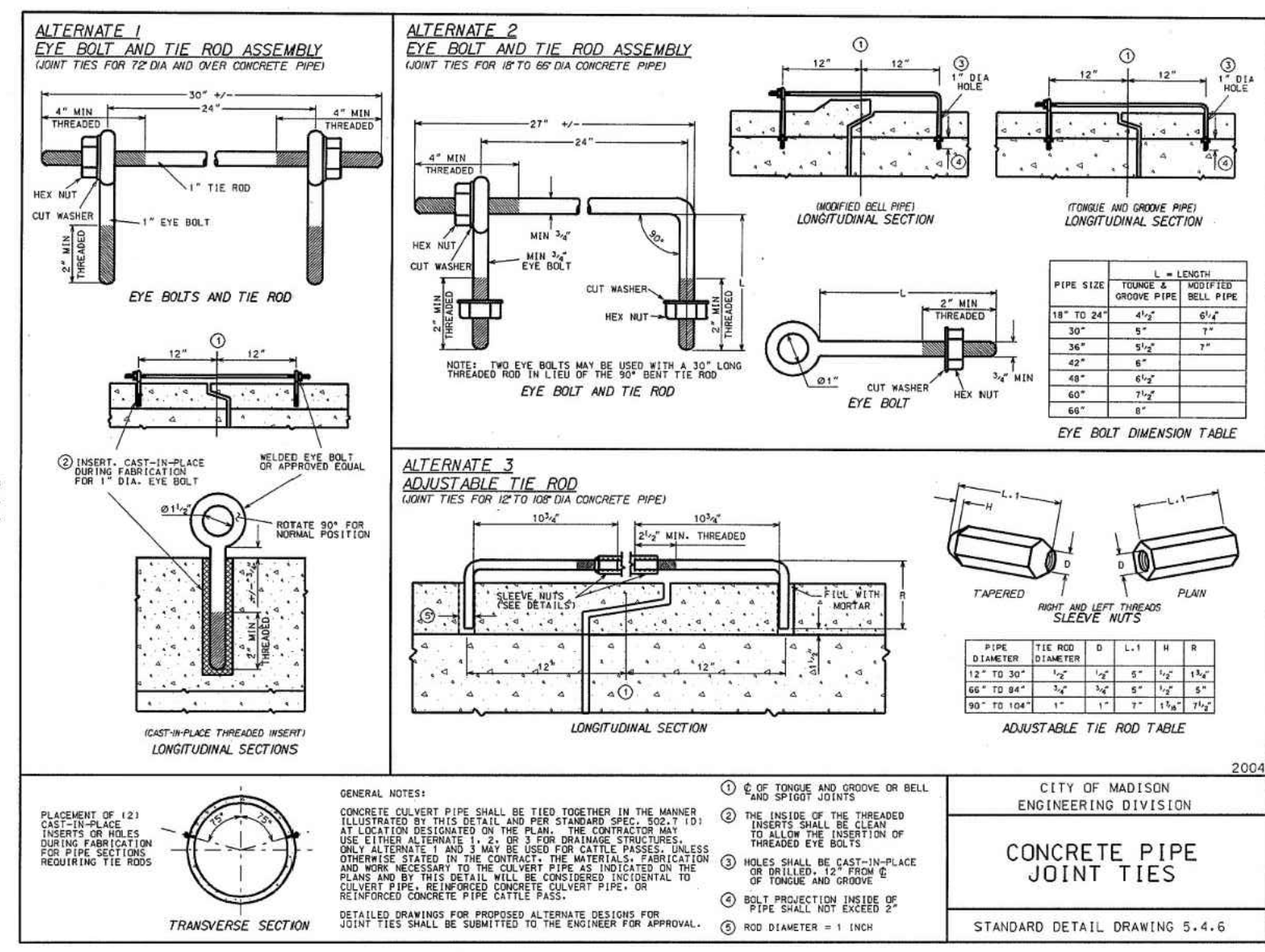
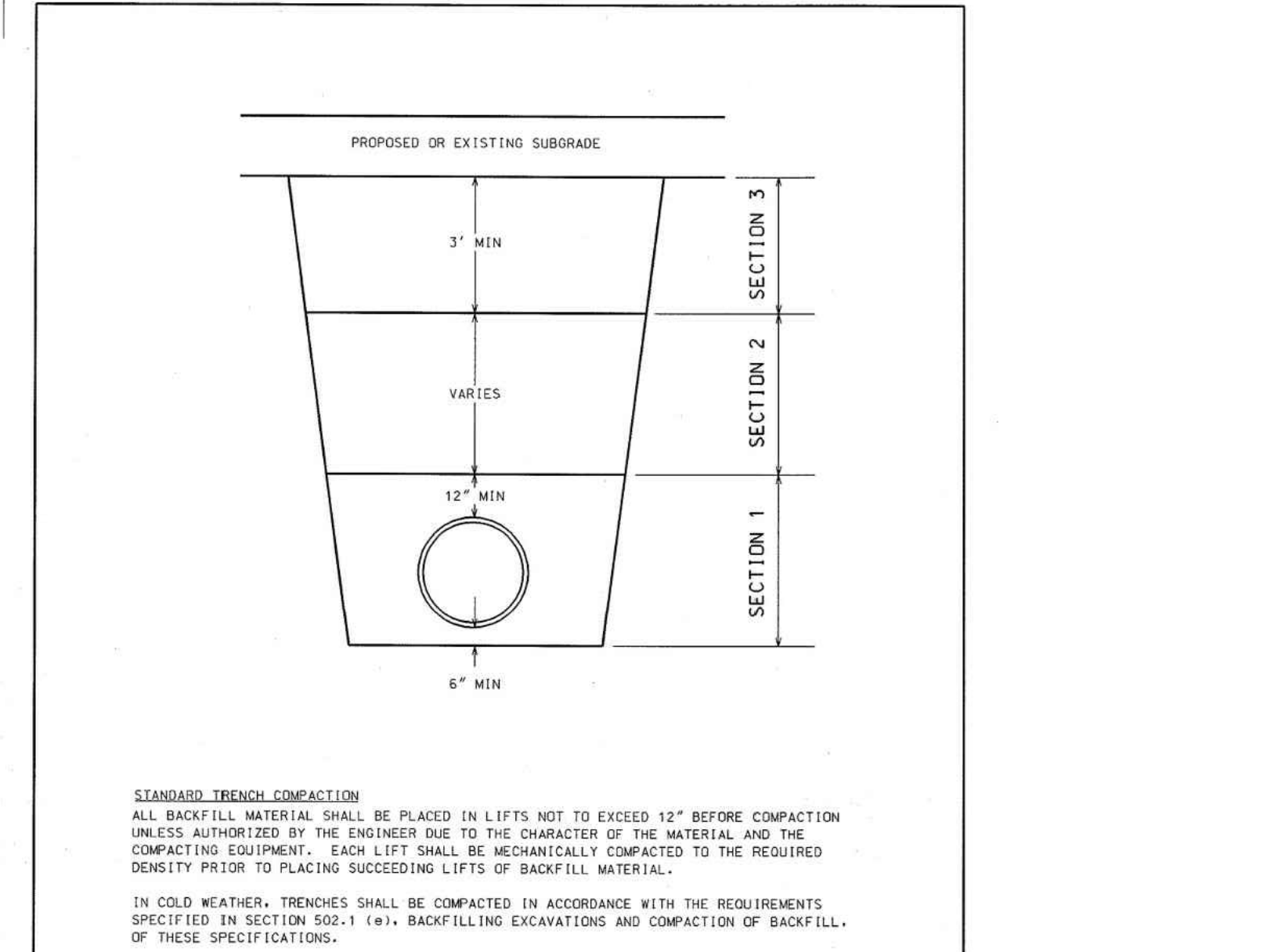
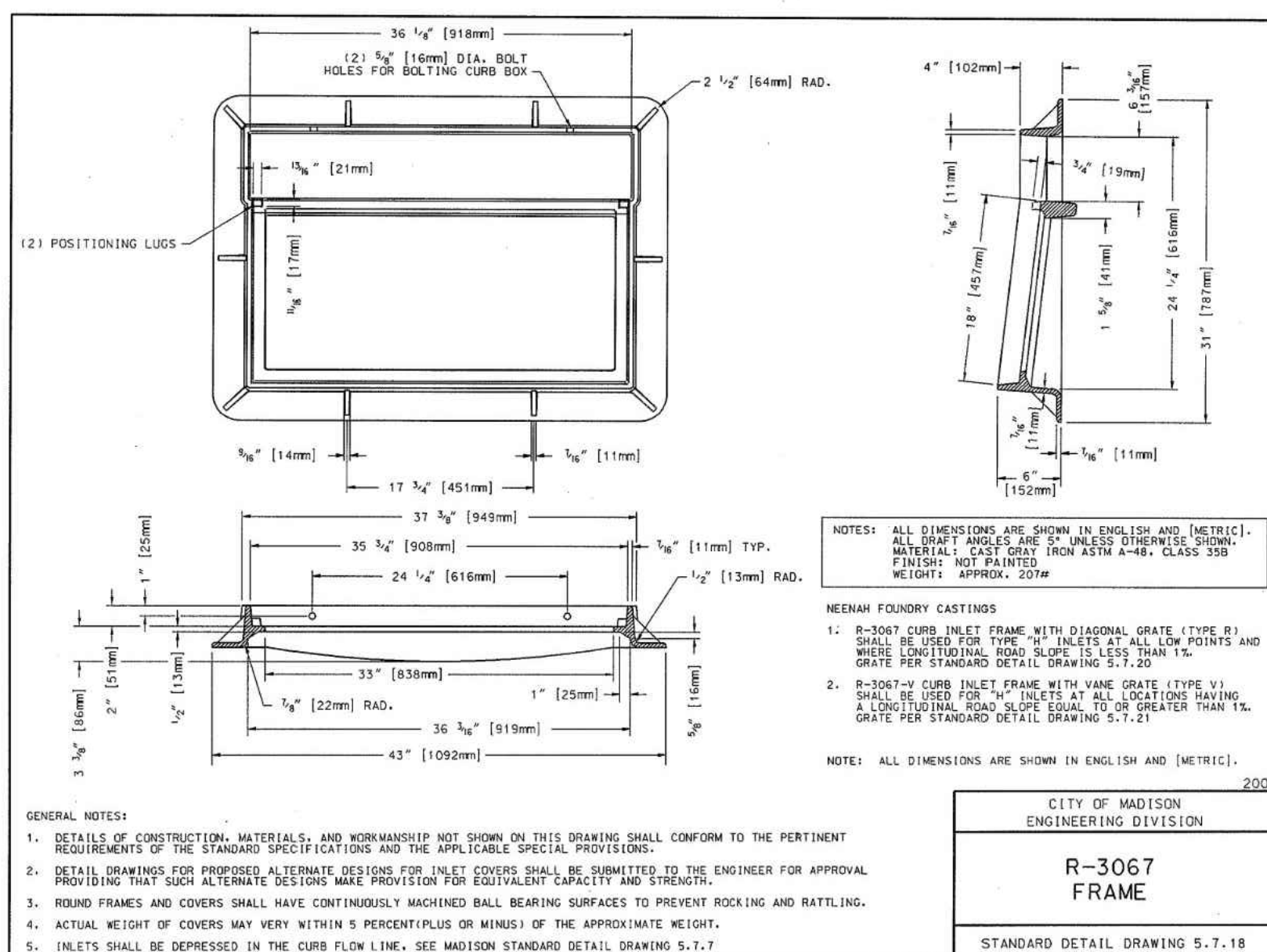
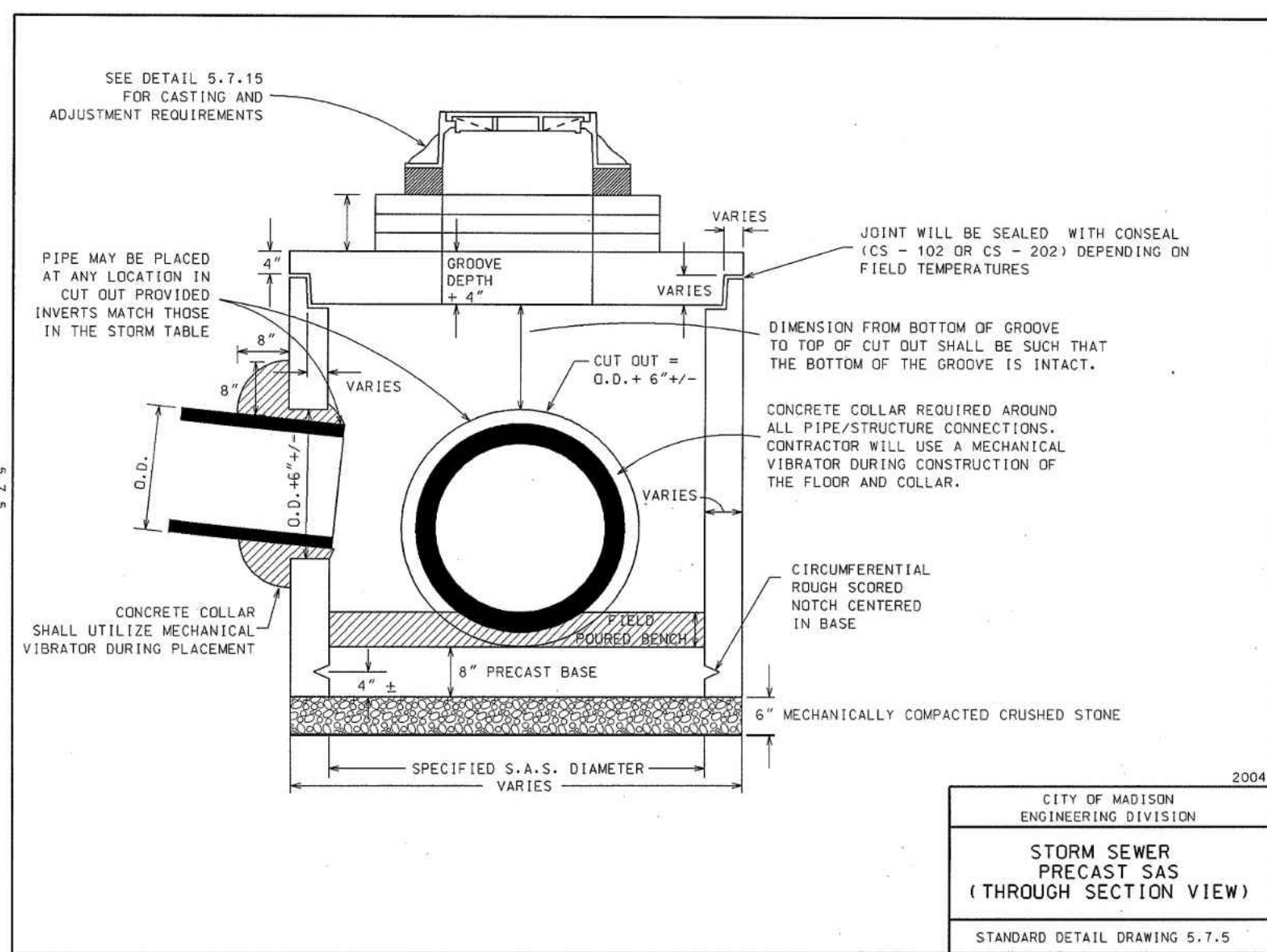
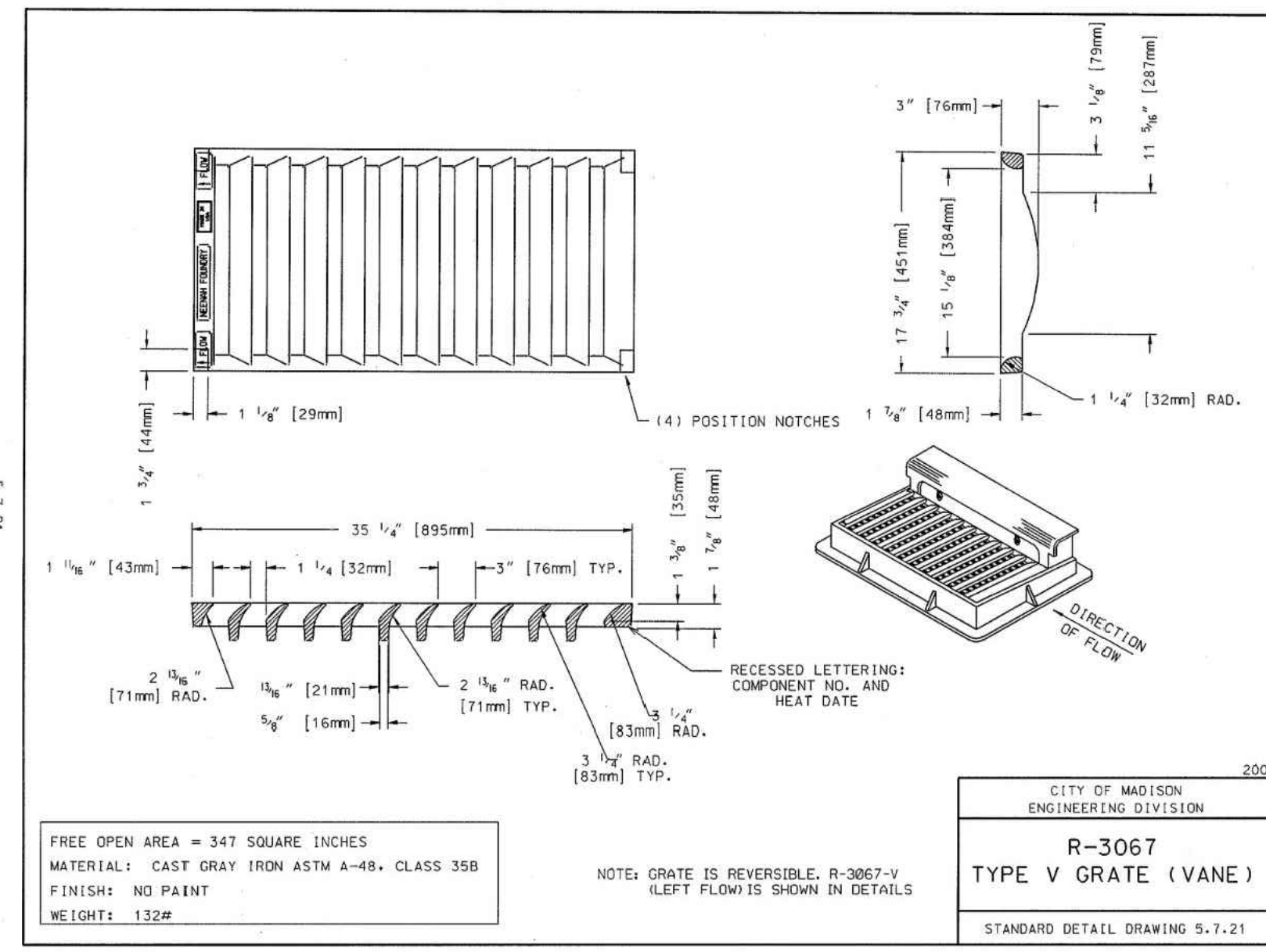
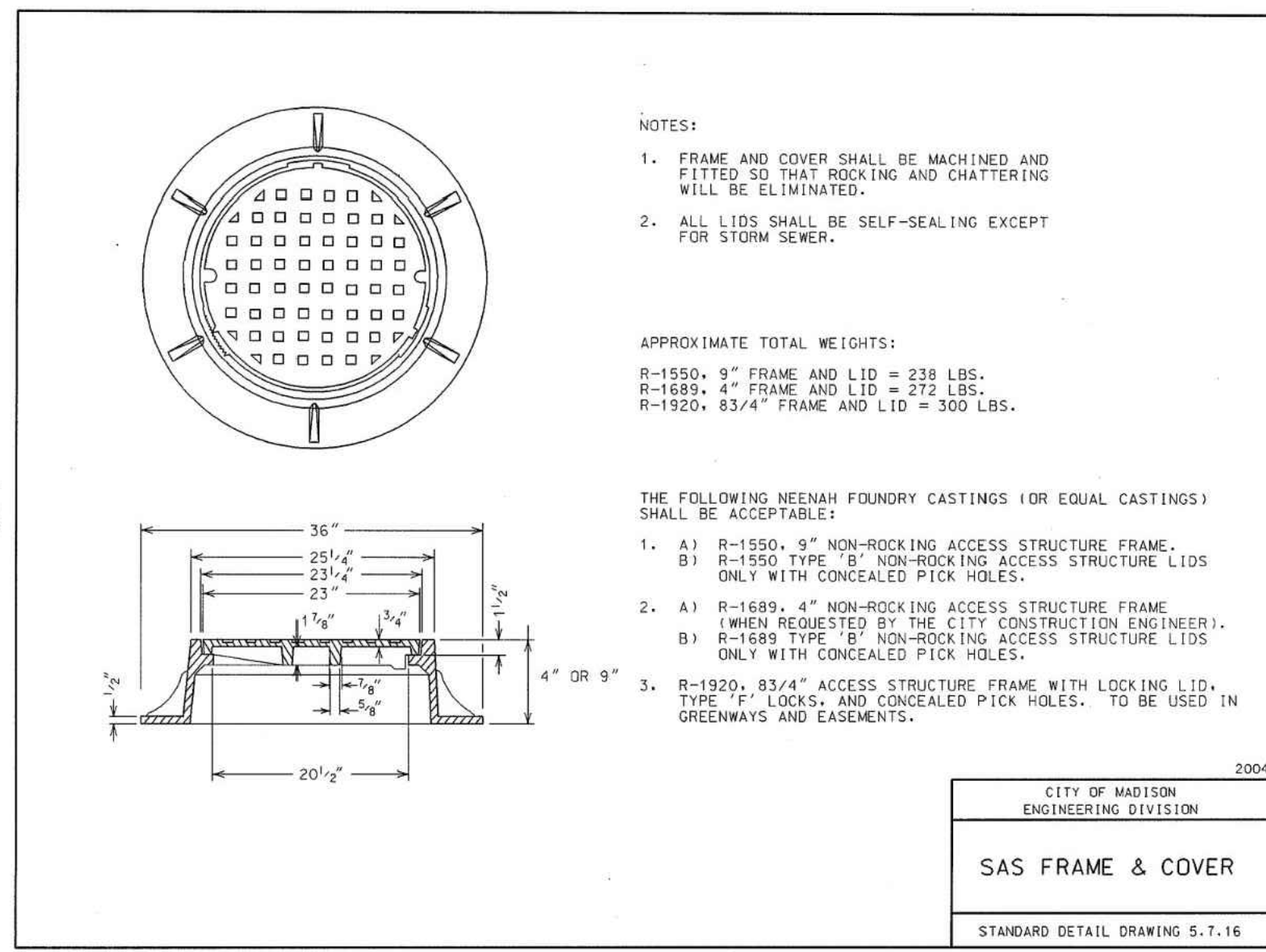
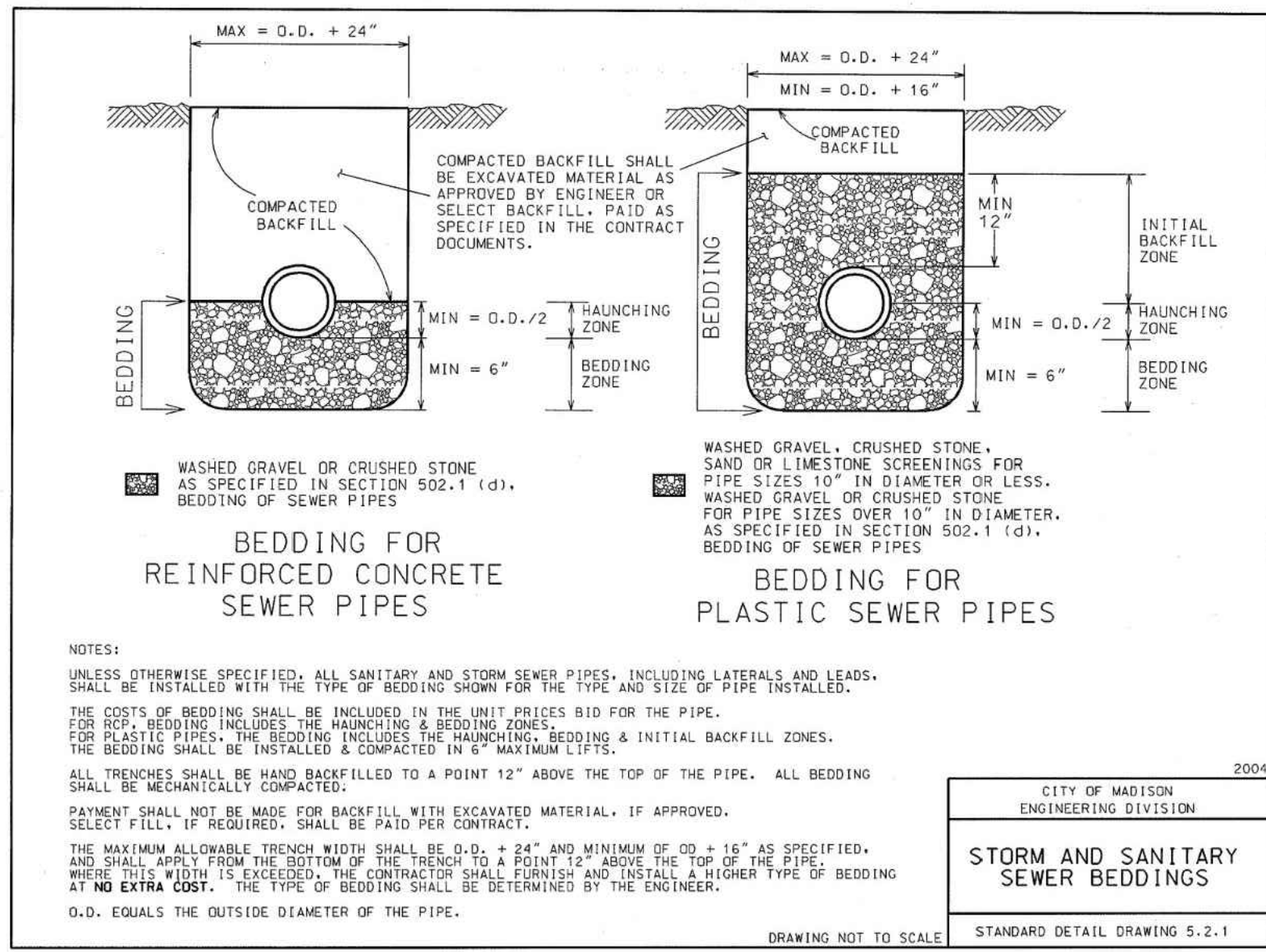
ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
03/30/26	CITY SUBMITTAL

REVISION SUMMARY

DATE	DESCRIPTION

PROJECT MANAGER DAVID KNAEBLE
CONTACT NUMBER 612-615-0060 X 703
DRAWN BY DK, JF
REVIEWED BY DK
PROJECT NUMBER 15431



CivilSite
 Civil Engineering * Surveying * Landscape Architecture
 5000 Glenwood Avenue
 Golden Valley, MN 55422
 civilsitegroup.com 612-615-0060

PRELIMINARY: NOT FOR CONSTRUCTION

HUXLEY APARTMENTS
 1201 HUXLEY ST., MADISON, WI 53704
DEVCO US CONSTRUCTION, LLC
 10800 NE 8TH ST., BELLEVUE, WA 98004

PROFESSIONAL ENGINEER
 DAVID J. KNAEBLE
 E-44720
 GOLDEN VALLEY MN

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David J. Knaeble
 DATE 03/30/26 LICENSE NO. 44720-6

ISSUE/SUBMITTAL SUMMARY

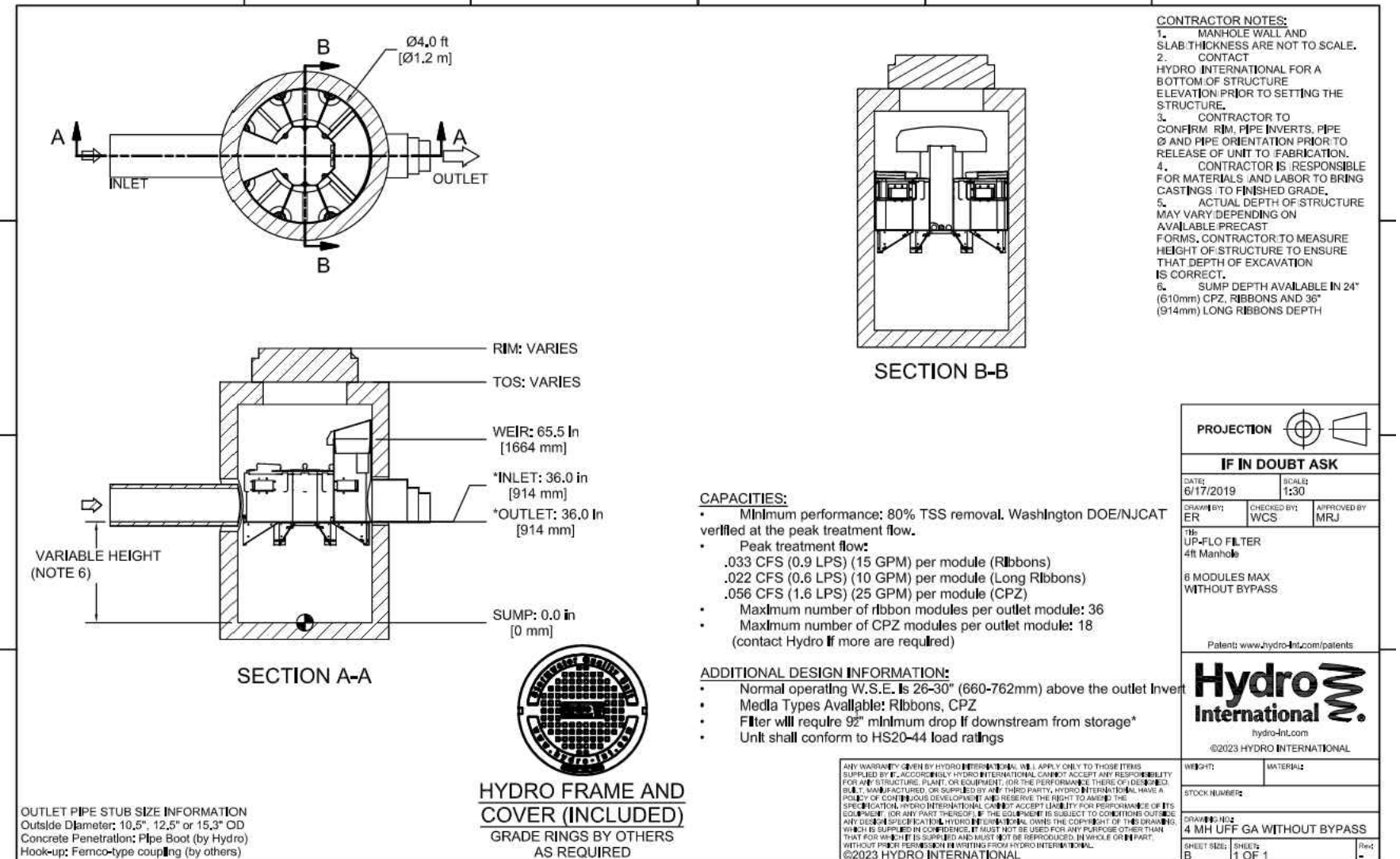
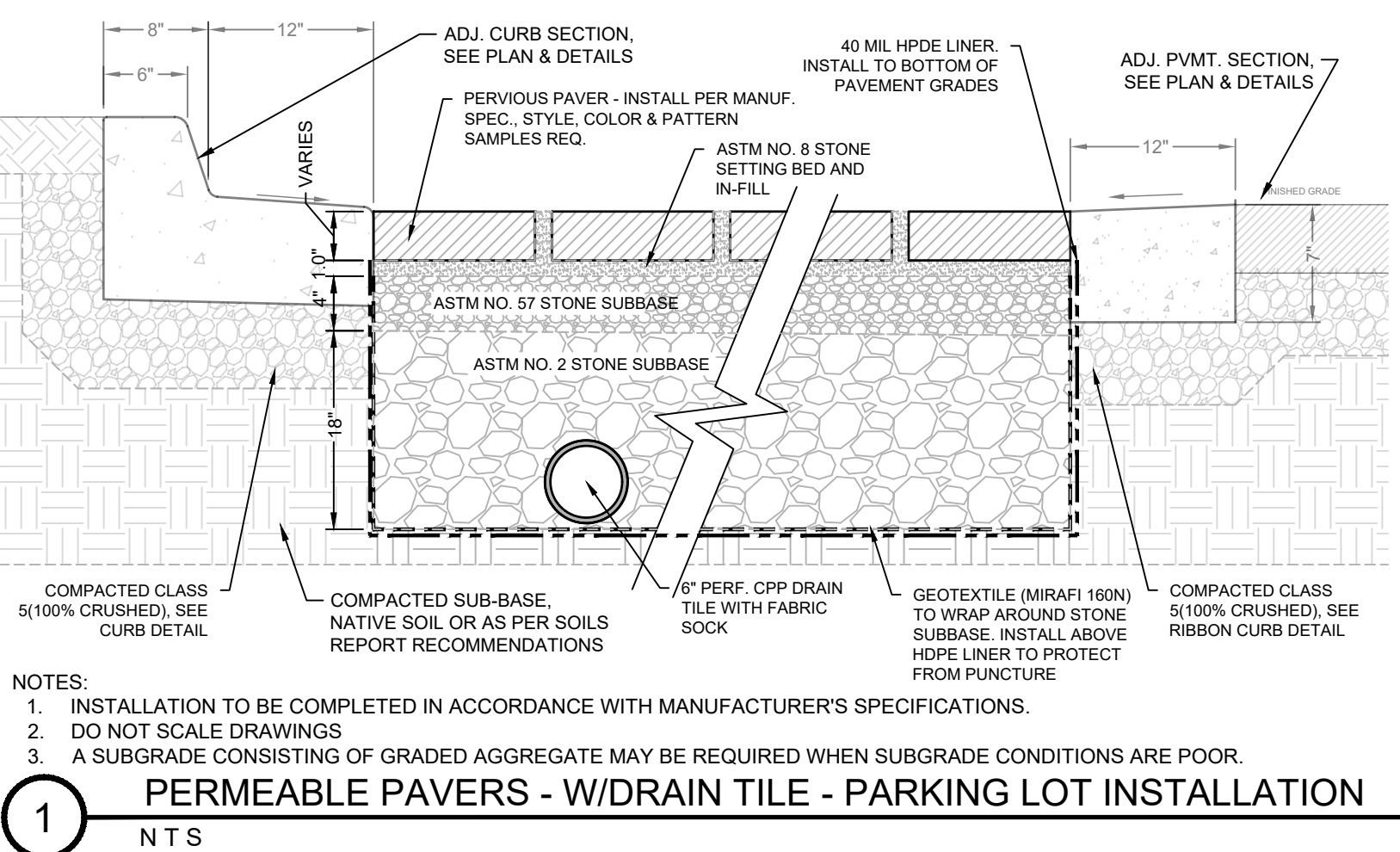
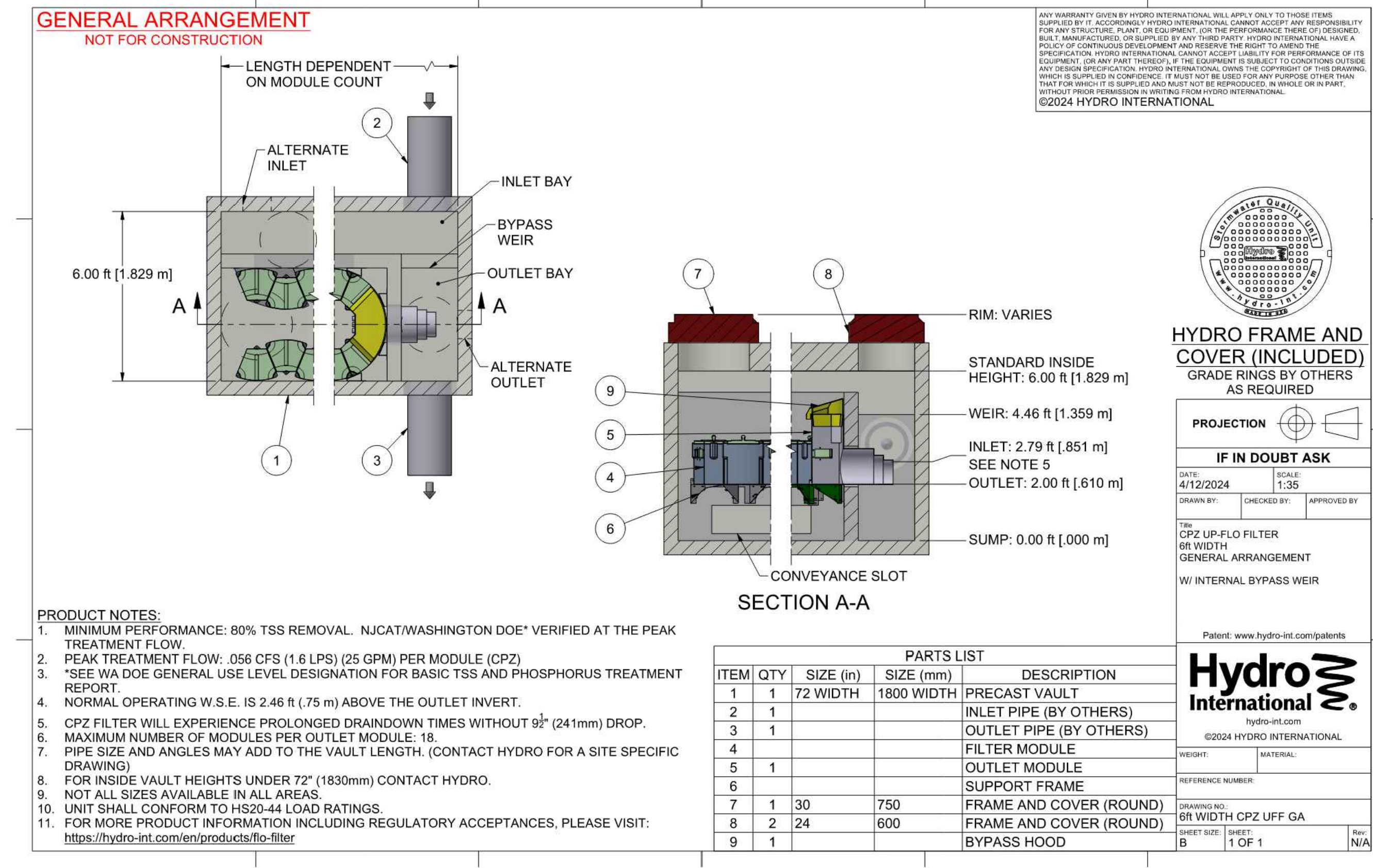
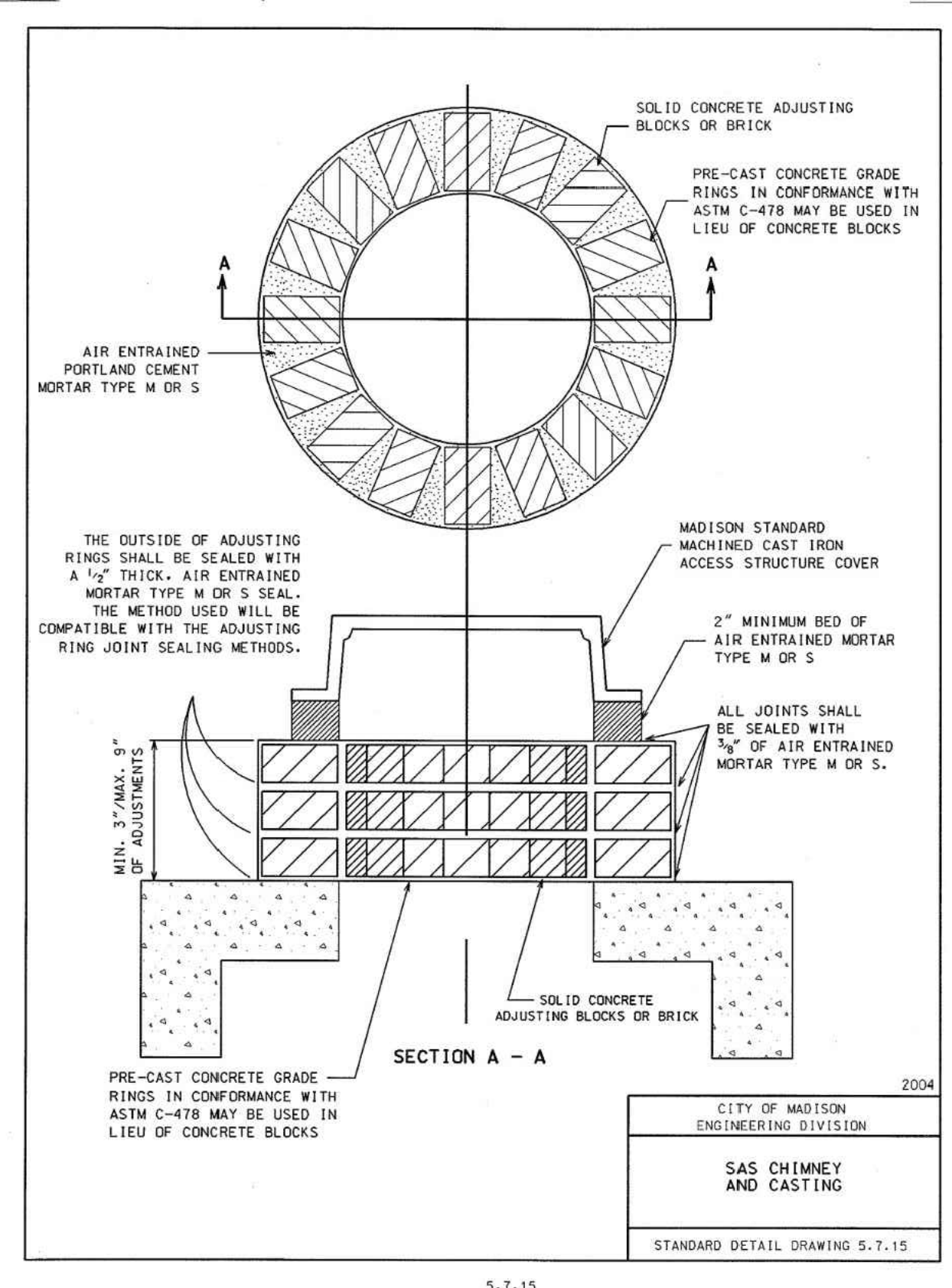
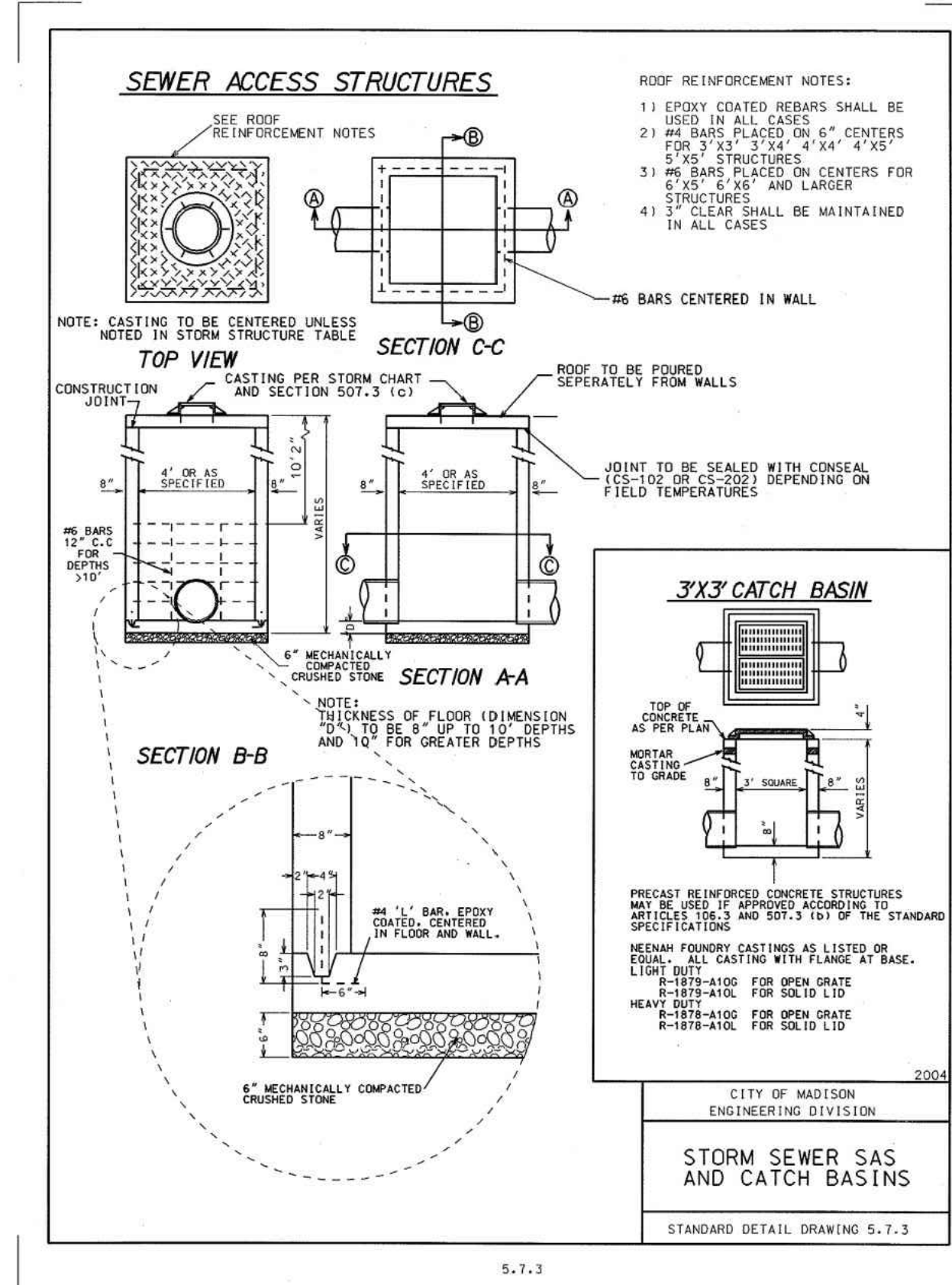
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03/30/26	CITY SUBMITTAL

REVISION SUMMARY

DATE	DESCRIPTION
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CIVIL DETAILS

C5.2
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CivilSite Group
Civil Engineering * Surveying * Landscape Architecture
5000 Glenwood Avenue
Golden Valley, MN 55422
civilsitegroup.com 612-615-0060

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HUXLEY APARTMENTS
1201 HUXLEY ST., MADISON, WI 53704

DEVCO US CONSTRUCTION, LLC
10800 NE 8TH ST., BELLEVUE, WA 98004

PROFESSIONAL ENGINEER
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DATE: 03/30/26 LICENSE NO. 44720-6

ISSUE/SUBMITTAL SUMMARY

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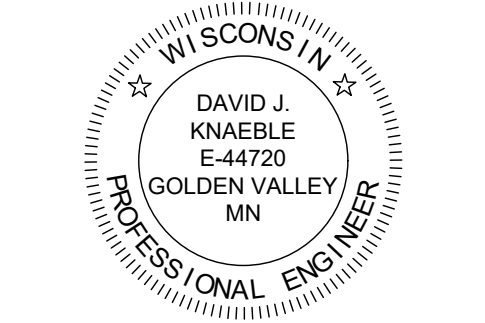
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HUXLEY APARTMENTS

1201 HUXLEY ST., MADISON, WI 53704

DEVCO US CONSTRUCTION, LLC

10900 NE 8TH ST., BELLEVUE, WA 98004



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David J. Knaeble
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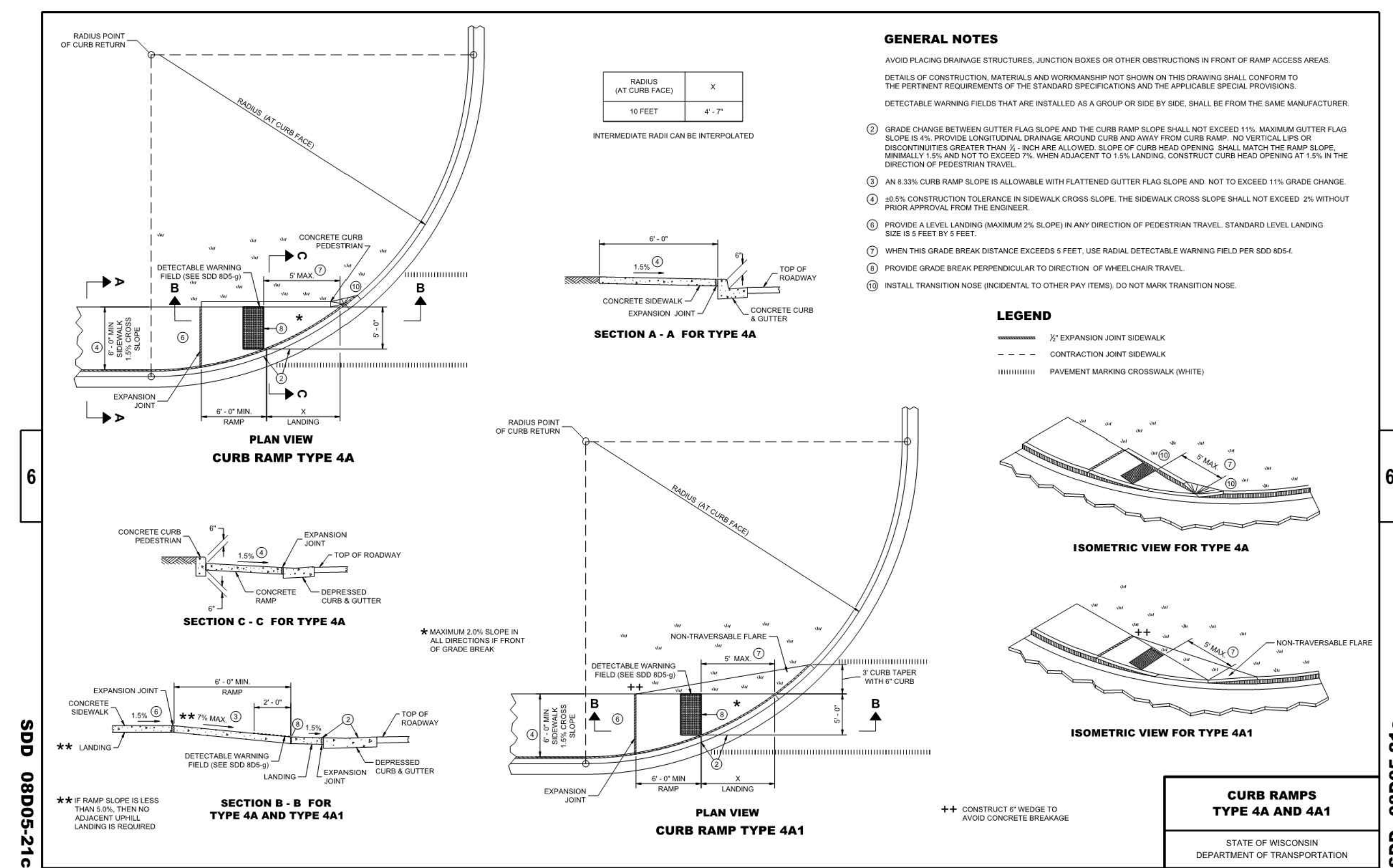
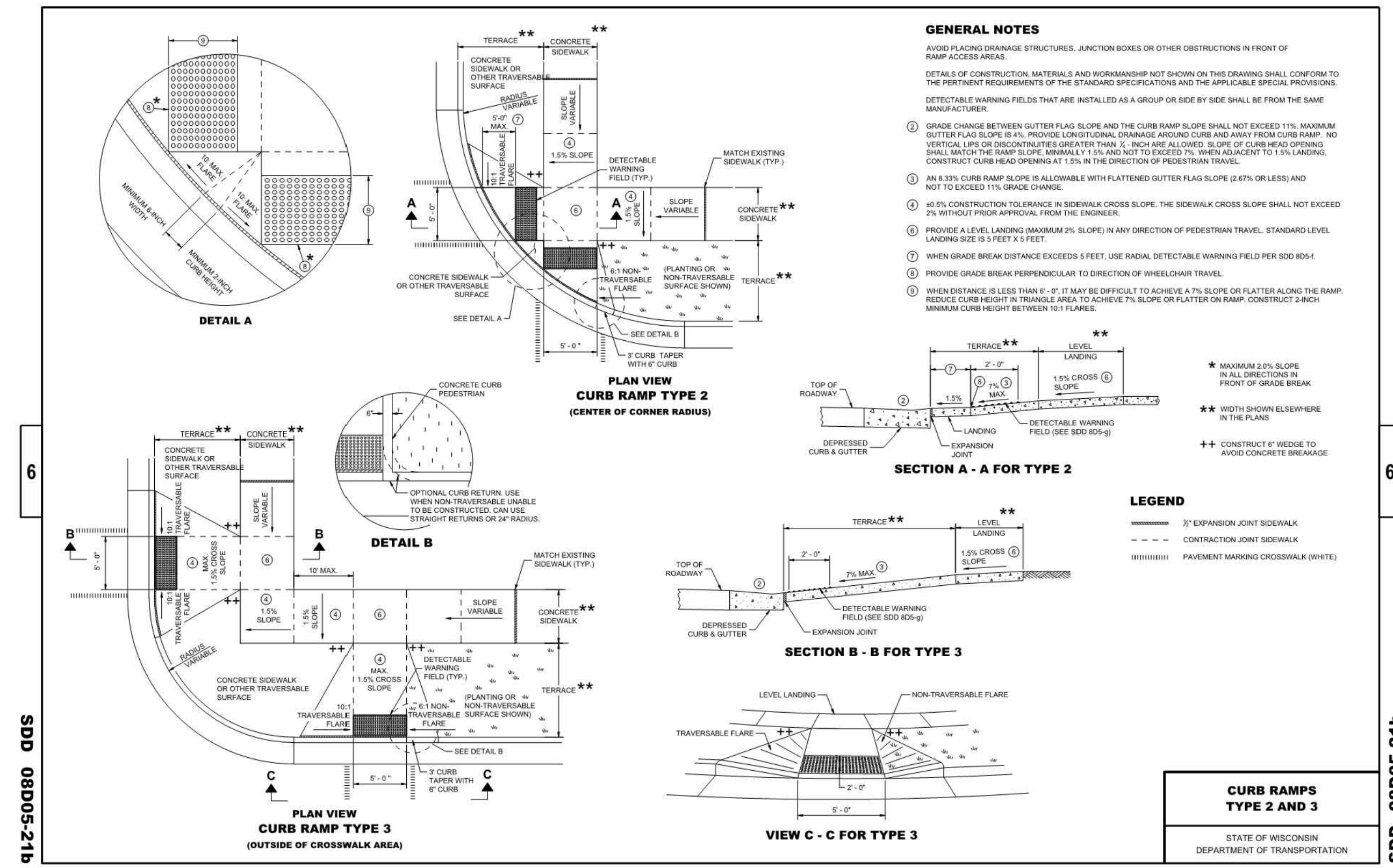
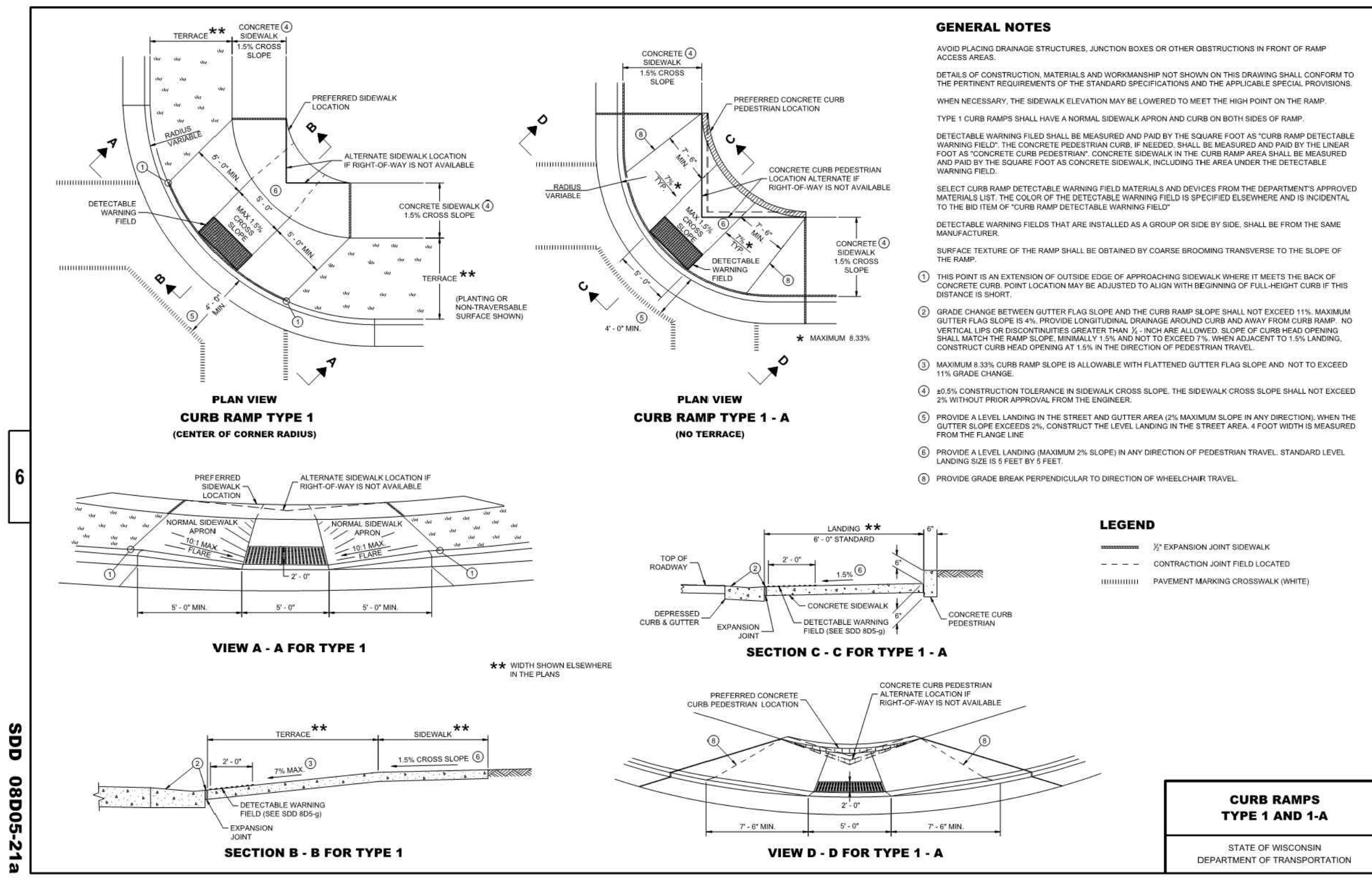
PROJECT MANAGER: DAVID KNAEBLE
CONTACT NUMBER: 612-615-0060 X703
DRAWN BY: DK, JR.
REVIEWED BY: DK
PROJECT NUMBER: 0541

REVISION SUMMARY

DATE	DESCRIPTION

CIVIL DETAILS

C5.4



SDD 08D05-21a

SDD 08D05-21a

SDD 08D05-21b

SDD 08D05-21b

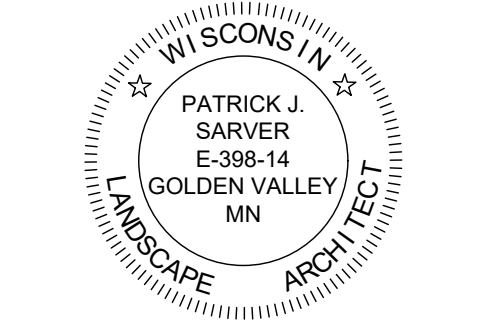
SDD 08D05-21c

SDD 08D05-21c

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PROJECT
HUXLEY APARTMENTS
 1201 HUXLEY ST, MADISON, WI 53704

OWNER
DEVCO US CONSTRUCTION, LLC
 10900 NE 8TH ST, BELLEVUE, WA 98004



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Patrick J. Sarver
 DATE 03/30/26 LICENSE NO. 398-14

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
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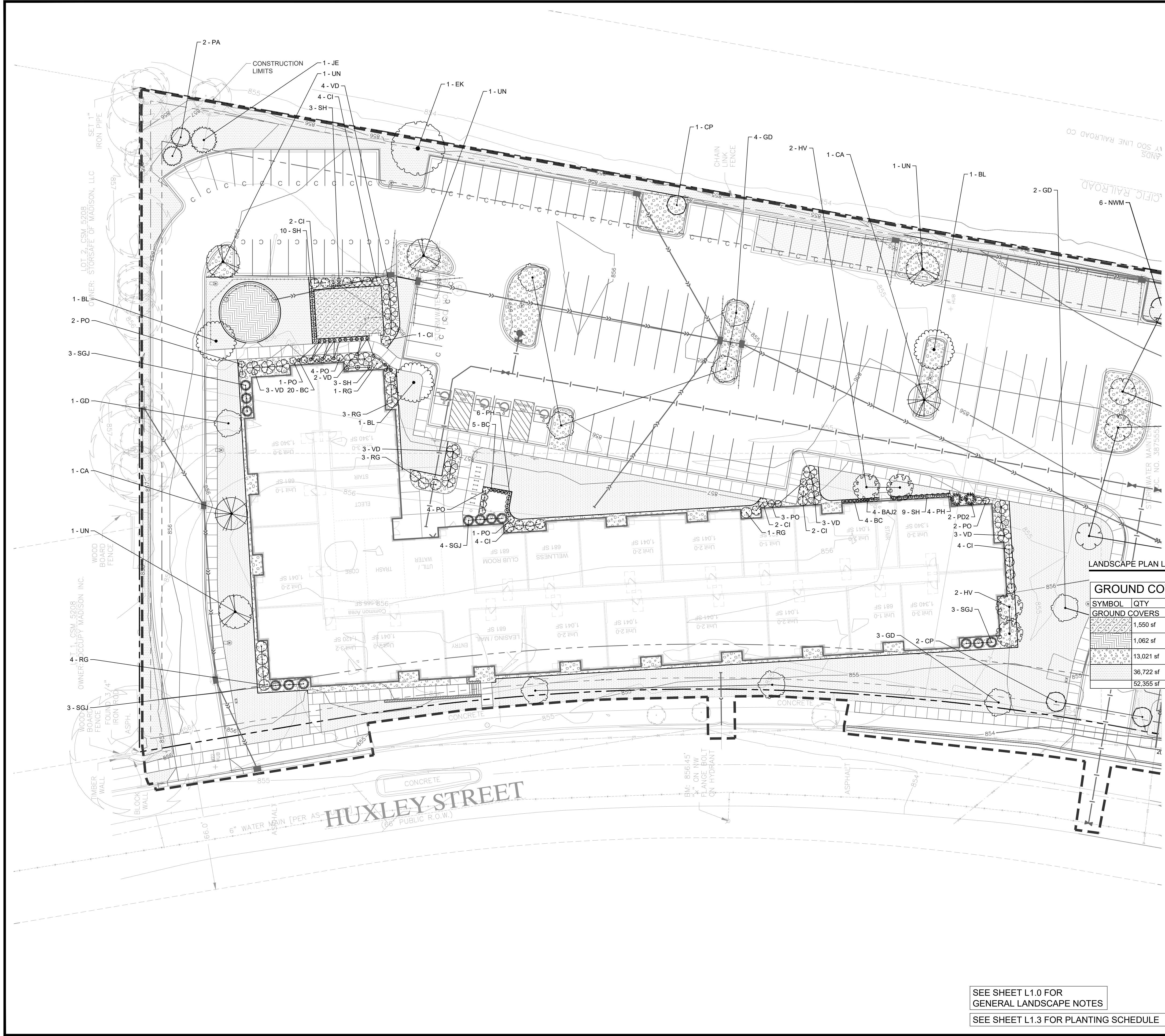
REVISION SUMMARY

DATE	DESCRIPTION

PROJECT MANAGER: DAVID KNEBLE
 CONTACT NUMBER: (762) 980 X 708
 DRAWN BY: DK, JK
 REVIEWED BY: DK
 PROJECT NUMBER: 0541

LANDSCAPE PLAN NORTH

L1.1
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LANDSCAPE PLAN LEGEND:

GROUND COVER SCHEDULE

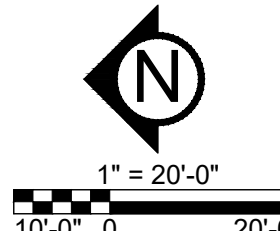
SYMBOL	QTY	COMMON / BOTANICAL NAME	SIZE
GROUND COVERS			
[Symbol]	1,550 sf	PLAYGROUND MULCH. SYLVA SOFTSTEP EQUIV. / DOG PARK MULCH	Mulch
[Symbol]	1,062 sf	PLAYGROUND MULCH. SYLVA SOFTSTEP EQUIV. / PLAYGROUND WOOD MULCH	Mulch
[Symbol]	13,021 sf	ROCK MAINTENANCE STRIP / ROCK MAINTENANCE STRIP	Mulch
[Symbol]	36,722 sf	BLUE GRASS SOD / SOD	Sod
[Symbol]	52,355 sf	SUBTOTAL:	

- PROPOSED CANOPY TREE SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES
- PROPOSED EVERGREEN TREE SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES
- PROPOSED ORNAMENTAL TREE SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES
- PROPOSED DECIDUOUS AND EVERGREEN SHRUB SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES
- PROPOSED PERENNIAL PLANT SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES
- EDGING - SHALL BE COMMERCIAL GRADE, 4" DEPTH ALUMINUM, BLACK OR DARK GREEN IN COLOR. INCLUDE ALL CONNECTORS, STAKES, & ALL APPURTENANCES PER MANUF. INSTALL PER MANUF. INSTRUC./SPECS.
- CONSTRUCTION LIMITS

SEE SHEET L1.0 FOR GENERAL LANDSCAPE NOTES

SEE SHEET L1.3 FOR PLANTING SCHEDULE

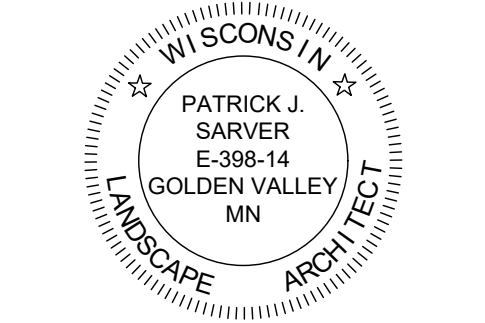
DIGGERSHOTLINE
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 www.DiggersHotline.com



PRELIMINARY:
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PROJECT
HUXLEY APARTMENTS
1201 HUXLEY ST, MADISON, WI 53704

OWNER
DEVCO US CONSTRUCTION, LLC
10800 NE 8TH ST, BELLEVUE, WA 98004



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Patrick J. Sarver
DATE 03/30/26 LICENSE NO. 398-14

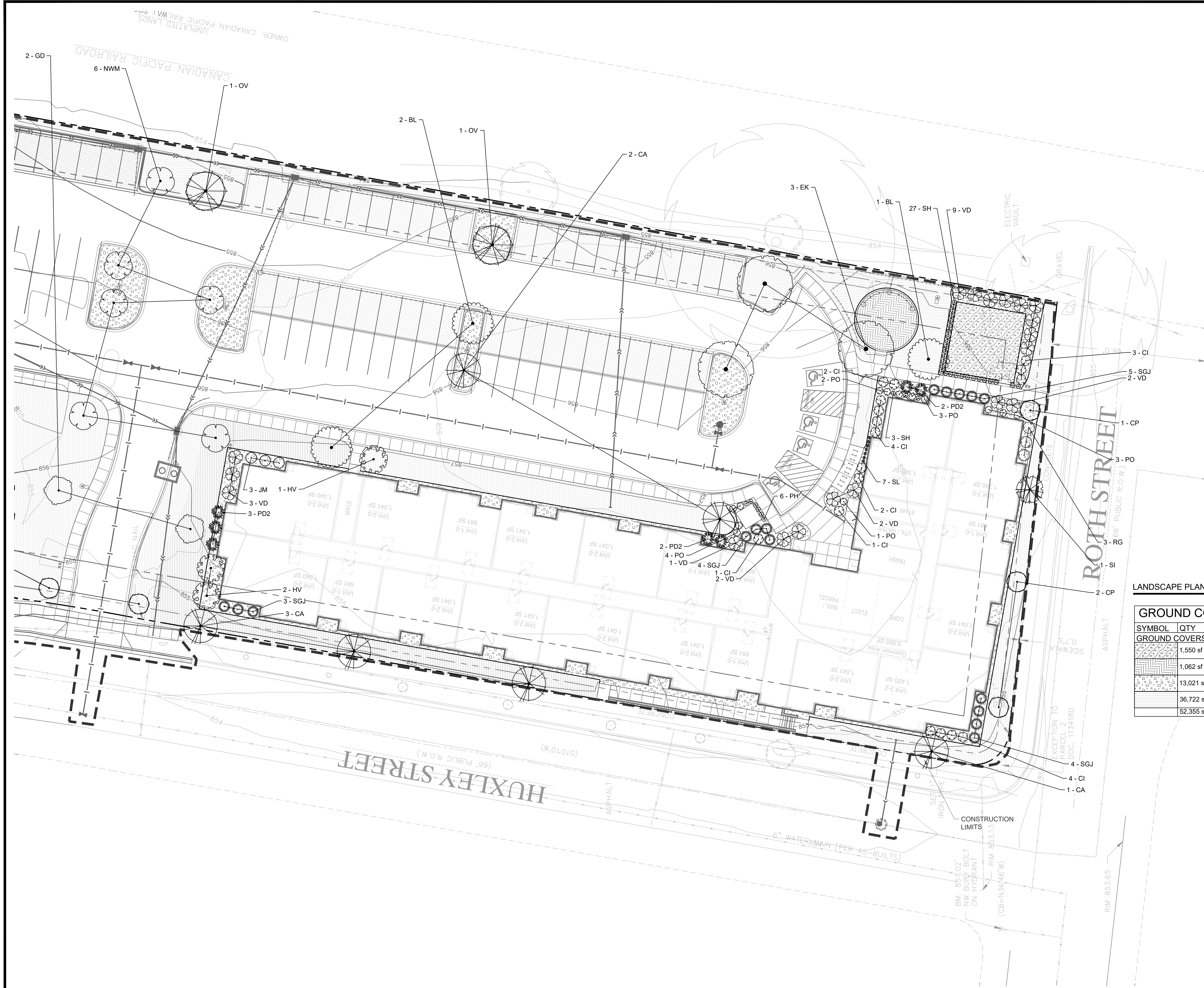
ISSUE/SUBMITTAL SUMMARY
DATE 03/30/26 DESCRIPTION CITY SUBMITTAL

PROJECT MANAGER	CONTACT NUMBER	DRAWN BY	REVIEWED BY	PROJECT NUMBER
DAVID KNEBLE	612-615-0060 X708	DK	DK	15431

REVISION SUMMARY

DATE	DESCRIPTION

LANDSCAPE PLAN SOUTH
L1.2
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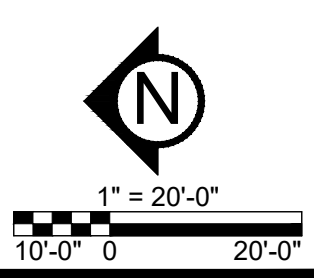
LANDSCAPE PLAN LEGEND:

SYMBOL	QTY	COMMON / BOTANICAL NAME	SIZE
GROUND COVERS			
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[Symbol]	13,021 sf	ROCK MAINTENANCE STRIP / ROCK MAINTENANCE STRIP	Mulch
[Symbol]	36,722 sf	BLUE GRASS SOD / SOD	Sod
[Symbol]	52,355 sf	SUBTOTAL:	

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- PROPOSED ORNAMENTAL TREE SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES
- PROPOSED DECIDUOUS AND EVERGREEN SHRUB SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES
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- CONSTRUCTION LIMITS

SEE SHEET L1.0 FOR GENERAL LANDSCAPE NOTES

SEE SHEET L1.3 FOR PLANTING SCHEDULE



TREE SCHEDULE

SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	CONT	NATIVE PLANTS	POLLINATOR FRIENDLY
2.5" OVERSTORY TREE						
	NWM	6	New World Red Maple / Acer rubrum 'New World'	2.5" Cal. B&B	NATIVE CULTIVAR	Y
	CP	6	Prairie Sentinel Hackberry / Celtis occidentalis 'JFS-KSU1' TM	2.5" Cal. B&B	NATIVE CULTIVAR	
	GD	10	Street Keeper Honey Locust / Gleditsia triacanthos 'Draves' TM	2.5" Cal. B&B	NATIVE CULTIVAR	N
	EK	4	Espresso Kentucky Coffeetree / Gymnocladus dioica 'Espresso'	2.5" Cal. B&B	NATIVE CULTIVAR	N
	BL	6	Boulevard Linden / Tilia americana 'Boulevard'	2.5" Cal. B&B	NATIVE CULTIVAR	Y
	UN	4	New Horizon American Elm / Ulmus americana 'New Horizon'	2.5" Cal. B&B	NATIVE CULTIVAR	Y
		36	SUBTOTAL:			
EVERGREEN TREES						
	JE	1	Eastern Red Cedar / Juniperus virginiana	6' HT.	NATIVE	
	PA	2	Norway Spruce / Picea abies 'Acrocona'	6' HT.	NOT NATIVE	
		3	SUBTOTAL:			
ORNAMENTAL TREES						
	CA	8	Pagoda Dogwood / Cornus alternifolia	1.5" Cal. B&B	NATIVE	Y
	OV	2	American Hophornbeam / Ostrya virginiana	1.75" Cal B&B	NATIVE	Y
	SI	1	Ivory Silk Japanese Tree Lilac / Syringa reticulata 'Ivory Silk'	1.5" Cal. B&B	NOT NATIVE	Y
		11	SUBTOTAL:			

PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	NATIVE PLANTS	POLLINATOR FRIENDLY
GRASSES						
	BC	29	Side Oats Grama / Bouteloua curtipendula	1 GAL.	NATIVE	Y
	PH	16	Heavy Metal Switch Grass / Panicum virgatum 'Heavy Metal'	1 GAL.	NATIVE CULTIVAR	Y
	SL	7	Little Bluestem Grass / Schizachyrium scoparium	1 GAL.	NATIVE	Y
	SH	55	Prairie Dropseed / Sporobolus heterolepis	1 GAL.	NATIVE	Y
		107	SUBTOTAL:			
SHRUB - DECIDUOUS						
	CI	36	Isanti Redosier Dogwood / Cornus sericea 'Isanti'	3 GAL.	NATIVE CULTIVAR	Y
	HV	7	Common Witch Hazel / Hamamelis virginiana	3 GAL.	NATIVE	Y
	PO	30	Yellow Ninebark / Physocarpus opulifolius 'Dart's Gold'	3 GAL.	NATIVE CULTIVAR	Y
	PD2	9	Diabolo Ninebark / Physocarpus opulifolius 'Diabolo'	3 GAL.	NATIVE CULTIVAR	Y
	RG	15	Gro-Low Fragrant Sumac / Rhus aromatica 'Gro-Low'	3 GAL.	NATIVE	Y
	VD	37	Arrowwood Viburnum / Viburnum dentatum 'Arrowwood'	3 GAL.	NATIVE	Y
		134	SUBTOTAL:			
SHRUB - EVERGREEN						
	JM	3	Mint Julep Juniper / Juniperus chinensis 'Mint Julep'	3 GAL.	NOT NATIVE	N
	SGJ	29	Sea Green Juniper / Juniperus chinensis 'Sea Green'	3 GAL.	NOT NATIVE	N
	BAJ2	4	Blue Arrow Juniper / Juniperus Scopulorum 'Blue Arrow'	3 GAL.	NOT NATIVE	N
		36	SUBTOTAL:			

LANDSCAPE CALS:

pre	
1 CANOPY TREE OR 2 ORNAMENTAL OR EVERGREEN TREES OR 6 SHRUBS PER 30 LINEAR FEET OF LOT FRONTAGE PERIMETER	
LOT PERIMETER TOTAL	= 1019 LF
REQUIRED CANOPY TREES	= 34 TREES
REQUIRED CANOPY SHRUBS	= 170 SHRUBS

PLOT			
AT LEAST 1 CANOPY TREE PER 160 SQ FT REQUIRED LANDSCAPED AREA - MAY SUBSTITUTE 2 ORNAMENTAL DECIDUOUS TREES FOR UP TO 25% OF CANOPY TREES			
LANDSCAPE AREA	5873/160	=	36 CANOPY TREES
SUBSTITUTE TREES	36*0.20	=	7 25% ORN TREES

DIVERSITY REQUIREMENT FOR NEW CANOPY TREES	
NUMBER OF NEW/OVERSTORY TREES	DIVERSITY REQUIREMENT
<5	NONE
5 - 50	NO SINGLE SPECIES CAN COMPRISE MORE THAN 33%
>50	NO SINGLE SPECIES CAN COMPRISE MORE THAN 20%
*NO MORE THAN 4 OF ANYONE SPECIES CANOPY TREE SHALL BE USED TO MEET A CANOPY TREE REQUIREMENT	

LANDSCAPE POINT REQUIREMENTS		
5 LANDSCAPE POINTS SHALL BE PROVIDED FOR EACH 300 SQUARE FEET OF DEVELOPED AREA		
TOTAL SQUARE FOOTAGE OF DEVELOPED AREA	115879	SQ FT
TOTAL LANDSCAPE POINTS REQUIRED:	1933	POINTS

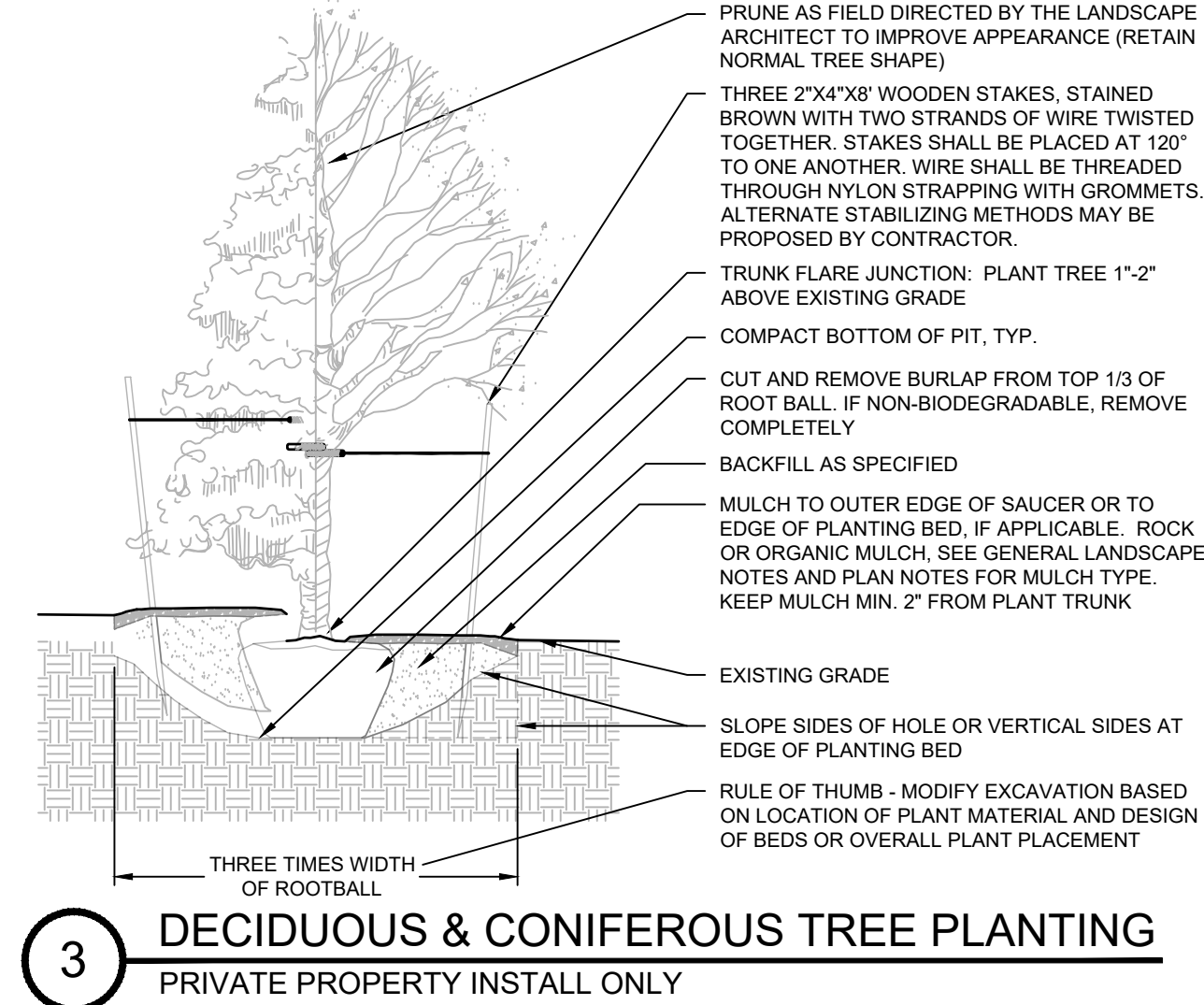
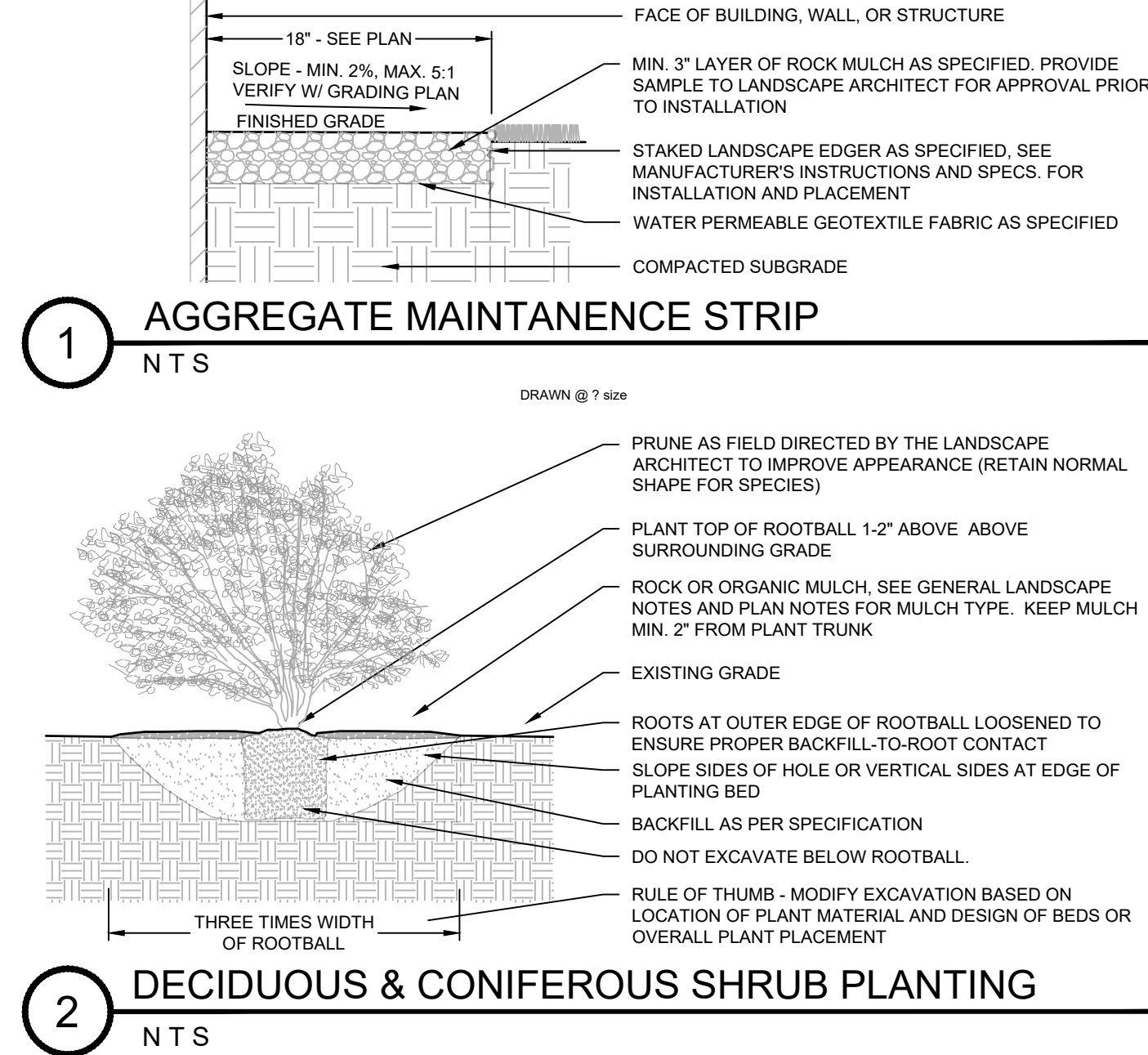
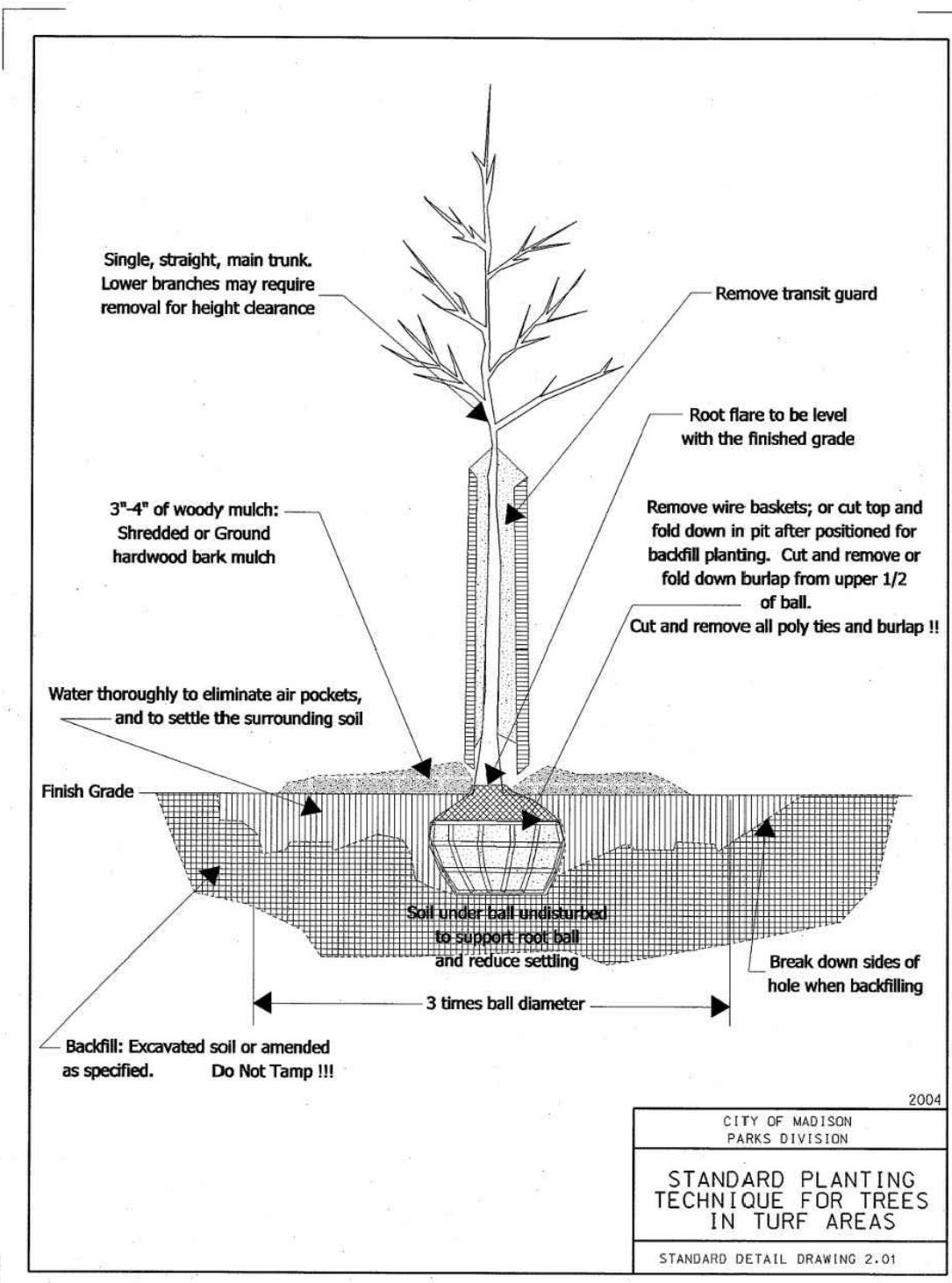
PARKING LOT LANDSCAPE REQUIREMENTS			
MIN. OF 8% OF THE ASPHALT / CONCRETE AREA OF SURFACE PARKING LOT SHALL BE DEVOTED TO INTERIOR PLANTING ISLANDS			
TOTAL AREA OF SURFACE PARKING LOT	72911	SF	PERCENTAGE
8% OF SURFACE PARKING LOT	5832	SF	8%
PROVIDED AREA OF LANDSCAPED ISLANDS	5895	SF	8%

OTHER IMPORTANT CONSIDERATIONS
PLANTING BEDS / AREAS MUST HAVE AT LEAST 75% VEGETATIVE COVER MULCHED.

TOTAL PLANT SUMMARY	
TOTAL REQUIRED	
TREES	36
SHRUBS	170
TOTAL PROPOSED	
TREES	50
SHRUBS	170
GRASSES	107
REQUIRED POINTS	1933
PROPOSED POINTS	2500

TABULATING LANDSCAPE POINTS						
PROJECT LOCATION / ADDRESS		1201 HUXLEY ST, MADISON, WI 53704				
NAME OF PROJECT:		HUXLEY APARTMENTS				
OWNER / CONTACT:		DEVCO US CONSTRUCTION, LLC - CORBAN LAWLOR				
CONTACT PHONE		(206)-915-3171		CONTACT EMAIL:		CORBAN.LAWLOR@DEVCOUS.COM
PLANT TYPE / ELEMENT	MIN. SIZE & SPECS AT INSTALLATION	POINTS	CREDITS / EXISTING		NEW / PROPOSED	
			QUANTITY	POINTS	QUANTITY	POINTS
TREE - OVERSTORY DECIDUOUS	2 1/2 INCH CALIPER MEASURED DIA AT DBH	35	6	210	36	1260
TREE - TALL EVERGREEN	5-8 FT TALL	35	0	0	3	105
TREE - ORNAMENTAL	1 1/2 INCH CALIPER DBH	15	0	0	11	165
SHRUB - UPRIGHT EVERGREEN	3 - 4 FT TALL	10	0	0	0	0
SHRUB - DECIDUOUS	#3 GALLON CONTAINER 12" - 24"	3	0	0	134	402
SHRUB - OTHER EVERGREEN	#3 GALLON CONTAINER 12" - 24"	4	0	0	36	144
ORNAMENTAL GRASSES / PERENNIALS	#1 GALLON CONTAINER 8" - 18"	2	0	0	107	214
DECORATIVE FENCE / WALL	N/A	4 PER 10 LINEAL FT	0	0	0	0
EXISTING SIGNIFICANT SPECIMEN TREE	MIN. 2 1/2 INCH CALIPER DBH, MUST BE WITHIN DEVELOPED AREA, CANNOT COUNT FOR MORE THAN 30% OF TOTAL REQ. POINTS	14 PER CALIPER INCH DBH MAX 200 PTS PER TREE	0	0	0	0
LANDSCAPE FURNITURE FOR PUBLIC SEATING & / OR TRANSIT CONNECTIONS	MUST BE WITHIN DEVELOPED AREA, PUBLICLY ACCESSIBLE, CANNOT COUNT FOR MORE THAN 5% OF TOTAL REQ. POINTS	5 PER "SEAT"	0	0	0	0
SUBTOTALS:		6		210	327	2290
TOTAL LANDSCAPE POINTS:		2500				

LANDSCAPE DETAILS:

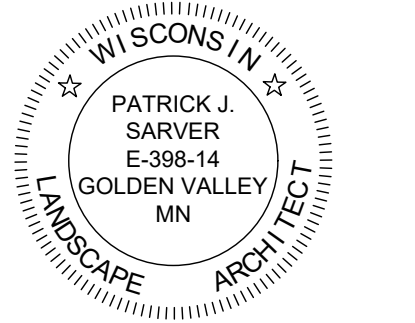


IRRIGATION NOTES:

- ENTIRE SITE SHALL BE FULLY IRRIGATED. THE CONTRACTOR SHALL SUBMIT IRRIGATION SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- SEE MECHANICAL AND ELECTRICAL PLANS AND SPECIFICATIONS FOR IRRIGATION WATER, METER, AND POWER CONNECTIONS.
- CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND/ABOVE GROUND FACILITIES PRIOR TO ANY EXCAVATION/INSTALLATION. ANY DAMAGE TO UNDERGROUND/ABOVE GROUND FACILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND COSTS ASSOCIATED WITH CORRECTING DAMAGES SHALL BE BORNE ENTIRELY BY THE CONTRACTOR.
- SERVICE EQUIPMENT AND INSTALLATION SHALL BE PER LOCAL UTILITY COMPANY STANDARDS AND SHALL BE PER NATIONAL AND LOCAL CODES. EXACT LOCATION OF SERVICE EQUIPMENT SHALL BE COORDINATED WITH THE LANDSCAPE ARCHITECT OR EQUIVALENT AT THE JOB SITE.
- CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY FOR THE PROPOSED ELECTRICAL SERVICE AND METERING FACILITIES.
- IRRIGATION WATER LINE CONNECTION SIZE IS 1-1/2" AT BUILDING. VERIFY WITH MECHANICAL PLANS. COVERAGE.
- ALL MAIN LINES SHALL BE 18" BELOW FINISHED GRADE.
- ALL LATERAL LINES SHALL BE 12" BELOW FINISHED GRADE.
- ALL EXPOSED PVC RISERS, IF ANY, SHALL BE GRAY IN COLOR.
- CONTRACTOR SHALL LAY ALL SLEEVES AND CONDUIT AT 2'-0" BELOW THE FINISHED GRADE OF THE TOP OF PAVEMENT. EXTEND SLEEVES TO 2'-0" BEYOND PAVEMENT.
- CONTRACTOR SHALL MARK THE LOCATION OF ALL SLEEVES AND CONDUIT WITH THE SLEEVEING MATERIAL "ELLED" TO 2'-0" ABOVE FINISHED GRADE AND CAPPED.
- FABRICATE ALL PIPE TO MANUFACTURER'S SPECIFICATIONS WITH CLEAN AND SQUARE CUT JOINTS. USE QUALITY GRADE PRIMER AND SOLVENT CEMENT FORMULATED FOR INTENDED TYPE OF CONNECTION.
- BACKFILL ALL TRENCHES WITH SOIL FREE OF SHARP OBJECTS AND DEBRIS.
- ALL VALVE BOXES AND COVERS SHALL BE BLACK IN COLOR.
- GROUP VALVE BOXES TOGETHER FOR EASE WHEN SERVICE IS REQUIRED. LOCATE IN PLANT BED AREAS WHENEVER POSSIBLE.
- IRRIGATION CONTROLLER LOCATION SHALL BE VERIFIED ON-SITE WITH OWNER'S REPRESENTATIVE.
- CONTROL WIRES: 14 GAUGE DIRECT BURIAL, SOLID COPPER IRRIGATION WIRE. RUN UNDER MAIN LINE. USE MOISTURE-PROOF SPLICES AND SPLICE ONLY AT VALVES OR PULL BOXES. RUN SEPARATE HOT AND COMMON WIRE TO EACH VALVE AND ONE (1) SPARE WIRE AND GROUND TO FURTHEST VALVE FROM CONTROLLER. LABEL OR COLOR CODE ALL WIRES.
- AVOID OVER SPRAY ON BUILDINGS, PAVEMENT, WALLS AND ROADWAYS BY INDIVIDUALLY ADJUSTING RADIUS OR ARC ON SPRINKLER HEADS AND FLOW CONTROL ON AUTOMATIC VALVE.
- ADJUST PRESSURE REGULATING VALVES FOR OPTIMUM PRESSURE ON SITE.
- USE SCREENS ON ALL HEADS.
- A SET OF AS-BUILT DRAWINGS SHALL BE MAINTAINED ON-SITE AT ALL TIMES IN AN UPDATED CONDITION.
- ALL PIPE 3" AND OVER SHALL HAVE THRUST BLOCKING AT EACH TURN.
- ALL AUTOMATIC REMOTE CONTROL VALVES WILL HAVE 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL UNDERNEATH VALVE AND VALVE BOX. GRAVEL SHALL EXTEND 3" BEYOND PERIMETER OF VALVE BOX.
- THERE SHALL BE 3" MINIMUM SPACE BETWEEN BOTTOM OF VALVE BOX COVER AND TOP OF VALVE STRUCTURE.

**PRELIMINARY:
NOT FOR
CONSTRUCTION**

HUXLEY APARTMENTS
1201 HUXLEY ST, MADISON, WI 53704
DEVCO US CONSTRUCTION, LLC
10800 NE 8TH ST, BELLEVUE, WA 98004



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF WISCONSIN.
Patrick J. Sarver
DATE 03/30/26 LICENSE NO. E-398-14

ISSUE/SUBMITTAL SUMMARY	
DATE	DESCRIPTION
03/30/26	CITY SUBMITTAL

REVISION SUMMARY	
DATE	DESCRIPTION

REVISION SUMMARY	
DATE	DESCRIPTION

**LANDSCAPE PLAN
NOTES & DETAILS**

SEE SHEET L1.0 FOR GENERAL LANDSCAPE NOTES & LEGEND

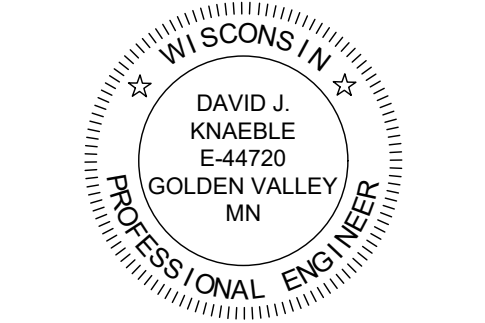
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L1.3

PRELIMINARY:
NOT FOR
CONSTRUCTION

PROJECT
HUXLEY APARTMENTS

OWNER
1201 HUXLEY ST, MADISON, WI 53704
DEVCO US CONSTRUCTION, LLC
10900 NE 8TH ST, BELLEVUE, WA 98004



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

David J. Knaeble
David J. Knaeble
DATE: 03/30/26 LICENSE NO.: 44720-6

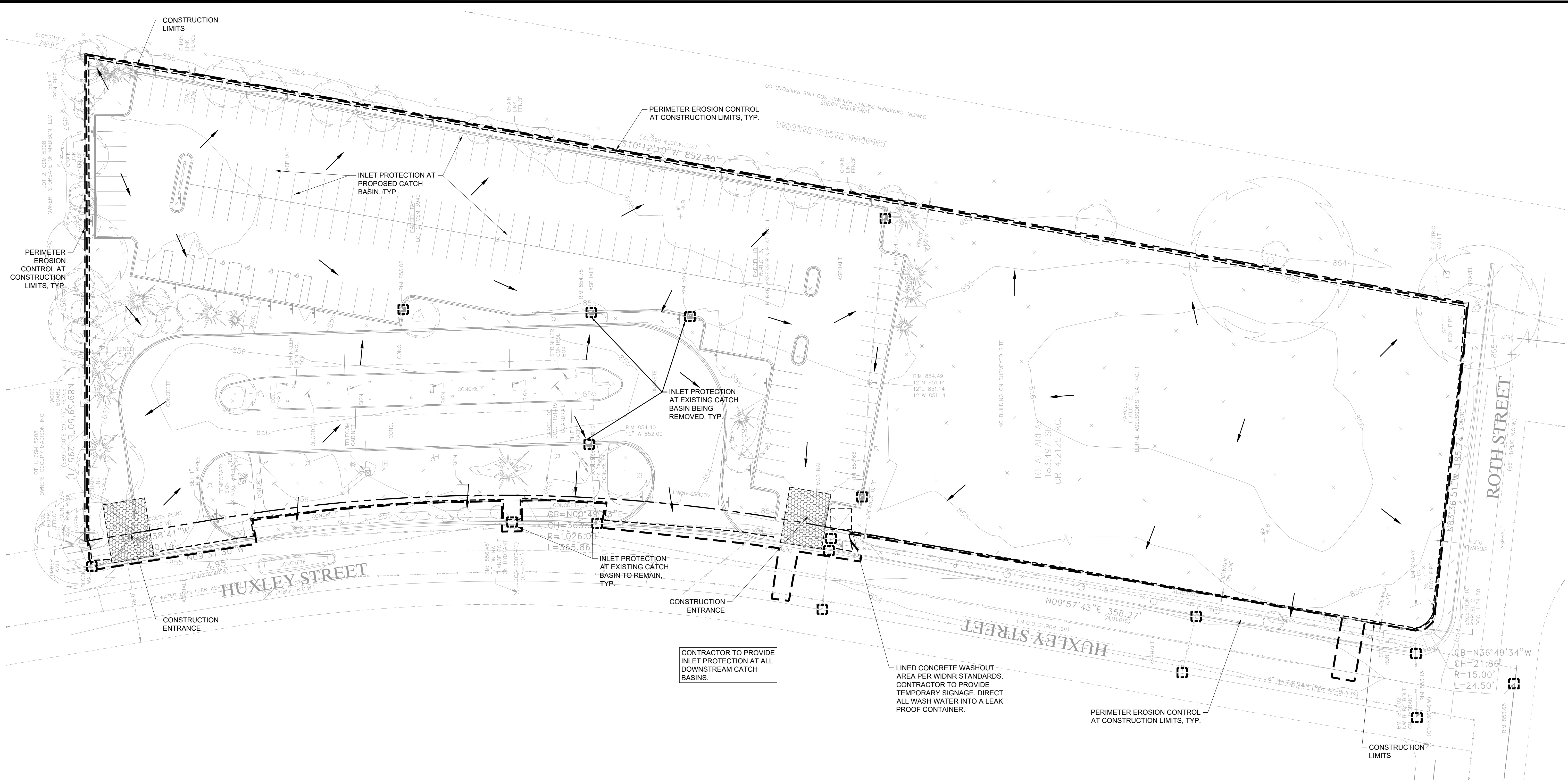
ISSUE/SUBMITTAL SUMMARY	
DATE	DESCRIPTION
03/30/26	CITY SUBMITTAL

REVISION SUMMARY	
DATE	DESCRIPTION

REVISION SUMMARY	
DATE	DESCRIPTION

SWPPP - EXISTING CONDITIONS

SW1.0
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SWPPP NOTES:

- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (851-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS. 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- THIS PROJECT IS GREATER THAN ONE ACRE AND WILL REQUIRE AN MPCA NPDES PERMIT. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY EROSION CONTROL PERMITS REQUIRED BY THE CITY.
- SEE SHEETS SW1.0 - SW1.5 FOR ALL EROSION CONTROL NOTES, DESCRIPTIONS, AND PRACTICES.
- SEE GRADING PLAN FOR ADDITIONAL GRADING AND EROSION CONTROL NOTES.
- CONTRACTOR IS RESPONSIBLE FOR SWPPP IMPLEMENTATION, INSPECTIONS, MAINTENANCE AND COMPLIANCE WITH THE PERMIT.

EROSION CONTROL NOTES:

- EROSION CONTROL DEVICES SHALL BE IN PLACE BEFORE BEGINNING ANY DEMOLITION, EXCAVATION, OR CONSTRUCTION ACTIVITIES AND CONTINUOUSLY MAINTAINED.
- INSTALL CONSTRUCTION VEHICULAR TRACKING PAD AT ENTRANCE/EXIT OF PROJECT SITE. SEE DETAIL SHEETS FOR INSTALLATION REQUIREMENTS.
- INSTALL SILT FENCE AS SHOWN ON H PLAN OR AS DIRECTED BY THE ENGINEER. SEE DETAIL SHEETS FOR SILT FENCE INSTALLATION. SILT FENCE SHALL BE MAINTAINED IN ACCORDANCE WITH SECTION 628 EROSION CONTROL OF THE WISCONSIN DOT STANDARD SPECIFICATIONS.
- ALL DITCH CHECKS ARE TO BE SEDIMENT LOGS. SEE DETAIL SHEETS FOR INSTALLATION.
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER FINAL GRADE IS ESTABLISHED IN ANY PARTICULAR AREA.
- ANY SOIL STOCKPILES WHICH ARE LEFT FOR MORE THAN 7 DAYS MUST BE PROTECTED BY SEEDING AND MULCHING. EROSION MAT, SILT FENCING, COVERING OR OTHER APPROVED METHODS. THIS DOES NOT INCLUDE FILL OR TOPSOIL PILES THAT ARE IN ACTIVE USE.
- SITE WATERING SHALL BE PROVIDED DURING CONSTRUCTION AS NEEDED TO MINIMIZE DUST AND POLLUTANTS FROM LEAVING THE SITE.
- AVOID SHARP ANGLES WITH THE INSTALLATION OF SILT FENCE AND GENERALLY INSTALL PERPENDICULAR TO WATER FLOW.
- THE DIMENSIONS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY. CONTRACTOR TO OBTAIN DIGITAL FILE FROM ENGINEER TO BE USED FOR ALL CONSTRUCTION STAKING AND SITE LAYOUT.
- ALL DISTURBED AREAS WITH FLATTER THAN 4:1 SLOPE THAT ARE NOT STABILIZED BY SOME OTHER METHOD SHALL BE STABILIZED WITH PROMATRIX ENGINEERED FIBER MATRIX AND SEEDED AS SPECIFIED.
- REMOVE SILT FENCE AFTER VEGETATION IS ESTABLISHED.
- REFER TO LANDSCAPE PLAN FOR FINAL REVEGETATION REQUIREMENTS.
- EROSION CONTROL MEASURES SHOWN SHOULD BE CONSIDERED TO BE THE MINIMUM. THE CONTRACTOR MAY NEED TO ADD ADDITIONAL EROSION CONTROL BMPs OR REPLACE EROSION CONTROL MEASURES DURING CONSTRUCTION TO PROTECT THE SITE AND MAINTAIN COMPLIANCE WITH THE SWPPP.
- CONSTRUCTION LIMITS SHOWN ARE APPROXIMATE. DO NOT ENTER UPON PRIVATE PROPERTY. LIMIT DISTURBANCE WITHIN PUBLIC RIGHTS OF WAY TO THE ABSOLUTE MINIMUM REQUIRED TO COMPLETE THE WORK AS SHOWN ON THESE PLANS.

CITY OF MADISON EROSION CONTROL NOTES:

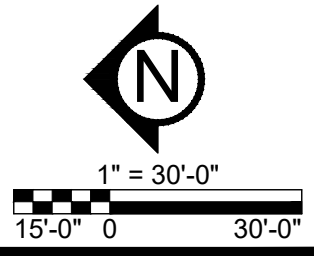
- RESERVED FOR CITY SPECIFIC EROSION CONTROL NOTES.

ALL SPECIFIED EROSION AND SEDIMENT CONTROL PRACTICES AND MEASURES CONTAINED IN THIS SWPPP ARE THE MINIMUM REQUIREMENTS. ADDITIONAL PRACTICES MAY BE REQUIRED DURING THE COURSE OF CONSTRUCTION.

SWPPP LEGEND:

- 1125 EX. 1' CONTOUR ELEVATION INTERVAL
- DRAINAGE ARROW
- SILT FENCE / BIOROLL - GRADING LIMIT
- INLET PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE

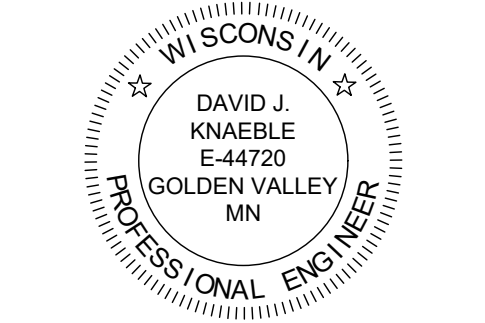
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PRELIMINARY:
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PROJECT
HUXLEY APARTMENTS
1201 HUXLEY ST., MADISON, WI 53704

OWNER
DEVCO US CONSTRUCTION, LLC
10800 NE 8TH ST., BELLEVUE, WA 98004



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David J. Knaeble
David J. Knaeble
DATE: 03/30/26 LICENSE NO.: 44720-6

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
03/30/26	CITY SUBMITTAL

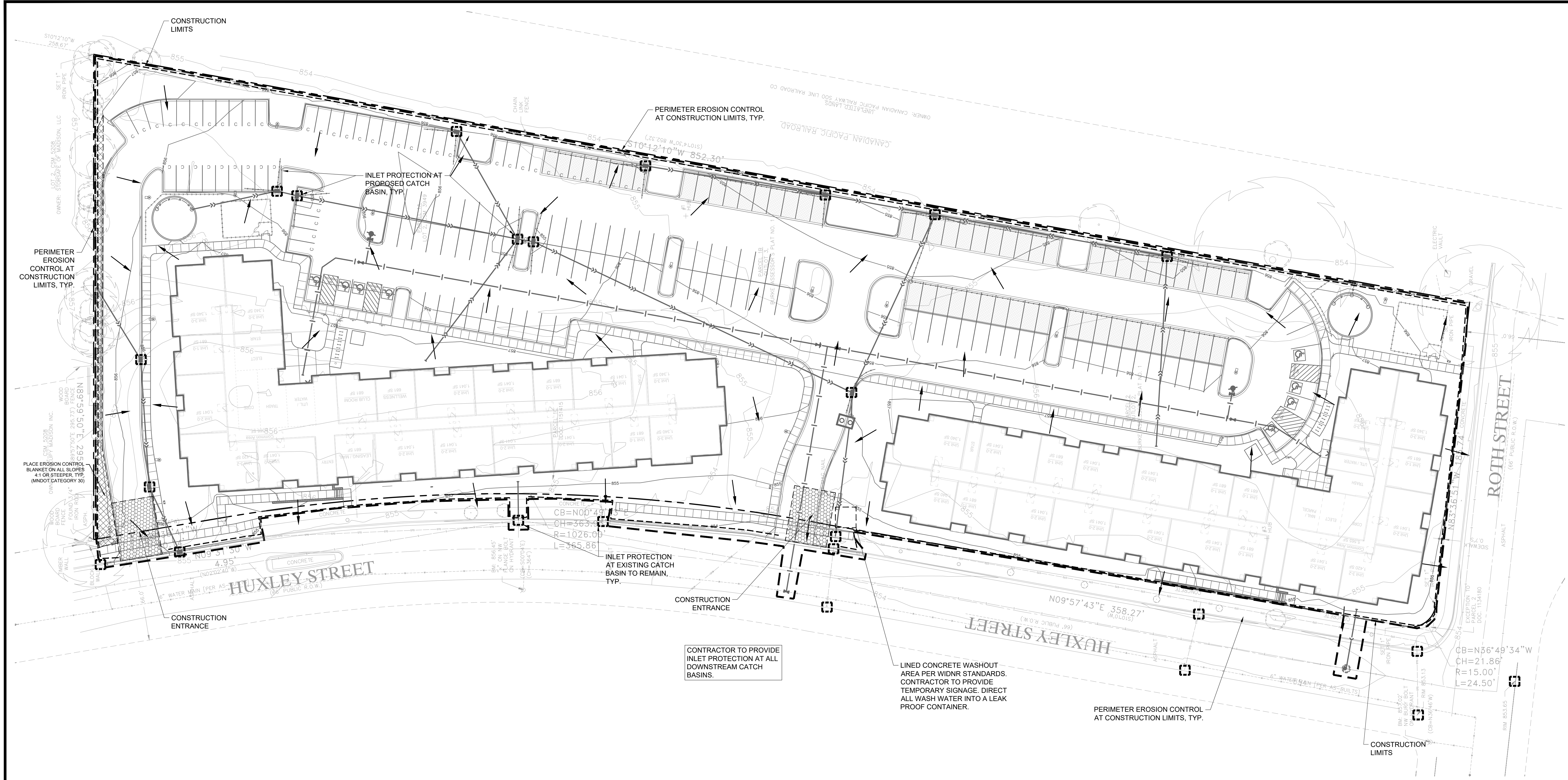
PROJECT MANAGER: DAVID KNAEBLE
CONTRACT NUMBER: W1261980 X 703
DRAWN BY: DK
REVIEWED BY: DK
PROJECT NUMBER: 0543

REVISION SUMMARY

DATE	DESCRIPTION
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SWPPP - PROPOSED CONDITIONS

SW1.1
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SWPPP NOTES:

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EROSION CONTROL NOTES:

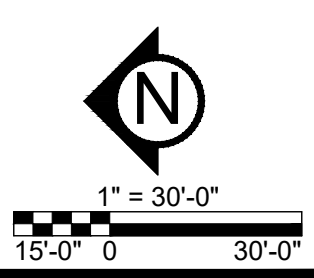
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CITY OF MADISON EROSION CONTROL NOTES:
1. RESERVED FOR CITY SPECIFIC EROSION CONTROL NOTES.

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SWPPP LEGEND:

- 1125 EX. 1' CONTOUR ELEVATION INTERVAL
- 1137 1.0' CONTOUR ELEVATION INTERVAL
- DRAINAGE ARROW
- SILT FENCE / BIOROLL - GRADING LIMIT
- INLET PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE
- EROSION CONTROL BLANKET



GENERAL SWPPP RESPONSIBILITIES:

THE CONTRACTOR SHALL PROVIDE A KNOWLEDGEABLE AND EXPERIENCED PERSON TO OVERSEE THE IMPLEMENTATION OF THE SWPPP AND THE INSTALLATION, INSPECTION, AND MAINTENANCE OF THE EROSION AND SEDIMENT CONTROL BMP'S BEFORE AND DURING CONSTRUCTION. TRAINING MUST BE IN CONFORMANCE WITH THE NPDES CONSTRUCTION PERMIT REQUIREMENTS. TRAINING DOCUMENTATION MUST REMAIN ON-SITE WITH THE SWPPP AND THE TRAINED PERSON MUST BE AVAILABLE ONSITE WITHIN 72 HOURS

BOTH THE OWNER AND CONTRACTOR (OPERATOR) SHALL BE RESPONSIBLE FOR THE PROPER TERMINATION AND/OR TRANSFER OF THE PERMIT.

THE OWNER WILL BE RESPONSIBLE FOR THE LONG-TERM OPERATION AND MAINTENANCE OF THE PERMANENT STORM WATER MANAGEMENT SYSTEM(S).

UNLESS SPECIFICALLY STATED, THE ENGINEER SHALL HAVE NO RESPONSIBILITY FOR ANY SWPPP ACTIVITIES DURING OR AFTER CONSTRUCTION.

PROJECT NARRATIVE:

PROJECT IS A REDEVELOPMENT OF TWO NEW APARTMENT BUILDINGS AND PARKING LOT. SITE, GRADING, UTILITY AND LANDSCAPE IMPROVEMENTS WILL OCCUR.

EROSION PREVENTION MEASURES - GENERAL

THE CONTRACTOR IS RESPONSIBLE FOR ALL EROSION PREVENTION MEASURES FOR THE PROJECT INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- 1. THE CONTRACTOR SHALL PLAN AND IMPLEMENT APPROPRIATE CONSTRUCTION PRACTICE AND CONSTRUCTION PHASING TO MINIMIZE EROSION AND RETAIN VEGETATION WHENEVER POSSIBLE
2. ALL AREAS NOT TO BE DISTURBED SHALL BE DELINEATED WITH FLAGS, STAKES, SIGNS, OR OTHER MEANS NECESSARY TO PROTECT THESE AREAS BEFORE CONSTRUCTION BEGINS ON THE SITE.
3. ALL DRAINAGE DITCHES AND/OR SWALES SHALL HAVE TEMPORARY OR PERMANENT STABILIZATION WITHIN 24 HOURS OF CONNECTING TO A SURFACE WATER OR 24 HOURS AFTER CONSTRUCTION ACTIVITY IN THE DITCH/SWALE HAS TEMPORARILY OR PERMANENTLY CEASED
4. ALL PIPE OUTLETS SHALL HAVE TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS OF CONNECTED TO A SURFACE WATER
5. ALL EXPOSED SOILS SHALL BE STABILIZED AS SOON AS POSSIBLE TO LIMIT SOIL EROSION. IN NO CASE SHALL UN-WORKED AREAS, INCLUDING STOCKPILES, HAVE EXPOSED SOILS FOR MORE THAN 14 DAYS WITHOUT PROVIDING TEMPORARY OR PERMANENT STABILIZATION. (7 DAYS FOR PROJECTS WITH RECEIVING WATER THAT IS IMPAIRED OR SPECIAL)
6. PROVIDE A MINIMUM OF 6 INCHES OF TOPSOIL IN ALL DISTURBED AREAS PROPOSED TO BE LANDSCAPED OR GREENSPACE, AND THOROUGHLY APPLY SLOW RELEASE FERTILIZER TO TOP 2 INCHES BEFORE LAYING SOD.

SEDIMENT CONTROL MEASURES AND TIMING - GENERAL

THE CONTRACTOR IS RESPONSIBLE FOR ALL SEDIMENT CONTROL MEASURES FOR THE PROJECT. SEDIMENT CONTROL MEASURE INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

- 1. SEDIMENT CONTROL MEASURES SHALL BE ESTABLISHED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UP-GRADIENT LAND DISTURBING ACTIVITIES BEGIN. THESE MEASURES SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION HAS BEEN ESTABLISHED.
2. ON SLOPES WITH 3:1 OR STEEPER GRADES THERE SHALL BE NO UNBROKEN SLOPE LENGTH GREATER THAN 75 FEET.
3. ALL STORM DRAIN INLETS AND CULVERT INLETS SHALL BE PROTECTED BY AN APPROPRIATE BMP DURING CONSTRUCTION UNTIL ALL SOURCES WITH POTENTIAL FOR DISCHARGING TO THE INLET HAS BEEN STABILIZED. INLET AND CULVERT PROTECTION SHALL CONFORM TO THE WISDOT SPECIFICATION 628
4. STOCKPILES SHALL BE PROVIDED WITH AN EFFECTIVE SEDIMENT PERIMETER CONTROL AND SHALL NOT BE PLACED IN ANY TYPE OF SURFACE WATER OR DRAINAGEWAY.
5. VEHICLE TRACKING SHALL BE MINIMIZED WITH EFFECTIVE BMP'S. WHERE THE BMP'S FAIL TO PREVENT SEDIMENT FROM TRACKING ONTO STREETS THE CONTRACTOR SHALL CONDUCT STREET SWEEPING TO REMOVE ALL TRACKED SEDIMENT.
6. THE OPERATOR IS RESPONSIBLE FOR IDENTIFYING THE NEED FOR TEMPORARY SEDIMENT BASINS BASED ON ACTUAL FIELD CONDITIONS TO PROTECT DOWNSTREAM RESOURCES. TEMPORARY SEDIMENT BASINS SHALL BE CONSTRUCTED BEFORE UP-GRADIENT VEGETATION IS DISTURBED AND MAINTAINED UNTIL THE RISK OF DAMAGE TO DOWNSTREAM RESOURCES IS MITIGATED BY OTHER MEANS.

DEWATERING AND BASIN DRAINING ACTIVITIES - GENERAL

THE OPERATOR IS RESPONSIBLE FOR ADHERING TO ALL DEWATERING AND SURFACE DRAINAGE REGULATIONS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- 1. WHENEVER POSSIBLE, WATER FROM DEWATERING ACTIVITIES SHALL DISCHARGE TO A TEMPORARY AND/OR PERMANENT SEDIMENT BASIN.
2. IF WATER CANNOT BE DISCHARGED TO A SEDIMENTATION BASIN, IT SHALL BE TREATED WITH OTHER APPROPRIATE BMP'S, TO EFFECTIVELY REMOVE SEDIMENT.
3. ALL DISCHARGE POINTS SHALL BE PROTECTED FROM EROSION AND SCOUR.
4. DISCHARGE WATER SHALL BE DISPERSED OVER AN EFFECTIVE ENERGY DISSIPATION MEASURE.
5. ALL WATER FROM DEWATERING SHALL BE DISCHARGED IN A MANNER THAT DOES NOT CAUSE NUISANCE CONDITIONS, EROSION, OR INUNDATION OF WETLANDS. WATER SHALL NOT BE DISCHARGED TO ADJACENT RESIDENTIAL PROPERTIES. IT MUST BE DISCHARGED TO THE PUBLIC STREET.

FINAL STABILIZATION - GENERAL

THE OPERATOR IS RESPONSIBLE FOR ENSURING FINAL STABILIZATION OF THE SITE, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- 1. ALL SOIL DISTURBING ACTIVITIES OUTSIDE OF THE RIGHT-OF-WAY HAVE BEEN COMPLETED.
2. ALL EXPOSED SOILS HAVE BEEN UNIFORMLY STABILIZED.
3. ALL DRAINAGE DITCHES, PONDS AND ALL STORM WATER CONVEYANCE SYSTEMS HAVE BEEN CLEARED OF SEDIMENT AND STABILIZED TO PRECLUDE EROSION.

TEMPORARY SEDIMENT BASIN

THE CONTRACTOR SHALL LIMIT THE AMOUNT OF THE SITE THAT IS SUSCEPTIBLE TO EROSION AT ANY GIVEN TIME BY PHASING THE WORK. PERMAENT FILTRATION FACILITIES CAN BE USED AS TEMPORARY STORAGE BASINS PRIOR TO INSTALLING SAND AND FILTRATION MEDIA. AFTER TEMPORARY STORAGE NEED IS OVER, THE PERMANENT FILTRATION FACILITIES SHOULD BE CONSTRUCTED ACCORDING TO PLANS.

CONSTRUCTION SEQUENCING

CONTRACTOR SHALL COMPLY WITH THE FOLLOWING SEQUENCE. THE CONTRACTOR MAY ADJUST THE SEQUENCE IF NEEDED TO ADDRESS THEIR MEANS AND METHODS AND UNANTICIPATED FIELD CONDITIONS.

- 1. INSTALL INLET PROTECTION IN DOWNSTREAM STRUCTURES.
2. INSTALL BARRIERS AND BARRICADES, AS REQUIRED TO PREVENT SEDIMENT FROM LEAVING THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL SEDIMENT CONTROL THAT IS NEEDED FOR THE PROPERTY.
3. INSTALL RUMBLE RACK AND/OR CONSTRUCTION ENTRANCE. MOVE AS NEEDED DURING CONSTRUCTION.
4. CLEAR AND DEMO SITE, INCLUDING DEMOLITION OF EXISTING PAVEMENT, CURB, BUILDING, AND ANYTHING ELSE SPECIFIED ON THE PLANS.
5. BEGIN SITE GRADING.
6. INSTALL SITE UTILITIES.
7. CONSTRUCT QUICK LANE BUILDING, CURB AND GUTTER, SIDEWALKS, AGGREGATE BASE, AND NEW PAVEMENT.
8. FLUSH STORM SEWER SYSTEM. REMOVE ANY SEDIMENT FLUMES.
9. INSTALL A MINIMUM OF 6 INCHES OF TOPSOIL IN ALL DISTURBED AREAS PROPOSED TO BE LANDSCAPED OR VEGETATED. COMPLETE SEEDING AND PERMANENT LANDSCAPING. DO NOT STORE ANY LANDSCAPE MATERIALS ON PAVEMENT SURFACE.
10. REMOVE SILT FENCES, INLET PROTECTION, TREE FENCING AND OTHER NON-BIODEGRADABLE SEDIMENT AND EROSION CONTROL BMP'S. REMOVE TRAFFIC BARRIERS AS SITE CONSTRUCTION CONCLUDES.
11. VACUUM PAVEMENT SURFACE WHEN ALL CONSTRUCTION EXCEPT STRIPING HAS OCCURRED. STRIPE PARKING LOT
12. MONITOR AND REINSTALL VEGETATION AND SEEDING AS NEEDED UNTIL FULLY ESTABLISHED.
13. FILE WPDES NOTICE OF TERMINATION ("NOT") WITH WDNR WITHIN 45 DYAS OF FINAL STABILIZATION.

INSPECTION AND MAINTENANCE

ALL INSPECTIONS, MAINTENANCE, REPAIRS, REPLACEMENTS, AND REMOVAL ARE TO BE CONSIDERED INCIDENTAL TO THE BMP BID ITEMS.

THE CONTRACTOR IS RESPONSIBLE FOR COMPLETING REQUIRED INSPECTIONS MAINTENANCE AND OBSERVATION OF WEATHER CONDITIONS AND RAINFALL AMOUNTS TO ENSURE COMPLIANCE WITH THE PERMIT REQUIREMENTS. THE CONTRACTOR SHALL OBSERVE THE CONSTRUCTION SITE ONCE EVERY SEVEN DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS.

THE CONTRACTOR SHALL KEEP A SUMMARY MAINTENANCE/CONSTRUCTION OBSERVATION REPORT TO BE RECORDED AFTER EACH SITE VISIT/OBSERVATION. THE CONTRACTOR SHALL SUBMIT A COPY OF THE WRITTEN INSPECTIONS MONTHLY TO THE OWNER. AN EXAMPLE INSPECTION FORM IS INCLUDED ON SHEET SW1.4 UNDER ATTACHMENT B. RECORDS SHALL INCLUDE THE FOLLOWING:

- 1. DATE AND TIME OF INSPECTIONS
2. NAME OF PERSON CONDUCTING INSPECTION
3. FINDINGS AND RECOMMENDATIONS FOR CORRECTIVE ACTIONS IF NECESSARY
4. CORRECTIVE ACTIONS TAKEN (INCLUDE DATE, TIMES, AND PARTY COMPLETING MAINTENANCE ACTIVITY)
5. DATE AND BUMBER OF RAINFALLS GREATER THAN 0.5 INCHES IN 24 HOURS
6. DESCRIPTION OF AND PHOTOGRAPHS OF DISCHARGE LEAVING THE SITE.
7. RECORD OF AMENDMENTS MADE TO THE SWPPP
8. A SITE MAP SHOWING CONSTRUCTION AREAS AND LAND DISTURBING ACTIVITIES, AS WELL AS LOCATIONS OF CORRECTIVE ACTIONS.

THE CONTRACTOR MUST KEEP THE SWPPP, ALL INSPECTION REPORTS AND AMENDMENTS ONSITE. THE CONTRACTOR SHALL DESIGNATE A SPECIFIC LOCATION TO KEEP THE RECORDS WHENEVER CONSTRUCTION ACTIVITY IS IN PROGRESS.

ALL EROSION PREVENTION AND SEDIMENTATION CONTROL BMP'S MUST BE INSPECTED TO ENSURE INTEGRITY AND EFFECTIVENESS. ALL NONFUNCTIONAL BMP'S MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WITH FUNCTIONAL BMP'S. THE CONTRACTOR MUST INVESTIGATE AND COMPLY WITH THE FOLLOWING INSPECTION AND MAINTENANCE REQUIREMENTS:

- 1. ALL SEDIMENTS BARRIERS INCLUDING SILT FENCE, BIO-LOGS, AND SIMILAR DEVICES MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WHEN THEY BECOME NONFUNCTIONAL, OR THE SEDIMENT REACHES 3/4 OF THE BARRIER HEIGHT. THESE REPAIRS SHALL BE MADE WITHIN 24 HOURS OF DISCOVERY.
2. TEMPORARY AND PERMANENT SEDIMENT BASINS MUST BE DRAINED, AND THE SEDIMENT REMOVED WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 3/4 THE STORAGE VOLUME. DRAINAGE AND REMOVAL MUST BE COMPLETED WITHIN 72 HOURS OF DISCOVERY.
3. SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS, MUST BE INSPECTED FOR EVIDENCE OF EROSION AND SEDIMENT DEPOSITION. THE CONTRACTOR SHALL REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS. THE OPERATOR SHALL RE-STABILIZE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN 7 DAYS OF DISCOVERY, UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL CONSTRAINTS. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL LOCAL, REGIONAL, STATE, AND FEDERAL AUTHORITIES AND RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK.
4. CONSTRUCTION SITE VEHICLE EXIT LOCATIONS SHALL BE INSPECTED DAILY FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING ONTO PAVED SURFACES. TRACKED SEDIMENT MUST BE REMOVED FROM ALL PAVED SURFACES WITHIN 24 HOURS OF DISCOVERY.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF TEMPORARY AND PERMANENT WATER QUALITY BMP'S, AS WELL AS EROSION AND SEDIMENT CONTROL BMP'S FOR THE DURATION OF THE CONSTRUCTION WORK AT THE SITE.
6. IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, ALL OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED IN A MANNER AND AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS.
7. ALL (INFILTRATION AREAS MUST BE INSPECTED TO ENSURE THAT NO SEDIMENT FROM ONGOING CONSTRUCTION ACTIVITIES IS REACHING THE (INFILTRATION AREAS AND THESE AREAS ARE PROTECTED FROM COMPACTION DUE TO CONSTRUCTION EQUIPMENT DRIVING ACROSS THE (INFILTRATION AREA.
8. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH RECONSTRUCTING BMP'S WHEN THE FUNCTIONALITY IS COMPROMISED BY THE CONTRACTOR'S ACTIONS OR INACTION TO PROTECT THE BMP.

POLLUTION PREVENTION MANAGEMENT MEASURES

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL POLLUTION PREVENTION MANAGEMENT MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR INFORMING ALL VISITORS AND/OR PERSONNEL ON-SITE OF THE POLLUTION PREVENTION MANAGEMENT MEASURES.

ALL POLLUTION PREVENTION MANAGEMENT MEASURES ARE TO BE CONSIDERED INCIDENTAL TO THE OVERALL PROJECT BID, UNLESS OTHERWISE NOTED. POLLUTION PREVENTION MANAGEMENT MEASURES INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL, IN COMPLIANCE WITH WDNR AND LOCAL DISPOSAL REQUIREMENTS, OF ALL SOLID OR LIQUID WASTE AND HAZARDOUS MATERIALS ON-SITE.
2. CONCRETE TRUCKS SHALL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON-SITE, UNLESS DONE IN AN ENGINEERED LEAK-PROOF CONTAINMENT SYSTEM. THE ENGINEERED SYSTEM PROVIDED BY THE CONTRACTOR MUST INCLUDE SITE DRAWINGS FOR THE PROJECT FILE AND WRITTEN ASSURANCE THAT THE SYSTEM WILL WORK AS DESIGNED AND LEAVE NO DISCHARGE OF CONCRETE OR CONCRETE RESIDUE POTENTIAL TO WATERS OF THE STATE DURING A MINIMUM OF A 100-YEAR STORM EVENT. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT SYSTEM TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES. THE CONCRETE WASHOUT CONTAINMENT SYSTEM AND ALL RELATED ITEMS SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT BID.
3. ALL NONHAZARDOUS WASTE MATERIALS SHALL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER OR OTHER APPROVED CONTAINMENT METHOD AT THE END OF EACH DAY. ANY ALTERNATIVE TO A METAL DUMPSTER MUST BE SUBMITTED IN WRITING FOR APPROVAL BY THE PROJECT ENGINEER. THE DUMPSTER SHALL BE EMPTIED AS NECESSARY TO FUNCTION AS INTENDED FOR DEBRIS COLLECTION. NO CONSTRUCTION GARBAGE OR WASTE MATERIAL SHALL BE BURIED ON-SITE.
4. A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR SHALL COLLECT ALL SANITARY WASTE FROM THE PORTABLE UNITS AT A RATE NECESSARY TO MAINTAIN DESIGNED FUNCTION.
5. ALL FERTILIZERS SHALL BE STORED IN A COVERED SHELTER. PARTIALLY USED BAGS SHALL BE TRANSFERRED TO A SEALABLE BIN TO REDUCE THE CHANCE OF SPILLAGE.
6. EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION VEHICLES AND ENGINE DEGREASING ARE PROHIBITED AT THE CONSTRUCTION SITE. ALL VEHICLES ON-SITE SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTION MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS, WHICH ARE CLEARLY LABELED. SPILL KITS SHALL BE INCLUDED WITH ALL FUELING SOURCES AND MAINTENANCE ACTIVITIES. SECONDARY CONTAINMENT MEASURES SHALL BE INSTALLED AND MAINTAINED BY THE OPERATOR. ANY ASPHALT SUBSTANCES USED ON-SITE SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
7. ALL PAINT CONTAINERS AND CURING COMPOUNDS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT AND/OR CURING COMPOUNDS SHALL NOT BE DISCHARGED IN THE STORM SEWER SYSTEM AND SHALL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTION.
8. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEAN-UP SHALL BE KEPT IN AN ENCLOSED TRAILER OR SHED ON-SITE. EQUIPMENT SHALL INCLUDE, BUT NOT BE LIMITED TO BROOMS, MOPS, DUST PANS, RAGS, GLOVES, GOGGLES, ABSORBENT (KITTY LITTER) OIL ABSORBENT BOOMS AND DIAPERS AND BUCKETS.
9. ALL SPILLS SHALL BE CONTAINED AND CLEANED UP IMMEDIATELY UPON DISCOVERY. SPILLS LARGE ENOUGH TO REACH THE STORM WATER CONVEYANCE SYSTEM SHALL BE REPORTED TO THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES.

POST CONSTRUCTION OPERATION AND MAINTENANCE

MAINTENANCE OF THE STORM WATER MANAGEMENT FACILITIES WILL BE THE RESPONSIBILITY OF THE OWNER AND WILL INCLUDE THE FOLLOWING.

- 1. CLEAN DEBRIS FROM STORM SEWER INLETS ON AN AS NEEDED BASIS.
2. REMOVE SEDIMENT FROM SUMP MANHOLES WHEN SEDIMENT DEPTH EXCEEDS 6".

AMENDMENTS TO THE SWPPP

THE SWPPP WILL BE AMENDED AS NEEDED AND/OR AS REQUIRED BY PROVISIONS OF THE PERMIT. AMENDMENTS WILL BE APPROVED BY BOTH THE OWNER AND CONTRACTOR AND WILL BE ATTACHED TO THE SWPPP AS AN ADDITIONAL SHEET. THE SWPPP AND AMENDMENTS WILL BE KEPT ON-SITE BY THE CONTRACTOR WHENEVER CONSTRUCTION ACTIVITY IS IN PROGRESS.

TRAINING

DESIGN ENGINEER: DAVID J. KNAEBLE P.E.
TRAINING COURSE: DESIGN OF SWPPP
TRAINING ENTITY: UNIVERSITY OF MINNESOTA
INSTRUCTOR: JOHN CHAPMAN
DATES OF TRAINING COURSE: 8/22/2012- 8/23/2012
TOTAL TRAINING HOURS: 12
DATE OF RECERTIFICATION: 1/3/2025
EXPIRATION: 5/31/2028

OWNER INFORMATION

DEVCO US CONSTRUCTION, LLC
10900 NE 8TH STREET, #1200
BELLEVUE, WA 98004
CORBAN LAWLOR
206-915-3171
CORBAN.LAWLOR@DEVCOUS.COM

AREAS AND QUANTITIES:

Table with columns: SITE AREA CALCULATIONS, IMPERVIOUS SURFACES, PERVIOUS SURFACES, DIFFERENCE (EX. VS PROP.), DISTURBED AREA. Rows include: BUILDING COVERAGE, PAVEMENT, TOTAL, TOTAL SITE AREA.

Table with columns: EROSION CONTROL QUANTITIES, DISTURBED AREA, SILT FENCE/BIO-ROLL, EROSION CONTROL BLANKET, INLET PROTECTION DEVICES.

NOTE: QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL DETERMINE FOR THEMSELVES THE EXACT QUANTITIES FOR BIDDING AND CONSTRUCTION.

SWPPP CONTACT PERSON

SWPPP INSPECTOR TRAINING:
ALL SWPPP INSPECTIONS MUST BE PERFORMED BY A PERSON THAT MEETS THE TRAINING REQUIREMENTS OF THE WPDES CONSTRUCTION SITE PERMIT. TRAINING CREDENTIALS SHALL BE PROVIDED BY THE CONTRACTOR AND KEPT ON SITE WITH THE SWPPP

EROSION CONTROL NOTES:

- 1. POST WDNR CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED, THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDNR.
2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
3. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDNR AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
4. [CONTRACTOR] IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
5. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
6. WHEN POSSIBLE: PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
7. REFER TO THE WDNR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT HTTP://DNR.WI.GOV/STORMWATER/STANDARDS/CONST_STANDARDS.HTML
8. INSTALL PERIMETER EROSION CONTROLS AND ROCK TRACKING PAD CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCE(S).
9. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060.
10. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
11. PERMITTING OF GROUNDWATER DEWATERING IS THE RESPONSIBILITY OF [CONTRACTOR]. GROUNDWATER DEWATERING IS SUBJECT TO A DNR WASTEWATER DISCHARGE PERMIT AND A DNR HIGH CAPACITY WELL APPROVAL IF CUMULATIVE PUMP CAPACITY IS 70 GPM OR MORE. (REV. FEBRUARY 2017)
12. PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDNR TECHNICAL STANDARD DE-WATERING #1061. (REV. FEBRUARY 2017)
13. COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS OR WET PONDS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE (REFER TO NR 528). CONSTRUCT AND MAINTAIN THE SEDIMENT BASIN PER WDNR TECHNICAL STANDARD SEDIMENT BASIN #1064 AND SEDIMENT TRAP # 1063.
14. CONSTRUCT AND PROTECT THE BIOINFILTRATION BASIN AND VEGETATION FROM RUNOFF AND SEDIMENT DURING CONSTRUCTION. REFERENCE THE WDNR TECHNICAL STANDARD BIORETENTION FOR INFILTRATION # 1004.
15. INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD SILT FENCE #1056; REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
16. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS), LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDNR TECHNICAL STANDARD DITCH CHECKS #1062.
17. INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WDNR TECHNICAL STANDARD INTERIM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS # 1071.
18. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
19. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
20. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
21. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE CITY OF HUDSON. SEPARATE SWEEPED MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
22. [CONTRACTOR] IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES # 1068.
23. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
24. COORDINATE WITH THE CITY OF HUDSON TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERMS).
25. FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS CLASS I TYPE B EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S WIDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052
26. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS CLASS II TYPE C EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S WIDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD CHANNEL EROSION MAT #1053.
27. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
28. [CONTRACTOR] IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE WDNR REMEDIATION AND WASTE MANAGEMENT REQUIREMENTS FOR HANDLING AND DISPOSING OF CONTAMINATED MATERIALS. SITE SPECIFIC INFORMATION FOR AREAS WITH KNOWN OR SUSPECTED SOIL AND/OR GROUNDWATER CONTAMINATION CAN BE FOUND ON WDNR'S BUREAU OF REMEDIATION AND REDEVELOPMENT TRACKING SYSTEM (BRRTS) PUBLIC DATABASE AT : HTTP://DNR.WI.GOV/BOTW/ REFER TO THE SPILL PLAN DOCUMENT IF THERE IS A DISCHARGE OF SEDIMENT AND/OR OTHER CONTAMINANTS. A SPILL PLAN IS REQUIRED IF THERE IS POTENTIAL TO DISCHARGE CONTAMINANTS TO WATERS OF THE STATE.
29. REFER TO THE FRAC OUT PLAN DOCUMENT IF AN INADVERTENT DISCHARGE OF DRILLING FLUIDS (FRAC OUT) OCCURS. A SPILL PLAN IS REQUIRED IF THERE IS POTENTIAL TO DISCHARGE CONTAMINANTS TO WATERS OF THE STATE.
31. INSTALL AND MAINTAIN A CONCRETE WASHOUT BASIN PER EPA 833-F-11-006: HTTPS://WWW3.EPA.GOV/NPDES/PUBS/CONCRETEWASHOUT.PDF. REQUIRE USE BY ALL CONCRETE CONTRACTORS. LIQUID MAY BE REUSED IN CONCRETE MIXING, EVAPORATED, OR DISPOSED OF AS WASTEWATER.



HUXLEY APARTMENTS

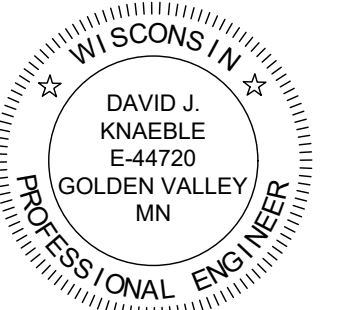
1201 HUXLEY ST., MADISON, WI 53704

DEVCO US CONSTRUCTION, LLC

10900 NE 8TH ST., BELLEVUE, WA 98004

PROJECT

OWNER



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

David J. Knaeble
DATE 03/30/26 LICENSE NO. 44720-6

Table with columns: DATE, DESCRIPTION, CITY SUBMITTAL. Row 1: 03/30/26, CITY SUBMITTAL.

Table with columns: PROJECT MANAGER, CONTACT NUMBER, DRAWN BY, REVIEWED BY, PROJECT NUMBER. Values: DAVID KNAEBLE, 612-615-0060 x 703, DK, JK, 0641.

Table with columns: DATE, DESCRIPTION. Row 1: DATE, DESCRIPTION.

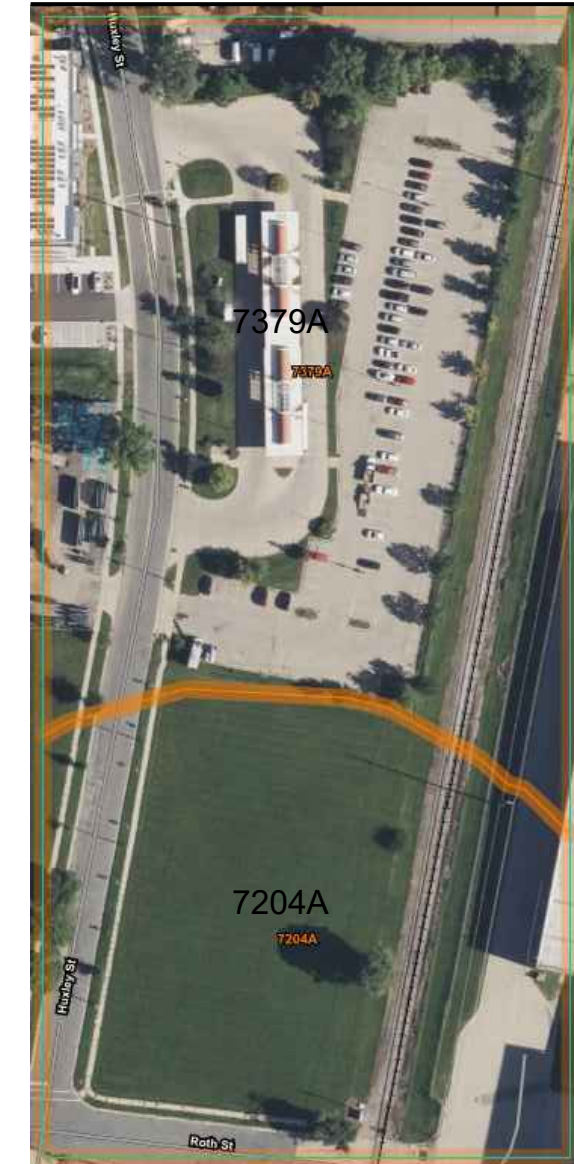
SWPPP - NARRATIVE

SW1.3

ATTACHMENT A: SITE SPECIFIC SWPPP DOCUMENT

PROJECT LOCATION			
PROJECT NAME		HUXLEY APARTMENTS	
ADDRESS	1201 HUXLEY STREET	CITY/TOWNSHIP	MADISON
STATE	WI	COUNTY	DANE
ZIP CODE	53704	PROJECT SIZE	4.4 ACRES
LATITUDE/LONGITUDE OF APPROX. CENTROID OF PROJECT		43.112756, -89.358509	
METHOD OF LAT/LONG COLLECTION		ONLINE TOOL	
PROJECT TYPE		RESIDENTIAL	
IMPERVIOUS SURFACES (ACRES)			
EXISTING	2.0		
PROPOSED	3.2		
DIFFERENCE	1.2		
ESTIMATED CONSTRUCTION TIMELINE			
START	5-27	END	11-28
CONSTRUCTION ACTIVITY		DEVELOPMENT OF A SERIES OF MULTI-UNIT APARTMENT BUILDINGS	
SOIL TYPES		LARGELY FILL SOILS OVER CLAY AND SILT LAYERS	

SOILS INFORMATION



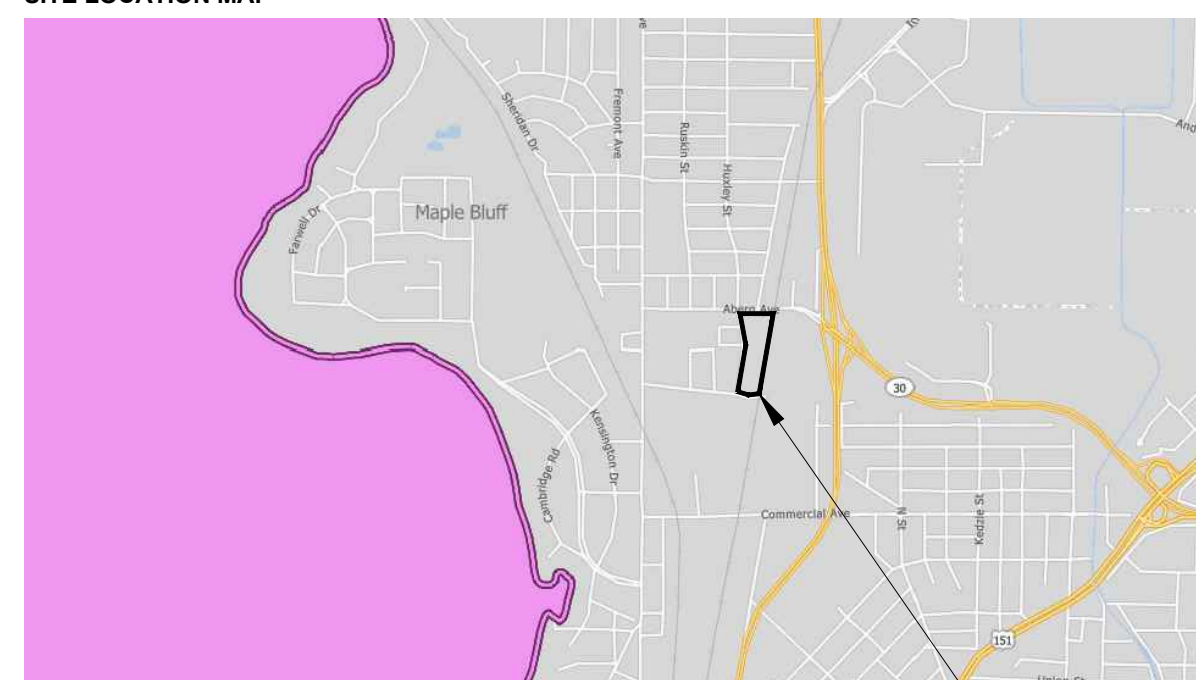
MAP UNIT SYMBOL	MAP UNIT NAME
7204A	VIRGIL SILT LOAM, GRAVELLY SUBSTRATUM, 0 TO 3 PERCENT SLOPES
7379A	COLWOOD SILT LOAM, 0 TO 2 PERCENT SLOPES

THE SOILS ON SITE ARE A MIX OF FOUR BASIC STRATIGRAPHIC UNITS: TOPSOIL, FILL, ORGANIC SOILS AND MEDIUM DENSE SAND SOILS.

RECEIVING WATER BODIES

RECEIVING WATER BODIES					
	WATER BODY WBIC	NAME OF WATER BODY	WATER BODY TYPE	OUTSTANDING OR EXCEPTIONAL (Y/N)	IMPAIRED WATER (Y/N)
1	805400	MENDOTA	LAKE	N	Y
2					
3					
4					

SITE LOCATION MAP



SITE LOCATION

STORMWATER RELATED REVIEWS AND PERMITS		
AGENCY	TYPE OF PERMIT OR REVIEW	STATUS
CITY OF MADISON	SITE PLAN REVIEW, BUILDING PERMIT	
WISCONSIN DEPARTMENT OF NATURAL RESOURCES	WPDES PERMIT	
WISCONSIN DEPARTMENT OF NATURAL RESOURCES	CONSTRUCTION STORMWATER	

ADDITIONAL INFORMATION/ATTACHMENTS

FOR THE PURPOSES OF THE STORM WATER MANAGEMENT PLAN (SWPPP) THE STORMWATER REPORT WILL ACT AS ATTACHMENT D. THE STORMWATER REPORT INCLUDES A DETAILED DESCRIPTION OF THE STORM WATER MANAGEMENT STRATEGY AND FACILITIES DESCRIPTION INCLUDING CALCULATIONS SHOWING COMPLIANCE WITH THE REQUIREMENTS OF THE RELEVANT REGULATORY AGENCIES. THE STORMWATER REPORT IS AVAILABLE UPON REQUEST AT THE OFFICE OF THE ENGINEER.

THE GEOTECHNICAL REPORT CONTAINING AN IN DEPTH ANALYSIS OF THE SOILS PRESENT ONSITE IS AVAILABLE UPON REQUEST AT THE OFFICE OF THE ENGINEER.

ATTACHMENT B: EXAMPLE SWPPP INSPECTION FORM

NOTE: THIS INSPECTION REPORT DOES NOT ADDRESS ALL ASPECTS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM/STATE DISPOSAL SYSTEM (NPDES/SDS) CONSTRUCTION STORMWATER PERMIT (PERMIT) ISSUED ON AUGUST 1, 2018. THE COMPLETION OF THIS CHECKLIST DOES NOT GUARANTEE THAT ALL PERMIT REQUIREMENTS ARE IN COMPLIANCE. IT IS THE RESPONSIBILITY OF THE PERMITTEE(S) TO READ AND UNDERSTAND THE PERMIT REQUIREMENTS.

FACILITY INFORMATION

SITE NAME: _____
 SITE ADDRESS: _____ PERMIT NUMBER: _____
 CITY: _____ STATE: _____ ZIP CODE: _____

INSPECTION INFORMATION

INSPECTOR NAME: _____ PHONE NUMBER: _____
 ORGANIZATION/COMPANY MAN: _____
 DATE (MM/DD/YYYY): _____ TIME: _____ AM / PM
 IS THE INSPECTOR CERTIFIED IN SEDIMENT AND EROSION CONTROL AND IS IT DOCUMENTED IN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP)? Y N
 IS THIS INSPECTION ROUTINE OR IN RESPONSE TO A STORM EVENT: 7 DAY RAIN

RAINFALL AMOUNT (IF APPLICABLE): _____
 IS SITE WITHIN ONE AERIAL MILE OF SPECIAL OR IMPAIRED WATER THAT CAN POTENTIALLY RECEIVE DISCHARGE FROM THE SITE? Y N
 IF YES, FOLLOW SECTION 23 AND OTHER APPLICABLE PERMIT REQUIREMENTS

NOTE: IF N/A IS SELECTED AT ANY TIME, SPECIFY WHY IN THE COMMENT AREA FOR THAT SECTION.

EROSION CONTROL REQUIREMENT (SECTION 8.1)	Y	N	N/A
1. ARE SOILS STABILIZED WHERE NO CONSTRUCTION ACTIVITY HAS OCCURRED FOR 14 DAYS (INCLUDING STOCKPILES)? (7 DAYS WHERE APPLICABLE, OR 24 HOURS DURING MINNESOTA DEPARTMENT OF NATURAL RESOURCES (DNR) FISH SPAWNING RESTRICTIONS)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. HAS THE NEED TO DISTURB STEEP SLOPES BEEN MINIMIZED?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. IF STEEP SLOPES ARE DISTURBED, ARE STABILIZATION PRACTICES DESIGNED FOR STEEP SLOPES USED?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. ALL DITCHES/SWALES STABILIZED 20' BACK FROM POINT OF DISCHARGE OR PROPERTY EDGE WITHIN 24 HOURS? (MULCH, HYDROMULCH, TACKIFIER, OR SIMILAR BEST MANAGEMENT PRACTICES (BMPs) ARE NOT ACCEPTABLE IN DITCHES/SWALES IF THE SLOPE IS GREATER THAN 2%) ARE APPROPRIATE BMPs INSTALLED PROTECTING INLETS/OUTLETS?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. DO PIPE OUTLETS HAVE ENERGY DISSIPATION (WITHIN 24 HOURS OF CONNECTION)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. IS CONSTRUCTION PHASING BEING FOLLOWED IN ACCORDANCE WITH THE SWPPP?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. ARE AREAS NOT TO BE DISTURBED MARKED OFF (FLAGS, SIGNS, ETC.)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

COMMENTS:

SEDIMENT CONTROL REQUIREMENTS (SECTION 9.1)	Y	N	N/A
1. ARE PERIMETER SEDIMENT CONTROLS INSTALLED PROPERLY ON ALL DOWN GRADIENT PERIMETERS?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. ARE APPROPRIATE BMPs INSTALLED PROTECTING INLETS, CATCH BASINS, AND CULVERT INLETS?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. IS A 50 FOOT NATURAL BUFFER PRESERVED AROUND ALL SURFACE WATERS DURING CONSTRUCTION?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3.1. IF NO, HAVE REDUNDANT SEDIMENT CONTROLS BEEN INSTALLED?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. DO ALL ERODIBLE STOCKPILES HAVE PERIMETER CONTROL IN PLACE?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. IS THERE A TEMPORARY SEDIMENT BASIN ON SITE, AND IS IT BUILT AS REQUIRED IN SECTION 14 OF THE PERMIT?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. IS SOIL COMPACTION BEING MINIMIZED WHERE NOT DESIGNED FOR COMPACTION?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. IS TOPSOIL BEING PRESERVED UNLESS INFEASIBLE?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. IF CHEMICAL FLOCCULANTS ARE USED, IS THERE A CHEMICAL FLOCCULANT PLAN IN PLACE?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

COMMENTS:

MAINTENANCE AND INSPECTIONS (SECTION 11)	Y	N	N/A
1. ARE ALL PREVIOUSLY STABILIZED AREAS MAINTAINING GROUND COVER?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. ARE PERIMETER CONTROLS MAINTAINED AND FUNCTIONING PROPERLY, SEDIMENT REMOVED WHEN ONE-HALF FULL?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. ARE INLET PROTECTION DEVICES MAINTAINED AND ADEQUATELY PROTECTING INLETS?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. ARE THE TEMPORARY SEDIMENT BASINS BEING MAINTAINED AND FUNCTIONING PROPERLY?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. ARE VEHICLE TRACKING BMPs AT SITE EXISTS IN PLACE AND MAINTAINED AND FUNCTIONING PROPERLY?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. IS ALL TRACKED SEDIMENT BEING REMOVED WITHIN 24 HOURS?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. HAVE ALL SURFACE WATERS, DITCHES, CONVEYANCES, AND DISCHARGE POINTS BEEN INSPECTED?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. WERE ANY DISCHARGES SEEN DURING THIS INSPECTION (I.E. SEDIMENT, TURBID WATER, OR OTHERWISE)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

IF YES, RECORD THE LOCATION OF ALL POINTS OF DISCHARGE. PHOTOGRAPH AND DESCRIBE THE DISCHARGE (SIZE, COLOR, ODOR, FOAM, OIL SHEEN, TIME, ETC.). DESCRIBE HOW THE DISCHARGE WILL BE ADDRESSED. WAS THE DISCHARGE A SEDIMENT DELTA? IF YES, WILL THE DELTA BE RECOVERED WITHIN SEVEN DAYS AND IN ACCORDANCE WITH ITEM 11.5 OF THE PERMIT?

COMMENTS:

POLLUTION PREVENTION (SECTION 12)	Y	N	N/A
1. ARE ALL CONSTRUCTION MATERIALS THAT CAN LEACH POLLUTANTS UNDER COVER OR PROTECTED?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. ARE HAZARDOUS MATERIALS BEING PROPERLY STORED?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. ARE APPROPRIATE BMPs BEING USED TO PREVENT DISCHARGES ASSOCIATED WITH FUELING AND MAINTENANCE OF EQUIPMENT OR VEHICLES?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. ARE ALL SOLID WASTES BEING PROPERLY CONTAINED AND DISPOSED OF?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. IS THERE A CONCRETE/OTHER MATERIAL WASHOUT AREA ON SITE AND IS IT BEING USED?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. IS THE CONCRETE WASHOUT AREA MARKED WITH A SIGN?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. ARE THE CONCRETE/OTHER MATERIAL WASHOUT AREAS PROPERLY MAINTAINED?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

COMMENTS:

OTHER	Y	N	N/A
1. IS A COPY OF THE SWPPP, INSPECTION RECORDS, AND TRAINING DOCUMENTATION LOCATED ON THE CONSTRUCTION SITE, OR CAN IT BE MADE AVAILABLE WITHIN 72 HOURS?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. HAS THE SWPPP BEEN FOLLOWED AND IMPLEMENTED ON SITE, AND AMENDED AS NEEDED?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. IS ANY DEWATERING OCCURRING ON SITE? IF YES, WHAT BMPs ARE BEING USED TO ENSURE THAT CLEAN WATER IS LEAVING THE SITE AND THE DISCHARGE IS NOT CAUSING EROSION OR SCOUR?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

4. WILL A PERMANENT STORMWATER MANAGEMENT SYSTEM BE CREATED FOR THIS PROJECT IF REQUIRED AND IN ACCORDANCE WITH SECTION 15 OF THE PERMIT (IF ADDING AN ACRE OR MORE OF NEW IMPERVIOUS SURFACE)?
IF YES, DESCRIBE: _____

5. IF INFILTRATION/FILTRATION SYSTEMS ARE BEING CONSTRUCTED, ARE THEY MARKED AND PROTECTED FROM COMPACTION AND SEDIMENTATION? Y N N/A

6. DESCRIPTION OF AREAS OF NON-COMPLIANCE NOTED DURING THE INSPECTION, REQUIRED CORRECTIVE ACTIONS, AND RECOMMENDED DATE OF COMPLETION OF CORRECTIVE ACTIONS: _____

7. PROPOSED AMENDMENTS TO THE SWPPP: _____

8. POTENTIAL AREAS OF FUTURE CONCERN: _____

9. ADDITIONAL COMMENTS _____

DISCLOSURES:

- AFTER DISCOVERY, THE PERMIT REQUIRES MANY OF THE DEFICIENCIES THAT MAY BE FOUND ON SITE BE CORRECTED WITHIN A SPECIFIED PERIOD OF TIME. SEE PERMIT FOR MORE DETAILS.
- THE PERMITTEE(S) IS/ARE RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE OF TEMPORARY AND PERMANENT WATER QUALITY MANAGEMENT BMPs AS WELL AS EROSION PREVENTION AND SEDIMENT CONTROL BMPs UNTIL ANOTHER PERMITTEE HAS OBTAINED COVERAGE UNDER THIS PERMIT ACCORDING TO SECTION 3, OR THE PROJECT HAS MET THE TERMINATION CONDITIONS OF THE PERMIT AND A NOTICE OF TERMINATION HAS BEEN SUBMITTED TO THE MINNESOTA POLLUTION CONTROL AGENCY.

SOIL LOSS CALCULATIONS

**PRELIMINARY:
NOT FOR
CONSTRUCTION**

HUXLEY APARTMENTS

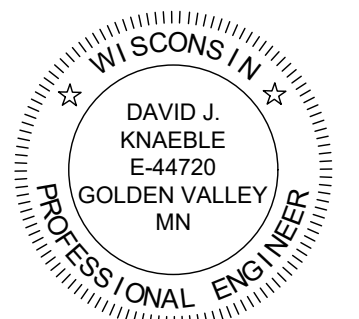
1201 HUXLEY ST., MADISON, WI 53704

DEVCO US CONSTRUCTION, LLC

10900 NE 8TH ST., BELLEVUE, WA 98004

PROJECT

OWNER



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

David J. Knaeble
 DATE 03/30/26 LICENSE NO. 44720-6

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
03/30/26	CITY SUBMITTAL

REVISION SUMMARY

DATE	DESCRIPTION
------	-------------

SWPPP - ATTACHMENTS

SW1.4

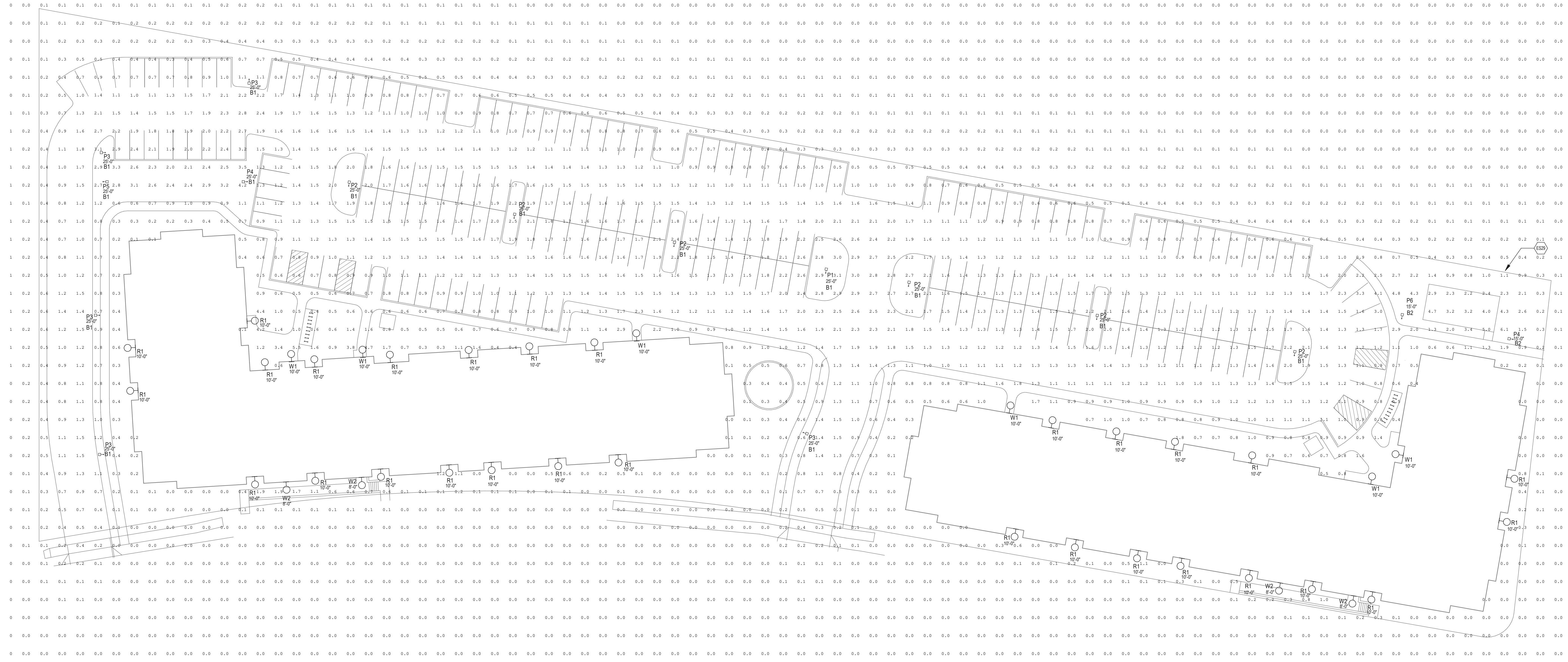
GENERAL NOTES:

- A REFER TO SHEETS E0.3 & E0.4 FOR FIXTURE SCHEDULE AND CUTSHEETS.
- B LIGHTING LEVELS SHOWN ARE MAINTAINED. LIGHT LOSS FACTOR OF 0.90 WAS USED TO ACCOUNT FOR DIRT AND LUMEN DEPRECIATION.
- C MOUNTING HEIGHTS SHOWN ARE TO BOTTOM OF FIXTURE.

KEYNOTES:

ES29 LIGHT LEVELS EXCEED 0.5 FC ON THE EAST PROPERTY LINE, BUT COME DOWN TO 0.5 FC AND BELOW 10' PAST THE PROPERTY LINE IN ACCORDANCE WITH MADISON, WISCONSIN - CODE OF ORDINANCES SECTION 29.36(3)(A).

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
East Prop	Illuminance	Fc	0.45	3.0	0.1	4.50	10.50
North Prop	Illuminance	Fc	0.28	0.5	0.1	2.80	5.00
Site	Illuminance	Fc	0.60	5.2	0.0	N.A.	N.A.
South Prop	Illuminance	Fc	0.59	0.3	0.0	N.A.	N.A.
West Prop	Illuminance	Fc	0.11	0.5	0.0	N.A.	N.A.



ELECTRICAL SITE PHOTOMETRIC PLAN
SCALE: 1" = 30'-0"



1301 American Blvd. E.
Suite 100
Bloomington, MN 55425
tel: (612) 879-6000
www.kaaswilson.com

MEP:
Emanuelson-Podas, Inc.
7705 Bush Lake Rd
Edina, MN 55439

Huxley Apartments
1201 HUXLEY ST, MADISON, WI 53704

DevCo

Project Number	5350.0000
Date	03/27/2026
Drawn By	JJE
Checked By	AJR

NOT FOR CONSTRUCTION

Rev. No.	Revision	Date

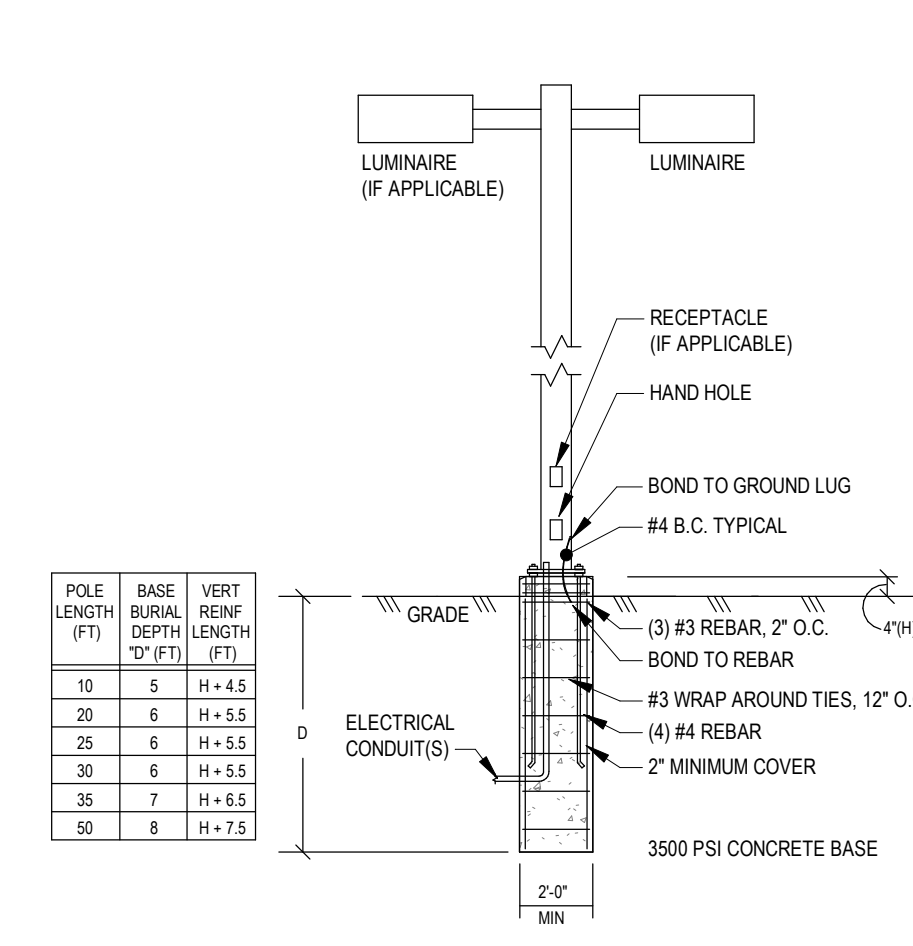
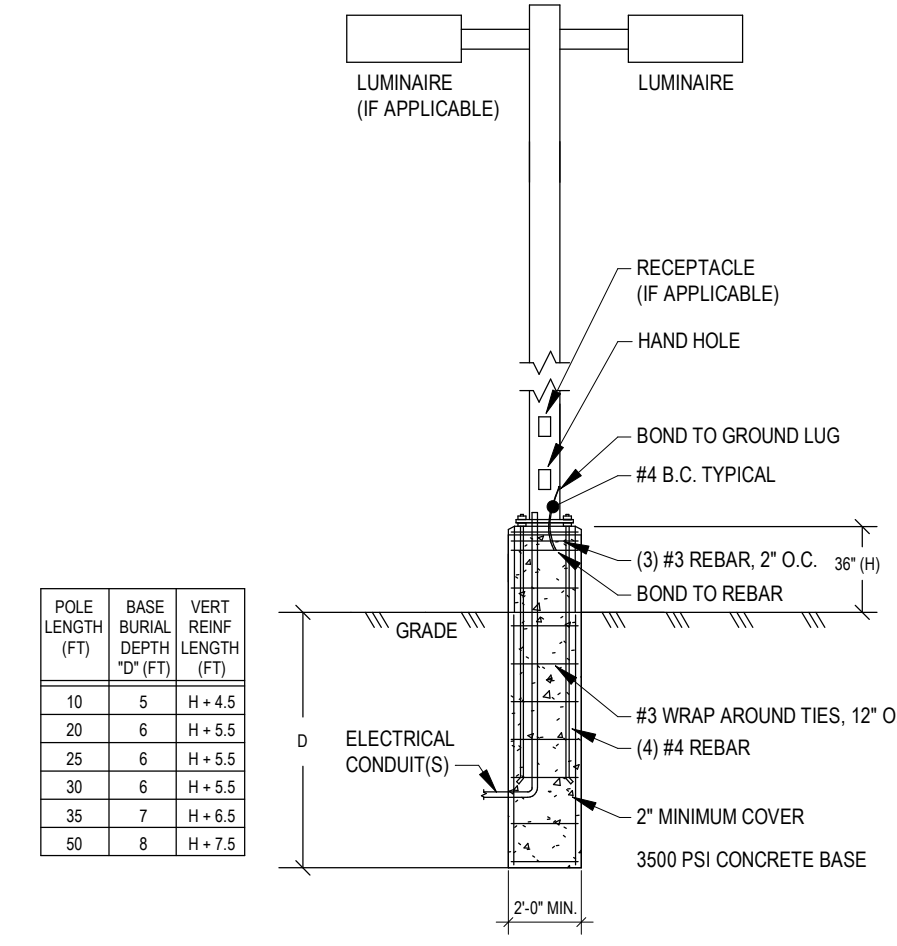
ELECTRICAL SITE PHOTOMETRIC
E0.2

NOT FOR CONSTRUCTION

LIGHT FIXTURE SCHEDULE									
GENERAL NOTES:									
A. CATALOG NUMBER INDICATES BASIC FIXTURE TYPE REQUIRED FOR THIS PROJECT AND MAY NOT BE COMPLETE. VERIFY WITH MANUFACTURER TO INCLUDE ALL OPTIONS AND ACCESSORIES REQUIRED FOR THIS INSTALLATION.									
B. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING FIXTURE LOCATIONS, MOUNTING, AND REQUIREMENTS WITH ARCHITECTURAL PLANS, SECTIONS, ELEVATIONS, AND REFLECTED CEILING PLANS PRIOR TO ORDERING FIXTURES.									
C. ALL FINISHES SHALL BE VERIFIED WITH THE ARCHITECT PRIOR TO ORDERING FIXTURES. FINISH SELECTION TO BE FROM MANUFACTURER'S STANDARD FINISHES UNLESS NOTED OTHERWISE. FINISHES SHALL BE VERIFIED AT THE TIME OF SHOP DRAWING SUBMITTAL.									
D. SEE SPECIFICATIONS FOR EXTRA MATERIALS REQUIRED FOR LIGHT FIXTURES.									
E. SAMPLES OF ALL FIXTURES SHALL BE AVAILABLE AT THE ENGINEER'S REQUEST DURING SHOP DRAWING REVIEW.									
F. NO SUBSTITUTIONS SHALL BE ACCEPTED WITHOUT PRIOR APPROVAL BY THE ENGINEER.									
FIXTURE NOTES:									
1. COORDINATE POLE HEIGHT AND CONCRETE BASE. REFER TO POLE BASE DETAILS.									
TYPE	DESCRIPTION	VOLT	LAMPS	VA / FIXT.	MANUFACTURER	CATALOG NUMBER	NOTES	TYPE	
			TYPE	QTY / FIXT.					
P1	EXTERIOR LIGHT POLE AND LED AREA LUMINAIRE, IP66, DIE-CAST ALUMINUM HOUSING, INJECTION MOLDED SNQ DISTRIBUTION LENS, 0-10V DIMMING, FINISH TO BE SELECTED BY ARCHITECT.	UNIV	LED, 11,600 NOMINAL LUMENS, 3000K, 80 CRI	N/A	96	COOPER	GLEON-SA3A-830-U-SNQ	1	P1
P2	EXTERIOR LIGHT POLE AND LED AREA LUMINAIRE, IP66, DIE-CAST ALUMINUM HOUSING, INJECTION MOLDED SNQ DISTRIBUTION LENS, 0-10V DIMMING, FINISH TO BE SELECTED BY ARCHITECT.	UNIV	LED, 18,500 NOMINAL LUMENS, 3000K, 80 CRI	N/A	162	COOPER	GLEON-SA5A-830-U-SNQ	1	P2
P3	EXTERIOR LIGHT POLE AND LED AREA LUMINAIRE, IP66, DIE-CAST ALUMINUM HOUSING, INJECTION MOLDED T2R DISTRIBUTION LENS, 0-10V DIMMING, FINISH TO BE SELECTED BY ARCHITECT.	UNIV	LED, 4,000 NOMINAL LUMENS, 3000K, 80 CRI	N/A	34	COOPER	GLEON-SA1A-830-U-T2R	1	P3
P4	EXTERIOR LIGHT POLE AND LED AREA LUMINAIRE, IP66, DIE-CAST ALUMINUM HOUSING, INJECTION MOLDED SLR DISTRIBUTION LENS, 0-10V DIMMING, FINISH TO BE SELECTED BY ARCHITECT.	UNIV	LED, 6,700 NOMINAL LUMENS, 3000K, 80 CRI	N/A	66	COOPER	GLEON-SA2A-830-U-SLR	1	P4
P5	EXTERIOR LIGHT POLE AND LED AREA LUMINAIRE, IP66, DIE-CAST ALUMINUM HOUSING, INJECTION MOLDED SLL DISTRIBUTION LENS, 0-10V DIMMING, FINISH TO BE SELECTED BY ARCHITECT.	UNIV	LED, 6,700 NOMINAL LUMENS, 3000K, 80 CRI	N/A	66	COOPER	GLEON-SA2A-830-U-SLL	1	P5
P6	EXTERIOR LIGHT POLE AND LED AREA LUMINAIRE, IP66, DIE-CAST ALUMINUM HOUSING, INJECTION MOLDED T2 DISTRIBUTION LENS, 0-10V DIMMING, FINISH TO BE SELECTED BY ARCHITECT.	UNIV	LED, 7,400 NOMINAL LUMENS, 3000K, 80 CRI	N/A	66	COOPER	GLEON-SA2A-830-U-T2	1	P6
R1	EXTERIOR WALL SCIENCE, ALUMINUM HOUSING, GLASS DIFFUSER, 0-10V DIMMING, FINISH TO BE SELECTED BY ARCHITECT.	UNIV	LED, 600 NOMINAL LUMENS, 3000K, 80 CRI	N/A	12	AFX	WTNW506LAJUDWH		R1
W1	EXTERIOR WALL SCIENCE, 9" X 9" RECTANGULAR, IP66 RATED, ALUMINUM HOUSING, 0-10V DIMMING.	UNIV	LED, 2000 NOMINAL LUMENS, 3000K, 80 CRI	N/A	10	LITHONIA	WDGE1-P2-30K-80CRI-VF-MVOLT-SRM		W1
W2	EXTERIOR WALL SCIENCE, 7" X 9" X 11.5", IP66 RATED, ALUMINUM HOUSING, 0-10V DIMMING.	UNIV	LED, 750 NOMINAL LUMENS, 3000K, 80 CRI	N/A	10	LITHONIA	WDGE2-LED-P0-30K-80CRI-TIS		W2

4 POLE BASE DETAIL B1
NO SCALE

5 POLE BASE DETAIL B2
NO SCALE



WDGE1 LED Architectural Wall Sconce

Specifications

- Depth (D1): 5.5"
- Depth (D2): 1.5"
- Height: 8"
- Width: 9"
- Weight: 9 lbs (without options)

Introduction

The WDGE1 family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean, rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

WDGE2 LED Architectural Wall Sconce Precision Refractive Optic

Specifications

- Depth (D1): 7"
- Depth (D2): 1.5"
- Height: 9"
- Width: 11.5"
- Weight: 13.5 lbs (without options)

Introduction

The WDGE2 family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean, rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with "light" AIR wireless controls, the WDGE2 family provides additional energy savings and code compliance.

WDGE2 with industry leading precision refractive optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect. *See ordering tree for details.

Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect. *See ordering tree for details.

WDGE LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	Approximate Lumens (4000K, 80CRI)						
					P0	P1	P2	P3	P4	P5	P6
WDGE1 LED	Visual Comfort	4W		--	750	1,200	2,000	--	--	--	--
WDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000	--
WDGE2 LED	Precision Refractive	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	--	--
WDGE3 LED	Precision Refractive	15W	18W	Standalone / nLight	6,000	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	Precision Refractive	15W	18W	Standalone / nLight	--	12,000	16,000	18,000	20,000	22,000	25,000

WDGE LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	Approximate Lumens (4000K, 80CRI)						
					P0	P1	P2	P3	P4	P5	P6
WDGE1 LED	Visual Comfort	4W		--	750	1,200	2,000	--	--	--	--
WDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000	--
WDGE2 LED	Precision Refractive	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	--	--
WDGE3 LED	Precision Refractive	15W	18W	Standalone / nLight	--	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	Precision Refractive	15W	18W	Standalone / nLight	--	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBX0

Series	Package	Color Temperature	CRI	Distribution	Mounting
WDGE1 LED	P0	27K 2700K	80CRI	VF	Visual Comfort Forward Throw
	P1	30K 3000K	90CRI	VW	Visual Comfort Wide
	P2	35K 3500K			
	P6	40K 4000K			
Shipped included SSM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only)					
Shipped separately AWS 3/8" Architectural wall spacer* PBBW Surface-mounted back box (top, left, right, conduit entry) Use when there is no junction box available!					

Ordering Information

EXAMPLE: WDGE2 LED P3 40K 80CRI T3M MVOLT SRM DDBX0

Series	Package	Color Temperature	CRI	Distribution	Mounting
WDGE2 LED	P0	27K 2700K	40K 4000K	70CR*	TIS Type I Short
	P1	30K 3000K	50K 5000K	80CRI	T2M Type II Medium
	P2	35K 3500K	AMP Amber	14W Limited Wavelength	T3M Type III Medium
	P6				T4M Type IV Medium
Shipped included SSM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only)					
Shipped separately AWS 3/8" Architectural wall spacer* PBBW Surface-mounted back box (top, left, right, conduit entry) Use when there is no junction box available!					

1 FIXTURE W1
NO SCALE

2 FIXTURE W2
NO SCALE

3 FIXTURE R1
NO SCALE

ELECTRICAL DETAILS

E0.3

Project	Catalog #	Type
Prepared by	Notes	Date



McGraw-Edison GLEON Galleon

Area / Site Luminaire

Product Features

- Light Ahulon™
- BAA

Product Certifications

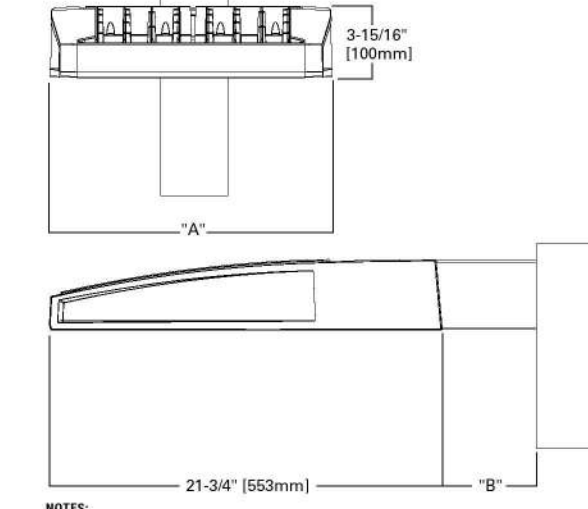
- UL LISTED
- DLC LISTED
- IP66
- 36 VIB
- IP66

- Interactive Menu**
- Ordering Information page 2
 - Mounting Details page 3
 - Optical Distributions page 4
 - Product Specifications page 4
 - Energy and Performance Data page 4
 - Control Options page 9

- Quick Facts**
- Lumen packages range from 4,200 - 80,800 (34W - 640W)
 - Efficacy up to 156 LPW
 - Options to meet Buy American and other domestic preference requirements

- Connected Systems**
- WaveLinx PRO Wireless
 - WaveLinx LITE Wireless
 - Enlighted

Dimensional Details



Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Extended Arm Length	"B" CM Arm Length	"B" OML Length	"B" OMLA Length
1-4	15-1/2"	7"	10"	10-5/8"	---	16-9/16"
5-6	21-5/8"	7"	10"	10-5/8"	---	16-9/16"
7-8	27-5/8"	7"	13"	10-5/8"	10-5/16"	---
9-10	33-3/4"	7"	16"	10-5/8"	---	---

NOTES:
 1. See Notes 1 through 3 on page 2 for qualification. Not all product variations are DLC qualified.
 2. See Notes 1 through 3 on page 2 for qualification.
 3. See Notes 1 through 3 on page 2 for qualification.

McGraw-Edison GLEON Galleon

Ordering Information
 SAMPLE NUMBER: GLEON-SA4C-740-U-TAFT-0M

Product Family	Light Engine Configuration	Drive Current	Color Temperature	Voltage	Distribution	Mounting	Finish
GLEON-Edison	SA11-3 Squares	A=800mA	722-700K 2700K	48-120/277V	T4-1 Type II	MA-Mount Arm Adapter	AP-Gray
GLEON-Edison	SA12-3 Squares	A=800mA	722-700K 2700K	120/277V	T4-1 Type II	MA-Mount Arm Adapter	EC-Black
GLEON-Edison	SA13-3 Squares	C=1000mA	722-700K 2700K	24-240V	T4-1 Type III	MA-Mount Arm Adapter	BL-Black
GLEON-Edison	SA14-3 Squares	C=1000mA	722-700K 2700K	24-277V	T4-1 Type III	MA-Mount Arm Adapter	PL-Platinum
GLEON-Edison	SA15-3 Squares	C=1000mA	740-700K 4000K	8-480V L+N	T4FT-Type IV Forward Throw	OM-Quick Mount Arm (Standard Length)	GM-Castable Metallic
GLEON-Edison	SA16-3 Squares	C=1000mA	740-700K 4000K	8-480V L+N	T4FT-Type IV Forward Throw	OM-Quick Mount Arm (Extended Length)	WH-White
GLEON-Edison	SA17-3 Squares	C=1000mA	740-700K 4000K	8-480V L+N	T4FT-Type IV Forward Throw	OM-Quick Mount Arm (Standard Length, Large)	BALXX-Custom Color
GLEON-Edison	SA18-3 Squares	C=1000mA	740-700K 4000K	8-480V L+N	T4FT-Type IV Forward Throw	OM-Quick Mount Arm (Standard Length, Large)	BALXX-Custom Color
GLEON-Edison	SA19-3 Squares	C=1000mA	740-700K 4000K	8-480V L+N	T4FT-Type IV Forward Throw	OM-Quick Mount Arm (Standard Length, Large)	BALXX-Custom Color
GLEON-Edison	SA20-3 Squares	C=1000mA	740-700K 4000K	8-480V L+N	T4FT-Type IV Forward Throw	OM-Quick Mount Arm (Standard Length, Large)	BALXX-Custom Color
GLEON-Edison	SA21-3 Squares	C=1000mA	740-700K 4000K	8-480V L+N	T4FT-Type IV Forward Throw	OM-Quick Mount Arm (Standard Length, Large)	BALXX-Custom Color
GLEON-Edison	SA22-3 Squares	C=1000mA	740-700K 4000K	8-480V L+N	T4FT-Type IV Forward Throw	OM-Quick Mount Arm (Standard Length, Large)	BALXX-Custom Color
GLEON-Edison	SA23-3 Squares	C=1000mA	740-700K 4000K	8-480V L+N	T4FT-Type IV Forward Throw	OM-Quick Mount Arm (Standard Length, Large)	BALXX-Custom Color
GLEON-Edison	SA24-3 Squares	C=1000mA	740-700K 4000K	8-480V L+N	T4FT-Type IV Forward Throw	OM-Quick Mount Arm (Standard Length, Large)	BALXX-Custom Color
GLEON-Edison	SA25-3 Squares	C=1000mA	740-700K 4000K	8-480V L+N	T4FT-Type IV Forward Throw	OM-Quick Mount Arm (Standard Length, Large)	BALXX-Custom Color
GLEON-Edison	SA26-3 Squares	C=1000mA	740-700K 4000K	8-480V L+N	T4FT-Type IV Forward Throw	OM-Quick Mount Arm (Standard Length, Large)	BALXX-Custom Color
GLEON-Edison	SA27-3 Squares	C=1000mA	740-700K 4000K	8-480V L+N	T4FT-Type IV Forward Throw	OM-Quick Mount Arm (Standard Length, Large)	BALXX-Custom Color
GLEON-Edison	SA28-3 Squares	C=1000mA	740-700K 4000K	8-480V L+N	T4FT-Type IV Forward Throw	OM-Quick Mount Arm (Standard Length, Large)	BALXX-Custom Color
GLEON-Edison	SA29-3 Squares	C=1000mA	740-700K 4000K	8-480V L+N	T4FT-Type IV Forward Throw	OM-Quick Mount Arm (Standard Length, Large)	BALXX-Custom Color
GLEON-Edison	SA30-3 Squares	C=1000mA	740-700K 4000K	8-480V L+N	T4FT-Type IV Forward Throw	OM-Quick Mount Arm (Standard Length, Large)	BALXX-Custom Color

NOTES:
 1. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WPT001010 for additional support information.
 2. Control system must be compatible with the luminaire. See the Cooper Lighting website for details.
 3. Control system must be compatible with the luminaire. See the Cooper Lighting website for details.
 4. Not compatible with HID or LED or HID-LX systems.
 5. Not compatible with standard dimmer switches.
 6. 480V must utilize the system only for 480V, not for use with ungrounded systems, ungrounded grounded systems or corner grounded systems (commonly known as Three Phase Three Wire, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
 7. May be required when two or more luminaires are oriented on a 90° or 120° offset pattern. Refer to arm mounting requirement table.
 8. Factory standard.
 9. Maximum light output.
 10. Maximum light output.
 11. Maximum light output.
 12. Maximum light output.
 13. Maximum light output.
 14. Set of 4 pins. One set required per light fixture.
 15. Not available with SA11-3, SA12-3, SA13-3, SA14-3, SA15-3, SA16-3, SA17-3, SA18-3, SA19-3, SA20-3, SA21-3, SA22-3, SA23-3, SA24-3, SA25-3, SA26-3, SA27-3, SA28-3, SA29-3, SA30-3.
 16. Not available with SA11-3, SA12-3, SA13-3, SA14-3, SA15-3, SA16-3, SA17-3, SA18-3, SA19-3, SA20-3, SA21-3, SA22-3, SA23-3, SA24-3, SA25-3, SA26-3, SA27-3, SA28-3, SA29-3, SA30-3.
 17. Not available with SA11-3, SA12-3, SA13-3, SA14-3, SA15-3, SA16-3, SA17-3, SA18-3, SA19-3, SA20-3, SA21-3, SA22-3, SA23-3, SA24-3, SA25-3, SA26-3, SA27-3, SA28-3, SA29-3, SA30-3.
 18. Not available with SA11-3, SA12-3, SA13-3, SA14-3, SA15-3, SA16-3, SA17-3, SA18-3, SA19-3, SA20-3, SA21-3, SA22-3, SA23-3, SA24-3, SA25-3, SA26-3, SA27-3, SA28-3, SA29-3, SA30-3.
 19. Not available with SA11-3, SA12-3, SA13-3, SA14-3, SA15-3, SA16-3, SA17-3, SA18-3, SA19-3, SA20-3, SA21-3, SA22-3, SA23-3, SA24-3, SA25-3, SA26-3, SA27-3, SA28-3, SA29-3, SA30-3.
 20. Not available with SA11-3, SA12-3, SA13-3, SA14-3, SA15-3, SA16-3, SA17-3, SA18-3, SA19-3, SA20-3, SA21-3, SA22-3, SA23-3, SA24-3, SA25-3, SA26-3, SA27-3, SA28-3, SA29-3, SA30-3.
 21. Not available with SA11-3, SA12-3, SA13-3, SA14-3, SA15-3, SA16-3, SA17-3, SA18-3, SA19-3, SA20-3, SA21-3, SA22-3, SA23-3, SA24-3, SA25-3, SA26-3, SA27-3, SA28-3, SA29-3, SA30-3.
 22. Not available with SA11-3, SA12-3, SA13-3, SA14-3, SA15-3, SA16-3, SA17-3, SA18-3, SA19-3, SA20-3, SA21-3, SA22-3, SA23-3, SA24-3, SA25-3, SA26-3, SA27-3, SA28-3, SA29-3, SA30-3.
 23. Not available with SA11-3, SA12-3, SA13-3, SA14-3, SA15-3, SA16-3, SA17-3, SA18-3, SA19-3, SA20-3, SA21-3, SA22-3, SA23-3, SA24-3, SA25-3, SA26-3, SA27-3, SA28-3, SA29-3, SA30-3.
 24. Not available with SA11-3, SA12-3, SA13-3, SA14-3, SA15-3, SA16-3, SA17-3, SA18-3, SA19-3, SA20-3, SA21-3, SA22-3, SA23-3, SA24-3, SA25-3, SA26-3, SA27-3, SA28-3, SA29-3, SA30-3.
 25. Not available with SA11-3, SA12-3, SA13-3, SA14-3, SA15-3, SA16-3, SA17-3, SA18-3, SA19-3, SA20-3, SA21-3, SA22-3, SA23-3, SA24-3, SA25-3, SA26-3, SA27-3, SA28-3, SA29-3, SA30-3.
 26. Not available with SA11-3, SA12-3, SA13-3, SA14-3, SA15-3, SA16-3, SA17-3, SA18-3, SA19-3, SA20-3, SA21-3, SA22-3, SA23-3, SA24-3, SA25-3, SA26-3, SA27-3, SA28-3, SA29-3, SA30-3.
 27. Not available with SA11-3, SA12-3, SA13-3, SA14-3, SA15-3, SA16-3, SA17-3, SA18-3, SA19-3, SA20-3, SA21-3, SA22-3, SA23-3, SA24-3, SA25-3, SA26-3, SA27-3, SA28-3, SA29-3, SA30-3.
 28. Not available with SA11-3, SA12-3, SA13-3, SA14-3, SA15-3, SA16-3, SA17-3, SA18-3, SA19-3, SA20-3, SA21-3, SA22-3, SA23-3, SA24-3, SA25-3, SA26-3, SA27-3, SA28-3, SA29-3, SA30-3.
 29. Not available with SA11-3, SA12-3, SA13-3, SA14-3, SA15-3, SA16-3, SA17-3, SA18-3, SA19-3, SA20-3, SA21-3, SA22-3, SA23-3, SA24-3, SA25-3, SA26-3, SA27-3, SA28-3, SA29-3, SA30-3.
 30. Not available with SA11-3, SA12-3, SA13-3, SA14-3, SA15-3, SA16-3, SA17-3, SA18-3, SA19-3, SA20-3, SA21-3, SA22-3, SA23-3, SA24-3, SA25-3, SA26-3, SA27-3, SA28-3, SA29-3, SA30-3.

1 FIXTURE P1, P2, P3, P4, P5, P6
 NO SCALE