







# LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:  
[www.cityofmadison.com/developmentcenter/landdevelopment](http://www.cityofmadison.com/developmentcenter/landdevelopment)

**FOR OFFICE USE ONLY:**

Amt. Paid 1900 Receipt No. 659-0003  
 Date Received 8/5/15  
 Received By JLK  
 Parcel No. D709-282-2601-2  
 Aldermanic District 13-Saraai Estreich  
 Zoning District PD  
 Special Requirements PD, CU, CED Holo  
 Review Required By:  
 Urban Design Commission  Plan Commission  
 Common Council  Other: \_\_\_\_\_

Form Effective: February 21, 2013

1. **Project Address:** 718 Gilmore St  
**Project Title (if any):** Wingra School Addition and Renovation

2. **This is an application for (Check all that apply to your Land Use Application):**

- Zoning Map Amendment from PD to amended PD
- Major Amendment to Approved PD-GDP Zoning  Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: \_\_\_\_\_

3. **Applicant, Agent & Property Owner Information:**

Applicant Name: Mary Campbell Company: Wingra School  
 Street Address: 718 Gilmore St City/State: Madison Zip: 53711  
 Telephone: (608) 238-2525 Fax: ( ) Email: mary@wingraschool.org

Project Contact Person: Jon Robelia Company: Eppstein Uhen Architects  
 Street Address: 222 W Washington Ave, Ste 650 City/State: Madison Zip: 53703  
 Telephone: (608) 442-3958 Fax: ( ) Email: jonr@eua.com

Property Owner (if not applicant): same as applicant  
 Street Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_

4. **Project Information:**

Provide a brief description of the project and all proposed uses of the site: One-story office and multipurpose room addition, with two-story elevator; fully sprinklered and separated from existing school with 2-hr fire wall.

Development Schedule: Commencement likely November 2015 Completion likely July 2016

**5. Required Submittal Information**

All Land Use applications are required to include the following:

**Project Plans** including:\*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

\* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

**Letter of Intent: Provide one (1) Copy per Plan Set** describing this application in detail including, but not limited to:

- |   |   |  |
|---|---|--|
| • Project Team                                | • Building Square Footage                       | • Value of Land  |
| • Existing Conditions                         | • Number of Dwelling Units                      | • Estimated Project Cost                                     |
| • Project Schedule                            | • Auto and Bike Parking Stalls                  | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft <sup>2</sup> of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested                                   |
| • Hours of Operation                          |   |  |

**Filing Fee:** Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

**Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

**Additional Information** may be required, depending on application. Refer to the Supplemental Submittal Requirements.

**6. Applicant Declarations**

**Pre-application Notification:** The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:  
Alder Sara Eskrich (see attached waiver); Dudgeon Monroe Neighborhood Association, 2/4/15

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

**Pre-application Meeting with Staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Heather Stouder Date: 7/20/15 Zoning Staff: Matt Tucker Date: 7/20/15

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Mary Campbell Relationship to Property: Education Director  
Authorizing Signature of Property Owner Mary Campbell Date 8/3/15



epstein uhen : architects

August 3, 2015

**Re: Letter of Intent  
Wingra School  
718 Gilmore St  
Madison, WI 53711**

## **Introduction**

This letter of intent is submitted with the Land Use Application and its required related materials for Urban Design Commission, Plan Commission, and Common Council consideration of approval.

Wingra School intends to build an addition adjacent to their existing facility in order to provide an elevator and reception area with central offices for school administration, fulfilling several of the conditions of their 2007 purchase of the building and parcel. The addition will also provide for a more secure school environment during normal school days and especially during polling days.

Given the unique ownership and easement system currently in place among the Wingra School parcel and the adjacent two City park parcels, all three parcels are currently zoned as a planned development. This application is intended to amend that PD and re-establish the zoning rules that were approved in 2007, but subsequently lapsed. The legal description given below is for all three parcels.

## **Existing Conditions**

Wingra School, and its tenant New Morning Nursery School, currently occupies the two-story building located at 718 Gilmore Street. The building is approximately 80 years old, is roughly 14,900 gsf per floor, and built of clay masonry, cast-in-place concrete, and steel spanning members. Along the northwest face of the school is a sunken mechanical space (roughly 1,400 gsf) and a sunken coal storage space (1,000 gsf).

The associated parcel is the middle third of the block bounded by Monroe St, Western Ave, Cross St, and Gilmore St. A fire lane connects Western Ave and Gilmore St along the north side of the existing school, passing by a small parking area for twelve cars. A bike rack is provided for eight bikes, as well as one off-street loading zone. Recently, an outdoor classroom structure (roughly 300 gsf) was erected west of the school along Western Ave.

The School's parcel is about 53,000 sq. ft., and the School building (including the sunken mechanical space, coal storage, and outdoor classroom) covers about 33% of it.

City parkland occupies the parcels to the north and south of Wingra School. The southern parcel, bordering Monroe St and known as Dudgeon School Park, is turf grass and assorted landscaping, with terraces due to its significant grade change from north to south. The northern parcel, along Cross St, has a significant amount of paving, play equipment, and a basketball court in addition to assorted landscaped areas.

The entire block is in a known burial site, and Wingra School will be working with the Wisconsin Historical Society regarding the proper archeological monitoring during construction.

222 W. Washington Ave.  
Suite 650  
Madison, WI 53703  
608.442.5350 : main



Name

Date

Page 2 of 2

## Project Description

The proposed one-story addition would be approximately 3,200 gsf, but would extend to the existing second floor for the elevator shaft and second floor elevator lobby (approximately 200 gsf). It would house the consolidated administrative offices (900 gsf), a multipurpose space and its associated storage room (1,750 gsf), circulation space (350 gsf), a toilet room (50 gsf), and the elevator (350 gsf total). It would be built to the north of the existing school, in place of the fire lane and parking.

The on-site parking would be reduced to five cars, but would be separated from a through-block walkway by a curb for pedestrian safety. Additional bike racks would be provided for a total of approximately 32 bike parking spaces, and the existing off-street loading zone would remain.

With the addition, the School building would cover about 39% of the parcel.

## Hours of Operation

The hours of operation are currently 7am to 5pm, Monday through Friday, and would remain unaffected by the proposed addition.

## Legal Description

Lot 1, outlot 1, and outlot 2 of certified survey map no. 12127 as recorded in volume 74, page 378, document no. 4300682 being all of block 21, first addition to Wingra being located in part of the southeast 1/4 of the northeast 1/4 and part of the southeast 1/4 of the northwest 1/4 of section 28, town 7 north, range 9 east in the City of Madison, Dane County, Wisconsin.

## Project Team

Owner: Wingra School (718 Gilmore St, Madison, WI)

Architect: Eppstein Uhen Architects (222 W Washington Ave, Ste 650, Madison, WI)

Structural Engineer: Pierce Engineers (10 W Mifflin St, Ste 205, Madison, WI)

Civil Engineer: JSD Professional Services (161 Horizon Dr, Ste 101, Verona, WI)

General Contractor: CG Schmidt (406 Science Dr, Ste 408, Madison, WI)

## Project Schedule

August 5, 2015 – Land Use Submittal

September 16, 2015 – UDC initial/final approval

October 5, 2015 – Plan Commission approval of planned development

October 20, 2015 – Common Council approval of planned development

November, 2015 – tentative construction start

July, 2016 – tentative construction completion

## Social and Economic Impact

The estimated project cost is \$1,300,000, and 32 construction jobs are expected to be created. The addition would provide space for one additional full-time equivalent administrative position. No public subsidy is requested.

# WINGRA SCHOOL

LOT 1, OUTLOT 1, AND OUTLOT 2 OF CERTIFIED SURVEY MAP NO. 12127 AS RECORDED IN VOLUME 74, PAGE 378, DOCUMENT NO. 4300682 BEING ALL OF BLOCK 21, FIRST ADDITION TO WINGRA BEING LOCATED IN PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 AND PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 28, TOWN 7 NORTH, RANGE 9 EAST IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

## SURVEYOR NOTES

STORM INLET INVERTS WERE NOT MEASURED DUE TO STRUCTURE BEING FULL OF SNOW AND ICE.

FIELD DATA ACQUISITION WAS PERFORMED ON FEBRUARY 20, 2015 AND UNDER SNOW COVERED CONDITIONS

## BENCHMARKS

ELEVATIONS ARE BASED ON NAVD88 (2012)

BM 1 - FIRE HYDRATE TOP NUT  
ELEVATION = 901.70

BM 2 - FIRE HYDRATE TOP NUT  
ELEVATION = 907.67

BM 3 - FIRE HYDRATE TOP NUT  
ELEVATION = 914.91

BM 4 - FIRE HYDRATE TOP NUT  
ELEVATION = 913.90

## LEGEND

- EXISTING WATER MAIN
- EXISTING GATE VALVE & HYDRANT
- WATER SERVICE & CURB STOP
- EXISTING SANITARY SEWER & MANHOLE
- EXISTING STORM SEWER & INLET
- BURIED ELECTRIC
- BURIED GAS & VALVE
- BURIED CABLE TELEVISION
- BURIED TELEPHONE
- BURIED FIBER OPTICS
- OVERHEAD UTILITY
- FENCE LINE
- RIGHT-OF-WAY
- PROPERTY LINE
- BENCHMARK
- IRON PIPE FOUND
- IRON ROD FOUND
- CHISLED CROSS FOUND
- 3/4" IRON REBAR SET (1.50 LBS/FT)
- UTILITY POLE & GUY
- LIGHT POLE
- PEDESTAL
- STREET SIGN
- MAILBOX
- FLAGPOLE
- TREE - DECIDUOUS
- TREE - CONIFEROUS
- SPOT ELEVATION (TYP.)

## STORM STRUCTURES

ST 1 - STORM MANHOLE  
RIM = 909.55  
PIPE INV = 903.55  
BOTTOM = 900.75

ST 2 - STORM MANHOLE  
RIM = 905.08  
INV N-S = 900.23 (18" RCP)  
INV W = 900.88 (12" RCP)

ST 3 - STORM MANHOLE  
RIM = 893.60  
INV = 888.90

ST 4 - STORM MANHOLE  
RIM = 876.61  
INV = 872.01 TO TOP OF ICE

## SANITARY STRUCTURES

SAN 1 - SANITARY MANHOLE  
RIM = 911.58  
INV = 903.83

SAN 2 - SANITARY MANHOLE  
RIM = 904.29  
INV N = 897.39  
INV S = 896.74  
INV W = 896.84

SAN 3 - SANITARY MANHOLE  
RIM = 884.58  
INV N = 875.48  
INV S = 875.33  
INV W = 875.58

SAN 4 - SANITARY MANHOLE  
RIM = 871.22  
INV E-W = 853.97  
INV N = 862.22

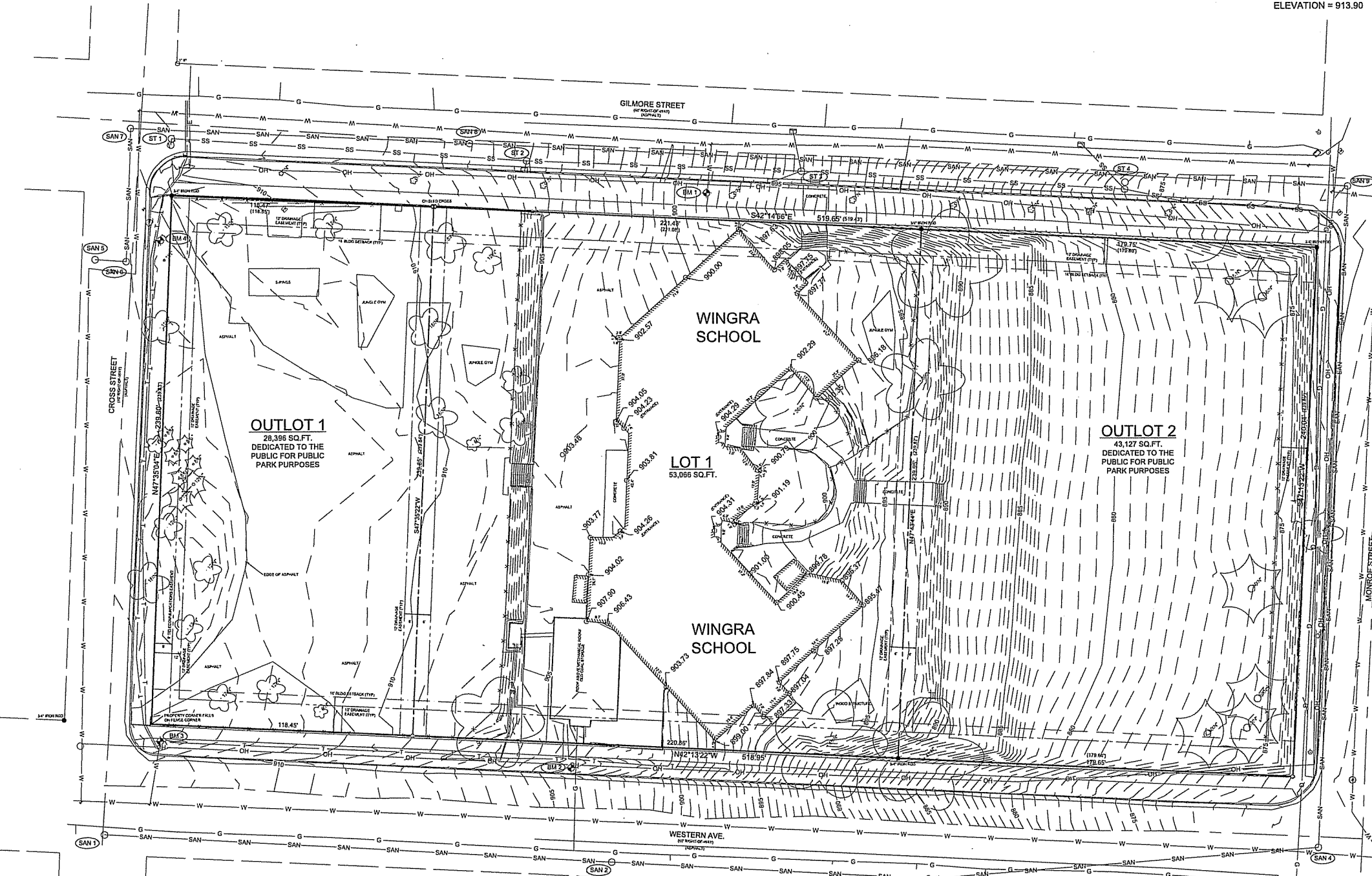
SAN 5 - SANITARY MANHOLE  
RIM = 910.92  
INV W = 904.42  
INV S = 902.72

SAN 6 - SANITARY MANHOLE  
RIM = 910.63  
INV N = 901.58  
INV E = 901.58

SAN 7 - SANITARY MANHOLE  
RIM = 909.87  
INV W = 901.37  
INV N = 901.37  
INV S = 901.22

SAN 8 - SANITARY MANHOLE  
RIM = 906.56  
INV N = 898.66  
INV S = 898.56

SAN 9 - SANITARY MANHOLE  
RIM = 869.53  
INV N = 860.88  
INV N = 858.73  
INV E-W = 853.31



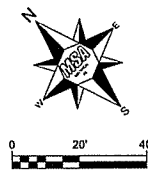
**DIGGERS HOTLINE**  
Dial 811 or (800) 242-8511  
www.DiggersHotline.com



I, BRADLEY L. TIDALE, REGISTERED LAND SURVEYOR, HEREBY CERTIFY TO WINGRA SCHOOL THAT I HAVE SURVEYED AND MAPPED THE PROPERTY SHOWN UPON THIS PLAN AND THAT THE WITHIN PLAN IS A CORRECT REPRESENTATION OF THE BOUNDARIES OF THE LAND SURVEYED TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF.

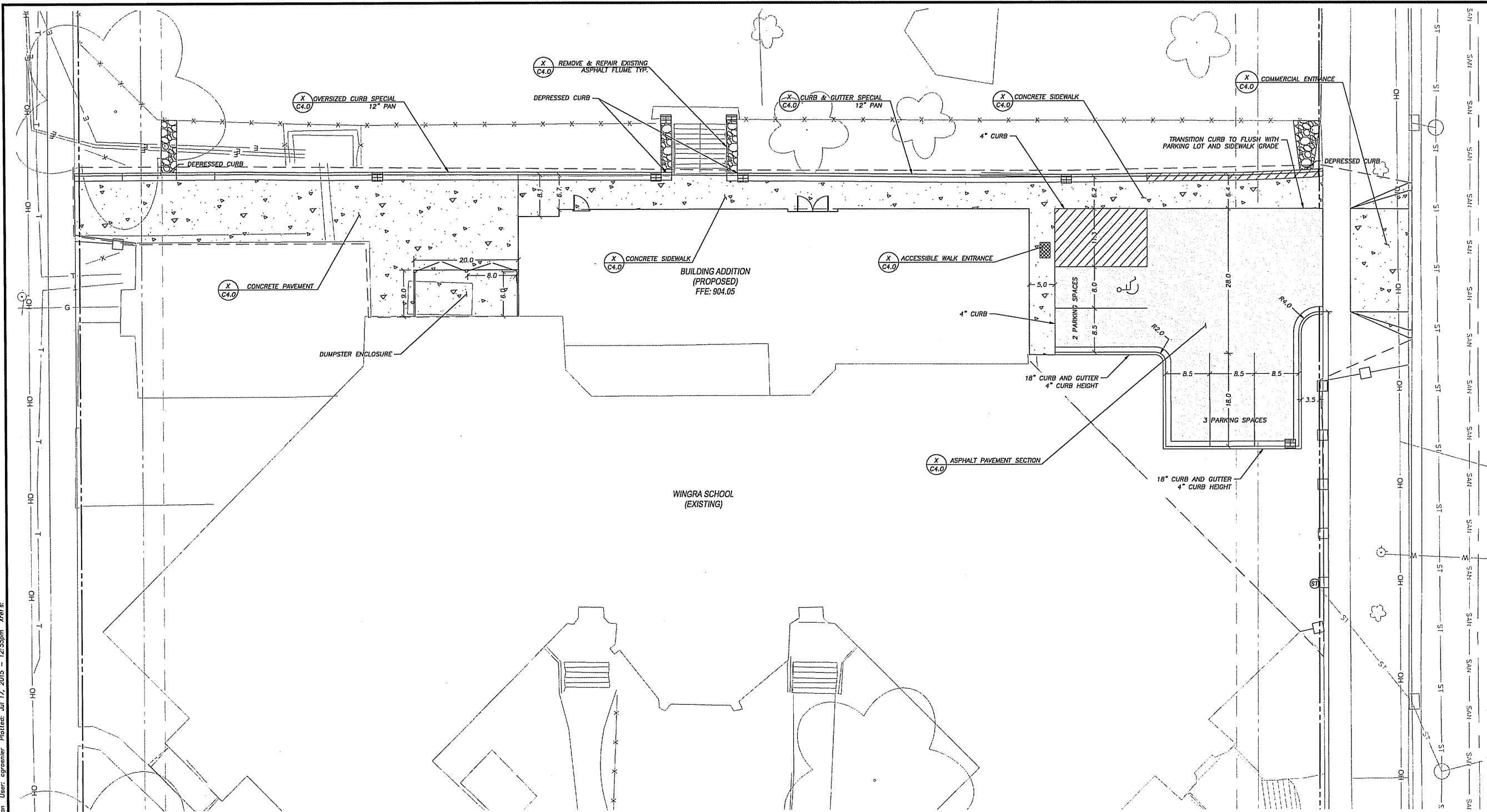
I FURTHER CERTIFY THAT I HAVE COMPLIED WITH CHAPTER A.E.T. OF THE ADMINISTRATIVE CODE OF THE STATE OF WISCONSIN FOR MINIMUM STANDARDS FOR PROPERTY SURVEYS TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*Bradley L. Tidale* 2-27-15  
BRADLEY L. TIDALE, REGISTERED LAND SURVEYOR #S-224  
LSA PROFESSIONAL SERVICES, INC.



NOTE:  
UTILITY LOCATIONS SHOWN ON PLANS ARE APPROXIMATE AND CONTRACTOR SHALL HAVE APPROPRIATE UTILITY MARK EXACT LOCATIONS PRIOR TO CONSTRUCTION.

File: I:\2015\156655E\DWG\15-6655E\_C1.0 - Site Plan User: cgranter Plotdate: Jul 17, 2015 - 12:59pm Xref's:



**LEGEND (PROPOSED)**

- PROPERTY LINE
- PROPOSED BUILDING OUTLINE
- EDGE OF PAVEMENT
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- CURB AND GUTTER
- REJECT CURB & GUTTER

**GENERAL NOTES**

1. REFER TO THE EXISTING CONDITIONS SURVEY, CONDUCTED ON FEBRUARY 20TH 2015, BY MSA PROFESSIONAL SERVICES FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION AND CITY OF MADISON REQUIREMENTS.
3. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
4. THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE WDNR WRAPP PERMIT APPLICATION STANDARDS.

**SITE PLAN NOTES**

1. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL RADII TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. ALL PRIVATE CURB AND GUTTER SHALL BE 18" STANDARD CURB AND GUTTER. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET THE REQUIREMENTS OF THE CITY OF VERONA.
4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
8. USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
9. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
10. 2' x 4' TRUNCATED DOME SECTIONS SHALL BE PLACED AT ALL ADA RAMPS.
11. BIKE RACKS SHALL BE LOCATED ON A 4" THICK CONCRETE PAD OVER 4" OF AGGREGATE BASE. EACH BIKE PARKING STALL SHALL BE AT LEAST 2'x6'. BIKE RACK SHALL BE APPROVED BY OWNER AND INSTALLED INTEGRAL TO THE CONCRETE PAD.
12. DETAILS OF WALK LAYOUT WILL BE PROVIDED IN ELECTRONIC FORMAT FOR LAYOUT.
13. SEE LANDSCAPE PLANS FOR HARDSCAPE AND LANDSCAPE OF SPECIAL GARDEN AREAS AS NOTED.

**JSD Professional Services, Inc.**  
 • Engineers • Surveyors • Planners

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MADISON REGIONAL OFFICE  
 161 HORIZON DRIVE, SUITE 101  
 VERONA, WISCONSIN 53593  
 608.848.5060 PHONE | 608.848.2255 FAX  
 MADISON | MILWAUKEE  
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SERVICES PROVIDED TO:  
**EPPSTEIN UHEN ARCHITECTS**

222 WEST WASHINGTON AVE.  
 MADISON, WI 53703-2775

PROJECT:  
**WINGRA SCHOOL BUILDING ADDITION**

PROJECT LOCATION:  
 718 GILMORE STREET  
 MADISON, WI 53711

JSD PROJECT NO.: 15-6655E

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: PGB 7/13/2015  
 DRAWN: PGB 7/13/2015  
 APPROVED: BHD 7/14/2015

PLAN MODIFICATIONS: DATE:  
 UDC SUBMITTAL 7/22/2015

**DIGGERS HOTLINE**

Toll Free (800) 242-8511  
 Milwaukee Area (414) 259-1181  
 Hearing Impaired TDD (800) 542-2289  
 www.DiggersHotline.com

SHEET TITLE:  
**SITE PLAN**

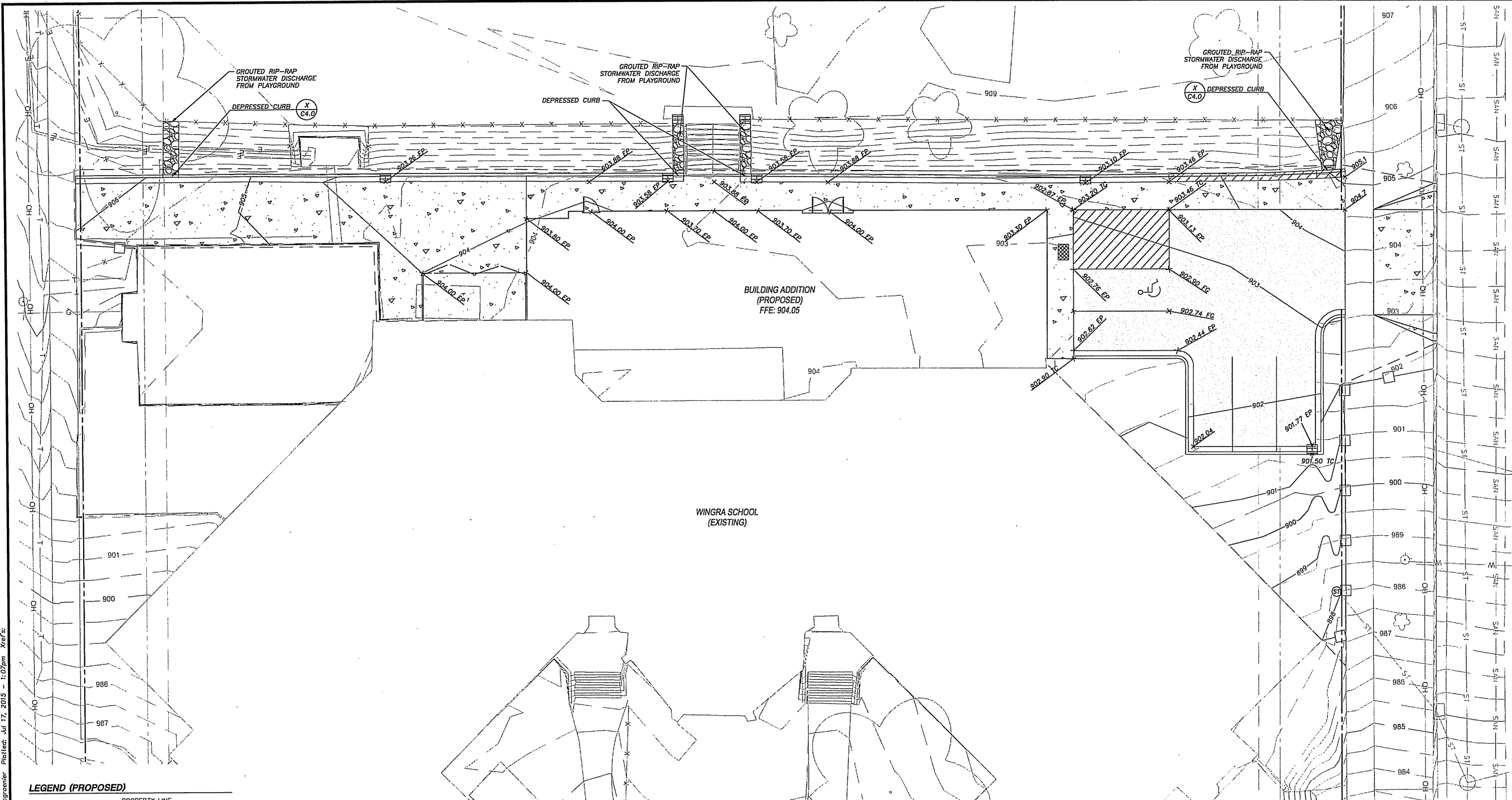
SHEET NUMBER:  
**C1.0**



THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



File: L:\2015\156655E\DWG\15-6655E Civil Design.dwg Layout: C2.0 - G&E User: epramier PlotDate: Jul 17, 2015 - 1:07pm Xref's:



**LEGEND (PROPOSED)**

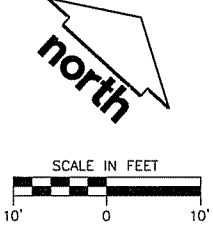
---	PROPERTY LINE
---	PROPOSED BUILDING OUTLINE
---	LIMITS OF DISTURBANCE
---	PROPOSED 1 FOOT CONTOUR
---	PROPOSED 5 FOOT CONTOUR
---	EXISTING 1 FOOT CONTOUR
---	EXISTING .5 FOOT CONTOUR
---	EXISTING 5 FOOT CONTOUR
---	EDGE OF PAVEMENT
---	SILT FENCE
---	ASPHALT PAVEMENT
---	CONCRETE PAVEMENT
---	CURB AND GUTTER
---	REJECT CURB & GUTTER
---	SPOT ELEVATION
---	EP - EDGE OF PAVEMENT
---	TC - TOP OF CURB
---	FG - FINAL GRADE

- GENERAL NOTES**
- REFER TO THE EXISTING CONDITIONS SURVEY, CONDUCTED ON FEBRUARY 20TH 2015, BY MSA PROFESSIONAL SERVICES FOR EXISTING CONDITIONS NOTES AND LEGEND.
  - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION AND CITY OF MADISON REQUIREMENTS.
  - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
  - THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE WDR WRAPP PERMIT APPLICATION STANDARDS.

- CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**
- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/runoff/stormwater/techstds.htm>
  - INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDR TECHNICAL STANDARDS.
  - INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
  - INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
  - EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
  - INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE MUNICIPALITY.
  - INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES AND PROVIDE TEMPORARY SEEDING ON STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
  - INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDR TECHNICAL STANDARDS.

- CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS, CONT.**
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
    - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
    - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
    - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
  - INSTALL TYPE D INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION.
  - APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
  - ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
  - ALL SLOPES EXCEEDING 5:1 (20%) AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WDOT APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL. SLOPES 3:1 (33%) SHALL BE STABILIZED AS SOON AS PRACTICABLE FOLLOWING GRADING ACTIVITIES ARE COMPLETE.
  - CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WISCONSIN SAFETY AND PROFESSIONAL SERVICES REQUIREMENTS.
  - CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDR TECHNICAL STANDARD 1068.
  - CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.
  - ALL APRON ENDWALLS SHALL BE PROVIDED WITH RIP RAP PER DETAILS.

- GRADING AND SEEDING NOTES**
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
  - ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
  - CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TIMES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SEEDING AND MULCHING TO PROMOTE INFILTRATION.
  - CONTRACTOR SHALL WATER ALL NEWLY SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
  - CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SEEDING AND MULCHING.
  - THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
  - IF GRADING ACTIVITIES STOP ON ANY PORTION OF LAND FOR 14 OR MORE CALENDAR DAYS, THE AREA IN QUESTION MUST BE TEMPORARILY STABILIZED.
  - ALL SLOPES 20% OR GREATER SHALL BE TEMPORARILY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE. ALL SLOPES 33% OR GREATER SHALL BE TEMPORARILY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM AS SOON AS PRACTICABLE.
  - WATER FLOWING DIRECTLY INTO BIORETENTION BASINS OR RAIN GARDENS SHALL BE TEMPORARILY DIVERTED FOR 60 DAYS TO ALLOW FOR PLANTING GROWTH.



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MADISON REGIONAL OFFICE  
 161 HORIZON DRIVE, SUITE 101  
 VERONA, WISCONSIN 53593  
 608.848.5050 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE  
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SERVICES PROVIDED TO:

**EPPSTEIN UHEN ARCHITECTS**

222 WEST WASHINGTON AVE.  
 MADISON, WI 53703-2775

PROJECT:

**WINGRA SCHOOL BUILDING ADDITION**

PROJECT LOCATION:  
 718 GILMORE STREET  
 MADISON, WI 53711

JSD PROJECT NO.: 15-6655E

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: PGB 7/13/2015  
 DRAWN: PGB 7/13/2015  
 APPROVED: BHD 7/14/2015

PLAN MODIFICATIONS:	DATE:
UDC	7/22/15

**DIGGERS HOTLINE**

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 Milwaukee Area (414) 252-1181  
 Hearing Impaired TDD (800) 542-2289  
[www.DiggersHotline.com](http://www.DiggersHotline.com)

SHEET TITLE:

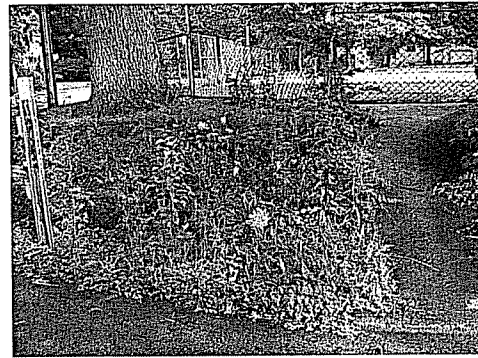
**GRADING AND EROSION CONTROL PLAN**

SHEET NUMBER:

**C2.0**

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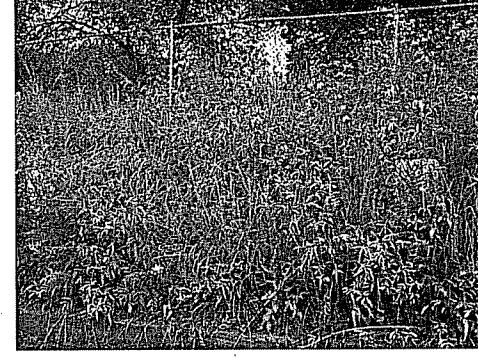




Existing West Shady Zone



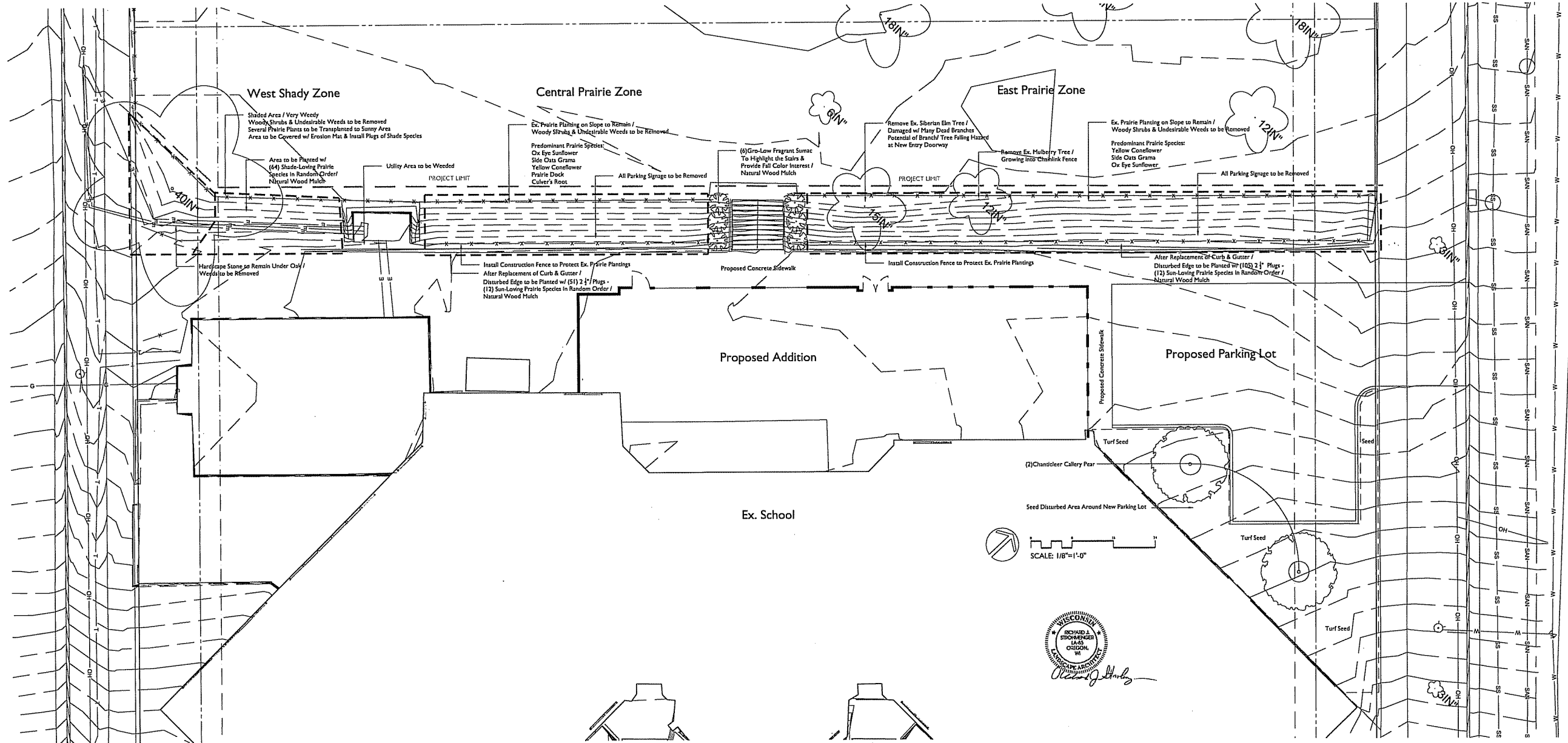
Existing Central Prairie Zone



Existing East Prairie Zone

Images of Existing Prairie Plantings

the blue company  
LANDSCAPE ARCHITECTS  
LANDSCAPE CONTRACTORS  
3810 PARKWAY STREET  
P.O. BOX 63323  
MILWAUKEE, WI 53263-0323  
TEL (414) 836-7041  
FAX (414) 831-6266



**GENERAL NOTES**

A) Areas labeled 'Natural Wood Mulch' shall be spread to a 3" depth over pre-emergent herbicide.

B) Invasive trees (and shrub groupings) located along perimeter of property as well as those found within lawn areas to receive wood mulch shall be removed. Invasive trees shall be removed to a minimum 3" depth (3" wide beds for shrub groupings).

C) 'Seed' areas shall be thin-graded and seeded at a rate of 4 lbs per 1,000 sq. ft.

D) Seed shall consist of the following mixture:  
10% Pioneer IV Perennial Ryegrass  
20% Dungen Kentucky Bluegrass  
20% Dred Kentucky Bluegrass  
20% Fairy II Clipping Tall Fescue  
15% Wolf & Parrotail Ryegrass  
15% Doney Kentucky Bluegrass

E) Areas labeled 'Seed with Straw Erosion Matting' shall be seeded with the above-noted premium lawn seed mixture and covered with 2025 straw erosion control matting that is then pressed into the seed with metal rollers.

F) Existing street trees shall be protected. Contractor shall install tree protection fencing in the area between the curb and sidewalk, and extend it at least 3 feet from both sides of the tree along the length of the kerf. No excavation is permitted within 3 feet of the outside edge of the tree trunk. If excavation within 3 feet of any tree is necessary, contractor shall contact City Forestry (608)264-4816 prior to excavation to assess the impact to the tree and root system. Tree pruning shall be coordinated with City Forestry. Tree protection specifications can be found in section 107.13 of City of Madison Standard Specifications for Public Works Construction: <http://www.cityofmadison.com/business/pw/documents/StdSpec/2013/>

G) Contractor shall contact City Forestry (608)264-4816 at least one week prior to installing street trees to schedule inspecting the nursery stock and reviewing landscaping specifications with the landscape.

**Broadleaf Deciduous**

Quantity	Common Name	Scientific Name	Planting Size
2	Chanticleer Callery Pear	Pyrus Calleryana 'chanticleer'	2 1/2" B&B

**Shrub**

Quantity	Common Name	Scientific Name	Planting Size
6	Gro-Low Fragrant Sumac	Rhus Aromatica 'gro-Low'	#5 CONT.

**Plant Material List**

Quantity	Common Name	Scientific Name	Planting Size
13	BIG BLUESTEM	ANDROPOGON GERARDII	2.5" POT
13	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	2.5" POT
13	INDIAN GRASS	SORBASTRILUM NUTANS	2.5" POT

**FORBS**

Quantity	Common Name	Scientific Name	Planting Size
13	SMOOTH ASTER	ASTER LAEVIS	2.5" POT
13	COLLARBINE	AQUILEGIA CANADENSIS	2.5" POT
13	PURPLE CONEFLOWER	ECHINACEA PURPUREA	2.5" POT
13	PRAIRIE BLAZING STAR	LINATIS PYNOSTACHYA	2.5" POT
13	BERGAMOT	HONARDA RSTULOSA	2.5" POT
13	YELLOW CONEFLOWER	RATIBIDA Pinnata	2.5" POT
13	SWEET BLACK-EYED SUSAN	RUDIBECKIA SUSTENTOSA	2.5" POT
13	STIFF GOLDENROD	SOLIDAGO RIGIDA	2.5" POT
13	CULVER'S ROOT	VERONICASTRUM VIRGINICUM	2.5" POT
13	GOLDEN ALEXANDER	ZIZIA AUREA	2.5" POT

**SUN-LOVING PRAIRIE PLANT LIST**

Quantity	Common Name	Scientific Name	Planting Size	Plant Spacing
13	BIG BLUESTEM	ANDROPOGON GERARDII	2.5" POT	12" O.C. Rect. Spacing
13	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	2.5" POT	12" O.C. Rect. Spacing
13	INDIAN GRASS	SORBASTRILUM NUTANS	2.5" POT	12" O.C. Rect. Spacing

**GRASSES**

Quantity	Common Name	Scientific Name	Planting Size	Plant Spacing
8	SILKY WILD RYE	ELYMUS VILLOSUS	2.5" POT	12" O.C. Rect. Spacing
8	BOTTLEBRUSH GRASS	HYSTRIX PATULA	2.5" POT	12" O.C. Rect. Spacing
8	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	2.5" POT	12" O.C. Rect. Spacing

**FORBS**

Quantity	Common Name	Scientific Name	Planting Size	Plant Spacing
8	LAVENDER HYSSOP	AGASTACHE FOENICULUM	2.5" POT	12" O.C. Rect. Spacing
8	COLLARBINE	AQUILEGIA CANADENSIS	2.5" POT	12" O.C. Rect. Spacing
8	DOWNY WOOD MINT	BLEPHILIA CLUATA	2.5" POT	12" O.C. Rect. Spacing
8	STIFF COREOPSIS	COREOPSIS PALMATA	2.5" POT	12" O.C. Rect. Spacing
8	WILD GERANIUM	WILD GERANIUM	2.5" POT	12" O.C. Rect. Spacing

**SHADE-LOVING PRAIRIE PLANT LIST**

Quantity	Common Name	Scientific Name	Planting Size	Plant Spacing
8	SILKY WILD RYE	ELYMUS VILLOSUS	2.5" POT	12" O.C. Rect. Spacing
8	BOTTLEBRUSH GRASS	HYSTRIX PATULA	2.5" POT	12" O.C. Rect. Spacing
8	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	2.5" POT	12" O.C. Rect. Spacing

**GRASSES**

Quantity	Common Name	Scientific Name	Planting Size	Plant Spacing
8	LAVENDER HYSSOP	AGASTACHE FOENICULUM	2.5" POT	12" O.C. Rect. Spacing
8	COLLARBINE	AQUILEGIA CANADENSIS	2.5" POT	12" O.C. Rect. Spacing
8	DOWNY WOOD MINT	BLEPHILIA CLUATA	2.5" POT	12" O.C. Rect. Spacing
8	STIFF COREOPSIS	COREOPSIS PALMATA	2.5" POT	12" O.C. Rect. Spacing
8	WILD GERANIUM	WILD GERANIUM	2.5" POT	12" O.C. Rect. Spacing

WINGRA SCHOOL BLDG. ADDITION - LANDSCAPE PLAN

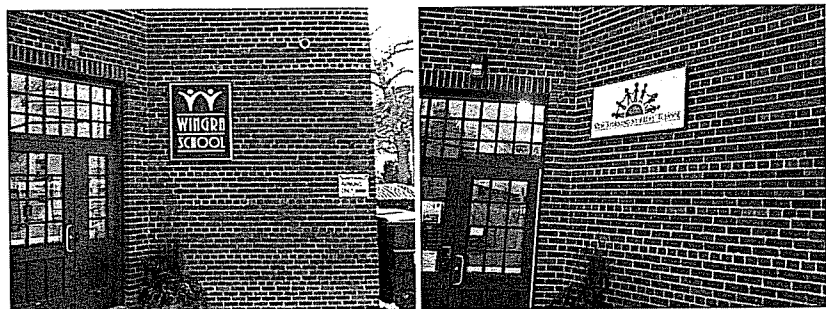
718 Gilmore Street  
Madison, Wisconsin  
53711

Checked By: SS  
Drawn By: 7/20/15 SR

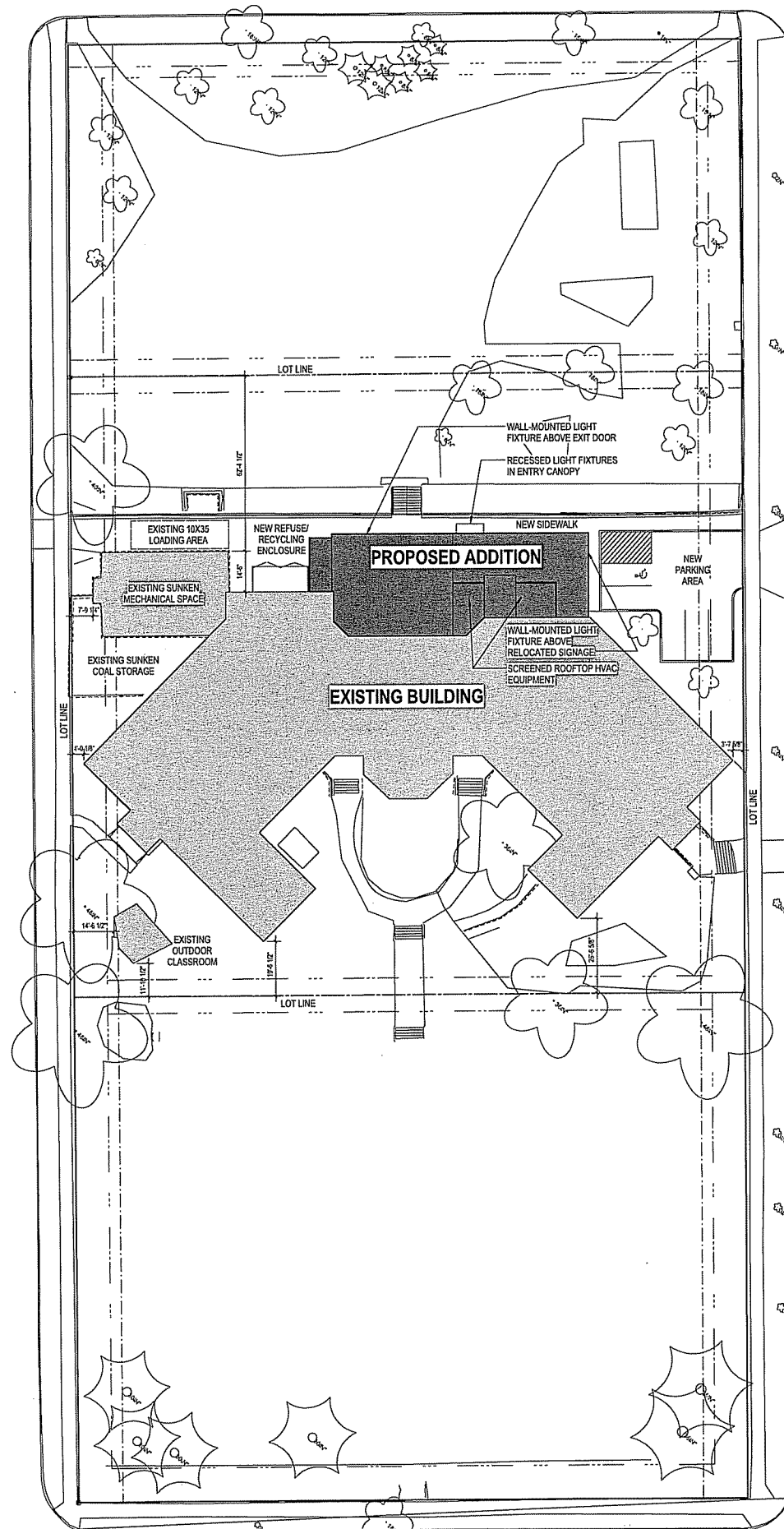
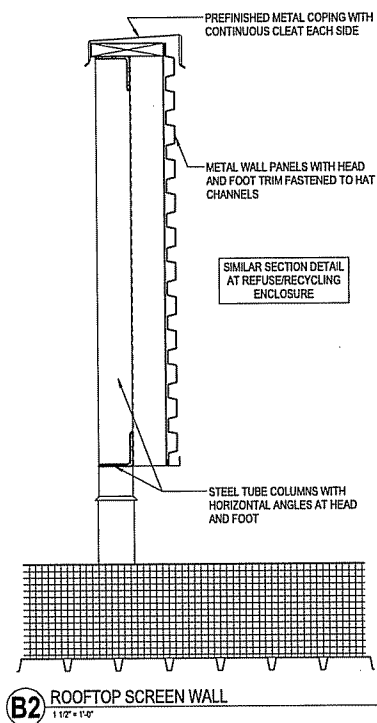
Revised:  
Revised:  
Revised:  
Revised:  
Revised:  
Revised:  
Revised:

L1

This plan was prepared for the purpose of providing a visual representation of the proposed landscape design. It is not intended to be used as a contract document. The landscape contractor shall be responsible for verifying the accuracy of the information provided on this plan and for obtaining all necessary permits and approvals. The landscape contractor shall also be responsible for ensuring that the proposed landscape design is implemented in accordance with the specifications and standards of the City of Madison.



**D1** EXISTING SIGNAGE TO BE RELOCATED  
1/16"



**A4** ARCHITECTURAL SITE PLAN  
1" = 20'



**eppstein uhen : architects**  
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 madison 222 West Washington Ave, Suite 650  
 Madison, Wisconsin 53703  
 telephone 608.442.5350

PROJECT INFORMATION

**WINGRA SCHOOL  
 ADDITION AND  
 RENOVATION**  
 MADISON, WI

ISSUANCE AND REVISIONS

**LAND USE  
 SUBMITTAL**

#	DATE	DESCRIPTION

KEY PLAN

SHEET INFORMATION

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

PROJECT MANAGER JR

PROJECT NUMBER 714377-01

DATE 08/03/2015

ARCHITECTURAL  
 SITE PLAN

**AS100**



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PROJECT MANAGER JR

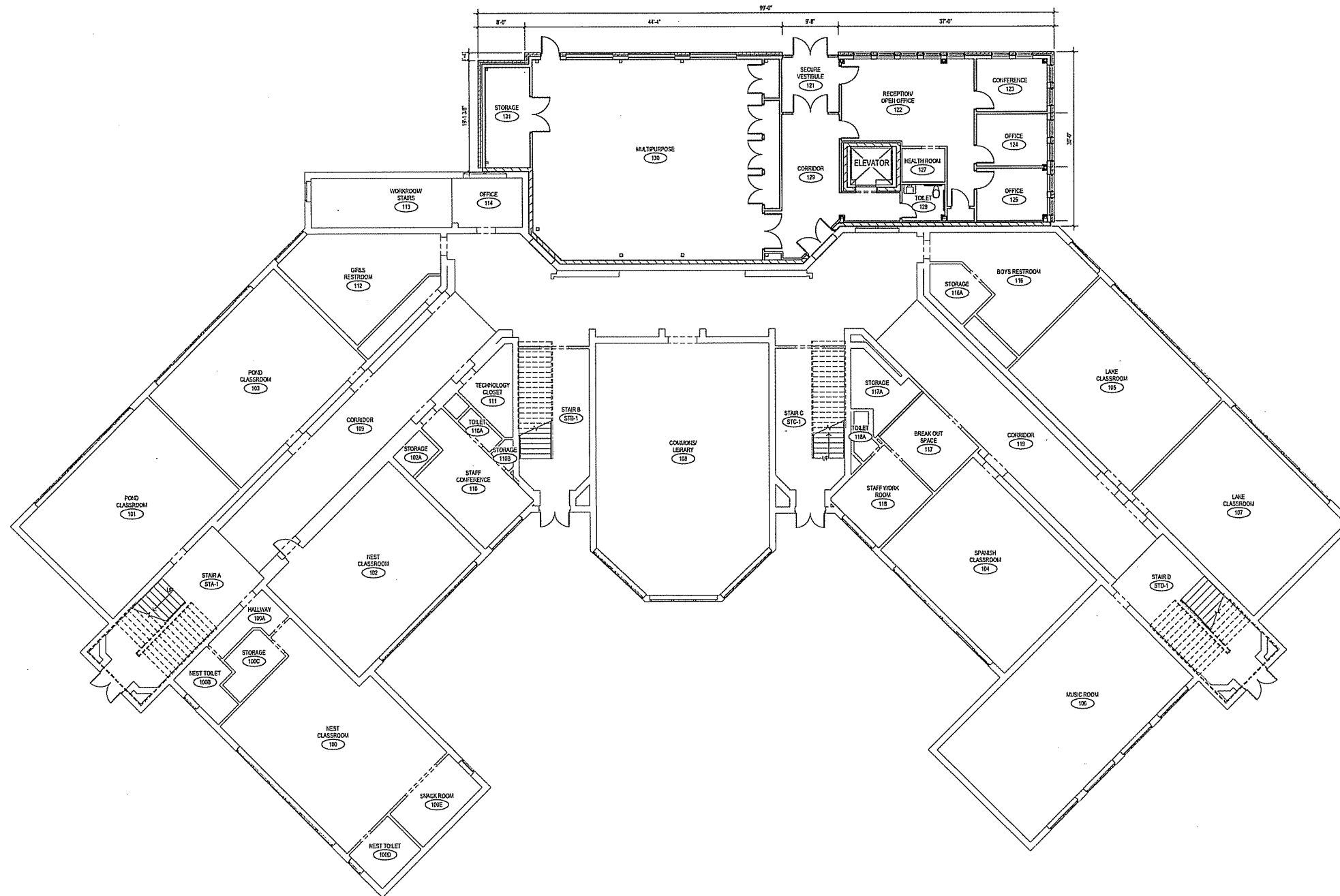
PROJECT NUMBER 714377-01

DATE 08/03/2015

FIRST FLOOR PLAN

**A101**

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**A1** FIRST FLOOR PLAN  
 1/8" = 1'-0"



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Madison, Wisconsin 53703  
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PROJECT INFORMATION

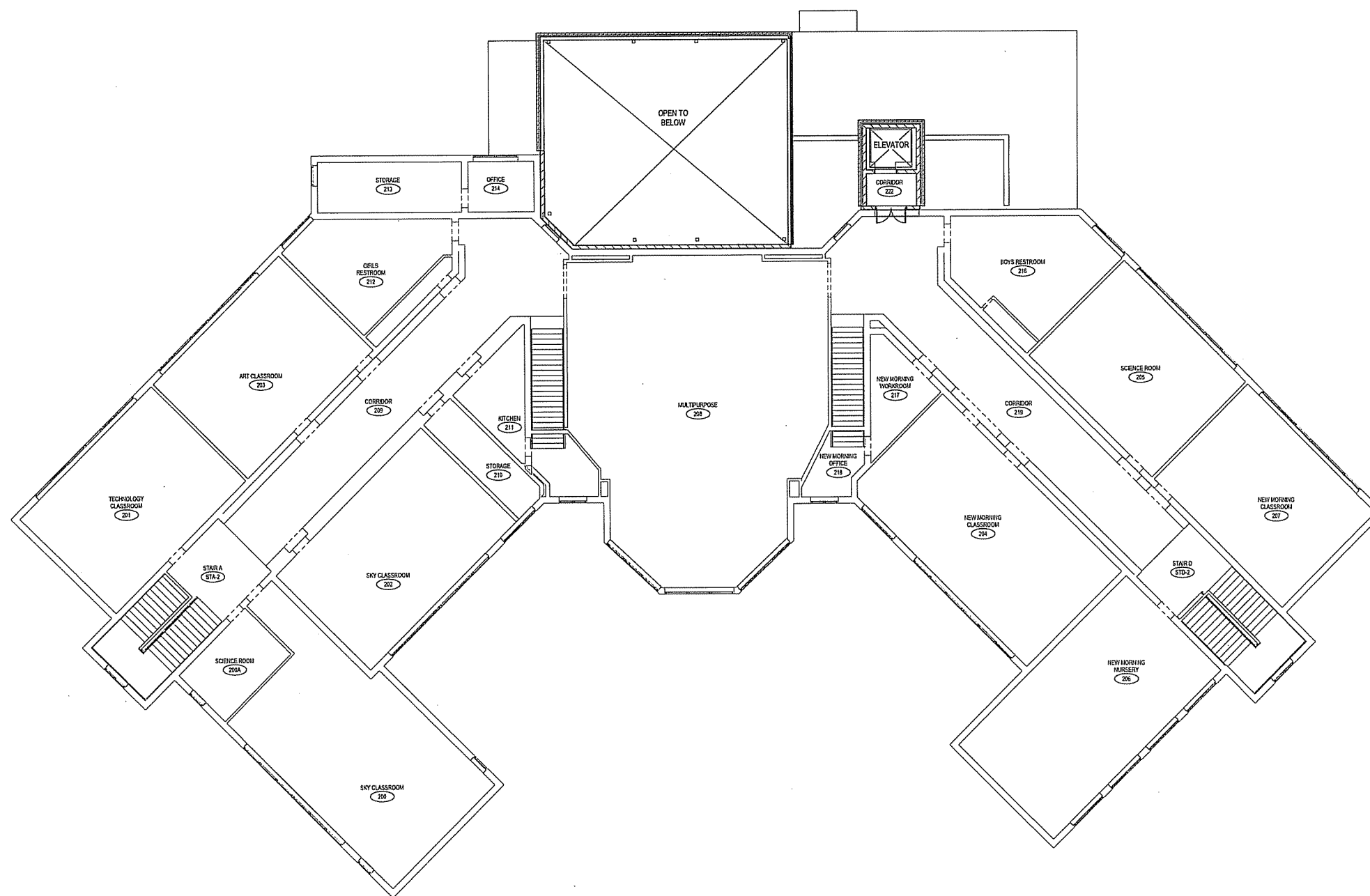
WINGRA SCHOOL  
ADDITION AND  
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MADISON, WI

ISSUANCE AND REVISIONS

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#	DATE	DESCRIPTION

KEY PLAN



A1 SECOND FLOOR PLAN  
1/8" = 1'-0"

SHEET INFORMATION

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PROJECT MANAGER JR

PROJECT NUMBER 714377-01

DATE 08/03/2015

SECOND FLOOR  
PLAN

A102



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**PROJECT INFORMATION**  
**WINGRA SCHOOL**  
**ADDITION AND**  
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**MADISON, WI**

**ISSUANCE AND REVISIONS**  
**LAND USE**  
**SUBMITTAL**

#	DATE	DESCRIPTION

**KEY PLAN**

**SHEET INFORMATION**

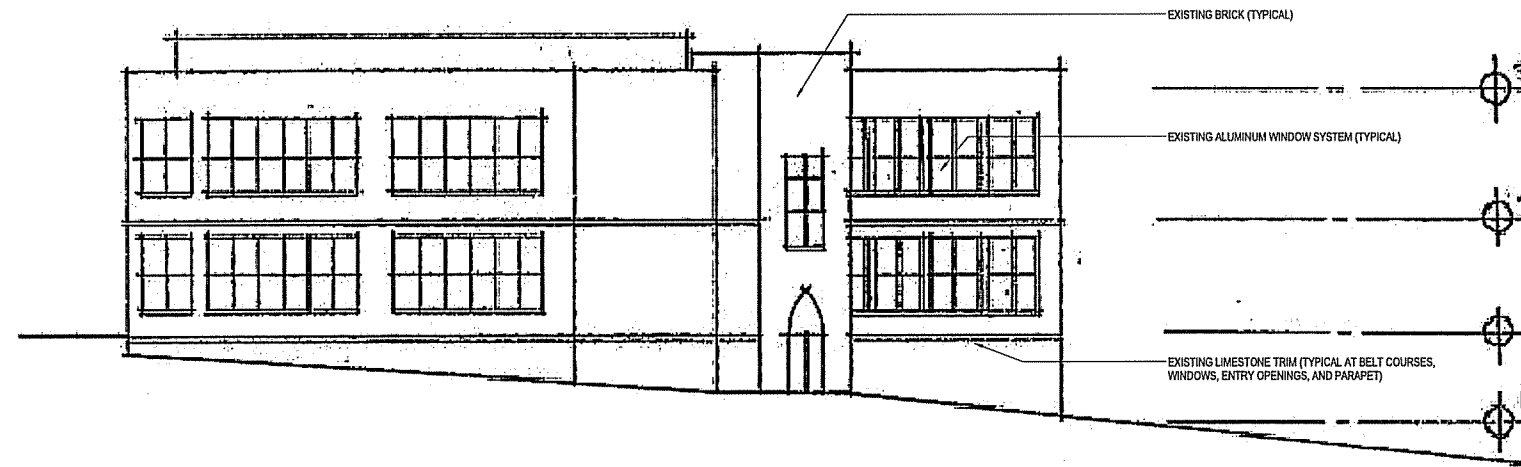
**PROGRESS DOCUMENTS**  
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**PROJECT MANAGER** JR  
**PROJECT NUMBER** 714377-01  
**DATE** 08/03/2015

**EXTERIOR**  
**ELEVATIONS**

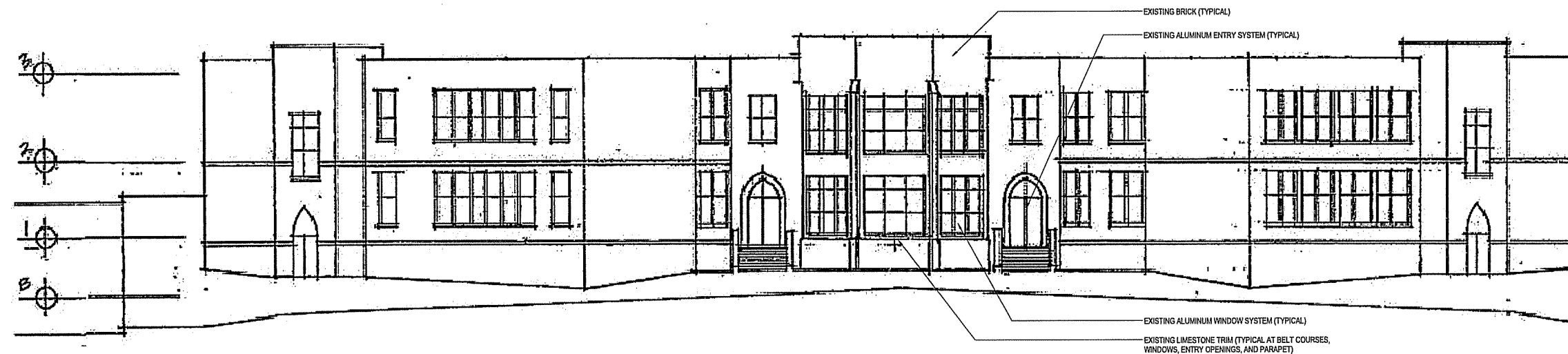
**A200**

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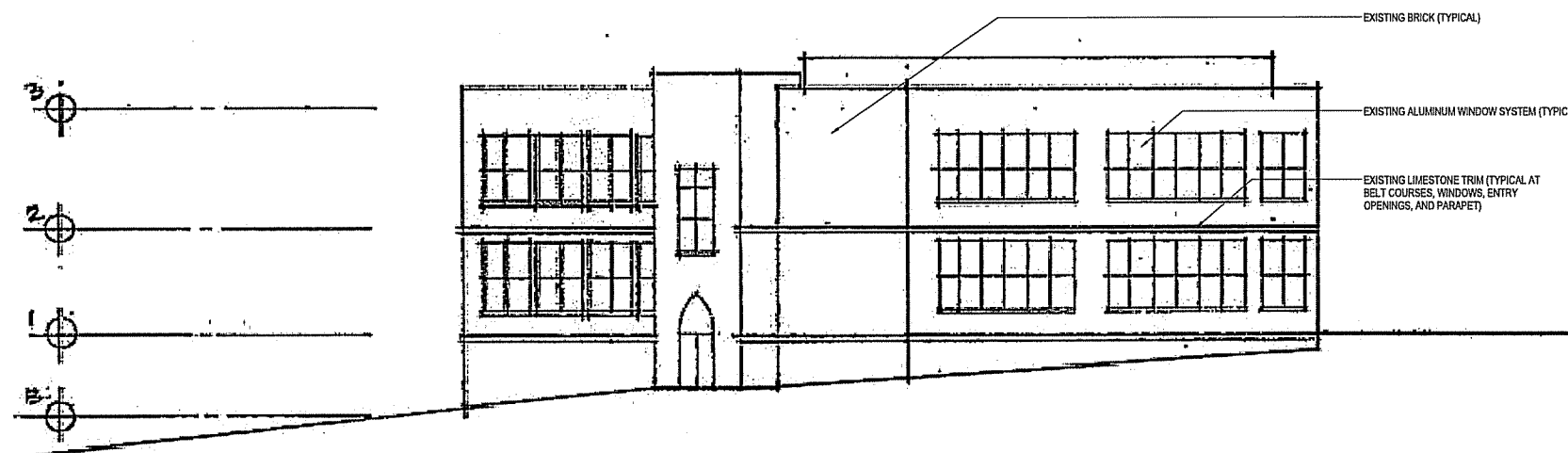
**D3 WEST EXTERIOR ELEVATION**  
 1/8" = 1'-0"

ELEVATION PROVIDED BY MARK ENGMAN OF BWZ ARCHITECTS AS PART OF 2007 LAND USE SUBMITTAL. IMAGE REPRINTED COURTESY OF BWZ ARCHITECTS.



**B1 SOUTH EXTERIOR ELEVATION**  
 1/8" = 1'-0"

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**A2 EAST EXTERIOR ELEVATION**  
 1/8" = 1'-0"

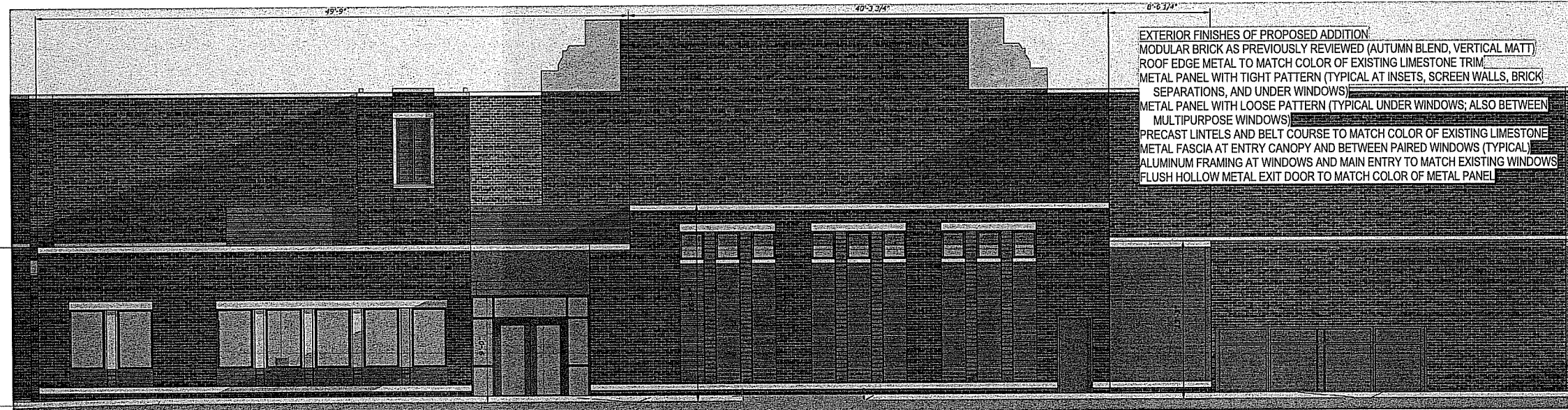
ELEVATION PROVIDED BY MARK ENGMAN OF BWZ ARCHITECTS AS PART OF 2007 LAND USE SUBMITTAL. IMAGE REPRINTED COURTESY OF BWZ ARCHITECTS.



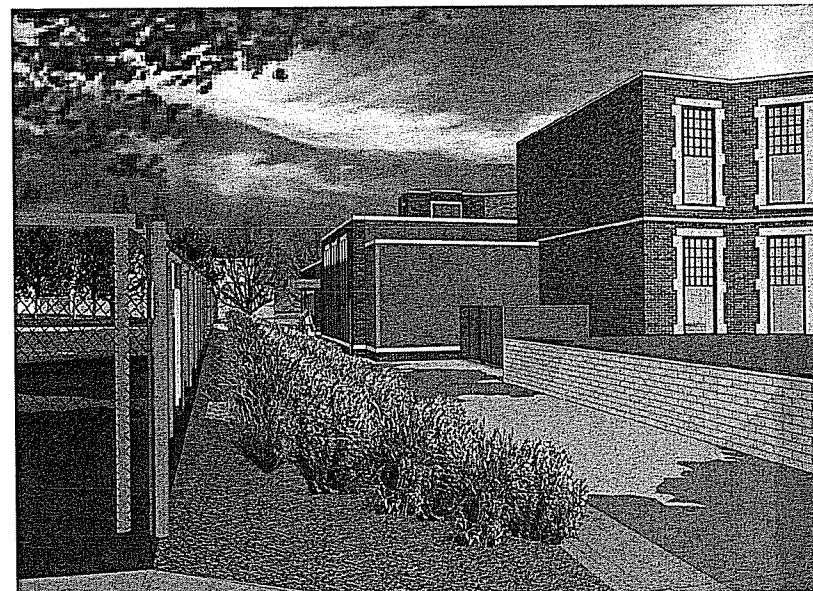
**D1** VIEW FROM GILMORE ST  
1/8" = 1'-0"



**D3** PROPOSED EAST ELEVATION  
1/8" = 1'-0"



**B1** PARTIAL PROPOSED NORTH ELEVATION  
1/8" = 1'-0"



**A1** VIEW FROM WESTERN AVE  
1/8" = 1'-0"



**A3** PROPOSED WEST ELEVATION  
1/8" = 1'-0"



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PROJECT INFORMATION

**WINGRA SCHOOL  
 ADDITION AND  
 RENOVATION**  
 MADISON, WI

ISSUANCE AND REVISIONS

**LAND USE  
 SUBMITTAL**

#	DATE	DESCRIPTION

KEY PLAN

SHEET INFORMATION

PROGRESS DOCUMENTS

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PROJECT MANAGER JR  
 PROJECT NUMBER 714377-01  
 DATE 08/03/2015

EXTERIOR  
 ELEVATIONS

**A201**





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PROJECT INFORMATION

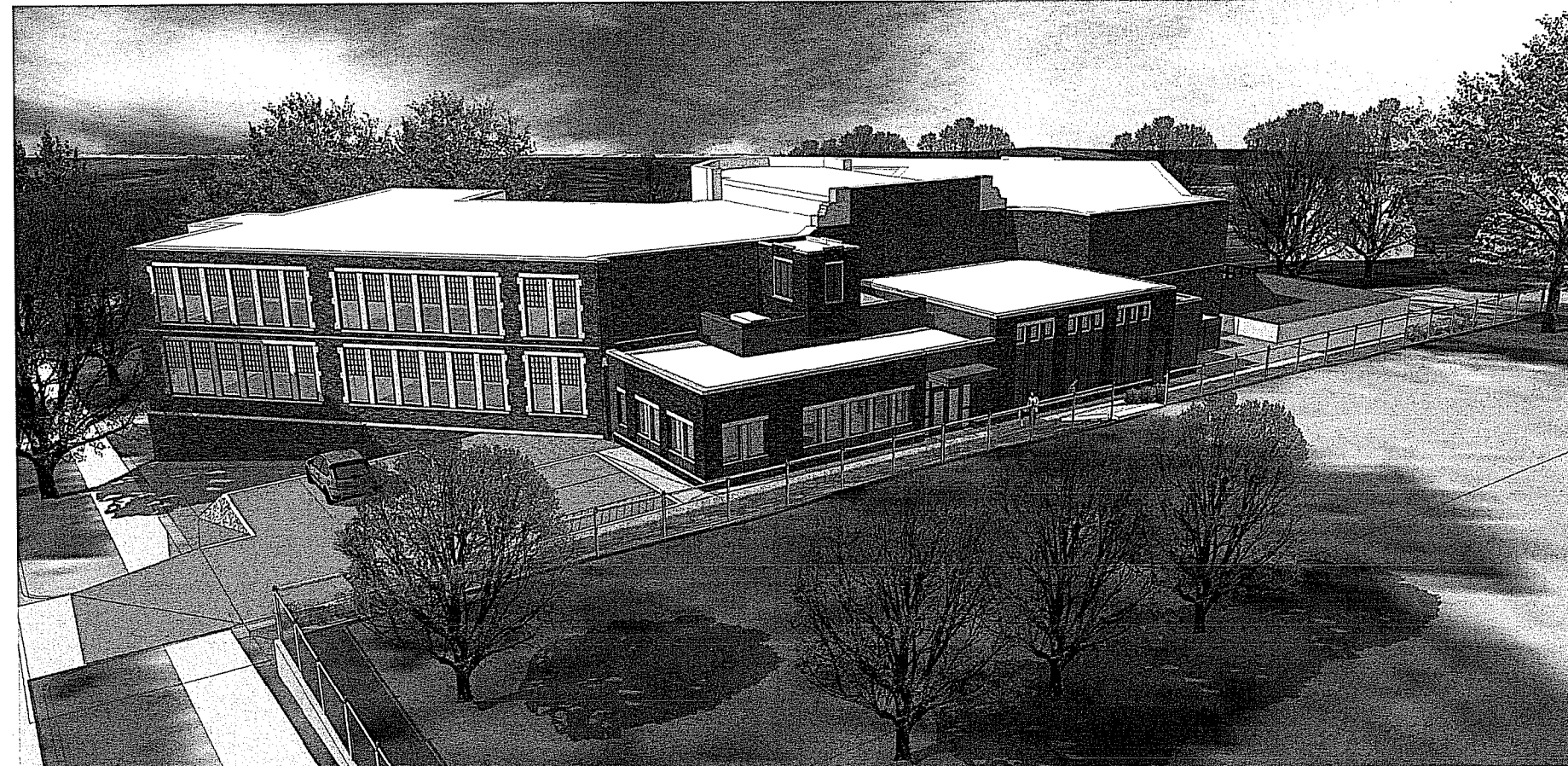
WINGRA SCHOOL  
ADDITION AND  
RENOVATION

MADISON, WI

ISSUANCE AND REVISIONS

LAND USE  
SUBMITTAL

#	DATE	DESCRIPTION



C2 AERIAL PERSPECTIVE  
HTS

KEY PLAN



B1 PROPOSED NORTH ELEVATION  
1/8" = 1'-0"

**EXTERIOR FINISHES OF PROPOSED ADDITION**  
 MODULAR BRICK AS PREVIOUSLY REVIEWED (AUTUMN BLEND, VERTICAL MATT)  
 ROOF EDGE METAL TO MATCH COLOR OF EXISTING LIMESTONE TRIM  
 METAL PANEL WITH TIGHT PATTERN (TYPICAL AT INSETS, SCREEN WALLS, BRICK SEPARATIONS, AND UNDER WINDOWS)  
 METAL PANEL WITH LOOSE PATTERN (TYPICAL UNDER WINDOWS; ALSO BETWEEN MULTIPURPOSE WINDOWS)  
 PRECAST LINTELS AND BELT COURSE TO MATCH COLOR OF EXISTING LIMESTONE  
 METAL FASCIA AT ENTRY CANOPY AND BETWEEN PAIRED WINDOWS (TYPICAL)  
 ALUMINUM FRAMING AT WINDOWS AND MAIN ENTRY TO MATCH EXISTING WINDOWS  
 FLUSH HOLLOW METAL EXIT DOOR TO MATCH COLOR OF METAL PANEL

SHEET INFORMATION

PROGRESS DOCUMENTS

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PROJECT MANAGER JR

PROJECT NUMBER 714377-01

DATE 08/03/2015

EXTERIOR  
ELEVATIONS

A202