



# City of Madison

## Proposed Demolition & Conditional Use

Location  
721 South Gammon Road

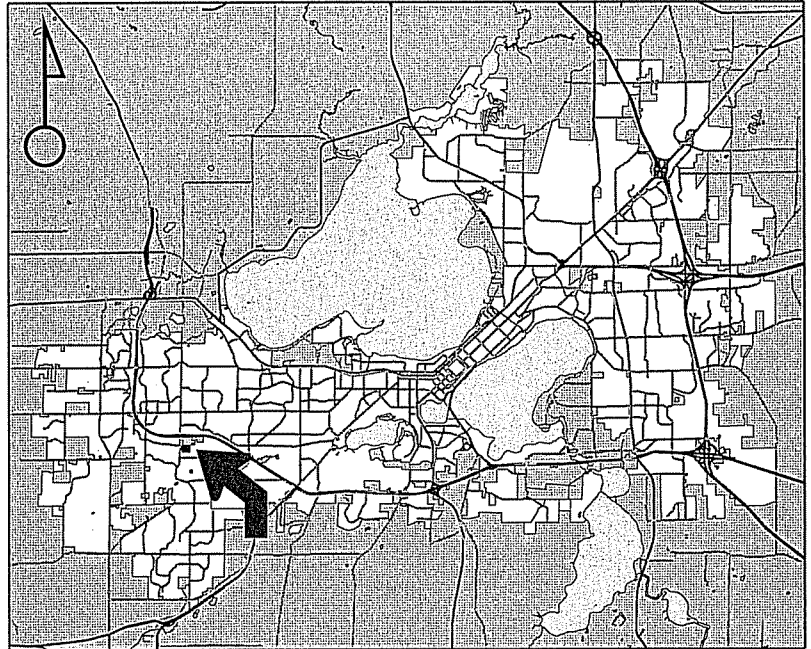
Project Name  
Woodman's Gas Station

Applicant  
Woodman's Food Market/Jim Arneson -  
Building Systems General Corp

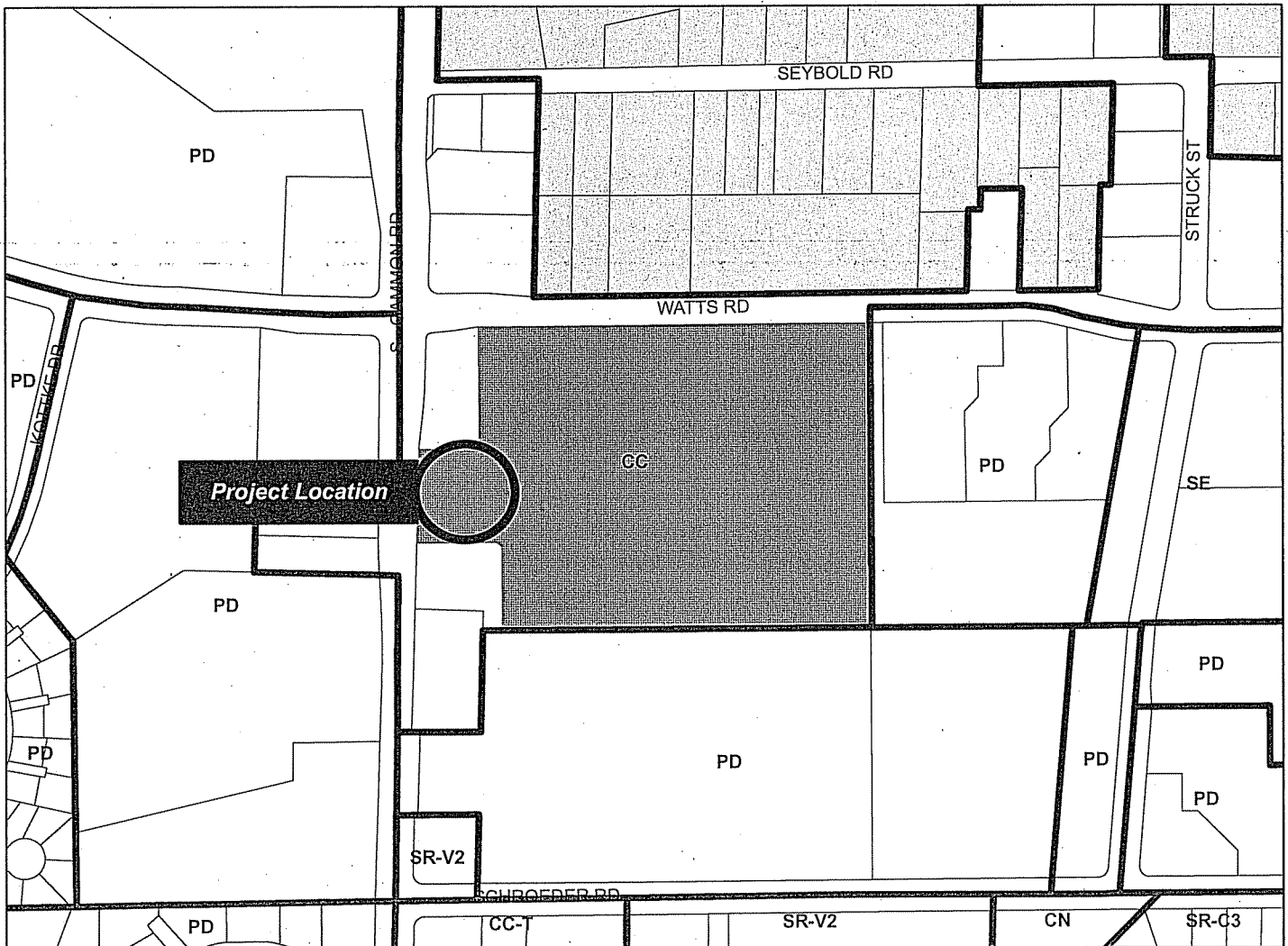
Existing Use  
Gas Station

Proposed Use  
Demolish existing gas station and  
convenience store and construct  
new gas station and convenience store

Public Hearing Date  
Plan Commission  
28 April 2014



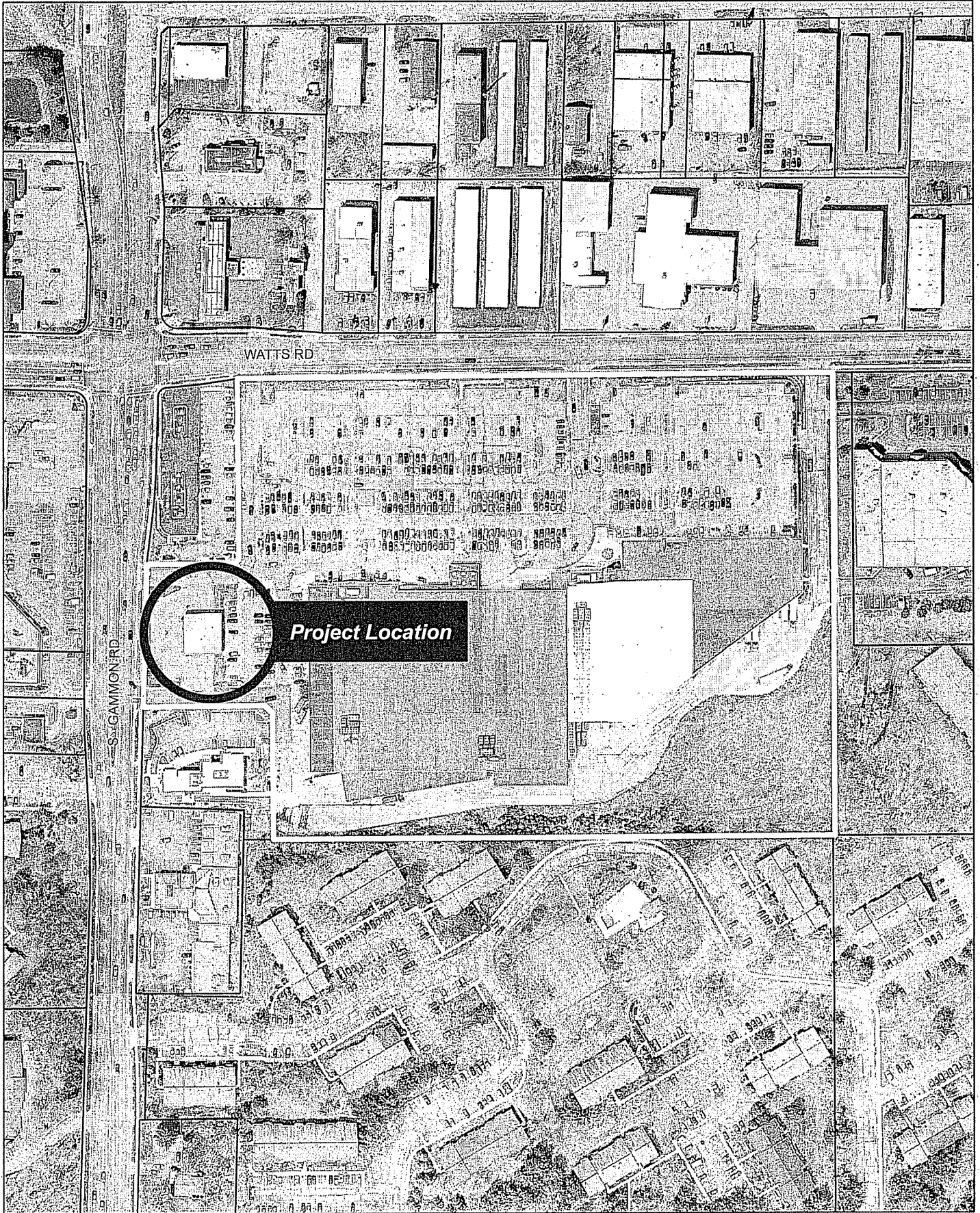
For Questions Contact: Tim Parks at: 261-9632 or [tparks@cityofmadison.com](mailto:tparks@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 16 April 2014

10





# LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:  
[www.cityofmadison.com/developmentcenter/landdevelopment](http://www.cityofmadison.com/developmentcenter/landdevelopment)

FOR OFFICE USE ONLY:	
Amt. Paid <u>600-</u>	Receipt No. <u>151561</u>
Date Received <u>2/19/14</u>	
Received By <u>DOF</u>	
Parcel No. <u>0708-253-0102-4</u>	
Aldermanic District <u>19-CLEAR</u>	
Zoning District <u>CC</u>	
Special Requirements <u>UDD #2, Ex.C.U.</u>	
Review Required By:	
<input checked="" type="checkbox"/> Urban Design Commission	<input checked="" type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. **Project Address:** 721 South Gammon Road  
**Project Title (if any):** Woodman's Gas Station

### 2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from \_\_\_\_\_ to \_\_\_\_\_
- Major Amendment to Approved PD-GDP Zoning      Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: \_\_\_\_\_

### 3. Applicant, Agent & Property Owner Information:

**Applicant Name:** Jim Arneson     Company: Building Systems General Corp.  
**Street Address:** 5972 Executive Drive, Suite 100     City/State: Madison, WI     Zip: 53719  
**Telephone:** (608) 663-6233     Fax: (608) 276-4468     Email: jarneson@bsgc-wi.com

**Project Contact Person:** Jim Arneson     Company: Building Systems General Corp.  
**Street Address:** 5972 Executive Drive, Suite 10     City/State: Madison, WI     Zip: 53719  
**Telephone:** (608) 663-6233     Fax: (608) 276-4468     Email: jarneson@bsgc-wi.com

**Property Owner (if not applicant):** Woodman's Food Market, Inc.  
**Street Address:** 2631 Liberty Lane     City/State: Janesville, WI     Zip: 53545

### 4. Project Information:

Provide a brief description of the project and all proposed uses of the site: Demolition of the existing Woodman's gas station and construction of a new gas station.

Development Schedule: Commencement May 2014     Completion September 2014

## 5. Required Submittal Information

All Land Use applications are required to include the following:

**Project Plans** including:\*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

\* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

**Letter of Intent: Provide one (1) Copy per Plan Set** describing this application in detail including, but not limited to:

- |   |   |  |
|---|---|--|
| • Project Team                                | • Building Square Footage                       | • Value of Land  |
| • Existing Conditions                         | • Number of Dwelling Units                      | • Estimated Project Cost                                     |
| • Project Schedule                            | • Auto and Bike Parking Stalls                  | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft <sup>2</sup> of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested                                   |
| • Hours of Operation                          |   |  |

**Filing Fee:** Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

**Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

**Additional Information** may be required, depending on application. Refer to the Supplemental Submittal Requirements.

## 6. Applicant Declarations

**Pre-application Notification:** The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:  
Mark Clear, 2-18-14 (Met and Discussed Project, Alder Clear Supports the Project) No Associations.

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

**Pre-application Meeting with Staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Timothy Parks Date: 2-17-14 Zoning Staff: Patrick Anderson Date: 2-17-14

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Jim Arneson Relationship to Property: Construction Manager

Authorizing Signature of Property Owner  Date 2-18-14



NEW GAS STATION  
**WOODMAN'S**

721 S. GAMMON ROAD  
MADISON, WISCONSIN

**PLAN COMMISSION / URBAN DESIGN SUBMITTAL**



**Building Systems  
General Corp.**

5972 Executive Drive Suite 100  
Madison, Wisconsin 53719  
Phone: (608) 276-4400  
Fax: (608) 276-4468

**WOODMAN'S  
MARKETS**  
EMPLOYEE OWNED

**PROJECT NAME**

WOODMAN'S  
NEW GAS STATION

721 SOUTH GAMMON ROAD  
MADISON, WISCONSIN

**CONSULTANTS**

**PROJECT TEAM**

**DESIGN/BUILD CONTRACTOR**

**BUILDING SYSTEMS GENERAL CORP.**

5972 EXECUTIVE DRIVE SUITE 100 PHONE: 608 276-4400  
MADISON, WI 53719 FAX: 608 276-4468

**PLUMBING**

**MICK BALTES PLUMBING INC.**

4125 MEYER AVENUE PHONE: 608 235-1827  
MADISON, WI 53711

**CIVIL**

**SNYDER & ASSOCIATES, INC.**

5010 VOGES ROAD PHONE: 608 838-0444  
MADISON, WI 53718 FAX: 608 838-0445

**MECHANICAL**

**LARSON & DARBY GROUP**

4949 HARRISON AVENUE SUITE 100 PHONE: 815 484-0739  
PO BOX 5207 FAX: 815 229-9867  
ROCKFORD, IL 61125-0207

**ARCHITECTURAL**

**LARSON & DARBY GROUP**

4949 HARRISON AVENUE SUITE 100 PHONE: 815 484-0739  
PO BOX 5207 FAX: 815 229-9867  
ROCKFORD, IL 61125-0207

**ELECTRICAL**

**LARSON & DARBY GROUP**

4949 HARRISON AVENUE SUITE 100 PHONE: 815 484-0739  
PO BOX 5207 FAX: 815 229-9867  
ROCKFORD, IL 61125-0207

**EXHIBIT INDEX**

**LAND USE APPLICATION**

LETTER OF INTENT  
PERSPECTIVE RENDERINGS  
ELEVATION RENDERINGS  
EXISTING SITE AND DEMOLITION PLAN  
PROPOSED SITE PLAN  
PROPOSED GRADING PLAN  
LANDSCAPE PLAN  
LANDSCAPE CONSTRUCTION NOTES  
PROPOSED CIRCULATION PLAN  
FLOOR PLAN & EXTERIOR ELEVATIONS (1/4"=20' SCALE)  
FLOOR PLAN & ROOF PLAN  
EXTERIOR ELEVATIONS & BUILDING SECTIONS  
SITE PHOTOMETRICS  
GAS CANOPY LIGHTING PRODUCT CUT SHEET  
SITE AERIAL PHOTOGRAPH  
CONTEXT PHOTOS  
CONTEXT PHOTOS  
CONTEXT PHOTOS  
CONTEXT PHOTOS  
CONTEXT PHOTOS

**URBAN DESIGN COMMISSION**

COMPREHENSIVE DESIGN REVIEW  
EXTERIOR SIGNAGE PLAN  
SIGN INVENTORY  
EXISTING SIGNAGE SURVEY  
EXISTING SIGNAGE SURVEY  
EXISTING SIGNAGE SURVEY

DRAWN  
CHECKED  
APPROVED

REVISION:

. . .  
. . .  
. . .  
. . .  
. . .  
. . .  
. . .  
. . .  
. . .  
. . .  
. . .  
. . .  
. . .  
. . .  
. . .

DATE:

SCALE:

BSGC PROJECT NO.

2252E

BSGC DRAWING NO.

13-112

SHEET TITLE

PROJECT TEAM &  
EXHIBIT INDEX

SHEET NO.

---

# Building Systems General Corp.

5972 Executive Drive  
Suite 100  
Madison, WI 53719

**Phone:** 608-276-4400  
**Fax:** 608-276-4468

---

# Letter Of Intent

February 19, 2014 (Updated March 3, 2014)

City of Madison  
Department of Planning & Community & Economic Development  
215 Martin Luther King, Jr. Boulevard  
Madison, WI 53701-2984

## LAND USE APPLICATION LETTER OF INTENT

**Project:** Woodman's Gas Station  
721 South Gammon Road  
Madison, WI 53719

### Project Team:

**Owner:** Woodman's Food Market, Inc.  
2631 Liberty Lane  
Janesville, WI 53545

**Design/Build Contractor:** Building Systems General Corporation  
5972 Executive Drive, Suite 100  
Madison, WI 53719

**Architect/MEP Engineer:** The Larson & Darby Group  
4949 Harrison Avenue, Suite 100  
Rockford, IL 61125

**Civil Engineer:** Snyder & Associates  
5010 Voges Road  
Madison, WI 53718

**Existing Conditions:** The property is currently occupied by Woodman's gas station. Woodman's Food Market, Inc. proposes to demolish the existing gas station and replace it with a new gas station.

**Project Schedule:** Start – May 2014                      Completion – September 2014

**Proposed Uses:** The property will contain a 1,320 square foot convenience store and six fuel dispensers located under a 5,050 square foot canopy. Fuel delivery will occur during unattended hours of operation to avoid conflict with the accessible parking stall. There will be no intercom/speakers located outside the gas station building or within the canopy. Speakers will be provided at each dispenser for direct communication with the attendant. There will be no outside sales and there will be no outside displays. Trash is collected

by personnel from the adjoining grocery store, is sorted into recyclables and trash, and is placed in receptacles located at the grocery store.

Hours of Operation: Attended – 6 AM to 9 PM Unattended – 24/7

Building Square Footage: 1,320 square foot convenience store  
5,050 square foot canopy.

Auto & Bike Parking Stalls: One (1) Accessible Auto Stall.  
Two (2) Auto Stalls.  
Two (2) Bike Stalls

Lot Coverage: ~~21,730~~ 21,991 square feet total, ~~15,294~~ 14,898 square feet is impervious  
(pavement, curb, sidewalk, and building)

Usable Open Space: ~~6,436~~ 7,093 square feet is pervious (grass).

Value of Land: The gas station resides within the Woodman's Food Market property. The property consists of 17.22 acres and has a fair market value of \$3,838,281.00.

Estimated Project Cost: \$1,350,000.00.

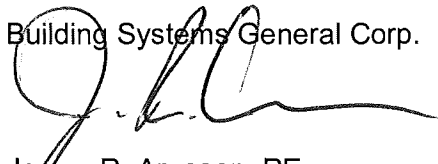
Number of Construction: The gas station project will employ 10-12 full-time equivalent workers for the  
Jobs Created duration of the construction.

Number of Employees: The gas station will employ one person during the hours the convenience store is  
attended.

Public Subsidy Required: None.

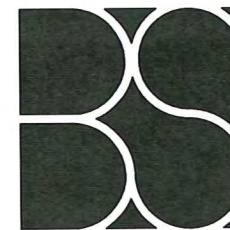
Submitted,

Building Systems General Corp.



James R. Arneson, PE  
Vice President  
(608)663-6233  
jarneson@bsgc-wi.com





**Building Systems  
General Corp.**

5972 Executive Drive, Suite 100  
Madison, Wisconsin 53719  
Phone: (608) 276-4400  
Fax: (608) 276-4468

**WOODMAN'S  
MARKETS**  
EMPLOYEE OWNED

**PROJECT NAME**

WOODMAN'S  
FOOD MARKET  
REMODELING

721 SOUTH GAMMON ROAD  
MADISON, WISCONSIN

**CONSULTANTS**

DRAWN	LDG
CHECKED	DJR
APPROVED	GWF

REVISION:

1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	

DATE: \_\_\_\_\_

SCALE: NONE

BSGC PROJECT NO. \_\_\_\_\_

BSGC DRAWING NO. \_\_\_\_\_

13-112

SHEET TITLE \_\_\_\_\_

PERSPECTIVE  
RENDERINGS

SHEET NO. \_\_\_\_\_

COPYRIGHT 2013 BUILDING SYSTEMS GENERAL CORP.



PERSPECTIVES

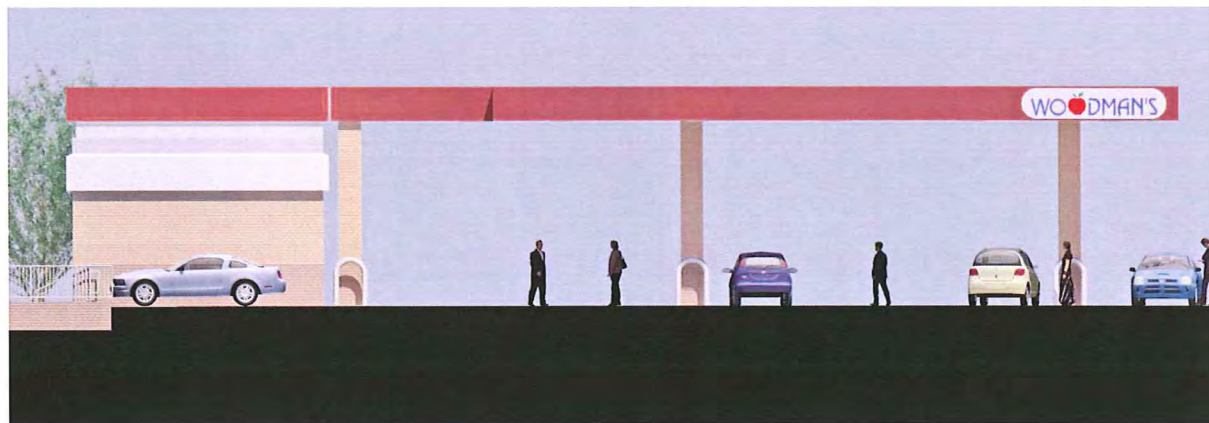




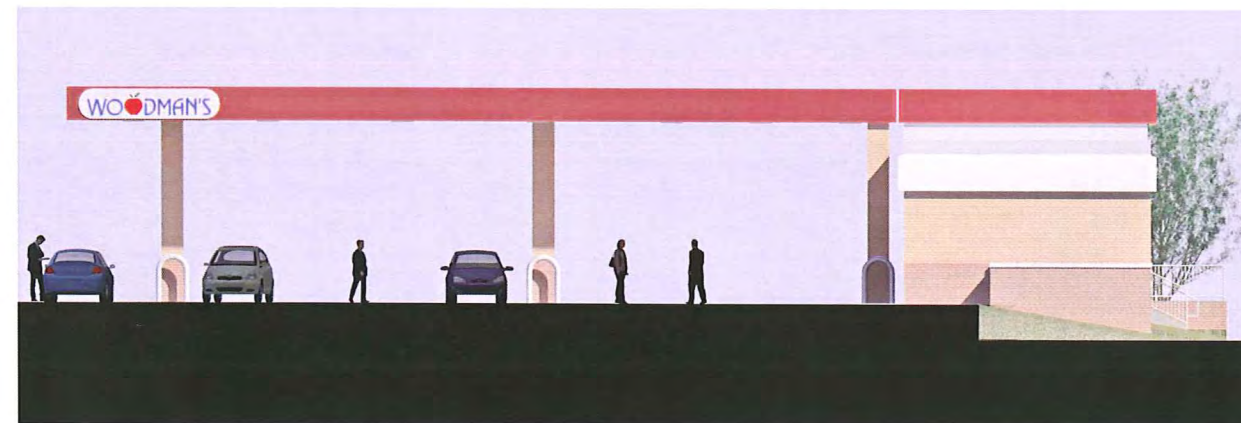
EAST ELEVATION



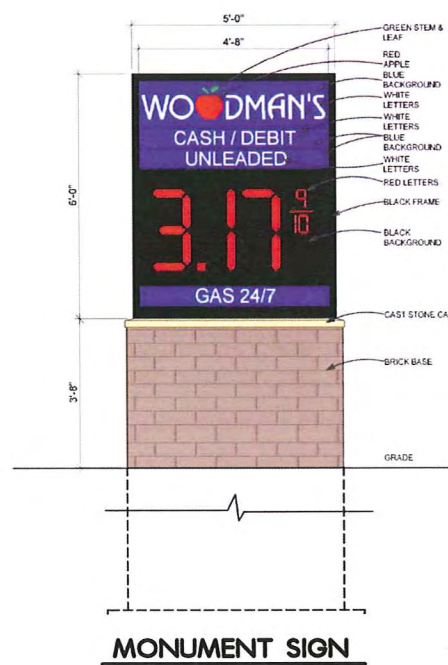
WEST ELEVATION



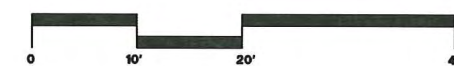
NORTH ELEVATION



SOUTH ELEVATION



MATERIALS LIST



**Building Systems  
General Corp.**  
 5972 Executive Drive Suite 100  
 Madison, Wisconsin 53719  
 Phone: (608) 276-4400  
 Fax: (608) 276-4468



**PROJECT NAME**

**WOODMAN'S  
FOOD MARKET  
REMODELING**

721 SOUTH GAMMON ROAD  
MADISON, WISCONSIN

**CONSULTANTS**

DRAWN	LDO
CHECKED	DJR
APPROVED	GWF

**REVISION:**

•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•

DATE:

SCALE:

1/8" = 1'-0"

BSGC PROJECT NO.

BSGC DRAWING NO.

13-112

SHEET TITLE

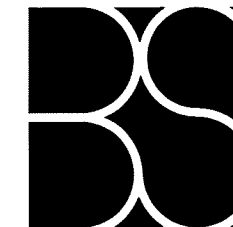
**ELEVATION  
RENDERINGS**

SHEET NO.

COPYRIGHT 2013 BUILDING SYSTEMS GENERAL CORP.







**Building Systems  
General Corp.**

5972 Executive Drive Suite 100  
Madison, Wisconsin 53719  
Phone: (608) 276-4400  
Fax: (608) 276-4468

**WOODMAN'S  
MARKETS**  
EMPLOYEE OWNED

PROJECT NAME

**NEW GAS STATION  
WOODMAN'S**

721 SOUTH GAMMON ROAD  
MADISON, WISCONSIN

CONSULTANTS



**SNYDER & ASSOCIATES**  
Engineers and Planners

5010 VOGES ROAD  
MADISON, WISCONSIN 53718  
608-838-0444 | www.snyder-associates.com

P:\PROJECTS\B\BUI20\Design\BUI20-BASE.dwg

DRAWN: M. WAHL  
CHECKED:  
APPROVED: M. CALKINS  
REVISION:

- 2/26/14 SIGN DIMENSION
- 3/4/14 WALL & EQUIPMENT ADDITIONS
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 

DATE:

2/17/14

SCALE:

1" = 20'

BSGC PROJECT NO.

2252E

BSGC DRAWING NO.

13-112

SHEET TITLE

**PROPOSED  
SITE PLAN**

SHEET NO.

**C1.2**

COPYRIGHT 2014 BUILDING SYSTEMS GENERAL CORP.

**NOTES**

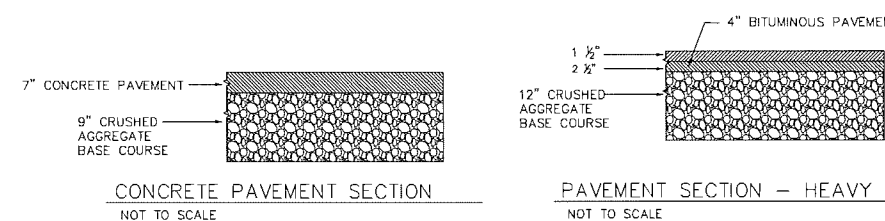
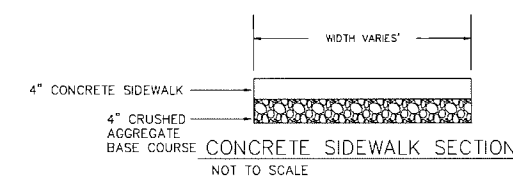
1. THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. VERIFY LOCATION OF ALL UTILITIES BEFORE CONSTRUCTION.
2. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS SHALL BE REPAIRED BY THE CONTRACTOR TO THE OWNERS SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
3. ALL CONSTRUCTION WORK SHALL BE GOVERNED BY THE CURRENT EDITION OF THE "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN", AND THE STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS.
4. NOTIFY OWNER, ENGINEER AND CITY OF MADISON AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
5. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT VERIFICATION OF ALL SITE IMPROVEMENTS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONSTRUCT ALL SITE IMPROVEMENTS AND UTILITIES IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
6. THE CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTY, WHICH IS DAMAGED BY THE CONSTRUCTION.
7. ALL SLOPES 4:1 OR GREATER SHALL RECEIVE EROSION MATTING.
8. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

**WOODMAN'S GAS STATION**

BUILDING FOOTPRINT	1,320 sq. ft.
PARKING / PAVED AREAS	12,105 sq. ft.
OTHER IMPERVIOUS AREAS (HARD SURFACES)	1,261 sq. ft.
LANDSCAPE AND OPEN SPACE	7,305 sq. ft.
<b>TOTAL PROJECT AREA</b>	<b>21,991 sq. ft. (.51 ACRES)</b>

**PLAN KEY**

- 1 PROPOSED 18" REJECT CURB & GUTTER
- 7 UNDERGROUND STORAGE TANKS
- 2 PROPOSED 18" STANDARD CURB & GUTTER
- 8 EXISTING TREE TO REMAIN
- 3 PROPOSED ASPHALT SURFACE
- 9 PARKING BOLLARD WITH HANDICAP PARKING SIGN
- 4 PROPOSED CONCRETE SURFACE
- 10 PARKING BOLLARD
- 5 PROPOSED CONCRETE SIDEWALK
- 11 NEW MONUMENT SIGN
- 6 PROPOSED FUEL ISLAND
- 12 CONVENIENCE STORE PARKING STALL



**CONCRETE CURB & GUTTER**  
NOT TO SCALE

SOUTH GAMMON ROAD

EX. FIRE HYDRANT

EX. SANITARY SEWER MANHOLE

EX. FIRE HYDRANT

EX. STORE

**SITE PLAN**



SCALE: 1" = 20'  
(24" X 36" SHEET)

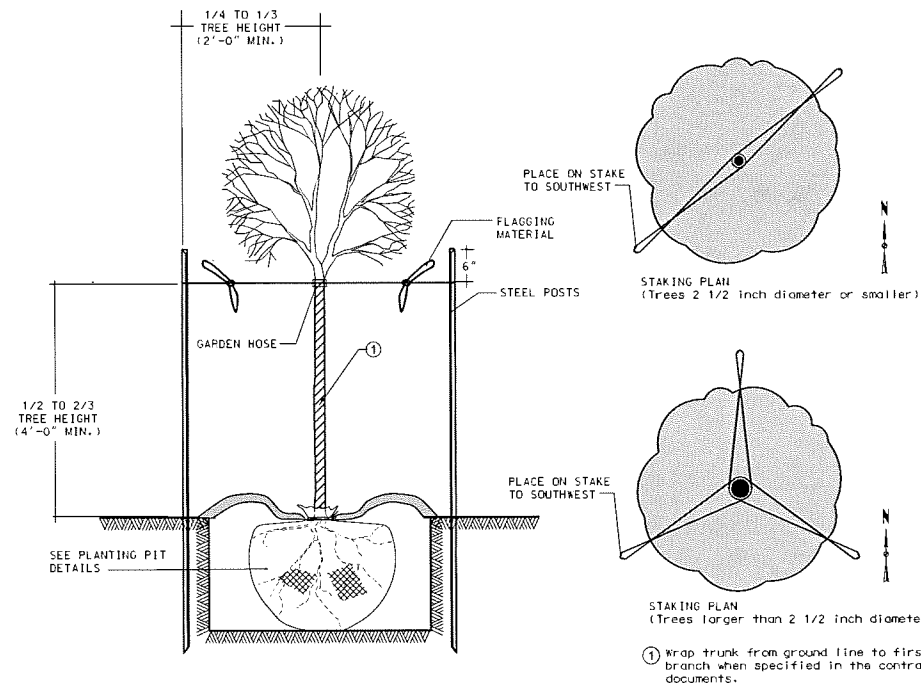


TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**CALL DIGGERS HOTLINE**  
**1-800-242-8511**  
**TOLL FREE**  
WS. STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE

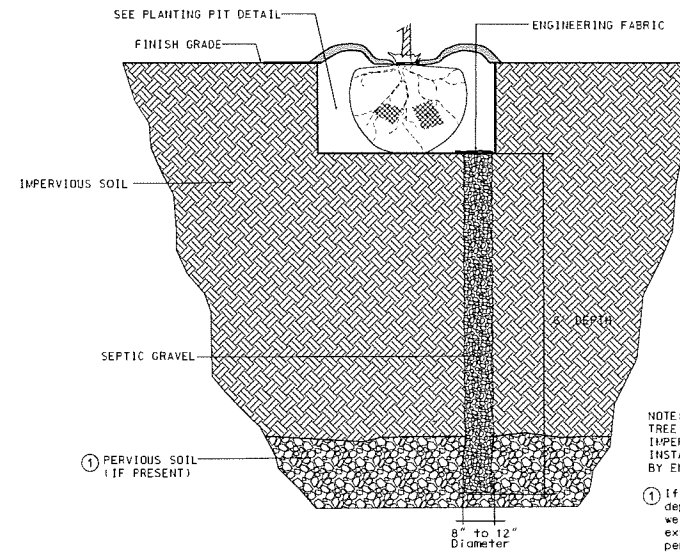








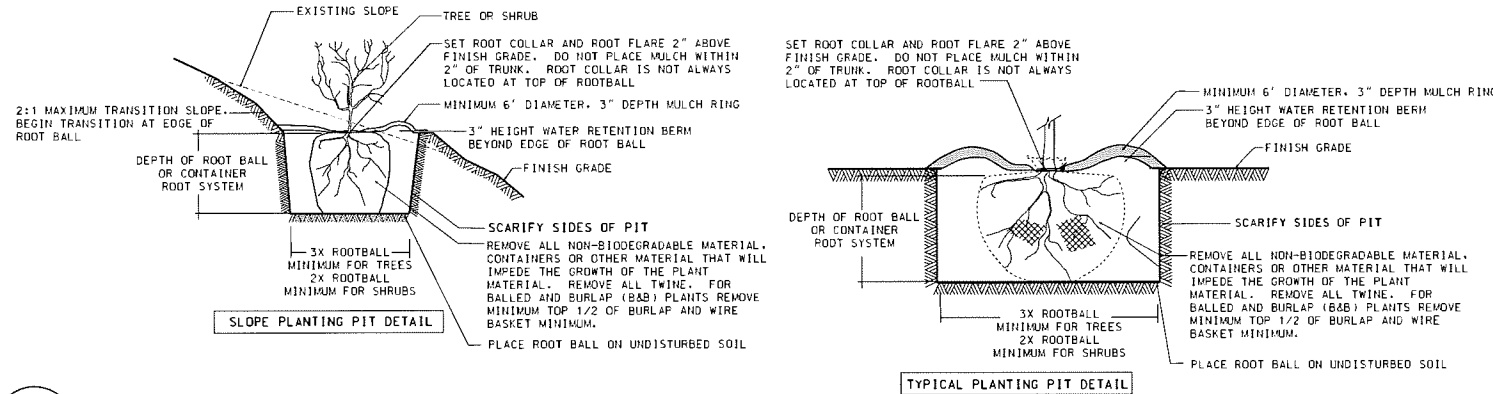
1 DECIDUOUS TREE STAKING DETAIL  
C1.5 NO SCALE



2 TREE DRAINAGE WELL DETAIL  
C1.5 NO SCALE

PLANTING PLAN GENERAL NOTES

- A. UTILITY WARNING:  
THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- C. PLANT MATERIAL SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 2013 ADDITION.
- D. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
- E. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF PROJECT ACCEPTANCE.
- F. CONTRACTOR SHALL PROPERLY CARE FOR ALL PLANT MATERIAL DURING CONSTRUCTION AND FOR A PERIOD OF ONE YEAR FROM THE DATE OF PROJECT ACCEPTANCE.
- G. HARDWOOD MULCH-PROVIDE 3-INCH DEPTH SHREDDED HARDWOOD MULCH AROUND ALL PLANTINGS TO A MIN. 3-FOOT PERIMETER. PROVIDE CONTINUOUS MULCH BEDS AROUND ADJACENT SHRUB PLANTINGS AND ALL AREAS INDICATED ON THE PLAN. MULCH SHALL NOT BE PLACED AROUND THE COLLAR OF SHRUB OR TREE. PROVIDE A MINIMUM OF 2" BETWEEN MULCH AND COLLAR OF SHRUB OR TREE. CONTRACTOR TO PROVIDE A CLEAN VERTICAL CUT EDGE TO 4" DEPTH INTO EXISTING GRADE TO DEFINE THE PLANTING BED LIMITS, UNLESS OTHERWISE DIRECTED BY OWNER.
- H. CONTRACTOR TO PROVIDE A SAMPLE OF EDGING AND MULCH FOR APPROVAL.
- I. ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY, HEALTHY, FREE OF DISEASE AND INSECTS AND SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. PLANTS SHALL ALSO BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT VIGOROUS GROWTH.
- J. ALL PLANT MATERIAL SHALL BE GROWN IN ZONE CAPABLE OF WITHSTANDING LOCAL CLIMATE AND GROWING CONDITIONS.
- K. PLANTS SHALL BE TRUE TO SPECIES, SIZE AND VARIETY SPECIFIED. SUBSTITUTIONS OF PLANT MATERIALS IS NOT PERMITTED UNLESS AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT. OWNER HAS THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- L. TREE OR SHRUB SHALL STAND PLUMB. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACK FILLING.
- M. ALL PROPOSED PLANTS SHALL BE LOCATED AS SHOWN ON PLANS. ALL TREES TO BE PLANTED A MINIMUM DISTANCE OF 5 FEET FROM PAVEMENTS AND 6 FEET FROM ALL HYDRANTS.



3 PLANTING PIT DETAILS  
C1.5 NO SCALE

**BS**  
Building Systems  
General Corp.  
5972 Executive Drive Suite 100  
Madison, Wisconsin 53719  
Phone: (608) 276-4400  
Fax: (608) 276-4468

**WOODMAN'S**  
MARKETS  
EMPLOYEE OWNED

PROJECT NAME  
**NEW GAS STATION**  
**WOODMAN'S**  
721 SOUTH GAMMON ROAD  
MADISON, WISCONSIN

CONSULTANTS

**S**  
**SNYDER & ASSOCIATES**  
Engineers and Planners  
5010 VOGES ROAD  
MADISON, WISCONSIN 53718  
608-838-0444 | www.snyder-associates.com

DRAWN: M. WAHL  
CHECKED: L. OLSEN  
APPROVED: M. CALKINS  
REVISION:  
• 03/04/14  
•  
•  
•  
•  
•  
•  
•  
•  
•  
•  
•  
•  
•  
•  
•  
•  
•  
•  
•  
•  
•  
•

DATE: 2/17/14  
SCALE: SEE PLAN  
BSGC PROJECT NO. 2252E  
BSGC DRAWING NO. 13-112  
SHEET TITLE  
**LANDSCAPE**  
**CONSTRUCTION**  
**NOTES**  
SHEET NO.

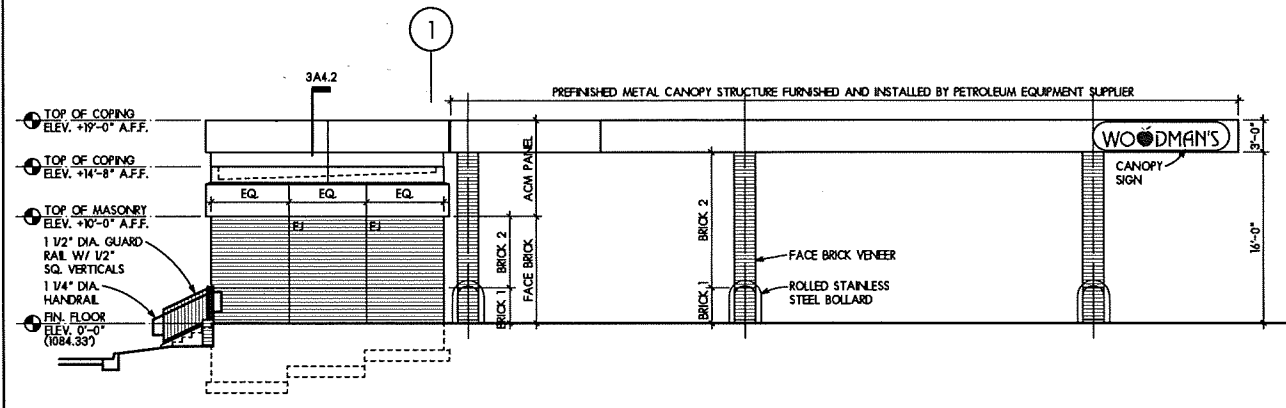
C1.5



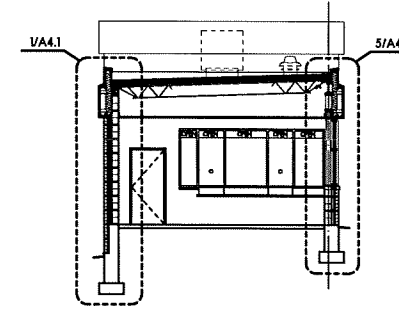




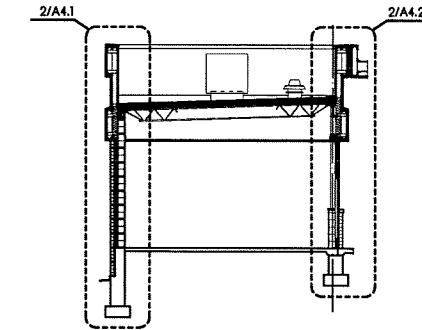




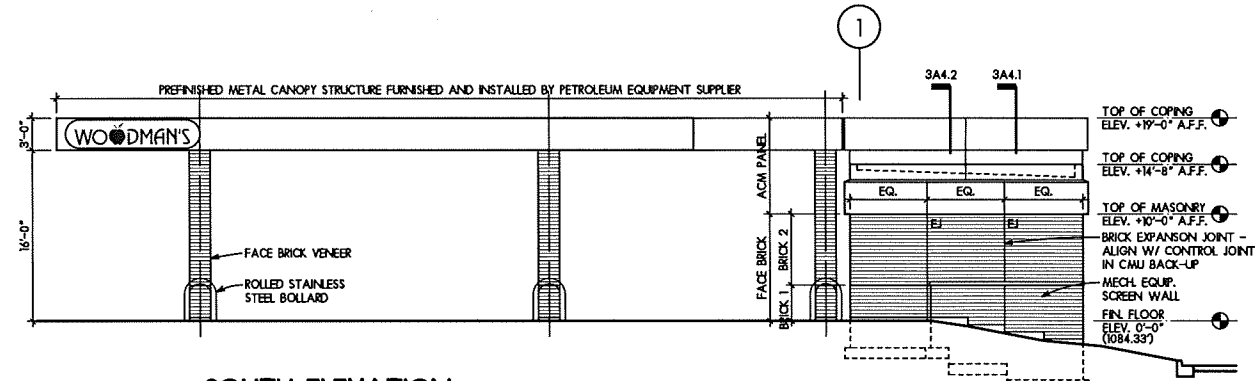
1 NORTH ELEVATION  
 SCALE: 1/8" = 1'-0"



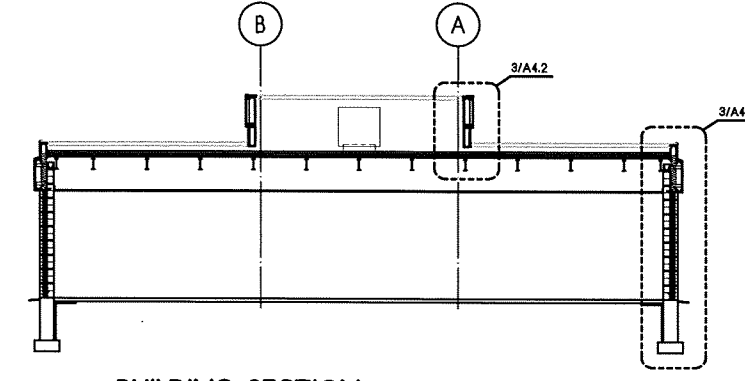
5 BUILDING SECTION  
 SCALE: 1/8" = 1'-0"



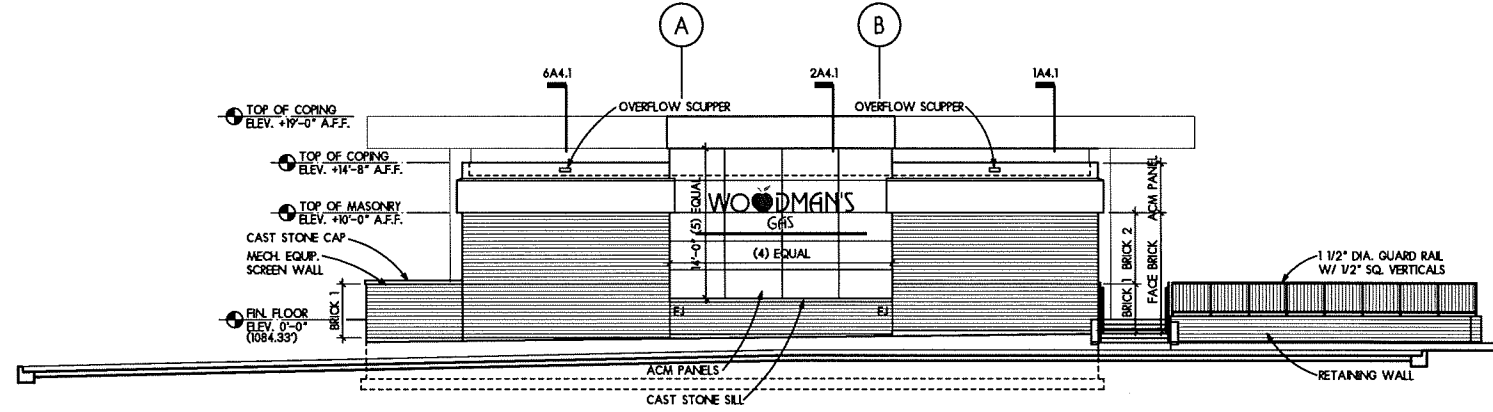
6 BUILDING SECTION  
 SCALE: 1/8" = 1'-0"



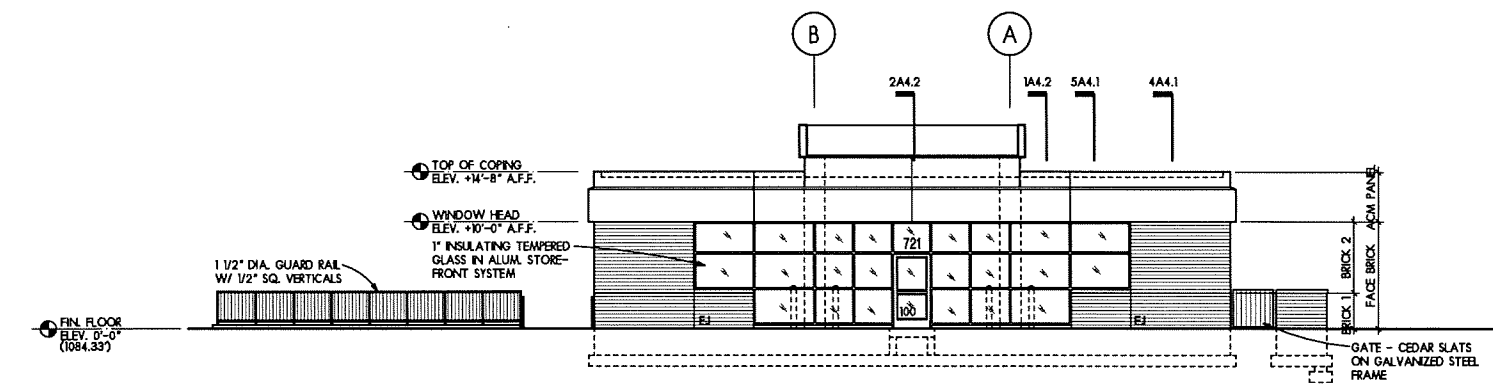
2 SOUTH ELEVATION  
 SCALE: 1/8" = 1'-0"



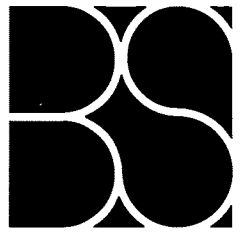
7 BUILDING SECTION  
 SCALE: 1/8" = 1'-0"



3 EAST ELEVATION  
 SCALE: 1/8" = 1'-0"



4 WEST ELEVATION  
 SCALE: 1/8" = 1'-0"



Building Systems  
 General Corp.

5972 Executive Drive, Suite 100  
 Madison, Wisconsin 53719  
 Phone: (608) 276-4400  
 Fax: (608) 276-4468

WOODMAN'S  
 MARKETS  
 EMPLOYEE OWNED

PROJECT NAME

WOODMAN'S  
 FOOD MARKET  
 REMODELING

721 SOUTH GAMMON ROAD  
 MADISON, WISCONSIN

CONSULTANTS

DRAWN	LDG
CHECKED	DR
APPROVED	GWF
REVISION:	

•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•

DATE:

SCALE:

1/8" = 1'-0"

BSGC PROJECT NO.

BSGC DRAWING NO.

13-112

SHEET TITLE  
 EXTERIOR  
 ELEVATIONS &  
 BLDG. SECTIONS

SHEET NO.

A3.1



# LED CANOPY LIGHT - LEGACY™ (CRUS)



US & Int'l. patents pending.

**HOUSING** - Low profile, durable die-cast, aluminum construction, providing a reliable weather-tight seal.

**LEDS** - Features an array of select, mid-power, high brightness, high efficiency LED chips; 5300°K color temperature, 70 CRI (nominal).

**DRIVE CURRENT** - Choice of Low Wattage (LW) or Super Saver (SS).

**OPTICS / DISTRIBUTION** - Symmetrical, which directs light through a clear tempered glass lens, to provide a uniform distribution of light to vertical and horizontal surfaces.

**OPTICAL UNIT** - Features an ultra-slim 7/8" profile die cast housing, with a flat glass lens. Unit is water-resistant, sealed to an IP67 rating. Integral designed heat sink does not trap dirt and grime, ensuring cool running performance over the life of the fixture.

**PRESSURE STABILIZING VENT** - Luminaire assembly incorporates a pressure stabilizing vent breather to prevent seal fatigue and failure.

**HAZARDOUS LOCATION** - Designed for lighter than air fuel applications. Product is suitable for Class 1 Division 2 only when properly installed per LSI installation instructions (consult factory).

**DRIVER** - State-of-the-art driver technology superior energy-efficiency and optimum light output. Driver components are fully encased in potting for IP65 moisture resistance. Complies with IEC and FCC standards. Surge protected at 10KV.

**DRIVER HOUSING** - Die cast aluminum, wet location rated driver/electrical enclosure is elevated above canopy deck to prevent water entry, provide easy "knock-out" connection of primary wiring and contributes to attaining the lowest operating temperatures available. Seals to optical housing via one-piece molded silicone gasket.

**OPERATING TEMPERATURE** - -40°C to 50°C (-40°F to +122°F)

**ELECTRICAL** - Universal voltage power supply, 120-277 VAC, 50/60 HZ input. Drivers feature two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Scenario 1, Location Category C.

**FINISH** - Standard color is white and is finished with LSI's DuraGrip polyester powder coat process. DuraGrip withstands extreme weather changes without cracking or peeling.

**INSTALLATION** - One person installation. No additional sealant required. Installs in a 12" or 16" deck pan. Deck penetration consists of a 4" hole, simplifying installation and water sealing. Unit is designed to quickly retrofit into existing Scottsdale (4") hole as well as openings for Encore and Encore Top Access and to reconnect wiring for the SC/ECTA without having to relocate the conduit. Retro panels are available for existing Encores (see back page) as well as kits for recessed and 2x2 installations (see separate spec sheets). Support brackets are provided standard, to prevent sagging of deck.

**SHIPPING WEIGHT** - 27 pounds (single pack), 48 pounds (double pack).

**EXPECTED LIFE** - Minimum 60,000 to 100,000 hours depending upon the ambient temperature of the installation location. See LSI web site for specific guidance.

**WARRANTY** - Limited 5-year warranty.

**LISTING** - UL and ETL listed to UL 1598, UL 8750 and other U.S. and International safety standards. Suitable for wet locations.

**PHOTOMETRICS** - Applications layouts are available upon request. Contact LSI Petroleum Lighting or petroleum.apps@lsi-industries.com

## Consult Factory

**Class 1, Division 2** – Standard on SS & LW.

**T5 Temperature Classification** – The surface temperature of this product will not rise above 100°C., within a 40°C ambient.

**Gas Groups A,B,C, and D** – Group A: Acetylene / Group B: Hydrogen / Group C: Propane and Ethylene / Group D: Benzene, Butane, Methane & Propane.

This product, or selected versions of this product, meet the standards listed below.

Please consult factory for your specific requirements.



IP67





# LED CANOPY LIGHT - LEGACY™ (CRUS)

## LUMINAIRE ORDERING INFORMATION

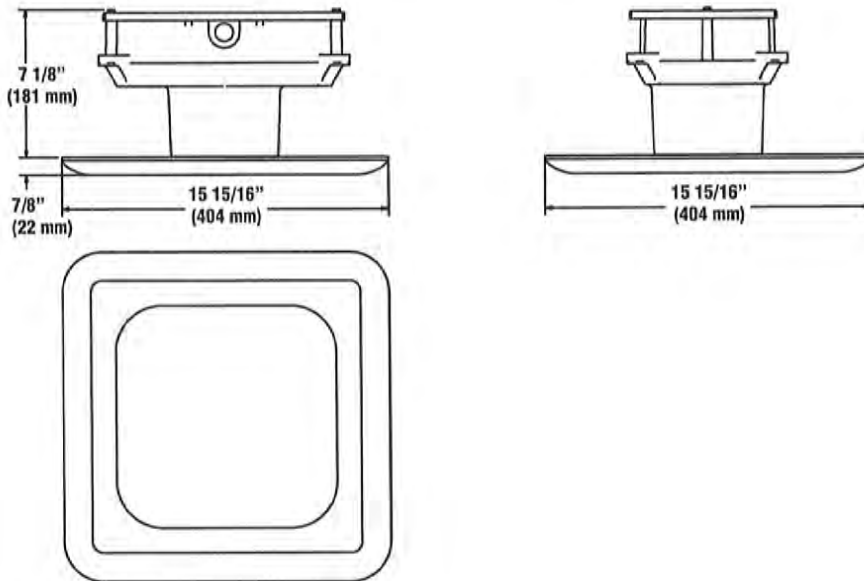
TYPICAL ORDER EXAMPLE: **CRUS SC LED SS CW UE WHT**

Prefix	Distribution	Light Source	Drive Current	Color Temperature	Input Voltage	Finish	Options
CRUS	SC - Standard Symmetric	LED	LW - Low Watt SS - Super Saver	CW - Cool White	UE - Universal Voltage (120-277V)  347 - 347V	WHT - White BRZ - Bronze BLK - Black	None

## ACCESSORY ORDERING INFORMATION (Accessories are field installed)

Description	Order Number	Description	Order Number
Retrofit Panels - EC / ECTA / SCF to CRU, for 16" Deck Panel	525946	Kit - Hole Plugs and Silicone (enough for 25 retrofits) <sup>1</sup>	1320540
Retrofit Panels - ECTA / SCF to CRU, for 12" Deck Panel	530281	1- Consists of (25) 7/8" hole plugs and (1) 10.3 oz tube of RTV	
Retrofit 2x2 Cover Panel Blank (no holes)	357282	2- Flange Kit used to mount CRU in double deck applications	
Retrofit RIC Cover Panel Blank (no holes)	354702		

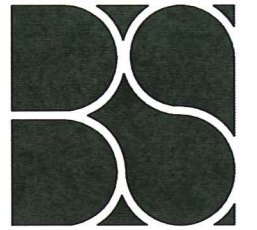
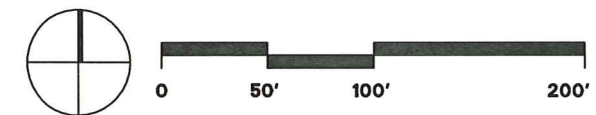
## DIMENSIONS



## LIGHT OUTPUT - CRUS

		Lumens	Watts	LPW
Cool White	LW - Low Watt	10,871	88	124
	SS - Super Saver	13,554	114	119





**Building Systems  
General Corp.**  
5972 Executive Drive Suite 100  
Madison, Wisconsin 53719  
Phone: (608) 276-4400  
Fax: (608) 276-4468



**PROJECT NAME**

**WOODMAN'S  
FOOD MARKET  
REMODELING**  
721 SOUTH GAMMON ROAD  
MADISON, WISCONSIN

**CONSULTANTS**

DRAWN	LDG
CHECKED	DJR
APPROVED	GWJ

REVISION:


DATE:

SCALE: 1" = 40'-0"

BSGC PROJECT NO.

BSGC DRAWING NO.

13-112

SHEET TITLE

**SITE  
AERIAL**

SHEET NO.

COPYRIGHT 2013 BUILDING SYSTEMS GENERAL CORP.





**Building Systems  
General Corp.**

5972 Executive Drive Suite 100  
Madison, Wisconsin 53719  
Phone: (608) 276-4400  
Fax: (608) 276-4468

**WOODMAN'S  
MARKETS**

EMPLOYEE OWNED

**PROJECT NAME**

WOODMAN'S  
FOOD MARKET  
REMODELING

721 SOUTH GAMMON ROAD  
MADISON, WISCONSIN

**CONSULTANTS**

DRAWN	LDG
CHECKED	DJR
APPROVED	GWF

REVISION:


DATE: \_\_\_\_\_

SCALE: \_\_\_\_\_

NONE

BSGC PROJECT NO. \_\_\_\_\_

BSGC DRAWING NO. \_\_\_\_\_

13-112

SHEET TITLE \_\_\_\_\_

**CONTEXT  
PHOTOS**

SHEET NO. \_\_\_\_\_





**Building Systems  
General Corp.**  
5972 Executive Drive Suite 100  
Madison, Wisconsin 53719  
Phone: (608) 276-4400  
Fax: (608) 276-4468

**WOODMAN'S  
MARKETS**  
EMPLOYEE OWNED

**PROJECT NAME**  
WOODMAN'S  
FOOD MARKET  
REMODELING  
721 SOUTH GAMMON ROAD  
MADISON, WISCONSIN

**CONSULTANTS**

DRAWN	LDG
CHECKED	DJR
APPROVED	GWJ
REVISION:	
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•

DATE: \_\_\_\_\_  
SCALE: NONE  
BSGC PROJECT NO. \_\_\_\_\_  
BSGC DRAWING NO. \_\_\_\_\_  
13-112  
SHEET TITLE \_\_\_\_\_  
**CONTEXT  
PHOTOS**  
SHEET NO. \_\_\_\_\_

COPYRIGHT 2018 BUILDING SYSTEMS GENERAL CORP.













**Building Systems  
General Corp.**

5972 Executive Drive Suite 100  
Madison, Wisconsin 53719  
Phone: (608) 276-4400  
Fax: (608) 276-4468



**PROJECT NAME**

**WOODMAN'S  
FOOD MARKET  
REMODELING**

721 SOUTH GAMMON ROAD  
MADISON, WISCONSIN

**CONSULTANTS**

DRAWN	LDO
CHECKED	DR
APPROVED	GWF
REVISION:	
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•

DATE: \_\_\_\_\_

SCALE: NONE

BSGC PROJECT NO. \_\_\_\_\_

BSGC DRAWING NO. 13-112

SHEET TITLE \_\_\_\_\_

**CONTEXT  
PHOTOS**

SHEET NO. \_\_\_\_\_



---

# Building Systems General Corp.

5972 Executive Drive  
Suite 100  
Madison, WI 53719

**Phone:** 608-276-4400  
**Fax:** 608-276-4468

---

# Comprehensive Design Review

February 24, 2014

City of Madison  
Department of Planning & Community & Economic Development  
215 Martin Luther King, Jr. Boulevard  
Madison, WI 53701-2984

## URBAN DESIGN COMMISSION COMPREHENSIVE DESIGN REVIEW

**Project:** Woodman's Gas Station  
721 South Gammon Road  
Madison, WI 53719

### Project Team:

**Owner:** Woodman's Food Market, Inc.  
2631 Liberty Lane  
Janesville, WI 53545

**Design/Build Contractor:** Building Systems General Corporation  
5972 Executive Drive, Suite 100  
Madison, WI 53719

**Architect/MEP Engineer:** The Larson & Darby Group  
4949 Harrison Avenue, Suite 100  
Rockford, IL 61125

**Civil Engineer:** Snyder & Associates  
5010 Voges Road  
Madison, WI 53718

### Proposal:

Woodman's is proposing to demolish its gas station and convenience store located at 721 South Gammon Road and replace it with a new gas station and convenience store. The site is located within Urban Design District No. 2 and consists of a number of contiguous parcels with retail uses. The Woodman's parcel is located within a Commercial Center District and consists of the grocery store and gas station facilities. The Commercial Center District provisions allow for not more than four (4) signable wall areas per building and not more than two (2) ground signs. In addition, all signs shall be approved by the Urban Design Commission through a Comprehensive Design Review.

Existing signage is limited to an internally illuminated pole sign. The new Sign Plan calls for four (4) signs consisting of one (1) monument sign and three (3) wall mounted signs.

The monument sign will be constructed over a masonry base and will incorporate electronically illuminated, changeable copy. The monument sign is to be placed at the location of the current pole sign and will require an exception from the setback limitation of 20 feet.

The wall sign on the rear of the convenience store consists of colored, laser cut, ¼" thick, aluminum characters pegged and projected 1-inch from the face of the building. The height of the sign is proposed to be 15'-6" above grade. The two (2) canopy wall signs consist of vinyl applied lettering on a metal sign panel attached to the canopy.

Urban Design Commission: Urban Design District No. 2 Criteria (Sec. 33.24(9)(d)4.b.vi.)

1. A minimum setback of five (5) feet is required of all detached signs. A minimum setback of ten (10) feet from the public right-of-way is required for signs exceeding ten (10) square feet in net area and fifteen (15) feet in height. A minimum setback of twenty (20) feet is required for all signs exceeding twenty (20) square feet in net area or twenty (20) feet in height. No detached sign shall exceed seventy-five (75) square feet in net area and twenty-five (25) feet in height. Based upon the following criteria the Urban Design Commission may specifically approve a larger sign or reduce the setbacks above:
  - A. An exception from the size and setback limitation is necessary for a sign located on the site of an establishment to be identifiable and legible from the nearest roadway at prevailing speeds; and
  - B. An exception from the size and setback limitation will result in a sign more in scale with the building and site and will result in a superior overall design.

An exception to the sign setback requirement of twenty (20) feet for a sign exceeding twenty (20) square feet in net area is requested for the new monument sign. The proposed monument sign has a net area of thirty (30) square feet and is set back a distance of seven (7) feet from the property line. This exception to the setback limitation is necessary for the sign to be identifiable and legible from South Gammon Road when traveling at prevailing speeds. Exemption from the setback limitation will result in a sign that is more in scale with the building and site and will result in a superior overall design.

Comprehensive Design Review Criteria (Sec. 31.043(4)(b):

1. The Sign Plan shall create visual harmony between the signs, building(s), and building site through unique and exceptional use of materials, design, color, any lighting, and other design elements; and shall result in signs of appropriate scale and character to the uses and building(s) on the zoning lot as well as adjacent buildings, structures and uses.

The new signage will create visual harmony between the signs, buildings, gas canopy, and building site. The monument sign will incorporate a brick base which will match the brick used on the gas station building and on the gas canopy columns. The monument sign will be internally illuminated and will be designed such that when illuminated, the sign appears to have light-colored copy on a dark background. The canopy signs and the rear facing wall sign promote the Woodman's branding and will not be illuminated.

2. Each element of the Sign Plan shall be found to be necessary due to unique or unusual design aspects in the architecture or limitations in the building site or surrounding environment; except that when a request for an Additional Sign Code Approval under Sec. 31.043(3) is included in the Comprehensive

Design Review, the sign(s) eligible for approval under Sec. 31.043(3) shall meet the applicable criteria of Sec. 31.043(3), except that sign approvals that come to Comprehensive Design Review from MXC and EC districts pursuant to 31.13(3) and (7) need not meet the criteria of this paragraph.

The changes to the Sign Plan are necessary for proper branding.

3. The Sign Plan shall not violate any of the stated purposes described in Secs. 31.02(1) and 33.24(2).

The proposed signs do not violate any of the stated purposes described in Secs. 31.02(1) and 33.24(2).

4. All signs must meet minimum construction requirements under Sec. 31.04(5).

The signs will meet or exceed the minimum construction requirements under Sec. 31.04(5).

5. The Sign Plan shall not approve Advertising beyond the restrictions in Sec. 31.11 or Off-Premise Directional Signs beyond the restrictions in Sec. 31.115.

None of the proposed signs are Advertising Signs as defined in Sec. 31.03(2).

6. The Sign Plan shall not be approved if any element of the plan:
  - a. presents a hazard to vehicular or pedestrian traffic on public or private property,
  - b. obstructs views at points of ingress and egress of adjoining properties,
  - c. obstructs or impedes the visibility of existing lawful signs on adjacent property, or
  - d. negatively impacts the visual quality of public or private open space.

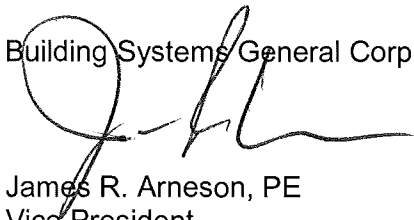
The proposed signs do not present a hazard to vehicular or pedestrian traffic on public or private property, obstruct views at points of ingress and egress of adjoining properties, obstruct or impede the visibility of existing lawful signs on adjacent property, or negatively impact the visual quality of public or private open space.

7. The Sign Plan may only encompass signs on private property of the zoning lot or building site in question, and shall not approve any signs in the right of way or on public property.

All signs are located on private property.

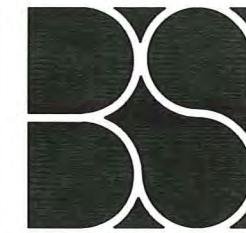
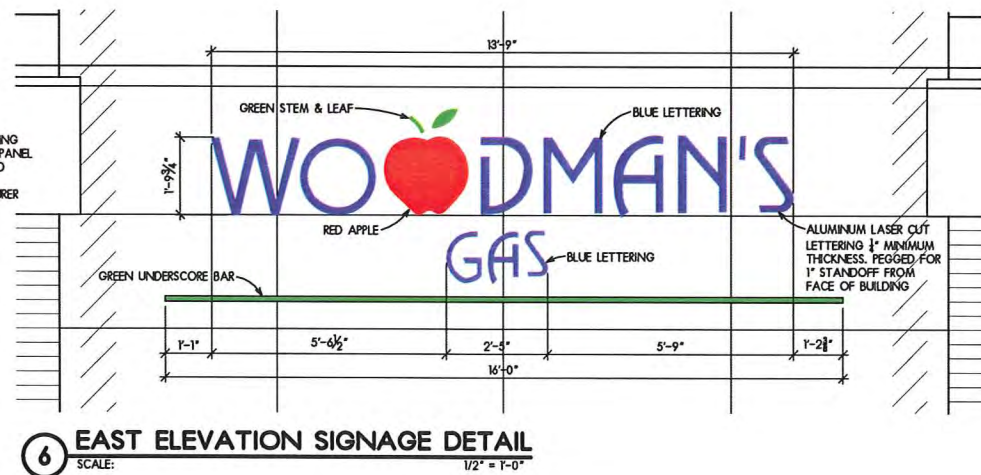
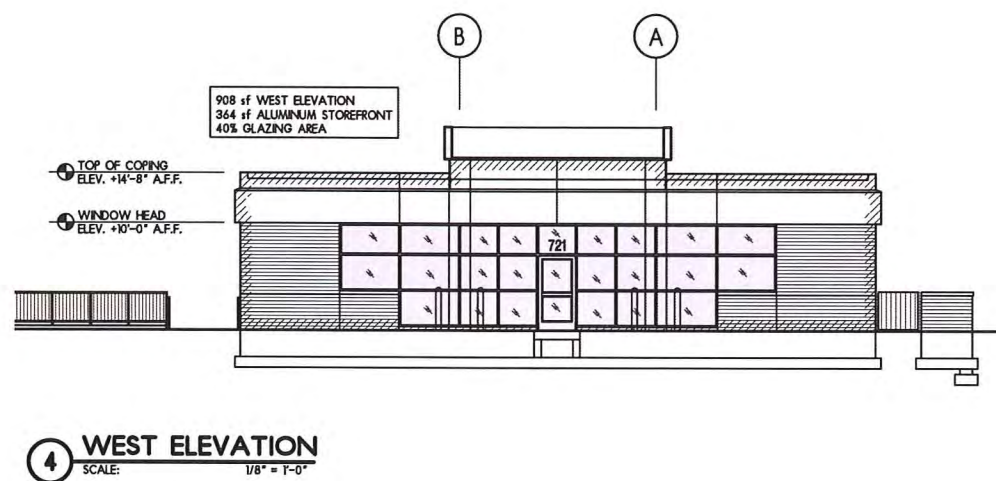
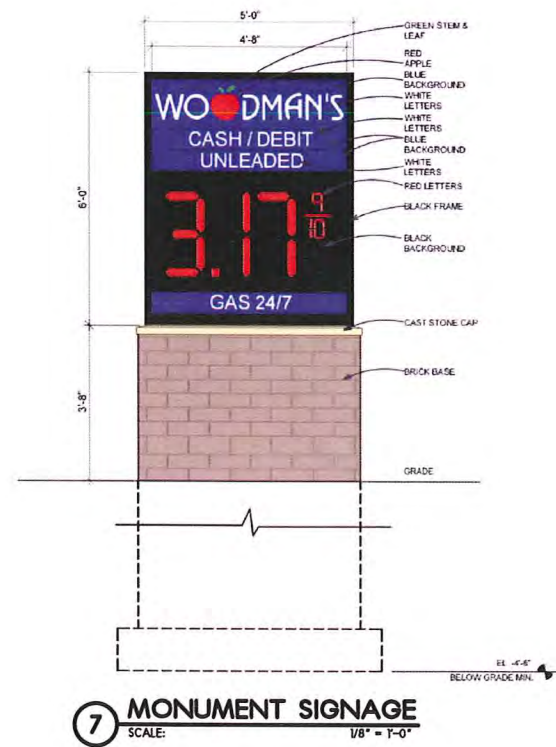
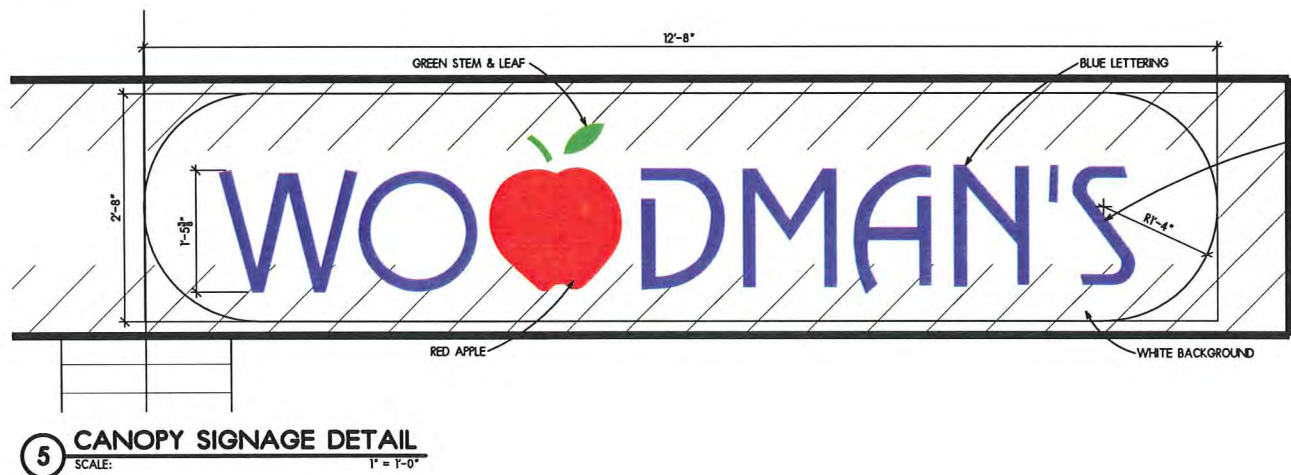
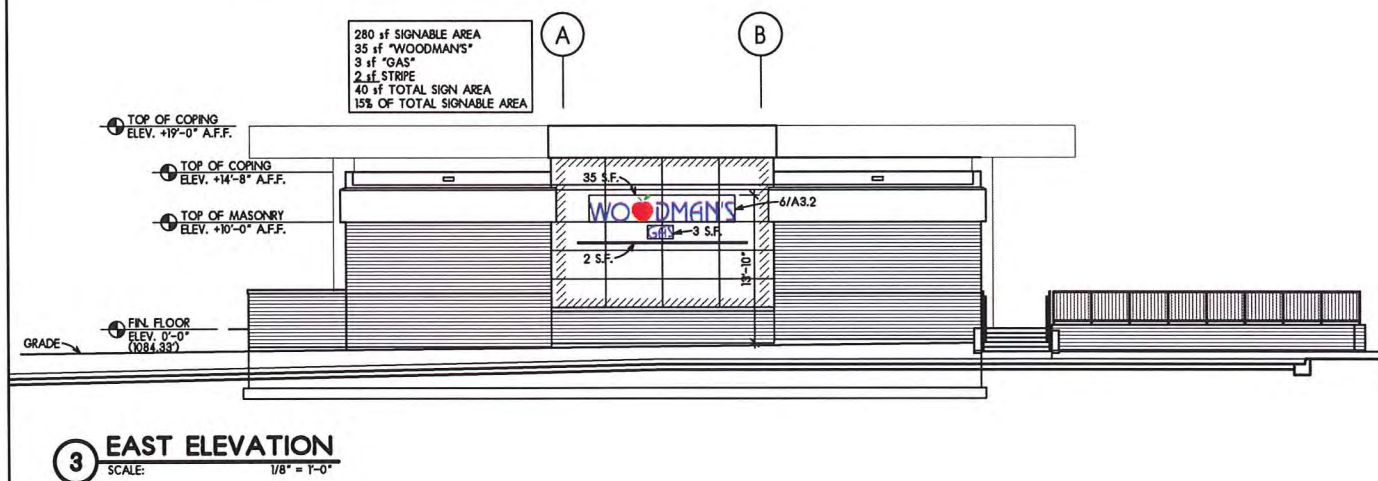
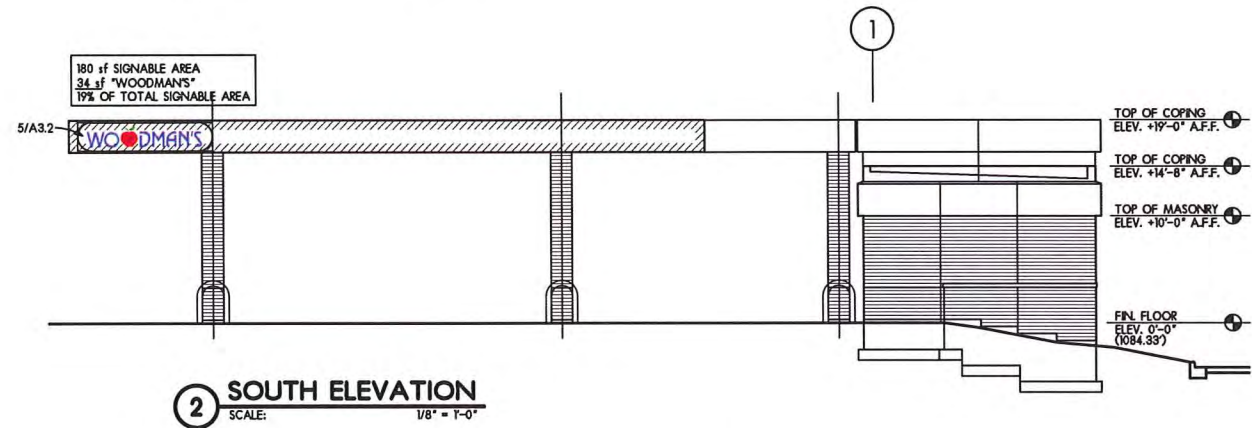
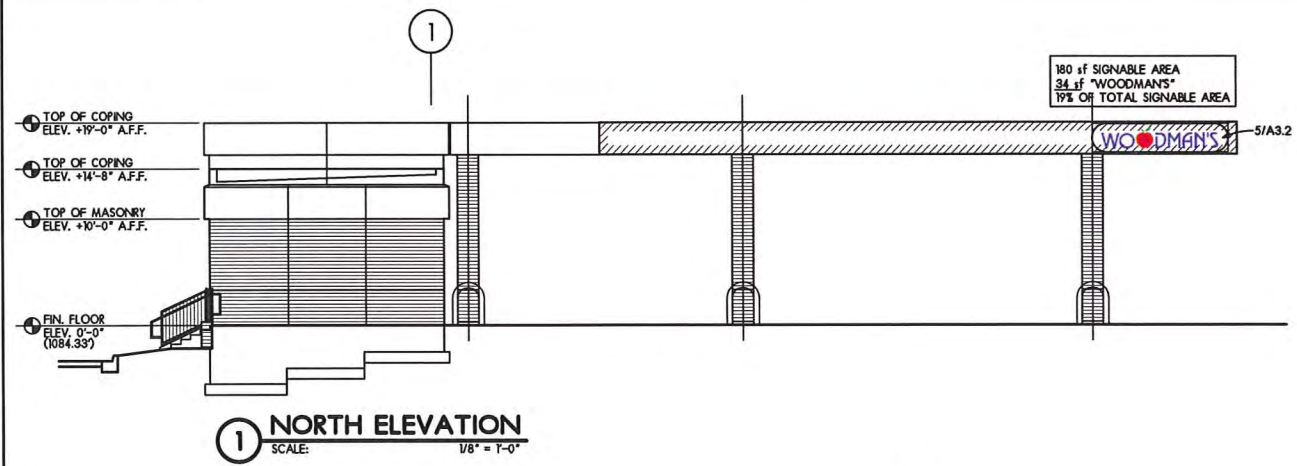
Submitted,

Building Systems General Corp.



James R. Arneson, PE  
Vice President  
(608)663-6233  
jarneson@bsgc-wi.com





Building Systems  
General Corp.

5972 Executive Drive Suite 100  
Madison, Wisconsin 53719  
Phone: (608) 276-4400  
Fax: (608) 276-4468

**WOODMAN'S  
MARKETS**  
EMPLOYEE OWNED

**PROJECT NAME**  
WOODMAN'S  
FOOD MARKET  
REMODELING  
721 SOUTH GAMMON ROAD  
MADISON, WISCONSIN

**CONSULTANTS**

DRAWN	LDG
CHECKED	DJR
APPROVED	GWJ

REVISION:


DATE:

SCALE: 1/8" = 1'-0"  
BSGC PROJECT NO.

BSGC DRAWING NO.  
13-112

SHEET TITLE  
EXTERIOR  
SIGNAGE  
PLAN

SHEET NO.

A3.2

---

# Building Systems General Corp.

5972 Executive Drive  
Suite 100  
Madison, WI 53719

**Phone:** 608-276-4400  
**Fax:** 608-276-4468

---

# Comprehensive Design Review

February 24, 2014

City of Madison  
Department of Planning & Community & Economic Development  
215 Martin Luther King, Jr. Boulevard  
Madison, WI 53701-2984

## URBAN DESIGN COMMISSION COMPREHENSIVE DESIGN REVIEW: SIGN INVENTORY

Project: Woodman's Gas Station  
721 South Gammon Road  
Madison, WI 53719

### Wall Signs:

#### Gammon Road:

##### Dunkin' Donuts/Fannie May/World Finance

1. World Finance Loans
2. Fannie May – Fine Chocolates
3. Dunkin' Donuts
4. Dunkin' Donuts

##### 701-709 South Gammon Road

5. India House
6. Domino's
7. Sport Clips
8. Q Beauty
9. US Cellular
10. US Cellular
11. US Cellular
12. Q Beauty
13. Sport Clips
14. Domino's
15. Harold's Chicken
16. India House

##### Woodman's Food Market

17. Woodman's Markets – Employee Owned

#### Watts Road:

Woodman's Food Market

18. Bakery
19. Woodman's (Sun Logo)
20. Produce
21. Parcel Pick-Up
22. Woodman's Markets – Open 24 Hours
23. Photo
24. Liquor

Madison Design Center

25. Fireside Hearth & Home
26. Madison Lighting
27. Woodworks Furniture
28. The Great Frame Up
29. Badger Spray
30. Hallman Lindsay/Paints

Monument Signs:

Gammon Road:

31. Dunkin' Donuts/Fannie May/World Finance

- a. Sign Area: 40 square feet
- b. Overall Height: 10'-3"

32. Woodman's Gas Station

- a. Sign Area: 70 square feet
- b. Overall Height: 11'-7"

33. 701-709 South Gammon Road (1)

- a. Sign Area: 20 square feet
- b. Overall Height: 4'-3½"

34. 701-709 South Gammon Road (2)

- a. Sign Area: 20 square feet
- b. Overall Height: 4'-3½"

Watts Road

35. Madison Design Center

- a. Sign Area: 40 square feet
- b. Overall Height: 16'-0"



701-709 SOUTH GAMMON ROAD



⑤ INDIA HOUSE

⑥ DOMINO'S

⑦ SPORT CLIPS

⑧ Q BEAUTY

⑨ US CELLULAR



733-739 SOUTH GAMMON ROAD



① WORLD FINANCE LOANS

② FANNIE MAY - FINE CHOCOLATES

③ DUNKIN DONUTS

④ DUNKIN DONUTS



Building Systems  
General Corp.

5972 Executive Drive Suite 100  
Madison, Wisconsin 53719  
Phone: (608) 276-4400  
Fax: (608) 276-4468

WOODMAN'S  
MARKETS  
EMPLOYEE OWNED

PROJECT NAME

WOODMAN'S  
FOOD MARKET  
REMODELING

721 SOUTH GAMMON ROAD  
MADISON, WISCONSIN

CONSULTANTS

DRAWN	_____
CHECKED	_____
APPROVED	_____
REVISION:	
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•

DATE: \_\_\_\_\_

SCALE: \_\_\_\_\_

BSGC PROJECT NO. \_\_\_\_\_

BSGC DRAWING NO.  
13-112

SHEET TITLE  
EXISTING  
SIGNAGE  
SURVEY

SHEET NO. \_\_\_\_\_

SS1

COPYRIGHT 2018 BUILDING SYSTEMS GENERAL CORP.



701-709 SOUTH GAMMON ROAD



⑩ US CELLULAR

⑪ US CELLULAR

⑫ Q BEAUTY

⑬ SPORT CLIPS

⑭ DOMINO'S

⑮ HAROLD'S CHICKEN

⑯ INDIA HOUSE



WOODMAN'S FOOD MARKETS



⑰ WOODMAN'S MARKETS - EMPLOYEE OWNED

⑱ WOODMAN'S SUN  
⑲ PRODUCE  
⑳ BAKERY

㉑ PARCEL PICK-UP

㉒ WOODMAN'S MARKETS - OPEN 24 HOURS

㉓ PHOTO  
㉔ LIQUOR



Building Systems General Corp.

5972 Executive Drive Suite 100  
Madison, Wisconsin 53719  
Phone: (608) 276-4400  
Fax: (608) 276-4468

WOODMAN'S  
MARKETS  
EMPLOYEE OWNED

PROJECT NAME

WOODMAN'S  
FOOD MARKET  
REMODELING

721 SOUTH GAMMON ROAD  
MADISON, WISCONSIN

CONSULTANTS

DRAWN	_____
CHECKED	_____
APPROVED	_____
REVISION:	_____
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•

DATE: \_\_\_\_\_

SCALE: \_\_\_\_\_

BSGC PROJECT NO. \_\_\_\_\_

BSGC DRAWING NO.  
13-112

SHEET TITLE  
EXISTING  
SIGNAGE  
SURVEY

SHEET NO. \_\_\_\_\_

SS2

COPYRIGHT 2018 BUILDING SYSTEMS GENERAL CORP.



MADISON DESIGN CENTER



25 FIRESIDE HEARTH & HOME



26 MADISON LIGHTING



27 WOODWORKS FURNITURE



28 THE GREAT FRAME UP



29 BADGER SPRAY 30 HALLMAN LINDSAY/PAINTS



EXISTING MONUMENT SIGNS



31 MONUMENT SIGN:  
40 SQ. FT. -  
10'-3" TALL



32 MONUMENT SIGN:  
70 SQ. FT. -  
11'-7" TALL



33 MONUMENT SIGN:  
20 SQ. FT. -  
4'-3½" TALL



34 MONUMENT SIGN:  
20 SQ. FT. -  
4'-3½" TALL



35 MONUMENT SIGN:  
30 SQ. FT. -  
16'-0" TALL



Building Systems  
General Corp.

5972 Executive Drive Suite 100  
Madison, Wisconsin 53719  
Phone: (608) 276-4400  
Fax: (608) 276-4468



PROJECT NAME

WOODMAN'S  
FOOD MARKET  
REMODELING

721 SOUTH GAMMON ROAD  
MADISON, WISCONSIN

CONSULTANTS

DRAWN	
CHECKED	
APPROVED	
REVISION:	

DATE:

SCALE:

BSGC PROJECT NO.

BSGC DRAWING NO.

13-112

SHEET TITLE

EXISTING  
SIGNAGE  
SURVEY

SHEET NO.

SS3