

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

**AGENDA ITEM # _____
Project # _____**

04195

DATE SUBMITTED: <u>7/19/06</u>	Action Requested
UDC MEETING DATE: <u>7/26/06</u>	<input type="checkbox"/> Informational Presentation
	<input checked="" type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: Block 51 @ 309 West Washington (Capitol West)

ALDERMANIC DISTRICT: 4

OWNER/DEVELOPER (Partners and/or Principals) <u>Block 51, LLC</u>	ARCHITECT/DESIGNER/OR AGENT: <u>Thomas Miller</u>
<u>c/o The Alexander Company</u>	<u>The Alexander Company</u>
<u>145 E. Badger Rd., Suite 200, Madison, WI 53713</u>	<u>145 E. Badger Rd., Suite 200, Madison, WI 53713</u>

CONTACT PERSON: Thomas Miller
Address: 145 E. Badger Rd., Suite 200
Madison, WI 53713
Phone: 608-258-5580
Fax: 608-258-5599
E-mail address: tcm@alexandercompany.com

TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
- General Development Plan (GDP)
- Specific Implementation Plan (SIP) Alteration to existing SIP
- Planned Community Development (PCD)
- General Development Plan (GDP)
- Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee required)
- Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.



Company

July 18, 2006

Mr. Alan Martin
City of Madison
Planning & Development
215 Martin Luther King Jr. Blvd
PO Box 2985
Madison, WI 53701-24985

Re: URBAN DESIGN SUBMITTAL
Capitol West SIP – Major Alteration

Dear Mr. Martin:

The following is submitted together with plans; legal description, and zoning text for Urban Design Commission consideration of approval of the proposed Alteration to the SIP for the above noted development.

Project: Capitol West – Phase I: **Alteration to the SIP**
Block 51, bounded by West Washington Avenue, South Henry Street, West Main Street and Broom Street

Developer: The Alexander Company
145 East Badger Road, Suite 200
Madison, WI 53713
Office: (608) 258-5580
Fax: (608) 258-5599
Contact: Thomas Miller

Alteration Description:

The Redevelopment of Block 51, known as Capitol West is being revised to modify the following components: 309 West Washington Avenue, The New Parking Ramp, and associated Site Work. The remainder of the project is unchanged at this time.

- 1) 309 West Washington is modified by the addition of one story to the main tower portion of the building (increasing the number of stories from 10 to 11); note that there will not be an added floor to the annex area. This addition of one story adds 10 units and brings the unit total for this component to from 116 dwelling units to 126; this is an increase from 163 dwelling units in Phase I to 173 dwelling units. The height of the roof above the added floor is below the Capitol View Preservation Limit.
- 2) In addition to the added floor, the mechanical system for the 309 building has been revised so as to eliminate the requirement for a cooling tower and enclosure on the roof of the building. This revision helps maintain an overall height for the 309 building that is very close to the originally proposed building height.
- 3) The Exterior skin of 309 West Washington has been modified to maximize energy efficiency, and cost-effective composition. The materials and palette remain the same as in the original proposal.



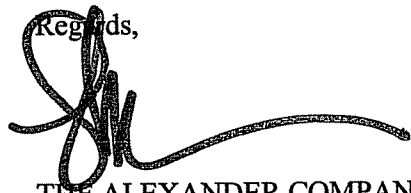
- 4) The Parking Ramp is being modified to add one additional layer of parking beneath the existing two proposed layers. This additional level adds 70 parking stalls for an increase in the total number of stalls at this ramp from 146 to 216 parking stalls.
- 5) In addition to modifying the above structures this application also modifies some of the associated site improvements. The details of the proposed modified materials and assemblies are all shown on the submitted site planning documents.

Project Schedule and Management

Assuming recording the Phase I SIP immediately, in a manner that allows us to move forward with several of the components of the development while revising 309 West Washington and the Associated Parking Ramp, construction of the Broom Street Lofts should begin in September of 2006. This will likely be followed by the Main Street Townhomes, and then finally, once approved as modified herein, 309 West Washington and the associated parking would commence this fall. These components will then be followed by Phase II and Phase III once SIP approvals are obtained for each of those phases.

Thank you for your time in reviewing this proposal.

Regards,



THE ALEXANDER COMPANY, Inc.
Thomas Miller
Development Project Manager

Cc: Natalie Bock
File



July 12, 2006

Mr. Brad Murphy
City of Madison
Planning & Development
215 Martin Luther King Jr. Blvd
PO Box 2985
Madison, WI 53701-24985

Re: Letter of Intent, Capitol West (Phase I), Alteration to the SIP

Dear Mr. Murphy:

The following is submitted together with plans; land-use application and zoning text for City Staff, Plan Commission, and City Council consideration of approval of the proposed Alteration to the SIP for the development.

Project: Capitol West – Phase I: **Alteration to the SIP**
Block 51, bounded by West Washington Avenue, South Henry Street, West Main Street and Broom Street

Developer: The Alexander Company
145 East Badger Road, Suite 200
Madison, WI 53713
Office: (608) 258-5580
Fax: (608) 258-5599
Contact: Thomas Miller

Alteration Description:

The Redevelopment of Block 51, known as Capitol West is being revised to modify the following components: 309 West Washington Avenue, The New Parking Ramp, and associated Site Work. The remainder of the project is unchanged at this time.

- 1) 309 West Washington is modified by the addition of one story to the main tower portion of the building (increasing the number of stories from 10 to 11); note that there will not be an added floor to the annex area. This addition of one story adds 10 units and brings the unit total for this component to from 116 dwelling units to 126; this is an increase from 163 dwelling units in Phase I to 173 dwelling units. The height of the roof above the added floor is below the Capitol View Preservation Limit.
- 2) In addition to the added floor, the mechanical system for the 309 building has been revised so as to eliminate the requirement for a cooling tower and enclosure on the roof of the building. This revision helps maintain an overall height for the 309 building that is very close to the originally proposed building height.
- 3) The Exterior skin of 309 West Washington has been modified to maximize energy efficiency, and cost-effective composition. The materials and palette remain the same as in the original proposal.

- 4) The Parking Ramp is being modified to add one additional layer of parking beneath the existing two proposed layers. This additional level adds 70 parking stalls for an increase in the total number of stalls at this ramp from 146 to 216 parking stalls.
- 5) In addition to modifying the above structures this application also modifies some of the associated site improvements. The details of the proposed modified materials and assemblies are all shown on the submitted site planning documents.

Fire Access

An approved fire access plan has been submitted as part of the approved GDP and the SIP for this development. This plan meets the criteria outlined in the Fire Apparatus & Access and Fire Hydrant Worksheet. The specifics of this approved plan will not be modified as part of this alteration.

Project Schedule and Management

Assuming recording the Phase I SIP immediately, in a manner that allows us to move forward with several of the components of the development while revising 309 West Washington and the Associated Parking Ramp, construction of the Broom Street Lofts should begin in September of 2006. This will likely be followed by the Main Street Townhomes, and then finally, once approved as modified herein, 309 West Washington and the associated parking would commence this fall. These components will then be followed by Phase II and Phase III once SIP approvals are obtained for each of those phases.

Social Economic Impact

The Capitol West development will provide a positive impact for downtown Madison both socially and economically. The mixed-use plan, by developing housing units and supporting retail uses in our city's center promotes smart growth by placing density where sufficient city services currently exist. By creating a range of housing choices within walkable distance from a variety of supporting retail services and workplaces, we are promoting healthy development.

The Capitol West development provides a significant component of affordable housing. Our current plan for Phase I calls for creation of affordable housing as set forth in the previously submitted and approved Inclusionary Zoning Dwelling Unit Plan. Affordable Housing will be targeted to residents making 80% of the Area Median Income or less.

Also, it is important to note that the design and construction of the buildings within the development will promote opportunities for healthy living and green building systems. The design of the master plan maximizes residents' access to sunlight and natural ventilation. The inclusion of a Recycling and Re-use Plan has and will continue to maximize the amount of material re-used and minimize the amount of waste generated by this development. The submitted and approved Transportation Demand Management Plan insures the exploration of expanding transportation options and creating a streetscape that better serves a range of users -- pedestrians, bicyclists, transit riders, and automobiles. And, the potential for rain catchment and other green building systems will reduce the amount of runoff and demand for water supply resulting from this development. This along with the remediation of hazardous materials currently existing on the site and the utilization of environmentally sensitive building materials creates a social benefit for the residents, the neighbors and the City, and exemplifies a commitment to responsible and environmentally sound development.

Based on the analysis above we feel the proposed development meets the spirit and intent of the PUD zoning ordinances when reviewed with respect to the criteria for approval set fourth in Section 28.07(6)(f) of the zoning code:

1. Criteria & Intensity of Land Use: The proposed PUD has been designed specifically with the existing neighborhood uses in mind. More intense uses have been located along streets and avenues that can support higher density development, while less intense uses are planned where the existing finer grain, less massive historic residential uses are adjacent to the proposed development, i.e. Broom Street & Main Street. Great lengths have been taken to design an aesthetically pleasing urban environment with a mix of uses designed to promote a sustainable urban community without adversely affecting municipal services. As noted above a transportation demand management plan and traffic impact analysis have been completed as part of the PUD and will help provide solutions to any traffic and parking demand concerns.
2. Economic Impact: We feel the proposed development will provide a positive impact on the economics of the city without adversely affecting the provision of municipal services. The projected increase in value of the property upon completion is in excess of \$100 million.
3. Presentation & Maintenance of Open Space: This development includes a block wide approach to providing functional urban open space of the highest quality. The efforts to create seating areas, walkways, water features, plazas, roof gardens, terraces, additional bike lanes, and bike parking areas will provide a more attractive network of useable open space than currently exists on site. Plantings existing in the transit corridor along the western edge of the block have reached their peak effectiveness in relation to their original single purpose: screening. The loss of branches due to age and overcrowding of a single species is producing diminishing returns. A broader look at the entire block allows us to provide plantings & open space that will more effectively address a variety of needs and uses both for wildlife and residents. In addition, this development will provide plantings that take into account rain interception, air filtration, shade and cooling, as well as more appropriate habitat and nutrition for wildlife than what currently exists on the site.
4. Implementation of Schedule: the schedule provides for phasing that promotes expedient construction of each phase of the development and limits any adverse effect on the community should the development terminate at the end of any given phase.

Thank you for your time in reviewing this proposal.

Respectfully,



THE ALEXANDER COMPANY, Inc.
Thomas Miller
Development Project Manager

Cc: Natalie Bock
File

**PROPOSED ZONING TEXT: PUD – SIP
 CAPITOL WEST – PHASE I
 BLOCK 51 MADISON, WI
 SIP ALTERATION – July 12th 2006**

Legal Description: The lands subject to this planned unit development shall include those described in Exhibit A attached hereto.

A. **Statement of Purpose:** This Zoning District is established to allow for the construction of approximately 400 dwelling units, up to 20,000 gsf of retail, up to 105,000 gsf of commercial office (of which 82,520 is existing) and approximately 942 parking spaces (of which 707 are existing). This development will be phased as identified below. Each of the components is described in detail in the original Letter of Intent. Please note that this SIP application is submitted to finalize the zoning text for each Phase of the development identified below. Also note that this Specific Implementation Plan contemplates the ongoing maintenance of two existing structures (345 W. Washington Ave and the existing Parking Ramp with a new address of 80 Washington Place) as their current uses.

• **Components included in this SIP:**

Phase I (173 Residential Units, up to 12,000 sf of Retail, Parking and Ex'g Office)

- 309 W. Washington Avenue - Residential & Retail: 126 Units – 195,772 GSF
 (Up to 12,000 GSF of Retail in 309 West Washington)
- Courtyard Townhomes: Residential 10 Units – 17,500 GSF
- Washington Rowhouses: Residential: 5 Units – 9300 GSF
- Below Grade Parking Structure: 216 Stalls – 90,000 GSF
- Main Street Condominiums: Residential: 9 Units – 16,200 GSF
- Broom Street Condominiums: Residential: 23 Units – 27,250 GSF
- 345 W. Washington Avenue: Existing Office – 82,520 GSF
- 345 W. Washington Avenue: Existing Parking – 190 Stalls
- Main Street Parking Ramp: Existing 517 Stalls
- Site Improvements and Landscaping
 - Washington Row
 - Capitol Mews from South Henry to Washington Row
 - Selected Streetscapes per City of Madison Documents and Developer Agreement

Parking Tally

Surface Parking Washington Place	19 Auto Stalls
27 Washington Place Ramp	216 Auto Stalls
80 Washington Place Ramp (Ex'g)	517 Auto Stalls (existing)
345 West Washington	190 Auto Stalls (existing)
Total	872 Auto Stalls*

*Of the total, 23 stalls are accessible and 8% are Small Car Stalls

Bike Parking Tally (Note: there are options for residents to install additional stalls)

309 West Washington	107 Bike Stalls
309 Retail	8 Bike Stalls - Surface
Capitol Court	20 Bike Stalls
Main Street Townhomes	10 Bike Stalls
Broom Street Lofts	23 Bike Stalls
Total (min. available to city standard)	168 Bike Stalls

• **Components to be included in future SIPs**

Phase II

306 West Main Street – Residential and Retail Mixed Use Building
Additional Site Improvements and Landscaping

Phase III

333 West Washington Avenue – Residential with structured parking
345 West Washington Avenue Expansion – Up to 105,000 GSF Total
Additional Site Improvements and Landscaping
Capitol Mews from Washington Row to Broom Street
Pedestrian Bridge across Washington Place

B. ***Permitted Uses:***

1. Those uses that are stated in all Residential, C-2 and C-4 Commercial & O-2 Office Zoning Districts (as modified herein and by the submitted architectural and site plans).
2. Uses accessory to permitted uses as listed above
3. Maintenance of existing buildings for current uses is permitted by this SIP
4. Maintenance of existing buildings on lots designated for future uses is permitted by this SIP.

C. ***Lot Area:*** Refer to the CSM and the submitted architectural plans for Lot Areas for each specific component.

D. ***Floor Area Ratio:***

1. Floor area ratios will comply with the submitted and recorded architectural plans for each component.
2. Maximum building height shall be limited by the Capitol View Preservation Limit as defined in Chapter 28.04(14)(b) of the Madison General Ordinances. The maximum number of stories shall be defined as shown on the submitted architectural plans for each component.

E. ***Yard Area Requirements:*** Yard areas will be provided as shown on the submitted site plan and landscape plan.

F. ***Landscaping:*** Site Landscaping will be provided as shown on the submitted site and landscape plans.

G. ***Accessory Off-Street Parking & Lodging:*** Accessory off street parking will be provided as described above and as shown on the site plan and architectural drawings of each component.

H. ***Lighting:*** Site Lighting will be provided as shown on the attached lighting plan.

I. ***Signage:*** Signage will be allowed as per Chapter 31 of the Madison General Ordinances, as it relates to the C2 Zoning District as approved by the Urban Design Commission and /or its Designee (Secretary), and as outlined in the future administrative amendments to existing SIPs for each phase of the proposed development as tenants are identified.

J. **Family Definition:** The family definition of this PUD-GDP shall coincide with the definition given in chapter 28.03(2) of the Madison General Ordinances for the R-6 Zoning District.

K. **Alterations and Revisions:** No alteration or revision to this planned unit development shall be permitted unless approved by the City Plan Commission, however the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Plan Commission.

Note: Modifications from the GDP and this SIP will be addressed in future SIP applications for each Phase.

L. **Additional Urban Design Commission Conditions:**

- Light colored roofing material shall be used at the Broom Street Lofts including the parapets.
- Architectural Grilles shall be provided to screen the PTAC HAVC Units at the Broom Street Lofts
- HVAC Compressors and/or Condensers for the Main Street Townhomes shall be located within the units or within the Parking Ramp where possible.
- All rooftop mechanicals shall be screened in a manner acceptable to the Urban Design Commission

M. **13' Broom Street Transportation Setback:** The owner of the Broom Street Lofts lot shall be financially responsible for the removal of site improvements within the 13' setback area at such time as the City of Madison acquires and improves the setback area.

N. **13' Broom Street Transportation Setback – Balcony Encroachments:** Balconies at units 202, 302, 402, 203, 303, 403, 205, 305 and 405 of the Broom Street Lofts at 15 South Broom Street have been approved by Plan Commission and City Council with a 4' infringement into the 13' Transportation Setback. The applicant acknowledges that an application for privilege in the public right-of-way will be filed for the balconies that have been approved at such time as the City of Madison acquires and improves the setback area. At that time the balconies will be subject to the standard Privilege in Right-of-Way application process and standard Encroachment Agreement or standard Real Estate Lease Agreement.

O. **Terrace Improvements:** Street Trees and Lighting in the terrace shall be addressed in a Developer's Agreement for each Phase of the project. The Developer's Agreement shall be executed prior to recording the SIP for each phase. Any additional improvements on the public right of way shall be identified in an encroachment agreement with the City Rea Estate Division.

P. **Sanitary Storm:** All sanitary storm lines in the public right-of-way shall be built/installed per City of Madison plans and standards.

Q. **Passenger Loading Areas:** The approval of his facility does not include the approval of Passenger Loading Areas in the street right-of-way. Any loading areas shown on the plans will require additional City approval after the SIP is recorded.

R. ***Residential Parking Permits***: No residential parking permits will be issued for 306 West Main Street, 309 and 333 West Washington Avenue Market Rate Residents. All IZ residents will be eligible for Residential Parking Permits. This restriction shall be noted for the condominium documents for each listed project.

Capitol West

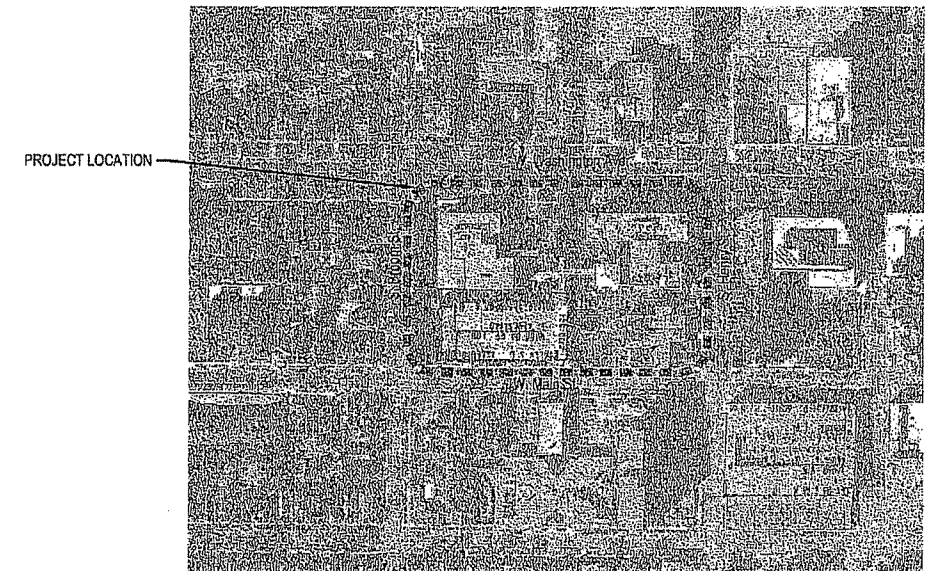
Phase 1

Block 51 - Madison, WI

Site Work & Utility Package

SIP Alteration

July 12, 2006



PROJECT LOCATION

CONTEXT MAP

NOT TO SCALE



Sheet List Table	
T1	COVER SHEET
C 001	OVERALL SITE DEVELOPMENT - BID PACKAGE DELINEATION
C 002	FIRE ACCESS PLAN
C 110	EXISTING CONDITIONS
C 111	EROSION CONTROL AND SITE ACCESS PLAN
C 112	SITE DEMOLITION AND PREPARATION PLAN
C 200	SITE GRADING - Overall
C 201	SITE GRADING - 309 West Washington Avenue - Arcade - North Stair
C 202	SITE GRADING - Capitol Court
C 203	SITE GRADING - Washington Place
C 204	SITE GRADING - 345 West Washington Avenue
C 205	SITE GRADING - Main St Town Homes - Henry St
C 206	SITE GRADING - Broom St Lofts
C 300	SITE LAYOUT - West
C 301	SITE LAYOUT - East - Henry St Enlargement
C 302	SITE LAYOUT - Washington Place
C 303	SITE LAYOUT - Arcade - North Stair
C 304	SITE LAYOUT - Main St
C 305	SITE LAYOUT - Broom St
C 400	SITE MATERIALS - West
C 401	SITE MATERIALS - East - Henry St Enlargement
C 402	SITE MATERIALS - Arcade - North stair
C 403	SITE MATERIALS - Main St
C 404	SITE MATERIALS - Broom St - Washington Place
C 500	SITE UTILITIES - 309 West Washington Avenue
C 501	SITE UTILITIES - Profiles
C 502	SITE UTILITIES - Profiles
C 600	SITE SIGNAGE
C 601	SITE LIGHTING - West
C 602	SITE LIGHTING - East
C 603	SITE LIGHTING - Light Cut Sheets

Sheet List Table	
C 700	SITE LANDSCAPE - 309 West Washington Avenue
C 701	SITE LANDSCAPE - Henry St - Main St
C 702	SITE LANDSCAPE - Washington Place
C 703	SITE LANDSCAPE - 345 West Washington Avenue
C 704	SITE LANDSCAPE - Main St
C 705	SITE LANDSCAPE - Broom St
C 800	SITE IRRIGATION
C 900	ELEVATIONS - Key Plan & South Parking Structure Facade
C 901	ELEVATIONS - 309 W Washington Ave
C 902	ELEVATIONS - Henry St - 309 Grand Stair - Mews Terminus
C 903	ELEVATIONS - 309 Grand Stair
C 904	ELEVATIONS - Main St Town Home Area Well Screens (Alternate Bid)
C 905	ELEVATIONS - Main St Town Home Area Well Screens (Alternate Bid)
C 906	ELEVATIONS - Capitol Court - Washington Place (Alternate Bid)
C 1000	SITE DETAILS
C 1001	SITE DETAILS
C 1002	SITE DETAILS
C 1003	SITE DETAILS

PREPARED FOR:

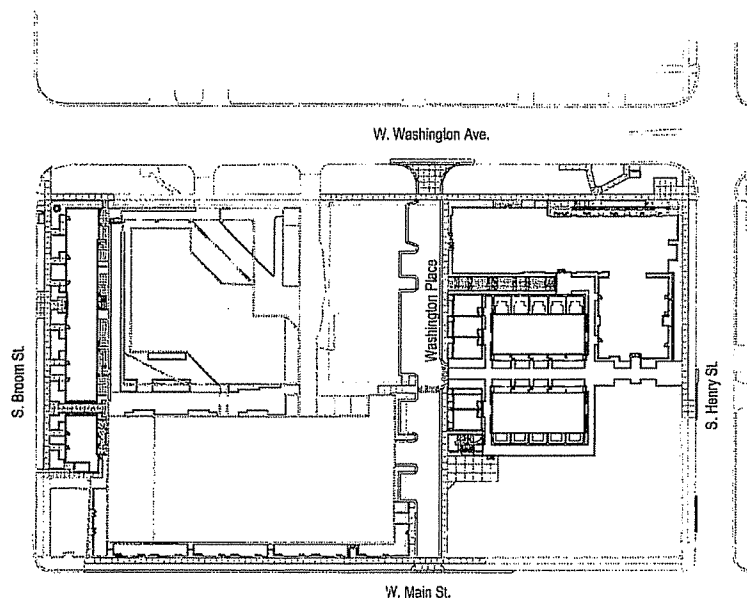
The Alexander Company, Inc.

145 East Badger Rd., Suite 200
Madison, Wisconsin 53713
☎ 608.258.5580
☎ 608.258.5599

PREPARED BY:

JJR

JJR, LLC
625 Williamson Street
Madison, Wisconsin 53703
☎ 608.251.1177
☎ 608.251.6147



NORTH ARROW LEGEND



TRUE NORTH



PROJECT NORTH

PROJECT NORTH - SITE ROTATED
-45° CLOCKWISE. W. WASHINGTON
AVE. ORIENTED WEST - EAST

SITE MAP

NOT TO SCALE



**CAPITOL WEST
PHASE 1
BLOCK 51 - MADISON, WI**

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
planning
urban design
civil engineering
environmental science
JJR, LLC
825 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL	12/01/2005	
SOX 00 REVIEW & ESTIMATE SET	01/04/2006	
MAIN ST. UTIL. TO CITY	02/07/2006	
CITY REVIEW SET	02/22/2006	
100% CLIENT/CONT. REVIEW SET	03/22/2006	
FINAL DOCS. GIP/SP SUBMITTAL	05/14/2006	
SP ALTERATION	07/12/2006	

SEALS AND SIGNATURES

KEY PLAN



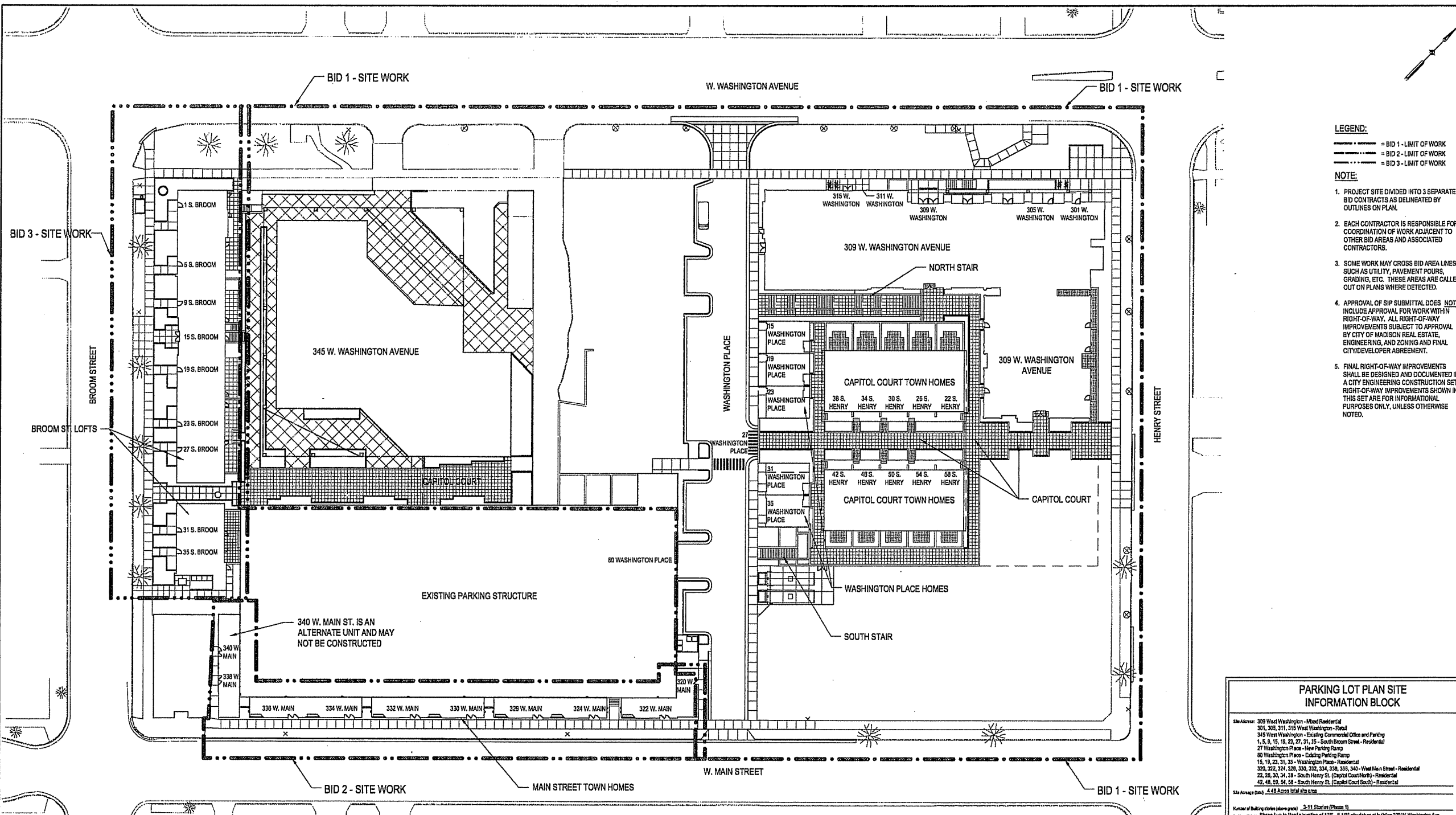
DRAWING TITLE
**OVERALL SITE
DEVELOPMENT - BID
PACKAGE DELINEATION**

SCALE AS INDICATED
SCALE 24589.000

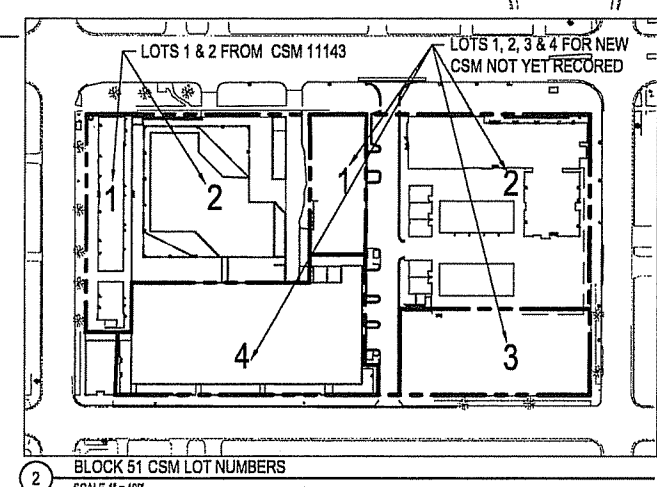
PROJECT NUMBER

C 001

DRAWING NUMBER



1 OVERALL SITE DEVELOPMENT PLAN
SCALE 1" = 30'



2 BLOCK 51 CSM LOT NUMBERS
SCALE 1" = 100'

PARKING LOT PLAN SITE INFORMATION BLOCK

Site Address: 309 West Washington - Mixed Residential
301, 305, 311, 315 West Washington - Retail
345 West Washington - Existing Commercial Office and Parking
1, 5, 9, 15, 19, 23, 27, 31, 35 - South Broom Street - Residential
27 Washington Place - New Parking Ramp
80 Washington Place - Existing Parking Ramp
15, 19, 23, 27, 31, 35 - Washington Place - Residential
320, 322, 324, 326, 330, 332, 334, 336, 338, 340 - West Main Street - Residential
22, 26, 30, 34, 38 - South Henry St. (Capitol Court North) - Residential
42, 46, 50, 54, 58 - South Henry St. (Capitol Court South) - Residential

Site Average Area: 4.48 Acres total site area

Number of building stories (above grade) 3-11 Stories (Phase 1)
Building Height Phase 1 up to Roof elevation of 118' - 5 1/8" city datum at building 309 W. Washington Ave. (Elevator penthouse screen = 181' - 10 1/8")
Total square footage of building See Architectural Plans for area of each component

DLU type of construction (new structure or addition) Various Construction Types (I, II and V)
Total square footage of building See Architectural Plans for area of each component

Use of property Mixed Use
Gross square feet of office Approximately 60,000 s.f. currently, (expandable to approx. 120,000 s.f. Phase 2)
Gross square feet of retail Approximately 20,000 s.f. (10,000 - 18,000 in Phase 1)

Number of employees in warehouse 0
Number of employees in production area 0
Capacity of warehouse/warehouse of currently 0

Number of bicycle racks shown Surface B racks
278 Total racks
181 for 309 W. Washington Ave. at 309 W. Washington Ave. (87 to City of Madison standards, 118 as upgrade option for residents)
20 for South Henry St. (Capitol Court) and Washington Place Homes at 309 W. Washington Ave.
23 for Broom Street Lots at 345 W. Washington (23 to City of Madison standards, 10 as upgrade option for residents)
20 for Main St. Town Homes at 80 Washington Place (10 to City of Madison standards, 10 as upgrade option for residents)

Number of parking stalls shown

Surface	19 stalls
Surface	19 stalls
Surface	190 stalls
Surface	517 stalls (150 retained for use by Maritz)
Surface	218 stalls
Surface	84 (8.9% of total)
Surface	23 stalls distributed throughout above
Surface	642 stalls

Number of trees shown 5 plus trees in street terrace, existing and those to be retained (see conversation with City)

* Note: Some stalls being provided as part of Phase 1 will be used for later Phases

FILE: P:\24589\000\CAD\sheet\4589-SH-OVERALL_DEV.dwg USER: mmevsk DATE: Jul, 11 2006 TIME: 03:28 pm

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR
landscape architecture
planning
and design
and engineering
and environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

FIRE CODE VARIANCES

- CODE ISSUE: 62.0500 (2)(a)(2)**
- Broom Street Lofts in excess of 30' from the aerial apparatus fire access lane.
- Equivalency: Fire Protection at Broom Street Lofts to NFPA-13
- CODE ISSUE: 62.0500 (3)(d)**
- Henry Street and Main Street: Aerial apparatus lane less than 28'.
- Equivalency: Provide 20' fire access lane and fire protection to NFPA-13 at Main Street Townhomes, 309 West Washington, and S. Henry St. (Capitol Court) Townhomes
- CODE ISSUE: 62.0500 (3)(a),(b)**
- S. Henry St. (Capitol Court) / 309 West Washington: Overhead obstruction at future bridge.
- Equivalency: Fire protection to NFPA-13 at S. Henry St. (Capitol Court) Townhomes

*See letter dated June 05, 2006 from Thomas Miller, Alexander Co. to John Lippitt, Madison Fire Department.

LEGEND

- = EXISTING FIRELANE
- = PROPOSED FIRELANE
- = FIRE HOSE LAY
- = FIRE HYDRANT
- = ON STREET PARKING

NOTE:

- PROPOSED WASHINGTON PLACE FIRELANE USES THE SIDEWALK BEHIND THE MOUNTABLE CURB.
- EXISTING FIRE LANES ARE DRAWN AS SIGNED, THE PLAN DOES NOT EVALUATE WHETHER THESE AREAS MEET THE REQUIREMENTS OF THE CITY OF MADISON ORDINANCE.
- LENGTH OF FIRE HOSES DRAWN DO NOT EXCEED 500 LINEAR FEET.

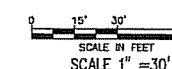
ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
50% DD REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
100% CLIENT/CONTR. REVIEW SET		03/22/2006
FINAL DOCS. GSP/SIP SUBMITTAL		06/14/2006
FINAL DOCS. GSP/SIP AMENDMENT		06/21/2006
SIP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN



DRAWING TITLE
FIRE ACCESS PLAN

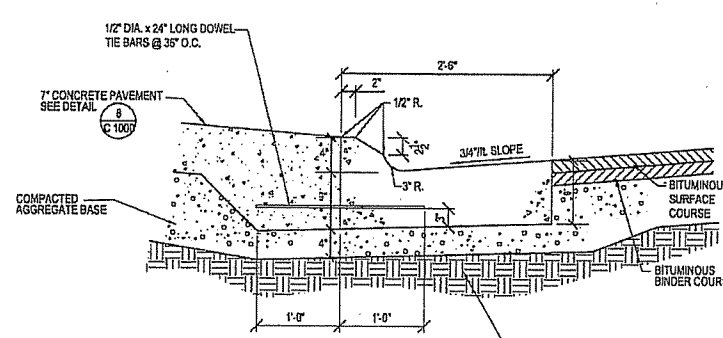
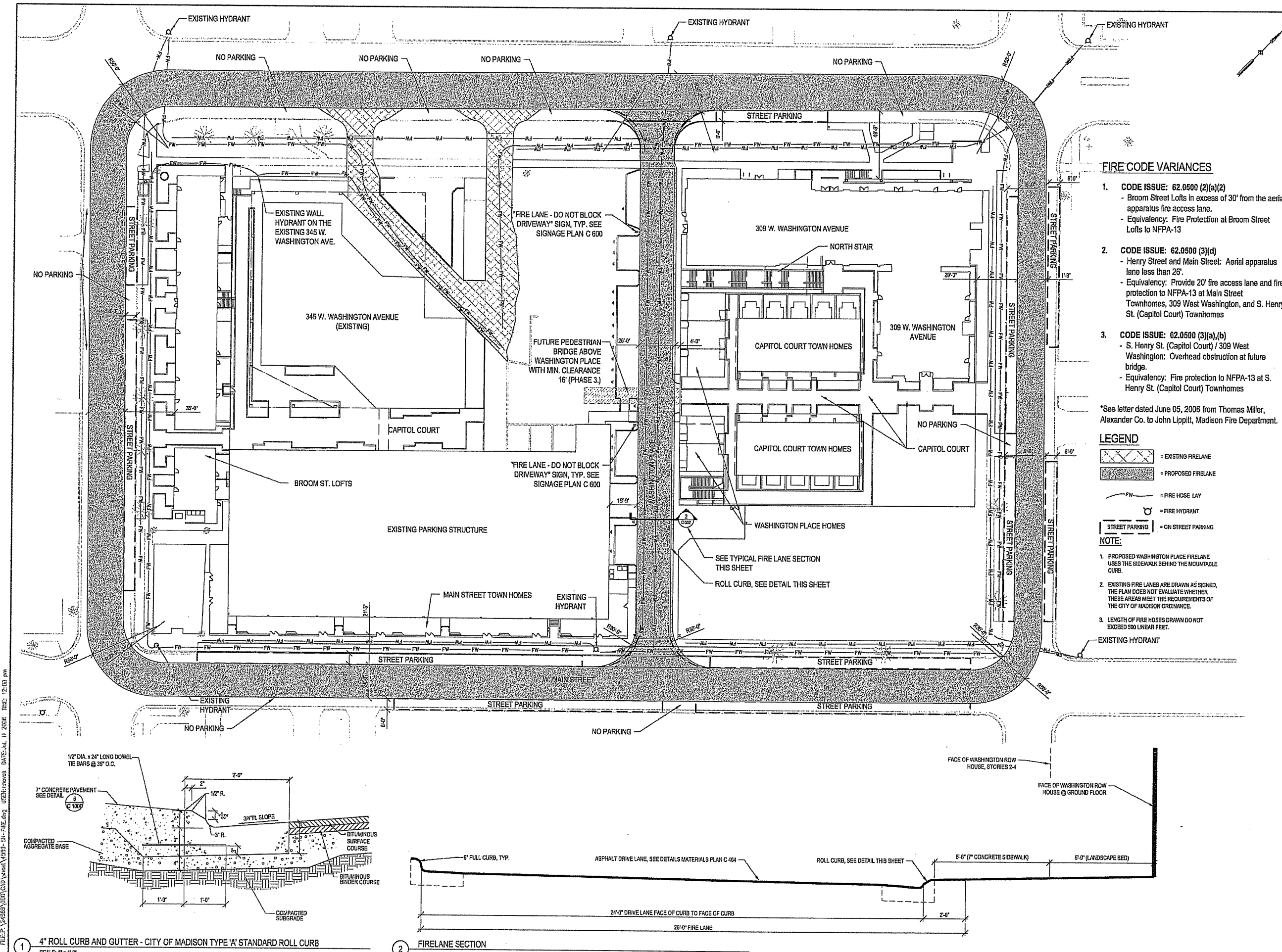


SCALE 24589.000

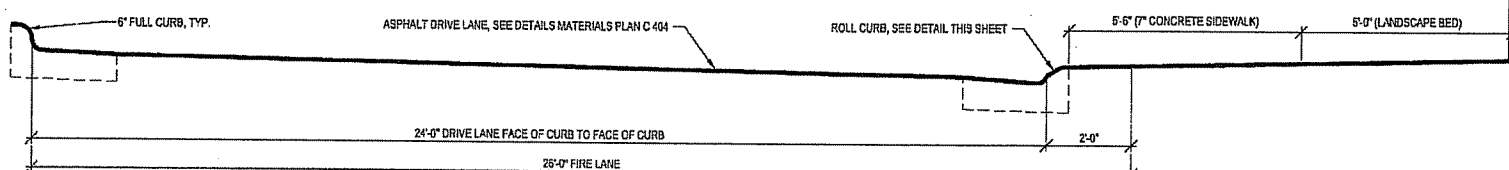
PROJECT NUMBER

C 002

DRAWING NUMBER



1 4" ROLL CURB AND GUTTER - CITY OF MADISON TYPE 'A' STANDARD ROLL CURB
SCALE: 1" = 1'-0"



2 FIRELANE SECTION
SCALE: 1" = 2'-0"

FILE: P:\43853\CD\CD\Sheet\1003-SI-FIRE.dwg USER: jmmccoy DATE: Jul 11 2006 TIME: 12:03 pm

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
planning
urban design
civil engineering
environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

CAL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
FAX A LOCATE 400-338-3880
TOD FOR HEARING IMPAIRED 1-800-547-8889
WIS. STATUTE 182.215(1)(F)
REQUIRES NOT. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

NOTES:

1. TOPOGRAPHIC AND UTILITY SURVEY WAS PERFORMED BY WILLIAMSON SURVEY IN JULY 2004.
2. THIS SURVEY IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. ENGINEER DOES NOT GUARANTEE ACCURACY, QUALITY OR COMPLETENESS OF INFORMATION PROVIDED. FIELD VERIFY ALL CONDITIONS.
3. ELEVATIONS FOR THIS SURVEY AND MAP ARE BASED ON CITY OF MADISON VERTICAL DATUM OF 1988 (NAVD88).
4. HORIZONTAL COORDINATE SYSTEM IS STATE PLANE NAD 27.
5. CONTOUR INTERVAL IS ONE FOOT.
6. SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SUPERFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS, REFERENCING UTILITY RECORDS AND MAPS, AND INSPECTING AS-BUILT DRAWINGS OF EXISTING ON-SITE BUILDINGS.
7. CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND APPROPRIATE UTILITY COMPANIES TO FIELD VERIFY UTILITIES PRIOR TO ANY CONSTRUCTION.

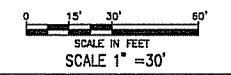
ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL	12/01/2005	
SOX 00 REVIEW & ESTIMATE SET	01/04/2006	
MAIN ST. UTIL. TO CITY	02/07/2006	
CITY REVIEW SET	02/22/2006	
100% CLIENT/CONT. REVIEW SET	03/22/2006	
FINAL DOCS. GWP/SP SUBMITTAL	06/14/2006	
SP ALTERATION	07/12/2006	

SEALS AND SIGNATURES

KEY PLAN



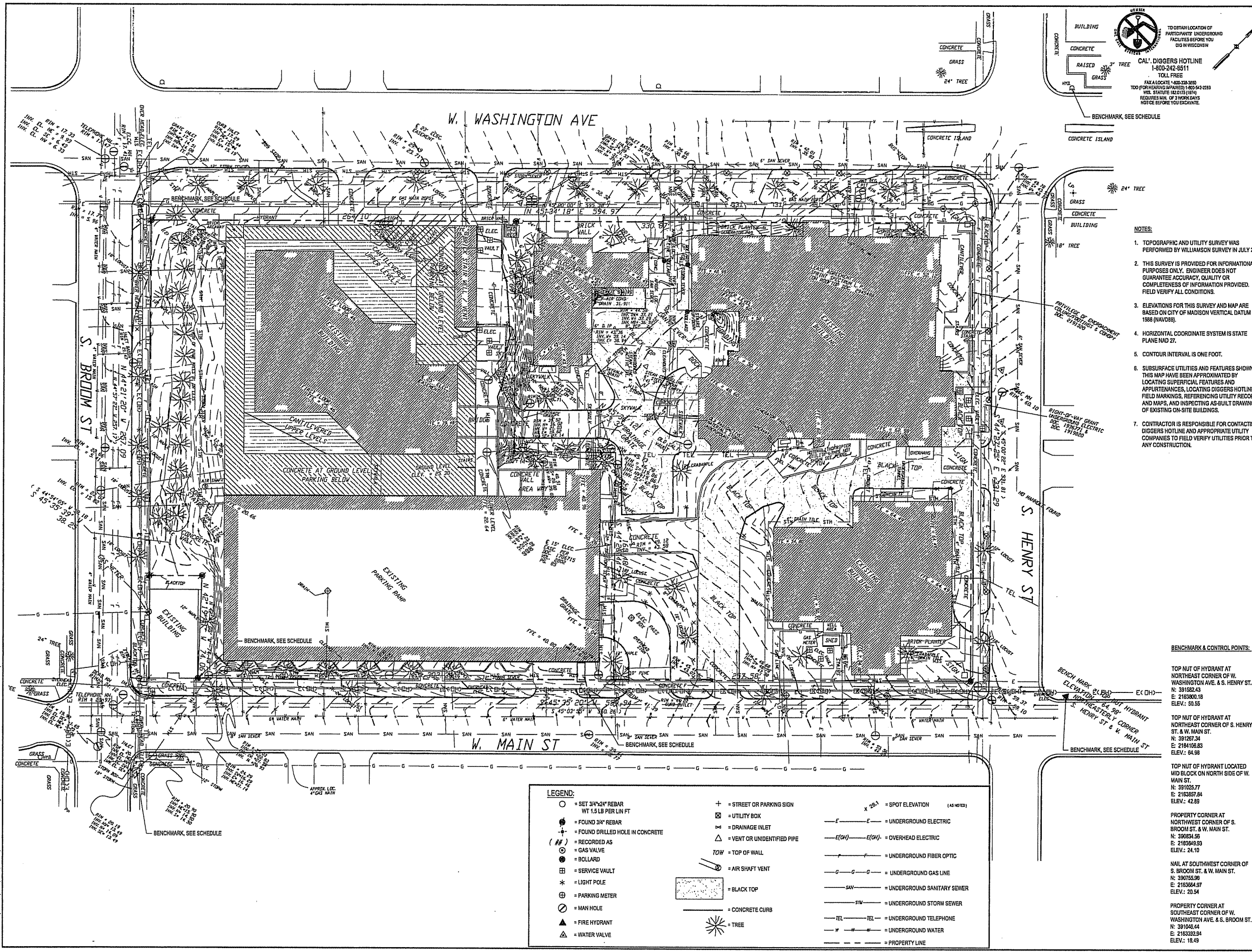
DRAWING TITLE
EXISTING CONDITIONS



SCALE 24589.000

PROJECT NUMBER
C 110

DRAWING NUMBER



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**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

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planning urban design civil engineering environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

MEMBER
TO OBTAIN LOCATION OF PARTICIPATING UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
FAX TO LOCATE: 608-258-2008
TDD FOR HEARING IMPAIRED: 1-800-242-2289
WIS. STATUTE 182.175 (1974)
REGULATED BY DPW WORK DATES
NOTICE BEFORE YOU EXCAVATE

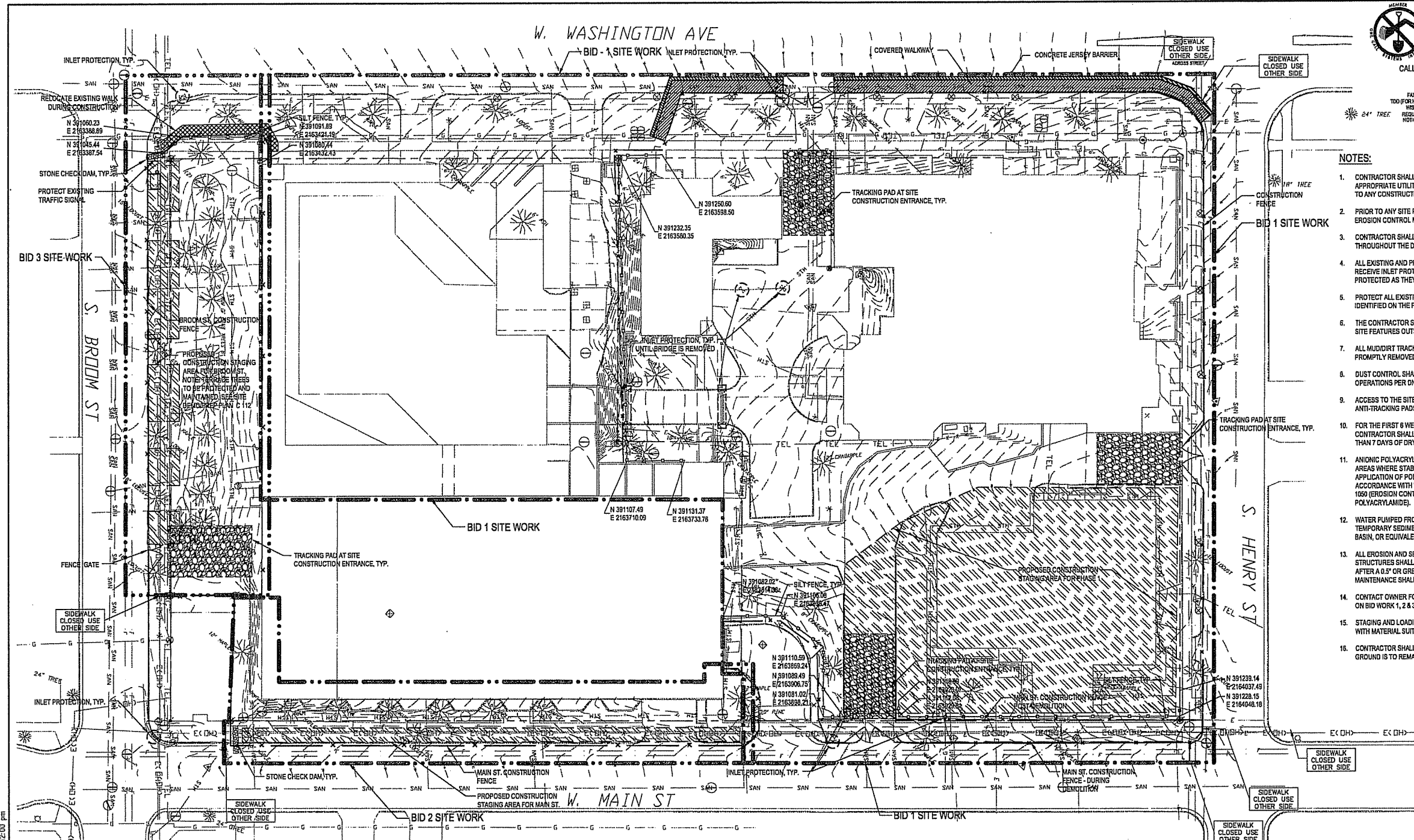
NOTES:

- CONTRACTOR SHALL CONTACT DIGGERS HOTLINE AND APPROPRIATE UTILITY COMPANIES TO FIELD VERIFY UTILITIES PRIOR TO ANY CONSTRUCTION.
- PRIOR TO ANY SITE PREPARATION OR CONSTRUCTION ACTIVITY ALL EROSION CONTROL MEASURES SHALL BE INSTALLED.
- CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITY.
- ALL EXISTING AND PROPOSED INLETS AND CATCHBASINS SHALL RECEIVE INLET PROTECTION. PROPOSED INLETS SHALL BE PROTECTED AS THEY ARE INSTALLED.
- PROTECT ALL EXISTING FEATURES FROM DAMAGE UNLESS IDENTIFIED ON THE PLANS TO BE REMOVED.
- THE CONTRACTOR SHALL NOT CONDUCT ANY WORK OR DISTURB SITE FEATURES OUTSIDE THE LIMITS OF WORK.
- ALL MUD/DIRT TRACKED ONTO ADJACENT ROADWAYS SHALL BE PROMPTLY REMOVED BY CONTRACTOR.
- DUST CONTROL SHALL BE MAINTAINED DURING CONSTRUCTION OPERATIONS PER DNR TECHNICAL STANDARDS.
- ACCESS TO THE SITE SHALL OCCUR ONLY AT LOCATIONS OF ANTI-TRACKING PADS.
- FOR THE FIRST 6 WEEKS AFTER INITIAL STABILIZATION, CONTRACTOR SHALL WATER PLANTED MATERIAL WHENEVER MORE THAN 7 DAYS OF DRY WEATHER ELAPSES OR AS NECESSARY.
- ANIONIC POLYACRYLAMIDE SHALL BE APPLIED TO ALL DISTURBED AREAS WHERE STABILIZATION OR EROSION IS PROBLEMATIC. APPLICATION OF POLYACRYLAMIDE SHALL BE PERFORMED IN ACCORDANCE WITH WICHR CONSERVATION PRACTICE STANDARD 1099 (EROSION CONTROL, LAND APPLICATION OF ANIONIC POLYACRYLAMIDE).
- WATER PUMPED FROM THE SITE SHALL BE TREATED BY USING A TEMPORARY SEDIMENTATION BASIN, PORTABLE DEWATERING BASIN, OR EQUIVALENT AS APPROVED BY THE CITY OF MADISON.
- ALL EROSION AND SEDIMENT CONTROL MEASURES AND STRUCTURES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER A 0.5" OR GREATER RAINFALL EVENT. ALL NECESSARY MAINTENANCE SHALL FOLLOW WITHIN 24 HOURS OF INSPECTION.
- CONTACT OWNER FOR CONTACT INFORMATION FOR CONTRACTORS ON BID WORK 1, 2 & 3
- STAGING AND LOADING AREAS SHALL BE TEMPORARILY STABILIZED WITH MATERIAL SUITABLE FOR LARGE TRUCK OPERATION.
- CONTRACTOR SHALL SEED AND MULCH CONSTRUCTION AREA IF GROUND IS TO REMAIN UNDISTURBED FOR MORE THAN 7 DAYS.

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
SOK DD REVIEW & ESTIMATE SET		01/04/2006
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CITY REVIEW SET		03/22/2006
100% CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. QP/SP SUBMITTAL		05/14/2006
SP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN

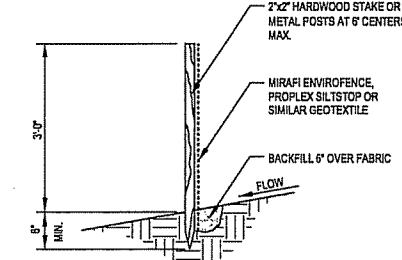


EXISTING CONDITIONS LEGEND:

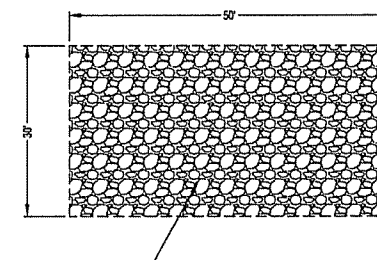
- = SET 3/4" X 24" REBAR WT 1.5 LB PER LIN FT
- = FOUND 3/4" REBAR
- + = FOUND DRILLED HOLE IN CONCRETE
- (#) = RECORDED AS
- ⊙ = GAS VALVE
- = BOLLARD
- ⊞ = SERVICE VAULT
- * = LIGHT POLE
- ⊕ = PARKING METER
- ⊙ = MAN HOLE
- ▲ = FIRE HYDRANT
- △ = WATER VALVE
- + = STREET OR PARKING SIGN
- ⊞ = UTILITY BOX
- ⊞ = DRAINAGE INLET
- △ = VENT OR UNIDENTIFIED PIPE
- TOH = TOP OF WALL
- = AIR SHAFT VENT
- = CONCRETE CURB
- ✱ = EXISTING TREE
- X 25.0' = SPOT ELEVATION (AS NOTED)
- E—E— = UNDERGROUND ELECTRIC
- E(OH)— = OVERHEAD ELECTRIC
- F—F— = UNDERGROUND FIBER OPTIC
- G—G—G— = UNDERGROUND GAS LINE
- SAN— = UNDERGROUND SANITARY SEWER
- STM— = UNDERGROUND STORM SEWER
- T—T—T— = UNDERGROUND TELEPHONE
- W—W—W— = UNDERGROUND WATER
- — — — — = BID 1 - LIMIT OF WORK
- — — — — = BID 2 - LIMIT OF WORK
- — — — — = BID 3 - LIMIT OF WORK

PROPOSED LEGEND:

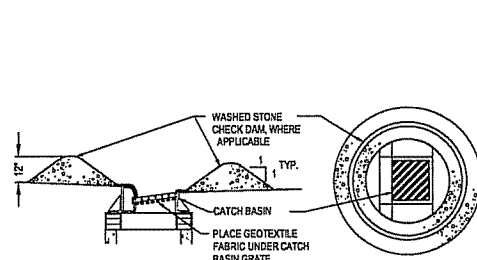
- = SILT FENCE
- ▨ = TRACKING PAD
- ▨ = RELOCATED WALK DURING CONSTRUCTION
- ▨ = CONSTRUCTION STAGING
- ▨ = COVERED SIDEWALK
- = CONCRETE JERSEY BARRIER
- ⊞ = INLET PROTECTION
- ▨ = STONE CHECK DAM
- = CONSTRUCTION FENCE



1 SILT FENCE INSTALLATION
NOT TO SCALE



2 ANTI-TRACKING PAD
NOT TO SCALE



3 INLET PROTECTION
NOT TO SCALE

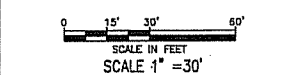
TRUCK ROUTE:

- ALL TRUCKS SHALL ACCESS THE SITE TRAVELING EAST ON WEST WASHINGTON AVENUE.
- ALL TRUCKS SHALL EXIT THE SITE TRAVELING WEST ON WEST WASHINGTON AVENUE VIA THE TRAFFIC LIGHT ON BROOM STREET.

**SIDEWALK
CLOSED USE
OTHER SIDE**

4 SIDEWALK CLOSED SIGNAGE
NOT TO SCALE

DRAWING TITLE
EROSION CONTROL AND
SITE ACCESS PLAN



SCALE 24589.000

PROJECT NUMBER C 111

DRAWING NUMBER

FILE: P:\4589\000\CAD\DWG\14589-SH-EROS-SH-EROS.dwg USER: mowak DATE: Jul 11 2006 TIME: 12:00 pm

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
planning urban design
civil engineering environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
FAX A LOCATE 1-800-338-3880
TOLL FREE
100 FOR HEARING IMPAIRED 1-800-542-2283
WIS. STATUTE 182.15(1074)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE.

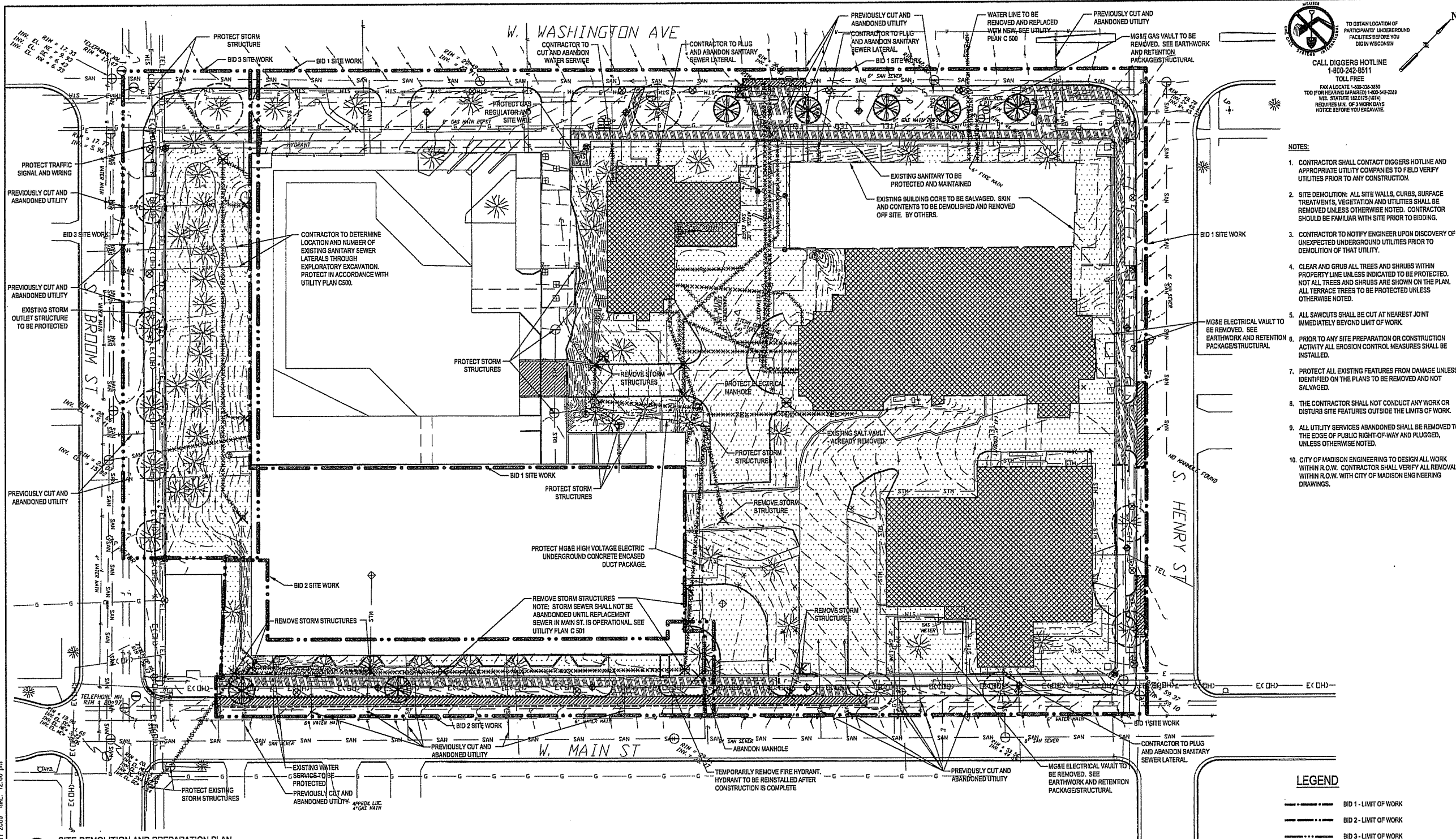
NOTES:

- CONTRACTOR SHALL CONTACT DIGGERS HOTLINE AND APPROPRIATE UTILITY COMPANIES TO FIELD VERIFY UTILITIES PRIOR TO ANY CONSTRUCTION.
- SITE DEMOLITION: ALL SITE WALLS, CURBS, SURFACE TREATMENTS, VEGETATION AND UTILITIES SHALL BE REMOVED UNLESS OTHERWISE NOTED. CONTRACTOR SHOULD BE FAMILIAR WITH SITE PRIOR TO BIDDING.
- CONTRACTOR TO NOTIFY ENGINEER UPON DISCOVERY OF UNEXPECTED UNDERGROUND UTILITIES PRIOR TO DEMOLITION OF THAT UTILITY.
- CLEAR AND GRUB ALL TREES AND SHRUBS WITHIN PROPERTY LINE UNLESS INDICATED TO BE PROTECTED. NOT ALL TREES AND SHRUBS ARE SHOWN ON THE PLAN. ALL TERRACE TREES TO BE PROTECTED UNLESS OTHERWISE NOTED.
- ALL SAWCUTS SHALL BE CUT AT NEAREST JOINT IMMEDIATELY BEYOND LIMIT OF WORK.
- PRIOR TO ANY SITE PREPARATION OR CONSTRUCTION ACTIVITY ALL EROSION CONTROL MEASURES SHALL BE INSTALLED.
- PROTECT ALL EXISTING FEATURES FROM DAMAGE UNLESS IDENTIFIED ON THE PLANS TO BE REMOVED AND NOT SALVAGED.
- THE CONTRACTOR SHALL NOT CONDUCT ANY WORK OR DISTURB SITE FEATURES OUTSIDE THE LIMITS OF WORK.
- ALL UTILITY SERVICES ABANDONED SHALL BE REMOVED TO THE EDGE OF PUBLIC RIGHT-OF-WAY AND PLUGGED, UNLESS OTHERWISE NOTED.
- CITY OF MADISON ENGINEERING TO DESIGN ALL WORK WITHIN R.O.W. CONTRACTOR SHALL VERIFY ALL REMOVALS WITHIN R.O.W. WITH CITY OF MADISON ENGINEERING DRAWINGS.

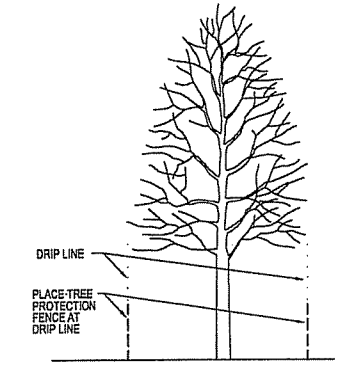
ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
50% DD REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
100% CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. GOP/SP SUBMITTAL		06/14/2006
SP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN



1 SITE DEMOLITION AND PREPARATION PLAN
SCALE 1" = 30'



2 TREE PROTECTION
NOT TO SCALE

LEGEND

- BID 1 - LIMIT OF WORK
- BID 2 - LIMIT OF WORK
- BID 3 - LIMIT OF WORK
- - - SAWCUT
- CURB AND GUTTER REMOVAL
- STRUCTURE DEMOLITION/ FOUNDATION REMOVAL
- ASPHALT PAVEMENT REMOVAL
- SITE DEMOLITION: SEE NOTES
- CONCRETE REMOVAL
- UTILITY LINE AND STRUCTURE REMOVAL OR ABANDONMENT (BURIED & OVERHEAD)
- SALVAGE AND REMOVE LIGHT/POWER POLES AND FOOTINGS. RETURN TO CITY OF MADISON.
- SIGNS TO BE SALVAGED AND REMOVED, RETURN TO CITY OF MADISON
- TREE TO BE REMOVED
- TREES TO BE PROTECTED

DRAWING TITLE
**SITE DEMOLITION AND
PREPARATION PLAN**

SCALE 1" = 30'

PROJECT NUMBER
24589.000

DRAWING NUMBER
C 112

FILE: P:\24589\000\CAD\sheet\1589-SH-DEMO.dwg USER: mcmack DATE: Jul. 11. 2006 TIME: 12:00 pm

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

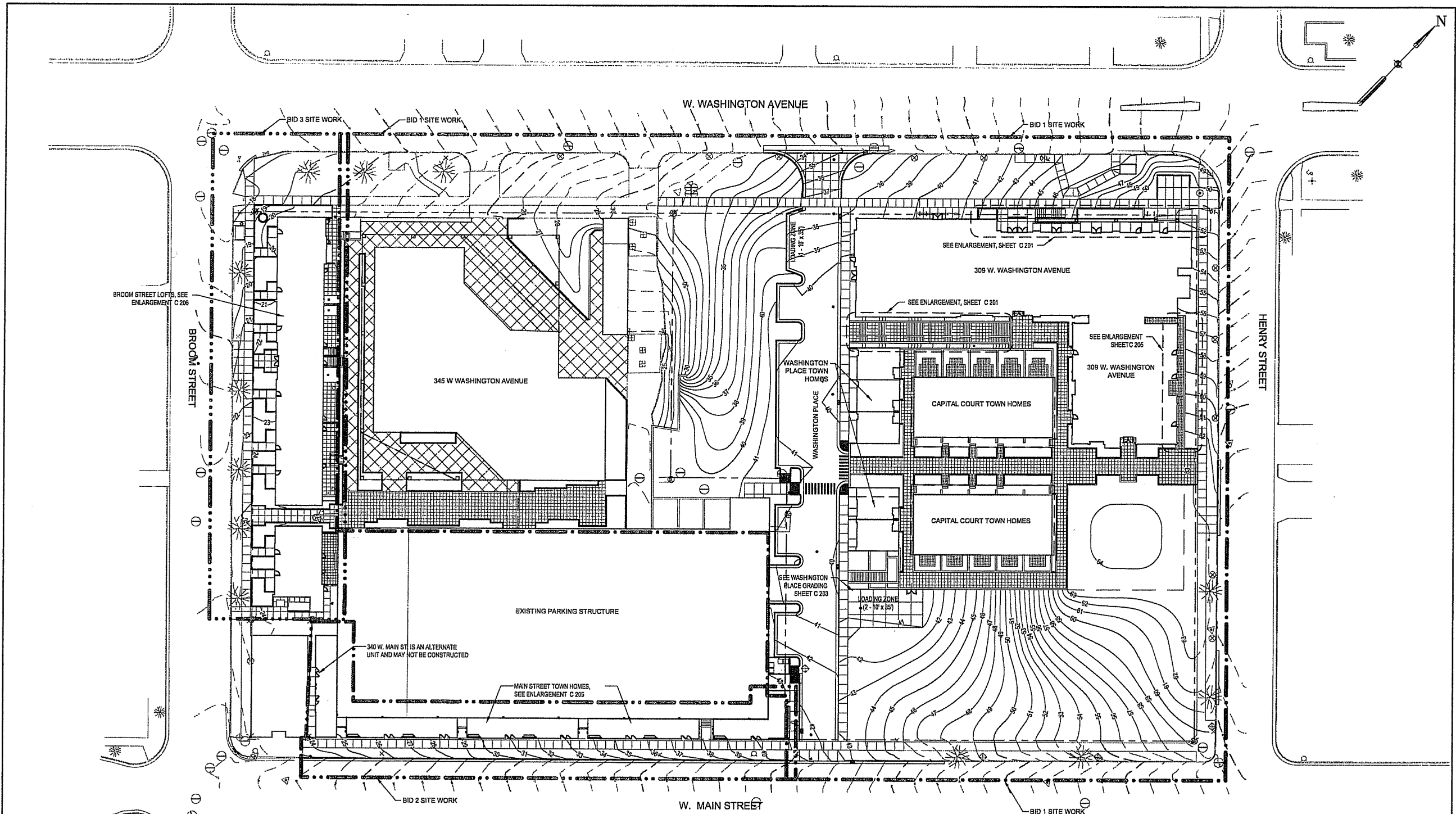
Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
planning
urban design
civil engineering
environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL	12/01/2005	
SDR DD REVIEW & ESTIMATE SET	01/04/2006	
MAIN ST. UTIL. TO CITY	02/07/2006	
CITY REVIEW SET	02/22/2006	
100% CLIENT/CONT. REVIEW SET	03/22/2006	
FINAL DOCS. CRP/SP SUBMITTAL	06/14/2006	
SIP ALTERATION	07/12/2006	

SEALS AND SIGNATURES

KEY PLAN



NOTES

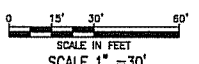
- APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
FAX ALGATE 1-800-338-3300
TDD (FOR HEARING IMPAIRED) 1-800-543-2253
WIS. STATUTE 182.0175 (1974)
ACQUIRES 24 HRS OF WORK ZONE NOTICE BEFORE YOU EXCAVATE.

LEGEND

- BID 1 - LIMIT OF WORK
- BID 2 - LIMIT OF WORK
- BID 3 - LIMIT OF WORK
- 55- PROPOSED MAJOR CONTOUR
- 54- PROPOSED MINOR CONTOUR
- 55- EXISTING MAJOR CONTOUR
- 54- EXISTING MINOR CONTOUR
- PR. WATER VALVE
- PR. FIRE HYDRANT
- PR. MANHOLE
- PR. STORM INLET/CATCH BASIN
- PR. PLANTER DRAIN (PD)
- PR. FLOOR DRAIN (FD)
- PR. CLEAN OUT/DROP CLEAN OUT
- PR. TRENCH DRAIN
- PROPERTY LINE



DRAWING TITLE
SITE GRADING - Overall

SCALE **24589.000**

PROJECT NUMBER

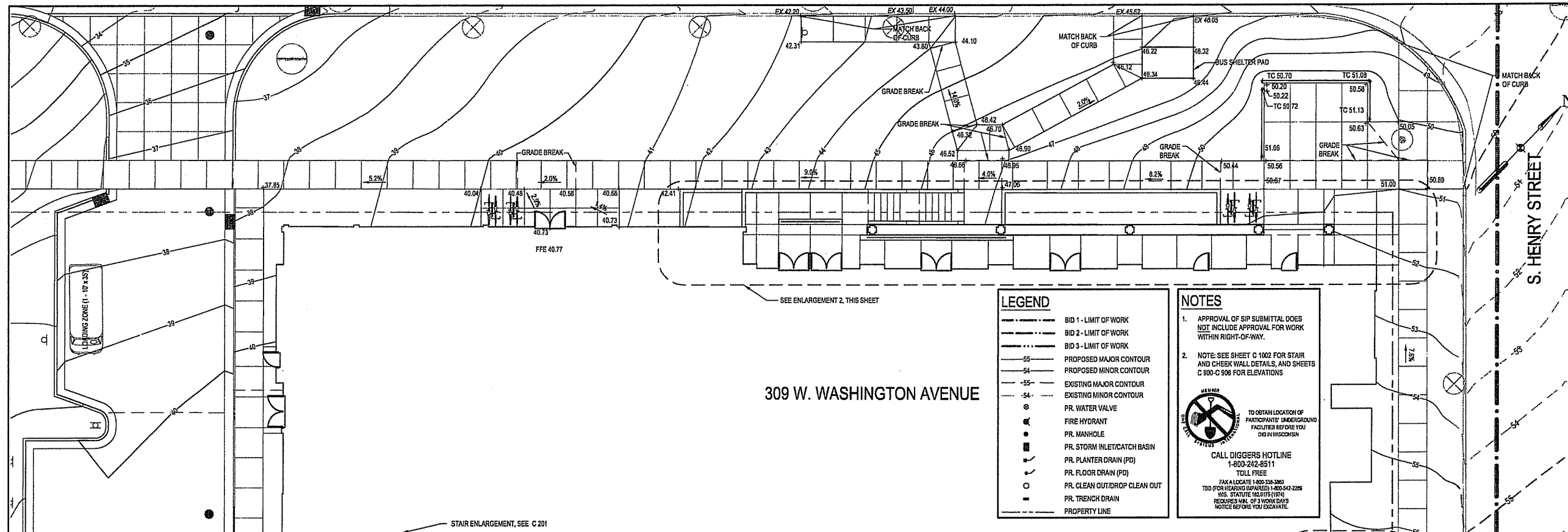
C 200

DRAWING NUMBER

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
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urban design
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environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
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LEGEND

- BID 1 - LIMIT OF WORK
- BID 2 - LIMIT OF WORK
- BID 3 - LIMIT OF WORK
- 55 - PROPOSED MAJOR CONTOUR
- 54 - PROPOSED MINOR CONTOUR
- 55 - EXISTING MAJOR CONTOUR
- 54 - EXISTING MINOR CONTOUR
- ⊕ PR. WATER VALVE
- ⊕ FIRE HYDRANT
- ⊕ PR. MANHOLE
- ⊕ PR. STORM INLET/CATCH BASIN
- ⊕ PR. PLANTER DRAIN (PD)
- ⊕ PR. FLOOR DRAIN (FD)
- ⊕ PR. CLEAN OUT/DROP CLEAN OUT
- ⊕ PR. TRENCH DRAIN
- PROPERTY LINE

NOTES

- APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.
- NOTE: SEE SHEET C 1002 FOR STAIR AND CHEEK WALL DETAILS, AND SHEETS C 900-C 908 FOR ELEVATIONS.

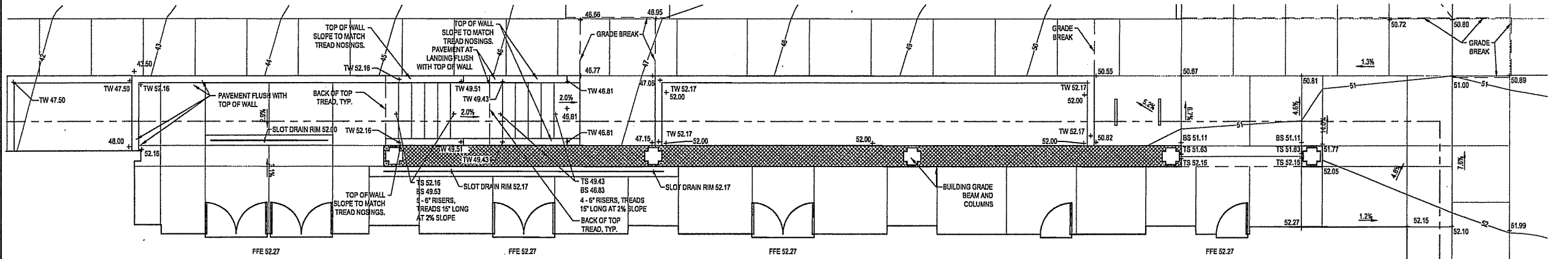
TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
FAX A LOCATE 1-800-334-3863
TDD (FOR HEARING IMPAIRED) 1-800-342-2288
WIS. STATUTE 182.315(1)(F)
REQUIRES MIN. OF 3 WORKDAYS NOTICE BEFORE YOU EXCAVATE.

1 309 W. WASHINGTON AVE. SITE GRADING
SCALE 1"=10'

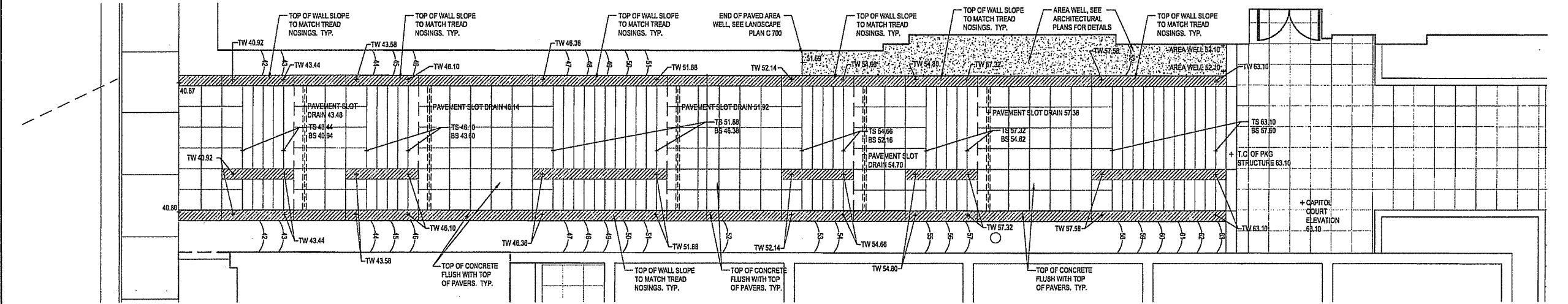
ISSUED FOR

ISSUED FOR	REV DATE
FOOTING & FOUNDATION SUBMITTAL	12/01/2005
SOX DD REVIEW & ESTIMATE SET	01/04/2006
MAIN ST. UTIL. TO CITY	02/07/2006
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FINAL DOCS. GCP/SIP SUBMITTAL	06/14/2006
SIP ALTERATION	07/12/2006

SEALS AND SIGNATURES



2 309 W. WASHINGTON AVE. - ARCADE ENLARGEMENT
SCALE 1"=5'



3 NORTH STAIR - ENLARGEMENT
SCALE 1"=5'

KEY PLAN

PROJECT NORTH

DRAWING TITLE
**SITE GRADING - 309 West
Washington Avenue - Arcade -
North Stair**

SCALE AS INDICATED

SCALE 24589.000

PROJECT NUMBER
C 201

DRAWING NUMBER

FILE: P:\24589\0001\CAD\sheet\4389-SI-GRAD.dwg USER: mrook DATE: Jul 11 2006 TIME: 12:01 pm

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

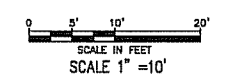
JJR landscape architecture
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JJR, LLC
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MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

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FINAL DOCS. GSP/SIP SUBMITTAL		06/14/2006
SIP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN

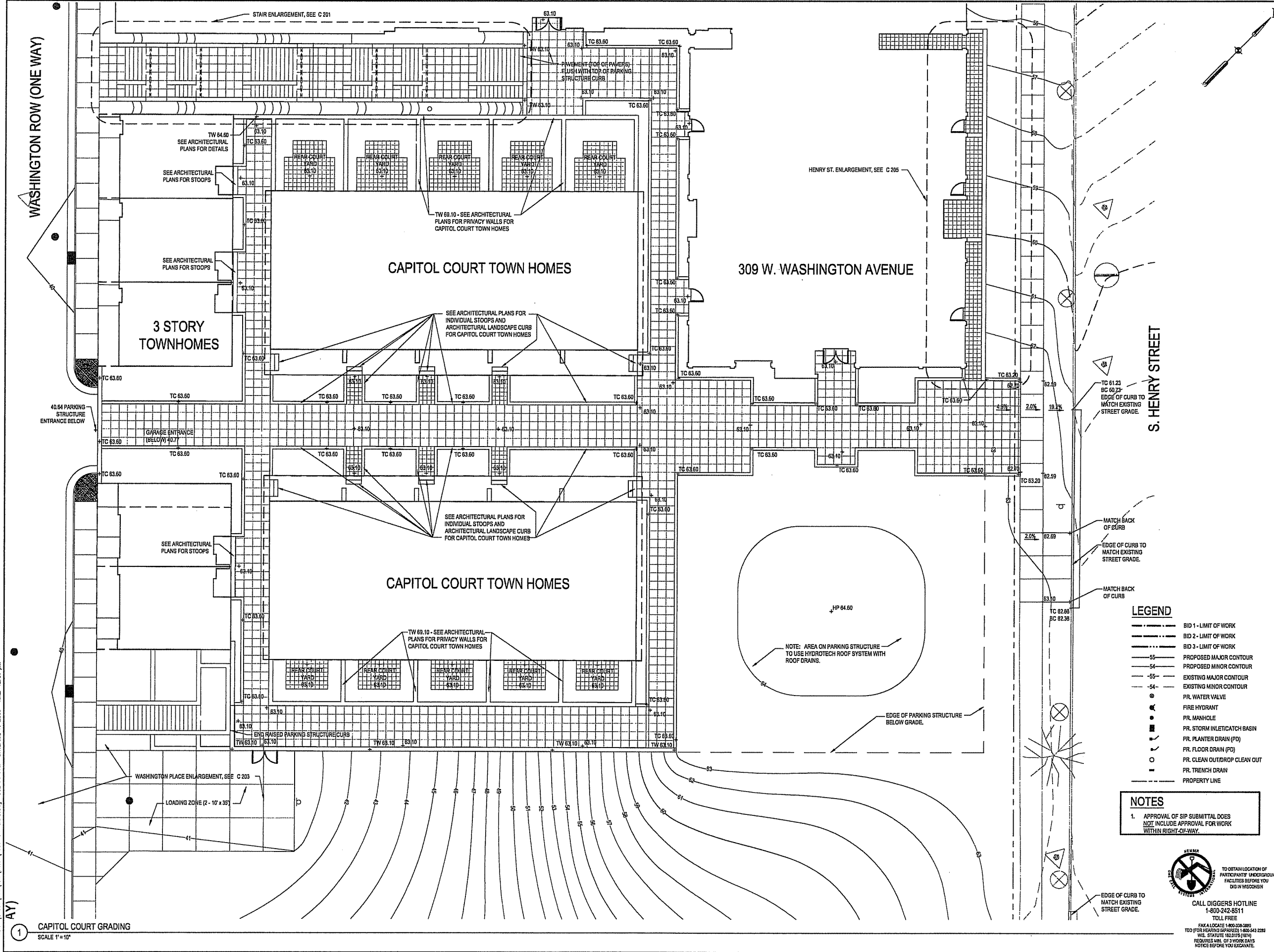
DRAWING TITLE
**SITE GRADING - Capitol
Court**



SCALE 24589.000

PROJECT NUMBER
C 202

DRAWING NUMBER



FILE P: \24589\000\CAD\sheet\589-SI-GRAD.dwg USER: mowak DATE: Jul 11 2006 TIME: 12:01 pm

1 CAPITOL COURT GRADING
SCALE 1" = 10'

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-5511
TOLL FREE
FAX: LOCATE 1-800-338-3865
TDD (FOR HEARING IMPAIRED) 1-800-242-2285
WIS. STATUTE 90.075 (10TH) REQUIRES A W. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

**CAPITOL WEST
PHASE 1
BLOCK 51 - MADISON, WI**

Owner:
**THE ALEXANDER
COMPANY, INC.**

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MADISON, WISCONSIN 53703
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ISSUED FOR	REV DATE
FOOTING & FOUNDATION SUBMITTAL	12/01/2005
SIX DD REVIEW & ESTIMATE SET	01/04/2006
MAIN ST. UTIL. TO CITY	02/03/2006
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FINAL DOCS. GDD/SP SUBMITTAL	05/14/2006
SIP ALTERATION	07/12/2006

SEALS AND SIGNATURES

KEY PLAN



DRAWING TITLE
**SITE GRADING - Washington
Place**

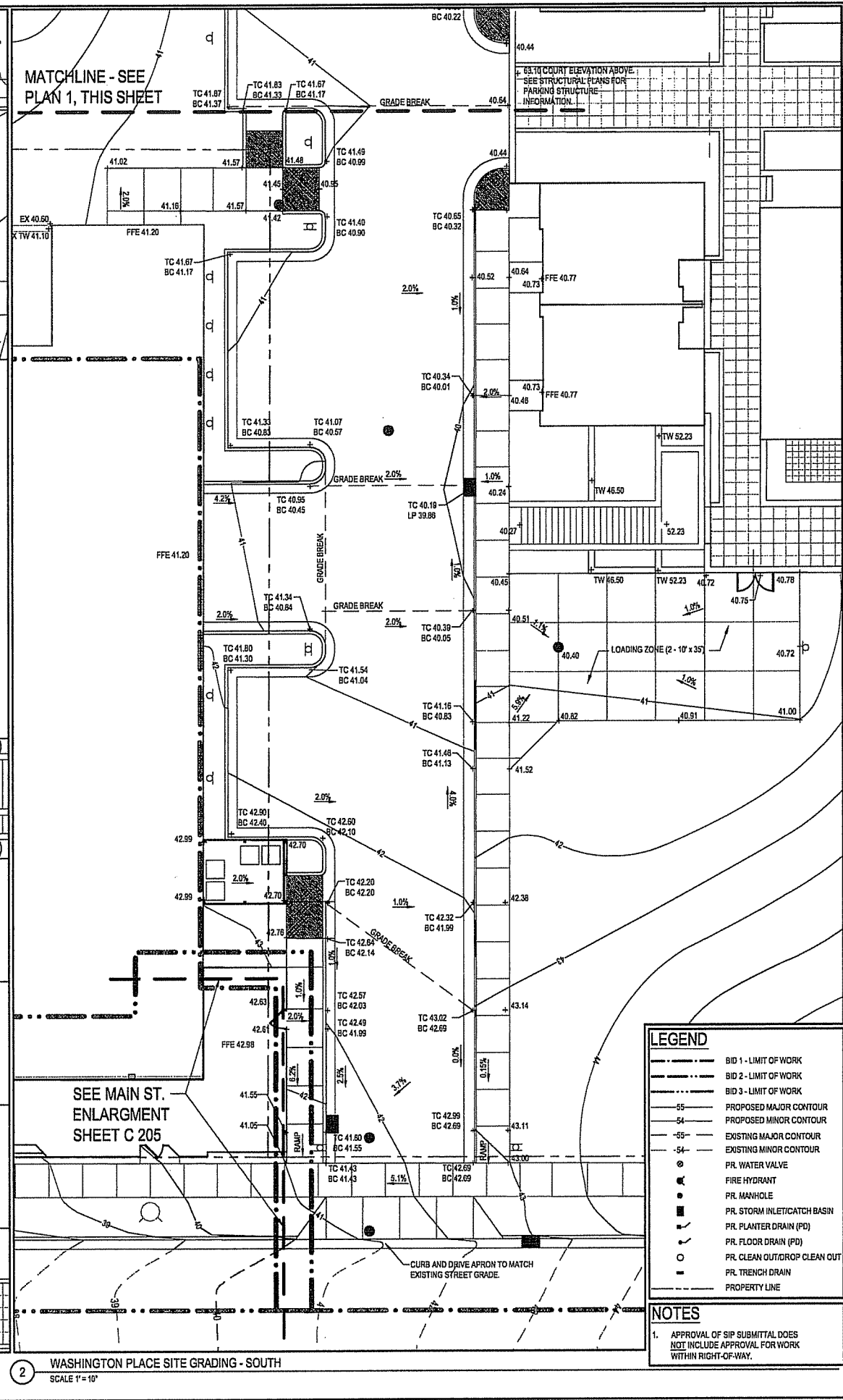
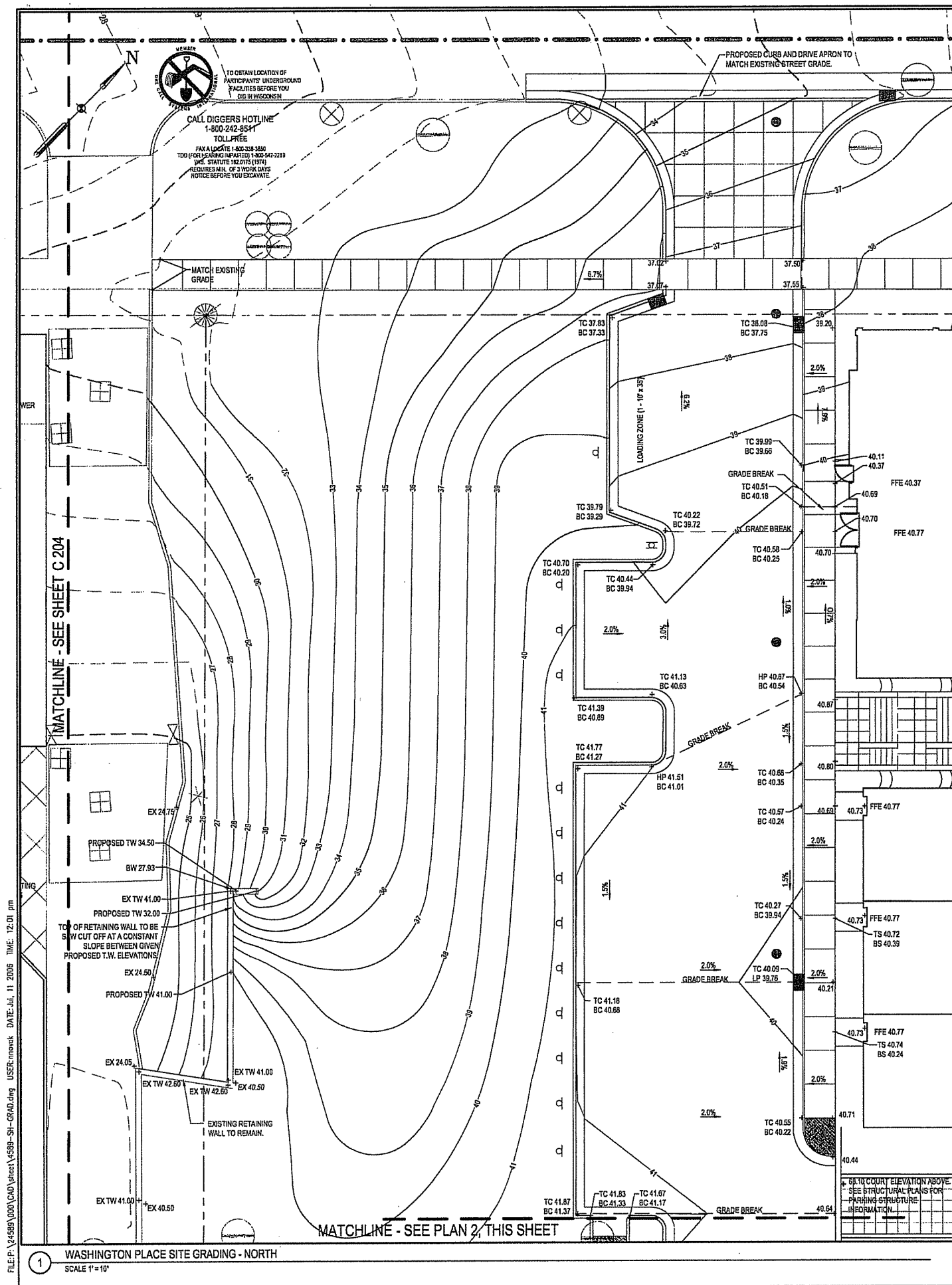
SCALE
0 5' 10' 20'
SCALE IN FEET
SCALE 1" = 10'

SCALE 24589.000

PROJECT NUMBER

C 203

DRAWING NUMBER



LEGEND

- BID 1 - LIMIT OF WORK
- BID 2 - LIMIT OF WORK
- BID 3 - LIMIT OF WORK
- - - PROPOSED MAJOR CONTOUR
- - - PROPOSED MINOR CONTOUR
- - - EXISTING MAJOR CONTOUR
- - - EXISTING MINOR CONTOUR
- PR. WATER VALVE
- PR. FIRE HYDRANT
- PR. MANHOLE
- PR. STORM INLET/CATCH BASIN
- PR. PLANTER DRAIN (PD)
- PR. FLOOR DRAIN (FD)
- PR. CLEAN OUT/DROP CLEAN OUT
- PR. TRENCH DRAIN
- PROPERTY LINE

NOTES

- APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.

FILE: P:\24589\000\CAD\sheet\4589-SH-CRAD.dwg USER: rmpack DATE: Jul 11 2006 TIME: 12:01 pm

**CAPITOL WEST
PHASE 1
BLOCK 51 - MADISON, WI**

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
planning
urban design
civil engineering
environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL	12/01/2005	
50% DD REVIEW & ESTIMATE SET	01/04/2006	
MAIN ST. UTIL. TO CITY	02/07/2006	
CITY REVIEW SET	02/22/2006	
100% CLIENT/CONT. REVIEW SET	03/22/2006	
FINAL DOCS. GMP/SIP SUBMITTAL	06/14/2006	
SIP ALTERATION	07/12/2006	

SEALS AND SIGNATURES

KEY PLAN



LEGEND

- BID 1 - LIMIT OF WORK
- BID 2 - LIMIT OF WORK
- BID 3 - LIMIT OF WORK
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PR. WATER VALVE
- PR. FIRE HYDRANT
- PR. MANHOLE
- PR. STORM INLET/CATCH BASIN
- PR. PLANTER DRAIN (PD)
- PR. FLOOR DRAIN (FD)
- PR. CLEAN OUT/DROP CLEAN OUT
- PR. TRENCH DRAIN
- PROPERTY LINE

NOTES

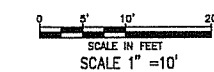
- APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.



TO OBTAIN LOCATION OF
PARTICIPATE UNDERGROUND
FACILITIES BEFORE YOU
DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
FAX ALLOCATE 1-800-388-3800
TDD (FOR HEARING IMPAIRED) 1-800-542-2282
WIS. STATUTE 18.20(15) (1975)
REQUIRE W.K. OF WORK CALLS
NOTICE BEFORE YOU EXCAVATE.

DRAWING TITLE
**SITE GRADING - 345 West
Washington Avenue**

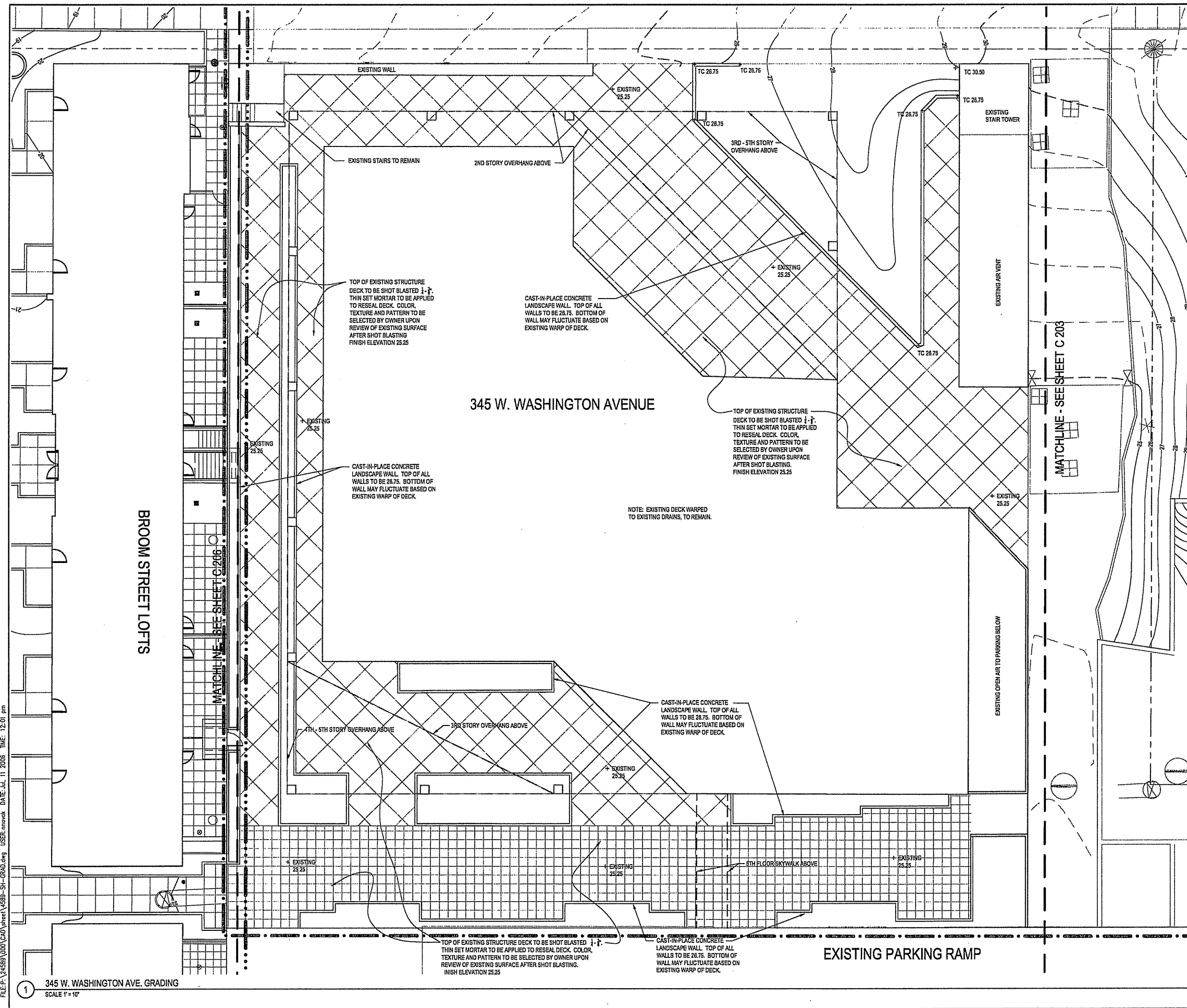


SCALE 24589.000

PROJECT NUMBER

C 204

DRAWING NUMBER



FILE P: \4589\000\CAD\sheet\4589-SIP-GRAD.dwg USER: mowak DATE: Jul, 11 2006 TIME: 12:01 pm

1 345 W. WASHINGTON AVE. GRADING
SCALE 1" = 10'


**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
planning
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625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

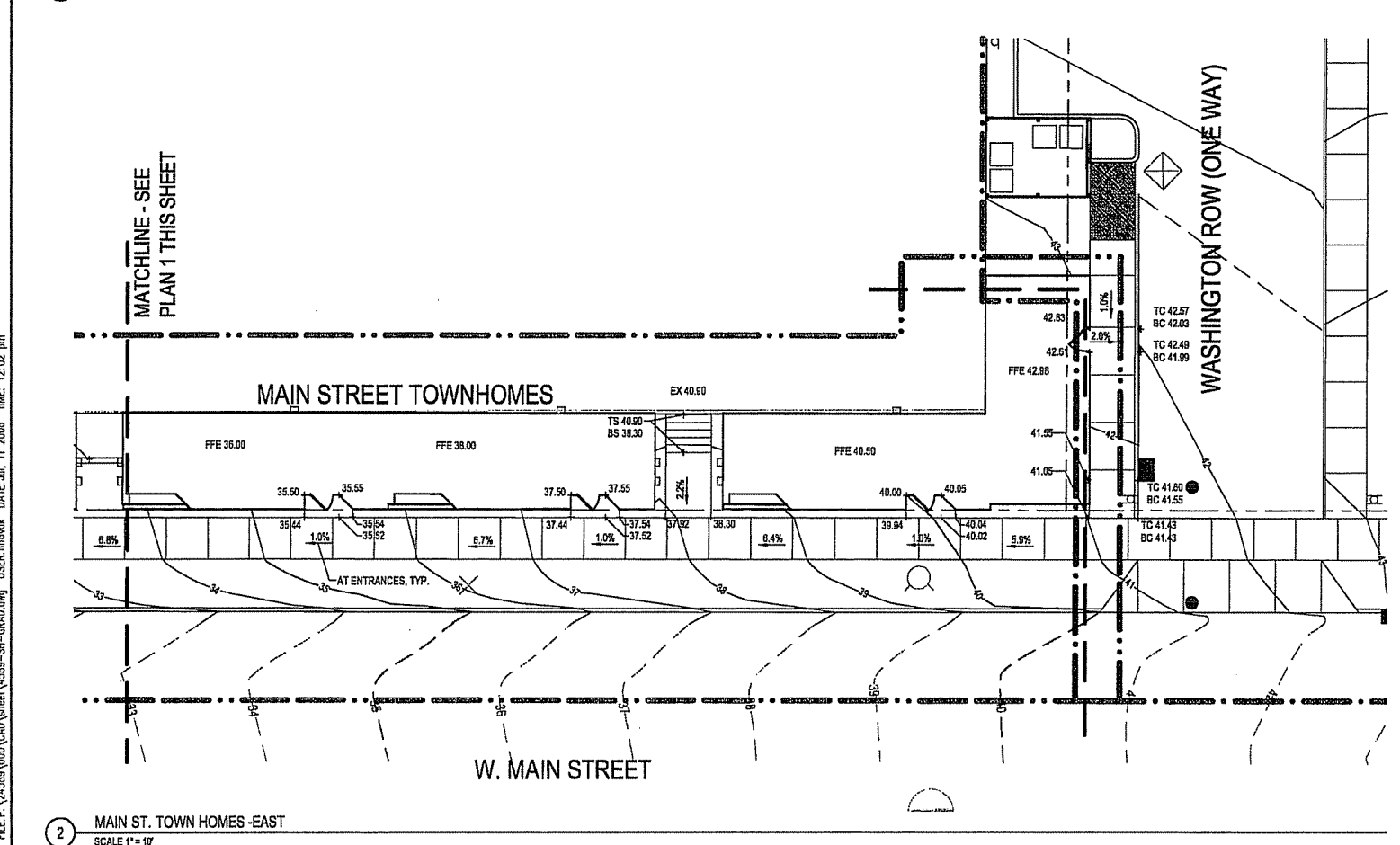
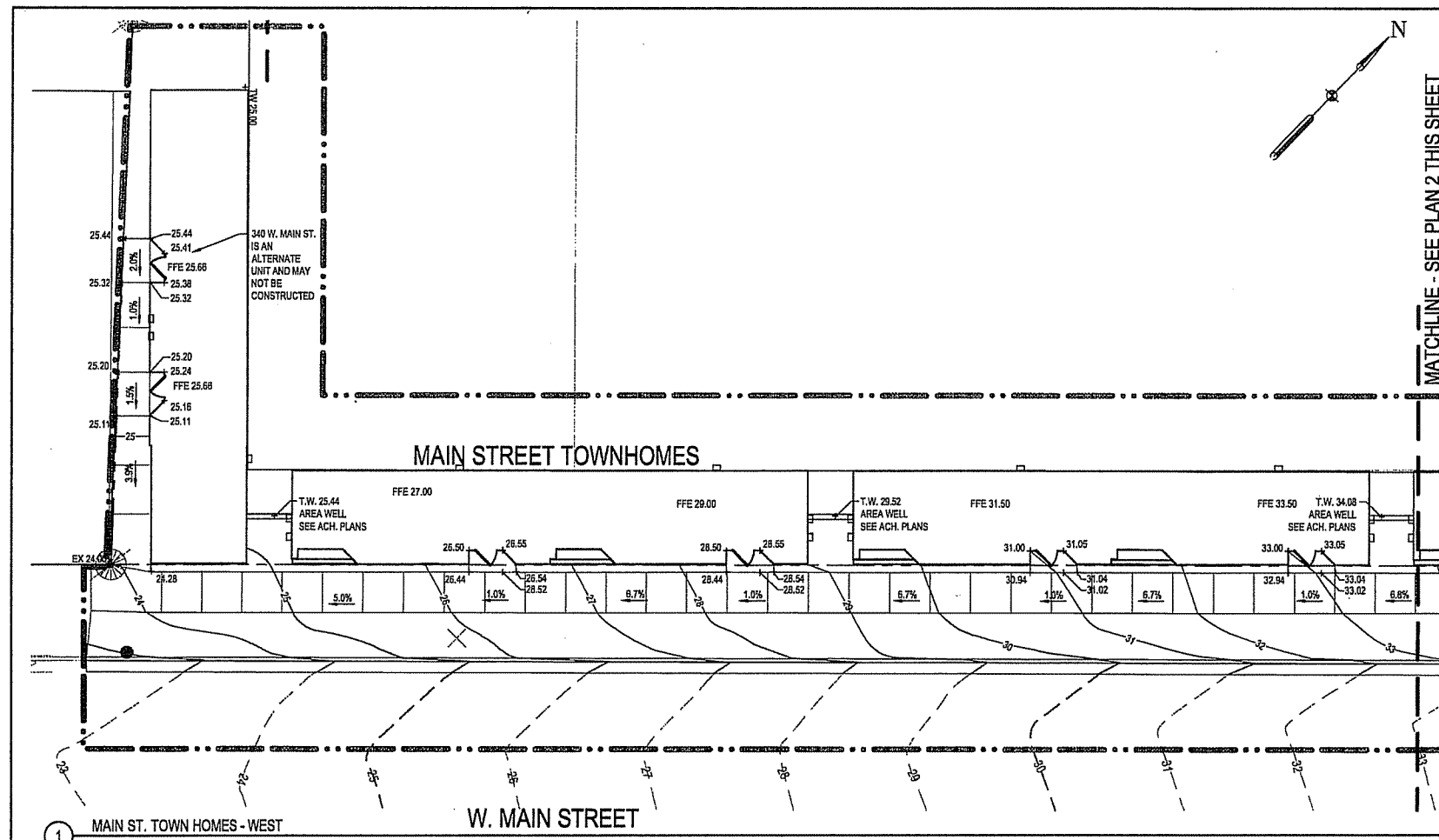
ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
50% DD REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
100% CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. GOP/SIP SUBMITTAL		06/14/2006
SIP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN  PROJECT NORTH

DRAWING TITLE
**SITE GRADING - Main St
Town Homes - Henry St**

SCALE AS INDICATED
SCALE 24589.000
PROJECT NUMBER
C 205
DRAWING NUMBER




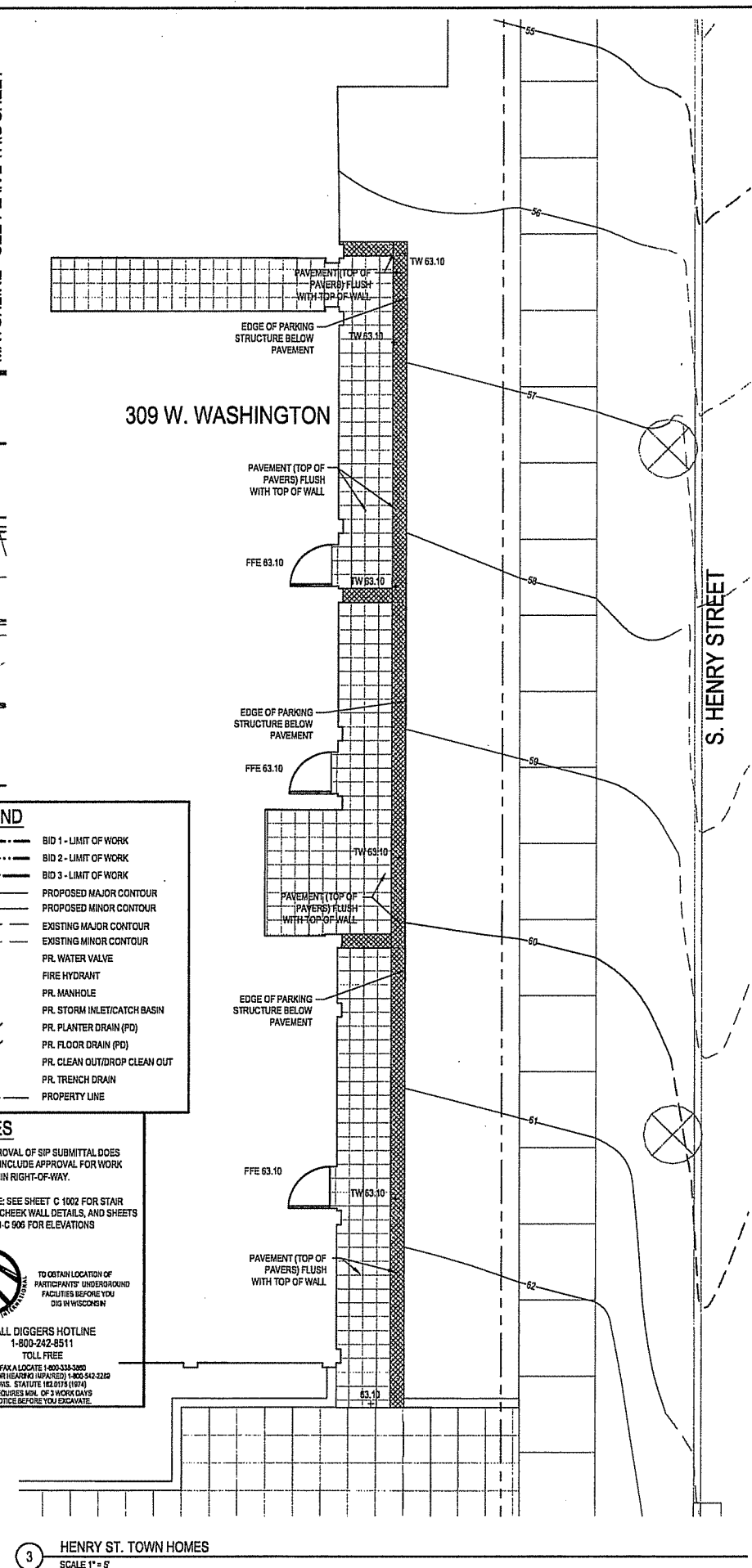
LEGEND

- BID 1 - LIMIT OF WORK
- BID 2 - LIMIT OF WORK
- BID 3 - LIMIT OF WORK
- - - PROPOSED MAJOR CONTOUR
- - - PROPOSED MINOR CONTOUR
- - - EXISTING MAJOR CONTOUR
- - - EXISTING MINOR CONTOUR
- PR. WATER VALVE
- PR. FIRE HYDRANT
- PR. MANHOLE
- PR. STORM INLET/CATCH BASIN
- PR. PLANTER DRAIN (PD)
- PR. FLOOR DRAIN (FD)
- PR. CLEAN OUT/DROP CLEAN OUT
- PR. TRENCH DRAIN
- PROPERTY LINE

NOTES

- APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.
- NOTE: SEE SHEET C 1002 FOR STAIR AND CHECK WALL DETAILS, AND SHEETS C 900-C 906 FOR ELEVATIONS.

 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
FAX A LOCATE 1-800-333-3800
TDD (FOR HEARING IMPAIRED) 1-800-343-2289
WIS. STATUTE 182.0175 (187)
REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU LOCATE



FILE: P:\24589\000\CAD\sheet\1-689-SH-GRAD.dwg USER: mowk DATE: Jul 11 2006 TIME: 12:02 pm

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
planning
civil design
civil engineering
environmental science
JJR, LLC
825 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
SDX DO REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
100% CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. GDF/SP SUBMITTAL		06/14/2006
SP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN



PROJECT NORTH

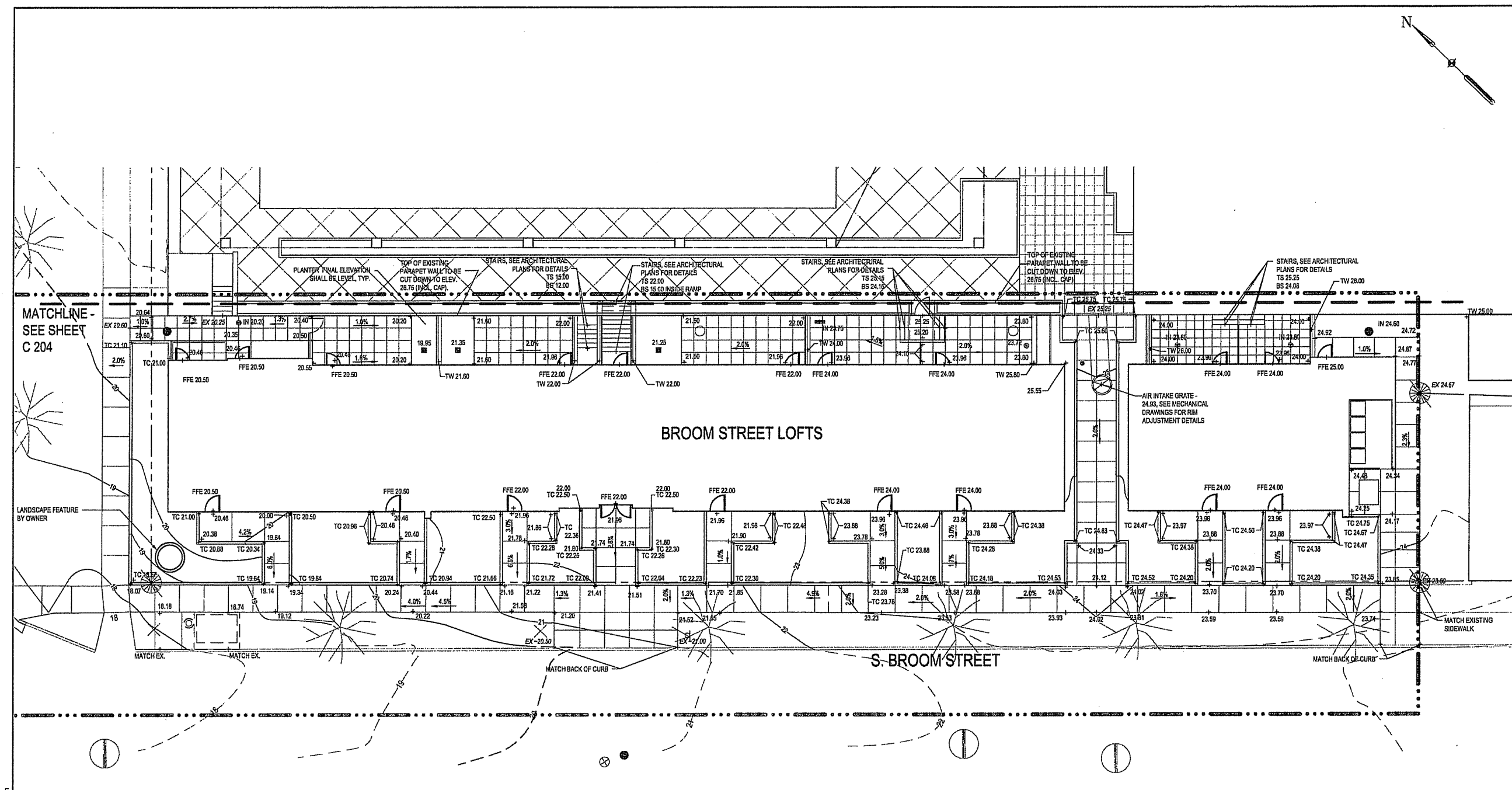
DRAWING TITLE
**SITE GRADING - Broom St
Lofts**

SCALE
0 5' 10' 20'
SCALE IN FEET
SCALE 1" = 10'

SCALE 24589.000

PROJECT NUMBER
C 206

DRAWING NUMBER



1 BROOM ST. LOFTS GRADING PLAN - SEE SHEET C 305 FOR CITY ACQUISITION OF 13' SETBACK PLAN
SCALE 1" = 10'

LEGEND

- BID 1 - LIMIT OF WORK
- BID 2 - LIMIT OF WORK
- BID 3 - LIMIT OF WORK
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PR. WATER VALVE
- FIRE HYDRANT
- PR. MANHOLE
- PR. STORM INLET/CATCH BASIN
- PR. PLANTER DRAIN (PD)
- PR. FLOOR DRAIN (FD)
- PR. CLEAN OUT/DROP CLEAN OUT
- PR. TRENCH DRAIN
- PROPERTY LINE

NOTES

- APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.



TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-6511
TOLL FREE
FAX ALGOMIE 1-800-338-2450
TDD (FOR HEARING IMPAIRED) 1-800-543-2219
WIS. STATUTE 182.0175 (1974)
REQUIRES 8 HOURS OF WORK DURING NOTICE BEFORE YOU EXCAVATE.

FILE: P:\24589\000\CAD\sheet\4589-SH-CR40.dwg USER: rmpwck DATE: Jul, 11 2006 TIME: 12:02 pm

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
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JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
SDR 10 REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
100% CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. GCP/SIP SUBMITTAL		06/14/2006
SIP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN  PROJECT NORTH

DRAWING TITLE
SITE LAYOUT - West




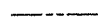








SCALE
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SCALE IN FEET
SCALE 1" = 20'

SCALE 24589.000

PROJECT NUMBER
C 300

DRAWING NUMBER

LEGEND

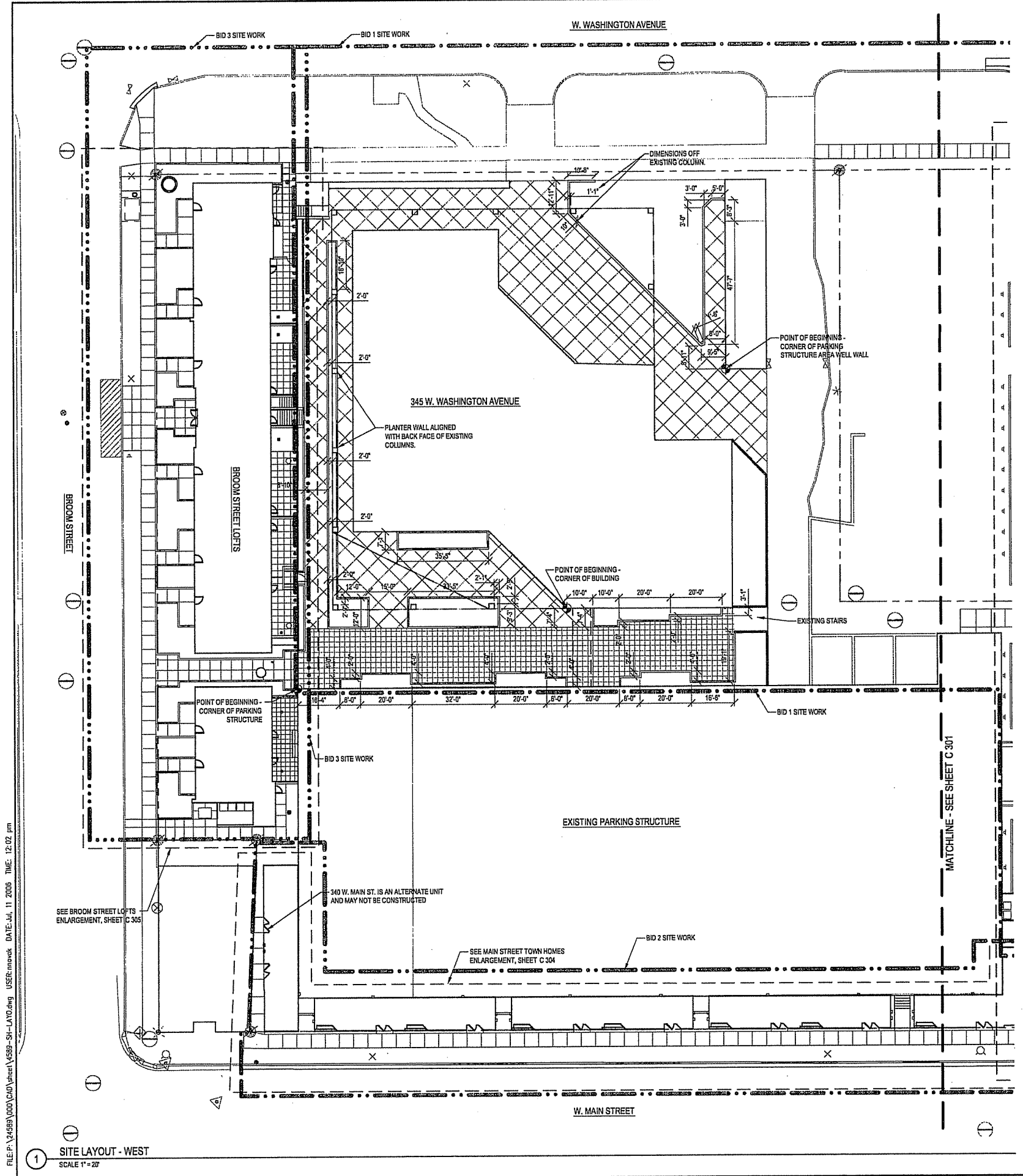
-  BID 1 - LIMIT OF WORK
-  BID 2 - LIMIT OF WORK
-  BID 3 - LIMIT OF WORK
-  PROPERTY LINE
-  CURB AND GUTTER
-  GUARDRAIL OR HANDRAIL
-  STAIRS
-  PROPOSED STORM INLET MANHOLE
-  PROPOSED CURB INLET
-  SLOT DRAIN
-  PLANTER CURB OR WALL
-  SIGN

NOTES

1. APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.
2. SEE EXISTING CONDITIONS SHEET C 110, FOR BENCHMARKS AND CONTROL POINTS.
3. SEE MATERIALS PLAN FOR SCORING LAYOUT AND ALL DETAIL REFERENCES.
4. ALL CURB AND SITE WALL COORDINATES AND DIMENSIONS ARE TO FACE OF CURB/WALL.
5. BUILDING COORDINATES AND DIMENSIONS ARE TO FINISHED FACE OF BUILDING.
6. LIGHT POLE COORDINATES ARE TO CENTER OF POLE BASE.
7. ALL DRIVE APRONS AND CURB REPLACEMENT SECTIONS SHALL CONFORM TO THE CITY OF MADISON ENGINEERING DEPT. DESIGN STANDARDS.
8. ALL DIMENSIONS ARE GIVEN FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL HAVE SURVEYOR STAKE ALL SITE ELEMENTS USING CAD FILES.



TO OBTAIN LOCATION OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-6511
TOLL FREE
FAX A LOCATE 1-800-336-3850
TDD (FOR HEARING IMPAIRED) 1-800-442-2283
WIS. STATUTE 182.015 (1)(14)
REQUIRES MIN. OF 3 WORKDAYS NOTICE BEFORE YOU EXCAVATE.



FILE: P:\24589\000\CAD\Sheet\4589-SI-LAYD.dwg USER: mroak DATE: Jul 11 2006 TIME: 12:02 pm

1 SITE LAYOUT - WEST
SCALE 1" = 20'

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
planning
urban design
civil engineering
environmental science
JJR, LLC
825 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

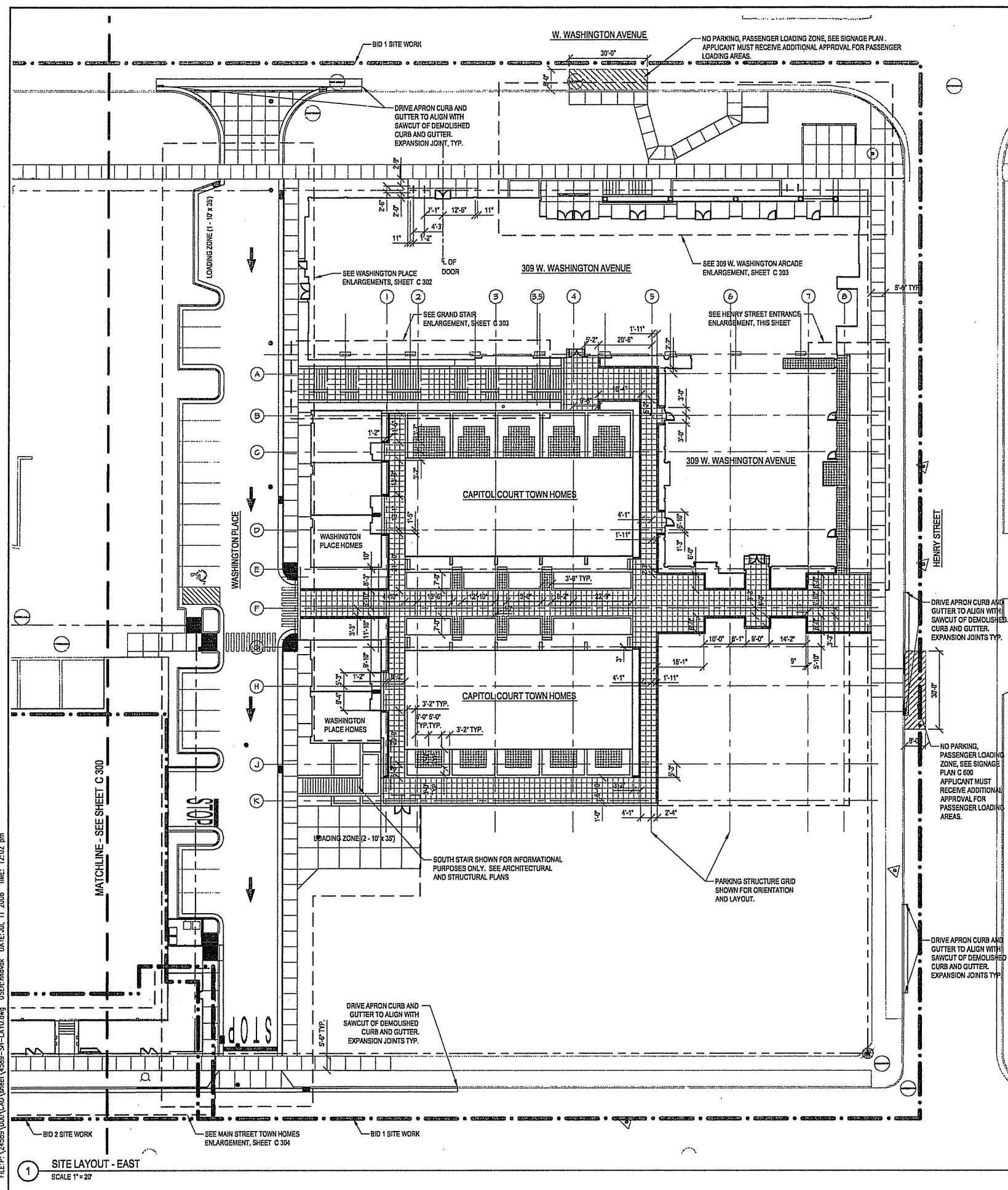
ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
SOX DD REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		03/22/2006
BOOK CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. GIP/SP SUBMITTAL		05/14/2006
SP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN

DRAWING TITLE
**SITE LAYOUT - East - Henry
St Enlargement**

SCALE AS INDICATED
SCALE 24589.000
PROJECT NUMBER
C 301
DRAWING NUMBER

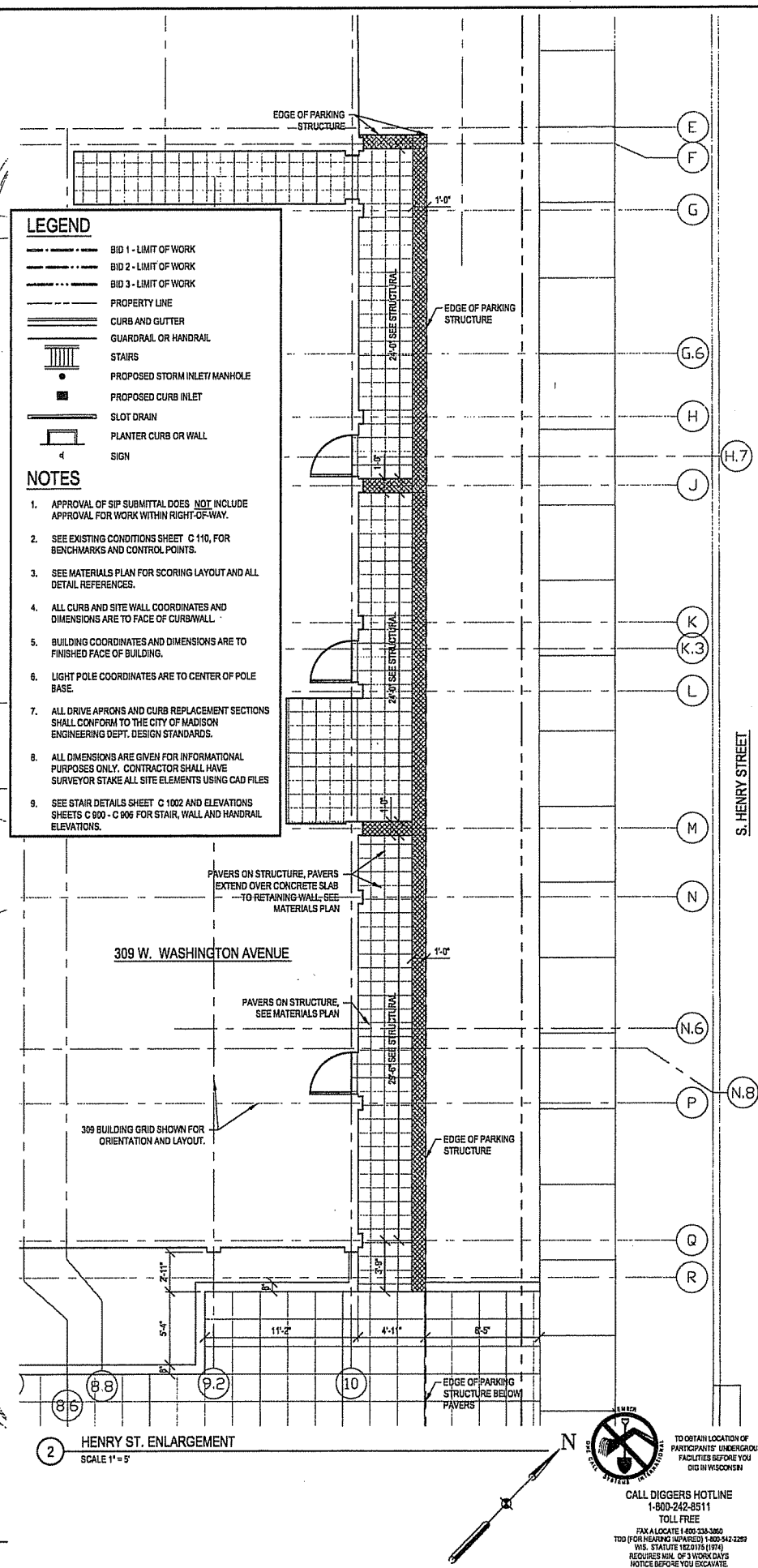


LEGEND

- BID 1 - LIMIT OF WORK
- BID 2 - LIMIT OF WORK
- BID 3 - LIMIT OF WORK
- PROPERTY LINE
- CURB AND GUTTER
- GUARDRAIL OR HANDRAIL
- STAIRS
- PROPOSED STORM INLET/ MANHOLE
- PROPOSED CURB INLET
- SLOT DRAIN
- PLANTER CURB OR WALL
- SIGN

NOTES

- APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.
- SEE EXISTING CONDITIONS SHEET C 110, FOR BENCHMARKS AND CONTROL POINTS.
- SEE MATERIALS PLAN FOR SCORING LAYOUT AND ALL DETAIL REFERENCES.
- ALL CURB AND SITE WALL COORDINATES AND DIMENSIONS ARE TO FACE OF CURB/WALL.
- BUILDING COORDINATES AND DIMENSIONS ARE TO FINISHED FACE OF BUILDING.
- LIGHT POLE COORDINATES ARE TO CENTER OF POLE BASE.
- ALL DRIVE APRONS AND CURB REPLACEMENT SECTIONS SHALL CONFORM TO THE CITY OF MADISON ENGINEERING DEPT. DESIGN STANDARDS.
- ALL DIMENSIONS ARE GIVEN FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL HAVE SURVEYOR STAKE ALL SITE ELEMENTS USING CAD FILES.
- SEE STAIR DETAILS SHEET C 1002 AND ELEVATIONS SHEETS C 900 - C 906 FOR STAIR, WALL AND HANDRAIL ELEVATIONS.



FILE: P:\24589\000\CAD\Sheet\6589-SI-LAY0.dwg USER:moweb DATE: Jul 11 2006 TIME: 12:02 pm

1 SITE LAYOUT - EAST
SCALE 1" = 20'

2 HENRY ST. ENLARGEMENT
SCALE 1" = 5'

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
FAX ALGONQUÉ 400-338-2862
TDD (FOR HEARING IMPAIRED) 1-800-542-2289
WIS. STATUTE 182.0115 (1974)
REQUIRES MIN. OF 2 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscaping architecture
planning urban design
civil engineering
environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
50% DD REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
100% CLIENT/CITY REVIEW SET		03/22/2006
FINAL DOCS. GOP/SIP SUBMITTAL		06/14/2006
SIP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN

DRAWING TITLE
**SITE LAYOUT - Washington
Place**

SCALE
0 5' 10' 20'
SCALE IN FEET
SCALE 1" = 10'

SCALE 24589.000













PROJECT NUMBER

C 302

DRAWING NUMBER

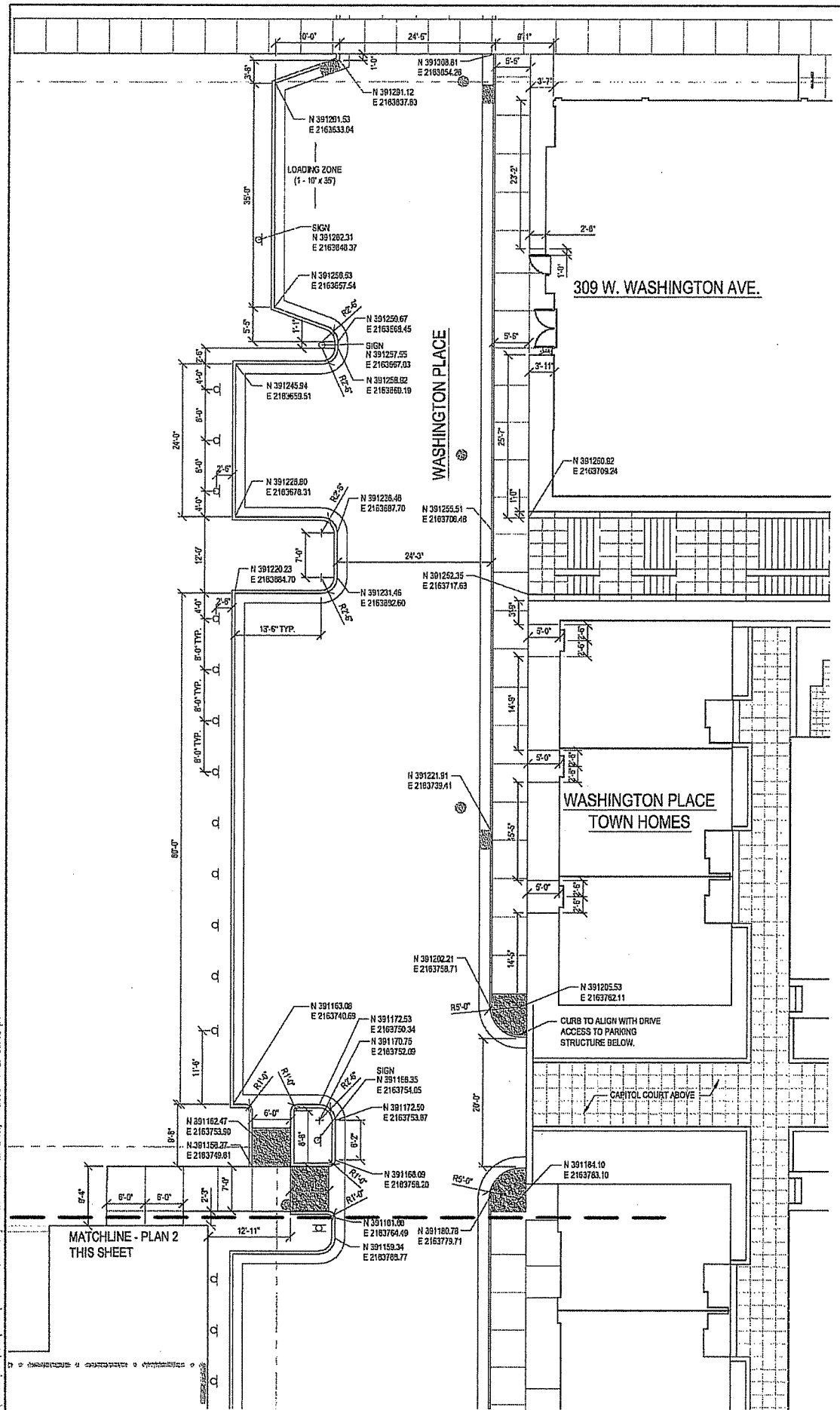
 TO OBTAIN LOCATION OF
PARTICIPANTS' UNDERGROUND
UTILITIES BEFORE YOU
DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-6511
TOLL FREE
FAX A LOCATE 1-800-338-3382
TDD (FOR HEARING IMPAIRED) 1-800-338-3389
WIS. STATUTE 182.015 (1974)
REQUIRES 10' OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

LEGEND

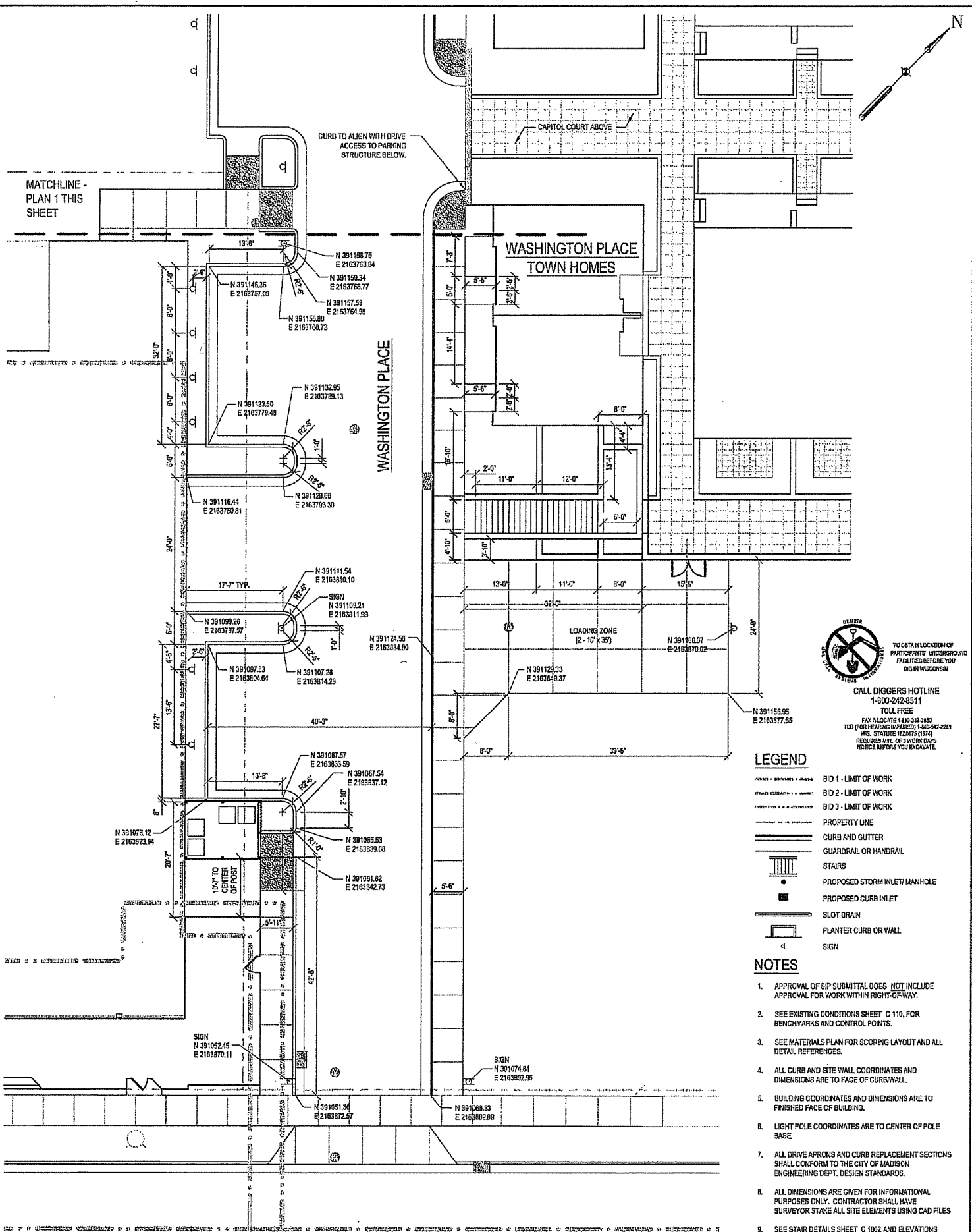
-  BID 1 - LIMIT OF WORK
-  BID 2 - LIMIT OF WORK
-  BID 3 - LIMIT OF WORK
-  PROPERTY LINE
-  CURB AND GUTTER
-  GUARDRAIL OR HANDRAIL
-  STAIRS
-  PROPOSED STORM INLET/ MANHOLE
-  PROPOSED CURB INLET
-  SLOT DRAIN
-  PLANTER CURB OR WALL
-  SIGN

NOTES

1. APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.
2. SEE EXISTING CONDITIONS SHEET C 110, FOR BENCHMARKS AND CONTROL POINTS.
3. SEE MATERIALS PLAN FOR SCORING LAYOUT AND ALL DETAIL REFERENCES.
4. ALL CURB AND SITE WALL COORDINATES AND DIMENSIONS ARE TO FACE OF CURB/WALL.
5. BUILDING COORDINATES AND DIMENSIONS ARE TO FINISHED FACE OF BUILDING.
6. LIGHT POLE COORDINATES ARE TO CENTER OF POLE BASE.
7. ALL DRIVE AFRONS AND CURB REPLACEMENT SECTIONS SHALL CONFORM TO THE CITY OF MADISON ENGINEERING DEPT. DESIGN STANDARDS.
8. ALL DIMENSIONS ARE GIVEN FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL HAVE SURVEYOR STAKE ALL SITE ELEMENTS USING CAD FILES.
9. SEE STAIR DETAILS SHEET C 102 AND ELEVATIONS SHEETS C 900 - C 906 FOR STAIR, WALL AND HANDRAIL ELEVATIONS.



1 WASHINGTON PLACE LAYOUT - NORTH
SCALE 1" = 10'



2 WASHINGTON PLACE LAYOUT - SOUTH
SCALE 1" = 10'

FILE: P:\4589\300\CAD\sheet\C302.dwg USER: rremade DATE: 11/11/2005 TIME: 08:37 pm

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
planning urban design civil engineering environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

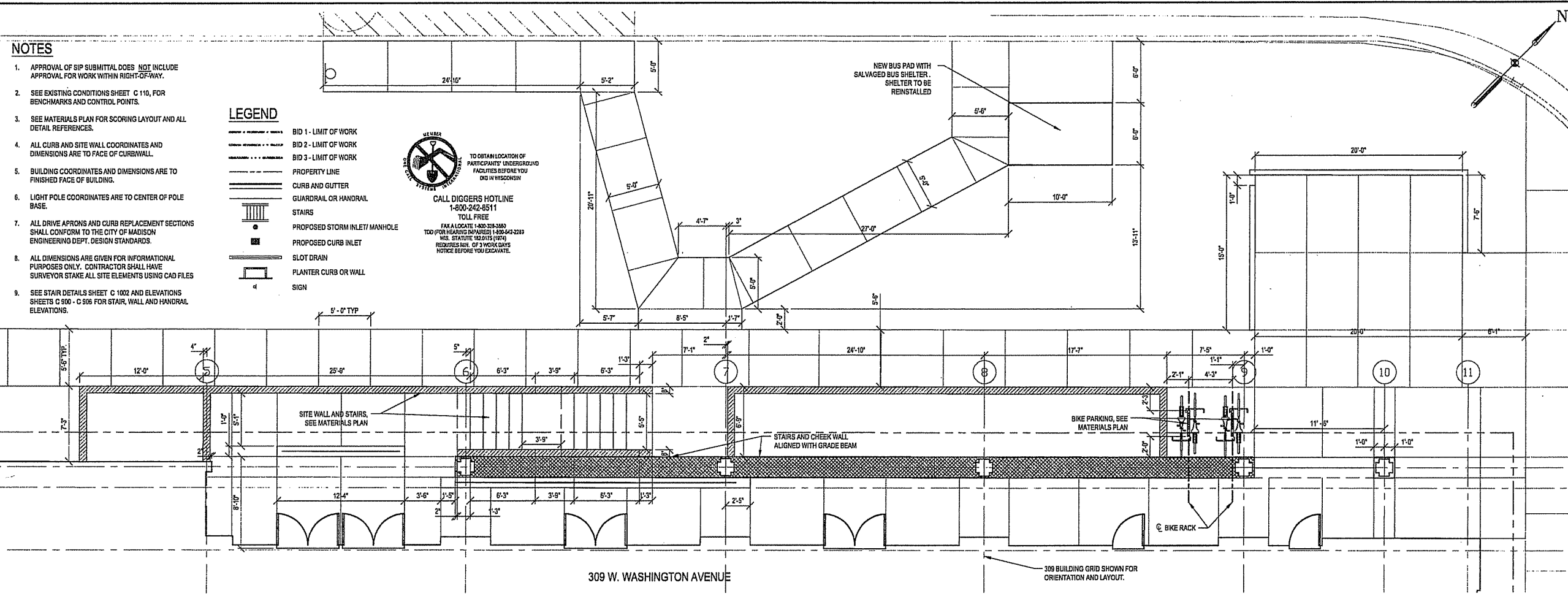
NOTES

- APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.
- SEE EXISTING CONDITIONS SHEET C 110, FOR BENCHMARKS AND CONTROL POINTS.
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- SEE STAIR DETAILS SHEET C 1002 AND ELEVATIONS SHEETS C 900 - C 906 FOR STAIR, WALL AND HANDRAIL ELEVATIONS.

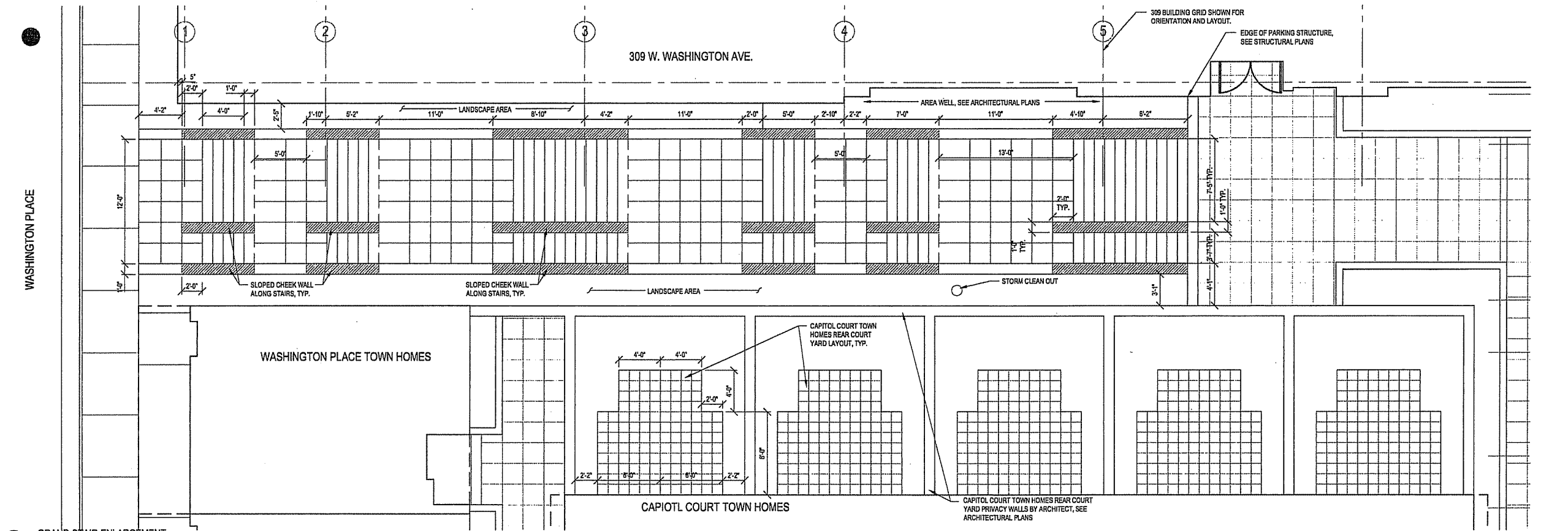
LEGEND

- BID 1 - LIMIT OF WORK
- BID 2 - LIMIT OF WORK
- BID 3 - LIMIT OF WORK
- PROPERTY LINE
- CURB AND GUTTER
- GUARDRAIL OR HANDRAIL
- STAIRS
- PROPOSED STORM INLET/ MANHOLE
- PROPOSED CURB INLET
- SLOT DRAIN
- PLANTER CURB OR WALL
- SIGN

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-6511
TOLL FREE
FAX A LOCATE 1-800-224-3363
100 (FOR HOURS) PARKERS 1-800-543-2289
WIS. STATUTE 102.015 (1974)
REQUIRES NOT. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE.



1 309 W. WASHINGTON ARCADE ENLARGEMENT
SCALE 1" = 5'



2 GRAND STAIR ENLARGEMENT
SCALE 1" = 5'

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
50% DD REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
100% CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. GMP/SIP SUBMITTAL		06/14/2006
SIP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN

PROJECT NORTH

DRAWING TITLE
**SITE LAYOUT - Arcade -
North Stair**

0 2.5' 5' 10'
SCALE IN FEET
SCALE 1" = 5'

SCALE 24589.000

PROJECT NUMBER

C 303

DRAWING NUMBER

FILE: P:\45589\000\CAD\sheet\45589-SH-LAY10.dwg USER: mmodak DATE: Jul 11 2006 TIME: 12:03 pm

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
planning
urban design
civil engineering
environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
SDX DD REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
100% CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. GDP/SSP SUBMITTAL		06/14/2006
SSP ALTERATION		07/12/2006

SEALS AND SIGNATURES

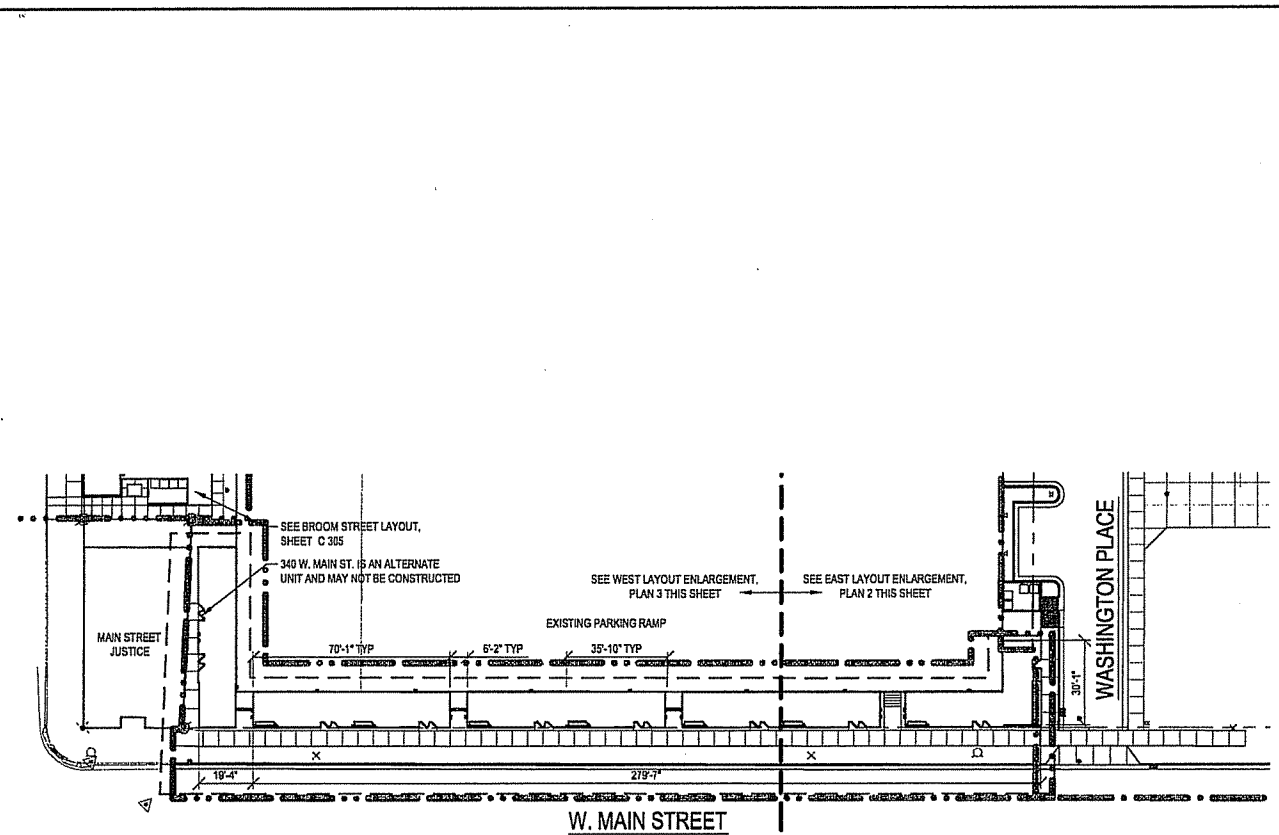
KEY PLAN

DRAWING TITLE
SITE LAYOUT - Main St

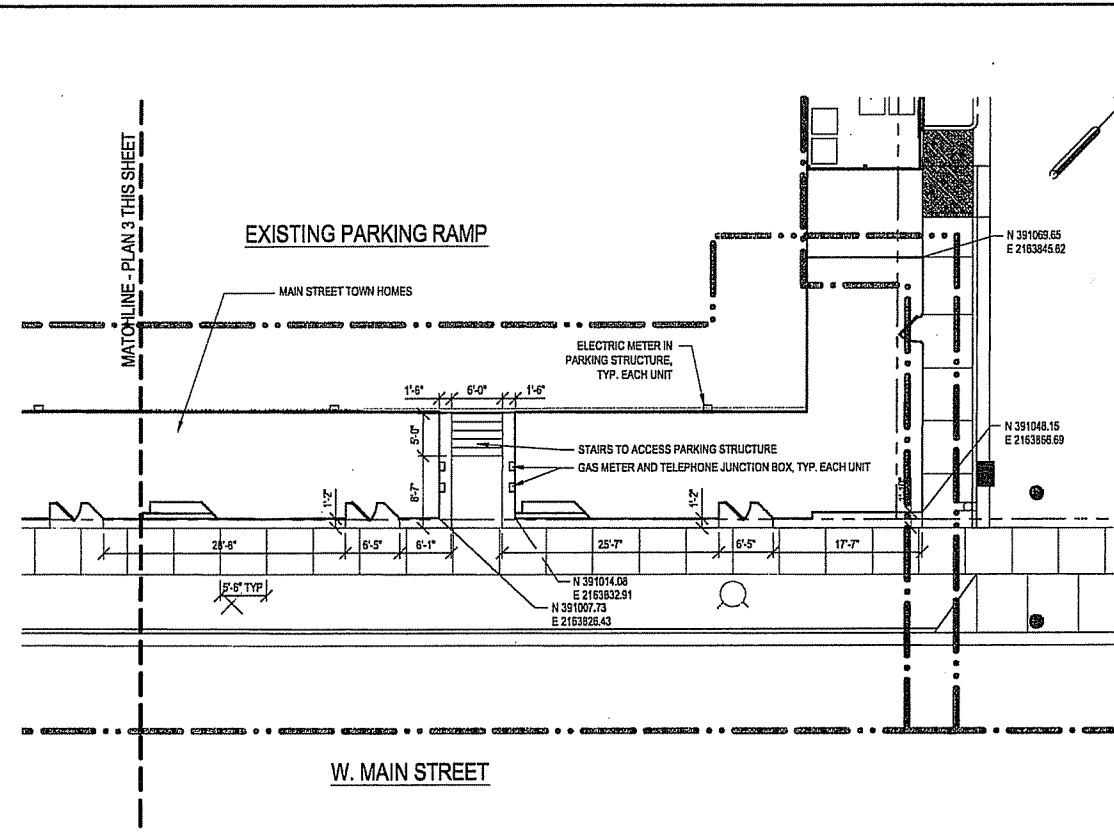
SCALE AS INDICATED
SCALE 24589.000

PROJECT NUMBER
C 304

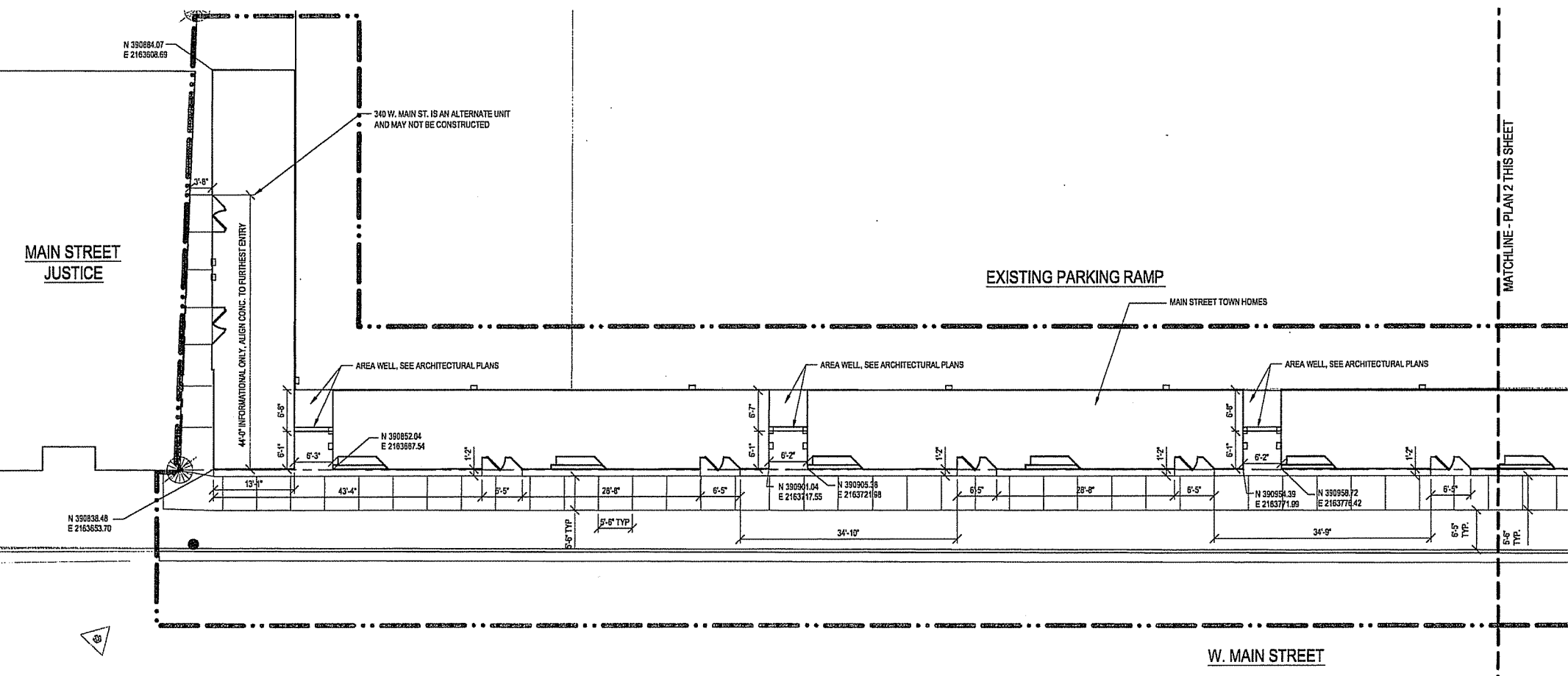
DRAWING NUMBER



1 MAIN ST. TOWN HOMES OVERALL LAYOUT PLAN
SCALE 1" = 30'



2 MAIN ST. TOWN HOMES LAYOUT ENLARGEMENT - EAST
SCALE 1" = 10'



3 MAIN ST. TOWN HOMES LAYOUT ENLARGEMENT - WEST
SCALE 1" = 10'

LEGEND

- BID 1 - LIMIT OF WORK
- BID 2 - LIMIT OF WORK
- BID 3 - LIMIT OF WORK
- PROPERTY LINE
- CURB AND GUTTER
- GUARDRAIL OR HANDRAIL
- STAIRS
- PROPOSED STORM INLET/MANHOLE
- PROPOSED CURB INLET
- SLOT DRAIN
- PLANTER CURB OR WALL
- 4 SIGN

NOTES

1. APPROVAL OF SSP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.
2. SEE EXISTING CONDITIONS SHEET C 110, FOR BENCHMARKS AND CONTROL POINTS.
3. SEE MATERIALS PLAN FOR SCORING LAYOUT AND ALL DETAIL REFERENCES.
4. ALL CURB AND SITE WALL COORDINATES AND DIMENSIONS ARE TO FACE OF CURB/WALL.
5. BUILDING COORDINATES AND DIMENSIONS ARE TO FINISHED FACE OF BUILDING.
6. LIGHT POLE COORDINATES ARE TO CENTER OF POLE BASE.
7. ALL DRIVE APRONS AND CURB REPLACEMENT SECTIONS SHALL CONFORM TO THE CITY OF MADISON ENGINEERING DEPT. DESIGN STANDARDS.
8. ALL DIMENSIONS ARE GIVEN FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL HAVE SURVEYOR STAKE ALL SITE ELEMENTS USING CAD FILES.
9. SEE STAIR DETAILS SHEET C 1002 AND ELEVATIONS SHEETS C 800 - C 806 FOR STAIR, WALL AND HANDRAIL ELEVATIONS.

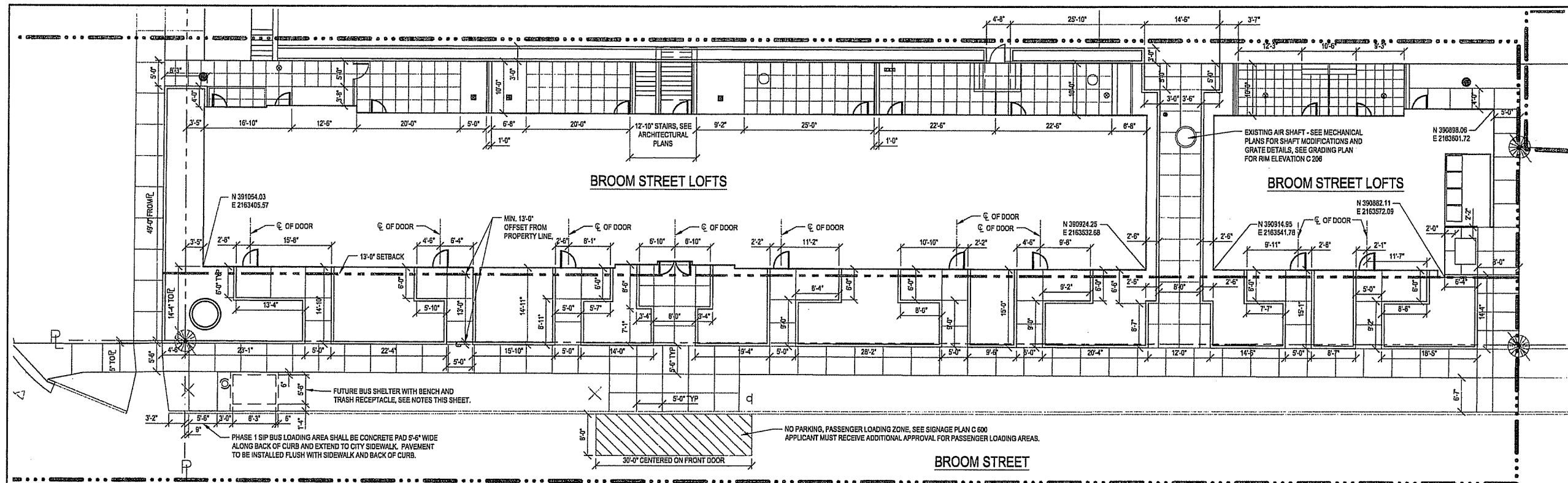
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
FAX LOCATE 1-800-338-3380
TOD (FOR REARND IMPAIREDS) 1-800-642-2288
WIS. STATUTE 48.23(1)(SM)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE.

FILE: P:\4589\1000\1000\sheet\4589-SH-LAYO.dwg USER: mawek DATE: Jul 11, 2006 TIME: 12:03 pm

**CAPITOL WEST
PHASE 1
BLOCK 51 - MADISON, WI**

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
planning
urban design
civil engineering
environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com



1 BROOM STREET LOFTS LAYOUT ENLARGEMENT
SCALE 1" = 10'

LEGEND

- BID 1 - LIMIT OF WORK
- BID 2 - LIMIT OF WORK
- BID 3 - LIMIT OF WORK
- PROPERTY LINE
- CURB AND GUTTER
- GUARDRAIL OR HANDRAIL
- STAIRS
- PROPOSED STORM INLET/MANHOLE
- PROPOSED CURB INLET
- SLOT DRAIN
- PLANTER CURB OR WALL
- SIGN

NOTES

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8. ALL DIMENSIONS ARE GIVEN FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL HAVE SURVEYOR STAKE ALL SITE ELEMENTS USING CAD FILES.
9. SEE STAIR DETAILS SHEET C 1002 AND ELEVATIONS SHEETS C 900 - C 906 FOR STAIR, WALL AND HANDRAIL ELEVATIONS.
10. BUS SHELTER WITH BENCH AND TRASH RECEPTACLE SHALL BE INSTALLED PRIOR TO SIP SUBMITTAL GENERATING GREATER THAN 50 PASSENGERS PER DAY.
11. SHELTER TO BE TAFCO TYPE DDS1 INSTALLED PER MANUFACTURER'S SPECIFICATIONS COMPLYING WITH MADISON METRO SPECIFICATIONS. INSTALL SHELTER WITH ACCESS FACING SIDEWALK.
12. TRASH RECEPTACLE TO BE LANDSCAPE FORMS SCARBOROUGH LITTER RECEPTACLE - 25" W X 33 1/4" TOP-OPENING - VERTICAL BAR DETAIL WITH LOCK - 30 GALLON - SURFACE MOUNT.

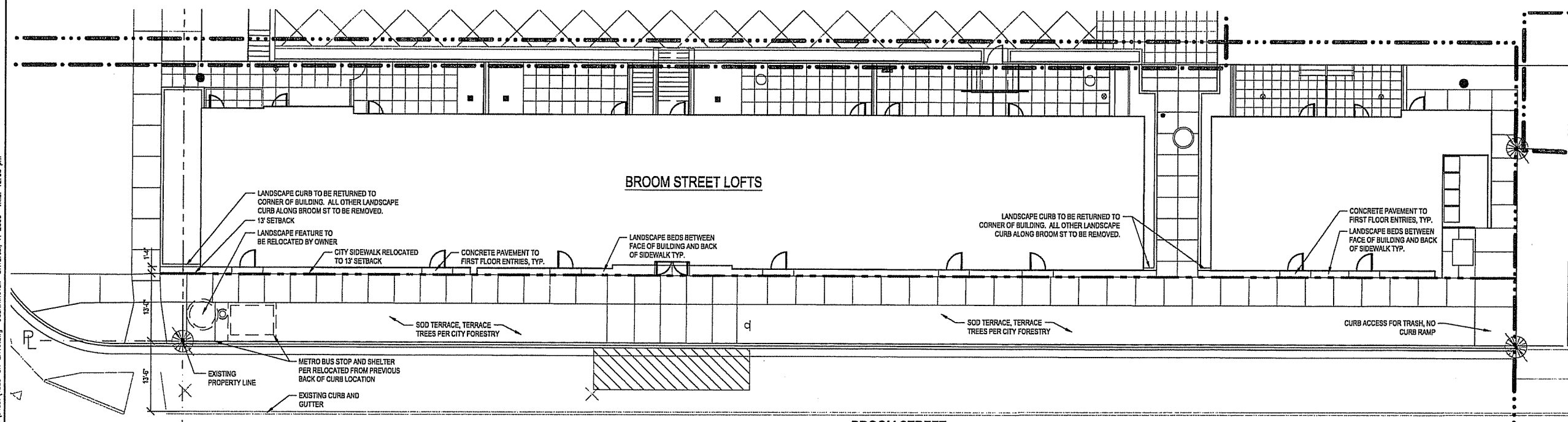
CALL DIGGERS HOTLINE
1-800-242-6511
TOLL FREE
FAX A LOCATE 1-800-338-3800
TDD (FOR HEARING IMPAIRED) 1-800-542-2289
WIS. STATUTE 90.20(1)(1)(a)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE.

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
SIP DD REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
100% CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. GSP/SIP SUBMITTAL		06/14/2006
SIP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN

FILE: P:\4589\000\CAD\sheet\4589-SH-LAY0.dwg USER:movok DATE: Jul 11 2006 TIME: 12:03 pm



2 BROOM STREET LOFTS LAYOUT ENLARGEMENT - 13' SETBACK ACQUIRED BY CITY (SCENARIO)
SCALE 1" = 10'

NOTE: THIS PLAN SHOWS THE POTENTIAL IMPACT OF CITY ACQUISITION OF THE 13' SETBACK. THIS SCENARIO MOVES THE BACK OF SIDEWALK TO THE 13' SETBACK LINE. ACTUAL DESIGN AND LAYOUT OF THIS AREA WILL BE COMPLETED BY CITY TRAFFIC ENGINEERING AND CITY ENGINEERING SHOULD THIS ACQUISITION OCCUR.

DRAWING TITLE
SITE LAYOUT - Broom St

SCALE
0 5' 10' 20'
SCALE IN FEET
SCALE 1" = 10'

SCALE 24589.000

PROJECT NUMBER

C 305

DRAWING NUMBER

**CAPITOL WEST
PHASE 1
BLOCK 51 - MADISON, WI**

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
planning
urban design
civil engineering
environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 F
608.251.6147 F
www.jjr-us.com

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SIX DO REVIEW & ESTIMATE SET	01/04/2006	
MAIN ST. UTIL. TO CITY	02/07/2006	
CITY REVIEW SET	02/22/2006	
100% CLIENT/CONT. REVIEW SET	03/22/2006	
FINAL DOCS. GWP/SIP SUBMITTAL	05/14/2006	
SIP ALTERATION	07/12/2006	

SEALS AND SIGNATURES

KEY PLAN

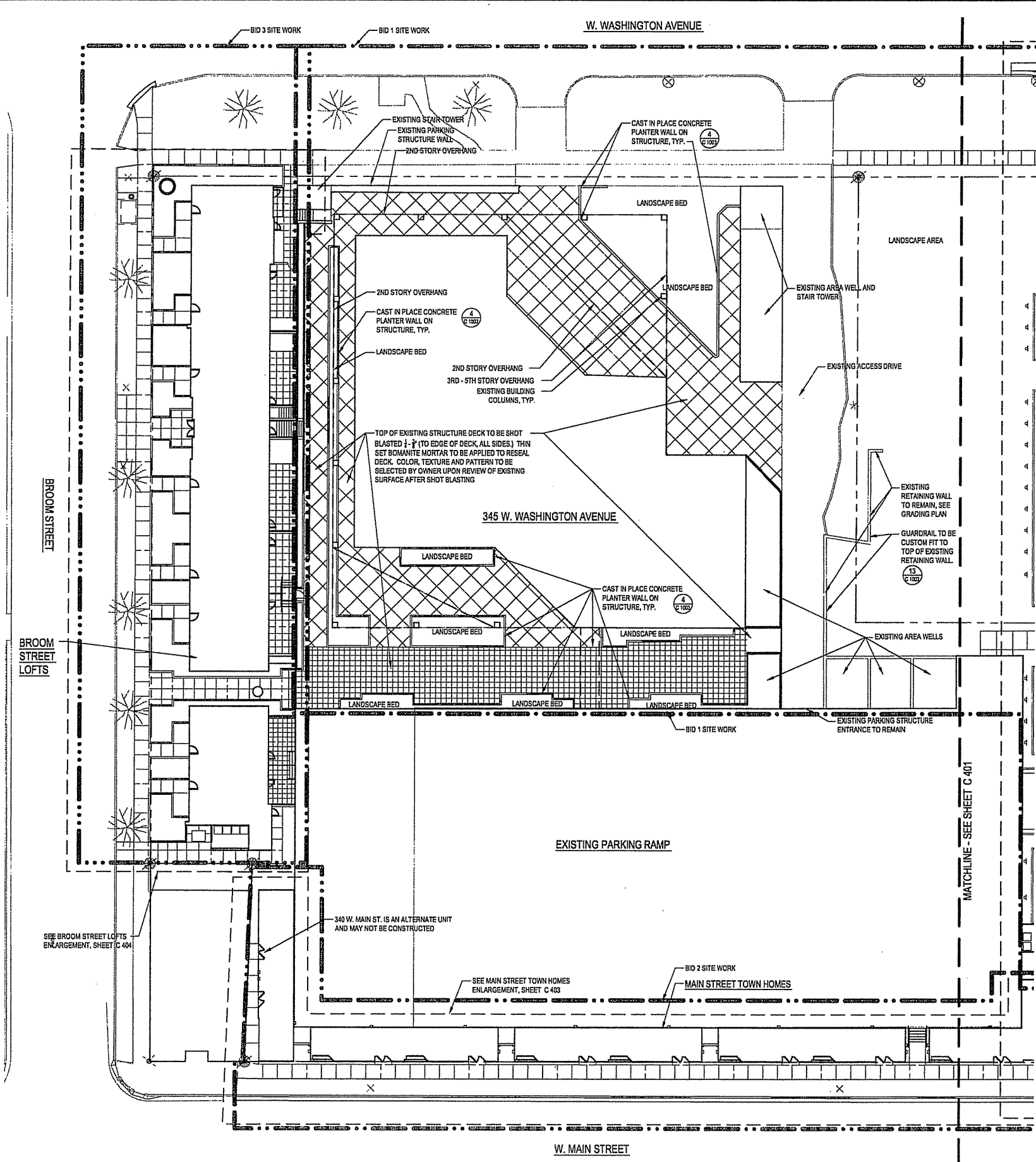


DRAWING TITLE
SITE MATERIALS - West

SCALE
0 10' 20' 40'
SCALE IN FEET
SCALE 1" = 20'

PROJECT NUMBER
24589.000

DRAWING NUMBER
C 400



1 SITE MATERIALS PLAN - WEST
SCALE 1" = 20'

CALL DIGGERS HOTLINE
1-800-242-5511
TOLL FREE
FAX A LOCATE 1-800-334-3000
TDD (FOR HEARING IMPAIRED) 1-800-342-2253
WIS. STATUTE REQUIRES (SR)S
REQUIRE MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE.

- LEGEND**
- BID 1 LIMIT OF WORK
 - BID 2 LIMIT OF WORK
 - BID 3 LIMIT OF WORK
 - - - - EXPANSION JOINT
 - - - - CONTROL JOINT
 - PROPERTY LINE
 - CURB AND GUTTER
 - GUARDRAIL OR HANDRAIL
 - STAIRS
 - PROPOSED STORM INLET/ MANHOLE
 - PROPOSED CURB INLET
 - SLOT DRAIN
 - PLANTER CURB OR WALL
 - # EQ. NUMBER OF EQ. SPACED JOINTS
 - SIGN

- NOTES**
1. APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY. ALL WORK SHOWN FROM THE BACK OF PUBLIC SIDEWALK TO OPPOSITE RIGHT OF WAY TO BE DESIGNED BY CITY OF MADISON ENGINEERING. RIGHT OF WAY WORK TO BE INSTALLED PER CITY OF MADISON PLANS. SEE CITY DRAWING SET FOR LAYOUT AND SPECIFICATIONS.
 2. NOTED SITE ELEMENTS BEYOND R. TO BE DESIGNED AND DETAILED PER THIS DRAWING SET AND INSTALLED BY SITE CONTRACTOR PER CITY ENGINEERING AGREEMENT.
 3. SEE ELEVATION SHEETS (900 SERIES) FOR HANDRAIL AND GUARDRAIL ELEVATIONS AND FOR RETAINING WALL PATTERN AND FOOTINGS.
 4. IN ADDITION TO THOSE SHOWN, EXPANSION JOINTS (E.J.) IN CONCRETE WALKS TO BE INSTALLED AT ALL FIXED ELEMENTS, I.E. WALLS, STRUCTURES, ETC.

FILE:P:\24589\000\CAD\Sheet\4589-SI-MAT.dwg USER:mnook DATE: Jul 11 2006 TIME: 12:03 pm

TO DETERMINE LOCATION OF PARTIALY UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
 CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 FAX & LOCATE 414-224-2833
 100 (FOR HEARING IMPAIRED) 1-800-6-0-2283
 THIS SERVICE IS PROVIDED BY THE STATE OF WISCONSIN
 RECOGNITION OF WORKERS NOTICE BEFORE YOU EXCAVATE.

CAPITOL WEST PHASE 1

BLOCK 51 - MADISON, WI


Owner:
THE ALEXANDER COMPANY, INC.

JJR Landscape Architecture
 Planning Urban Design Civil Engineering Professional Services
 JJR, LLC
 825 WILLIAMSON STREET,
 MADISON, WISCONSIN 53703
 608.251.1177 T
 608.251.6147 F
 www.jjr-us.com

ISSUED FOR	REV DATE
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50% DD REVIEW & ESTIMATE SET	01/04/2006
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FINAL DOCS. GDP/SP SUBMITTAL	06/14/2006
SP ALTERATION	07/12/2006

SEALS AND SIGNATURES

KEY PLAN



PROJECT NORTH

DRAWING TITLE

SITE MATERIALS - East - Henry St Enlargement

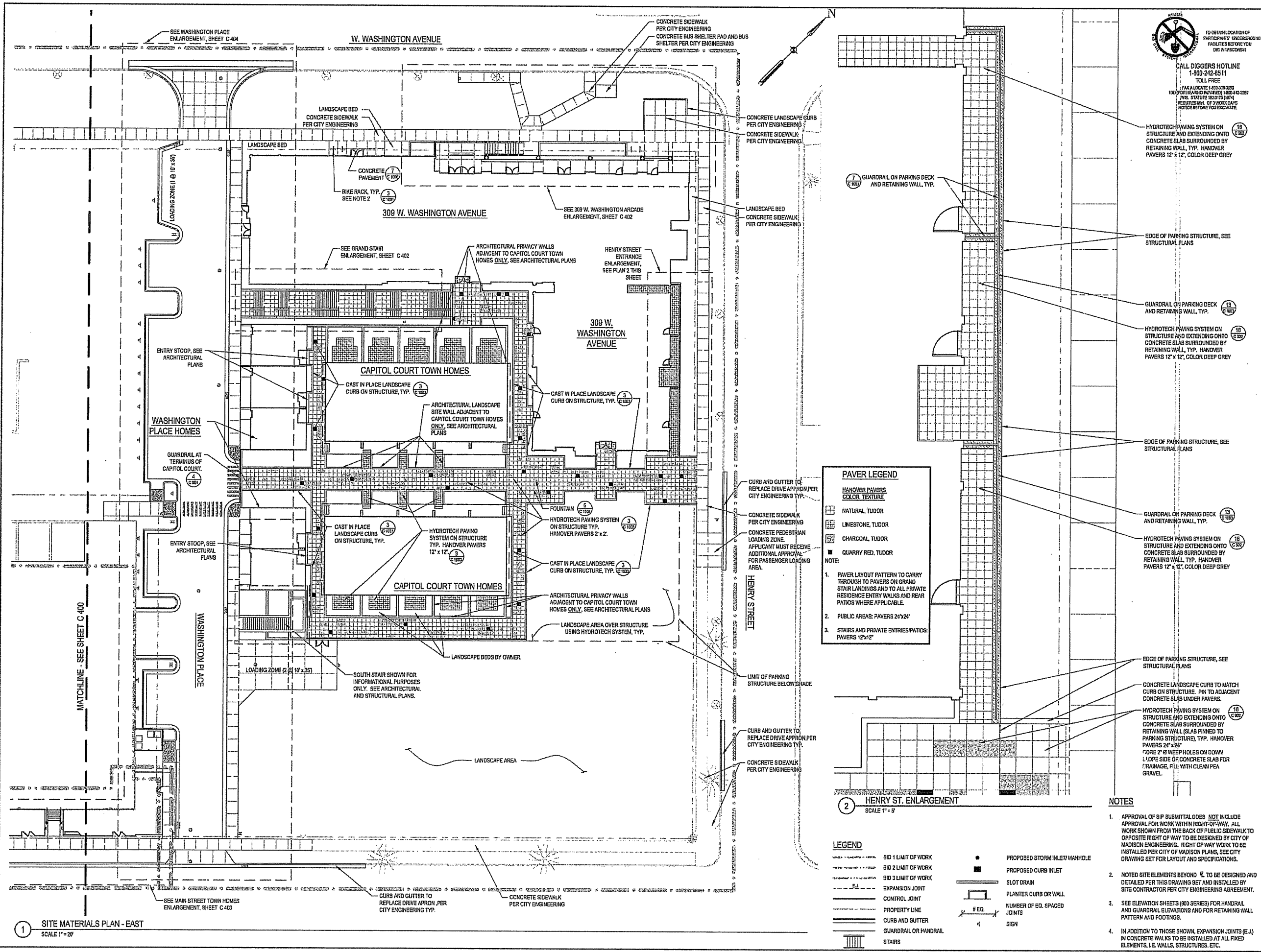
SCALE IN FEET
 SCALE 1" = 20'

SCALE 24589.000

PROJECT NUMBER

C 401

DRAWING NUMBER



FILE P: \24589\DD\CAD\Sheet\401-MAT.dwg USER: mmmade DATE: Jul 11 2006 TIME: 12:04 pm

**CAPITOL WEST
PHASE 1
BLOCK 51 - MADISON, WI**

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architects
planning
civil engineering
multimedia science

JJR, LLC
825 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
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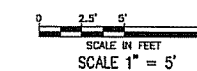
ISSUED FOR	REV	DATE
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SOK DD REVIEW & ESTIMATE SET	01/04/2006	
MAIN ST. UTIL. TO CITY	02/07/2006	
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100% CLIENT/CONT. REVIEW SET	03/22/2006	
FINAL DOCS. GSP/SP SUBMITTAL	06/14/2006	
SIP ALTERATION	07/12/2006	

SEALS AND SIGNATURES

KEY PLAN

⊕
PROJECT NORTH

DRAWING TITLE
**SITE MATERIALS - Arcade -
North Stair**



SCALE 24589.000

PROJECT NUMBER

C 402

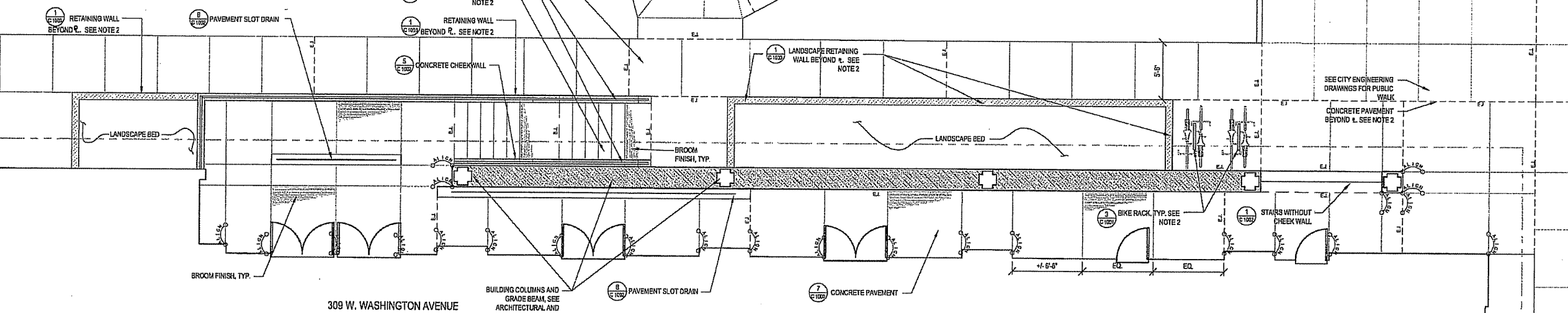
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LEGEND

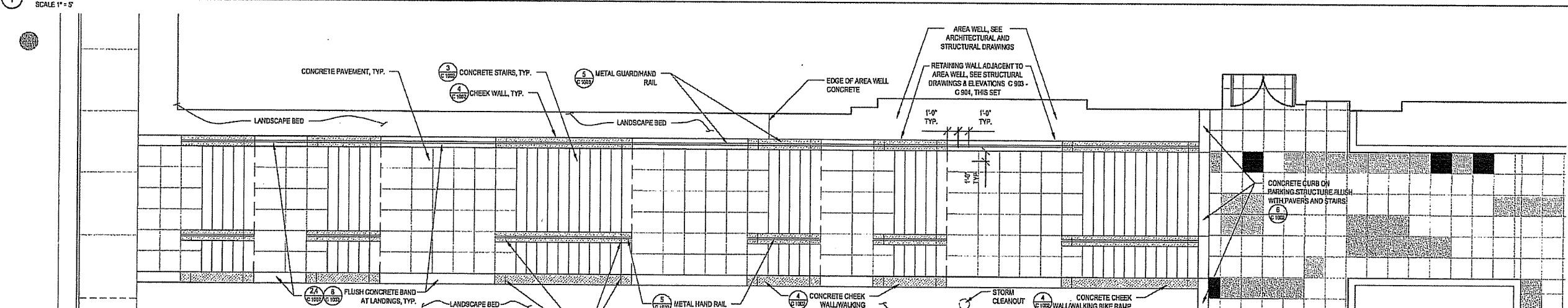
- BID 1 LIMIT OF WORK
- BID 2 LIMIT OF WORK
- BID 3 LIMIT OF WORK
- EXPANSION JOINT
- CONTROL JOINT
- PROPERTY LINE
- CURB AND GUTTER
- GUARDRAIL OR HANDRAIL
- STAIRS
- PROPOSED STORM INLET MANHOLE
- PROPOSED CURB INLET
- SLOT DRAIN
- PLANTER CURB OR WALL
- NUMBER OF EQ. SPACED JOINTS

NOTES

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- SEE ELEVATION SHEETS (900 SERIES) FOR HANDRAIL AND GUARDRAIL ELEVATIONS AND FOR RETAINING WALL PATTERN AND FOOTINGS.
- IN ADDITION TO THOSE SHOWN, EXPANSION JOINTS (E.J.) IN CONCRETE WALKS TO BE INSTALLED AT ALL FIXED ELEMENTS, I.E. WALLS, STRUCTURES, ETC.



1 309 W. WASHINGTON ARCADE ENLARGEMENT
SCALE 1" = 5'



PAVER LEGEND

- HANOVER PAVERS
COLOR, TEXTURE
 - NATURAL TUDOR
 - LIMESTONE, TUDOR
 - CHARCOAL, TUDOR
 - QUARRY RED, TUDOR
- NOTE:
- PAVER LAYOUT PATTERN TO CARRY THROUGH TO PAVERS ON GRAND STAIR LANDINGS AND TO ALL PRIVATE RESIDENCE ENTRY WALKS AND REAR PATIOS WHERE APPLICABLE.
 - PUBLIC AREAS: PAVERS 24"x24"
 - STAIRS AND PRIVATE ENTRIES/PATIOS: PAVERS 12"x12"

2 GRAND STAIR ENLARGEMENT
SCALE 1" = 5'

FILE P:\V44993\JDD\W44993-51-MATL.dwg USER: rccook DATE: 11/21/05 TIME: 09:39 pm

**CAPITOL WEST
PHASE 1
BLOCK 51 - MADISON, WI**

Owner:
**THE ALEXANDER
COMPANY, INC.**

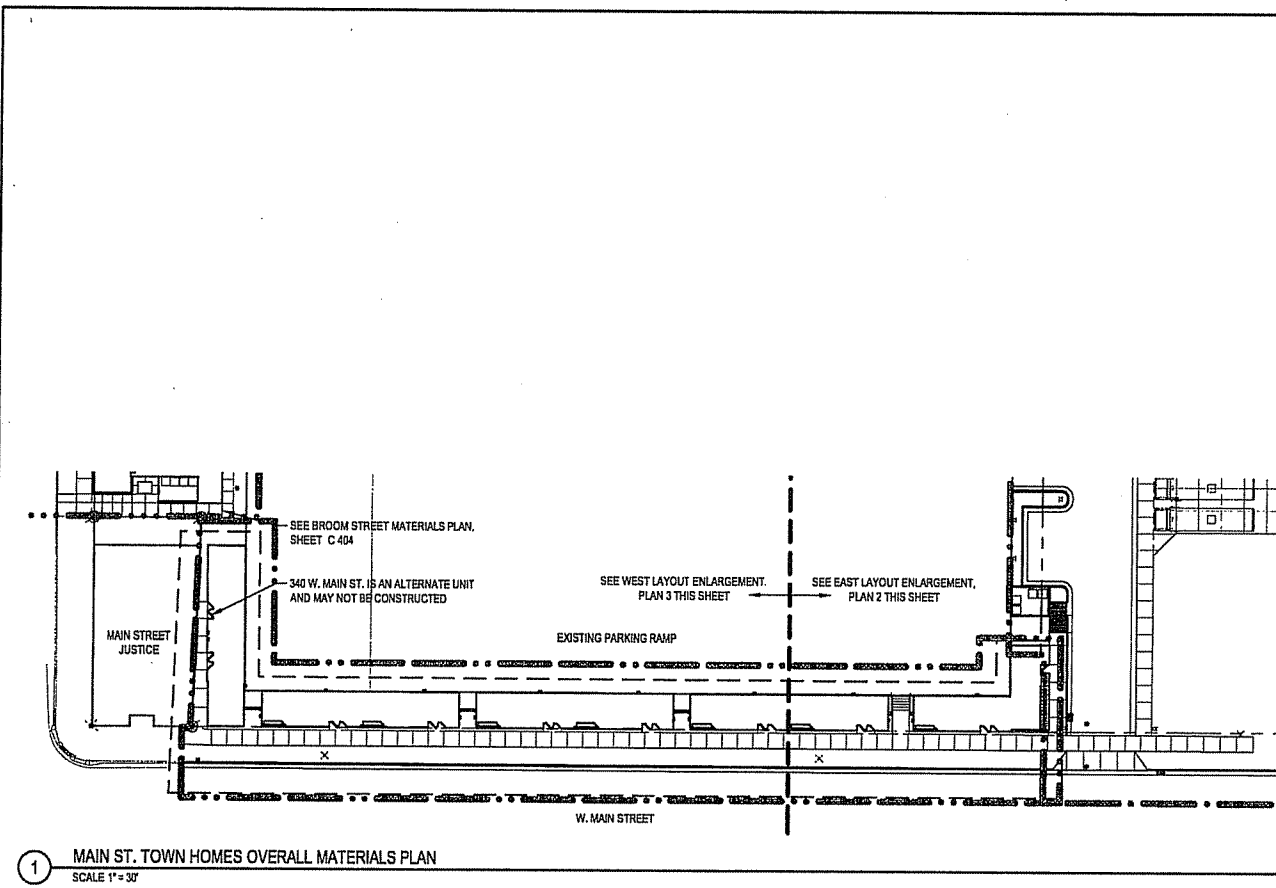
JJR
landscape architecture
planning
urban design
civil engineering
environmental science

JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

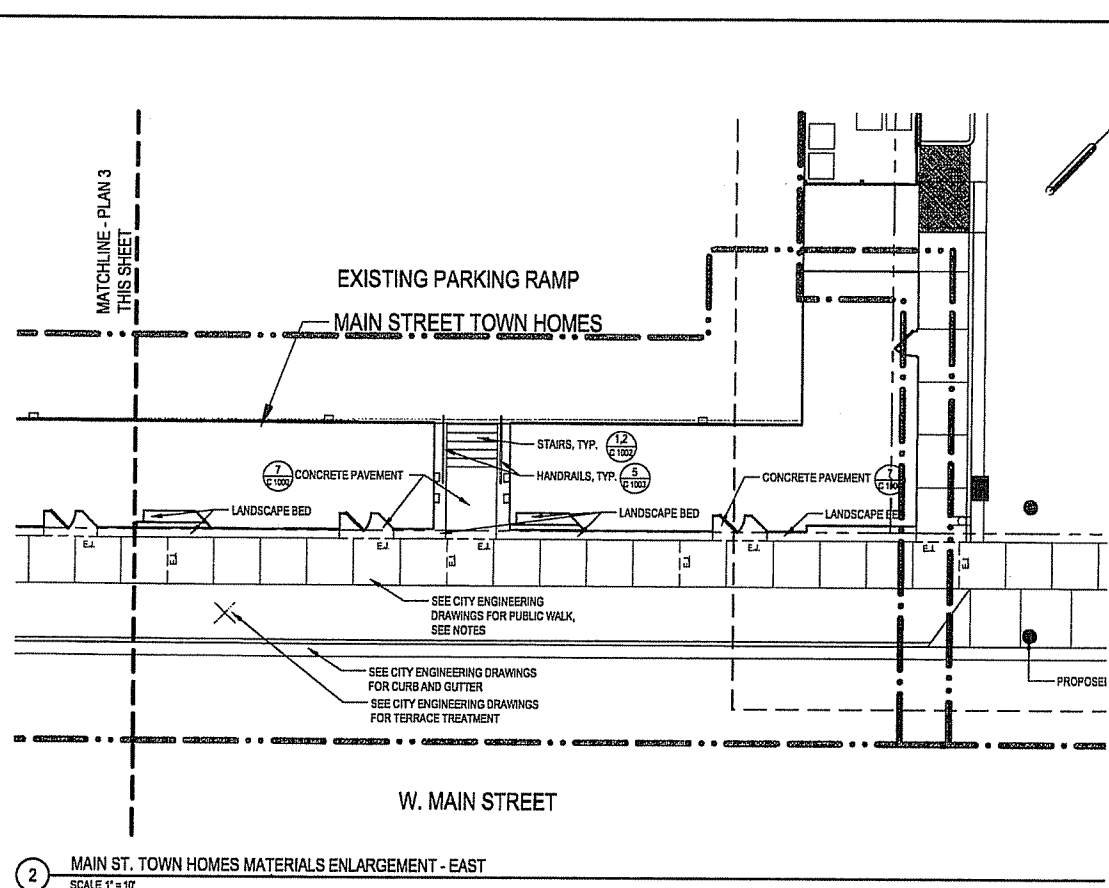
ISSUED FOR	REV	DATE
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MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
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FINAL DOCS. GOP/SIP SUBMITTAL		06/14/2006
SIP ALTERATION		07/12/2006

SEALS AND SIGNATURES

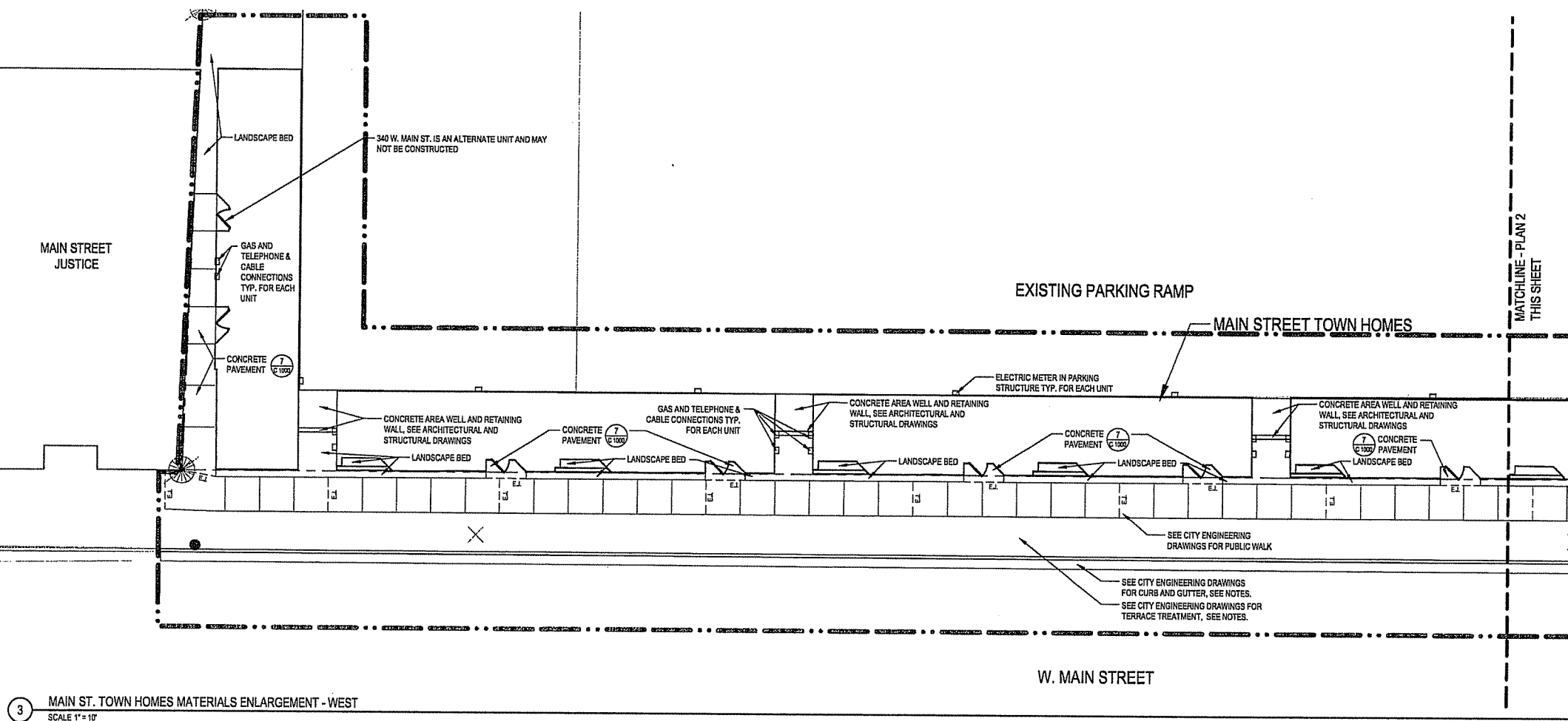
KEY PLAN



1 MAIN ST. TOWN HOMES OVERALL MATERIALS PLAN
SCALE 1" = 30'



2 MAIN ST. TOWN HOMES MATERIALS ENLARGEMENT - EAST
SCALE 1" = 10'



3 MAIN ST. TOWN HOMES MATERIALS ENLARGEMENT - WEST
SCALE 1" = 10'



TO OBTAIN LOCATION OF PARTICIPATING UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8911
TOLL FREE

FAX A LOCATE 1-800-338-3860
TDD (FOR HEARING IMPAIRED) 1-800-542-2299
WIS. STATUTE VECTIC (1974)
REQUIRES 90 DAYS NOTICE BEFORE YOU EXCAVATE.

LEGEND

- BID 1 LIMIT OF WORK
- BID 2 LIMIT OF WORK
- BID 3 LIMIT OF WORK
- E.L- EXPANSION JOINT
- - - CONTROL JOINT
- PROPERTY LINE
- CURB AND GUTTER
- GUARDRAIL OR HANDRAIL
- STAIRS
- PROPOSED STORM INLET MANHOLE
- PROPOSED CURB INLET
- SLOT DRAIN
- PLANTER CURB OR WALL
- # EQ. NUMBER OF EQ. SPACED JOINTS
- 4 SIGN

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SCALE AS INDICATED

24589.000

PROJECT NUMBER

C 403

DRAWING NUMBER

FILE: P:\4589\000\Sheet\4589-SH-HA1.dwg USER: mmsdsk DATE: Jul 11 2006 TIME: 12:04 pm

**CAPITOL WEST
PHASE 1
BLOCK 51 - MADISON, WI**

Owner:
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FINAL DOCS. GIP/SIP SUBMITTAL		06/14/2006
SIP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN

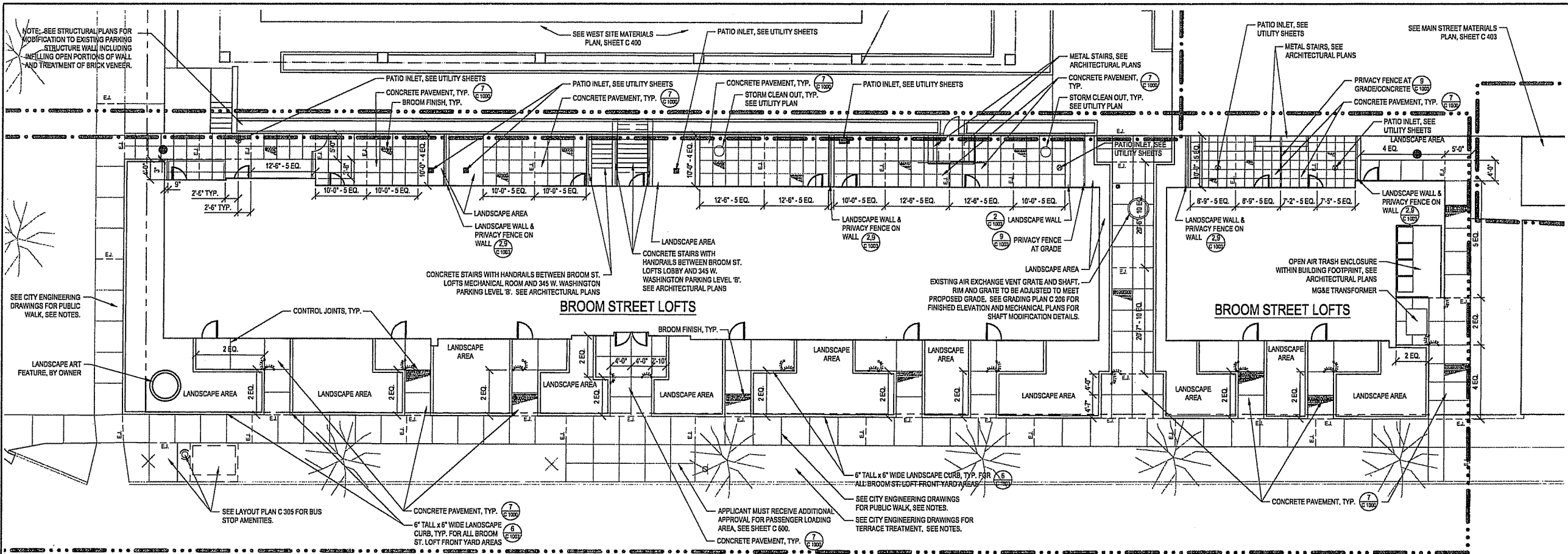
DRAWING TITLE
**SITE MATERIALS - Broom St
- Washington Place**

SCALE AS INDICATED
SCALE 24589.000

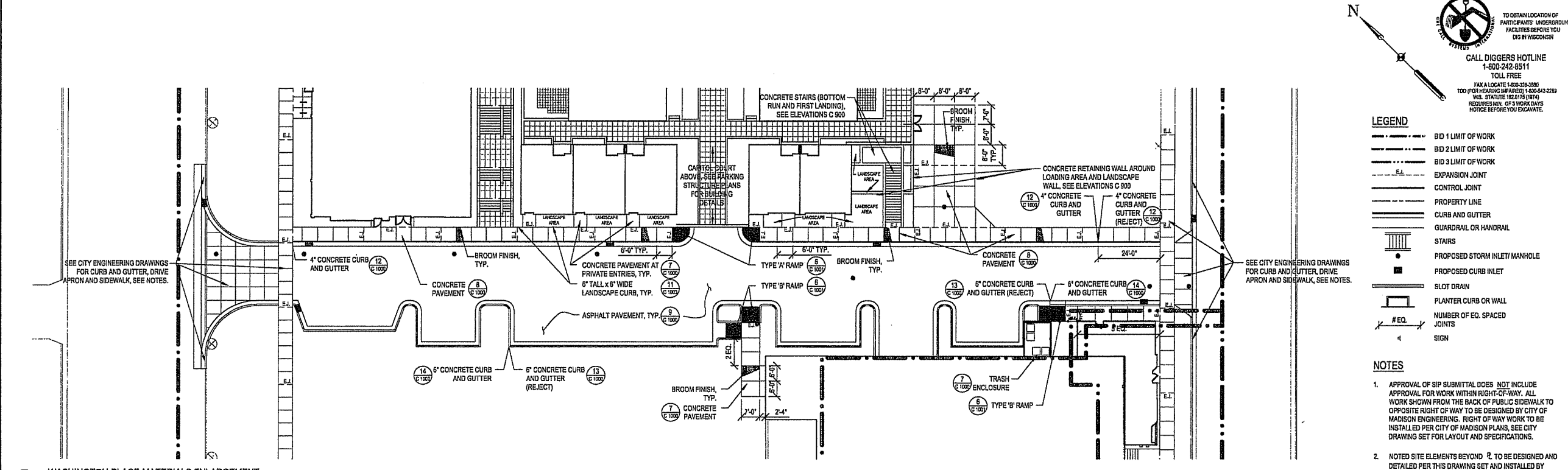
PROJECT NUMBER

C 404

DRAWING NUMBER



1 BROOM STREET LOFTS MATERIALS ENLARGEMENT
SCALE 1" = 10'



2 WASHINGTON PLACE MATERIALS ENLARGEMENT
SCALE 1" = 20'

LEGEND

- BID 1 LIMIT OF WORK
- BID 2 LIMIT OF WORK
- BID 3 LIMIT OF WORK
- EXPANSION JOINT
- CONTROL JOINT
- PROPERTY LINE
- CURB AND GUTTER
- GUARDRAIL OR HANDRAIL
- STAIRS
- PROPOSED STORM INLET/ MANHOLE
- PROPOSED CURB INLET
- SLOT DRAIN
- PLANTER CURB OR WALL
- NUMBER OF EQ. SPACED JOINTS
- SIGN

NOTES

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FILE: P:\24589\000\CAD\Sheet\4589-SH-MAT.dwg USER: mmonk DATE: Jul 11 2006 TIME: 12:04 pm

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR
landscape architecture
planning urban design
civil engineering
environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
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MAIN ST. UTIL. TO CITY		02/07/2006
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100% CLIENT/CONTR. REVIEW SET		03/22/2006
FINAL DOCS. GOP/SP SUBMITTAL		06/14/2006
SP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN

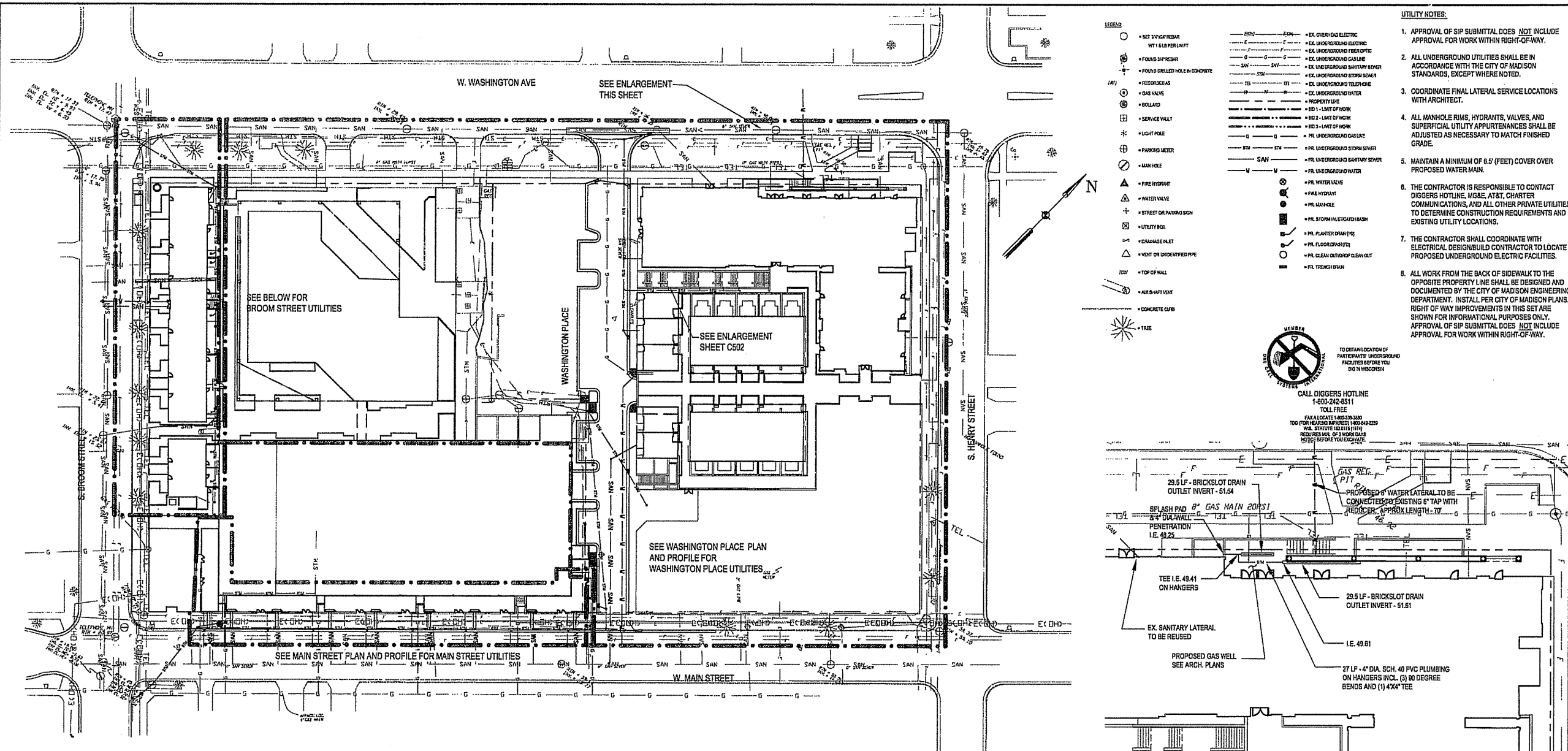
DRAWING TITLE
**SITE UTILITIES - 309 West
Washington Avenue**

SCALE
24589.000

PROJECT NUMBER

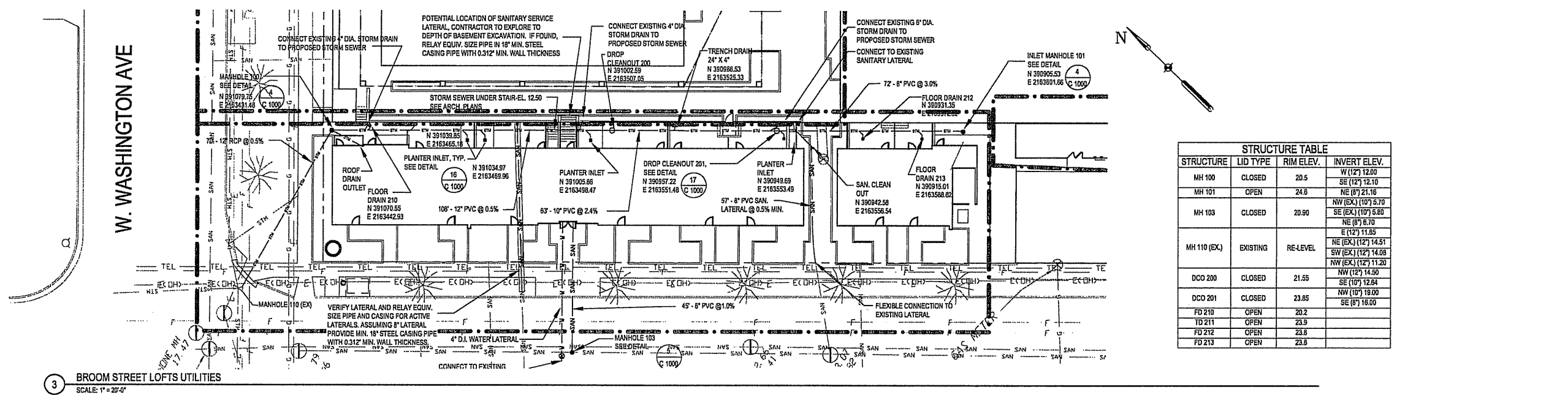
C 500

DRAWING NUMBER



1 OVERALL UTILITY PLAN
SCALE: 1" = 40'-0"

2 309 W. WASHINGTON UTILITY PLAN ENLARGEMENT
SCALE: 1" = 20'-0"



3 BROOM STREET LOFTS UTILITIES
SCALE: 1" = 20'-0"

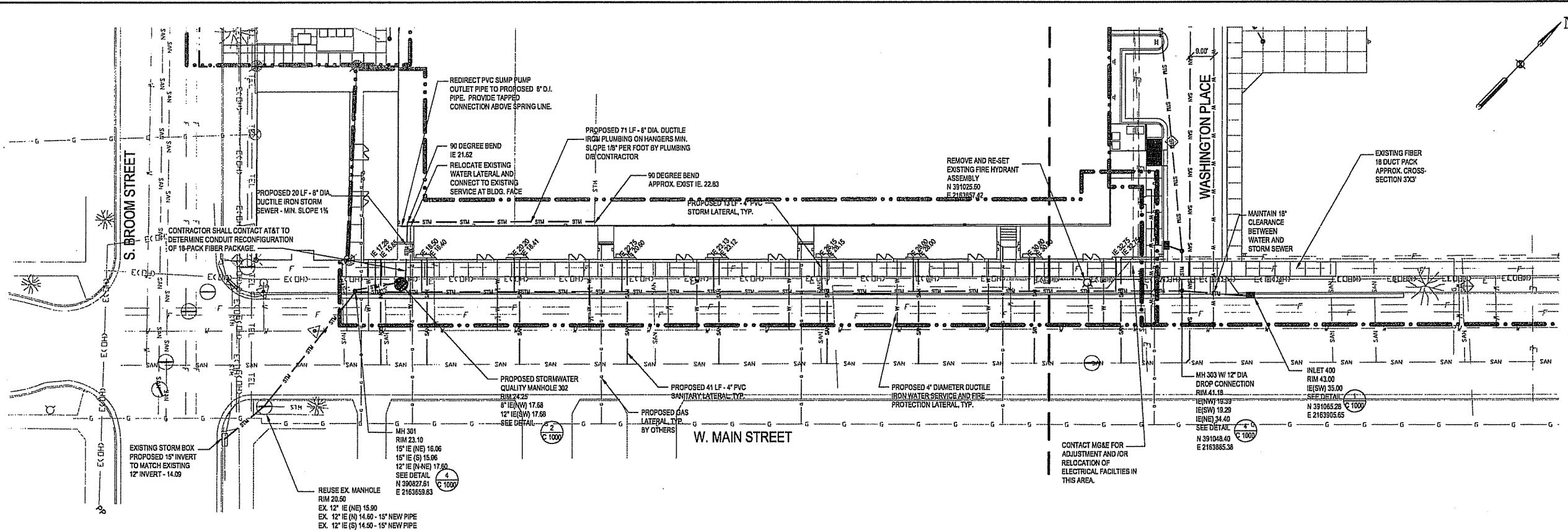
STRUCTURE	LID TYPE	RIM ELEV.	INVERT ELEV.
MH 100	CLOSED	20.5	W (12') 12.00 SE (12') 12.10
MH 101	OPEN	24.6	NE (8') 21.16 NW (EX) (10') 5.70 SE (EX) (10') 5.80
MH 103	CLOSED	20.90	NE (8') 8.70 E (12') 11.85
MH 110 (EX)	EXISTING	RE-LEVEL	NE (EX) (12') 14.51 SW (EX) (12') 14.08 NW (EX) (12') 11.20
DCO 200	CLOSED	21.55	NW (12') 14.50 SE (10') 12.64
FD 210	OPEN	20.2	NW (10') 19.00 SE (5') 18.00
FD 211	OPEN	23.9	
FD 212	OPEN	23.8	
FD 213	OPEN	23.8	

FILE: P:\45899\000\000\Sheet\4589-SH-UTIL.dwg USER: mmonk DATE: Jul 11 2006 TIME: 12:05 pm

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

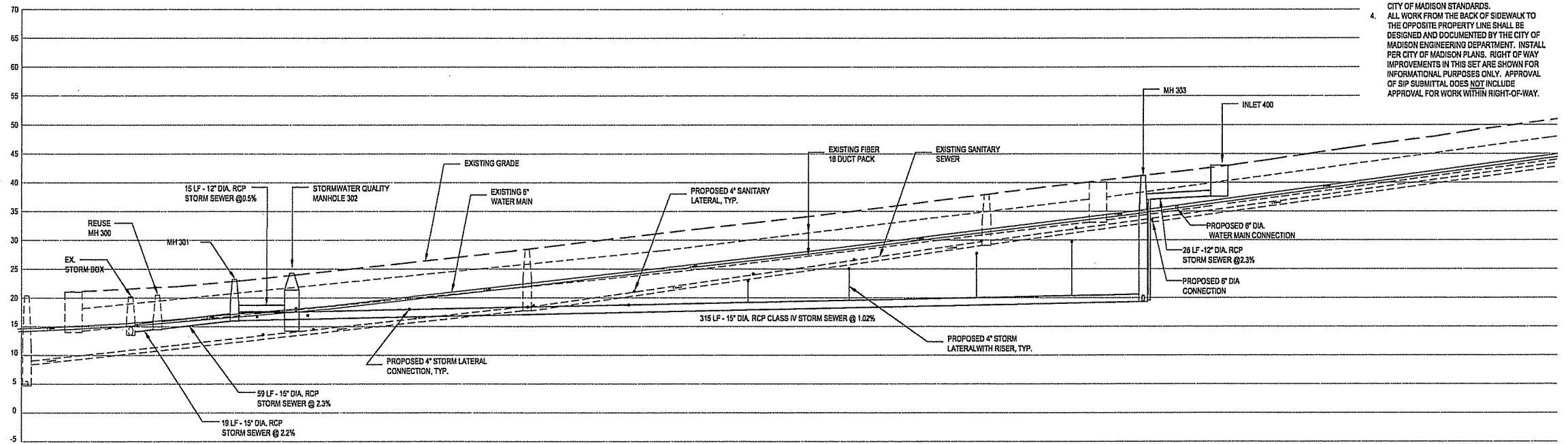
JJR landscape architecture
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625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com



1 MAIN STREET PLAN
SCALE: 1" = 20'

NOTES:

- COORDINATE ALL LATERAL ELEVATIONS WITH ARCHITECT AND AT&T FIBER LOCATIONS AND ELEVATIONS AND ALL OTHER UTILITIES.
- ELECTRIC COMPANY STRUCTURES SHALL BE ADJUSTED BY CONTRACTOR WITHOUT DISTURBING UNDERGROUND FACILITIES. CONTRACTOR SHALL COORDINATE WITH ARCHITECT FOR CONSTRUCTION OVER ELECTRIC FACILITIES.
- ALL UTILITIES SHALL BE CONSTRUCTED TO THE CITY OF MADISON STANDARDS.
- ALL WORK FROM THE BACK OF SIDEWALK TO THE OPPOSITE PROPERTY LINE SHALL BE DESIGNED AND DOCUMENTED BY THE CITY OF MADISON ENGINEERING DEPARTMENT. INSTALL PER CITY OF MADISON PLANS. RIGHT OF WAY IMPROVEMENTS IN THIS SET ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.



2 MAIN STREET PROFILE
SCALE: HORIZONTAL 1" = 20'
VERTICAL 1" = 10'

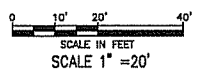
ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
SIX DO REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
100% CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. GWP/SIP SUBMITTAL		06/14/2006
SIP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN



DRAWING TITLE
SITE UTILITIES - Profiles



SCALE 24589.000

PROJECT NUMBER

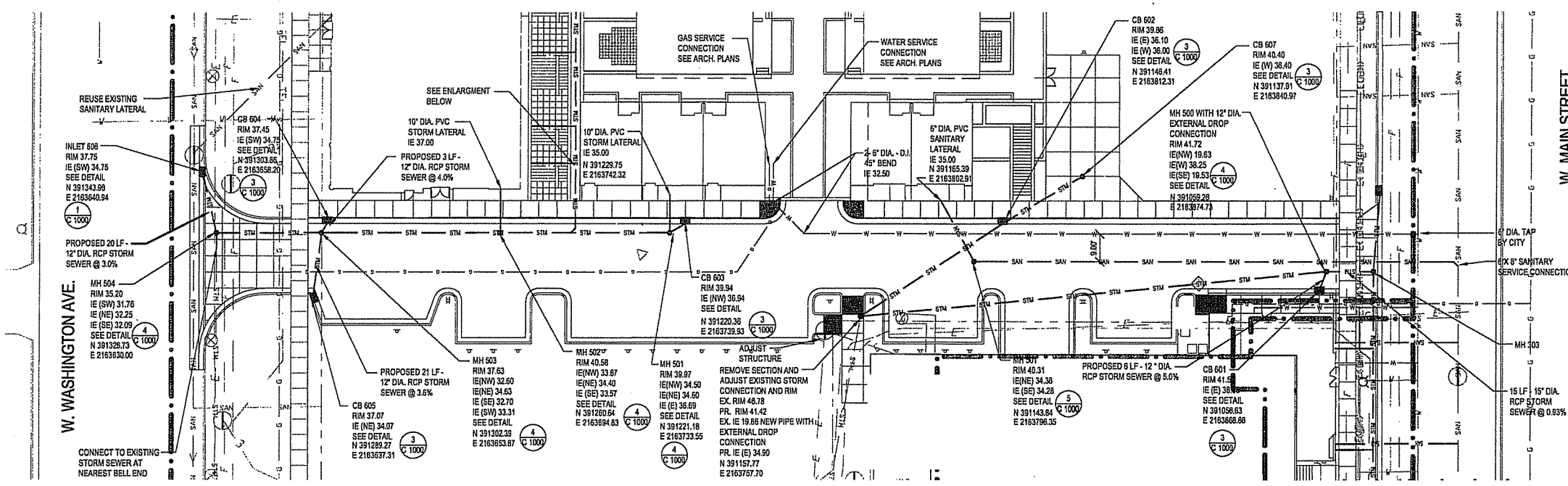
C 501

DRAWING NUMBER

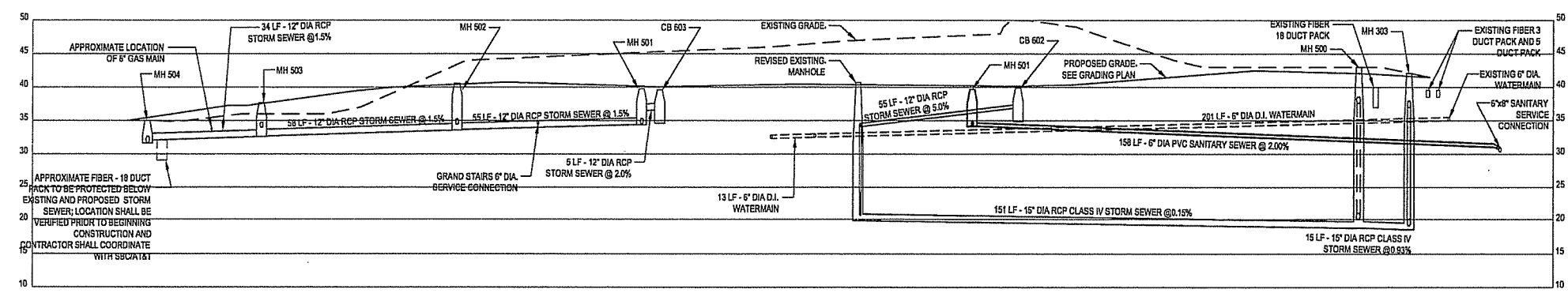
**CAPITOL WEST
PHASE 1
BLOCK 51 - MADISON, WI**

Owner:
**THE ALEXANDER
COMPANY, INC.**

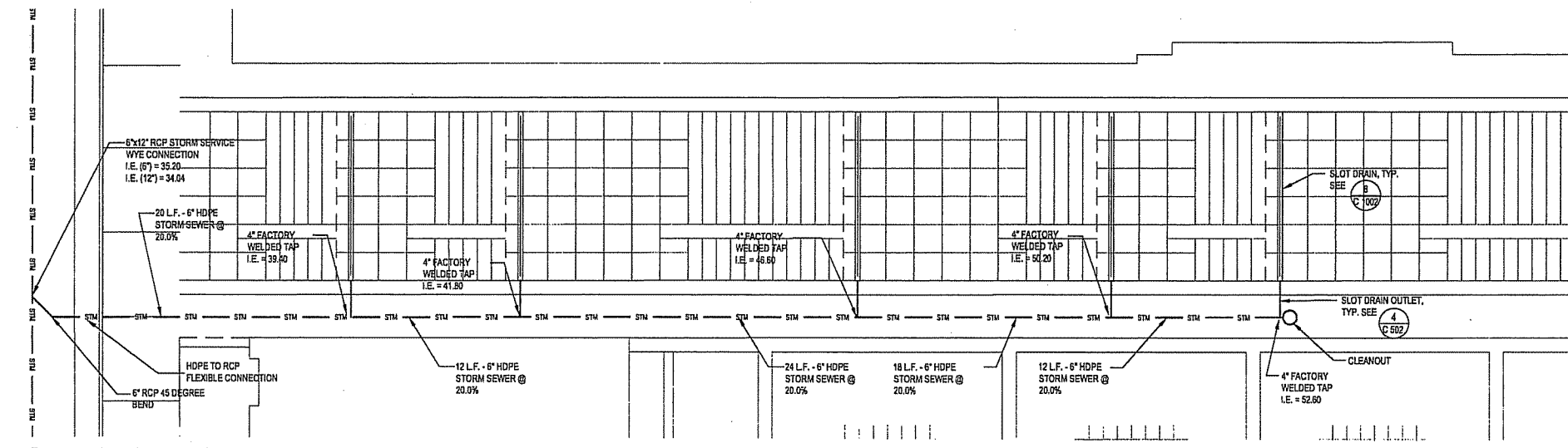
JJR landscape architecture
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environmental science
J.R. LLC
825 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com



1 WASHINGTON PLACE PLAN
SCALE: 1" = 20'

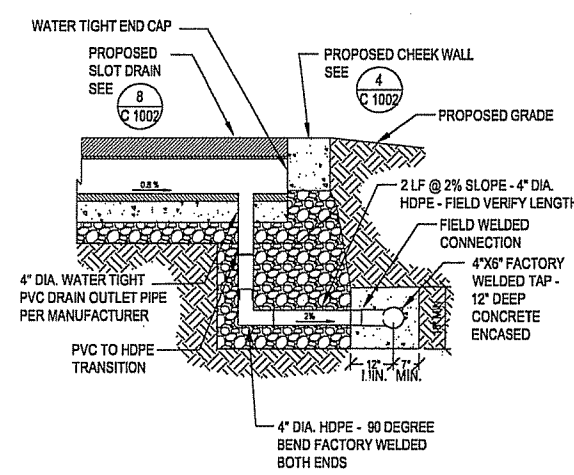


2 WASHINGTON PLACE PROFILE
SCALE: HORIZONTAL 1" = 20'
VERTICAL 1" = 10'



3 NORTH STAIR SEWER ENLARGEMENT
SCALE: 1" = 5'

- NOTES:**
- ALL HDPE PIPE FIELD WELDED JOINTS SHALL BE ENCASED IN CONCRETE. CONCRETE ENCASEMENT SHALL BE MINIMUM 4 INCHES OUTSIDE PIPE AND WELD IN ALL DIRECTIONS.
 - ALL WORK FROM THE BACK OF SIDEWALK TO THE OPPOSITE PROPERTY LINE SHALL BE DESIGNED AND DOCUMENTED BY THE CITY OF MADISON ENGINEERING DEPARTMENT. INSTALL PER CITY OF MADISON PLANS. RIGHT OF WAY IMPROVEMENTS IN THIS SET ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.



4 SLOT DRAIN OUTLET SECTION
SCALE: 1" = 2'

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
50% DD REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
100% CLIENT/COUNTY REVIEW SET		03/23/2006
FINAL DOCS. CIP/SIP SUBMITTAL		05/14/2006
SIP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN
PROJECT NORTH

DRAWING TITLE
SITE UTILITIES - Profiles

SCALE AS INDICATED
SCALE 24589.000

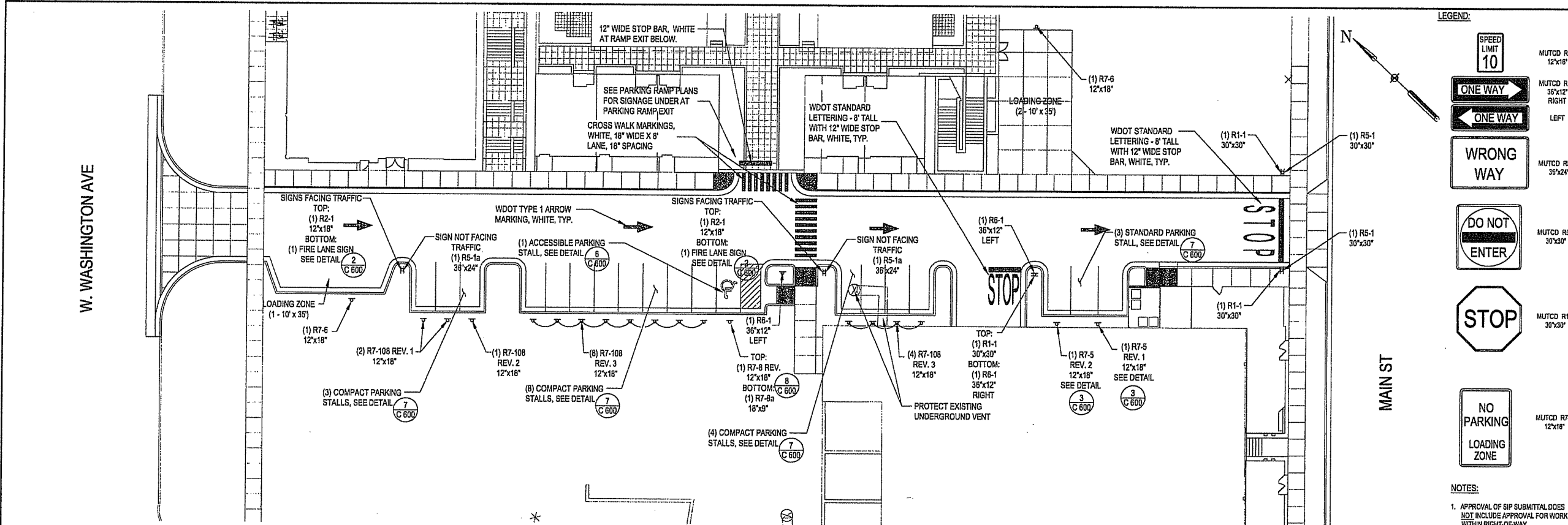
DRAWING NUMBER
C 502

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**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

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625 WILLIAMSON STREET,
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LEGEND:

- SPEED LIMIT 10 MUTCD R2-1 12"x18"
- ONE WAY MUTCD R6-1 36"x12" RIGHT
- ONE WAY LEFT
- WRONG WAY MUTCD RS-1a 36"x24"
- DO NOT ENTER MUTCD RS-1 30"x30"
- STOP MUTCD R1-1 30"x30"
- NO PARKING LOADING ZONE MUTCD R7-8 12"x18"

1 WASHINGTON PLACE SIGNAGE PLAN
SCALE 1" = 20'

2 FIRE LANE SIGN DETAIL
NOT TO SCALE

FIRE LANE DO NOT BLOCK

NOTES:
1. SEE PLAN FOR LOCATIONS.
2. SIGN SHALL BE REFLECTIVE WHITE WITH RED LETTERING AND BORDER.

3 MUTCD R7-5 REVISIONS
NOT TO SCALE

15 MINUTE PARKING REV. 1
1 HOUR PARKING REV. 2

NOTES:
1. SEE PLAN FOR LOCATIONS.
2. SIGN SHALL BE REFLECTIVE WHITE WITH GREEN LETTERING PER MUTCD STANDARDS.

4 MUTCD R7-6 REVISIONS
NOT TO SCALE

NO PARKING PASSENGER LOADING ZONE REV. 1

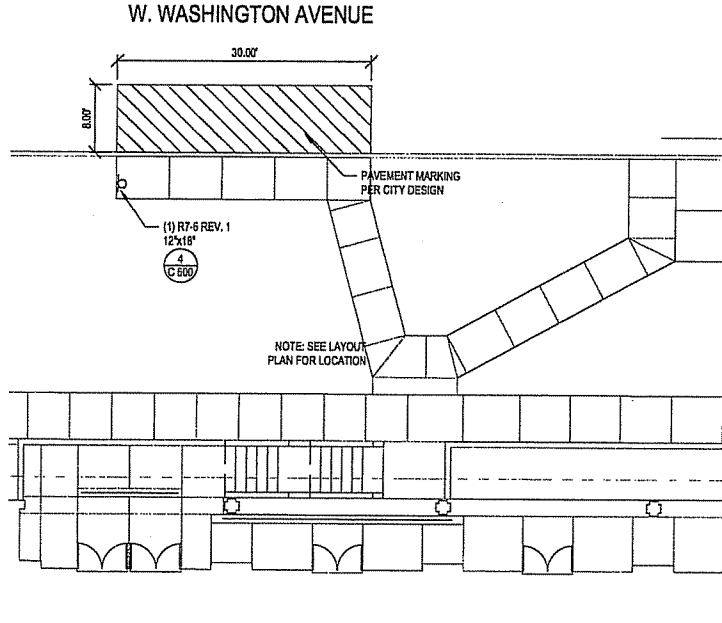
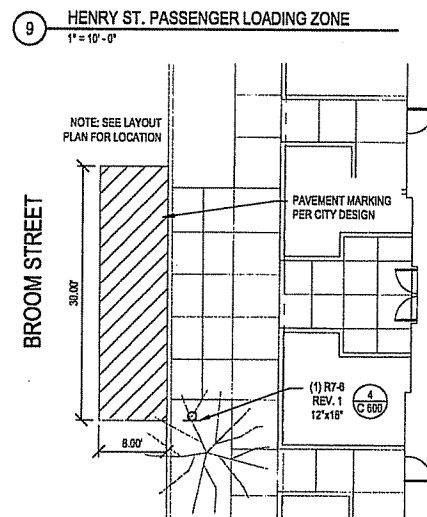
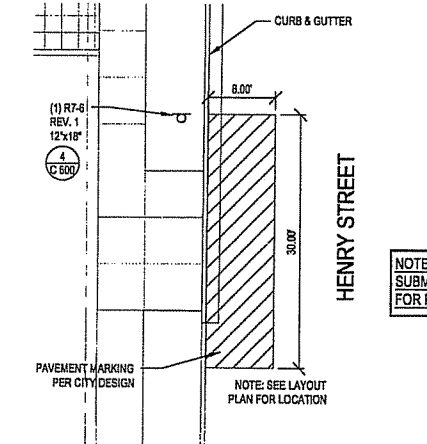
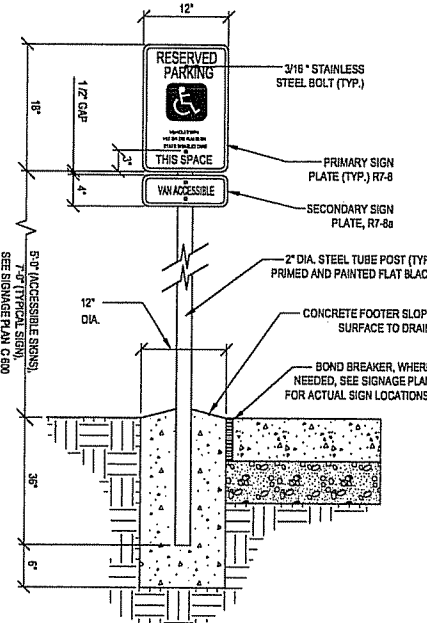
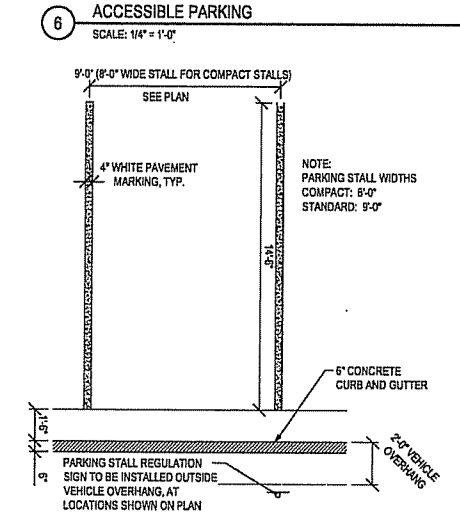
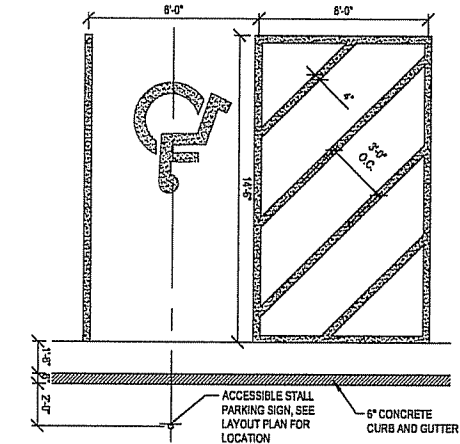
NOTES:
1. SEE PLAN FOR LOCATIONS.

5 MUTCD R7-108 REVISIONS
NOT TO SCALE

1 HOUR PARKING COMPACT CAR

WRITTEN REVISIONS:
REV1 - TOP "15 MINUTE PARKING" BOTTOM "COMPACT CAR ONLY"
REV2 - TOP "1 HOUR PARKING" BOTTOM "COMPACT CAR ONLY"
REV3 - TOP "1 HOUR PARKING" BOTTOM "COMPACT CAR ONLY"

NOTES:
1. SEE PLAN FOR LOCATIONS
2. SIGN SHALL BE REFLECTIVE WHITE WITH GREEN LETTERING PER MUTCD STANDARDS



- NOTES:**
- APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.
 - ALL SIGNS SHALL BE MOUNTED PER SIGNAGE MOUNTING DETAIL.
 - ALL SIGNS AND PAVEMENT MARKINGS SHALL FOLLOW MUTCD STANDARDS FOR COLOR AND REFLECTIVITY.
 - ALL SIGNS SHALL BE PLACED OUTSIDE THE 24" (INCH) VEHICLE OVERHANG AT THE FRONT OF EACH PARKING STALL.
 - ALL PAVEMENT MARKING SHALL BE EPOXY AND MAINTAINED BY THE PROPERTY OWNER.
 - PAVEMENT MARKING AND SIGNS FOR PASSENGER LOADING ZONES SHALL BE DETAILED BY THE CITY. SEE CITY PLAN SET FOR DETAILS.
 - SEE SHEET C 601 FOR SITE INFORMATION BLOCK REGARDING TOTAL PARKING STALL COUNT AND PERCENTAGE OF SMALL CAR STALLS.

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL	12/01/2005	
SOX DD REVIEW & ESTIMATE SET	01/04/2006	
MAIN ST. UTIL. TO CITY	02/07/2006	
CITY REVIEW SET	02/22/2006	
100% CLIENT/CONT. REVIEW SET	03/22/2006	
FINAL DOCS. GOP/SIP SUBMITTAL	06/14/2006	
SIP ALTERATION	07/12/2006	

SEALS AND SIGNATURES

KEY PLAN

PROJECT NORTH

DRAWING TITLE
SITE SIGNAGE

SCALE AS INDICATED

PROJECT NUMBER
24589.000

DRAWING NUMBER
C 600

FILE: P:\24589\DDO\CAD\Sheet\4589-SIP-SIGN.dwg USER: mrvak DATE: Jul 11 2006 TIME: 12:05 pm

**CAPITOL WEST
PHASE 1
BLOCK 51 - MADISON, WI**

Owner:
**THE ALEXANDER
COMPANY, INC.**

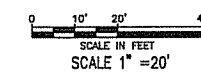
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ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
50% DD REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
100% CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. QIP/SP SUBMITTAL		06/14/2006
SP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN
PROJECT NORTH

DRAWING TITLE
SITE LIGHTING - West

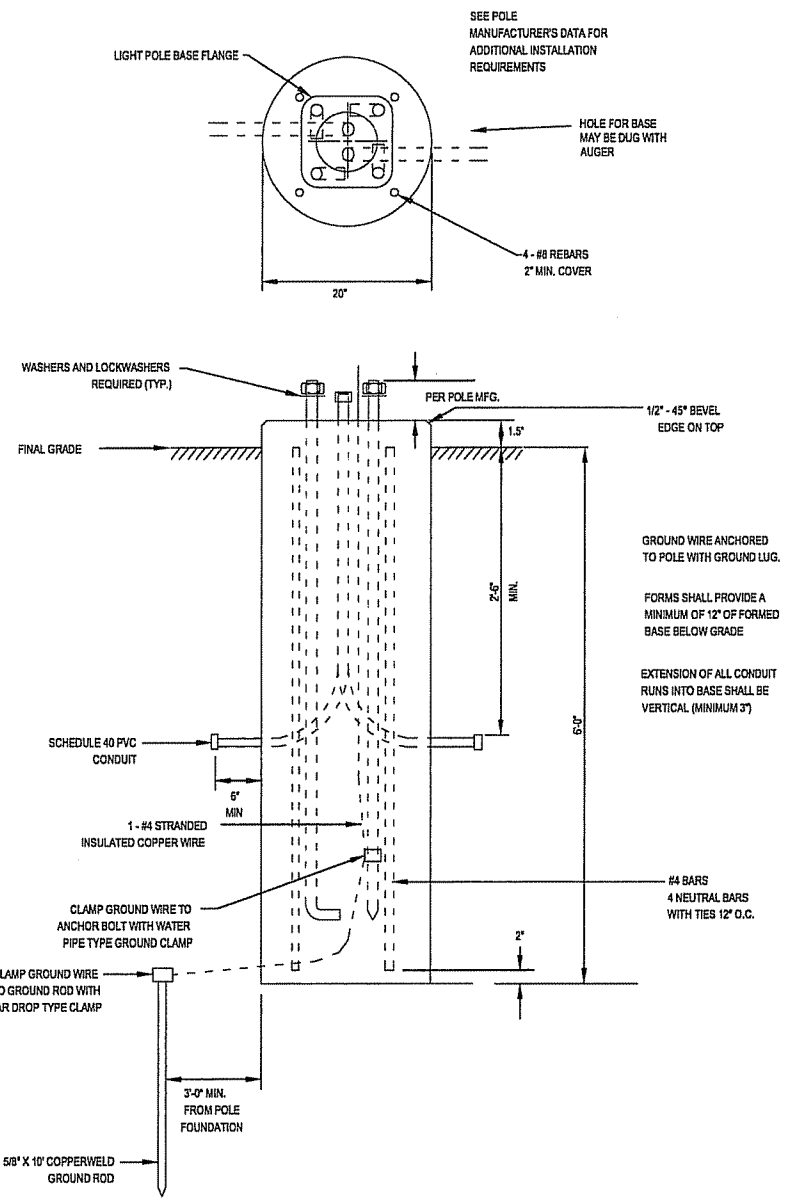
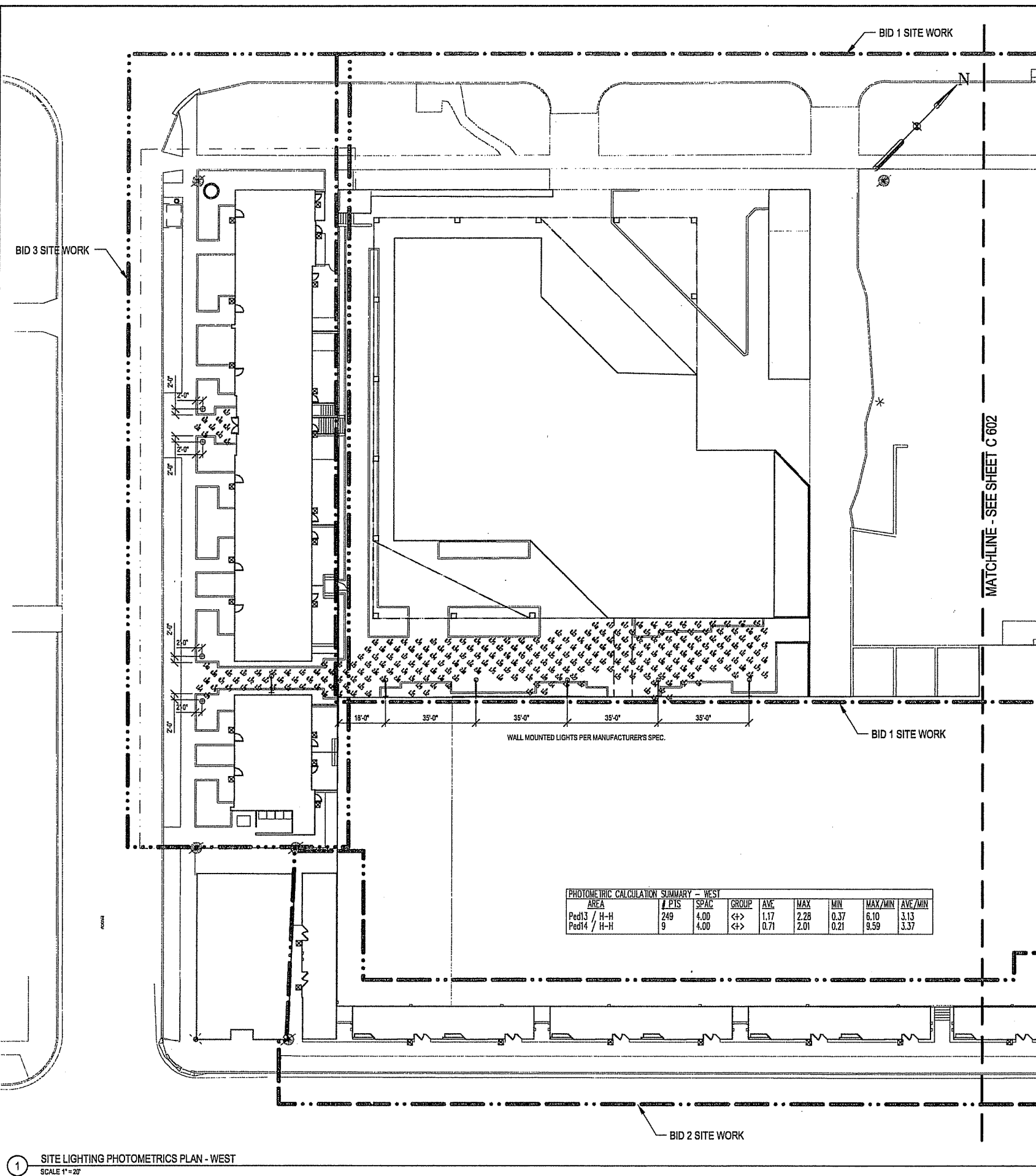


SCALE
24589.000

PROJECT NUMBER

C 601

DRAWING NUMBER



2 LIGHT BASE AT GRADE, TYP.
SCALE 1" = 1'

PHOTOMETRIC CALCULATION SUMMARY - WEST

AREA	# PIS	SPAC	GROUP	Avg	MAX	MIN	MAX/MIN	Avg/Min
Ped13 / H-H	249	4.00	<+>	1.17	2.28	0.37	6.10	3.13
Ped14 / H-H	9	4.00	<+>	0.71	2.01	0.21	9.59	3.37

LIGHT FIXTURE LEGEND

- INDESSA 562 (w/ cold weather ballast)
- WET INDESSA 562 (w/ cold weather ballast)
- BOLLARD - BEACON PALM BEACH 8" FLAT TOP MOUNTED AT GRADE
- BOLLARD - BEACON PALM BEACH 8" FLAT TOP MOUNTED ON STRUCTURE
- VISIO TYPE 535 POLE MOUNT AT GRADE
- VISIO TYPE 535 POLE MOUNT ON STRUCTURE
- VISIO TYPE 535 WALL MOUNT
- RITORNO SQUARE ASYMMETRICAL

LEGEND

- BID 1 LIMIT OF WORK
- BID 2 LIMIT OF WORK
- BID 3 LIMIT OF WORK
- CURB AND GUTTER
- ▭ STAIRS
- ▭ PLANTER CURB OR WALL

NOTES

1. ALL STREET LIGHTS AND POLES ON W. WASHINGTON AVE., S. HENRY ST., W. MAIN ST. & S. BROOM ST. SHALL BE REPLACED WITH CITY OF MADISON STANDARD STREET AND PEDESTRIAN LIGHTING. ACTUAL LIGHTING LAYOUT AND DESIGN FOR STREET AND PEDESTRIAN LIGHTING TO BE DONE BY CITY ENGINEERING AND INSTALLED BY CONTRACTOR FOR THIS PROJECT.
2. ALL MOUNTING HEIGHTS ARE LISTED TO BOTTOM OF LUMINAIRES.
3. ALL LIGHTS TO BE MOUNTED PER MANUFACTURER'S SPECIFICATIONS.

LUMINAIRE SCHEDULE

DESCRIPTION	LAMP	LUMENS	MOUNTING/POLLAST	LF/L	QTY
(1) "BOL" PB	(1)	3200	BASE AG BASE OS	0.90	6
SELUX CORPORATE (1) "RIT" RIT-I-HUTS (RITDRD)	(1)	14000	BASE AG - 15' MOUNTING HEIGHT	0.80	6
VISIO LIGHTING (1) "535" 535-PE-5YH-AV-120VCF-Voltage	(1)	9000	BASE AG - 15' MOUNTING HEIGHT BASE OS - 15' MOUNTING HEIGHT	0.90	5
INDESSA LIGHTING (1) "562" 562-23P126-WHT	(1)	1710	WALL MOUNT PER MANUFACTURER 9' MOUNTING HEIGHT	0.90	13
INDESSA LIGHTING (1) "562" 562-23P126-WHT	(1)	1710	WALL MOUNT PER MANUFACTURER 9' MOUNTING HEIGHT	0.90	41
VISIO LIGHTING (1) "535" 535-PE-5YH-AV-120VCF-Voltage	(1)	9000	WALL MOUNT PER MANUFACTURER 12' MOUNTING HEIGHT	0.90	6

FILE: P:\24589\000\CAD\Sheet\4589-SH-LIGHTING.dwg USER: mrovek DATE: Jul. 11 2006 TIME: 12:06 pm

1 SITE LIGHTING PHOTOMETRICS PLAN - WEST
SCALE 1" = 20'

**CAPITOL WEST
PHASE 1
BLOCK 51 - MADISON, WI**

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR
landscape architecture
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625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
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ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
SIX MONTH REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
100% CLIENT/CONY. REVIEW SET		03/14/2006
FINAL DOCS. GMP/SIP SUBMITTAL		06/14/2006
SIP ALTERATION		07/12/2006

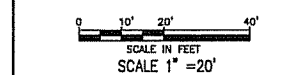
SEALS AND SIGNATURES

KEY PLAN



PROJECT NORTH

DRAWING TITLE
SITE LIGHTING - East

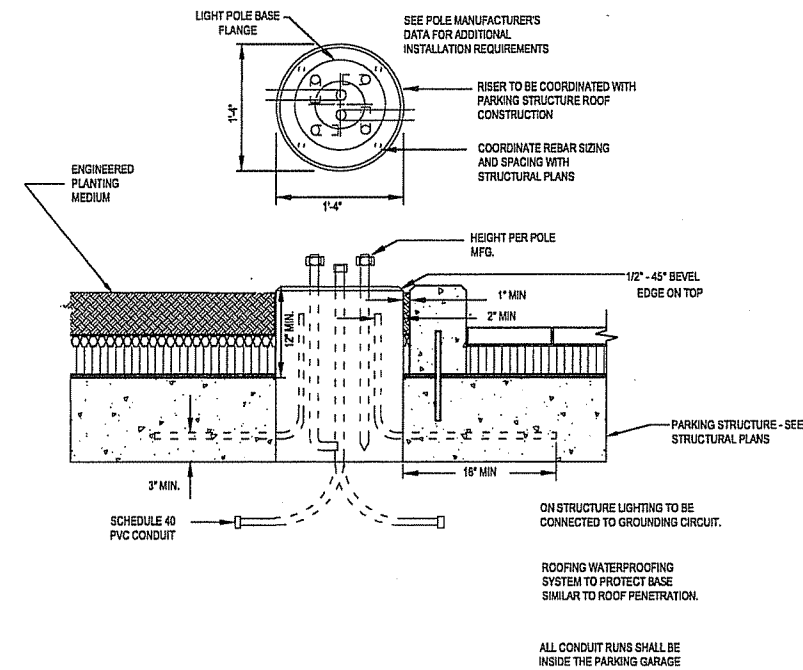


SCALE 24589.000

PROJECT NUMBER

C 602

DRAWING NUMBER



2 POLE MOUNT ON PARKING STRUCTURE
SCALE 1" = 1'

PHOTOMETRIC CALCULATION SUMMARY - EAST

AREA	PTS	SPAC	GROUP	AVE	MAX	MIN	MAX/MIN	AVE/MIN
PARKING AREA	640	4.00	<+>	1.22	3.56	0.32	11.07	3.61
ENTRY/EXIT DRIVE	76	4.00	<+>	0.20	1.06	0.02	65.52	12.33
FENCED DUMPSTER AREA	5	4.00	<+>	0.62	1.66	0.00	N/A	N/A
Ped1 / H-H	102	4.00	<+>	1.62	2.30	0.67	2.65	1.67
Ped2 / H-H	39	4.00	<+>	0.67	1.89	0.13	15.14	5.34
Ped3 / H-H	23	4.00	<+>	1.13	2.10	0.60	3.30	1.88
Ped4 / H-H	19	4.00	<+>	0.93	2.19	0.28	7.69	3.25
Ped5 / H-H	61	4.00	<+>	1.90	2.51	1.32	1.90	1.44
Ped6 / H-H	97	4.00	<+>	1.22	2.20	0.00	N/A	N/A
Ped7 / H-H	24	4.00	<+>	1.21	2.11	0.74	2.87	1.65
Ped8 / H-H	70	4.00	<+>	1.77	2.53	0.39	6.55	4.58
Ped9 / H-H	33	4.00	<+>	0.25	1.00	0.04	28.23	7.03
Ped10 / H-H	13	4.00	<+>	0.47	2.07	0.01	317.39	71.29
Ped11 / H-H	13	4.00	<+>	0.42	1.28	0.00	N/A	N/A
Ped12 / H-H	8	4.00	<+>	0.23	1.48	0.00	N/A	N/A

LIGHT FIXTURE LEGEND

- INDESSA 562 (w/ cold weather ballast)
- WET INDESSA 562 (w/ cold weather ballast)
- BOLLARD - BEACON PALM BEACH 8" FLAT TOP MOUNTED AT GRADE
- BOLLARD - BEACON PALM BEACH 8" FLAT TOP MOUNTED ON STRUCTURE
- ⊙ VISIO TYPE 535 POLE MOUNT AT GRADE
- ⊙ VISIO TYPE 535 POLE MOUNT ON STRUCTURE
- ⊙ VISIO TYPE 535 WALL MOUNT
- RITORNO SQUARE ASYMMETRICAL

LEGEND

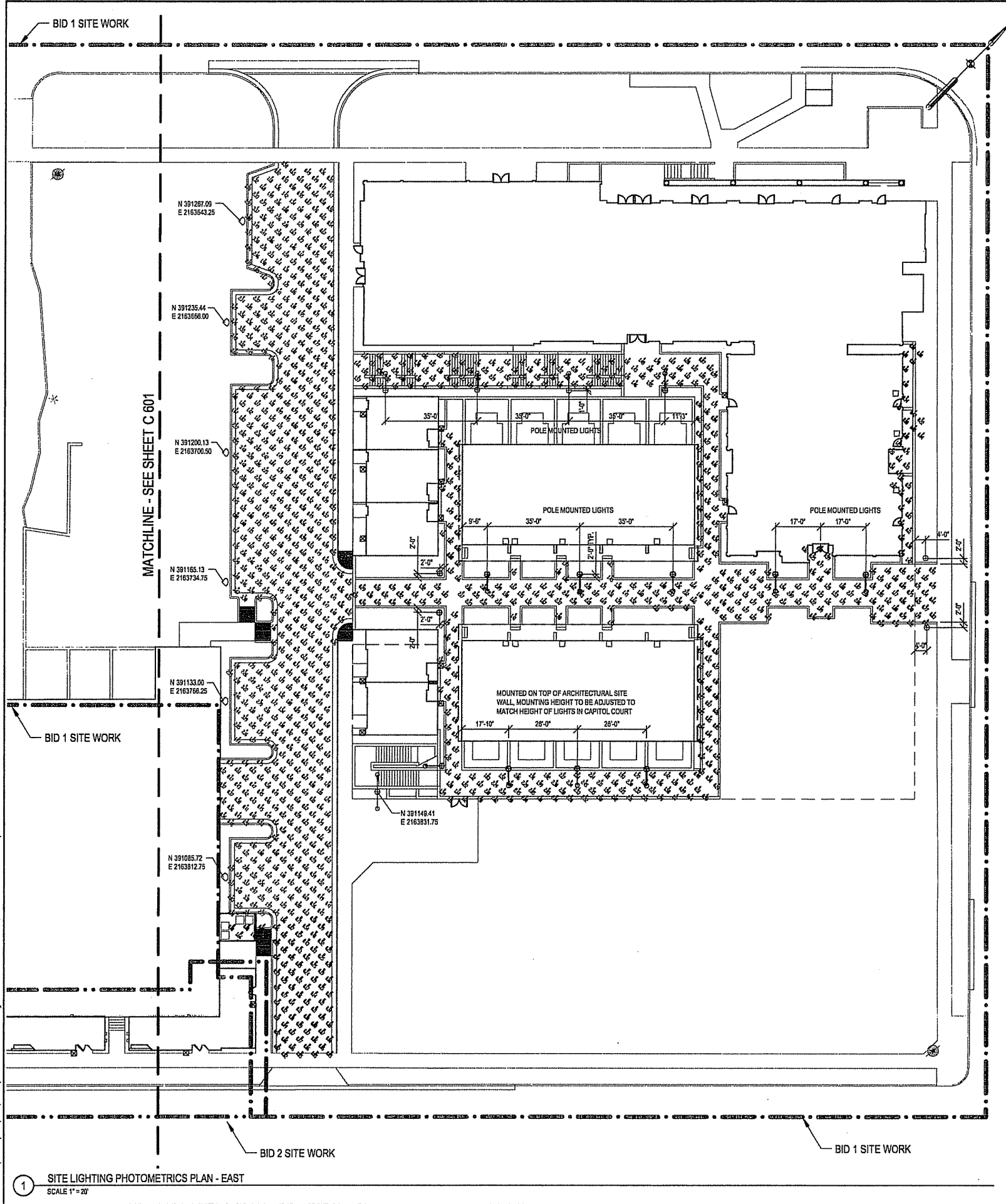
- BID 1 LIMIT OF WORK
- BID 2 LIMIT OF WORK
- BID 3 LIMIT OF WORK
- CURB AND GUTTER
- ▮ STAIRS
- ▮ PLANTER CURB OR WALL

NOTES

1. ALL STREET LIGHTS AND POLES ON W. WASHINGTON AVE., S. HENRY ST., W. MAIN ST. & S. BROOM ST. SHALL BE REPLACED WITH CITY OF MADISON STANDARD STREET AND PEDESTRIAN LIGHTING. ACTUAL LIGHTING LAYOUT AND DESIGN FOR STREET AND PEDESTRIAN LIGHTING TO BE DONE BY CITY ENGINEERING AND INSTALLED BY CONTRACTOR FOR THIS PROJECT.
2. ALL MOUNTING HEIGHTS ARE LISTED TO BOTTOM OF LUMINARIES.
3. ALL LIGHTS TO BE MOUNTED PER MANUFACTURER'S SPECIFICATIONS.

LUMINAIRE SCHEDULE

DESCRIPTION	LAMP	LUMENS	MOUNTING/BALLAST	LLF	QTY
1) "80" FB	1)	3200	BASE AG BASE DS	0.90	6
SELUX CORPORATE	1)	14900	BASE AG - 15' MOUNTING HEIGHT	0.89	6
VISIO LIGHTING	1)	9000	BASE AG - 12' MOUNTING HEIGHT BASE DS - 12' MOUNTING HEIGHT	0.90	10
INDESSA LIGHTING	2)	1710	WALL MOUNT PER MANUFACTURER 9' MOUNTING HEIGHT	0.90	13
INDESSA LIGHTING	2)	1710	WALL MOUNT PER MANUFACTURER 9' MOUNTING HEIGHT	0.90	41
VISIO LIGHTING	1)	9000	WALL MOUNT PER MANUFACTURER 12' MOUNTING HEIGHT	0.90	6



FILE: P:\4589\000\sheet\4589-SI-LIGHTING.dwg USER: mnovak DATE: Jul 11 2006 TIME: 12:05 pm

Project: _____
Type: _____
Approved: _____
Cat #: 5 / 35 / PE / 51M / AW / 12CF / 1 / BUK / 1
 Series Top/Down 179 Color Output Lamp Voltage Color Options Options Options

Constellation Collection 535 Series

HELLUX
 Division of Visio Lighting
 617 East Drive | Spokane, WA | 99212 | (509) 754-0243

Project: _____
Type: _____
Approved: _____
Cat #: 5 / 35 / PE / 51M / AW / 12CF / 1 / BUK / 1
 Series Top/Down 179 Color Output Lamp Voltage Color Options Options Options

Constellation Collection 535 Series

HELLUX
 Division of Visio Lighting
 617 East Drive | Spokane, WA | 99212 | (509) 754-0243

WET LOCATION HALF CYLINDER

PROJECT: _____
LOCATION: _____

FEATURES:

- Narrow, adjustable fixture is ideal for illuminating columns.
- Fully enclosed and protected fixture.
- Angled and flared for wet locations.
- Electronic, multi-volt (120/277) ballast in standard (0°) starting configuration.
- All fixtures include with a five stage phosphor ballast process before being finished with a long lasting powder coat finish.
- Easy installation and replacement of lamps.
- No visible fasteners.
- Manufactured in the USA.

BASE FOOTPRINT

HELLUX
 Division of Visio Lighting
 617 East Drive | Spokane, WA | 99212 | (509) 754-0243

BEACON PRODUCTS

8" PALM BEACH BOLLARD WITH CUSTOM FLAT TOP

HELLUX
 Division of Visio Lighting
 617 East Drive | Spokane, WA | 99212 | (509) 754-0243

1 VISIO PEDESTRIAN LIGHT CUT SHEETS
 N.T.S.

2 INDESSA ENTRY LIGHT CUT SHEET
 N.T.S.

3 BEACON BOLLARD CUT SHEET
 N.T.S.

Ritorno® Square Asymmetrical

Project: Capitol West - Block 51 Madison, WI - Alexander Co.
Type: _____
Qty: _____

HELLUX

Options:

- 12CF = 120 W COMP FLUOR
- 15CF = 150 W COMP FLUOR
- 18CF = 180 W COMP FLUOR
- 21CF = 210 W COMP FLUOR
- 24CF = 240 W COMP FLUOR
- 27CF = 270 W COMP FLUOR
- 30CF = 300 W COMP FLUOR
- 33CF = 330 W COMP FLUOR
- 36CF = 360 W COMP FLUOR
- 39CF = 390 W COMP FLUOR
- 42CF = 420 W COMP FLUOR
- 45CF = 450 W COMP FLUOR
- 48CF = 480 W COMP FLUOR
- 51CF = 510 W COMP FLUOR
- 54CF = 540 W COMP FLUOR
- 57CF = 570 W COMP FLUOR
- 60CF = 600 W COMP FLUOR
- 63CF = 630 W COMP FLUOR
- 66CF = 660 W COMP FLUOR
- 69CF = 690 W COMP FLUOR
- 72CF = 720 W COMP FLUOR
- 75CF = 750 W COMP FLUOR
- 78CF = 780 W COMP FLUOR
- 81CF = 810 W COMP FLUOR
- 84CF = 840 W COMP FLUOR
- 87CF = 870 W COMP FLUOR
- 90CF = 900 W COMP FLUOR
- 93CF = 930 W COMP FLUOR
- 96CF = 960 W COMP FLUOR
- 99CF = 990 W COMP FLUOR
- 102CF = 1020 W COMP FLUOR
- 105CF = 1050 W COMP FLUOR
- 108CF = 1080 W COMP FLUOR
- 111CF = 1110 W COMP FLUOR
- 114CF = 1140 W COMP FLUOR
- 117CF = 1170 W COMP FLUOR
- 120CF = 1200 W COMP FLUOR

HELLUX
 Division of Visio Lighting
 617 East Drive | Spokane, WA | 99212 | (509) 754-0243

Ritorno® Square Asymmetrical

HELLUX

Options:

- 12CF = 120 W COMP FLUOR
- 15CF = 150 W COMP FLUOR
- 18CF = 180 W COMP FLUOR
- 21CF = 210 W COMP FLUOR
- 24CF = 240 W COMP FLUOR
- 27CF = 270 W COMP FLUOR
- 30CF = 300 W COMP FLUOR
- 33CF = 330 W COMP FLUOR
- 36CF = 360 W COMP FLUOR
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- 120CF = 1200 W COMP FLUOR

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4 RITORNO PARKING/DRIVE AISLE LIGHT CUT SHEETS
 N.T.S.

**CAPITOL WEST
 PHASE 1
 BLOCK 51 - MADISON, WI**

Owner:
**THE ALEXANDER
 COMPANY, INC.**

JJR
 Landscape Architecture
 400 N. 4th St.
 Madison, WI 53703
 (608) 251-1177
 www.jj-us.com

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
SOM DD REVIEW & ESTIMATE SET		01/04/2006
MAIN SE. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		03/22/2006
100% CLIENT/OWNER REVIEW SET		03/22/2006
FINAL DOCS. COP/SP SUBMITTAL		06/14/2006
SP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN

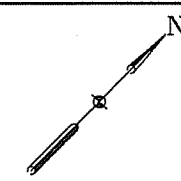
DRAWING TITLE
**SITE LIGHTING - Light Cut
 Sheets**

SCALE
 1" = 20'

PROJECT NUMBER
 24589.000

DRAWING NUMBER
C 603

FILE: P:\CAPITOL WEST\CAPITOL WEST - SITE LIGHTING.dwg USER: rmcgovern DATE: 11/20/05 TIME: 12:05 PM



**CAPITOL WEST
PHASE 1
BLOCK 51 - MADISON, WI**

Owner:
**THE ALEXANDER
COMPANY, INC.**

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JJR, LLC
825 WILLIAMSON STREET,
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608.251.1177 T
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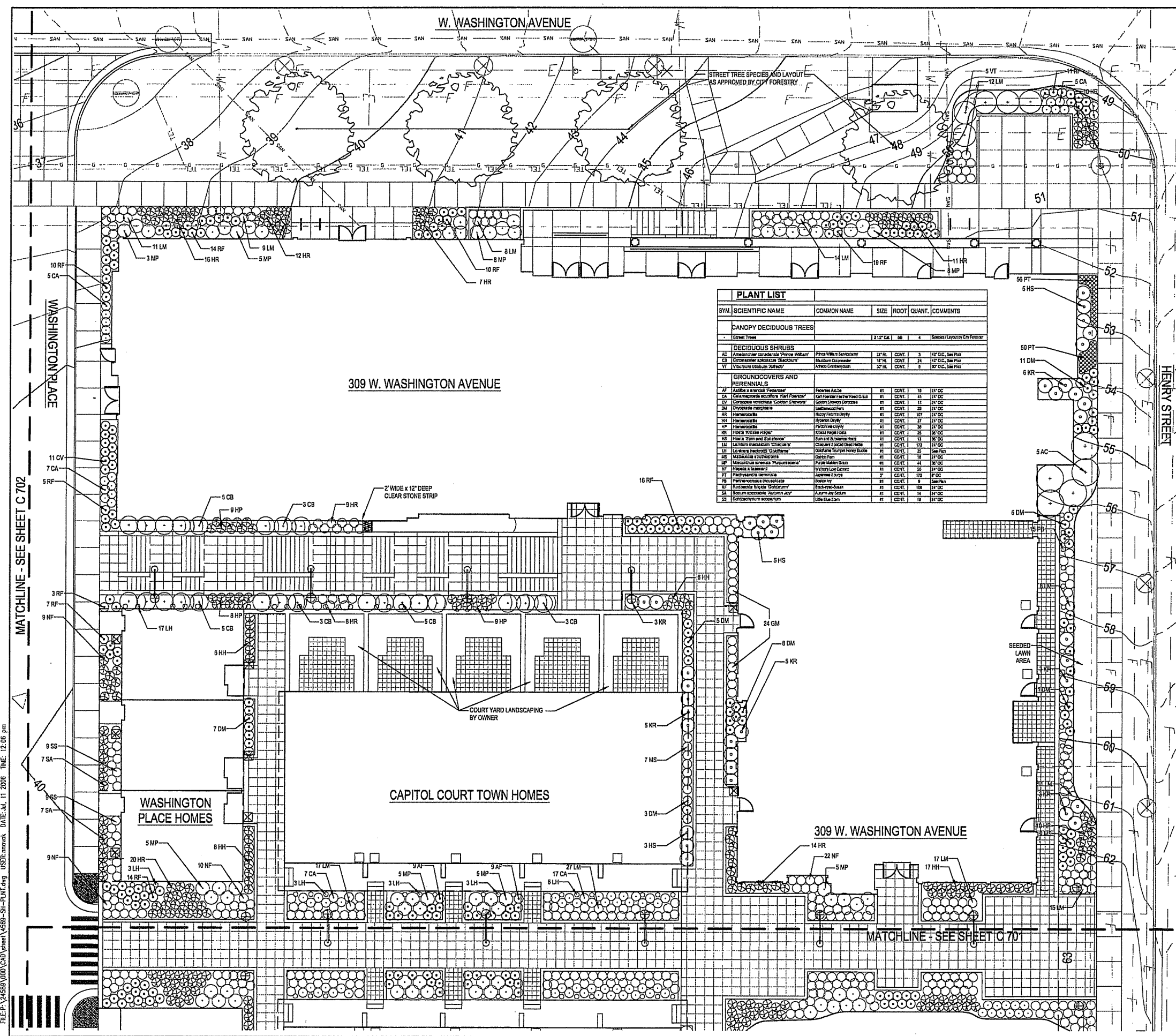
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100% CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. COP/SP SUBMITTAL		06/14/2006
SIP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN PROJECT NORTH

DRAWING TITLE
**SITE LANDSCAPE - 309
West Washington Avenue**

SCALE 1" = 10'
SCALE IN FEET
SCALE 1" = 10'
SCALE 24589.000
PROJECT NUMBER
C 700
DRAWING NUMBER



SYM	SCIENTIFIC NAME	COMMON NAME	SIZE	ROOT	QUANT.	COMMENTS
CANOPY DECIDUOUS TREES						
Street Trees 2 1/2" Cal. 30 4 Standard Layout by City Forestry						
DECIDUOUS SHRUBS						
AC	<i>Amelanchier canadensis</i> 'Prince of Wales'	Prince of Wales Saniclay	24" Ht.	COIT.	3	1/2" O.C. See Plan
CB	<i>Cornus amomum</i> 'Siamonium'	Black Dogwood	18" Ht.	COIT.	24	1/2" O.C. See Plan
VT	<i>Viburnum tinatum</i> 'Alfredia'	Alfredia Viburnum	24" Ht.	COIT.	9	1/2" O.C. See Plan
GROUNDCOVERS AND PERENNIALS						
AF	<i>Asplenium platyneuron</i>	Rocky Mountain Fern	#1	COIT.	18	1/2" O.C.
CA	<i>Calluna vulgaris</i> 'White Flower'	Calluna	#1	COIT.	48	1/2" O.C.
CV	<i>Conoclinium coelestinum</i> 'Golden Shower'	Golden Shower Coneflower	#1	COIT.	11	1/2" O.C.
DM	<i>Dryopteris marginalis</i>	Ladyfern	#1	COIT.	24	1/2" O.C.
HR	<i>Hieracium</i>	Yellow Flowered Plantain	#1	COIT.	108	1/2" O.C.
HS	<i>Hemerocallis</i>	Day Lily	#1	COIT.	27	1/2" O.C.
HP	<i>Hemerocallis</i>	Day Lily	#1	COIT.	36	1/2" O.C.
HR	<i>Hieracium</i>	Yellow Flowered Plantain	#1	COIT.	25	1/2" O.C.
HS	<i>Hemerocallis</i>	Day Lily	#1	COIT.	13	1/2" O.C.
LM	<i>Lamium maculatum</i> 'Citrifolium'	Spotted Dead Nettle	#1	COIT.	172	1/2" O.C.
LH	<i>Liatris scariosa</i> 'Cathartes'	Gaylussacia	#1	COIT.	20	See Plan
MS	<i>Miscanthus sinensis</i>	Chinese Fountain Grass	#1	COIT.	18	1/2" O.C.
MP	<i>Miscanthus sinensis</i> 'Purpureocaulis'	Purple Maiden Grass	#1	COIT.	44	1/2" O.C.
RF	<i>Rudbeckia hirta</i>	Black-eyed Susan	#1	COIT.	50	1/2" O.C.
PT	<i>Phlox paniculata</i>	Panicle Phlox	#1	COIT.	112	1/2" O.C.
PS	<i>Parthenocissus vitacea</i>	Boston Ivy	#1	COIT.	9	See Plan
RF	<i>Rudbeckia hirta</i> 'Goldstrum'	Black-eyed Susan	#1	COIT.	108	1/2" O.C.
SA	<i>Salix caprea</i> 'Aurea-ovata'	Golden Willow	#1	COIT.	14	1/2" O.C.
SS	<i>Sedum spectabile</i>	Brickellia	#1	COIT.	12	1/2" O.C.

LEGEND
 - - - - - BID 1 LIMIT OF WORK
 - - - - - BID 2 LIMIT OF WORK
 - - - - - BID 3 LIMIT OF WORK

- NOTES:**
- ALL CITY STREET TERRACES DISTURBED BY SITE WORK AND CONSTRUCTION SHALL RECEIVE MIN. 3" TOP SOIL AND BE SEEDED WITH GRASS. SEED TO MATCH CITY OF MADISON STANDARD MIX.
 - ALL AREAS DISTURBED ON SITE NOT OTHERWISE DESIGNATED AS PLANTING BEDS SHALL RECEIVE MIN. 3" TOP SOIL, MULCH, AND TURF GRASS SEED.
 - ALL PLANTING BEDS SHALL RECEIVE 3" OF SHREDDED HARDWOOD BARK MULCH.
 - SEE SHEET 705 FOR PLANTING DETAILS.
 - APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.

FILE: P:\24589\000\CAD\sheet\51-PLANT.dwg USER: rnovak DATE: Jul, 11, 2006 TIME: 12:06 pm

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
planning
urban design
civil engineering
environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
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ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
SOIL DD REVIEW & ESTIMATE SET		01/04/2006
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100% CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. COV/SIP SUBMITTAL		06/14/2006
SIP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN  PROJECT NORTH

DRAWING TITLE
**SITE LANDSCAPE - Henry St
- Main St**

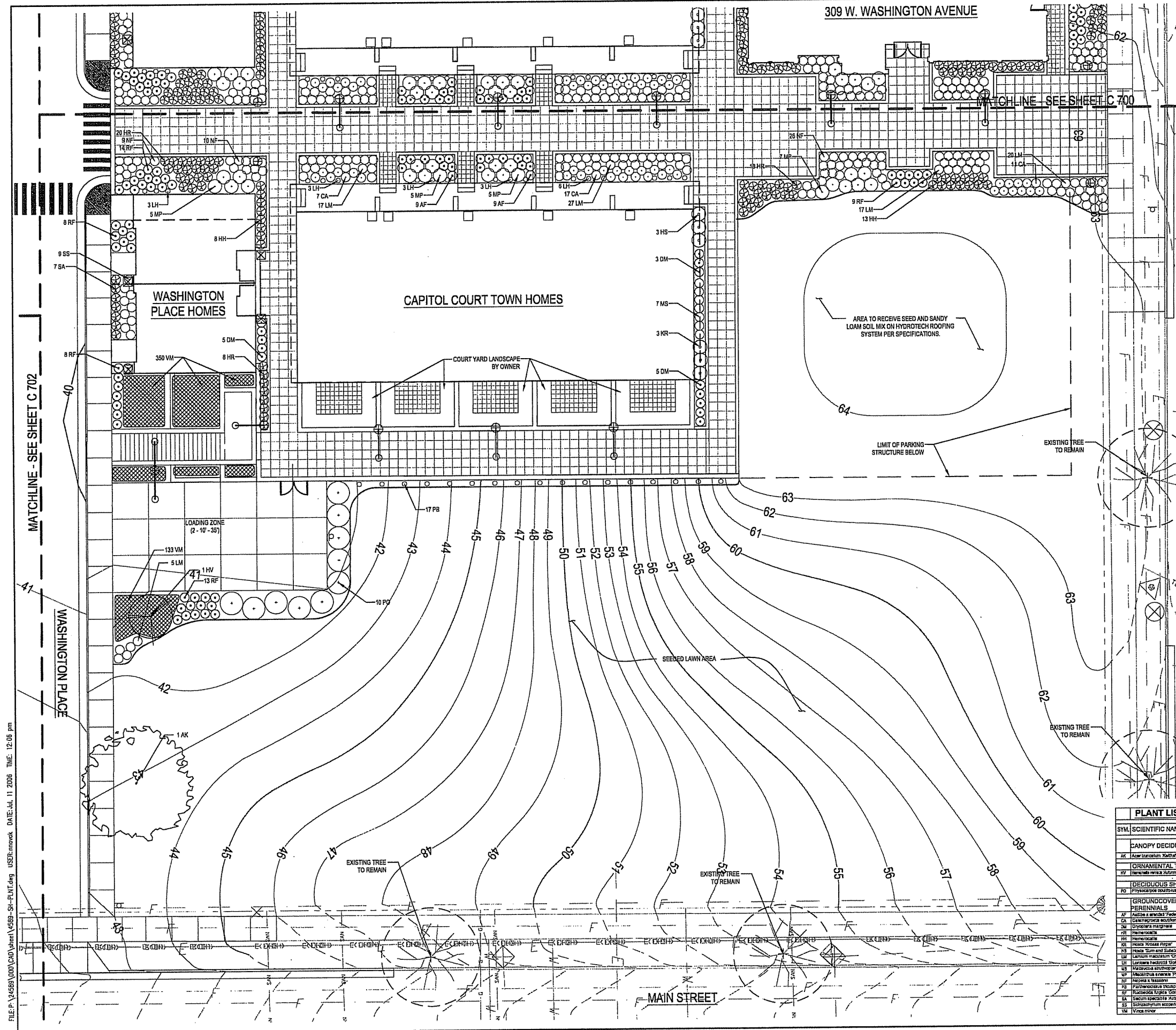
SCALE
SCALE 1" = 10'

SCALE 24589.000

PROJECT NUMBER

C 701

DRAWING NUMBER



LEGEND

- BID 1 LIMIT OF WORK
- BID 2 LIMIT OF WORK
- BID 3 LIMIT OF WORK

- NOTES:**
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 - APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	ROOT	QUANT.	COMMENTS
CANOPY DECIDUOUS TREES						
AK	<i>Acer saccharum</i> 'Nimbus'	Hopbush Green Maple	2 1/2" Cal.	BB	1	See Plan, Must be existing plant
ORNAMENTAL TREES						
HY	<i>Hamamelis virginica</i>	Witch Hazel	4" Cal.	BB	1	See Plan
DECIDUOUS SHRUBS						
PD	<i>Physocarpus opulifolius</i>	Dobson's Japanese Quince	3" Cal.	CONT.	10	See Plan
GROUNDCOVERS AND PERENNIALS						
AF	<i>Anemone pulsatilla</i>	Pulsatilla		CONT.	18	12" OC
CA	<i>Campanula medium</i>	Common Bellflower		CONT.	30	12" OC
DM	<i>Dryopteris marginalis</i>	Common Maidenhair Fern		CONT.	13	12" OC
HE	<i>Hebe</i>	Hebe		CONT.	48	12" OC
HR	<i>Hamamelis virginica</i>	Witch Hazel		CONT.	71	12" OC
HS	<i>Hosta</i>	Hosta		CONT.	3	12" OC
IS	<i>Impatiens</i>	Impatiens		CONT.	3	12" OC
LM	<i>Lamium maculatum</i>	Spotted Dead-nettle		CONT.	18	12" OC
LU	<i>Lonicera maackii</i>	Maackia		CONT.	18	12" OC
MS	<i>Muscivora</i>	Muscivora		CONT.	7	12" OC
MP	<i>Muscivora</i>	Muscivora		CONT.	22	12" OC
NP	<i>Nepeta x nivalis</i>	White Catnip		CONT.	15	12" OC
PG	<i>Phlox paniculata</i>	Phlox		CONT.	9	12" OC
RF	<i>Rudbeckia hirta</i>	Black-eyed Susan		CONT.	53	12" OC
SA	<i>Saxifraga</i>	Saxifrage		CONT.	1	12" OC
SS	<i>Saxifraga</i>	Saxifrage		CONT.	9	12" OC
VA	<i>Vincetoxicum</i>	Witch Hazel		CONT.	30	12" OC

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**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
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S&E DO REVIEW & ESTIMATE SET		01/04/2006
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100% CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. GMP/SIP SUBMITTAL		06/14/2006
SIP ALTERATION		07/12/2006

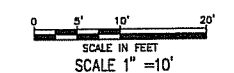
SEALS AND SIGNATURES

KEY PLAN



PROJECT NORTH

DRAWING TITLE
**SITE LANDSCAPE -
Washington Place**

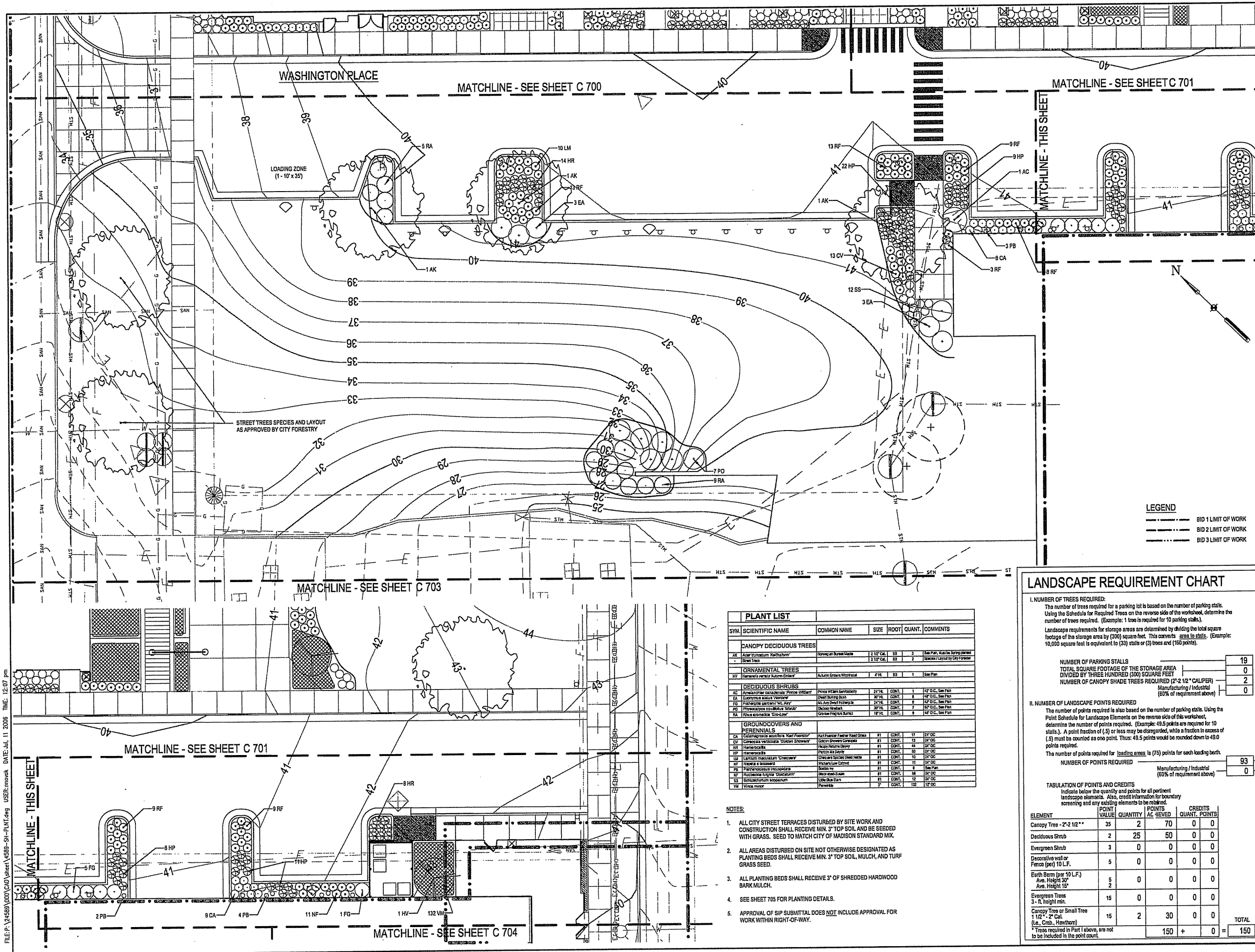


SCALE 24589.000

PROJECT NUMBER

C 702

DRAWING NUMBER



LEGEND

---	BID 1 LIMIT OF WORK
---	BID 2 LIMIT OF WORK
---	BID 3 LIMIT OF WORK

LANDSCAPE REQUIREMENT CHART

I. NUMBER OF TREES REQUIRED:
The number of trees required for a parking lot is based on the number of parking stalls. Using the Schedule for Required Trees on the reverse side of the worksheet, determine the number of trees required. (Example: 1 tree is required for 10 parking stalls.)
Landscape requirements for storage areas are determined by dividing the total square footage of the storage area by (300) square feet. This converts area to stalls. (Example: 10,000 square feet is equivalent to (33) stalls or (3) trees and (150) points.)

NUMBER OF PARKING STALLS	19
TOTAL SQUARE FOOTAGE OF THE STORAGE AREA	0
DIVIDED BY THREE HUNDRED (300) SQUARE FEET	0
NUMBER OF CANOPY SHADE TREES REQUIRED (2'-2 1/2" CALIPER)	2
Manufacturing / Industrial (50% of requirement above)	0

II. NUMBER OF LANDSCAPE POINTS REQUIRED:
The number of points required is also based on the number of parking stalls. Using the Point Schedule for Landscape Elements on the reverse side of this worksheet, determine the number of points required. (Example: 49.5 points are required for 10 stalls.). A point fraction of (.5) or less may be disregarded, while a fraction in excess of (.5) must be counted as one point. Thus: 49.5 points would be rounded down to 49.0 points required.
The number of points required for loading areas is (75) points for each loading berth.

NUMBER OF POINTS REQUIRED	93
Manufacturing / Industrial (50% of requirement above)	0

TABULATION OF POINTS AND CREDITS
Indicate below the quantity and points for all pertinent landscape elements. Also, credit information for boundary screening and any existing elements to be retained.

ELEMENT	POINT VALUE	QUANTITY	POINTS	AC-CREVED	CREDITS QUANT.	POINTS
Canopy Tree - 2'-2 1/2" **	35	2	70	0	0	0
Deciduous Shrub	2	25	50	0	0	0
Evergreen Shrub	3	0	0	0	0	0
Decorative wall or Fence (per) 10 L.F.	5	0	0	0	0	0
Earth Berm (per 10 L.F.)	5	0	0	0	0	0
Avg. Height 30"	5	0	0	0	0	0
Avg. Height 15"	2	0	0	0	0	0
Evergreen Trees 3 - ft. height min.	15	0	0	0	0	0
Canopy Tree or Small Tree 1 1/2" - 2" Cal. (i.e., Crab, Hawthorn)	15	2	30	0	0	0
TOTAL			150	+	0	150

* Trees required in Part I above, are not to be included in the point count.

PLANT LIST

SYM.	SCIENTIFIC NAME	COMMON NAME	SIZE	ROOT	QUANT.	COMMENTS
CANOPY DECIDUOUS TREES						
AK	Acer Fraxinifolium 'Red-Crown'	Red-Crown Maple	2 1/2" Cal.	SB	3	See Plan. Mulch to be supplied.
	Acer Fraxinifolium	Red-Crown Maple	2 1/2" Cal.	SB	2	Specimen / Upland by City Forestry
ORNAMENTAL TREES						
AV	Hamamelis virginica	Witch Hazel	4" H.	SB	1	See Plan
DECIDUOUS SHRUBS						
AC	Arctostaphylos uva-ursi	Wintergreen	2 1/2" H.	CONT.	1	1/2" O.C., See Plan
EA	Euonymus alatus	Winged Burning Bush	30" H.	CONT.	8	1/2" O.C., See Plan
FD	Forsythia intermedia	Yellow Flowering Forsythia	2 1/2" H.	CONT.	8	1/2" O.C., See Plan
PD	Prunella domestica	Blackberry	30" H.	CONT.	7	1/2" O.C., See Plan
RA	Ribes sibiricum	Grass-leaved Currant	1 1/2" H.	CONT.	9	1/2" O.C., See Plan
GROUNDCOVERS AND PERENNIALS						
CA	Calluna vulgaris	Heather	4" H.	CONT.	17	1 1/2" O.C.
CO	Cornus verticillata	Spice Shrub	4" H.	CONT.	13	1 1/2" O.C.
IS	Hamamelis	Witch Hazel	4" H.	CONT.	48	1 1/2" O.C.
SP	Sparganium	Sparganium	4" H.	CONT.	50	1 1/2" O.C.
US	Urtica dioica	Stinging Nettle	4" H.	CONT.	10	1 1/2" O.C.
VI	Viola sibirica	Witch Hazel	4" H.	CONT.	11	1 1/2" O.C.
VI	Viola sibirica	Witch Hazel	4" H.	CONT.	8	1 1/2" O.C.
VI	Viola sibirica	Witch Hazel	4" H.	CONT.	58	1 1/2" O.C.
SS	Schizanthus litoralis	Little Blue Sun	4" H.	CONT.	12	1 1/2" O.C.
VI	Viola minor	Pansy	4" H.	CONT.	13	1 1/2" O.C.

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PHASE 1**
BLOCK 51 - MADISON, WI

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SIP ALTERATION	07/12/2006

SEALS AND SIGNATURES

KEY PLAN  PROJECT NORTH

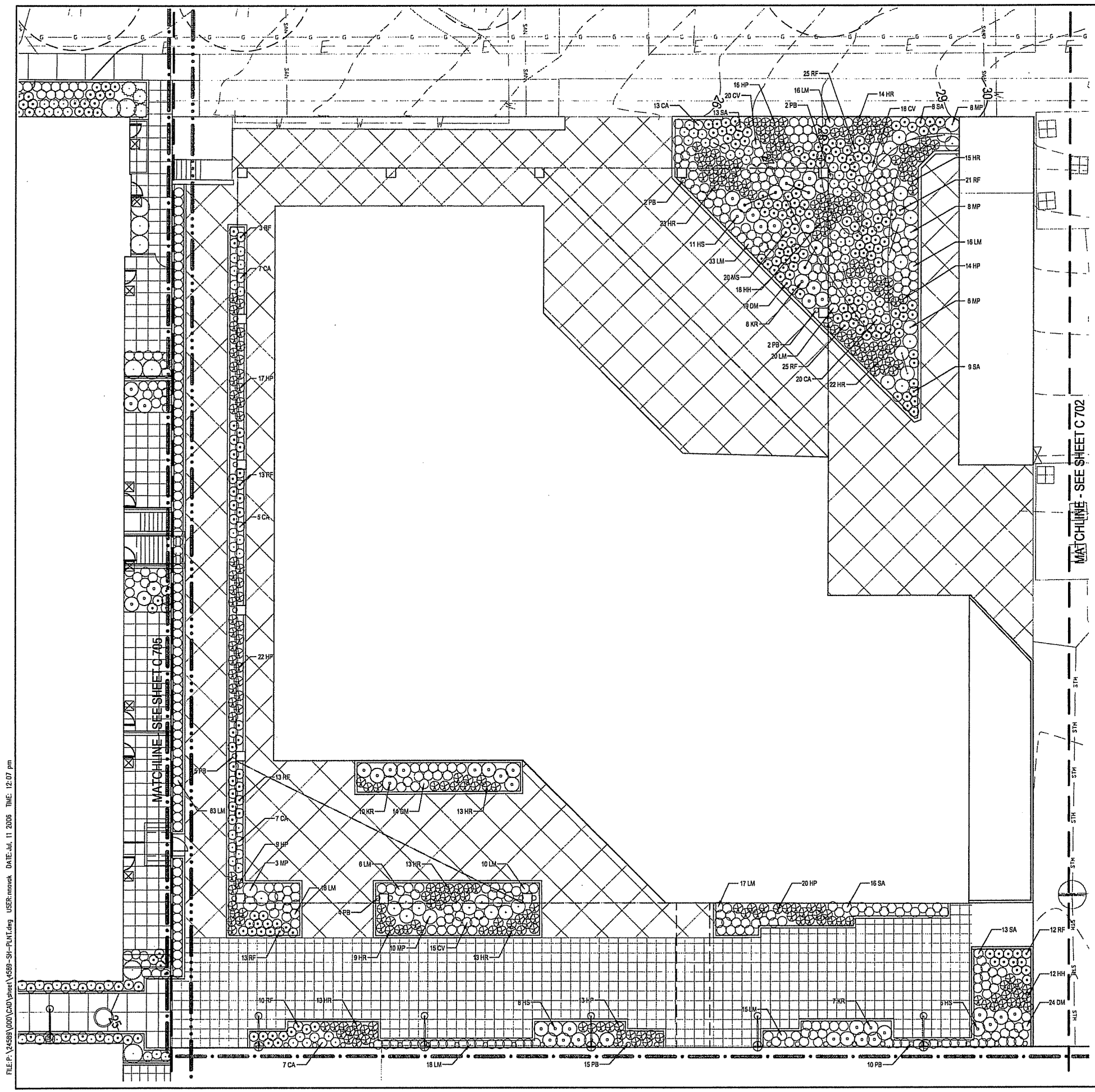
DRAWING TITLE
**SITE LANDSCAPE - 345
West Washington Avenue**

SCALE
0 5' 10' 20'
SCALE IN FEET
SCALE 1" = 10'

PROJECT NUMBER
24589.000

DRAWING NUMBER
C 703

DRAWING NUMBER



LEGEND

- BID 1 LIMIT OF WORK
- BID 2 LIMIT OF WORK
- BID 3 LIMIT OF WORK

NOTES:

1. ALL CITY STREET TERRACES DISTURBED BY SITE WORK AND CONSTRUCTION SHALL RECEIVE MIN. 3" TOP SOIL AND BE SEEDED WITH GRASS. SEED TO MATCH CITY OF MADISON STANDARD MIX.
2. ALL AREAS DISTURBED ON SITE NOT OTHERWISE DESIGNATED AS PLANTING BEDS SHALL RECEIVE MIN. 3" TOP SOIL, MULCH, AND TURF GRASS SEED.
3. ALL PLANTING BEDS SHALL RECEIVE 3" OF SHREDDED HARDWOOD BARK MULCH.
4. SEE SHEET 705 FOR PLANTING DETAILS.
5. APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.

PLANT LIST						
SYM.	SCIENTIFIC NAME	COMMON NAME	SIZE	ROOT	QUANT.	COMMENTS
GROUNDCOVERS AND PERENNIALS						
CA	<i>Chamaecrista nuttalliana</i> 'Red Fireweed'	Red Fireweed	18"	CONT.	15	18" OC
CV	<i>Cornifolium verticillatum</i> 'Golden Glow'	Golden Glow	18"	CONT.	15	18" OC
EM	<i>Diervilla lonicera</i>	Loquat	18"	CONT.	15	18" OC
HR	<i>Hemerocallis</i>	Daylily	18"	CONT.	15	18" OC
IP	<i>Hemerocallis</i>	Daylily	18"	CONT.	15	18" OC
IS	<i>Helleborus</i>	Winter Hellebore	18"	CONT.	15	18" OC
LM	<i>Lamium maculatum</i> 'Crispa'	Spotted Dead Nettle	18"	CONT.	15	18" OC
MS	<i>Marrubium vulgare</i>	Doctors Balm	18"	CONT.	15	18" OC
MP	<i>Malva sylvestris</i> 'Purpurea'	Purple Mallow	18"	CONT.	15	18" OC
PH	<i>Phlox paniculata</i>	Phlox	18"	CONT.	15	18" OC
RF	<i>Rudbeckia hirta</i> 'Goldsturm'	Black-eyed Susan	18"	CONT.	15	18" OC
SA	<i>Saxifraga oppositifolia</i>	Rock Saxifrage	18"	CONT.	15	18" OC

FILE: P:\24589\000\CAD\Sheet\4589-SIP-PLANT.dwg USER: mmonk DATE: Jul 11 2006 TIME: 12:07 pm

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR
landscape architecture
planning
urban design
civil engineering
environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

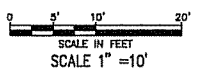
ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
SOX DD REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
TRK CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. GUP/SP SUBMITTAL		06/14/2006
SP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN



DRAWING TITLE
SITE LANDSCAPE - Main St

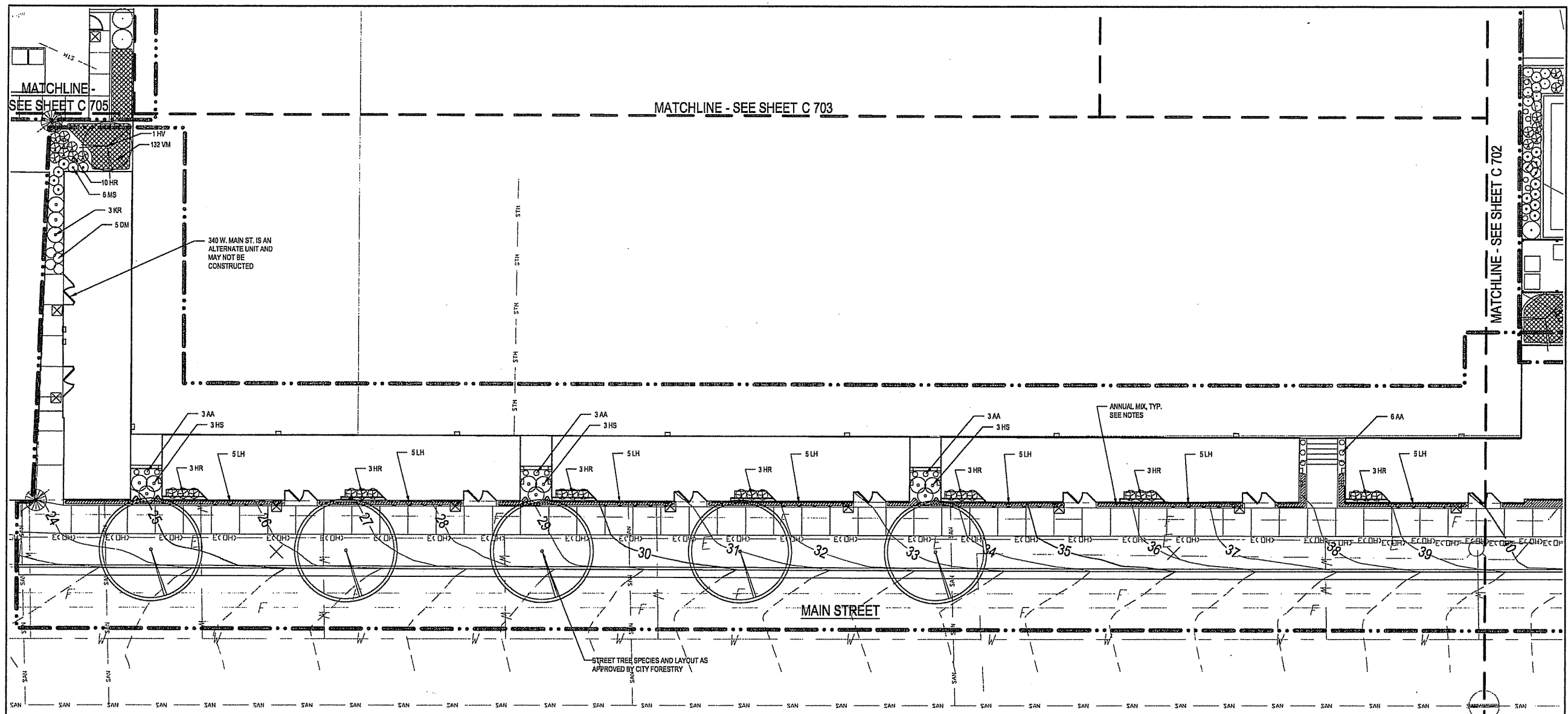


SCALE
24589.000

PROJECT NUMBER

C 704

DRAWING NUMBER



PLANT LIST						
SYM.	SCIENTIFIC NAME	COMMON NAME	SIZE	ROOT	QUANT.	COMMENTS
CANOPY DECIDUOUS TREES						
-	Street Trees		2 1/2" Cal.	BB	5	Species / Layout by City Forester
ORNAMENTAL TREES						
HV	<i>Hamamelis vernalis</i> 'Autumn Embers'	Autumn Embers Witchhazel	4' HL	BB	1	See Plan
GROUNDCOVERS AND PERENNIALS						
AA	<i>Achillea millefolium</i>	Hardy Kalm Vine	#1	CONT.	15	See Plan
DM	<i>Dryopteris marginalis</i>	Leatherwood Fern	#1	CONT.	5	24" OC
HR	<i>Hemerocallis</i>	Happy Returns Daylily	#1	CONT.	31	24" OC
KR	<i>Hosta 'Krossa Regal'</i>	Krossa Regal Hosta	#1	CONT.	3	36" OC
HS	<i>Hosta 'Sum and Substance'</i>	Sum and Substance Hosta	#1	CONT.	9	36" OC
LH	<i>Lonicera heckrottii</i> 'Goldflame'	Goldflame Trumpet Honey Suckle	#1	CONT.	25	See Plan
MS	<i>Mertensia sibirica</i>	Ostrich Fern	#1	CONT.	6	24" OC
VM	<i>Vinca minor</i>	Periwinkle	3"	CONT.	132	12" OC

NOTES:

- ANNUAL MIX TO BE PLANTED AT 12" O.C. SPACING:
Begonia x semperflorens-cultorum (Begonia), flower colors = white and pink
Salvia splendens (Salvia / Scarlet Sage), flower color = scarlet, plant in back of bed
Senecio cineraria (Dusty Miller)
- ALL CITY STREET TERRACES DISTURBED BY SITE WORK AND CONSTRUCTION SHALL RECEIVE MIN. 3" TOP SOIL AND BE SEEDED WITH GRASS. SEED TO MATCH CITY OF MADISON STANDARD MIX.
- ALL AREAS DISTURBED ON SITE NOT OTHERWISE DESIGNATED AS PLANTING BEDS SHALL RECEIVE MIN. 3" TOP SOIL, MULCH, AND TURF GRASS SEED.
- ALL PLANTING BEDS SHALL RECEIVE 3" OF SHREDDED HARDWOOD BARK MULCH.
- SEE SHEET 705 FOR PLANTING DETAILS.
- APPROVAL OF SIP SUBMITTAL DOES NOT INCLUDE APPROVAL FOR WORK WITHIN RIGHT-OF-WAY.

LEGEND

- BID 1 LIMIT OF WORK
- BID 2 LIMIT OF WORK
- BID 3 LIMIT OF WORK

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**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
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JJR, LLC
825 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
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ISSUED FOR	REV DATE
FOOTING & FOUNDATION SUBMITTAL	12/01/2005
SDX DD REVIEW & ESTIMATE SET	01/04/2006
MAIN ST. UTIL. TO CITY	02/07/2006
CITY REVIEW SET	02/22/2006
TOOK CLIENT/CONT. REVIEW SET	03/22/2006
FINAL DOCS. GIP/SIP SUBMITTAL	06/14/2006
SIP ALTERATION	07/12/2006

SEALS AND SIGNATURES

KEY PLAN
PROJECT NORTH

DRAWING TITLE
SITE LANDSCAPE - Broom St

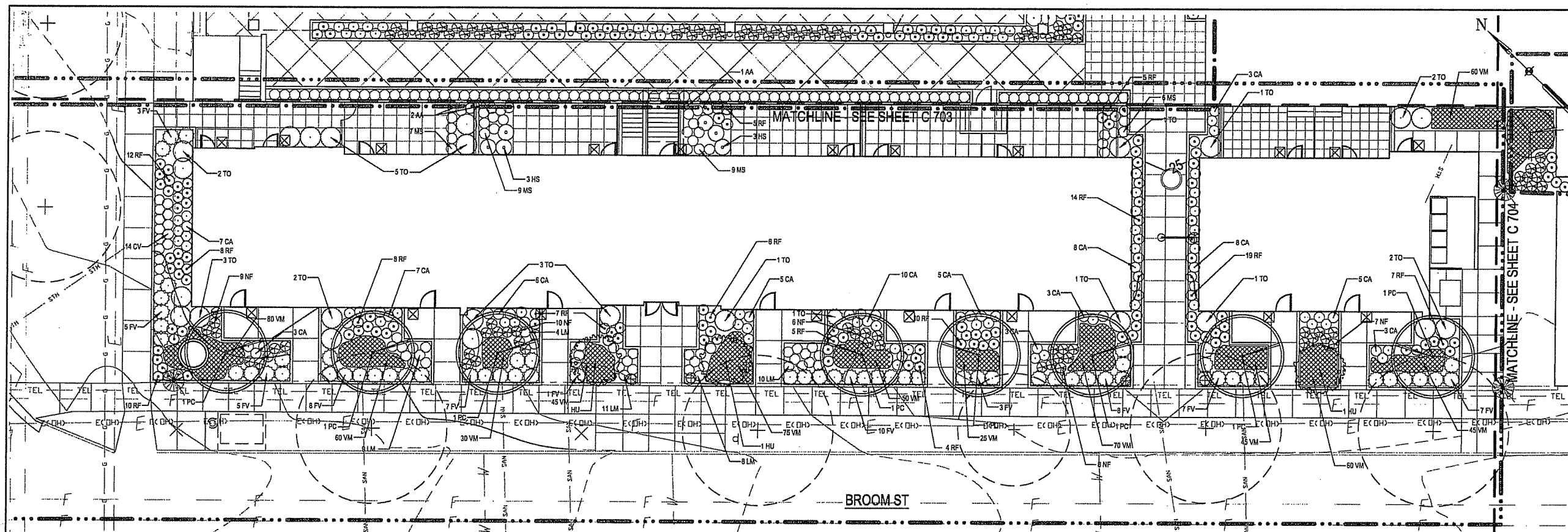
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SCALE 1" = 10'

SCALE 24589.000

PROJECT NUMBER

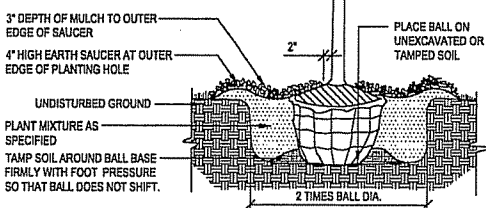
C 705

DRAWING NUMBER

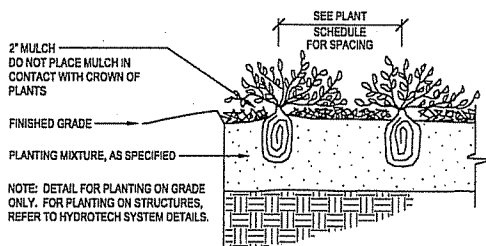


NOTES:

1. PLANT EACH TREE SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
2. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN INTO PLANTING HOLE EXPOSING TOP HALF OF BALL. REMOVE TWINE, ROPE, AND BURLAP FROM TOP HALF OF BALL.
3. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.



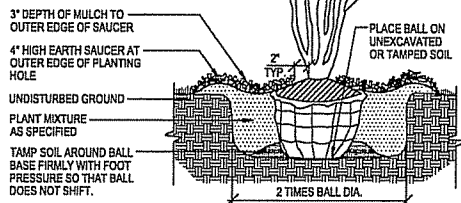
1 DECIDUOUS TREE PLANTING
NOT TO SCALE



4 PERENNIAL / GROUNDCOVER PLANTING, ON GRADE
NOT TO SCALE

NOTES:

1. PLANT EACH TREE SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
2. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN INTO PLANTING HOLE EXPOSING TOP HALF OF BALL. REMOVE TWINE, ROPE, AND BURLAP FROM TOP HALF OF BALL.
3. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.
4. PRUNE PER DETAIL THIS SHEET



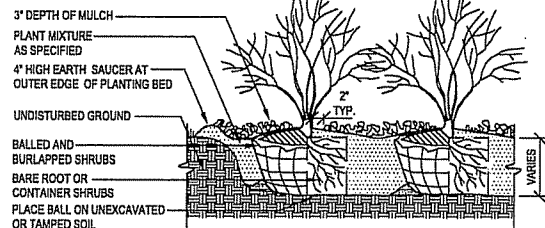
2 MULTI-STEM TREE PLANTING
NOT TO SCALE

- 1 REMOVE SUCKER SHOOTS AT BASE OF TREE.
- 2 MAKE CLEAN CUTS CLOSE TO TRUNK ON OLD STUBS, IF PRESENT.
- 3 REMOVE SUCKER SHOOTS ALONG TRUNK
- 4 REMOVE LOWER BRANCH WHERE AN OVERLYING BRANCH OCCUPIES ABOUT THE SAME AREA.
- 5 REMOVE INJURED AND MISHAPEN BRANCHES.
- 6 REMOVE CROSS BRANCHES AND THOSE DEVELOPING INTO SECONDARY LEADERS.

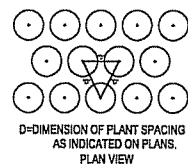
5 PRUNING DETAIL
NOT TO SCALE

NOTES:

1. PLANT EACH SHRUB SUCH THAT THE STEM FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
2. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN INTO PLANTING HOLE EXPOSING TOP HALF OF BALL. REMOVE TWINE, ROPE, AND BURLAP FROM TOP HALF OF BALL.
3. DO NOT PLACE MULCH IN CONTACT WITH STEMS.



3 SHRUB PLANTING
NOT TO SCALE



D-DIMENSION OF PLANT SPACING AS INDICATED ON PLANS. PLAN VIEW

LEGEND

- BID 1 LIMIT OF WORK
- BID 2 LIMIT OF WORK
- BID 3 LIMIT OF WORK

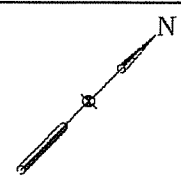
NOTES:

1. ALL CITY STREET TERRACES DISTURBED BY SITE WORK AND CONSTRUCTION SHALL RECEIVE MIN. 3\"/>

PLANT LIST

SYM.	SCIENTIFIC NAME	COMMON NAME	SIZE	ROOT	QUANT.	COMMENTS
ORNAMENTAL TREES						
HU	<i>Hydrangea paniculata</i> 'Unique'	Unique Hydrangea on Standard	1'	BB	3	See Plan
PC	<i>Pyrus calleryana</i> 'Aristocrat'	Aristocrat Pear	1 1/2'	BB	8	See Plan
DECIDUOUS SHRUBS						
FV	<i>Forsythia viridissima</i> 'Bronxensis'	Dwarf Forsythia	24\"/>			
EVERGREEN SHRUBS						
TO	<i>Thuja occidentalis</i> 'Smaragd'	Smaragd Emerald Arborvitae	5\"/>			
GROUNDCOVERS AND PERENNIALS						
AA	<i>Actinidia arguta</i>	Hardy Kiwifruit	#1	CONT.	3	See Plan
CA	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1	CONT.	76	24\"/>
CV	<i>Careopsis verticillata</i> 'Golden Showers'	Golden Showers Compsps	#1	CONT.	14	24\"/>
HS	<i>Hosta</i> 'Sum and Substance'	Sum and Substance Hosta	#1	CONT.	6	36\"/>
LM	<i>Lamium maculatum</i> 'Chequers'	Chequers Spotted Dead Nettle	#1	CONT.	42	24\"/>
MS	<i>Matteuccia struthiopteris</i>	Ostrich Fern	#1	CONT.	31	24\"/>
NF	<i>Nepeta x faassenii</i>	Walker's Low Catmint	#1	CONT.	40	24\"/>
RF	<i>Rudbeckia fulgida</i> 'Goldsturm'	Black-eyed-Susan	#1	CONT.	120	24\"/>
VM	<i>Vinca minor</i>	Periwinkle	3\"/>			

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**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

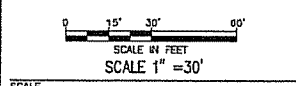
JJR Landscape Architecture
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ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL	12/01/2005	
50% DD REVIEW & ESTIMATE SET	01/04/2006	
MAIN ST. UTIL. TO CITY	02/07/2006	
CITY REVIEW SET	02/23/2006	
100% CLIENT/COUNTY REVIEW SET	03/23/2006	
FINAL DOCS. GDP/SP SUBMITTAL	05/14/2006	
SP ALTERATION	07/12/2006	

SEALS AND SIGNATURES

KEY PLAN

DRAWING TITLE
SITE IRRIGATION

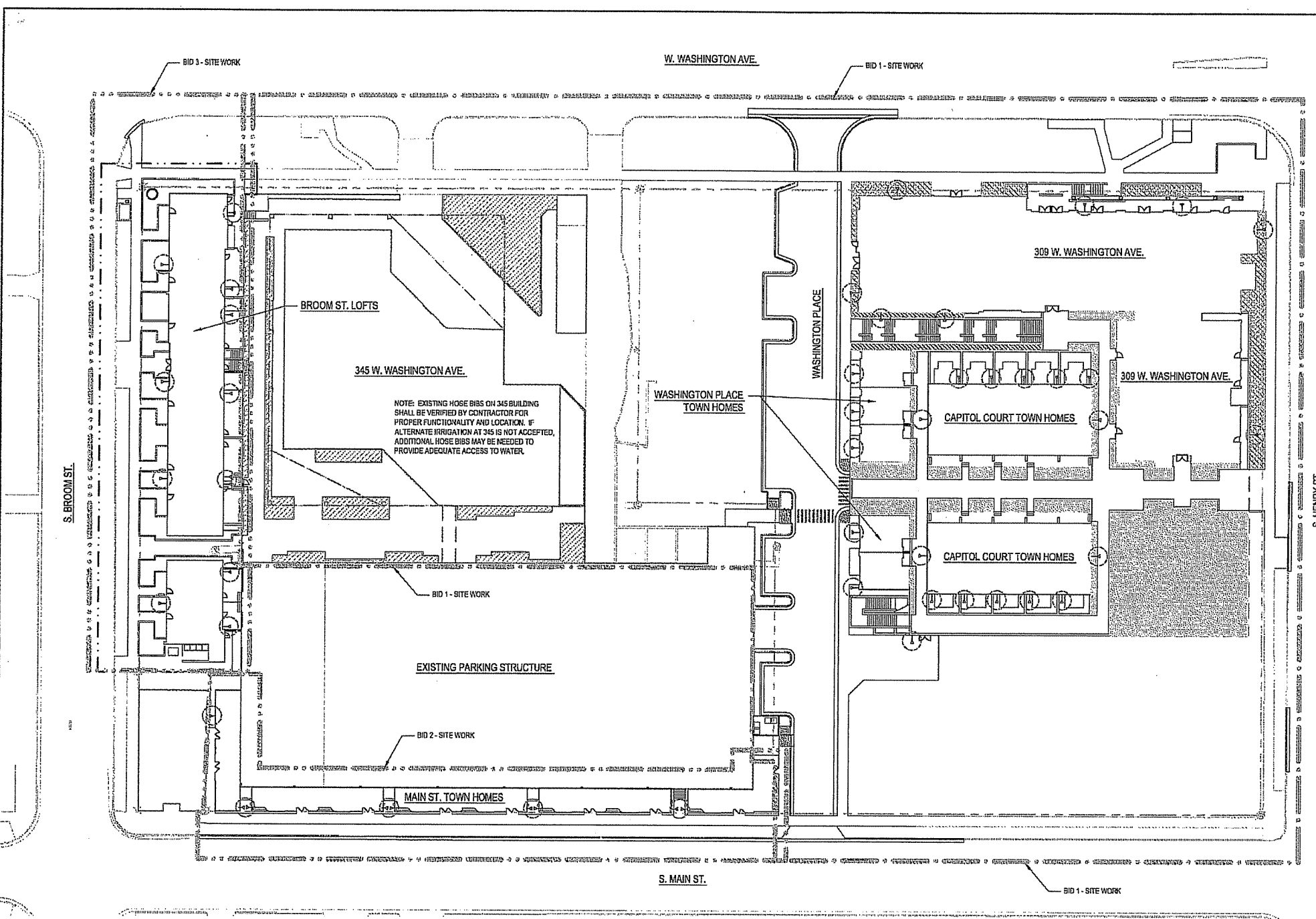


SCALE 24589.000

PROJECT NUMBER

C 800

DRAWING NUMBER



LEGEND

- BID 1 - LIMIT OF WORK
- BID 2 - LIMIT OF WORK
- BID 3 - LIMIT OF WORK
- IRRIGATION ON STRUCTURE
- IRRIGATION ON STRUCTURE - ALT BID
- IRRIGATION ON GRADE
- IRRIGATION ON GRADE - ALT BID
- HOSE BIB
- CURB AND GUTTER
- GUARDRAIL OR HANDRAIL
- STAIRS
- PROPOSED STORM INLET/ MANHOLE
- PROPOSED CURB INLET
- SLOT DRAIN
- PLANTER CURB OR WALL

NOTES

1. SEE SPECIFICATIONS FOR IRRIGATION REQUIREMENTS.
2. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL IRRIGATION DESIGNS
3. IRRIGATION DESIGN SHALL COORDINATE WITH STRUCTURAL PLANS AND M.E.P. PENETRATIONS THROUGH ALL BUILDING WALLS AND ROOF SLABS FOR ALL IRRIGATION AND HOSE BIBS.

1 IRRIGATION PLAN
SCALE 1" = 30'

FILE: P:\Vadway\2006\Cad\Sheet\Nypag - CR - IRR1.dwg USER: nwach DATE: Jul 11 2006 TIME: 12:07 pm

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architects
planning
design
civil engineering
environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
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ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL	12/01/2005	
50% CD REVIEW & ESTIMATE SET	01/04/2006	
MAIN ST. UTIL. TO CITY	02/07/2006	
CITY REVIEW SET	02/22/2006	
100% CLIENT/CONT. REVIEW SET	03/22/2006	
FINAL DOCS. GDP/SIP SUBMITTAL	06/14/2006	
SIP ALTERATION	07/12/2006	

SEALS AND SIGNATURES

KEY PLAN

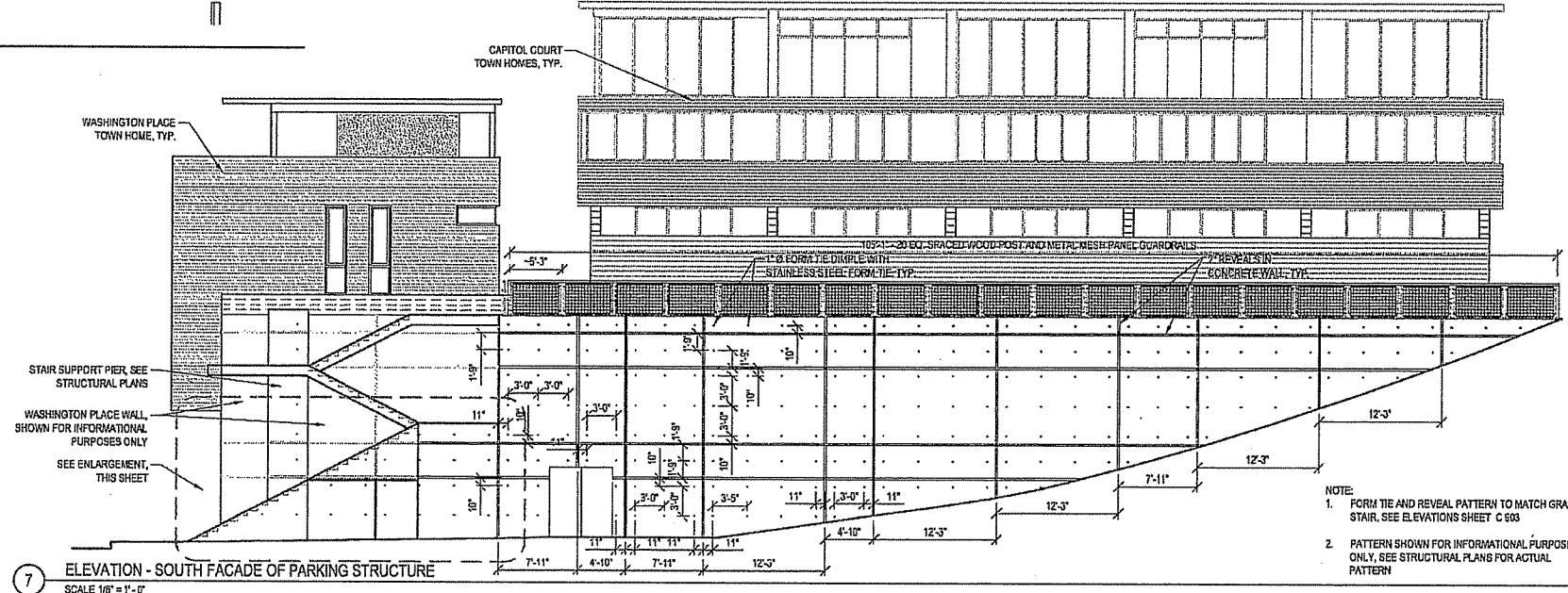
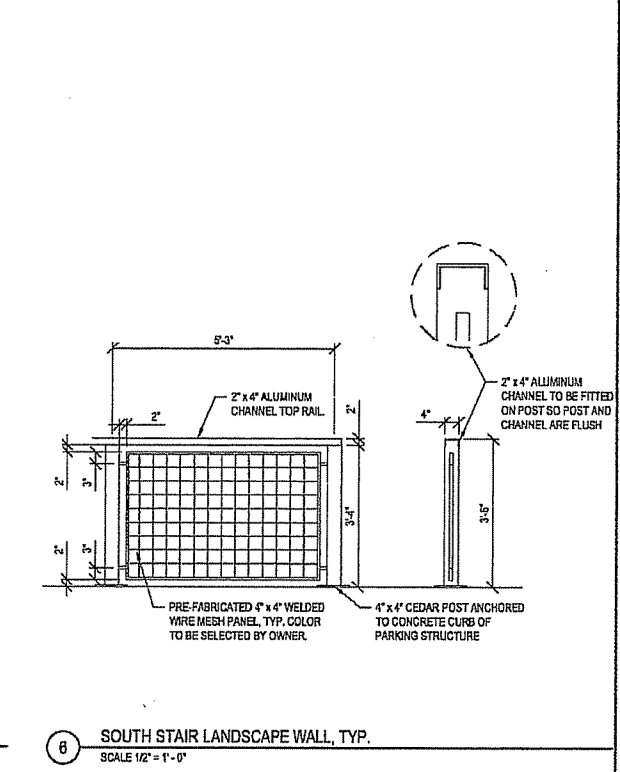
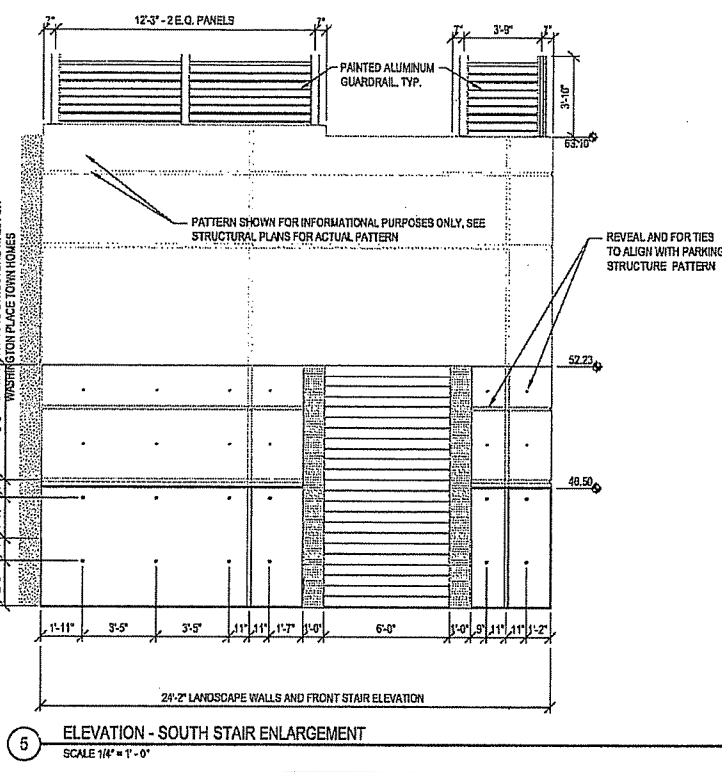
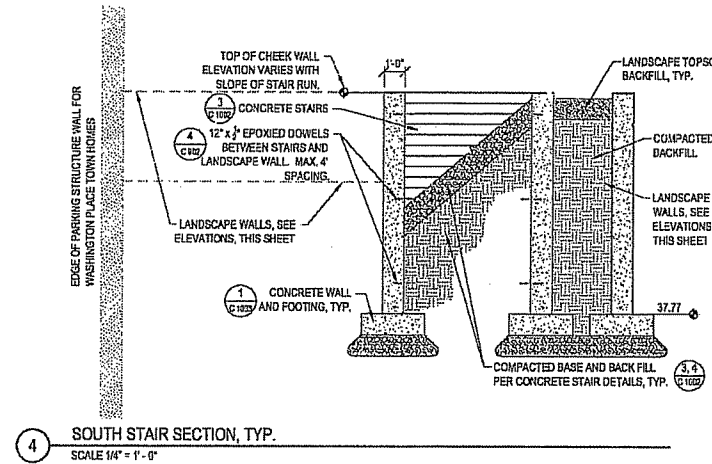
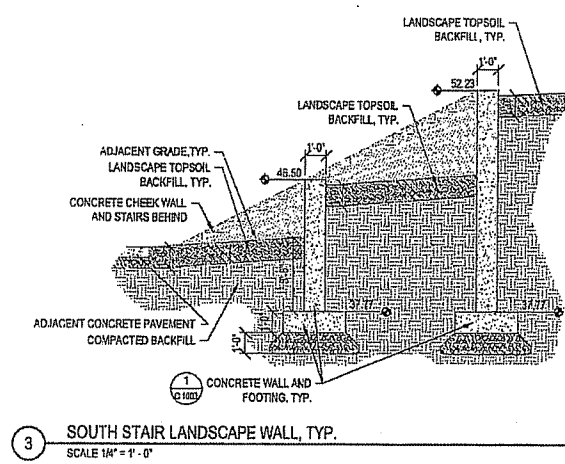
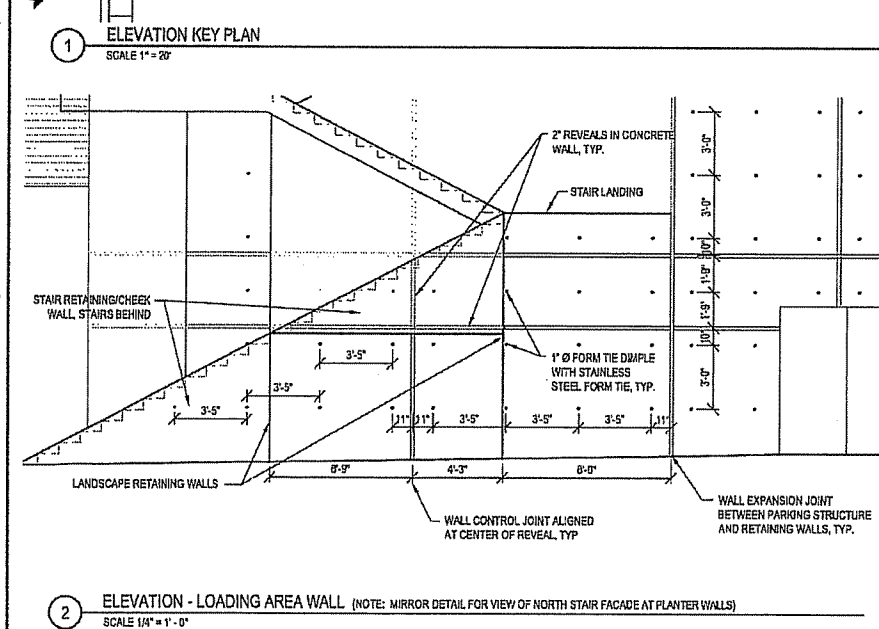
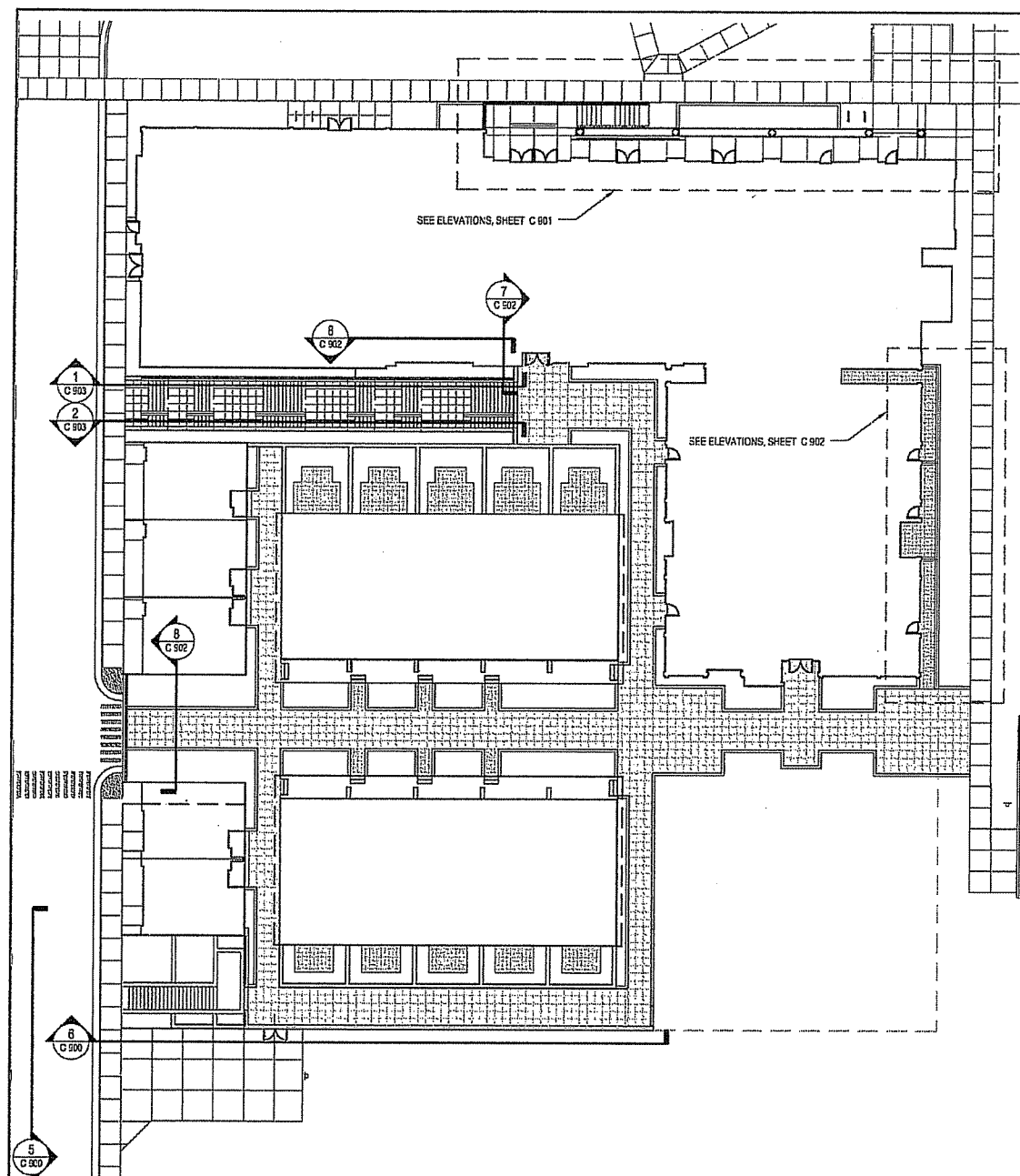
DRAWING TITLE
**ELEVATIONS - Key Plan &
South Parking Structure
Facade**

SCALE AS INDICATED
24589.000

PROJECT NUMBER

C 900

DRAWING NUMBER



NOTE:
1. FORM TIE AND REVEAL PATTERN TO MATCH GRAND STAIR, SEE ELEVATIONS SHEET C 903
2. PATTERN SHOWN FOR INFORMATIONAL PURPOSES ONLY, SEE STRUCTURAL PLANS FOR ACTUAL PATTERN

FILE P:\74589\3001\CAD\sheet\4589-51-Section-303.dwg USER:mweh DATE: Jul 11 2006 TIME: 03:27 PM

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
planning urban design
civil engineering
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JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
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www.jjr-us.com

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
50% DD REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
100% CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. GOP/SP SUBMITTAL		06/14/2006
SP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN

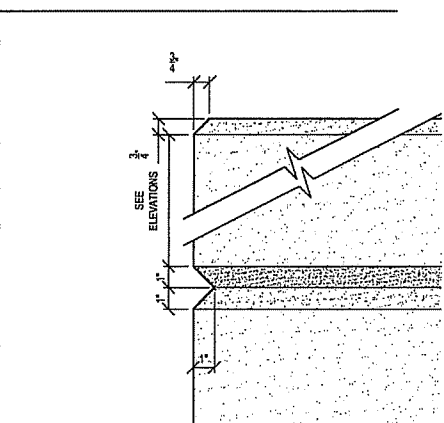
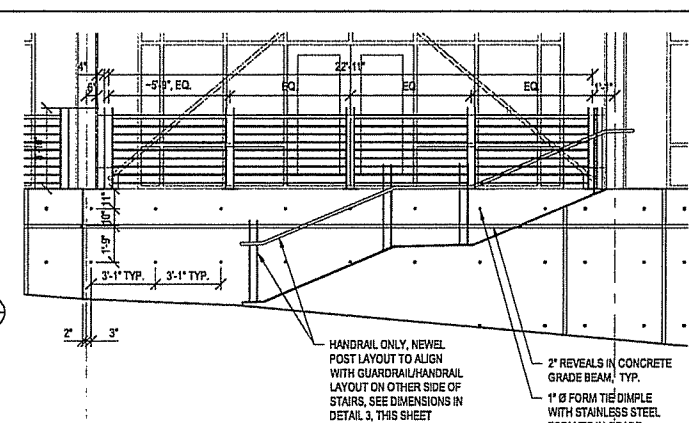
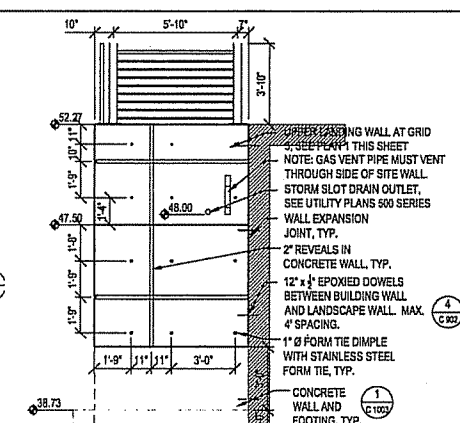
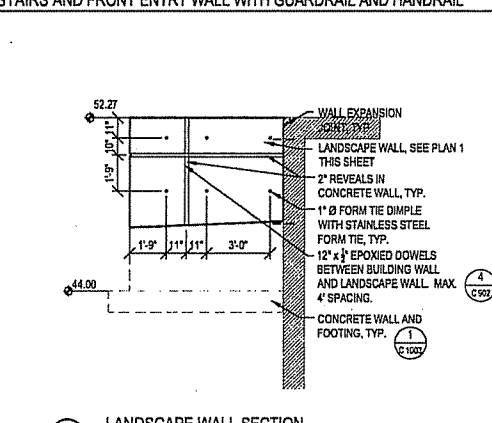
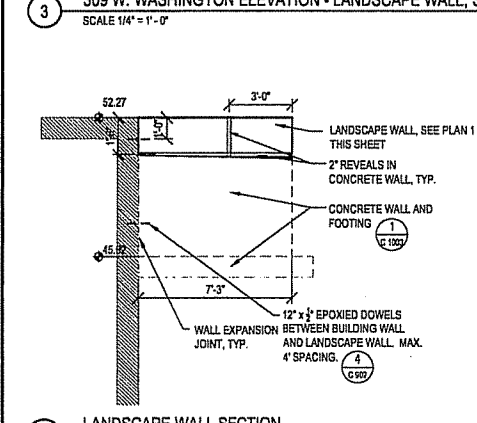
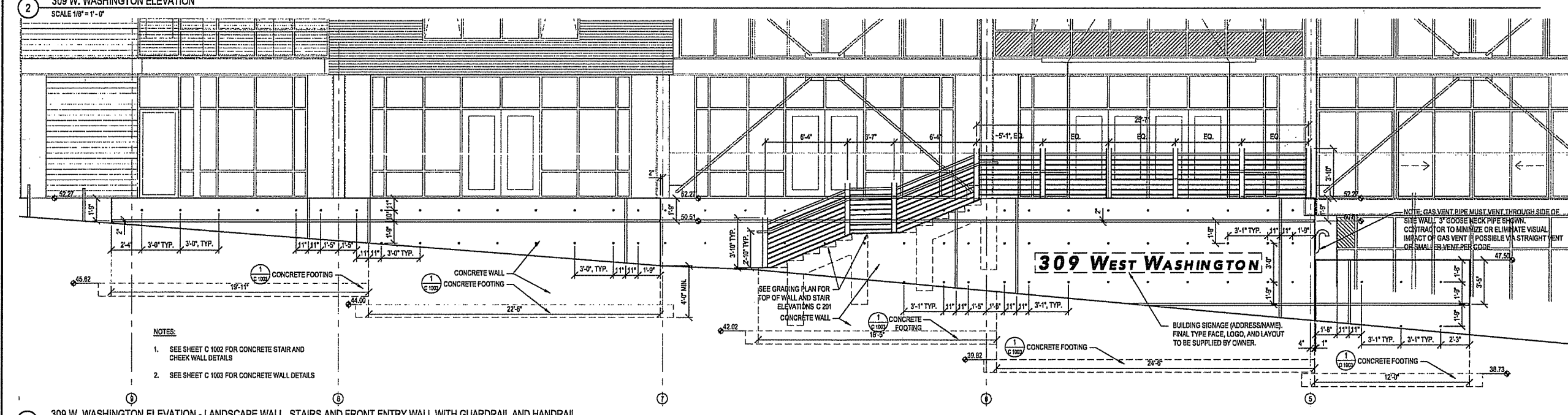
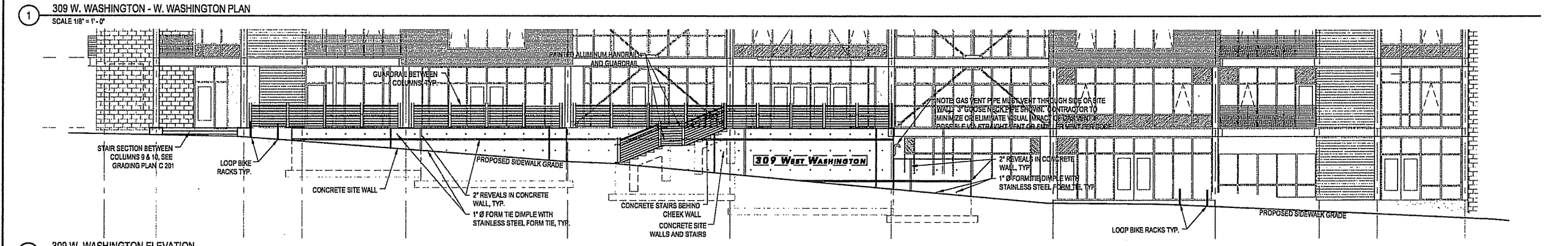
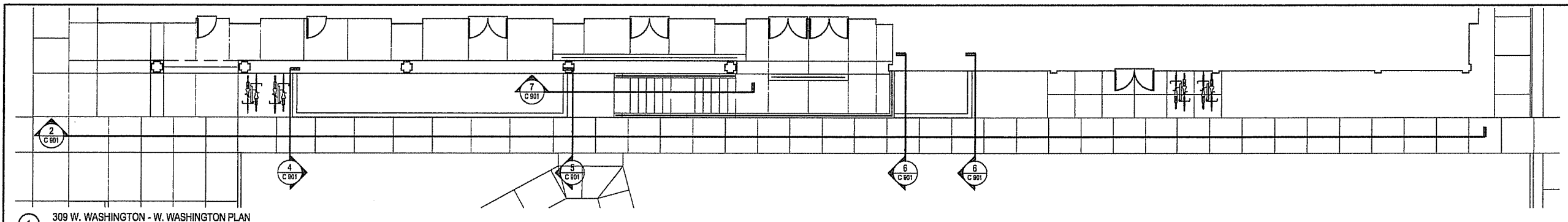
DRAWING TITLE
**ELEVATIONS - 309 W
Washington Ave**

SCALE AS INDICATED
SCALE 24589.000

PROJECT NUMBER

C 901

DRAWING NUMBER



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**CAPITOL WEST
PHASE 1
BLOCK 51 - MADISON, WI**

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
planning urban design civil engineering environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 F
608.251.6147 F
www.jjr-us.com

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL	12	01/2005
50% DD REVIEW & ESTIMATE SET	01	04/2006
MAIN ST. UTIL. TO CITY	02	07/2006
CITY REVIEW SET	02	22/2006
100% CLIENT/CONT. REVIEW SET	03	22/2006
FINAL DOCS. 60P/SIP SUBMITTAL	06	14/2006
SIP ALTERATION	07	12/2006

SEALS AND SIGNATURES

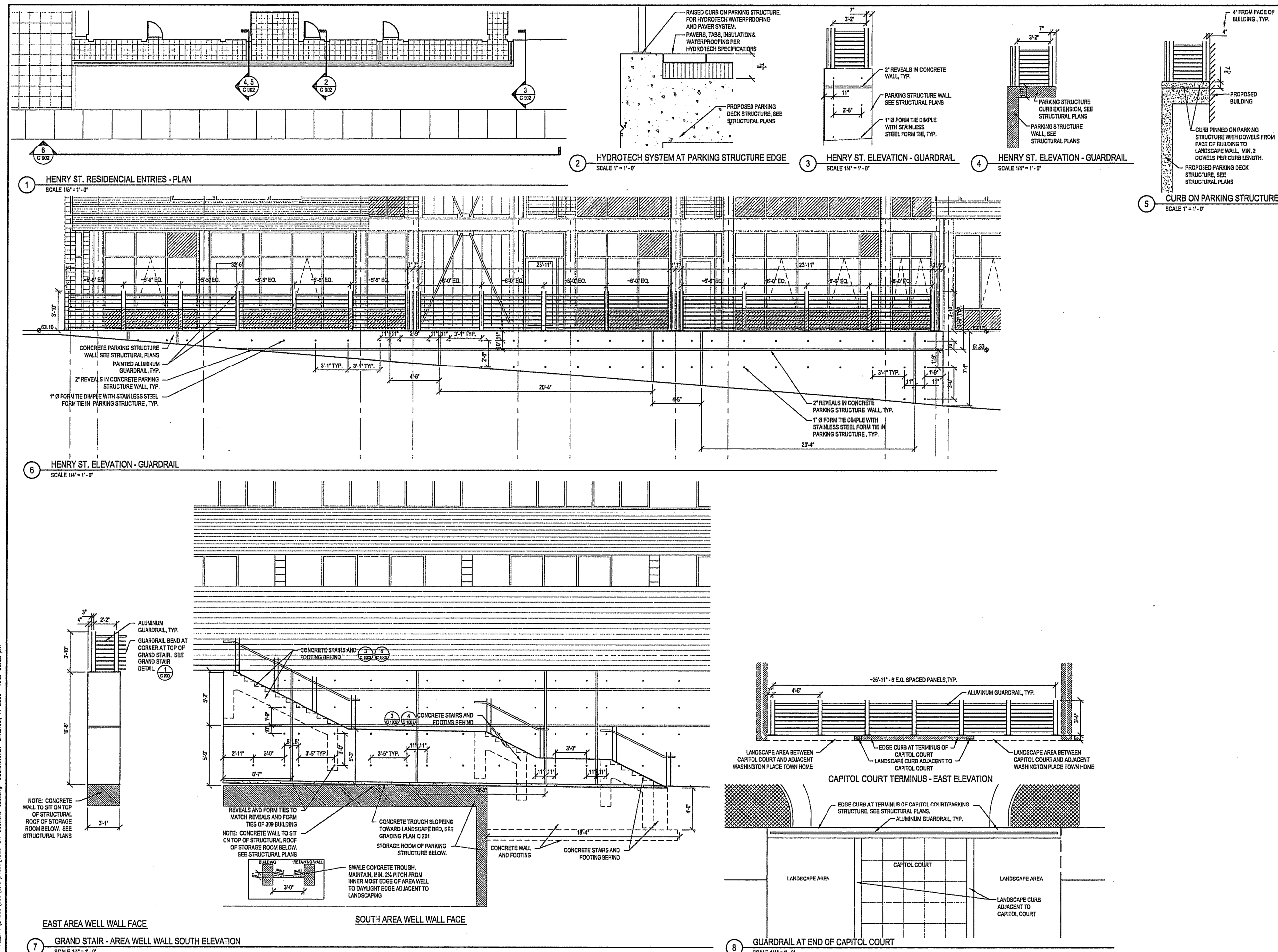
KEY PLAN

DRAWING TITLE
**ELEVATIONS - Henry St - 309
Grand Stair - Mews Terminus**

SCALE AS INDICATED
SCALE 24589.000

PROJECT NUMBER
C 902

DRAWING NUMBER



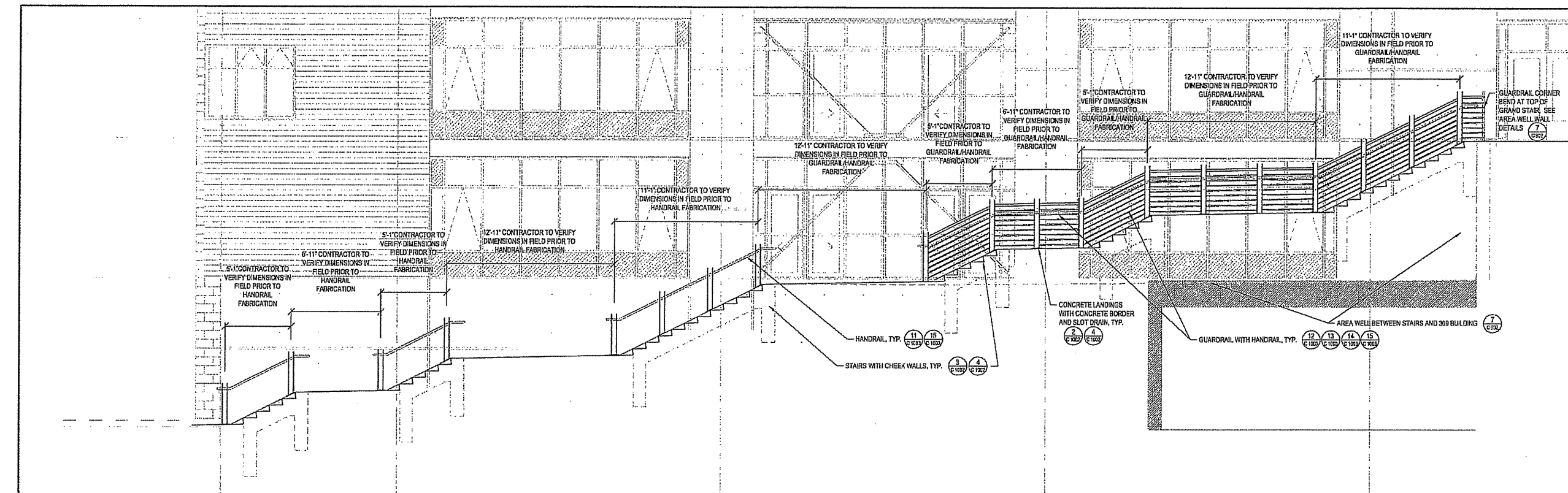
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**CAPITOL WEST
PHASE 1
BLOCK 51 - MADISON, WI**

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR Landscape architecture
architect
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interior design

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625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
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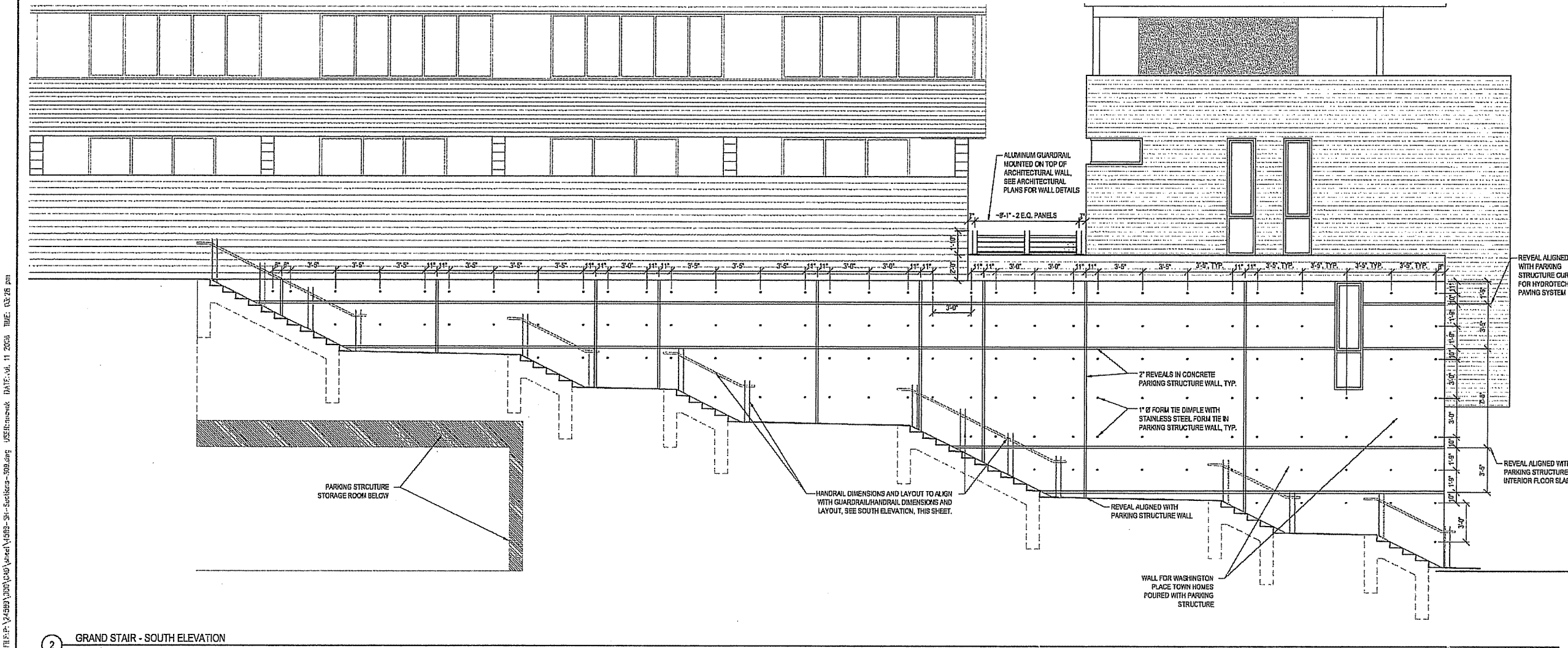


1 GRAND STAIR - NORTH ELEVATION
SCALE 1/4" = 1'-0"

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
50% DD REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
100% CLIENT/CONTR. REVIEW SET		03/22/2006
FINAL DOCS. GDP/SP SUBMITTAL		06/14/2006
SP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN



2 GRAND STAIR - SOUTH ELEVATION
SCALE 1/4" = 1'-0"

DRAWING TITLE
ELEVATIONS - 309 Grand Stair

SCALE AS INDICATED
24589.000

PROJECT NUMBER
C 903

DRAWING NUMBER

FILE: P:\1474593\010\010\1474593-SP-309-Stair-Elevations.dwg DATE: 06/11/2006 TIME: 10:27:06 pm
 USER: jlr USE: plot

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
planning urban design
civil engineering environmental science
JJR, LLC
625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
608.251.1177 T
608.251.6147 F
www.jjr-us.com

ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
50% DD REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
100% CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. GRP/SP SUBMITTAL		05/14/2006
SP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN

DRAWING TITLE
**ELEVATIONS - Main St Town
Home Area Well Screens
(Alternate Bid)**

SCALE AS INDICATED
SCALE 24589.000

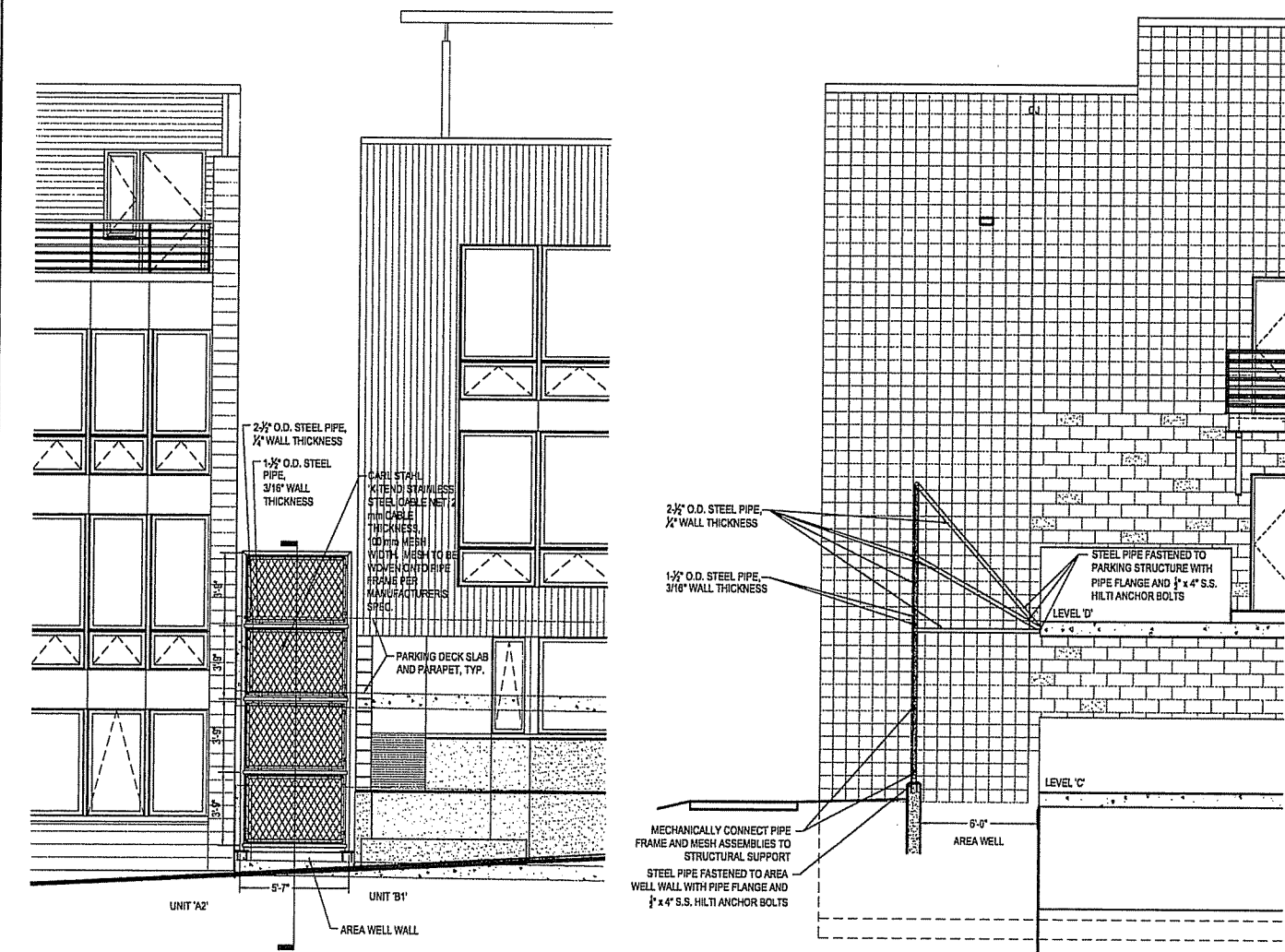
PROJECT NUMBER

C 904

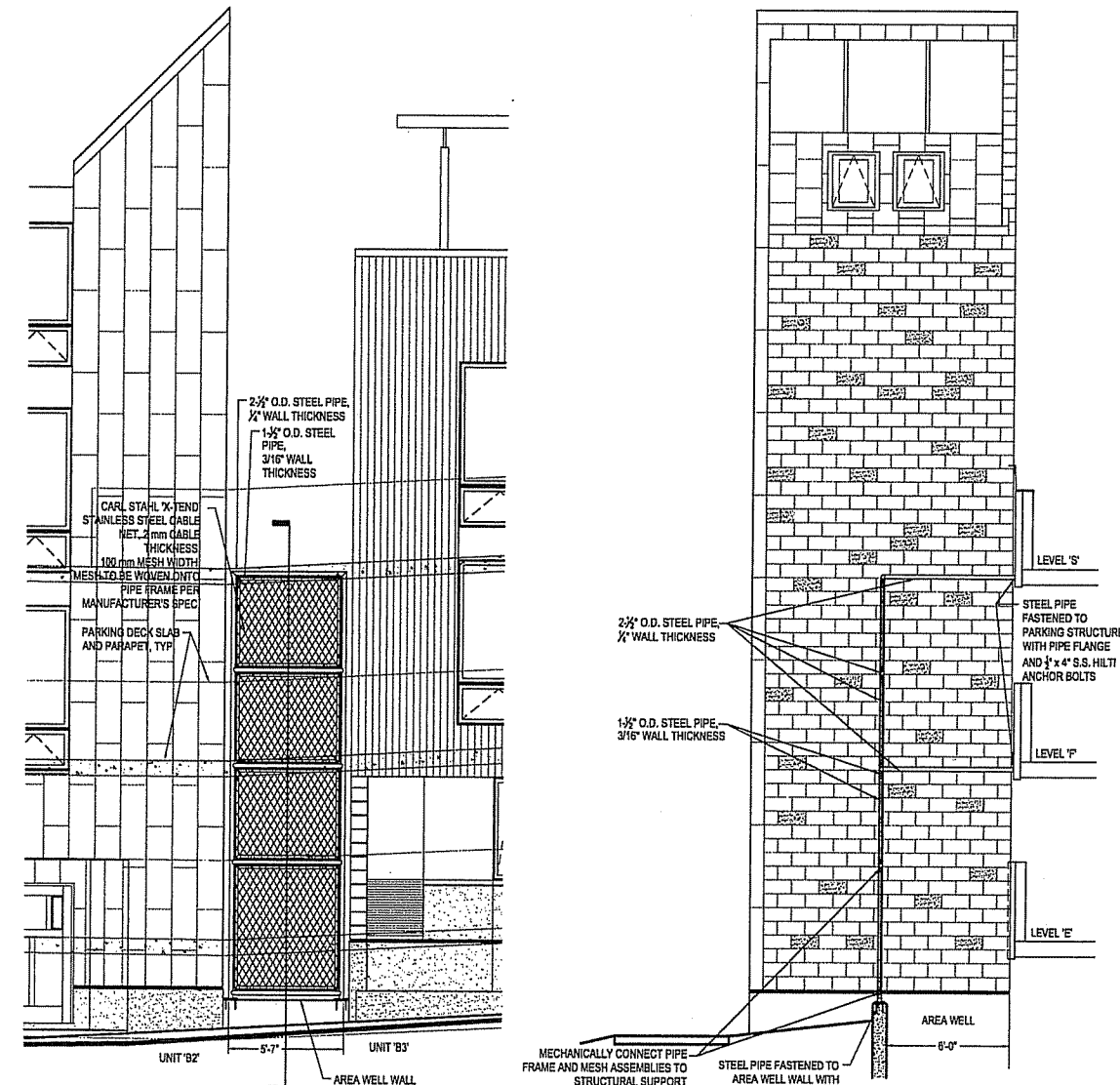
DRAWING NUMBER



1 MAIN ST TOWN HOME GREEN SCREEN ELEVATION (ALTERNATE BID)
SCALE 1" = 10'-0"



2 GREEN SCREEN ELEVATION AND SECTION, UNITS 'A2' & 'B1' (ALTERNATE BID)
SCALE 1/4" = 1'-0"



3 GREEN SCREEN ELEVATION AND SECTION, UNITS 'B2' & 'B3' (ALTERNATE BID)
SCALE 1/4" = 1'-0"

FILE: P:\24589\000\CAD\mod\14589-A-MainStScreen.dwg USER: mmeda DATE: Jul 11 2006 TIME: 03:28 pm

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR
landscape architecture
planning
urban design
civil engineering
environmental science
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MADISON, WISCONSIN 53703
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ISSUED FOR	REV	DATE
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SOX DD REVIEW & ESTIMATE SET		01/04/2006
MAIN ST. UTIL. TO CITY		02/07/2006
CITY REVIEW SET		02/22/2006
100% CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. GOP/SP SUBMITTAL		06/14/2006
SIP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN

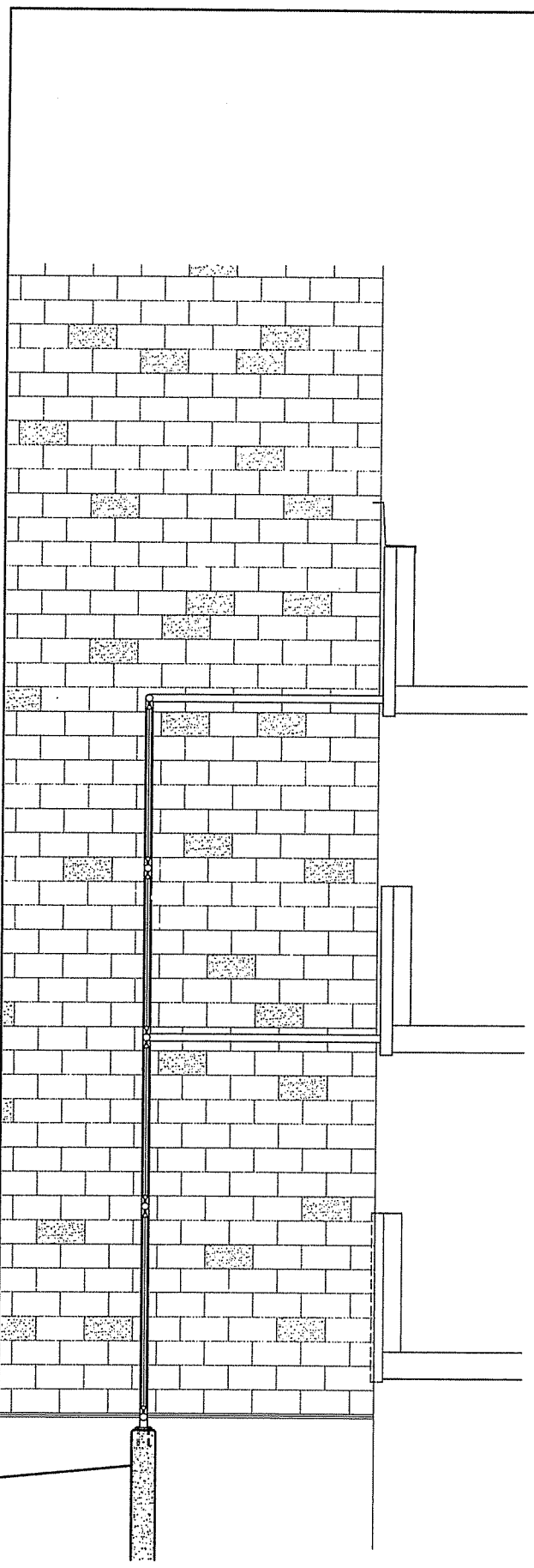
DRAWING TITLE
**ELEVATIONS - Main St Town
Home Area Well Screens
(Alternate Bid)**

SCALE AS INDICATED
SCALE 24589.000

PROJECT NUMBER

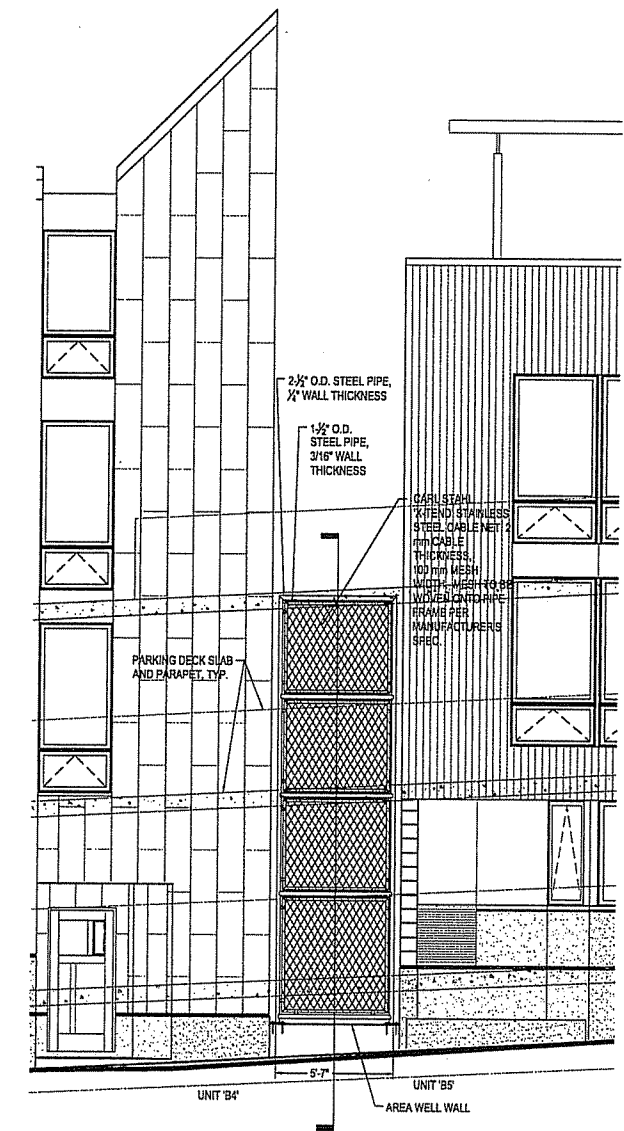
C 905

DRAWING NUMBER



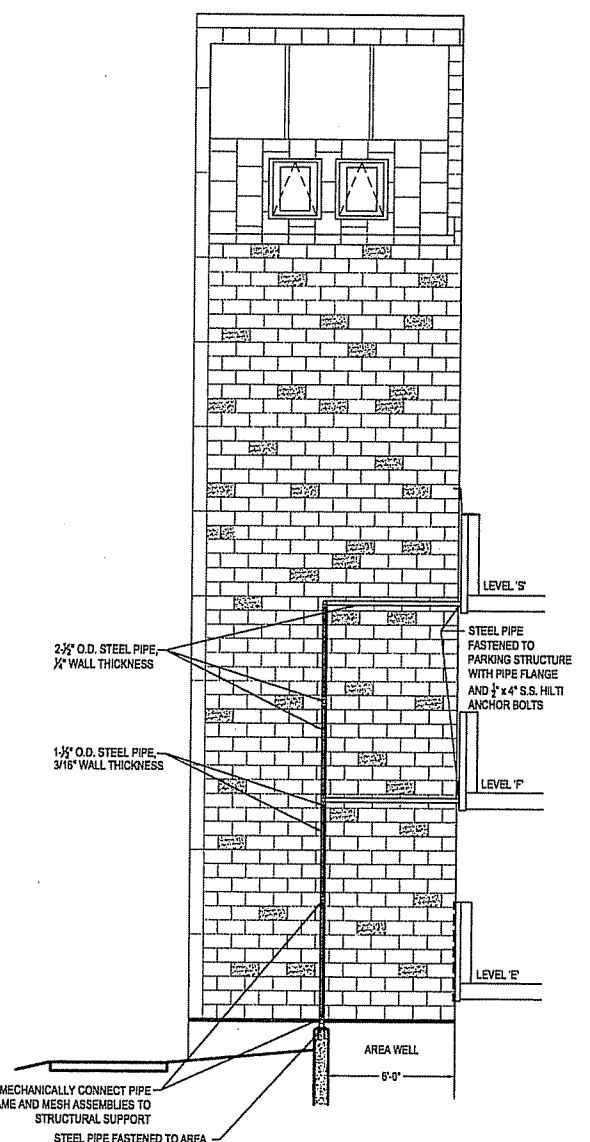
3 TYPICAL GREEN SCREEN SECTION ENLARGEMENT (ALTERNATE BID)
SCALE 1" = 2'-0"

1 INTENTIONALLY LEFT BLANK
SCALE 1/2" = 1'-0"

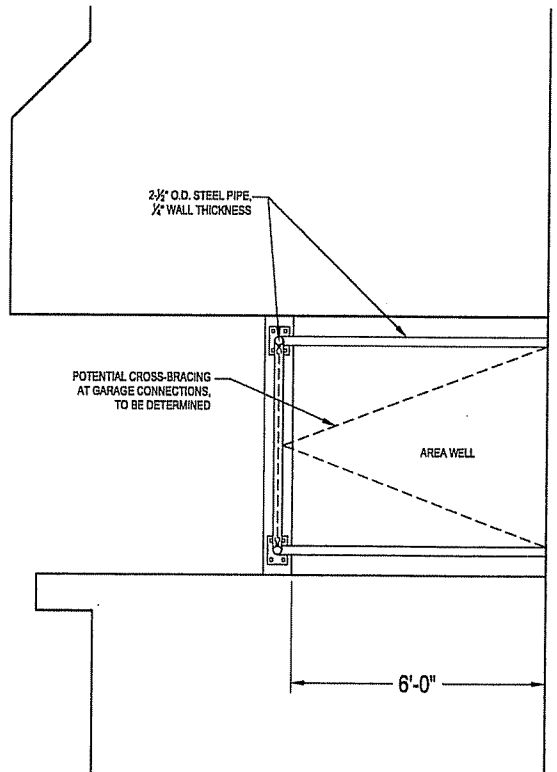


4 GREEN SCREEN ELEVATION AND SECTION, UNITS 'B4' & 'B5' (ALTERNATE BID)
SCALE 1/4" = 1'-0"

2 INTENTIONALLY LEFT BLANK
SCALE 1/2" = 1'-0"



5 TYPICAL GREEN SCREEN PLAN (ALTERNATE BID)
SCALE 1/2" = 1'-0"

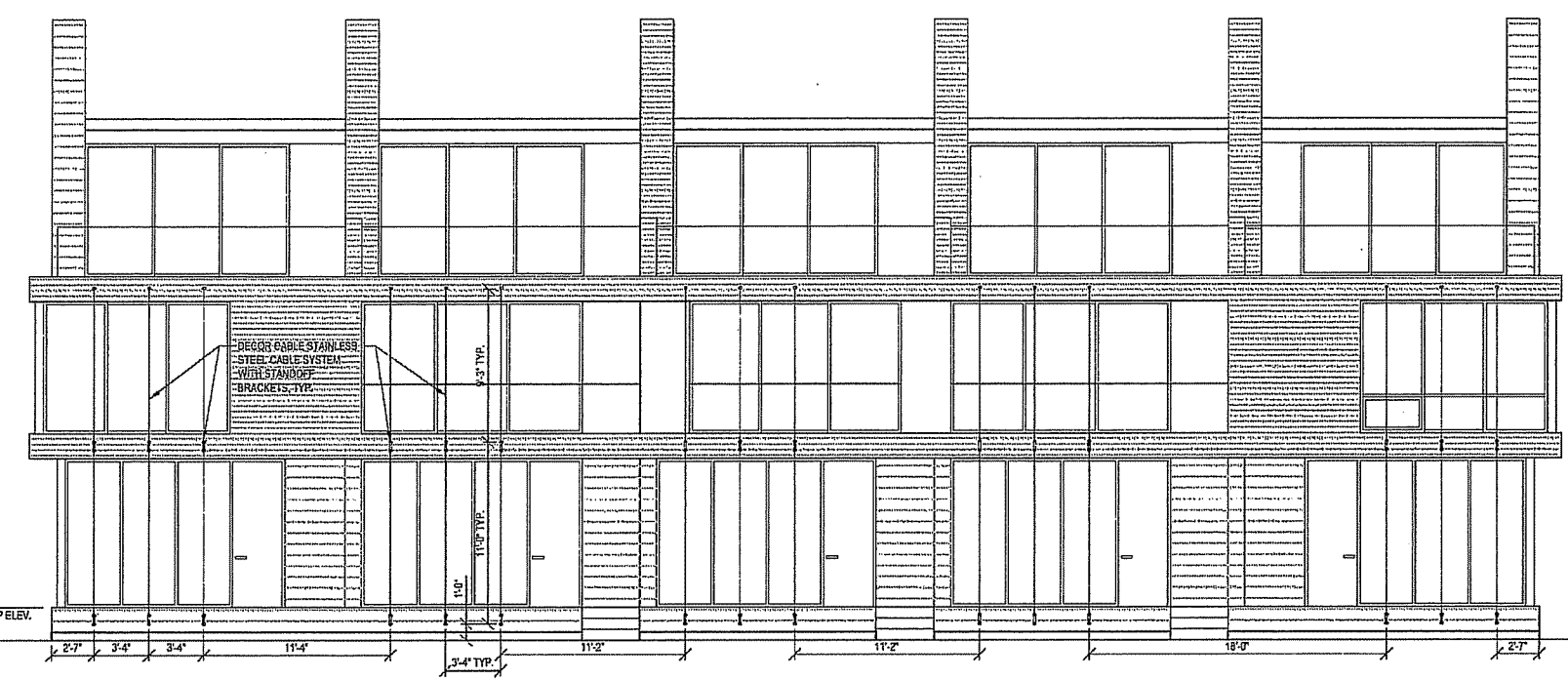


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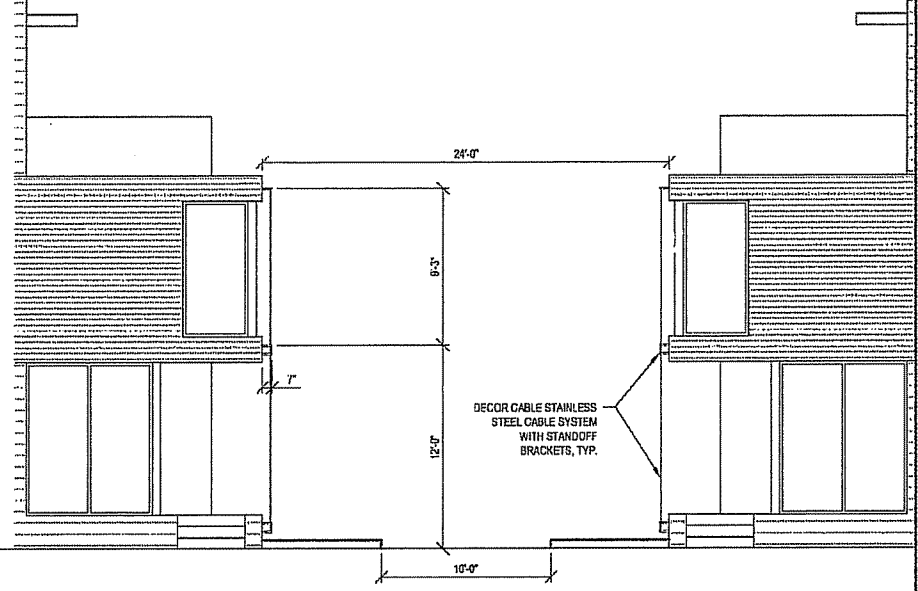
**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

Owner:
**THE ALEXANDER
COMPANY, INC.**

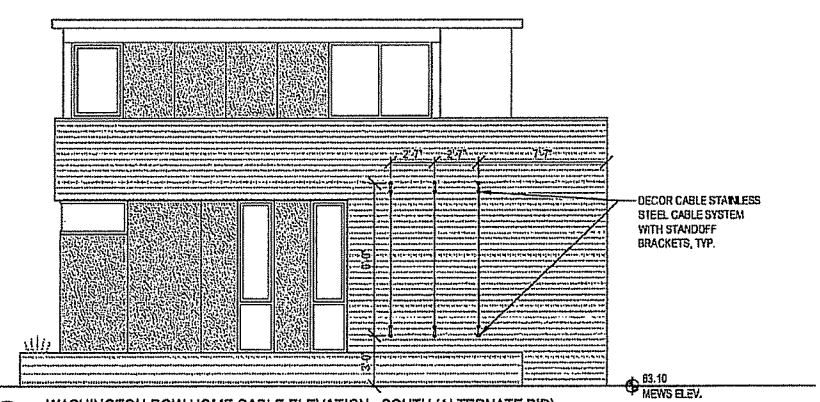
JJR landscape architecture
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and engineering
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MADISON, WISCONSIN 53703
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1 CAPITOL COURT/MEWS CABLE ELEVATION - SOUTH (ALTERNATE BID)
SCALE 1" = 5'-0"



2 CAPITOL COURT/MEWS CABLE SECTION (ALTERNATE BID)
SCALE 1" = 5'-0"



3 WASHINGTON ROW HOME CABLE ELEVATION - SOUTH (ALTERNATE BID)
SCALE 1" = 5'-0"

4 INTENTIONALLY LEFT BLANK
SCALE 1" = 5'-0"

5 INTENTIONALLY LEFT BLANK
SCALE 1" = 5'-0"

ISSUED FOR	REV	DATE
FLOODING & FOUNDATION SUBMITTAL	12/01/2005	
50% DD REVIEW & ESTIMATE SET	01/04/2006	
MAIN ST. UTIL. TO CITY	02/07/2006	
CITY REVIEW SET	02/22/2006	
100% CLIENT/CONT. REVIEW SET	03/22/2006	
FINAL DOCS. COP/SIP SUBMITTAL	06/14/2006	
SIP ALTERATION	07/12/2006	

SEALS AND SIGNATURES

KEY PLAN

DRAWING TITLE
**ELEVATIONS - Capitol Court -
Washington Place (Alternate
Bid)**

SCALE AS INDICATED
SCALE 24589.000

PROJECT NUMBER
C 906

DRAWING NUMBER

**NOTE: THIS SHEET PROVIDED
FOR INFORMATIONAL PURPOSES
ONLY. CABLE SYSTEM TO BE
DETAILED IN ARCHITECTURAL SET**

FILE P: \Y4959\WORK\ACAD\sheet\Y4959-SIP-DET_mech\usa.dwg USER: jmr DATE: Jul 11 2006 TIME: 03:29 pm

Owner:
**THE ALEXANDER
COMPANY, INC.**

JJR landscape architecture
planning
urban design
civil engineering
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625 WILLIAMSON STREET,
MADISON, WISCONSIN 53703
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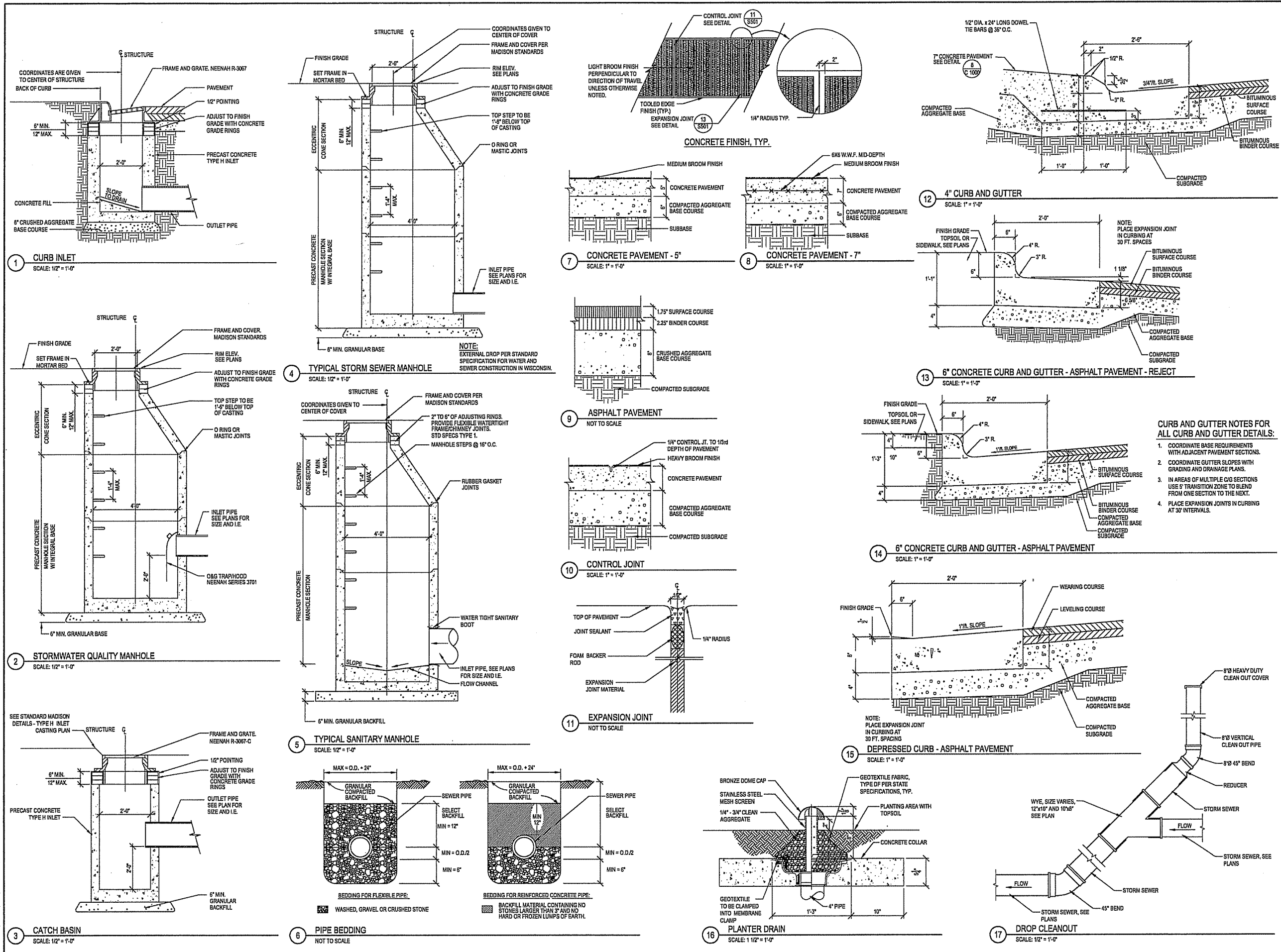
ISSUED FOR	REV DATE
FOOTING & FOUNDATION SUBMITTAL	12/01/2005
SURV. REVIEW & ESTIMATE SET	01/04/2006
MAIN ST. UTIL. TO CITY	02/07/2006
CITY REVIEW SET	03/22/2006
100% CLIENT/CONF. REVIEW SET	03/22/2006
FINAL DOCS. COP/SP SUBMITTAL	06/14/2006
SP ALTERATION	07/12/2006

SEALS AND SIGNATURES

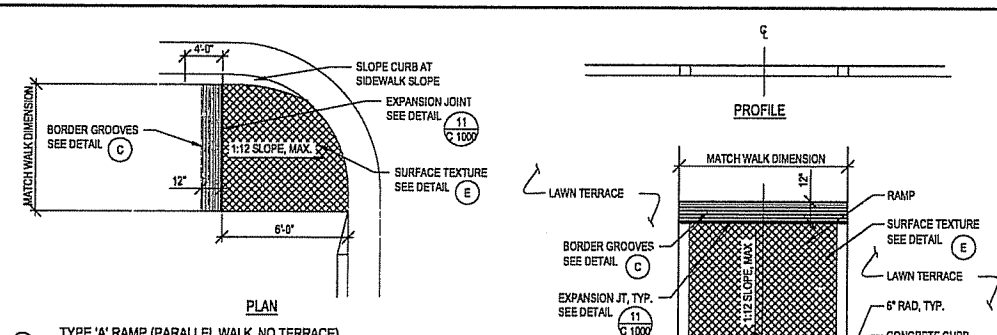
KEY PLAN

DRAWING TITLE
SITE DETAILS

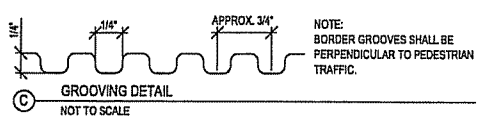
SCALE
AS SHOWN
PROJECT NUMBER
C 1000
DRAWING NUMBER



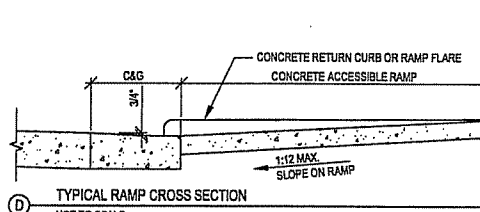
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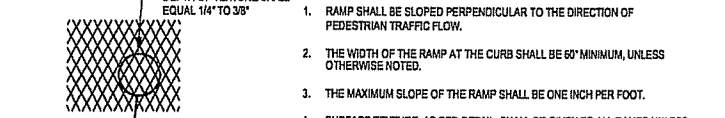
A TYPE 'A' RAMP (PARALLEL WALK, NO TERRACE)
NOT TO SCALE



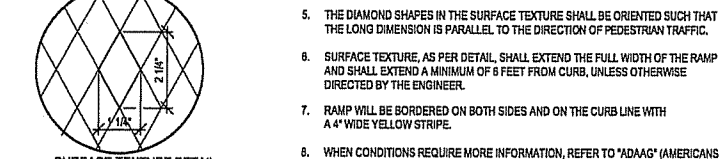
B TYPE 'B' RAMP (RETURN CURB WITH LAWN TERRACE)
SCALE: 1" = 5'



C GROOVING DETAIL
NOT TO SCALE



D TYPICAL RAMP CROSS SECTION
NOT TO SCALE



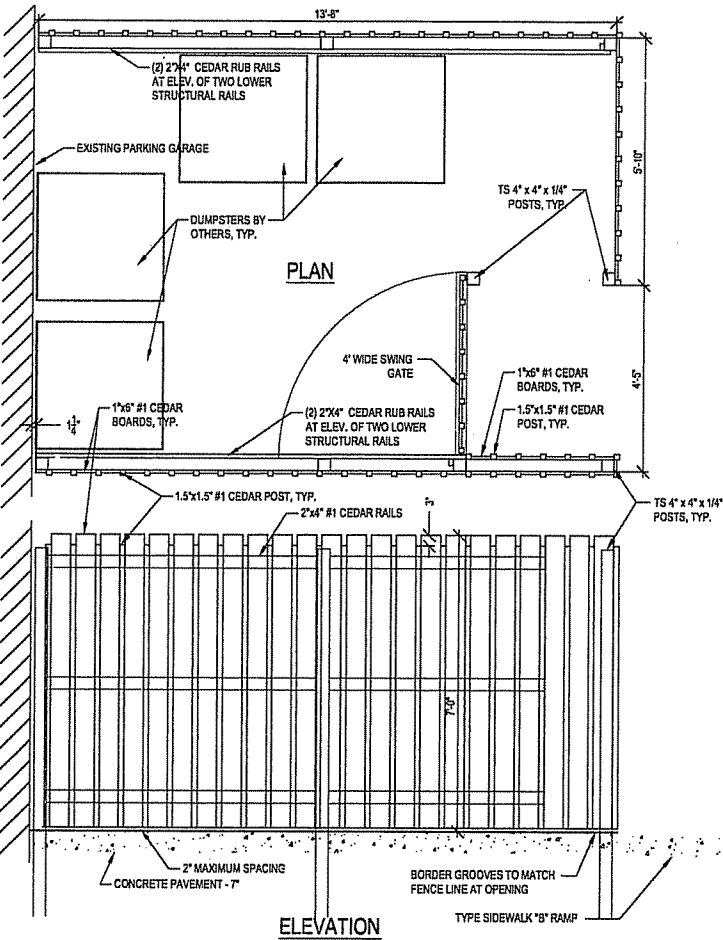
E SURFACE TEXTURE DETAIL
NOT TO SCALE

1 SIDEWALK RAMP DETAILS
SCALE: 1/4" = 1'-0"

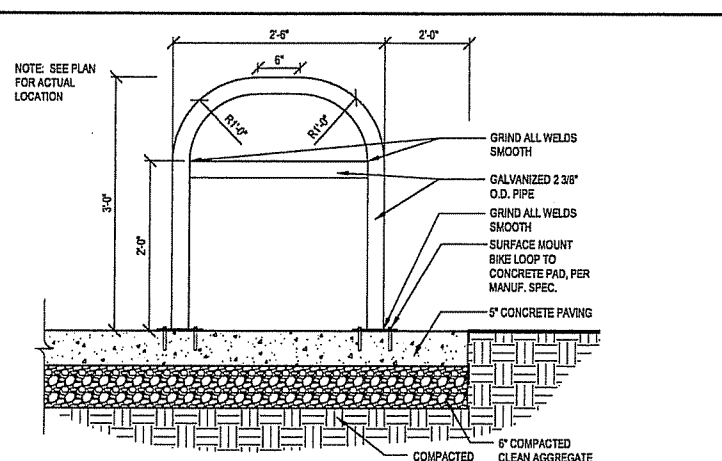
- GENERAL NOTES FOR ACCESSIBLE RAMPS:**
1. RAMP SHALL BE SLOPED PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAFFIC FLOW.
 2. THE WIDTH OF THE RAMP AT THE CURB SHALL BE 60" MINIMUM, UNLESS OTHERWISE NOTED.
 3. THE MAXIMUM SLOPE OF THE RAMP SHALL BE ONE INCH PER FOOT.
 4. SURFACE TEXTURE, AS PER DETAIL, SHALL BE GIVEN TO ALL RAMPS UNLESS OTHERWISE NOTED OR DIRECTED BY THE ENGINEER.
 5. THE DIAMOND SHAPES IN THE SURFACE TEXTURE SHALL BE ORIENTED SUCH THAT THE LONG DIMENSION IS PARALLEL TO THE DIRECTION OF PEDESTRIAN TRAFFIC.
 6. SURFACE TEXTURE, AS PER DETAIL, SHALL EXTEND THE FULL WIDTH OF THE RAMP AND SHALL EXTEND A MINIMUM OF 8 FEET FROM CURB, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
 7. RAMP WILL BE BORDERED ON BOTH SIDES AND ON THE CURB LINE WITH A 4" WIDE YELLOW STRIPE.
 8. WHEN CONDITIONS REQUIRE MORE INFORMATION, REFER TO "ADAAG" (AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES).

TRASH ENCLOSURE NOTES:

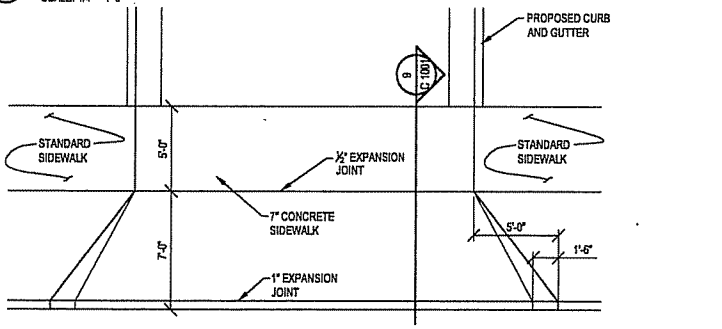
1. CONTRACTOR RESPONSIBLE FOR SPACING AND SIZING OF POSTS AND RAILS PER MANUFACTURER'S RECOMMENDATION.
2. CONTRACTOR RESPONSIBLE SHALL PROVIDE MATCHING SLIDING GATE, NECESSARY SUPPORTS, AND LOCKABLE LATCHES FOR 4' WIDE FENCE OPENING AT ENCLOSURE ENTRANCE
3. POSTS SHALL BE EMBEDDED IN CONCRETE AT DEPTH PER MANUFACTURER'S RECOMMENDATION



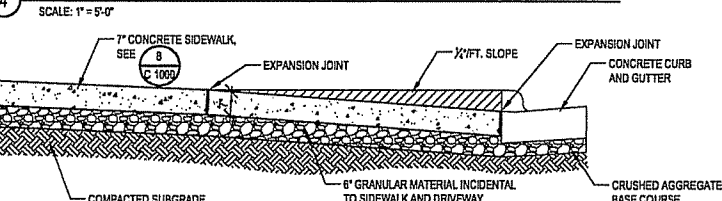
2 TRASH ENCLOSURE
SCALE: 1/2" = 1'-0"



3 BIKE RACK
SCALE: 1/4" = 1'-0"



4 DRIVEWAY ENTRANCE PLAN, TYP.
SCALE: 1" = 5'-0"



5 DRIVEWAY ENTRANCE SECTION, TYP.
SCALE: 1/2" = 1'-0"

**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

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ISSUED FOR	REV	DATE
FOOTING & FOUNDATION SUBMITTAL		12/01/2005
SUB DO REVIEW & ESTIMATE SET		01/04/2006
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FINAL DOCS. GIP/SP SUBMITTAL		06/14/2006
SP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN

DRAWING TITLE
SITE DETAILS

SCALE
AS SHOWN

PROJECT NUMBER
24589.000

DRAWING NUMBER
C 1001

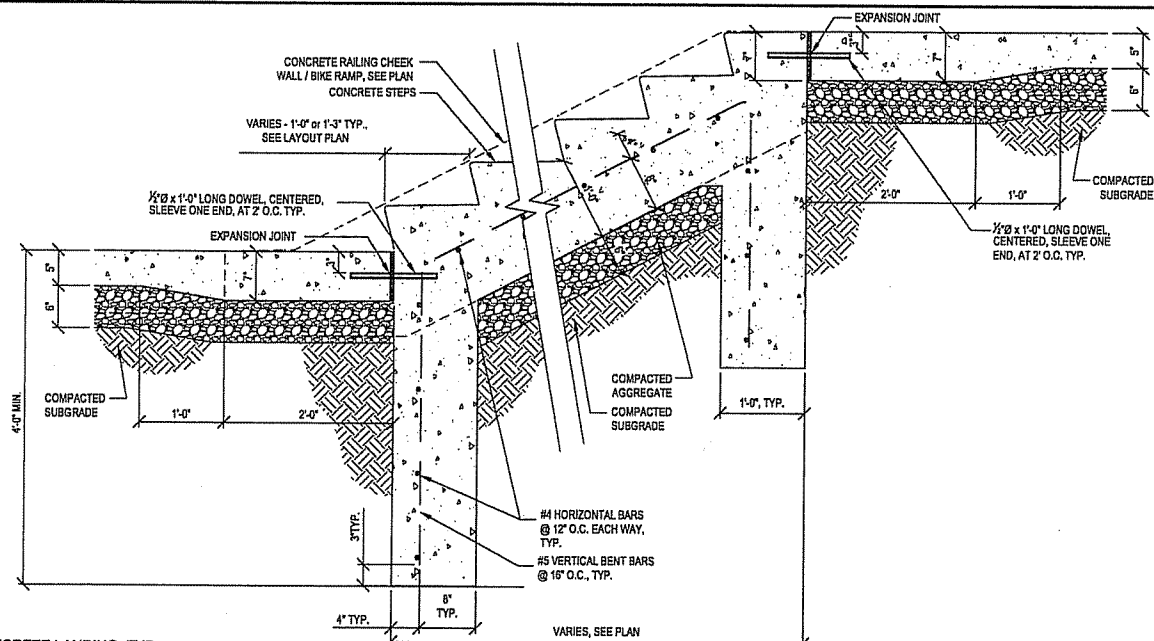
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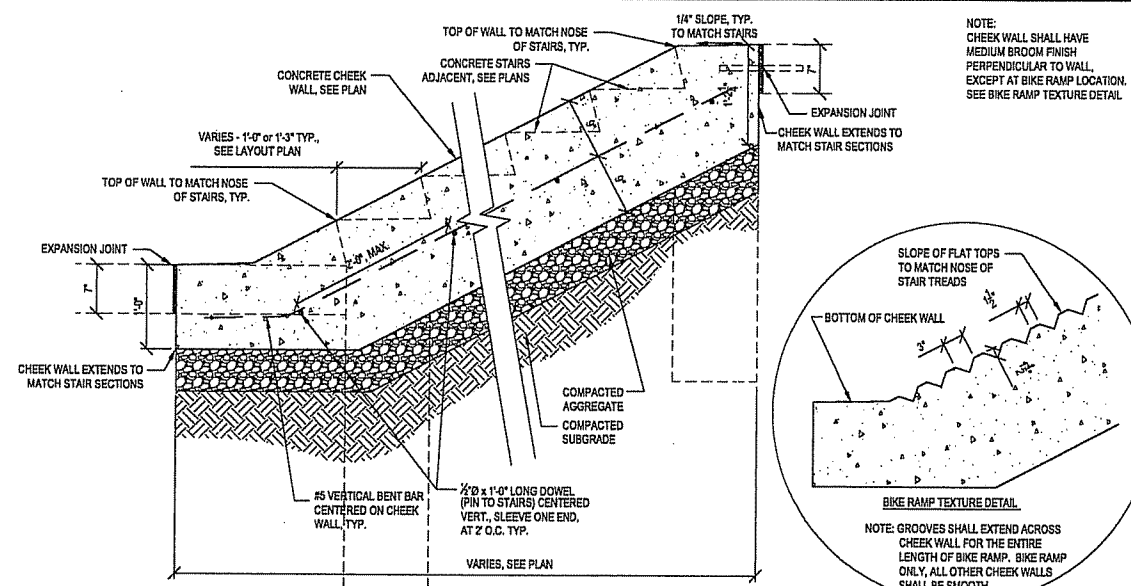
**CAPITOL WEST
PHASE 1**
BLOCK 51 - MADISON, WI

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**THE ALEXANDER
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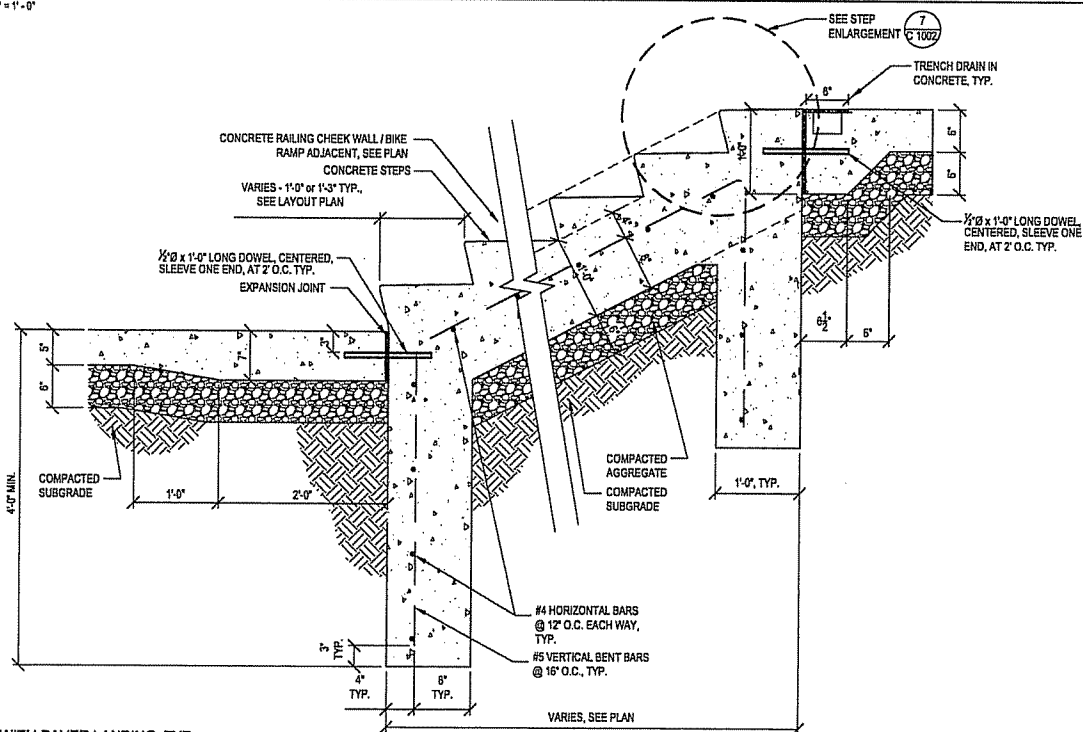
JJR landscape architecture
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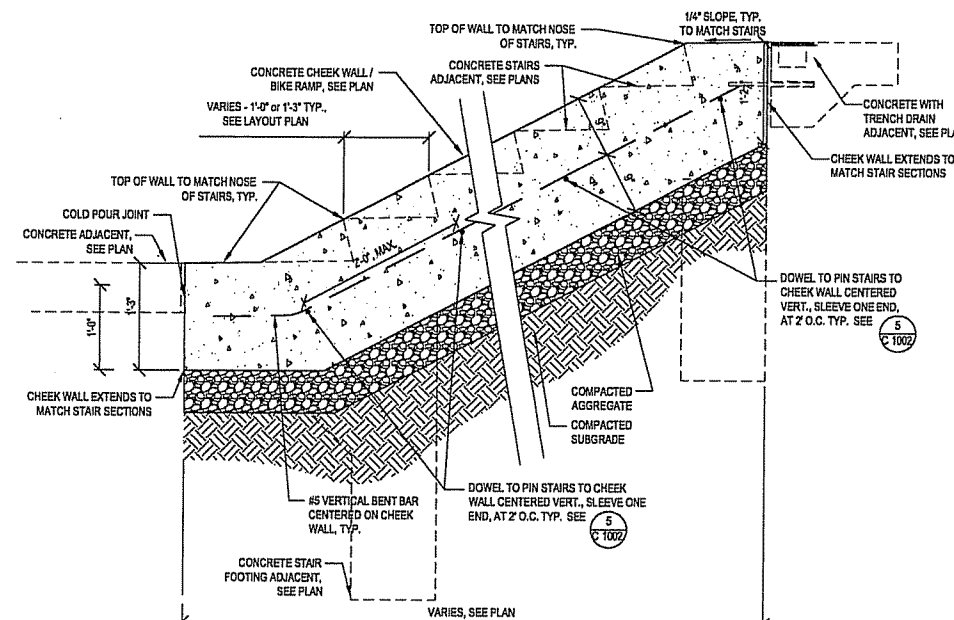
1 STAIR WITH CONCRETE LANDING, TYP.
SCALE 1" = 1'-0"



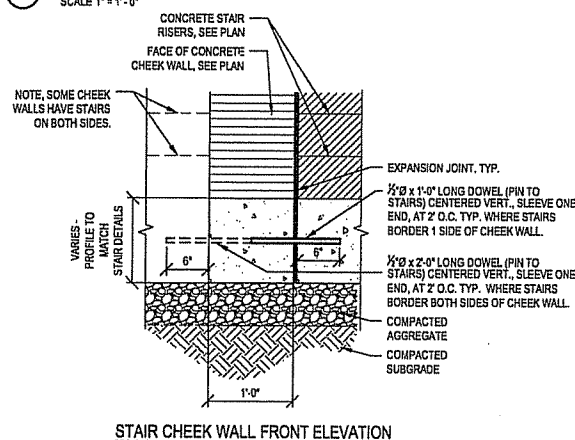
2 STAIR CHEEK WALL WITH CONCRETE LANDING, TYP.
SCALE 1" = 1'-0"



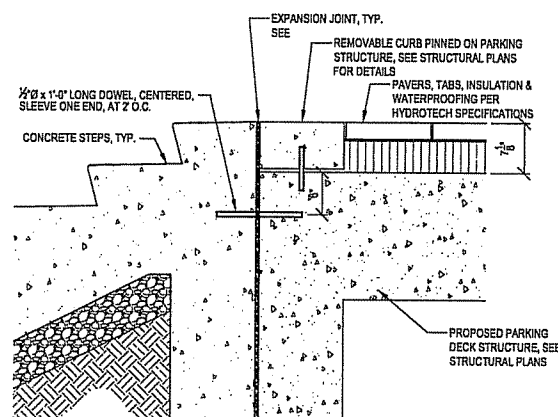
3 STAIR WITH PAVER LANDING, TYP.
SCALE 1" = 1'-0"



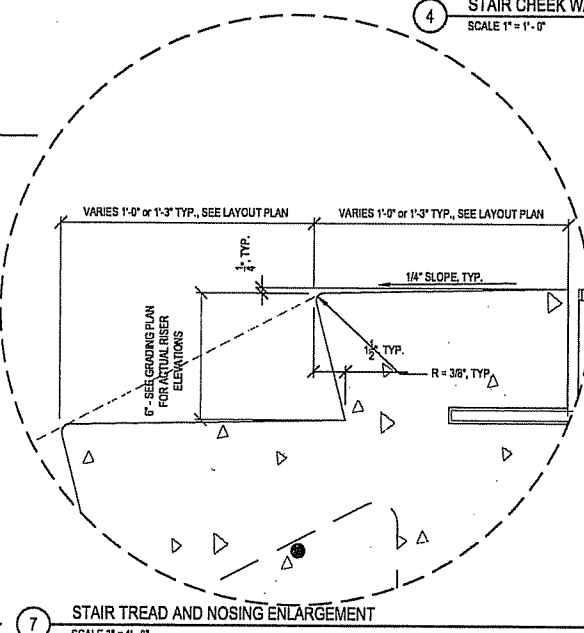
4 STAIR CHEEK WALL WITH PAVER LANDING, TYP.
SCALE 1" = 1'-0"



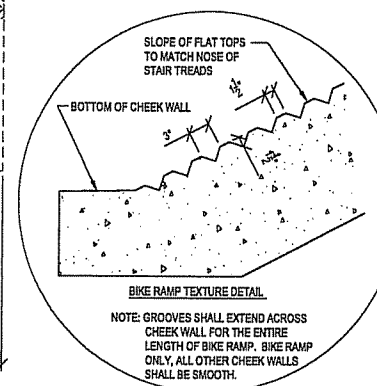
5 CHEEK WALL CROSS SECTION
SCALE 1" = 1'-0"



6 STAIR ADJACENT TO DECK OR SLAB WITH HYDROTECH SYSTEM, TYP.
SCALE 1" = 1'-0"



7 STAIR TREAD AND NOSING ENLARGEMENT
SCALE 3" = 1'-0"



NOTE:
CHEEK WALL SHALL HAVE
MEDIUM BROOM FINISH
PERPENDICULAR TO WALL,
EXCEPT AT BIKE RAMP LOCATION.
SEE BIKE RAMP TEXTURE DETAIL.

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SIX DD REVIEW & ESTIMATE SET	01/04/2006	
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FINAL DOCS. COP/SIP SUBMITTAL	06/14/2006	
SIP ALTERATION	07/12/2006	

SEALS AND SIGNATURES

KEY PLAN

DRAWING TITLE
SITE DETAILS

SCALE AS INDICATED
SCALE
24589.000

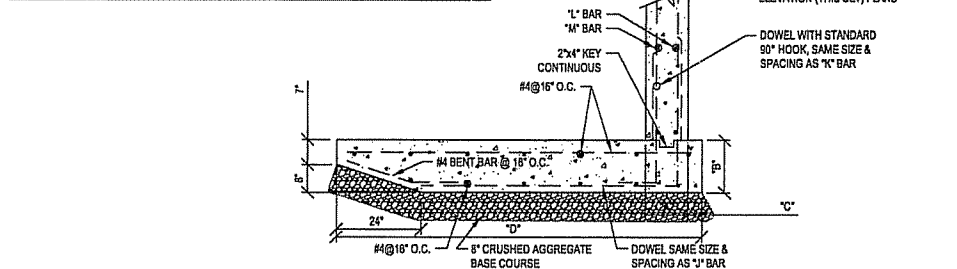
PROJECT NUMBER

C 1002

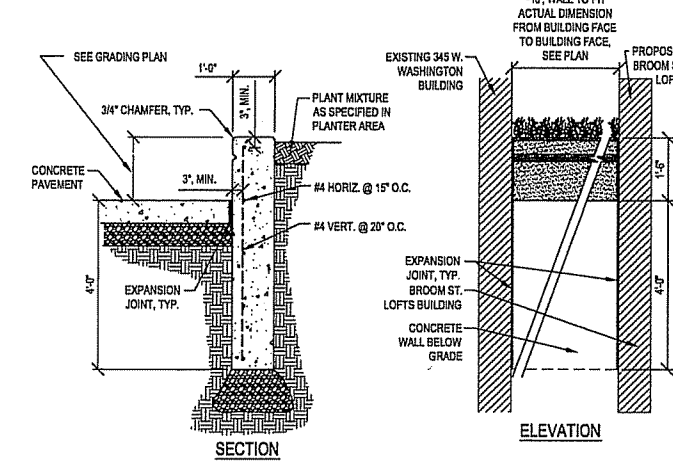
DRAWING NUMBER

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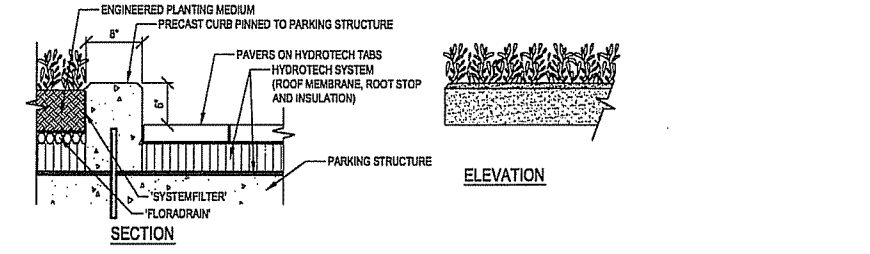
HEIGHT	DIMENSIONS			REINFORCEMENT			
	BASE THICK	WALL THICK	BASE WIDTH	"J" BAR	"K" BAR	"L" BAR	"U" BAR
4'-0"	12"	15"	4"	#4@12"	#4@24"	#4@16"	#4@16"
6'-0"	12"	15"	4"	#4@12"	#4@24"	#4@16"	#4@16"
8'-0"	12"	15"	4"	#4@9"	#4@21"	#4@16"	#4@16"
10'-0"	12"	15"	4"	#5@9"	#4@21"	#4@16"	#4@16"
12'-0"	12"	15"	4"	#6@9"	#4@24"	#4@16"	#4@16"
14'-0"	14"	15"	4"	#7@9"	#4@24"	#4@14"	#4@14"
16'-0"	14"	15"	4"	#8@7"	#4@21"	#4@14"	#4@14"



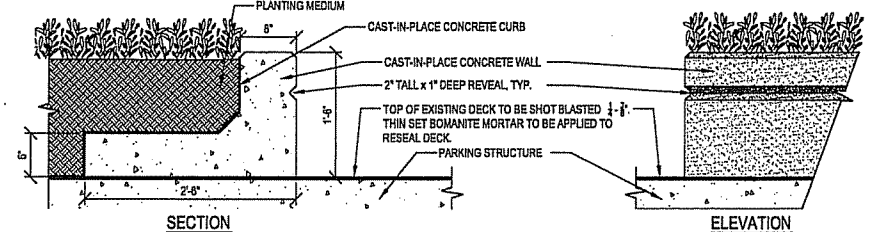
1 RETAINING WALL/SITE WALL TYP. SCALE 2" = 1'-0"



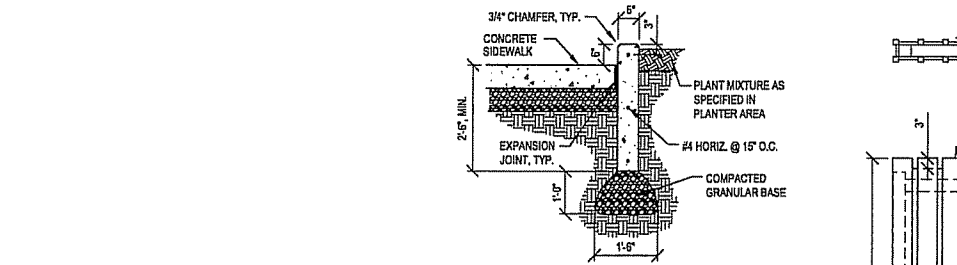
2 LANDSCAPE WALL @ BROOM ST. LOFTS SCALE 1/2" = 1'-0"



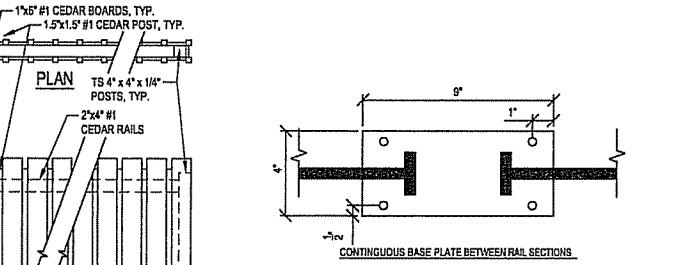
3 PLANTER CURB AND HYDROTECH SYSTEM IN CAPITOL COURT SCALE 1" = 1'-0"



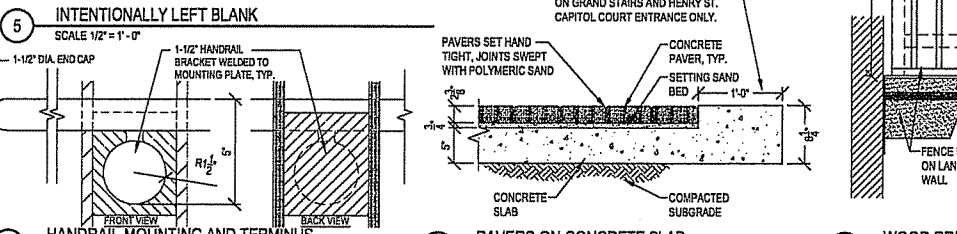
4 PLANTER WALL AT 345 W. WASHINGTON AVE. BUILDING SCALE 1" = 1'-0"



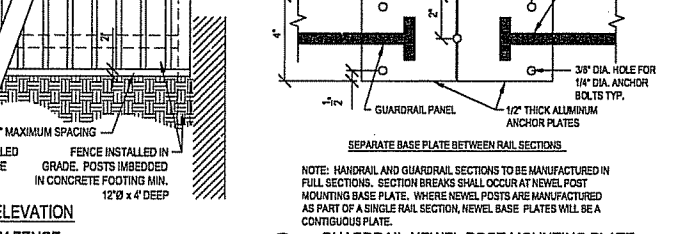
5 6" PLANTER CURB ON GRADE SCALE 1/2" = 1'-0"



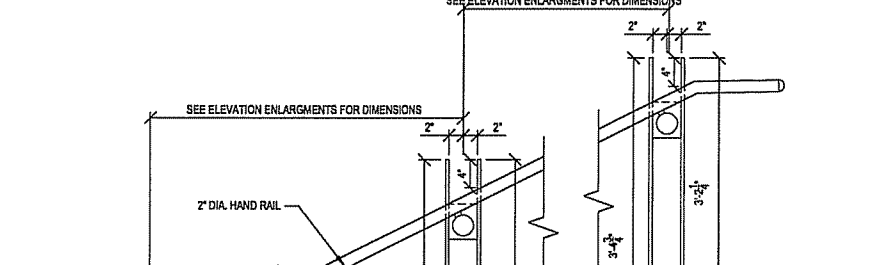
6 6" PLANTER CURB ON GRADE SCALE 1/2" = 1'-0"



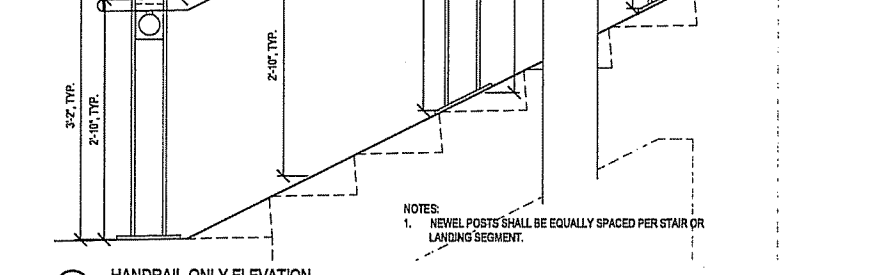
7 HANDRAIL MOUNTING AND TERMINUS SCALE 3" = 1'-0"



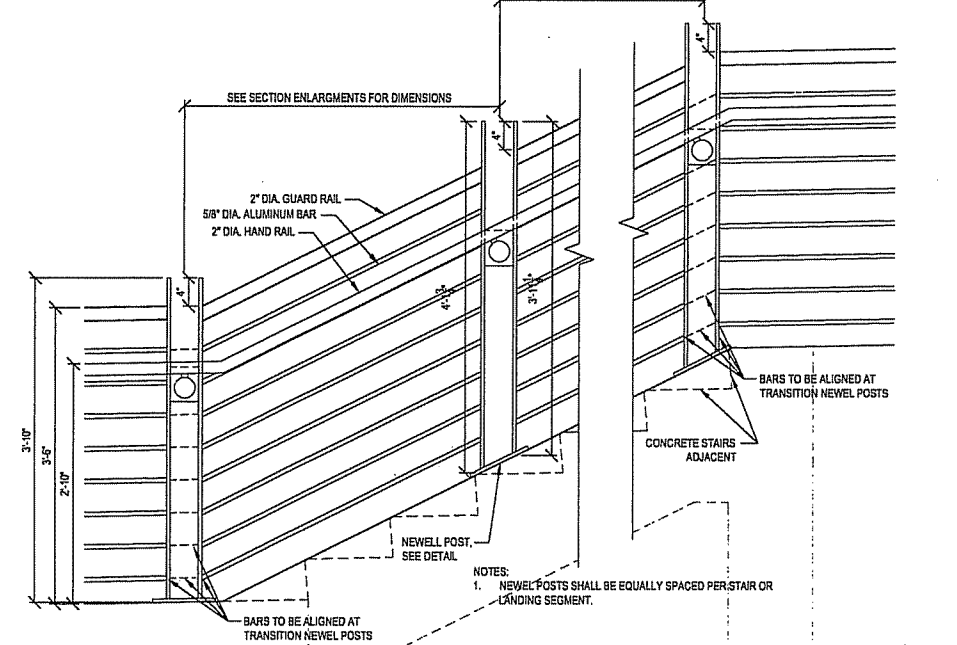
8 PAVERS ON CONCRETE SLAB SCALE 1" = 1'-0"



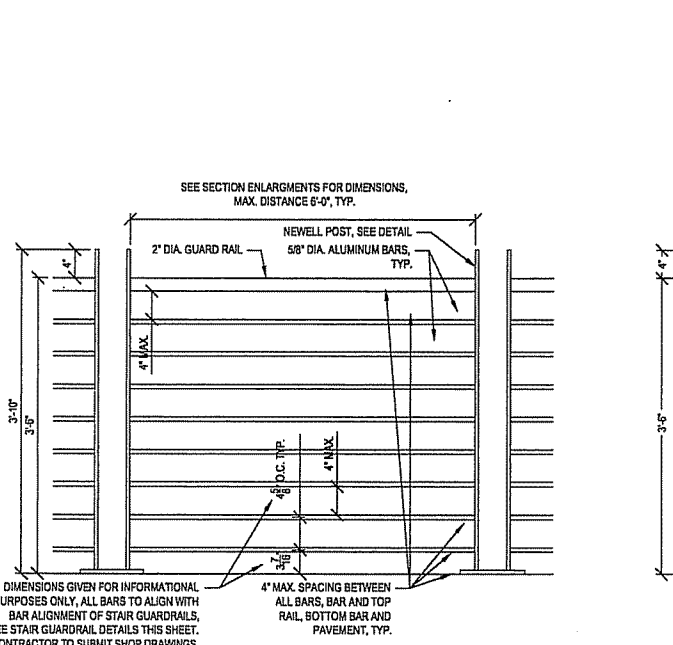
9 WOOD PRIVACY FENCE SCALE 1" = 1'-0"



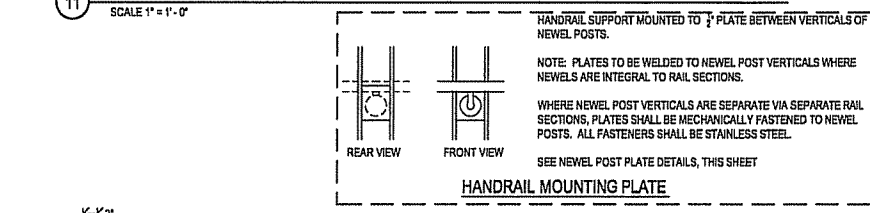
10 GUARDRAIL NEWEL POST MOUNTING PLATE SCALE 3" = 1'-0"



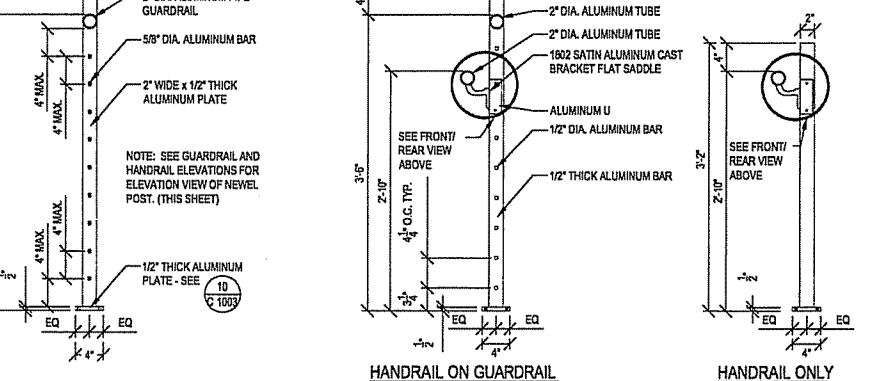
11 HANDRAIL ONLY ELEVATION SCALE 1" = 1'-0"



12 GUARDRAIL WITH HANDRAIL ELEVATION SCALE 1" = 1'-0"



13 GUARDRAIL NEWEL POST, TYP. SCALE 1" = 1'-0"



14 GUARDRAIL ELEVATION, TYP. SCALE 1" = 1'-0"

CAPITOL WEST
PHASE 1
BLOCK 51 - MADISON, WI

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100% CLIENT/CONT. REVIEW SET		03/22/2006
FINAL DOCS. GCP/SP SUBMITTAL		06/14/2006
SP ALTERATION		07/12/2006

SEALS AND SIGNATURES

KEY PLAN

DRAWING TITLE
SITE DETAILS

SCALE AS INDICATED
SCALE 24589.000

PROJECT NUMBER
C 1003

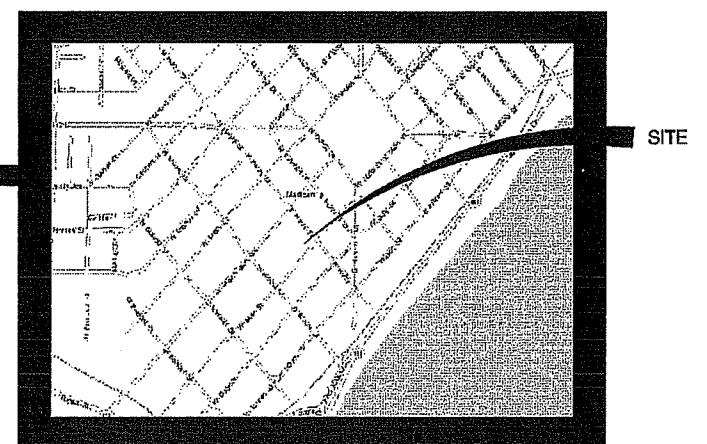
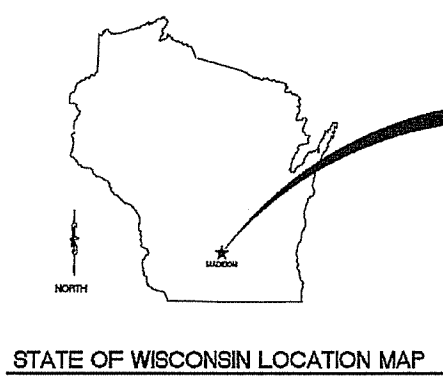
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CAPITOL WEST - NEW PARKING RAMP

309 WEST WASHINGTON AVENUE MADISON, WISCONSIN 53703

SIP ALTERATION JULY 12, 2006



DRAWING INDEX

SHEET NO.	SHEET TITLE
T0.1	TITLE SHEET
ARCHITECTURAL - PARKING RAMP	
PA2.1	PARKING LEVEL 1 LAYOUT PLAN
PA2.2	PARKING LEVEL 2 LAYOUT PLAN
PA2.3	PARKING LEVEL 2 LAYOUT PLAN
PA2.4	PLAZA FLOOR RAMP LAYOUT PLAN
PA9.1	SIGNAGE AND SCHEDULES

CODE SUMMARY

2002 WISCONSIN ENROLLED COMMERCIAL BUILDING CODE

BUILDING TYPE & USE

CHAPTER 62 (COMMERCE)
CHAPTER 4 SPECIAL DETAILED REQUIREMENTS BASED ON USE AND OCCUPANCY
SECTION 406 MOTOR-VEHICLE-RELATED OCCUPANCIES
SECTION 406.4 ENCLOSED PARKING GARAGES (MECHANICAL VENTILATION PER INTERNATIONAL MECHANICAL CODE)
SECTION 311.3 LOW HAZARD STORAGE, GROUP S-2

TABLE 503 & 503.2 REQUIREMENTS

TYPE IA CONSTRUCTION
FULLY SPRINKLED NFPA 13
MAXIMUM HEIGHT - 8 LEVEL (TIERS) (ACTUAL - 3 LEVELS)
MAXIMUM BUILDING AREA = UNLIMITED (ACTUAL 430,000/LEVEL)
STAIR SHAFTS 2 HOUR WITH 1 1/2 HOUR DOORS
HORIZONTAL SEPARATION BETWEEN ENCLOSED S-2 PARKING AND GROUP R OCC=3HR
VERTICAL SEPARATION BETWEEN ENCLOSED S-2 AND R-2 ADJACENT = 2HR -
REDUCED TO 1 HOUR FOR PRIVATE/PLEASURE VEHICLES

TABLE 601 FIRE RESISTIVE RATINGS

COLUMNS/ BEAMS ----- 3 HOURS
BEARING WALLS ----- 3 HOURS
FLOOR CONSTRUCTION ----- 2 HOURS
HORIZONTAL SEPARATION SLAB ----- 3 HOUR

EXITING

CHAPTER 10
FULLY SPRINKLED NFPA 13
2 EXITS MINIMUM PER FLOOR
400 FEET TO NEAREST EXIT MAXIMUM
OCCUPANCY BASED ON 200 GROSS SQUARE FEET/PERSON = 90,000 SF/450 = 450 PERSONS, (150/LEVEL)
450 * 0.2' PERSON AT STAIRS = 90' (PRESENT STAIRS & FUTURE STAIR PROVIDED 46" TOTAL)
450 * 0.15'/PERSON AT EXIT DOORS = 67.5' (DOOR AND STAIR LEVEL = 80')

CAR COUNT

TOTALS FOR 2 LEVELS
216 TOTAL STALLS
9 ACCESSIBLE (2 VAN ACCESSIBLE PARKING LEVEL 2)
164 LARGE CAR
44 SMALL CAR (20.5%)

BIKE PARKING

36 TOTAL AVAILABLE IN PARKING STRUCTURE

CAPITOL WEST PARKING RAMP
 MADISON, WISCONSIN
 ALEXANDER COMPANY

Sheet Title:
TITLE SHEET

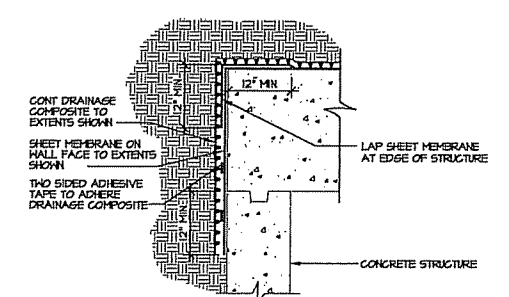
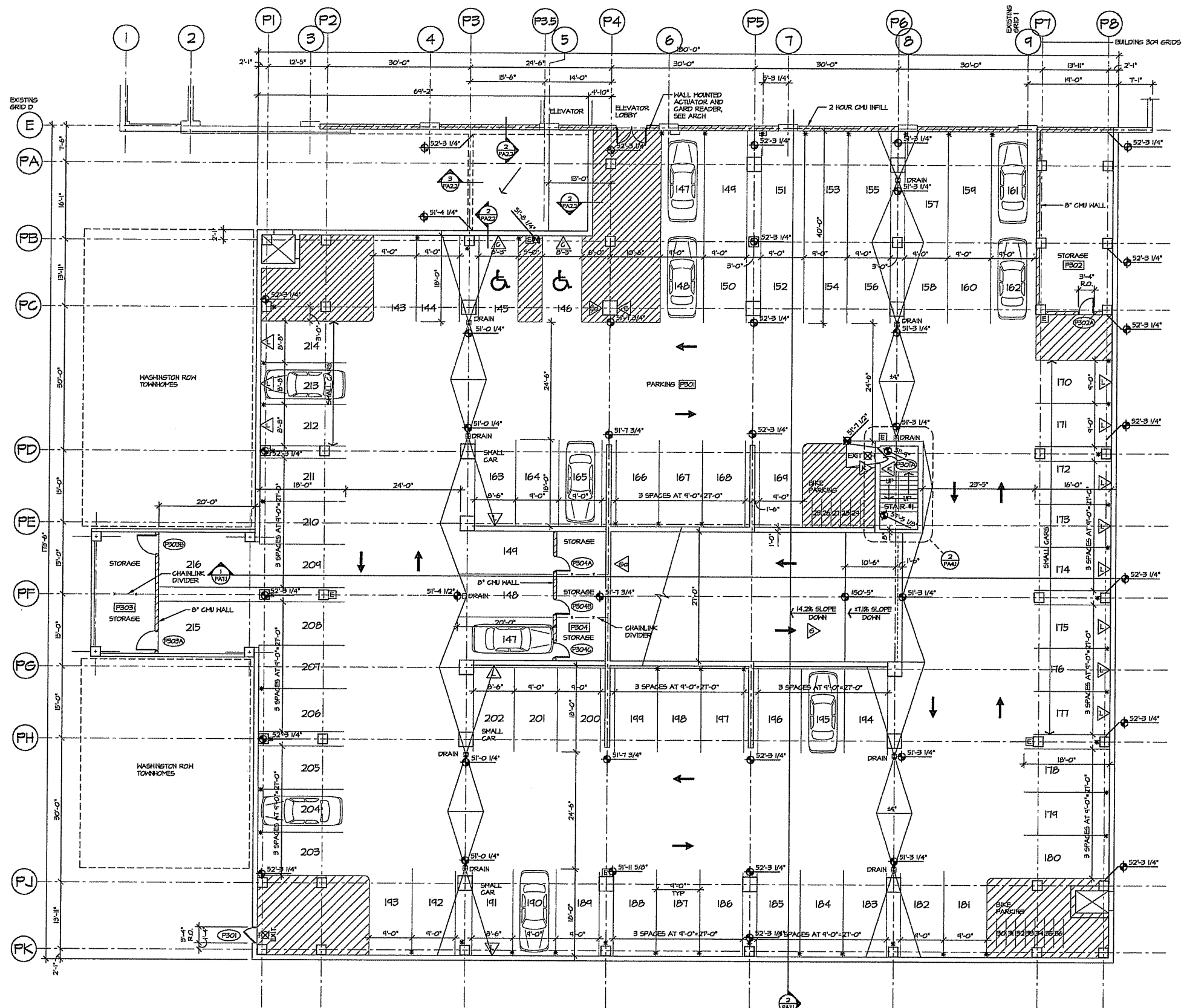
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No.	Date	Description	By:
	7/12/06	SIP ALTERATION	A&O

Project Number:	040380	Designed By:	A&O
Date Issued:	7/12/06	Reviewed By:	A&O

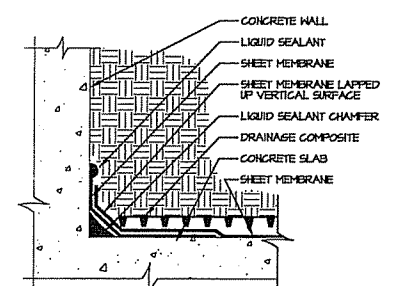
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**SIP ALTERATION
SUBMITTAL**

Sheet Number:
T0.1



2 SECTION AT EDGE OF STRUCTURE
SCALE: 3/4"=1'-0"



3 SECTION AT VERTICAL SURFACES
SCALE: 3/4"=1'-0"

1 PARKING LEVEL 3
SCALE: 0"=2' 4"=8"=16"

* INDICATES VERTICAL MOUNTED WALL BICYCLE RACK

□ FIRE EXTINGUISHER WITH INTEGRAL BOX AND ASSOCIATED SIGNAGE IN RED WITH WHITE CHARACTERS POINTING DOWN AT EXTINGUISHER

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MADISON, WISCONSIN
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Sheet Title:
PARKING LEVEL 3

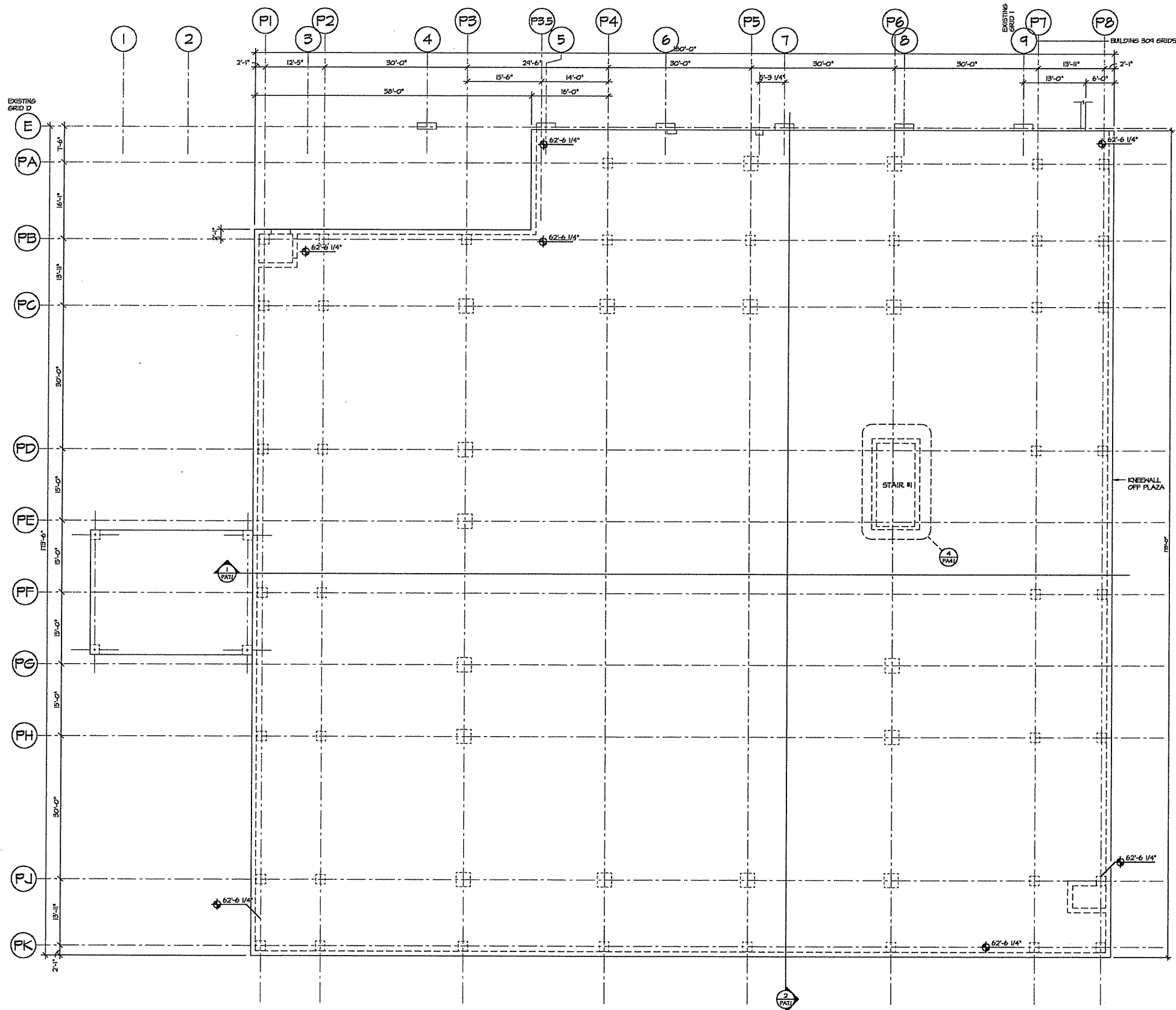
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No.	Date:	Description:	By:
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Project Number: 040380
Date Issued: 7/12/06
Designed By: A&O
Reviewed By: A&O

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Sheet Number:
PA2.3



1 PLAZA FLOOR PLAN
 PA2.4 SCALE: 0' 2' 4' 8' 16'



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Sheet Title:
 PLAZA FLOOR PLAN

Revisions:

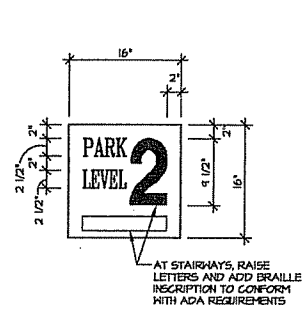
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1	7/12/06	SIP ALTERATION	A&O

Project Number:	Designed By:
040380	A&O
Date Issued:	Reviewed By:
7/12/06	A&O

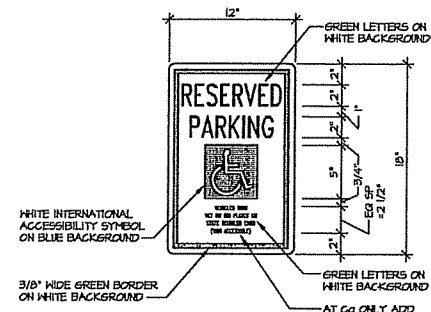
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SIP ALTERATION SUBMITTAL

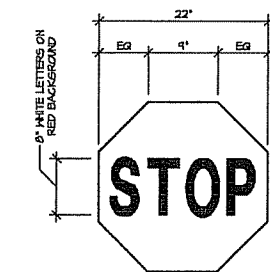
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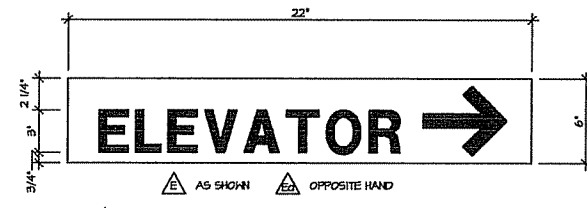
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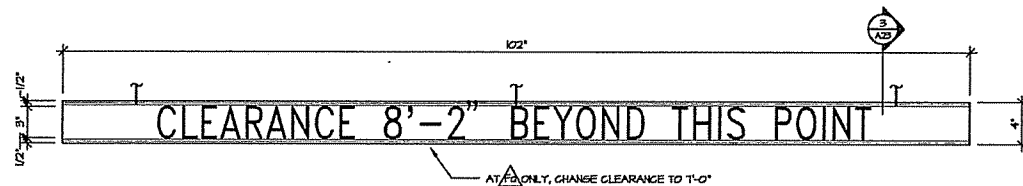
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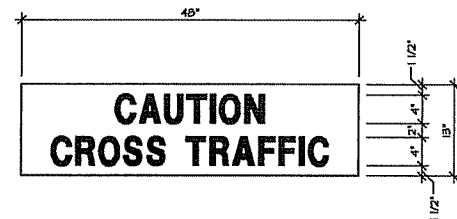
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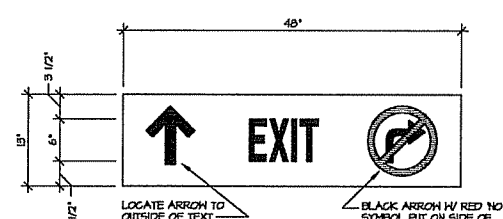
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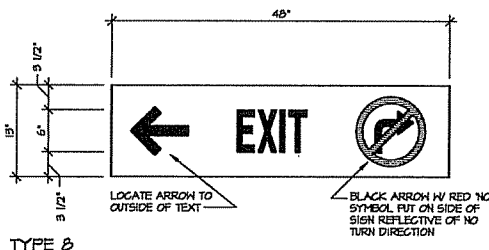
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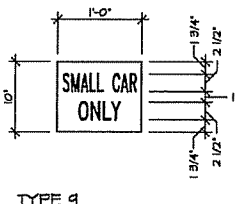
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TYPE 7



TYPE 8

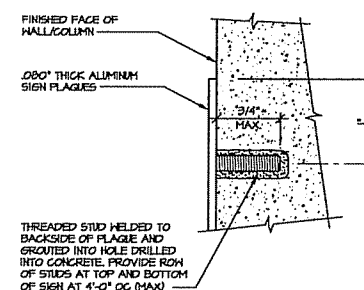


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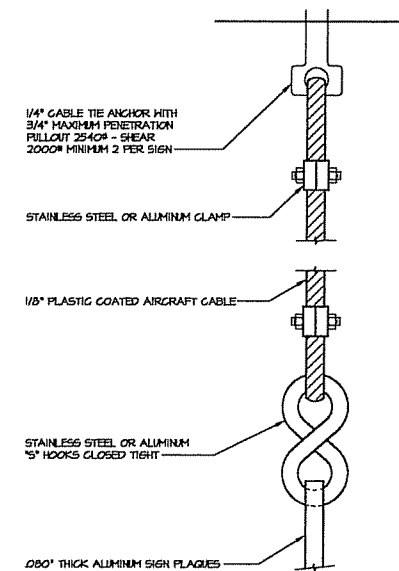
SIGNAGE SCHEDULE										
MARK	TYPE	SIDES	TEXT	SIGN SIZE	SIGN COLOR (NOTE 2 UNO)	CHARACTER SIZE	CHARACTER COLOR	MOUNTING POSITION	MOUNTING HEIGHT	REMARKS
△	1	SINGLE	PARK LEVEL 1	16"x16"	RED	2" & 4 1/2"	WHITE	SEE PLAN	5'-8" TO TOP OF SIGN	1/PA9.1
△	1	SINGLE	PARK LEVEL 2	16"x16"	YELLOW	2" & 4 1/2"	WHITE	SEE PLAN	5'-8" TO TOP OF SIGN	1/PA9.1
△	2	SINGLE	ACCESSIBLE PARKING	12"x18"	WHITE	1/2" & 2"	GREEN	SEE PLAN	NOTE 7	1/PA9.1, NOTE 6
△	3	SINGLE	STOP	22"x22"	RED	8"	WHITE	SEE PLAN	4'-6" FROM 1/ CURB TO 1/ SIGN	1/PA9.1, NOTE 6
△	4	SINGLE	ELEVATOR	22"x6"	WHITE	3"	BLACK	SEE PLAN	7'-0" TO TOP OF SIGN	1/PA9.1
△	5	SINGLE	CLEARANCE 8'-0" BEYOND THIS POINT	4" DIA X 102"	WHITE	3"	BLACK	CENTER ON DRIVE LANE	8'-2 1/4" BOTTOM TOP OF SIGN OF H.F. OR DRIVE LANE	3/PA9.1, NOTE 4 AT Fg
△	6	SINGLE	CAUTION CROSS TRAFFIC	13"x18"	YELLOW	4"	BLACK	CENTER ON DRIVE LANE	SEE NOTE 3 AT 6 SEE NOTE 4 AT 6g	2/PA9.1 AT 6 1/PA9.1 AT 6g
△	7	SINGLE	EXIT	13"x18"	WHITE	6"	BLACK	CENTER ON DRIVE LANE	SEE NOTE 3	1/PA9.1
△	8	DOUBLE	EXIT	13"x18"	WHITE	6"	BLACK	CENTER ON DRIVE LANE	8'-2 1/4" BOTTOM TOP OF SIGN	2/PA9.1, NOTE 5
△	1	SINGLE	PARK LEVEL 3	16"x16"	GREEN	2" & 4 1/2"	WHITE	SEE PLAN	5'-8" TO TOP OF SIGN	1/PA9.1
△	9	SINGLE	SMALL CAR ONLY	10"x12"	WHITE	2"	RED	SEE PLAN	4'-0" TO TOP OF SIGN	1/PA9.1

SIGNAGE SCHEDULE NOTES:

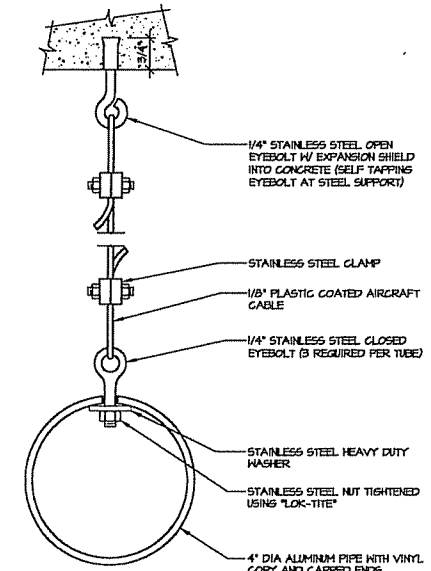
- SIGN COLOR TO BE COORDINATED WITH ARCHITECTURAL PAINTING REQUIREMENTS.
- ALL SIGN BACKGROUND SHEETING TO BE 3M BRAND VISUAL IMPACT PERFORMANCE (VIP) SHEETING.
- HANG SIGNS REFERENCING THIS NOTE SO THAT BOTTOM EDGE OF SIGN IS 8'-0" ABOVE SLAB BELOW.
- FOR SIGNS HAVING DIRECTIONAL ARROWS POINTING LEFT OR RIGHT, PLACE ARROW ON SIDE OF TEXT WHERE ARROW POINTS. ALL LETTERS/CHARACTERS TO BE REFLECTIVE.
- BACKSIDE OF DOUBLE SIGNS REFERENCING THIS NOTE TO HAVE COLOR NOTED IN SCHEDULE BUT NO TEXT. TRIANGLE REFERENCE ON PLAN POINTS TO SIDE HAVING TEXT.
- SIGN TYPES 2 AND 3 SHALL COMPLY WITH THE STANDARDS CONTAINED IN FHWA'S "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" AND "STANDARD HIGHWAY SIGNS" MANUAL.
- MOUNT SO TOP OF SIGN IS 5'-8" ABOVE FLOOR LINE OR 2' BELOW TOP OF CONCRETE WHERE CONCRETE DOES NOT EXTEND 5'-8" ABOVE FLOOR LINE.
- FOR SIGN TYPE 5, CLEARANCE DIMENSION TO REFLECT ACTUAL MINIMUM CLEARANCE TO BE DETERMINED IN THE FIELD.
- MOUNT SIGNS REFERENCING THIS NOTE SO THAT BOTTOM EDGE OF SIGN IS 1' ABOVE BOTTOM OF BEAM.



1 FLUSH SIGN MOUNT DETAIL
SCALE: NONE



2 SECTION THRU HANGING SIGN
SCALE: NONE



3 SECTION THRU "HEADACHE" BAR
SCALE: NONE

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Sheet Title:
SIGNAGE AND SCHEDULES

Revisions:			
No.	Date:	Description:	By:
1	7/12/08	SIP ALTERATION	ARD

Project Number: 040380	Designed By: A&O
Date Issued: 7/12/08	Reviewed By: A&O

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Sheet Number:
PA9.1

DIMENSION IV-MADISON

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CAPITOL WEST

309 West Washington, Madison, WI

LIST OF DRAWINGS

GENERAL

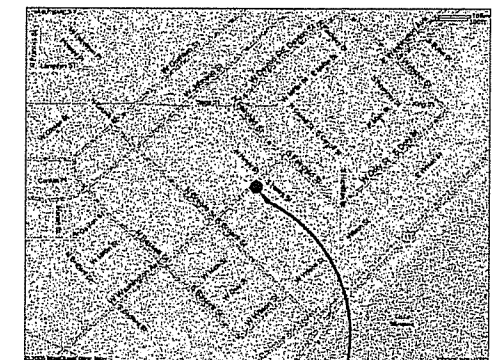
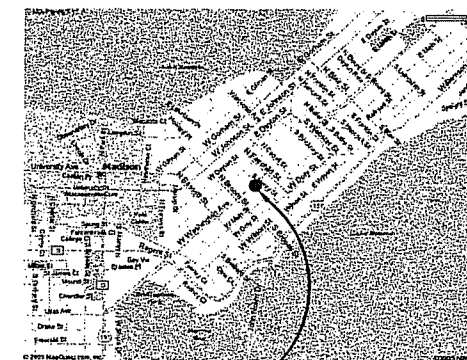
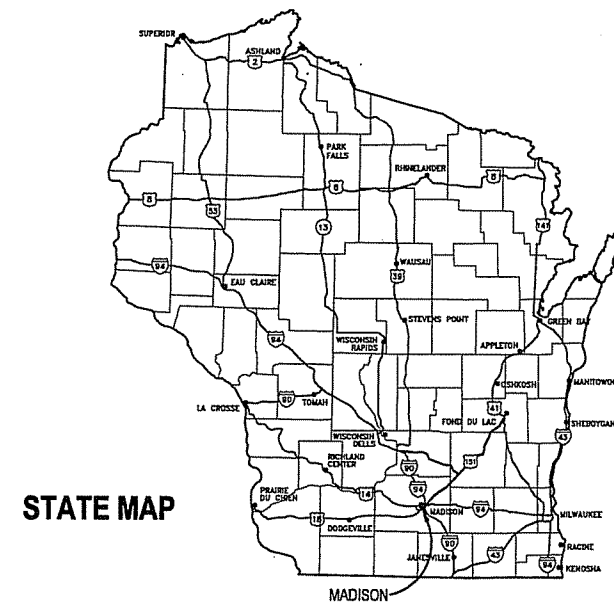
G0.1 COVER SHEET

ARCHITECTURAL

A0.1 FIRST SUB-BASEMENT FLOOR PLAN
A1.0 GROUND FLOOR PLAN
A1.1 FIRST FLOOR PLAN
A1.2 SECOND FLOOR PLAN
A1.3 THIRD FLOOR PLAN
A1.4 FOURTH FLOOR PLAN
A1.5 FIFTH FLOOR PLAN
A1.6 SIXTH FLOOR PLAN
A1.7 SEVENTH FLOOR PLAN
A1.8 EIGHTH FLOOR PLAN
A1.9 NINTH FLOOR PLAN
A1.10 TENTH FLOOR PLAN
A1.11 ELEVENTH FLOOR PLAN
A1.12 ROOF PLAN
A2.0 NORTH EXTERIOR ELEVATION
A2.1 EAST EXTERIOR ELEVATION
A2.2 SOUTH EXTERIOR ELEVATION
A2.3 WEST EXTERIOR ELEVATION

IZ UNITS	
UNIT	
	102
	106
	202
	206
	208
	209
	304
	305
	306
	308
	406
	408
	411
	506
	508
	511
	606
	608
	706

TOTAL NUMBER OF UNITS = 126
RETAIL AREA = 10,148
STORAGE AREA = 10,526
GROSS BUILDING AREA = 195,772



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PROJECT #: 05091
JULY 19, 2006

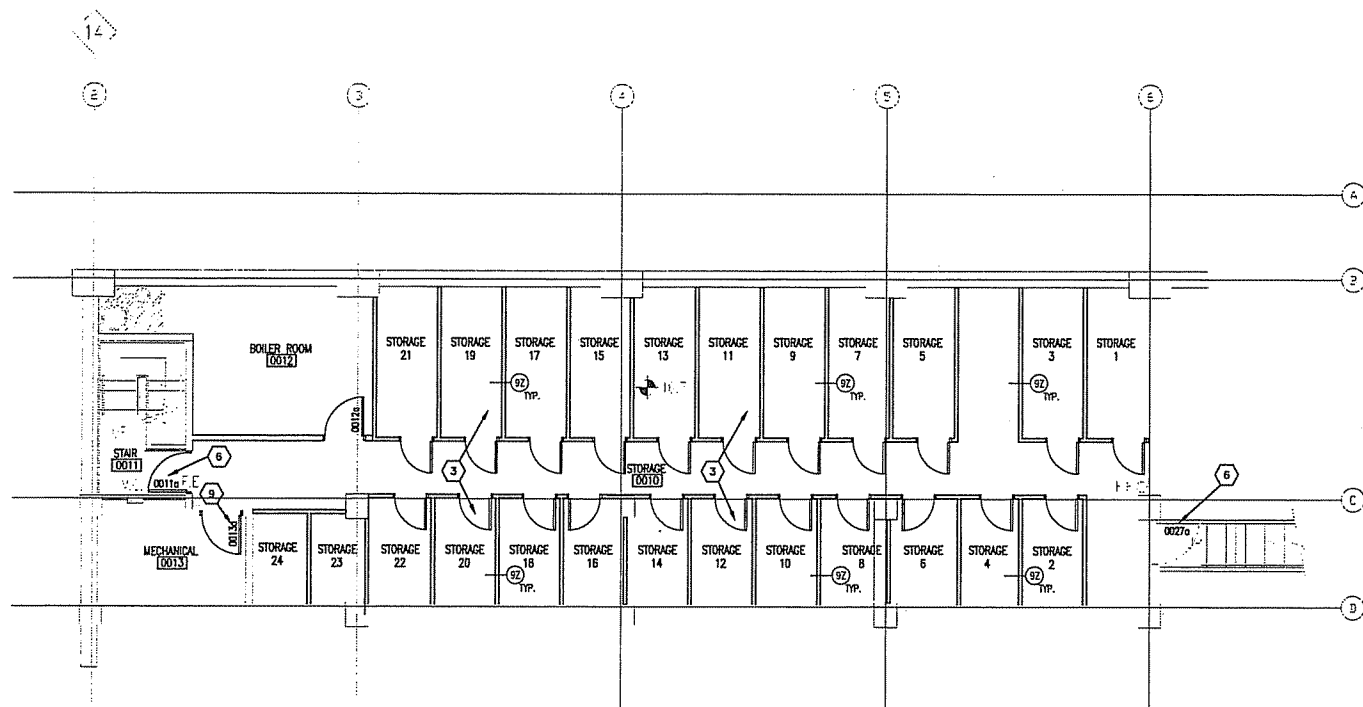
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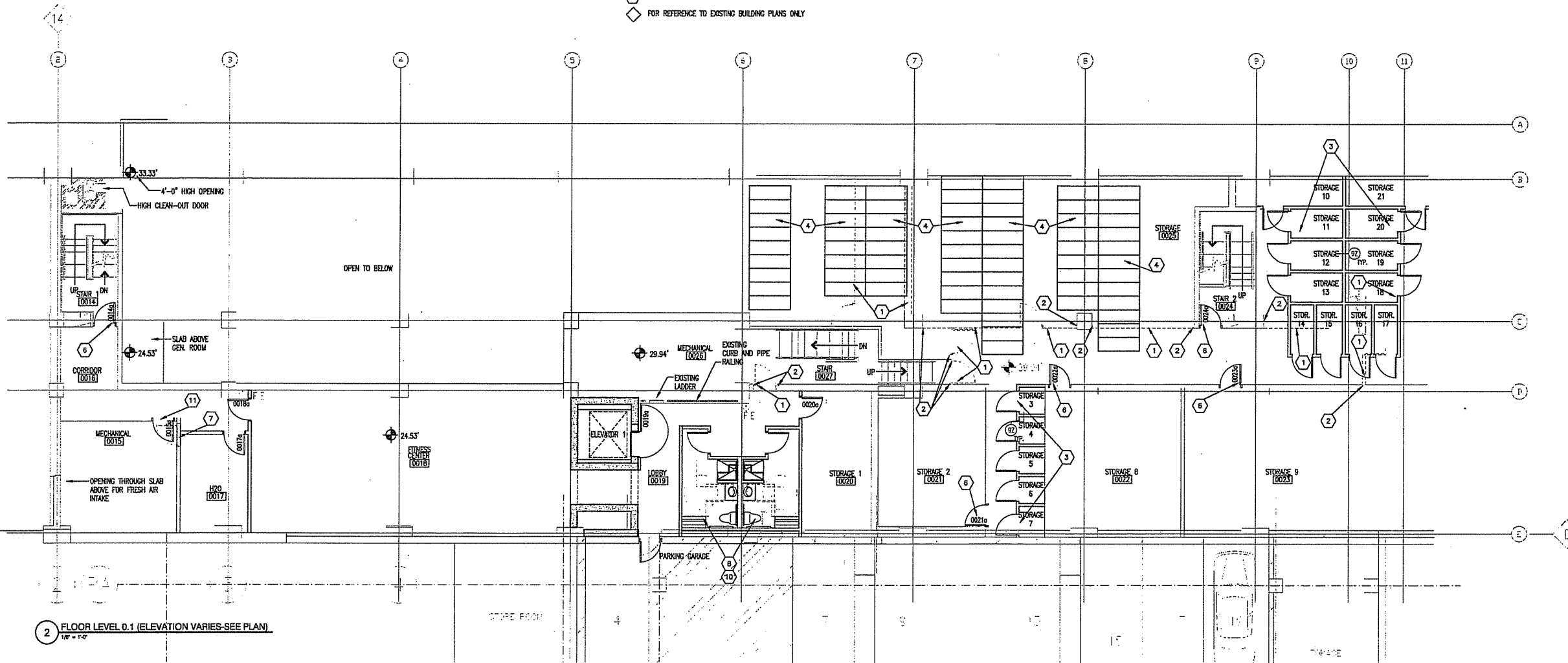
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Madison, WI



1 PARTIAL PLAN-BOILER RM. (ELEV. 16'-8 1/2")
1/8" = 1'-0"

KEY NOTES:

- 1 DEMOLISH EXISTING WALLS AND DOORS AT DASHED. REPAIR CEILING FINISHES TO MATCH EXISTING.
- 2 REPAIR FINISHES TO MATCH EXISTING.
- 3 STORAGE UNITS, SEE DOOR SCHEDULE FOR TYPICAL STORAGE UNIT DOOR 017a. WALLS PER WALL TYPE 92.
- 4 PROVIDE BIKE RACKS PER SPECIFICATIONS. BIKE RACKS AND CLEARANCES SHALL BE PER CITY OF MADISON REGULATIONS. 2'-0" x 6'-0" BIKE PARKING STALL W/5 FT. WIDE AISLES.
- 5 NEW 2-HR. RATED WALLS - FULL HEIGHT.
- 6 REMOVE EXISTING DOOR, FRAME AND HARDWARE. PROVIDE NEW DOOR, FRAME AND HARDWARE PER DOOR SCHEDULE.
- 7 REMOVE EXISTING DOOR & FRAME - IN-FILL WITH NEW WALL TYPE 90, 2-HR. RATED.
- 8 TOILET ROOMS - CONSTRUCTION I.L.C. MEP ROUGH IN ONLY.
- 9 REMOVE EXISTING DOOR, FRAME AND HARDWARE. PROVIDE NEW DOOR, FRAME AND HARDWARE PER DOOR SCHEDULE. AND INSTALL DOOR SWING INWARD.
- 10 SAWCUT AND REMOVE TOPPING AT SHOWER TO ALLOW FOR DRAINAGE.
- 11 PROVIDE NEW FRAMED OPENING FOR DOOR.
- ◇ FOR REFERENCE TO EXISTING BUILDING PLANS ONLY.



2 FLOOR LEVEL 0.1 (ELEVATION VARIES-SEE PLAN)
1/8" = 1'-0"

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FIRST SUB-BASEMENT
FLOOR PLAN

A0.1

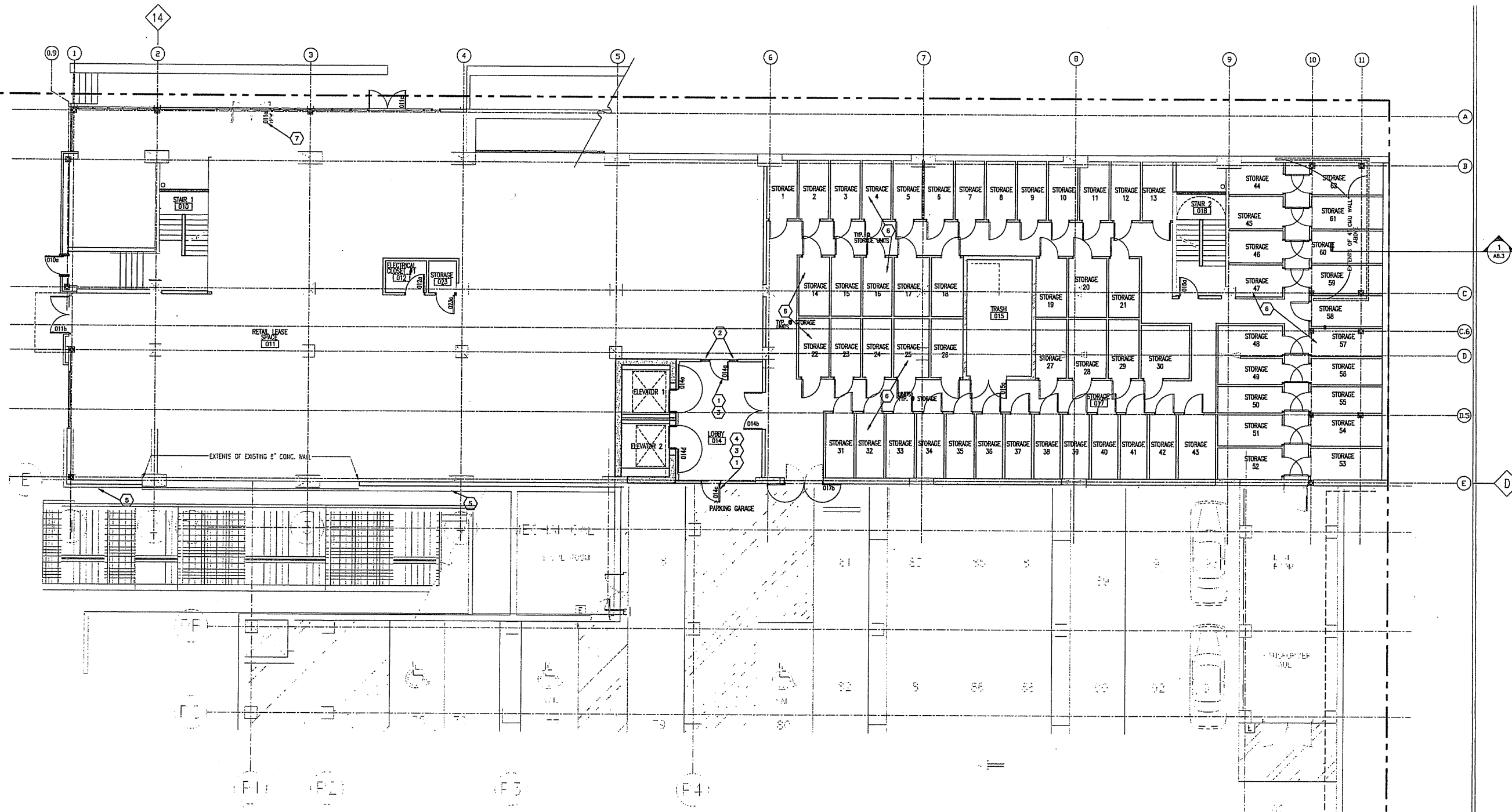


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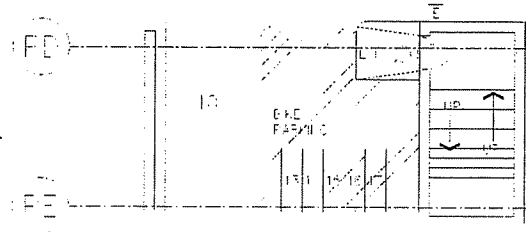
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1 FLOOR LEVEL 00 (ELEV. +40'-9")
1/8" = 1'-0"

KEY NOTES:

- 1 PROVIDE DOOR WITH 100 SQUARE INCHES OF GLAZING
- 2 PROVIDE 15" WIDE FULL HEIGHT SIDELIGHTS WITH FIRE RATED GLAZING, NOT WIRE GLASS
- 3 PROVIDE CARD READER AT DOOR
- 4 ALTERNATE: PROVIDE AUTOMATIC DOOR OPERATOR
- 5 NEW 4" THICK CAST-IN-SITE PRECAST CONCRETE COVER CONTINUOUS TO LINE 4. TOP OF CONCRETE COVER AT ELEV. 52.27'. ALL CONNECTION DETAILS BY PRECAST SUPPLIER.
- 6 STORAGE UNITS. SEE DOOR SCHEDULE FOR TYPICAL STORAGE UNIT DOOR 017c. WALLS PER WALL TYPE 9B.
- 7 ALTERNATE NO. 10c: PROVIDE STOREFRONT FRAMING AS SHOWN WITH INSET DOOR PER DOOR SCHEDULE. PROVIDE INSET EXTERIOR STOOP.
- ◇ FOR REFERENCE TO EXISTING BUILDING PLANS ONLY.



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GROUND FLOOR PLAN



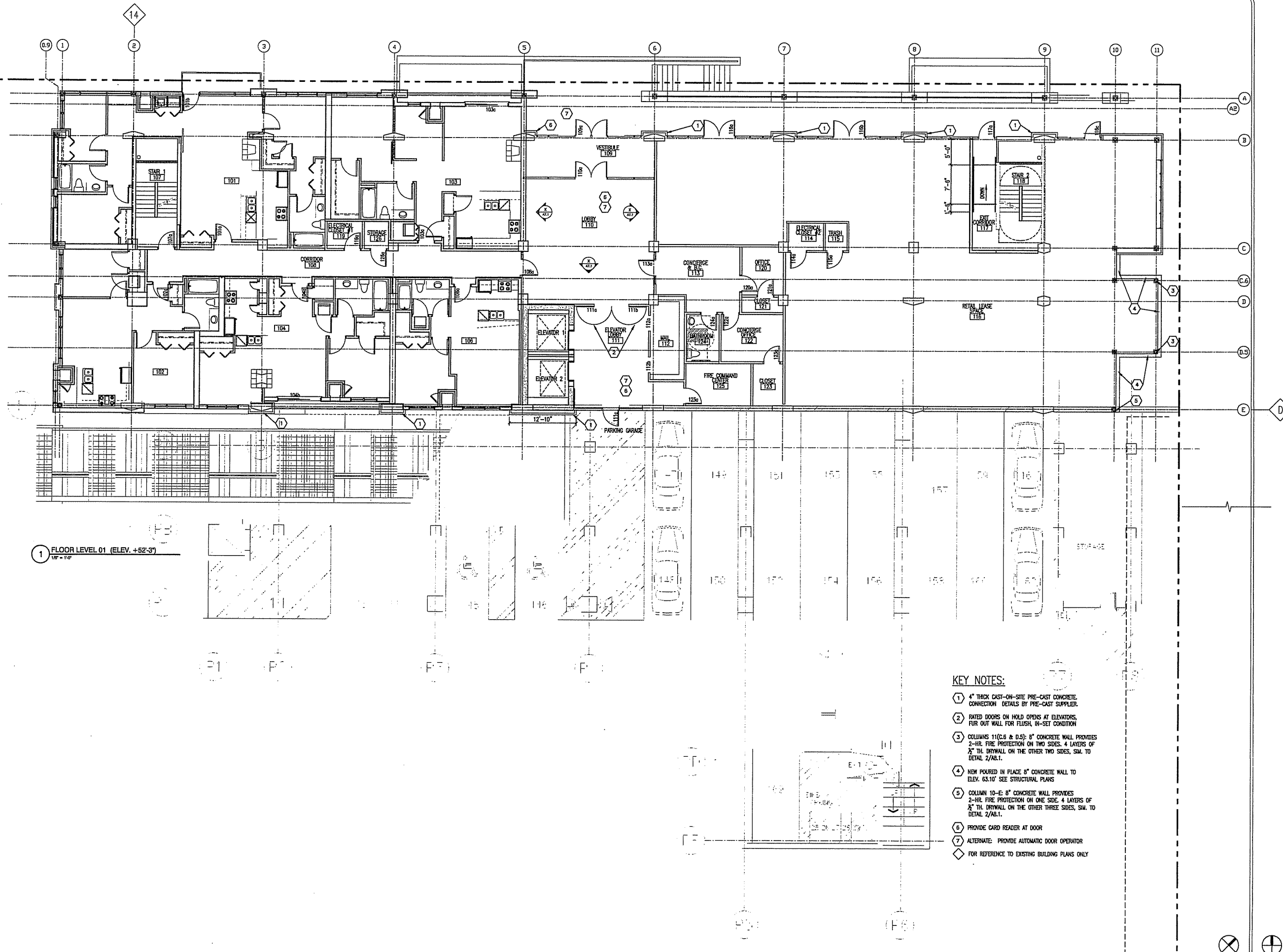
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Madison, WI



1 FLOOR LEVEL 01 (ELEV. +52'-3")
1/8" = 1'-0"

- KEY NOTES:**
- 1 4" THICK CAST-IN-SITE PRE-CAST CONCRETE CONNECTION DETAILS BY PRE-CAST SUPPLIER.
 - 2 RATED DOORS ON HOLD OPENS AT ELEVATORS, FUR OUT WALL FOR FLUSH, IN-SET CONDITION
 - 3 COLUMNS 11(C.6 & D.5): 8" CONCRETE WALL PROVIDES 2-HR. FIRE PROTECTION ON TWO SIDES, 4 LAYERS OF 5/8" TH. DRYWALL ON THE OTHER TWO SIDES, SM. TO DETAIL 2/AB.1.
 - 4 NEW POURED IN PLACE 8" CONCRETE WALL TO ELEV. 63.10' SEE STRUCTURAL PLANS
 - 5 COLUMN 10-E: 8" CONCRETE WALL PROVIDES 2-HR. FIRE PROTECTION ON ONE SIDE, 4 LAYERS OF 5/8" TH. DRYWALL ON THE OTHER THREE SIDES, SM. TO DETAIL 2/AB.1.
 - 6 PROVIDE CARD READER AT DOOR
 - 7 ALTERNATE: PROVIDE AUTOMATIC DOOR OPERATOR
 - ◇ FOR REFERENCE TO EXISTING BUILDING PLANS ONLY

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SUBMITTAL**

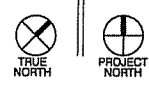
DATE OF ISSUE: 07/19/06

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FIRST FLOOR PLAN

A1.1

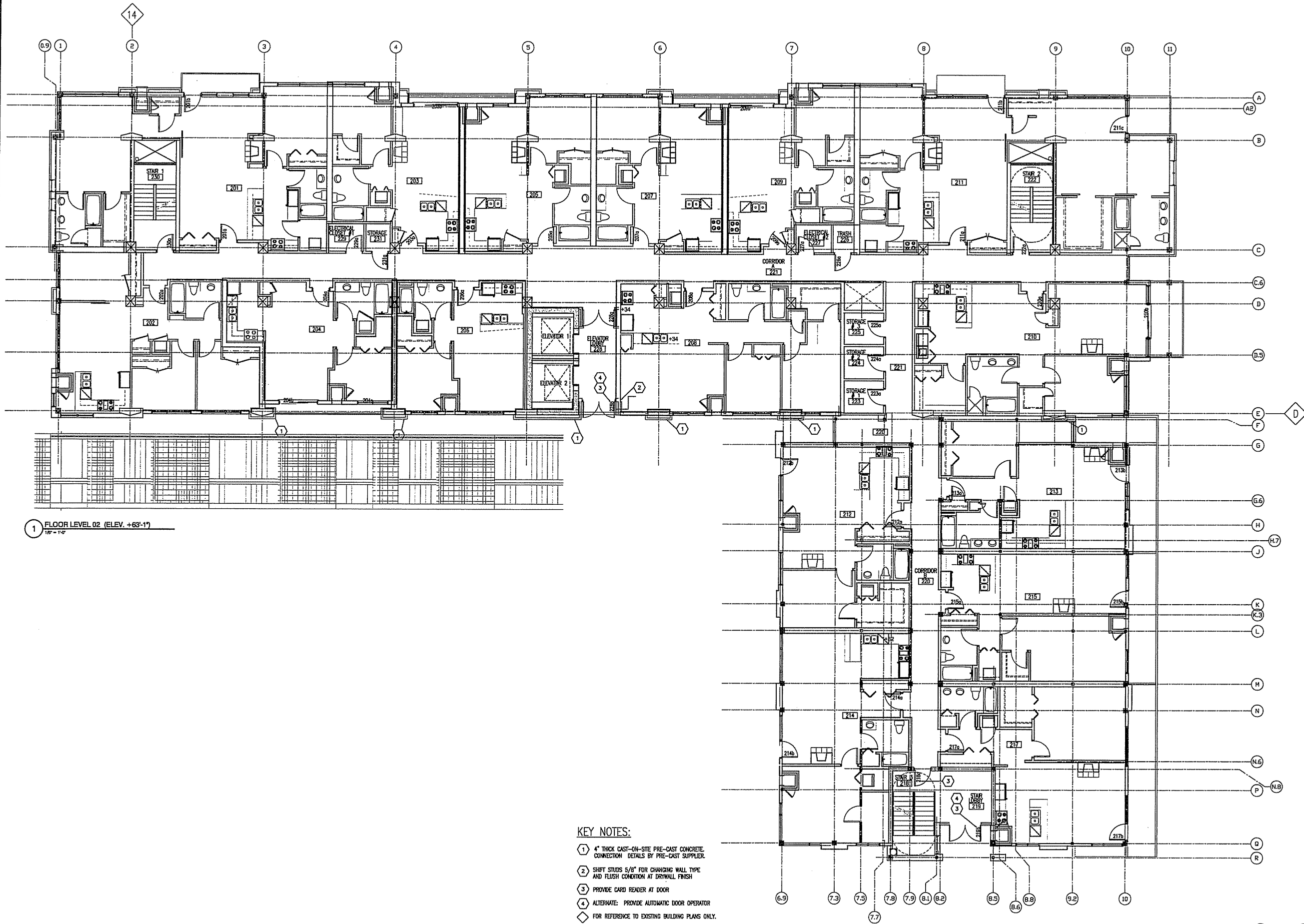


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1 FLOOR LEVEL 02 (ELEV. +63'-11")
1/8" = 1'-0"

- KEY NOTES:**
- ① 4" THICK CAST-ON-SITE PRE-CAST CONCRETE CONNECTION DETAILS BY PRE-CAST SUPPLIER.
 - ② SHIFTS STUDS 5/8" FOR CHANGING WALL TYPE AND FLUSH CONDITION AT DRYWALL FINISH
 - ③ PROVIDE CARD READER AT DOOR
 - ④ ALTERNATE: PROVIDE AUTOMATIC DOOR OPERATOR
 - ◇ FOR REFERENCE TO EXISTING BUILDING PLANS ONLY.

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DATE OF ISSUE: 07/19/06

REVISIONS:

PROJECT NO: 05091

SECOND FLOOR PLAN

A1.2

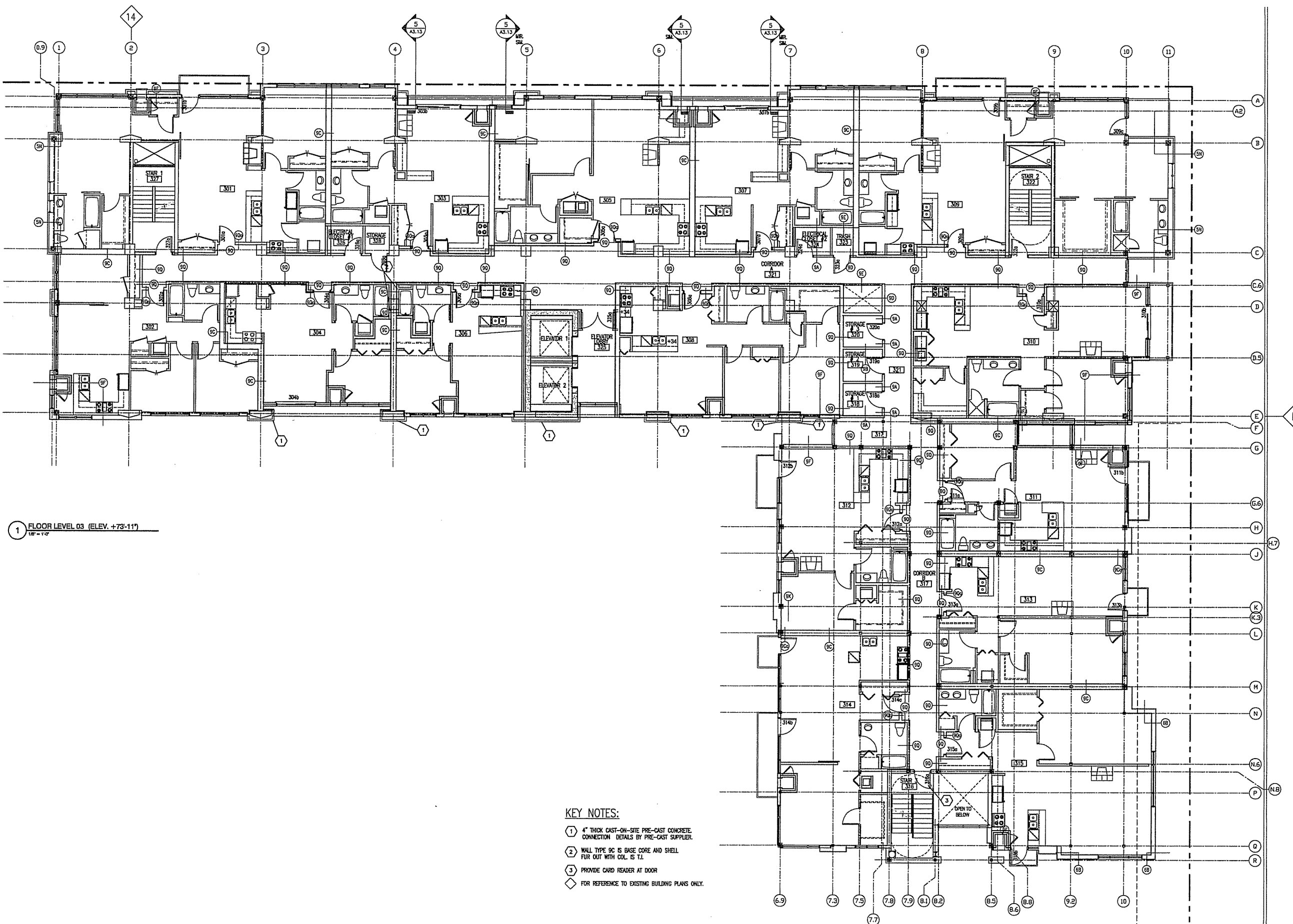


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1 FLOOR LEVEL 03 (ELEV. +73'-11")
1/8" = 1'-0"

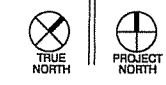
- KEY NOTES:**
- ① 4" THICK CAST-ON-SITE PRE-CAST CONCRETE CONNECTION DETAILS BY PRE-CAST SUPPLIER.
 - ② WALL TYPE SC IS BASE CORE AND SHELL FUR OUT WITH COL. IS T.L.
 - ③ PROVIDE CARD READER AT DOOR
 - ◇ FOR REFERENCE TO EXISTING BUILDING PLANS ONLY.

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THIRD FLOOR PLAN

A1.3

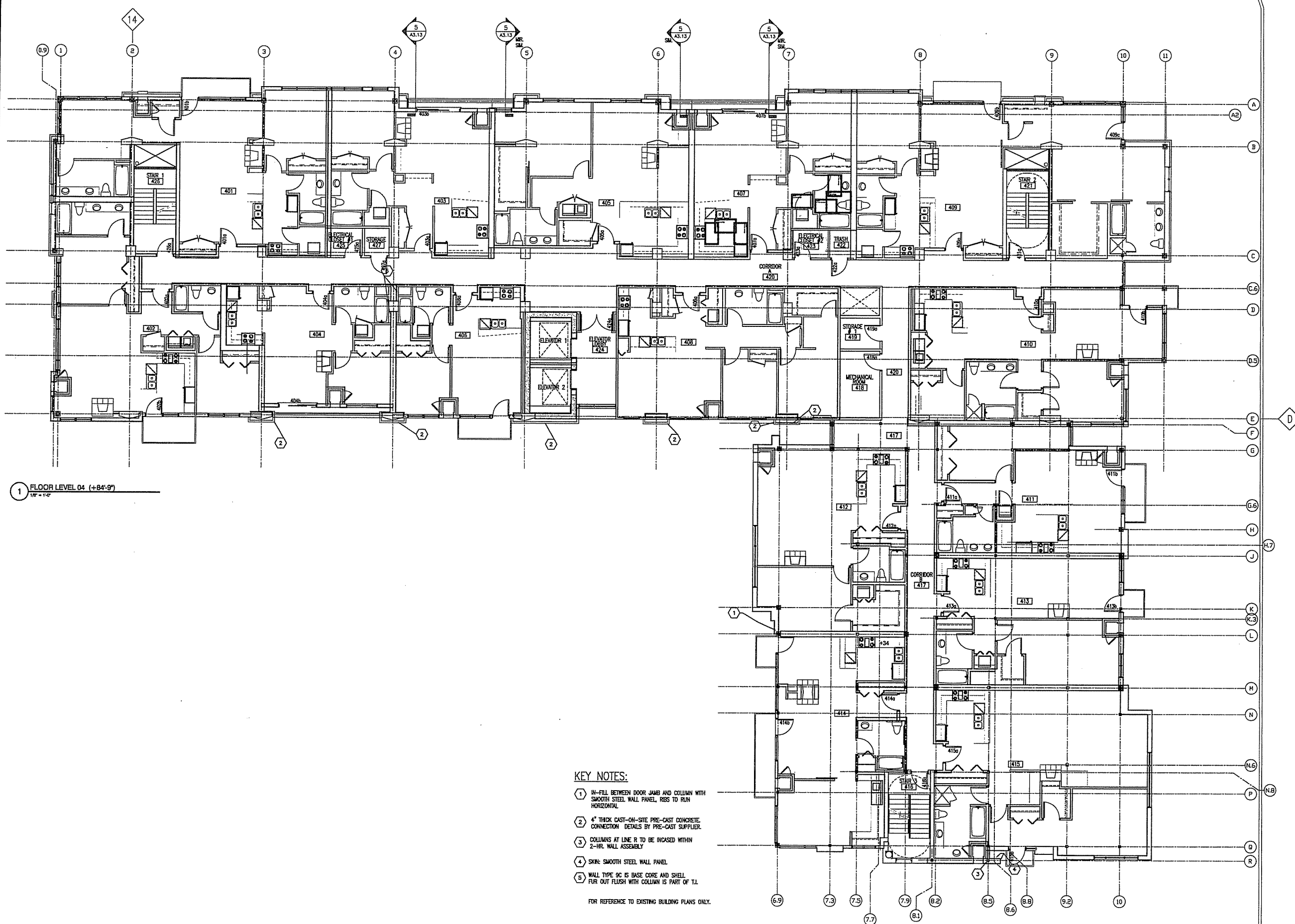


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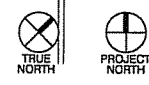
1 FLOOR LEVEL 04 (+84'-9")
1/8" = 1'-0"

- KEY NOTES:**
- ① IN-FILL BETWEEN DOOR JAMB AND COLUMN WITH SMOOTH STEEL WALL PANEL. RIBS TO RUN HORIZONTAL.
 - ② 4" THICK CAST-ON-SITE PRE-CAST CONCRETE CONNECTION DETAILS BY PRE-CAST SUPPLIER.
 - ③ COLUMNS AT LINE R TO BE INCASED WITHIN 2-HR. WALL ASSEMBLY.
 - ④ SKIN: SMOOTH STEEL WALL PANEL.
 - ⑤ WALL TYPE 9C IS BASE CORE AND SHELL. FUR OUT FLUSH WITH COLUMN IS PART OF T.I.
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FOURTH FLOOR PLAN



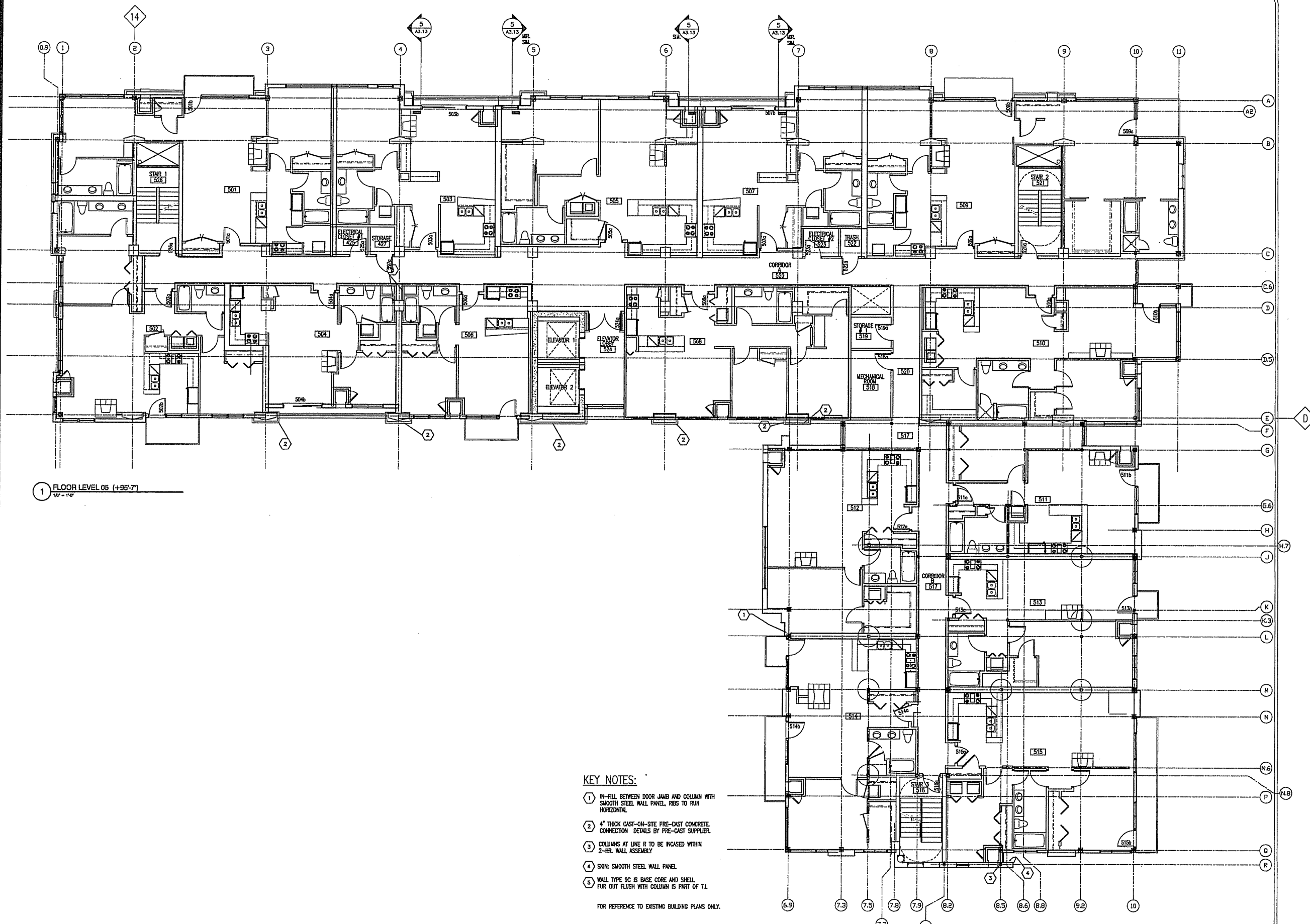
A1.4

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1 FLOOR LEVEL 05 (+95'-7")
1/8" = 1'-0"

- KEY NOTES:**
- ① IN-FILL BETWEEN DOOR JAMB AND COLUMN WITH SMOOTH STEEL WALL PANEL. RES TO RUN HORIZONTAL.
 - ② 4" THICK CAST-ON-SITE PRE-CAST CONCRETE CONNECTION DETAILS BY PRE-CAST SUPPLIER.
 - ③ COLUMNS AT LINE R TO BE INCASED WITHIN 2-HR. WALL ASSEMBLY.
 - ④ SKIN: SMOOTH STEEL WALL PANEL.
 - ⑤ WALL TYPE 9C IS BASE CORE AND SHELL. FUR OUT FLUSH WITH COLUMN IS PART OF T.I.

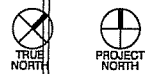
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FIFTH FLOOR PLAN

A1.5

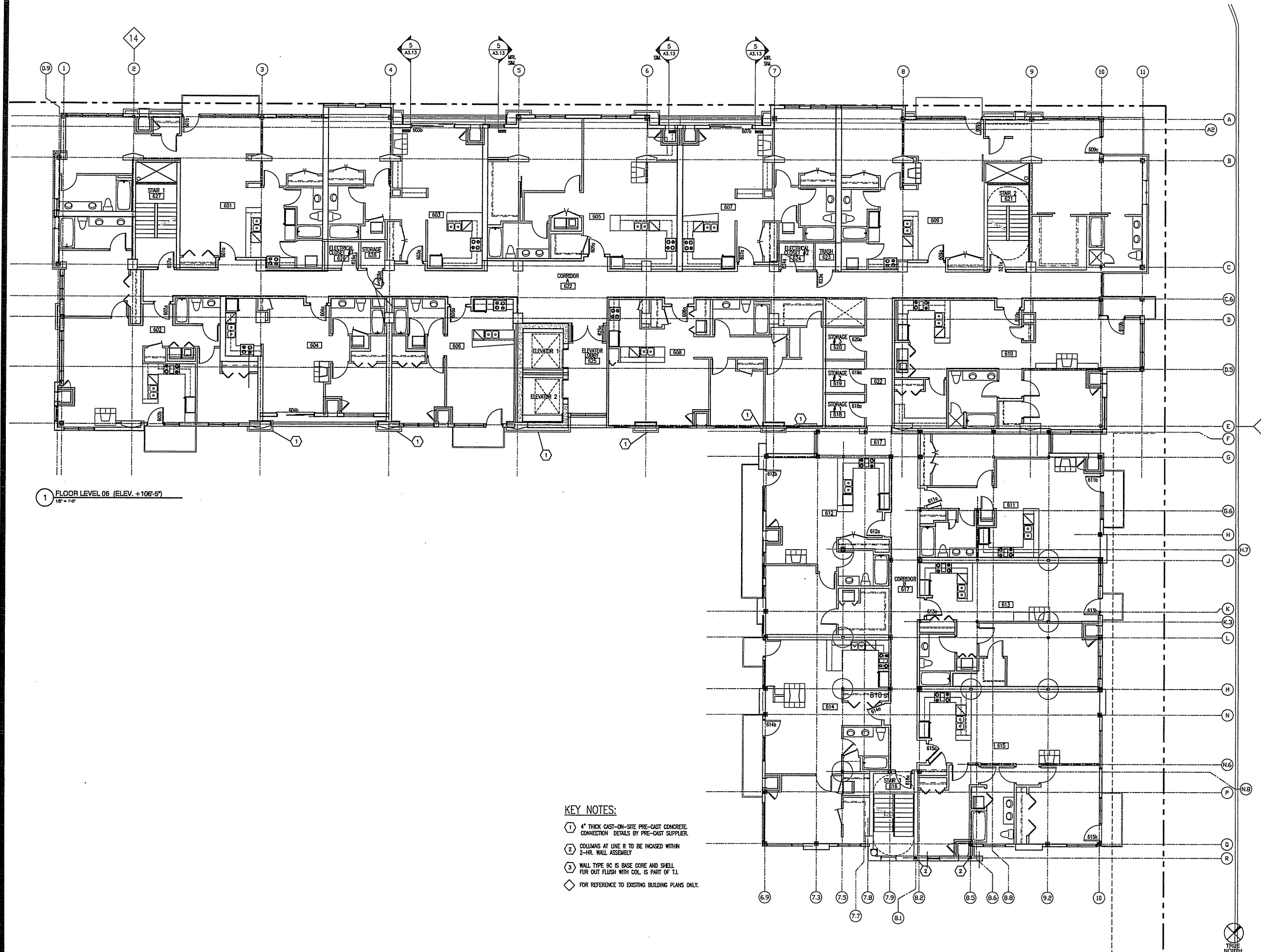


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1 FLOOR LEVEL 06 (ELEV. +106'-5")
1/8" = 1'-0"

KEY NOTES:

- ① 4" THICK CAST-ON-SITE PRE-CAST CONCRETE CONNECTION DETAILS BY PRE-CAST SUPPLIER.
- ② COLUMNS AT LINE R TO BE INCASED WITHIN 2-HR. WALL ASSEMBLY
- ③ WALL TYPE 9C IS BASE CORE AND SHELL. FUR OUT FLUSH WITH COL. IS PART OF T.I.
- ◇ FOR REFERENCE TO EXISTING BUILDING PLANS ONLY.

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SIXTH FLOOR PLAN

A1.6

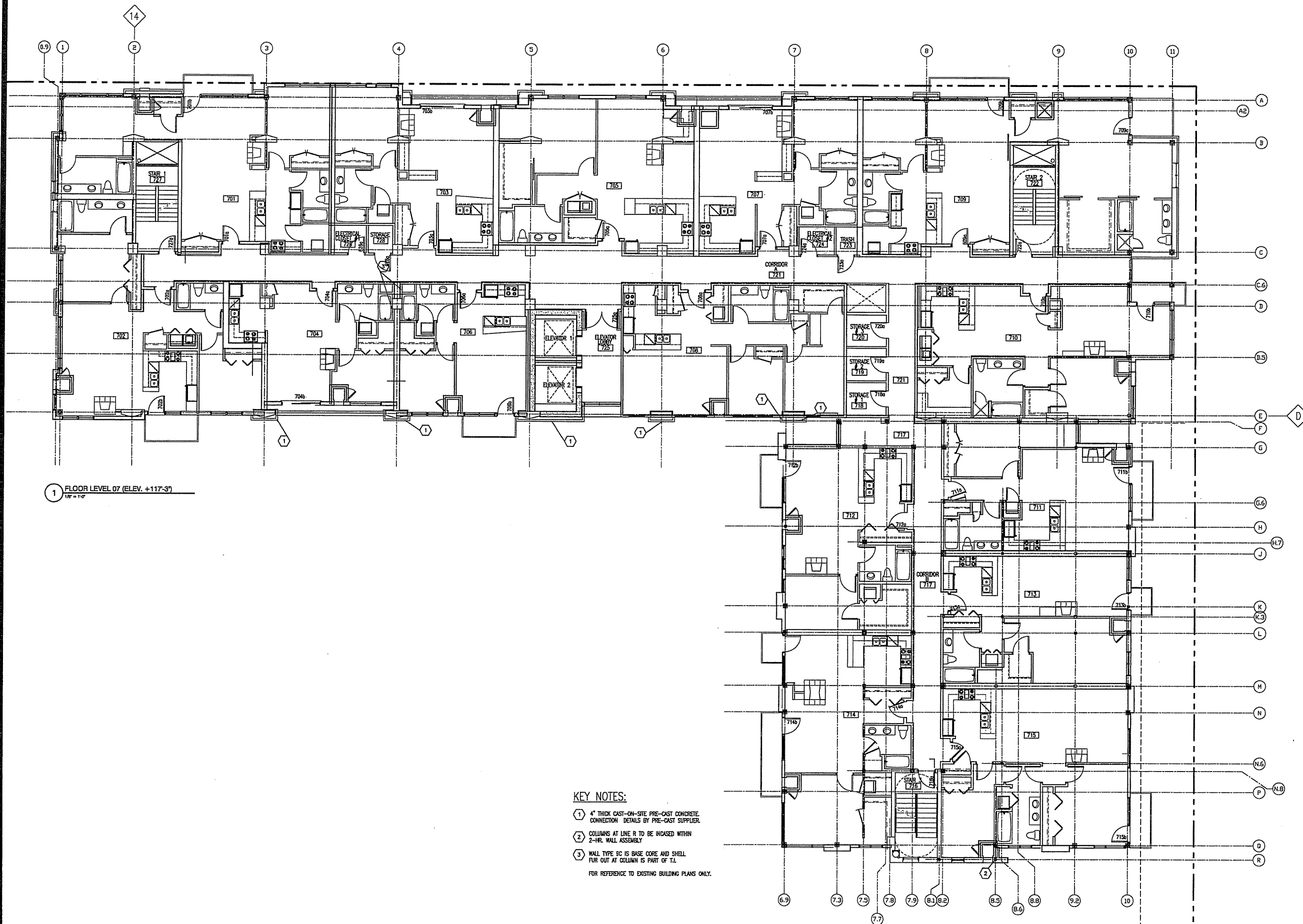


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1 FLOOR LEVEL 07 (ELEV. +117'-3")
1/8" = 1'-0"

KEY NOTES:

- 1 4" THICK CAST-IN-SITE PRE-CAST CONCRETE CONNECTION DETAILS BY PRE-CAST SUPPLIER.
- 2 COLUMNS AT LINE R TO BE HOUSED WITHIN 2-HR. WALL ASSEMBLY.
- 3 WALL TYPE 9C IS BASE CORE AND SHELL. FUR OUT AT COLUMN IS PART OF T.I.

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SEVENTH FLOOR PLAN

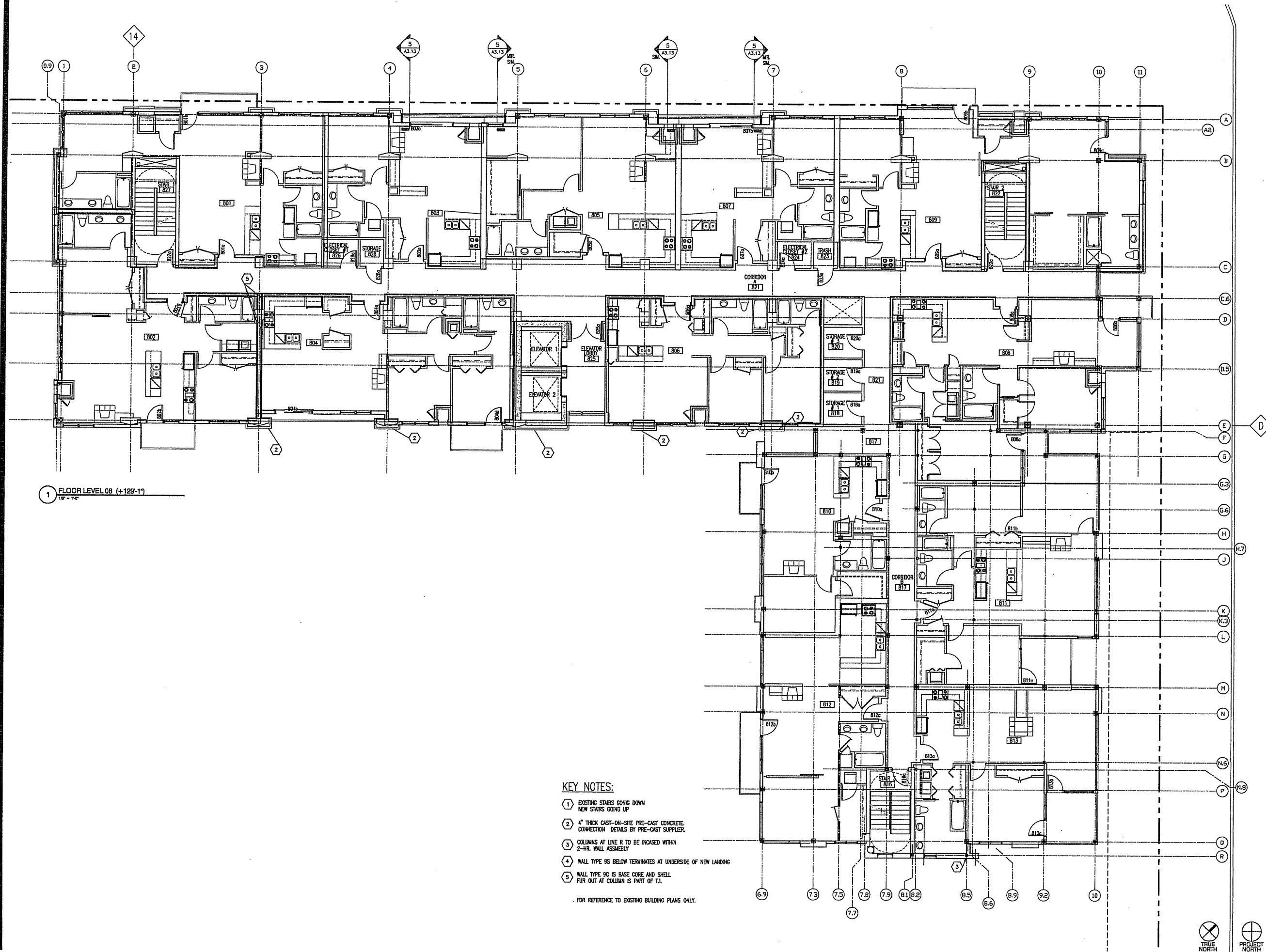
TRUE NORTH PROJECT NORTH **A1.7**

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1 FLOOR LEVEL 08 (+129'-1")
1/8" = 1' = 0"

KEY NOTES:

- 1 EXISTING STAIRS GOING DOWN
NEW STAIRS GOING UP
- 2 4" THICK CAST-IN-SITE PRE-CAST CONCRETE CONNECTION DETAILS BY PRE-CAST SUPPLIER.
- 3 COLLUMNS AT LINE R TO BE INCASD WITHIN 2-HR. WALL ASSEMBLY
- 4 WALL TYPE 9S BELOW TERMINATES AT UNDERSIDE OF NEW LANDING
- 5 WALL TYPE 9C IS BASE CORE AND SHELL. FUR OUT AT COLUMN IS PART OF T.I.

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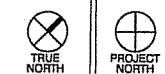
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EIGHTH FLOOR PLAN

A1.8

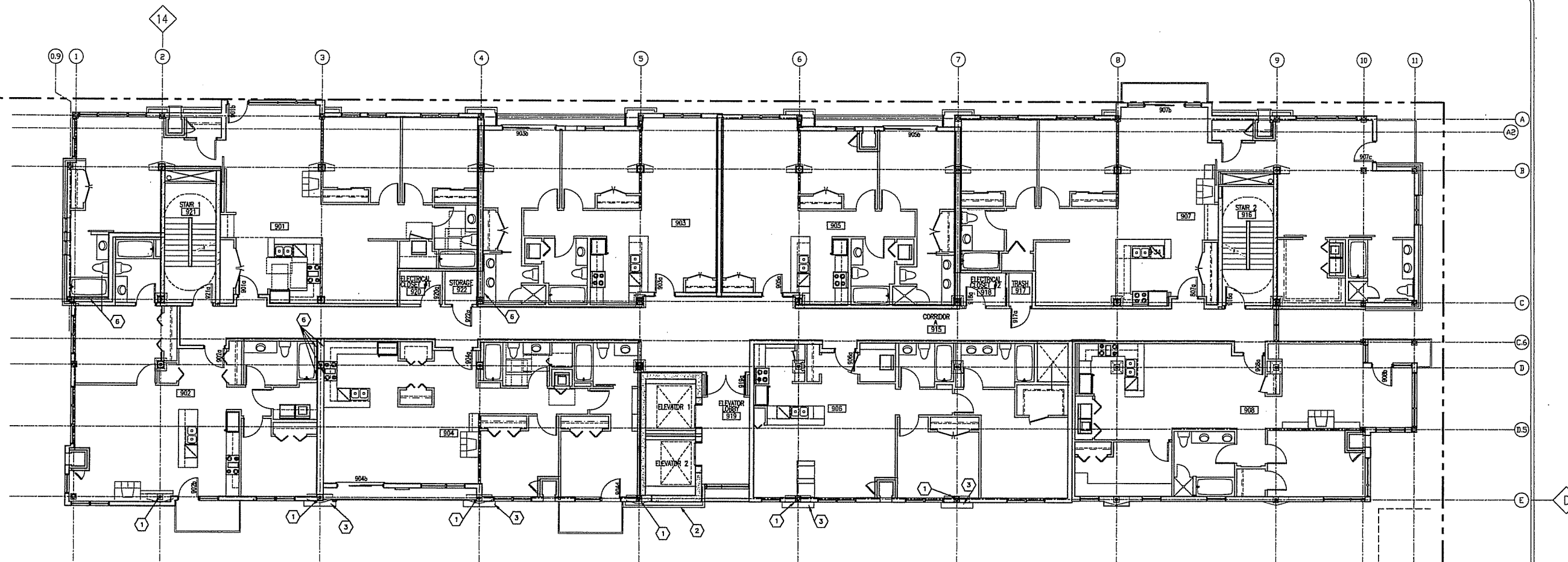


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1 FLOOR LEVEL 09 (ELEV. +140'-9")
1/8" = 1'-0"

KEY NOTES:

- 1 PAINT BASE PLATE AND EXPOSED ANCHOR BOLTS WITH INTUMESCENT PAINT AT COLUMNS F(2-7)
- 2 4" THICK CAST-ON-SITE PRE-CAST CONCRETE CONNECTION DETAILS BY PRE-CAST SUPPLIER.
- 3 COLUMN COVER BELOW
- 4 COLUMNS AT LINE R TO BE INCASD WITHIN 2-HR. WALL ASSEMBLY
- 5 SHIPS LADDER TO ROOF HATCH ABOVE
- 6 FLUR OUT FLUSH WITH COLUMN WRAP IS R.L.C. - PART OF T.I.

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NINTH FLOOR PLAN



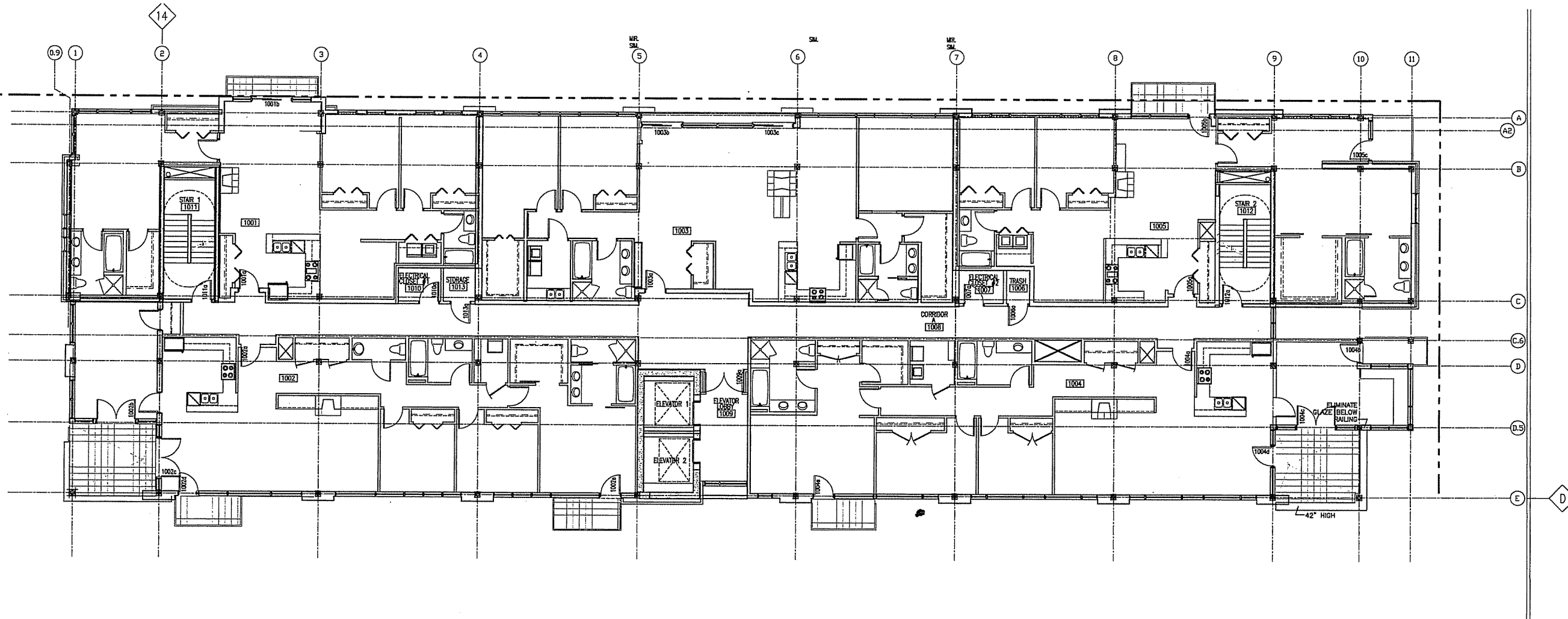
A1.9

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1 FLOOR LEVEL 10 (ELEV. +152'-5")
1/8" = 1'-0"

KEY NOTES:
◇ FOR REFERENCE TO EXISTING BUILDING PLANS ONLY.

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TENTH FLOOR PLAN



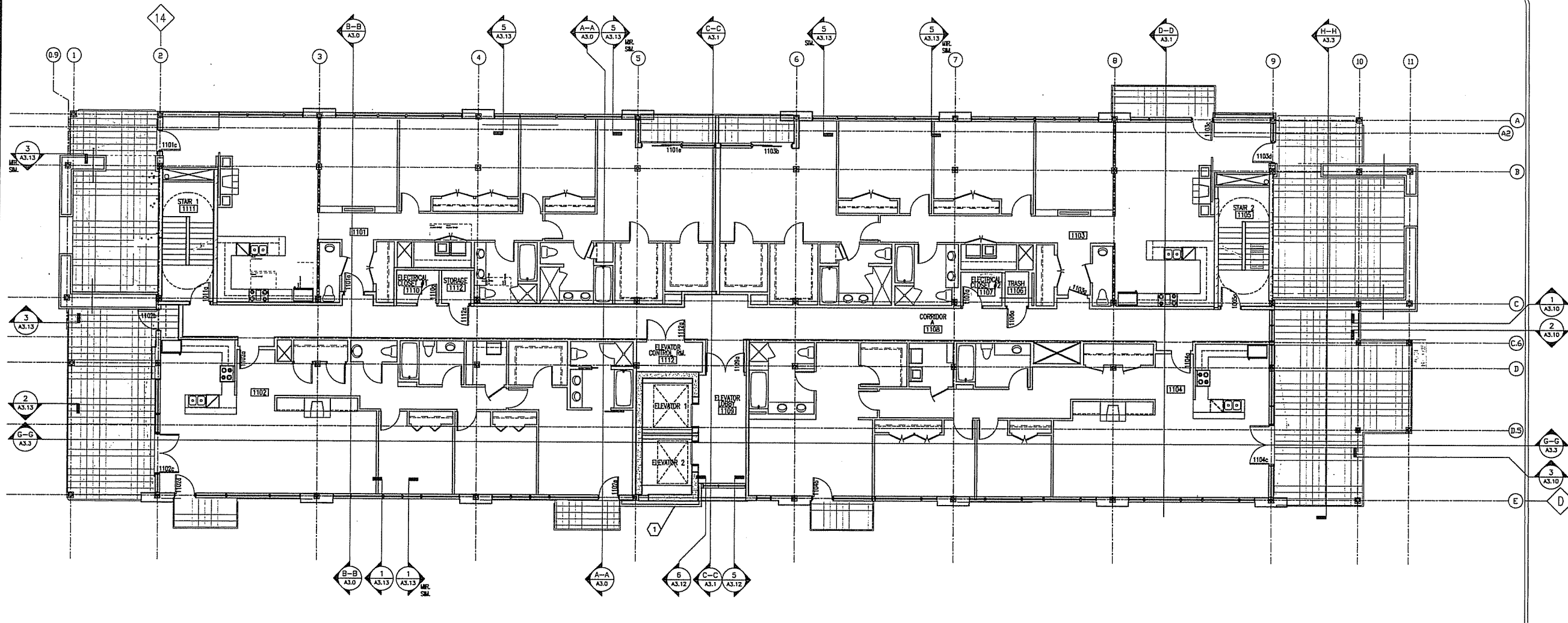
A1.10

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1 FLOOR LEVEL 11 (ELEV. 164' - 9 1/8")
1/8" = 1'-0"

- KEY NOTES:**
- ① 4" THICK CAST-ON-SITE PRE-CAST CONCRETE CONNECTION DETAILS BY PRE-CAST SUPPLIER.
 - ② 8" GROUND-FACE CMU AT EAST SIDE OF STAIR FROM ELEV. 151'-5 1/8" TO TOP OF CMU WALL GROUND-FACE SIDE SHALL BE ON THE TERRACE SIDE OF THE CMU
 - ③ SHIP'S LADDER TO ROOF HATCH
- FOR REFERENCE TO EXISTING BUILDING PLANS ONLY.

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ELEVENTH
FLOOR PLAN

A1.11

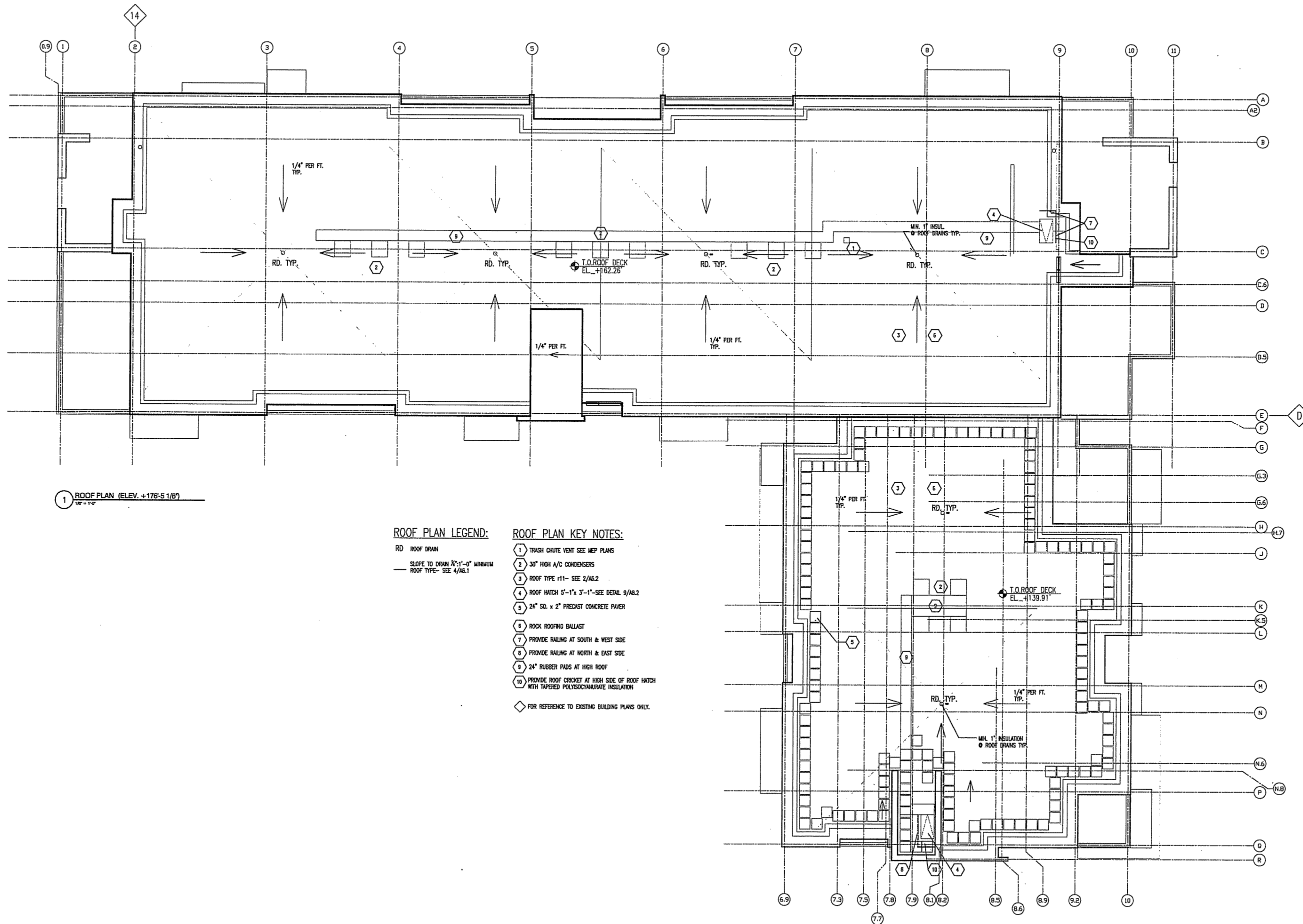


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1 ROOF PLAN (ELEV. +176-5 1/8")
1/8" = 1'-0"

ROOF PLAN LEGEND:
RD ROOF DRAIN
SLOPE TO DRAIN 1/4"=1'-0" MINIMUM
ROOF TYPE- SEE 4/A6.1

- ROOF PLAN KEY NOTES:**
- 1 TRASH CHUTE VENT SEE MEP PLANS
 - 2 30" HIGH A/C CONDENSERS
 - 3 ROOF TYPE r11- SEE 2/A6.2
 - 4 ROOF HATCH 5'-1" x 3'-1" SEE DETAIL 9/A6.2
 - 5 24" SQ. x 2" PRECAST CONCRETE PAVER
 - 6 ROCK ROOFING BALLAST
 - 7 PROVIDE RAILING AT SOUTH & WEST SIDE
 - 8 PROVIDE RAILING AT NORTH & EAST SIDE
 - 9 24" RUBBER PADS AT HIGH ROOF
 - 10 PROVIDE ROOF CRICKET AT HIGH SIDE OF ROOF HATCH WITH TAPERED POLYISOCYANURATE INSULATION
 - ◇ FOR REFERENCE TO EXISTING BUILDING PLANS ONLY.

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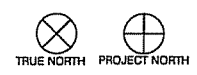
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ROOF PLAN

A1.12

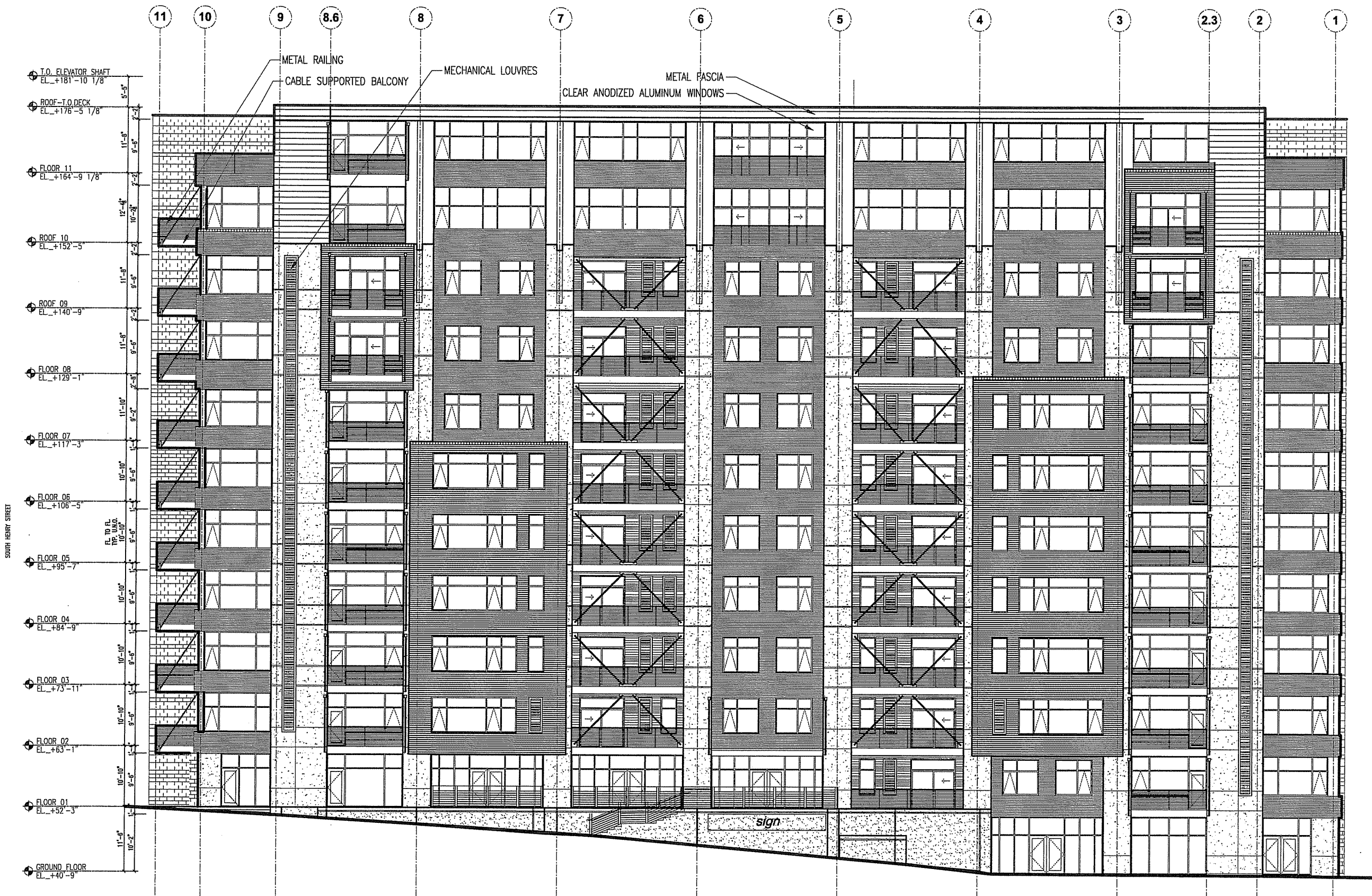


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NORTH ELEVATION

A2.0

WINDOW GLAZING LEGEND

CLEAR - [Symbol]
SPANDREL - [Symbol]

MATERIAL LEGEND

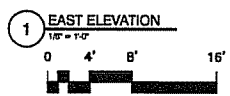
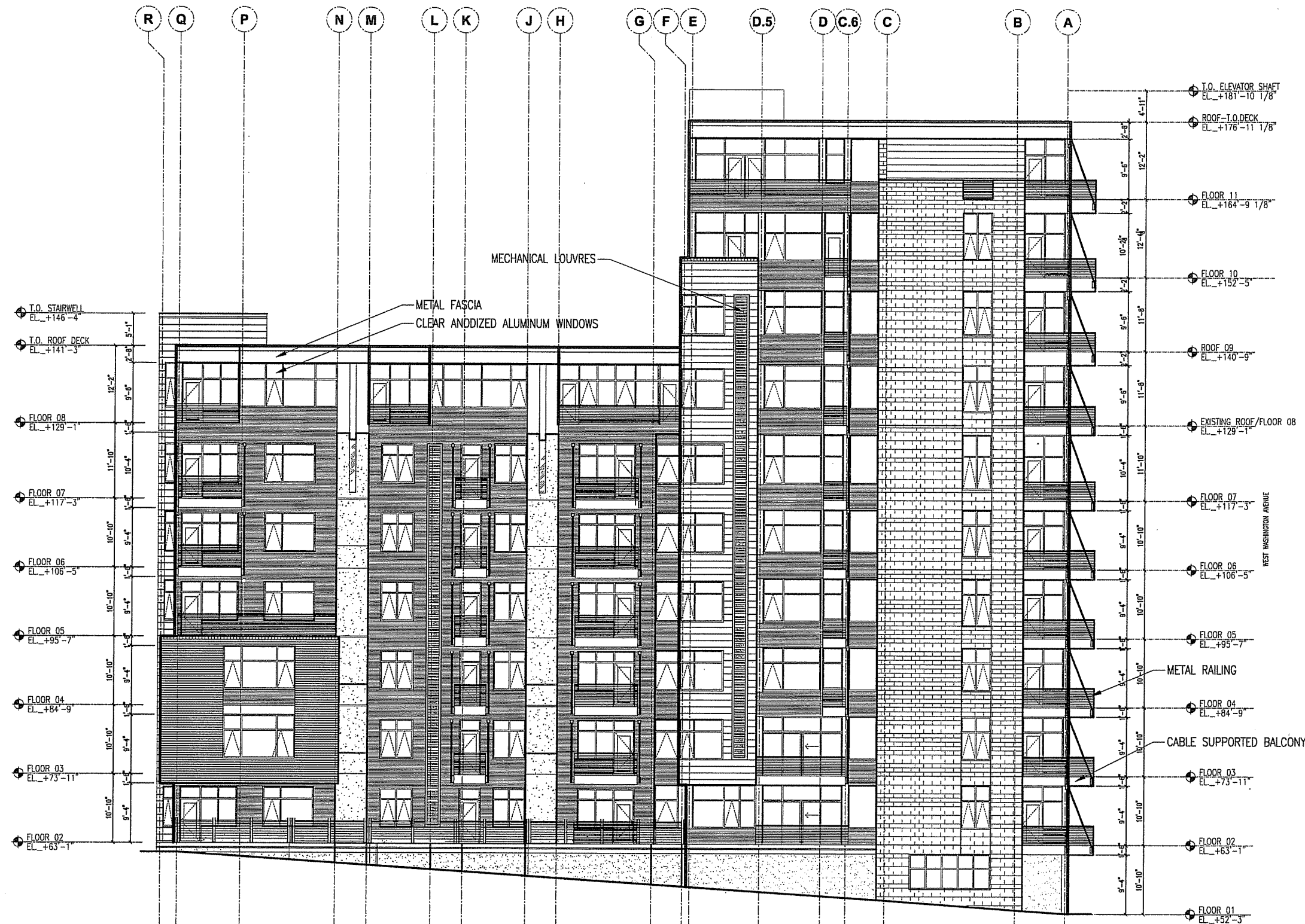
CONCRETE - [Symbol]
GROUND FACE CMU BLOCK - [Symbol]
CURVED CORRUGATED METAL - [Symbol]
RECTANGULAR CORRUGATED METAL - [Symbol]
SMOOTH METAL - [Symbol]

DIMENSION IV MADISON

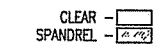
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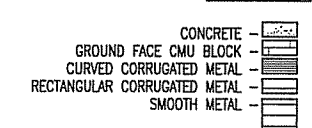
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WINDOW GLAZING LEGEND



MATERIAL LEGEND



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EAST ELEVATION

EAST ELEVATION

EAST ELEVATION

EAST ELEVATION

EAST ELEVATION

EAST ELEVATION

EAST ELEVATION

EAST ELEVATION

EAST ELEVATION

A2.1

DIMENSION IV MADISON

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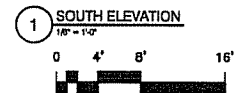
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SOUTH ELEVATION



WINDOW GLAZING LEGEND

CLEAR -

SPANDREL -

MATERIAL LEGEND

CONCRETE -

GROUND FACE CMU BLOCK -

CURVED CORRUGATED METAL -

RECTANGULAR CORRUGATED METAL -

SMOOTH METAL -

A2.2

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WEST WASHINGTON AVENUE

ROOF-10 DECK
EL. +176'-5 1/8"

FLOOR 11
EL. +164'-9 1/8"

FLOOR 10
EL. +152'-5"

ROOF 09
EL. +140'-9"

FLOOR 08
EL. +129'-1"

FLOOR 07
EL. +117'-3"

FLOOR 06
EL. +106'-5"

FLOOR 05
EL. +95'-7"

FLOOR 04
EL. +84'-9"

FLOOR 03
EL. +73'-11"

FLOOR 02
EL. +63'-1"

FLOOR 01
EL. +52'-3"

GROUND FLOOR
EL. +40'-9"

1 WEST ELEVATION
1/8" = 1'-0"

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WINDOW GLAZING LEGEND

CLEAR - [Symbol]
SPANDREL - [Symbol]

MATERIAL LEGEND

CONCRETE - [Symbol]
GROUND FACE CMU BLOCK - [Symbol]
CURVED CORRUGATED METAL - [Symbol]
RECTANGULAR CORRUGATED METAL - [Symbol]
SMOOTH METAL - [Symbol]

WEST ELEVATION

A2.3

