

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

1/19/26 11:21 p.m.

Date Received _____ Initial Submittal

Paid _____ Revised Submittal

Complete all sections of this application, including the desired meeting date and the action requested. If your project requires both UDC and Land Use application submittals, a completed Land Use Application and accompanying submittal materials are also required to be submitted.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the Planning Division at (608) 266-4635.

Si necesita interprete, traductor, materiales en diferentes formatos, u otro tipo de ayuda para acceder a estos formularios, por favor llame al (608) 266-4635.

Yog tias koj xav tau ib tug neeg txhais lus, tus neeg txhais ntawv, los sis xav tau cov ntaub ntawv ua lwm horntawv los sis lwm cov kev pab kom paub txog cov lus qhia no, thov hu rau Koog Npaj (Planning Division) (608) 266-4635.

1. Project Information

Address (list all addresses on the project site): 5817 HALLEY WAY, MADISON, WI 53718

Title: CAPITAL VIEW APARTMENTS

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested FEBRUARY 4, 2026

- New development Alteration to an existing or previously-approved development
 Informational Initial Approval Final Approval

3. Project Type

- Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex

Signage

- Comprehensive Design Review (CDR)
 Modifications of Height, Area, and Setback
 Sign Exceptions as noted in Sec. 31.043(3), MGO

Other

- Please specify

4. Applicant, Agent, and Property Owner Information

Applicant name Scott Frank

Company Oak Park Place

Street address 719 Jupiter Drive

City/State/Zip Madison, WI 53718

Telephone 608-663-6800

Email sfrank@oakparkplace.com

Project contact person Bradley R. Servin

Company Architectural Design Consultants, Inc.

Street address 5100 Eastpark Blvd. Suite 310

City/State/Zip Madison, WI 53718

Telephone 608-254-6181

Email b.servin@adcidesign.com

Property owner (if not applicant) _____

Street address _____

Telephone _____

City/State/Zip _____

Email _____

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. A request for an Informational Presentation to the UDC may be requested prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design efforts. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Modification requests)
- Initial Approval. Applicants may, at their discretion, request Initial Approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the Initial Approval must be addressed at this time.

Presentations to the Commission

The Urban Design Commission meets virtually via Zoom, typically on the second and fourth Wednesdays of each month at 4:30 p.m. Applicant presentations are strongly encouraged, although not required. Prior to the meeting, each individual speaker is required to complete an online registration form to speak at the meeting. A link to complete the online registration will be provided by staff prior to the meeting. Please note that individual presentations will be limited to a **maximum of three (3) minutes**. The pooling of time may be utilized to provide one speaker more time to present, however the additional time will be based on the number of registrants from the applicant team, i.e. two (2) applicant registrants = six (6) minutes for one (1) speaker.

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics. Please note that presentation slides, in a PDF file format, are required to be submitted **the Friday before** the UDC meeting.

The items listed below are minimum application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1" = 40' or larger

*** All plans must be legible, including the full-sized landscape and lighting plans (if required)*

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides, including material and color callouts
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), plus:

- Grading Plan
- Lighting Plan, including fixture cut sheets and photometrics plan (must be legible)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- Site Plan showing site amenities, fencing, trash, bike parking, etc. (if applicable)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials
- Proposed sign areas and types (if applicable)

4. Signage Approval (*Comprehensive Design Review (CDR), Sign Modifications, and Sign Exceptions (per Sec. 31.043(3))*

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Modifications criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

5. Required Submittal Materials

Application Form

- A completed application form is required for each UDC appearance. For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (Initial or Final Approval) from the UDC.

Letter of Intent

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required.
- For signage applications, a summary of how the proposed signage is consistent with the applicable Comprehensive Design Review (CDR) or Signage Modification review criteria is required.

Development Plans (Refer to checklist on Page 4 for plan details)

Filing Fee (Refer to Section 7 (below) for a list of application fees by request type)

Electronic Submittal

- Complete electronic submittals must be received prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. All plans must be legible and scalable when reduced. Individual PDF files of each item submitted should be submitted via email to UDCappllications@cityofmadison.com. The email must include the project address, project name, and applicant name.
- Email Size Limits. Note that an individual email cannot exceed 20MB and it is the responsibility of the applicant to present files in a manner that can be accepted. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

Notification to the District Alder

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Jessica Vaughn - Chris Wells - Jenny Kirchgatter on Jan 7, 2026.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Scott Frank

Relationship to property Owner

Authorizing signature of property owner Scott Frank

Date 12/15/25

7. Application Filing Fees

Fee payments are due by the submittal date. Payments received after the submittal deadline may result in the submittal being scheduled for the next application review cycle. Fees may be paid in-person, via US Mail, or City drop box. If mailed, please mail to: *City of Madison Building Inspection, P.O. Box 2984, Madison, WI 53701-2984*. The City's drop box is located outside the Municipal Building at 215 Martin Luther King, Jr. Blvd. on the E Doty Street side of the building. Please make checks payable to *City Treasurer*, and include a completed application form or cover letter indicating the project location and applicant information with all checks mailed or submitted via the City's drop box.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (*per §33.24(6) MGO*).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (*per §33.24(6)(b) MGO*)
- Comprehensive Design Review: \$500 (*per §31.041(3)(d)(1)(a) MGO*)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (*per §31.041(3)(d)(1)(c) MGO*)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for Sign Modifications (of height, area, and setback), and additional sign code approvals: \$300 (*per §31.041(3)(d)(2) MGO*)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

CAPITOL VIEW AT OAK PARK

Letter of Intent

To: The City of Madison Planning Office

The attached submittal was originally submitted in 2021 and received approval from the Common Council on January 12, 2022. In the aftermath of that approval, the project was placed on hold due to the impacts of the COVID outbreak, rising interest rates, and increasing inflation. The developer has since revisited and refined the building program and is now prepared to move forward. Following recent discussions with UDC Coordinator Jessica Vaughn and City Planners Chris Wells and Jenny Kirchkatter, we have been advised that the proposed modifications will require resubmittal to the UDC, as well as a resubmittal to Planning as a minor alteration. The site plan, landscape plan, building footprint, and exterior materials remain essentially the same. As a result of adding amenities to the first floor. Units have been relocated to the second and third floor increasing the building floor area mass. The minor modifications for which we are seeking approval are:

- Unit quantity and mix
 - 2021 Approval included a total of 94 units (52 two bedrooms & 42 one bedrooms)
 - Current submittal includes 97 units (96 two bedroom units and 1 one bedroom guest suite)
- Modifications to balcony
 - Modifications from a mix of one bedroom units and two bedroom units required modifications to balcony location throughout the plan. Dimensions of balconies remains relatively the same (8' x 15')
- Exterior window locations
 - In General typical unit windows have remained the same dimensionally. Placement of windows reflects the unit floor plan modifications.
- Exterior material composition
 - Exterior material modifications were made to reduce the amount of wood grained aluminum siding. Exterior Materials still consist of the previously submitted palette
 - Horizontal Engineered Wood Siding (Deep Granite)
 - Vertical Board & Batten Engineered Wood Siding (Showscape White)
 - Horizontal Aluminum Siding (Dark Cherry)
 - Fond Du Lac Stone Veneer (Hamilton Dimensional)
- Relocated main entry
 - The Main Entrance to the building has been relocated from the Southeast corner of property (intersection of Gemini Dr & North Star Dr) to the interior corner along the share drive easement.
- Expanded amenities.
 - 117 climate controlled underground parking stalls,
 - Climate controlled bicycle parking common
 - gathering room with kitchen
 - pub
 - outdoor patio
 - roof top community room and terrace
 - fitness room
 - pickleball courts
 - Outdoor grilles

Capitol View at Oak Park, located in Grandview Commons, is an age restricted apartment complex to be marketed toward older adults. The density of 96 apartment and condominium units is consistent with the GDP for the proposed site. The proposal conforms to both the Grandview Commons overall development plan & the Town Center plan. We have discussed the modifications with Veridian and they have given their approval of the design.

The unchanged project goal is to offer a quality constructed and architecturally interesting housing alternative for older adults in this part of Madison.

1. The name of the project: Capitol View at Oak Park
2. Construction schedule: Spring 2026 Spring Start Construction (anticipated)
3. Description of existing conditions: Vacant infill lots in multi-family area of Grandview Commons
4. Owner: Jupiter Drive Investors, LLC – Contact: Scott Frank
5. Contractor: To be determined
6. Architect: Architectural Design Consultants, Inc. – Contact: Bradley R Servin, AIA
7. Landscape Architect: Landscape Architecture Contact: Joe Hanauer
8. Civil Engineer: Professional Engineering – Contact: Roxanne Johnson
9. Owner Representative: Hayden Frank
10. Uses of Building: Market rate apartments ranging in the size from 712 SF to 2,042 SF. The unit mix will include, 1 Guest Suite, 2 bedroom 2 bath; 2 bedroom 2 bath with den; and 2 bedroom 2.5 bath with den. The project will have covered parking for 117 cars, bicycle parking & common amenities include a gathering room with kitchen + coffee station, pub, outdoor patio, roof top community room and terrace, fitness room, and secure storage.
11. Total footprint: 208,856 SF
12. Square footage (acreage) of the site: 2.28 acres – 99,232 SF
13. Total number of dwelling units = 97 units (96 standard and one guest suite)
14. Trash Removal: Each unit owner will take their trash to a central collection point in the building. A private trash hauler will pick up trash on a regular basis.
15. Snow removal and maintenance for project: will be hired out to a private firm; therefore no equipment will be stored at the property

January 21, 2026

Brad Servin

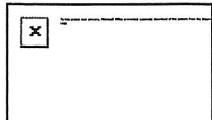
From: Hayden Frank <hfrank@oakparkplace.com>
Sent: Tuesday, October 5, 2021 9:20 AM
To: Brad Servin
Subject: FW: Notice of land use submittal - 5817 Halley Way & 5818-5830 Gemini Drive

From: Hayden Frank
Sent: Tuesday, August 24, 2021 3:14 PM
To: board@northstarmadison.org
Cc: Scott Frank <sfrank@oakparkplace.com>
Subject: Notice of land use submittal - 5817 Halley Way & 5818-5830 Gemini Drive

Dear North Star Neighborhood Association,
Please accept this email as our intent to submit land use applications for the property located at 5817 Halley Way and the property at 5818-5830 Gemini Drive.

At 5818-5830 Gemini Drive there is a proposed 12-unit townhome project and we'll be submitting a joint application for these townhomes and a 99-unit age restricted multifamily development at 5817 Halley Way. There is an informational UDC meeting scheduled for September 22nd, and we intend to submit the land use applications on October 6th, 2021. If you would like to discuss either of these projects prior to this submission we'd be happy to setup a meeting with you.

Regards,
Hayden



Hayden Frank

a: Oak Park Place | 719 Jupiter Dr, Madison | WI 53718
e: hfrank@oakparkplace.com
p: + 608-729-2910

Brad Servin

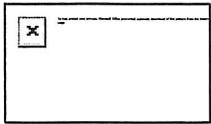
From: Hayden Frank <hfrank@oakparkplace.com>
Sent: Tuesday, August 24, 2021 2:16 PM
To: district3@cityofmadison.com
Cc: Scott Frank
Subject: Notice of land use submittal - 5817 Halley Way & 5818-5830 Gemini Drive

Categories: Filed by Newforma

Dear Alder Lindsay,

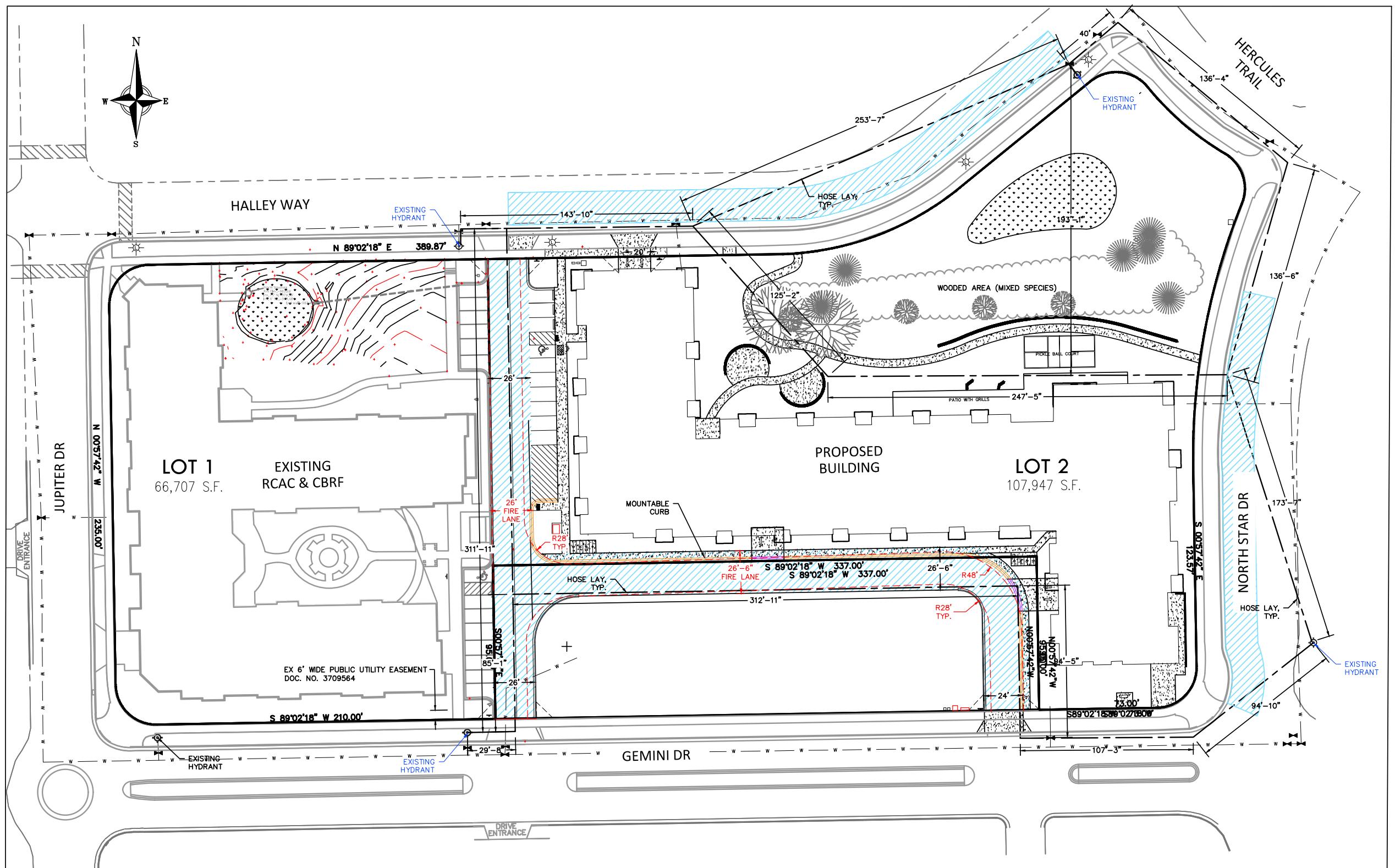
Please accept this email as our intent to submit land use applications for the property located at 5817 Halley Way and the property at 5818-5830 Gemini Drive.

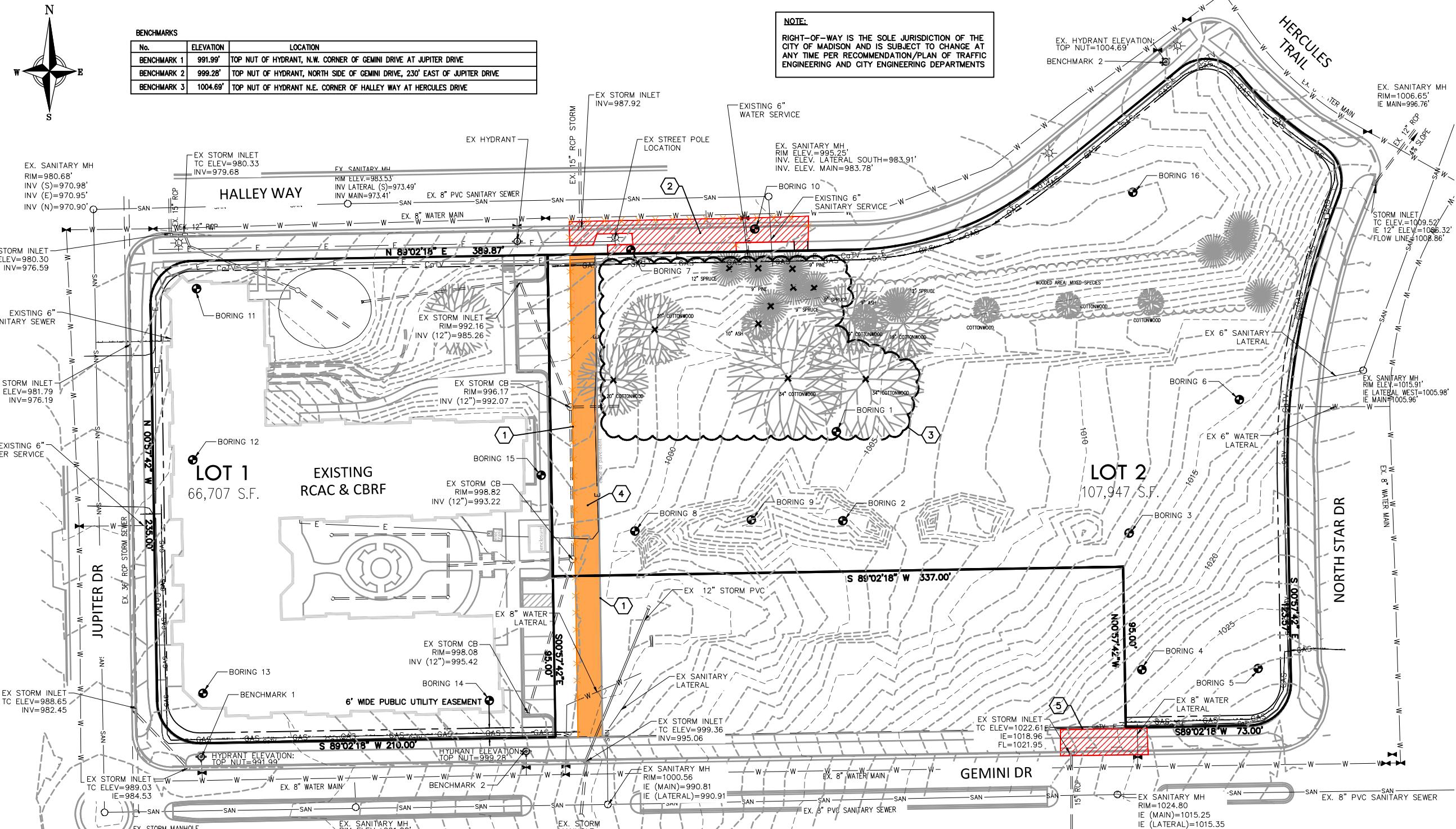
We previously discussed the 12-unit townhome project at 5818 Gemini Drive with you and we'll be submitting a joint application for these townhomes and a 99-unit age restricted multifamily development at 5817 Halley Way. There is an informational UDC meeting scheduled for September 22nd, and we intend to submit the land use applications on October 6th, 2021. If you would like to discuss either of these projects prior to this submission we'd be happy to setup a meeting with you.



Hayden Frank

a: Oak Park Place | 719 Jupiter Dr, Madison | WI 53718
e: hfrank@oakparkplace.com
p: + 608-729-2910





CLIENT
OAK PARK PLACE
PROJECT
CAPITAL VIEW APARTMENTS

MADISON, WI

DRAWN BY
K.JOHNSON
CHECKED BY
R.JOHNSON
DATE
12.11.2025
JOB NUMBER
24-102
VOLUME / BID SET

SHEET NAME
EXISTING CONDITIONS/ DEMOLITION PLAN

SHEET NUMBER

C100

Added outdoor amenity space

REVISIONS DATE

CLIENT
OAK PARK PLACE

PROJECT
CAPITOL VIEW
APARTMENTS

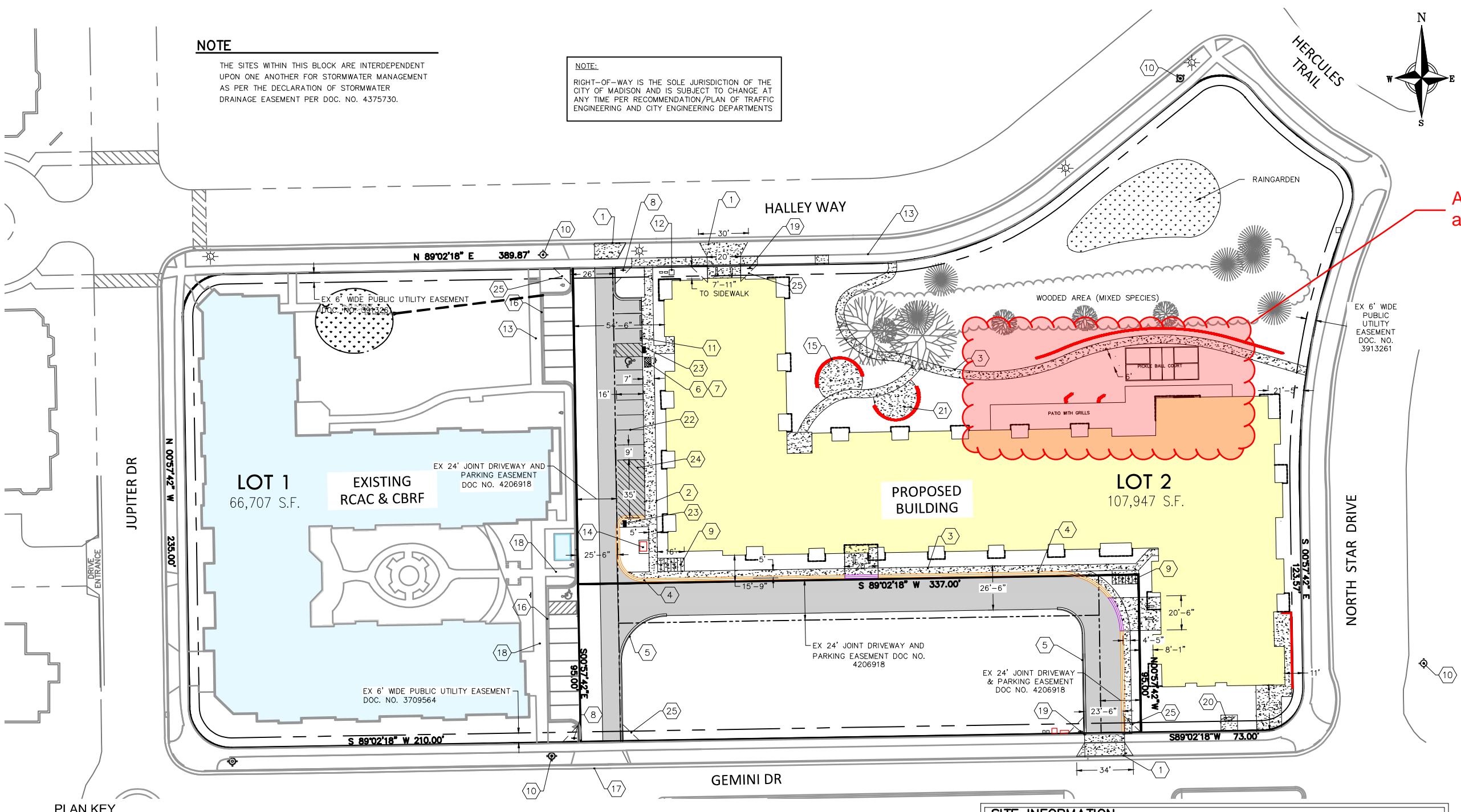
MADISON, WI

DRAWN BY
K.JOHNSON
CHECKED BY
R.JOHNSON
DATE
12.11.2025
JOB NUMBER
24-102
VOLUME / BID SET

SHEET NAME
SITE PLAN

SHEET NUMBER

C200



SITE INFORMATION

SITE ADDRESS: 5817 HALLEY WAY

LEGAL DESCRIPTION: LOT 2 OF CERTIFIED SURVEY MAP NO. 12324 AS RECORDED IN VOL. 76, PC 226, OF C.S.M.'S AS DOC. NO. 4377275, IN THE SE 1/4 AND THE SW 1/4 OF THE NW 1/4 OF SECTION 11, T7N, R10E, CITY OF MADISON, DANE COUNTY, WISCONSIN

SITE ACREAGE TOTAL: 107,947 SF (2.48 ACRES)

NUMBER OF BUILDING STORIES = 4

BUILDING HEIGHT = 56'-3"

BUILDING AREA = 208,856 SF (41,582 SF FOOTPRINT)

TYPE OF CONSTRUCTION: VA

NUMBER OF EXTERIOR PARKING STALLS: 10 (1 HC)

NUMBER OF UNDERGROUND PARKING STALLS: 117 (7 HC)

TOTAL NUMBER OF PARKING STALLS: 127 (8 HC)

TOTAL BIKE PARKING: 117
101 INTERIOR
16 EXTERIOR

EXISTING IMPERVIOUS AREA = 5,330 SF

PROPOSED IMPERVIOUS AREA = 58,914 SF

IMPERVIOUS SURFACE % = 54.6%

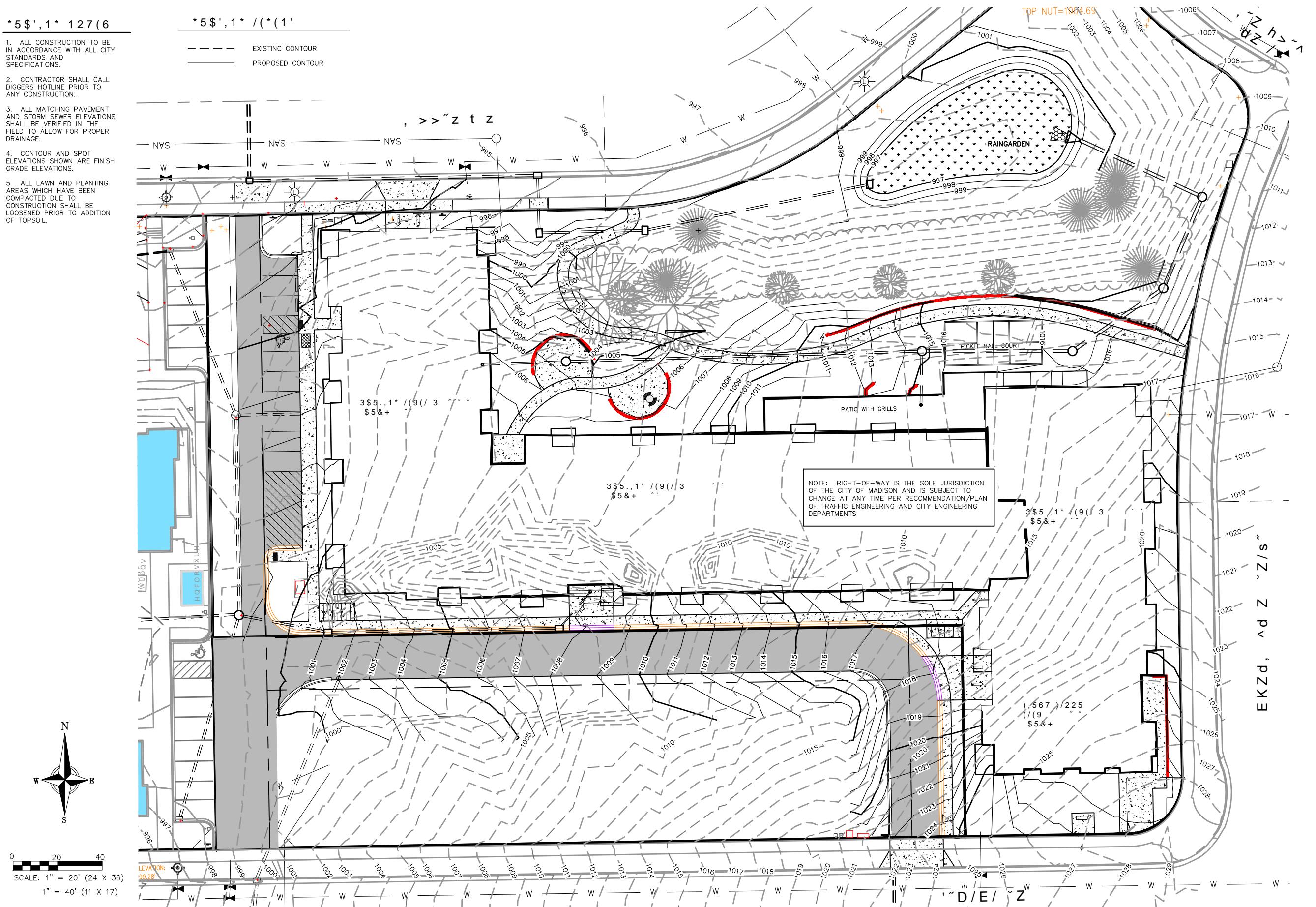
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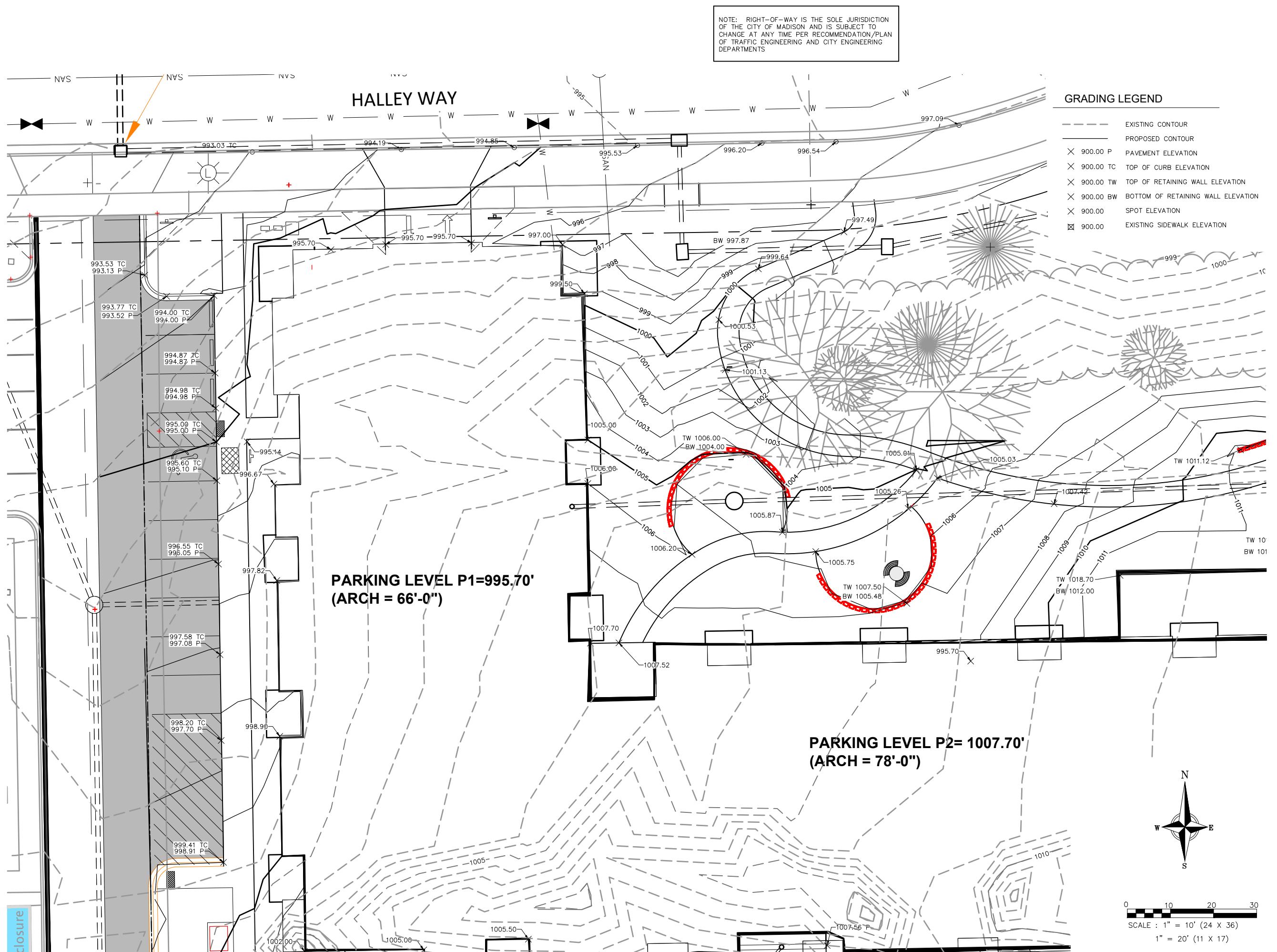
1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY STANDARDS AND SPECIFICATIONS.
 2. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
 3. ALL MATCHING PAVEMENT AND STORM SEWER ELEVATIONS SHALL BE VERIFIED IN THE FIELD TO ALLOW FOR PROPER DRAINAGE.
 4. CONTOUR AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS.
 5. ALL LAWN AND PLANTING AREAS WHICH HAVE BEEN COMPACTED DUE TO CONSTRUCTION SHALL BE LOOSENED PRIOR TO ADDITION OF TOPSOIL.

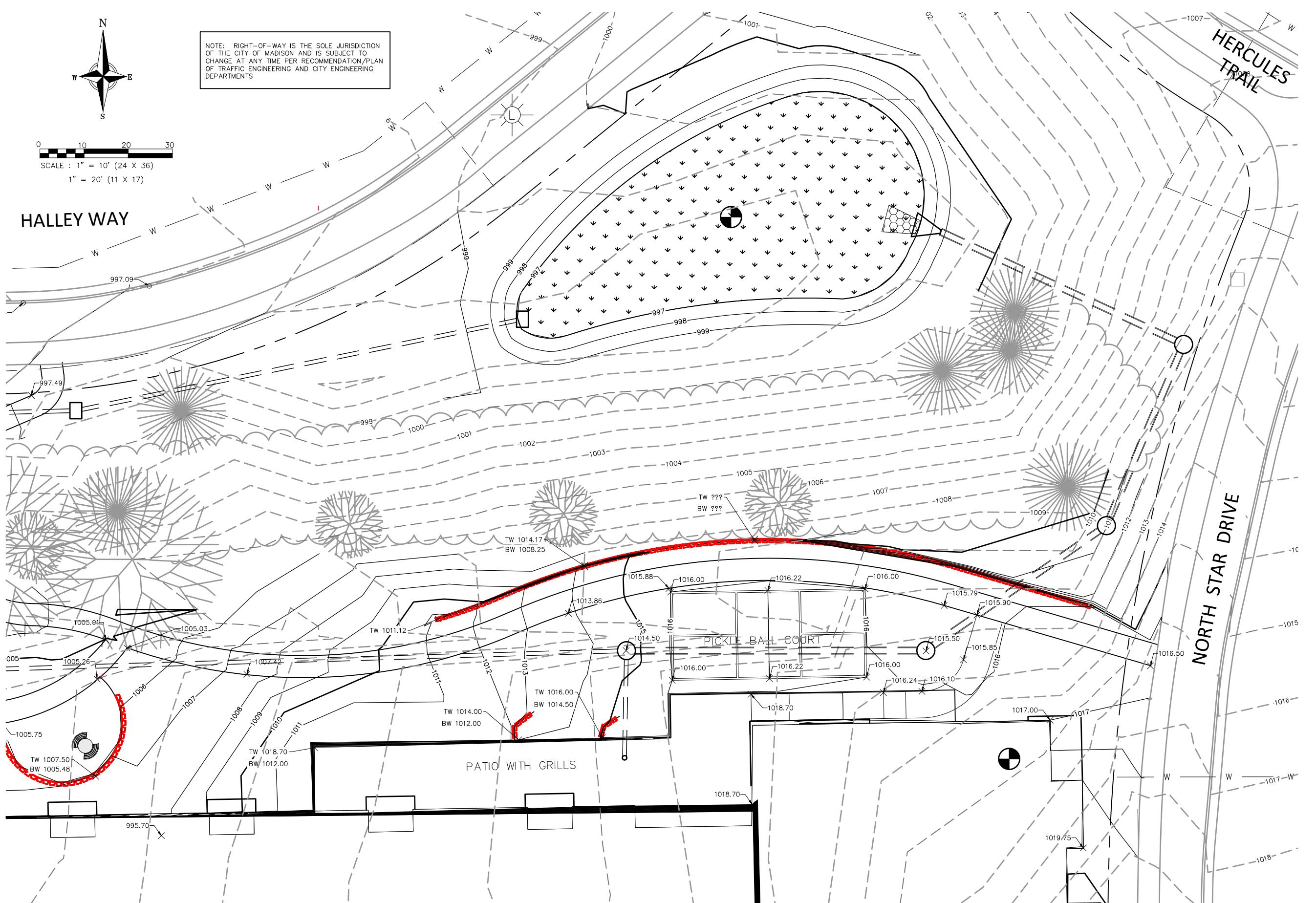
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— — — — EXISTING CONTOUR
— — — — PROPOSED CONTOUR

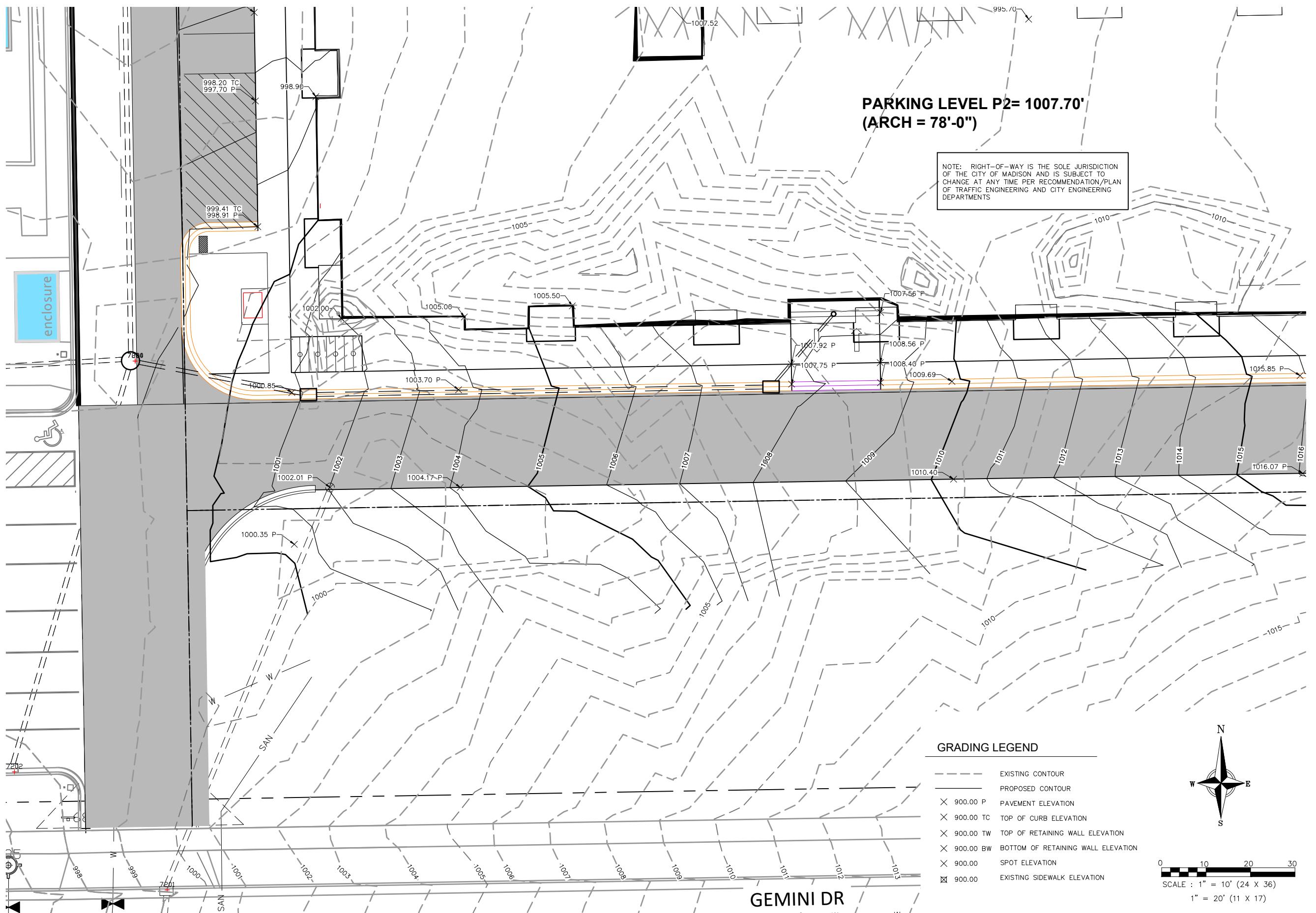


C300





C302



REVISIONS DATE

CLIENT
OAK PARK PLACE

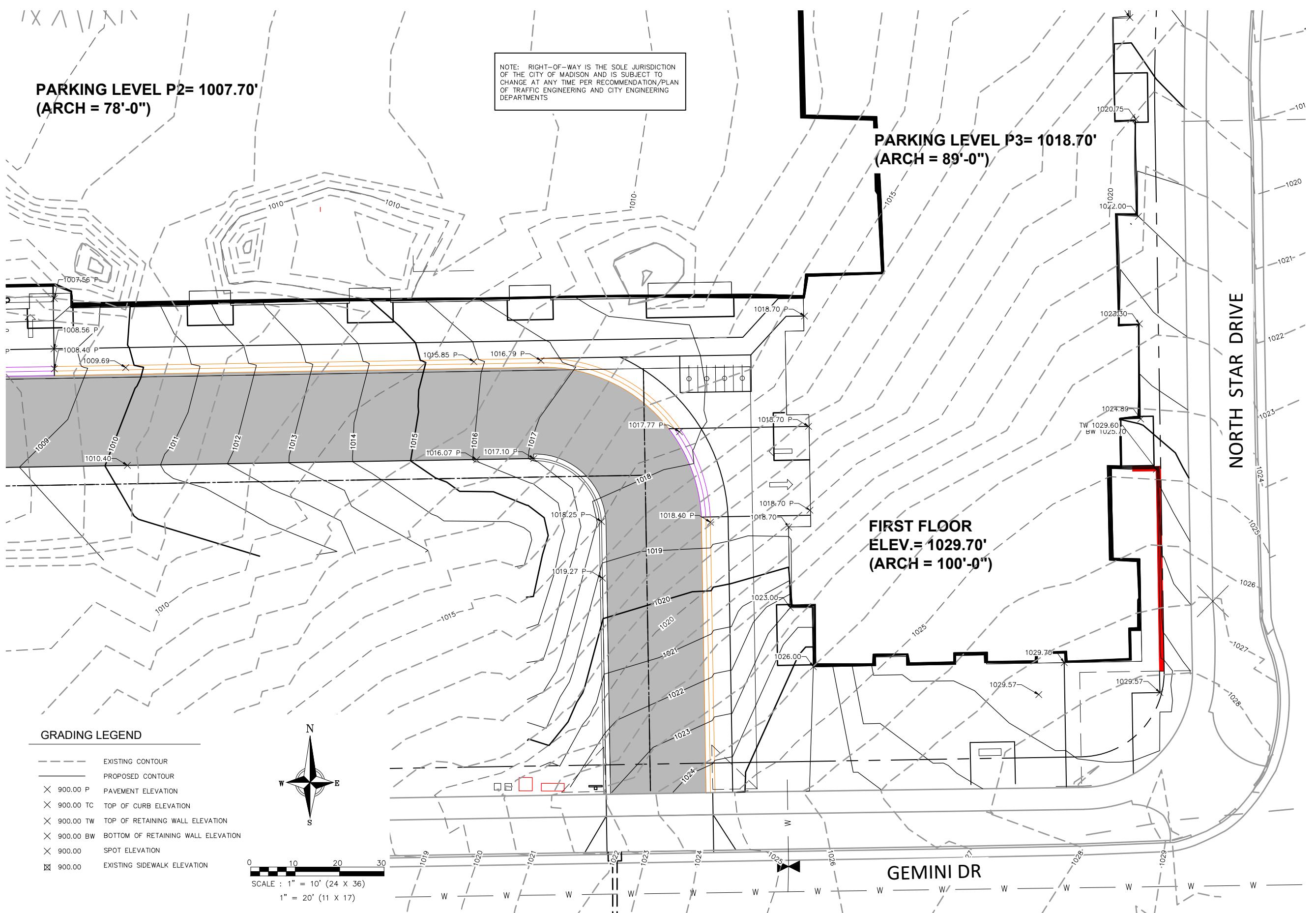
PROJECT
**CAPITOL VIEW
APARTMENTS**

MADISON, WI

DRAWN BY
K.JOHNSON
CHECKED BY
R.JOHNSON
DATE
12.11.2025
JOB NUMBER
24-102
VOLUME / BID SET

SHEET NAME
GRADING PLAN - SW AREA

SHEET NUMBER

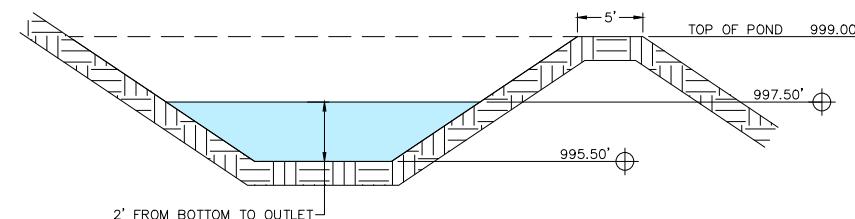


EROSION CONTROL NOTES

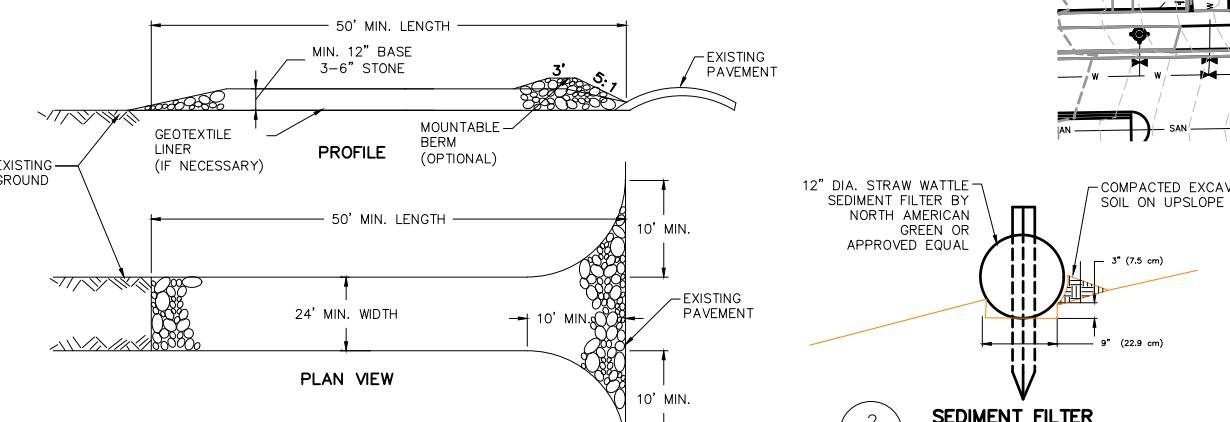
1. THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN EROSION CONTROL DEVICES FROM THE START OF LAND DISTURBING CONSTRUCTION ACTIVITIES UNTIL FINAL STABILIZATION OF THE CONSTRUCTION SITE.
2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL AND STORMWATER ORDINANCE AND THE APPROPRIATE WISCONSIN DNR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS. THE VILLAGE RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES AS CONDITIONS WARRANT.
3. CLEANING. RIGHT-OF-WAY SURFACES SHALL BE THOROUGHLY CLEANED BEFORE THE END OF EACH WORKING DAY.
4. RESTORATION. RESTORATION SHALL BE COMPLETED AS NOTED IN THE CONSTRUCTION SCHEDULE UNLESS OTHERWISE AUTHORIZED BY THE CITY.
5. INSPECTION. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. DOCUMENTATION OF EACH INSPECTION SHALL INCLUDE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF LAND DISTURBANCE AT THE CONSTRUCTION SITE, PERSON CONDUCTING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND A DESCRIPTION OF ANY EROSION OR SEDIMENT CONTROL MEASURE INSTALLATION.
6. STONE TRACKING PAD. BEFORE BEGINNING CONSTRUCTION, CONTRACTOR SHALL INSTALL A STONE TRACKING PAD AT EACH POINT WHERE VEHICLES ENTERS/EXITS THE CONSTRUCTION SITE. STONE TRACKING PADS SHOULD BE AT LEAST 24 FEET WIDE AND 50 FEET LONG, AND CONSTRUCTED OF 3-6 INCH WASHED STONE WITH A DEPTH OF AT LEAST 12 INCHES. ON SITES WITH CLAY SOILS, STONE TRACKING PADS MUST BE UNDERLAIN WITH A GEOTEXTILE LINER TO PREVENT THE STONE FROM SINKING INTO THE SOIL.
7. INLET PROTECTION. ALL INLETS SUBJECT TO DRAINAGE SHALL BE PROTECTED WITH FRAMED INLET PROTECTION MEETING ASTM D8057-17 REQUIREMENTS. ANY DEPOSITS OF DIRT, MUD, ROCK, DEBRIS, OR OTHER MATERIAL ENTERING THE STORM SEWER SYSTEM SHALL BE PROMPTLY AND THOROUGHLY CLEANED OUT.
8. EROSION MAT. AREAS OR EMBANKMENTS HAVING SLOPES GREATER THAN OR EQUAL TO 4H:1V SHALL BE STABILIZED WITH WISCONSIN DOT CLASS 1, URBAN, TYPE A, EROSION MAT OR WISCONSIN DOT CLASS 2, TYPE B, COCONUT FIBER EROSION MAT AS NOTED.
9. TEMPORARY EROSION CONTROL. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
10. STABILIZATION. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
11. TOPSOIL. A MINIMUM OF 6 INCHES OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEADED OR SODDED.
12. SEEDING. SEED MIXTURE SHALL BE APPLIED AT A RATE OF 3.5 LBS PER 1,000 SF OF AREA OR AS NOTED ON THE LANDSCAPE PLAN.
13. STOCKPILES. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
14. POLYMER. BARE SOILS TO BE EXPOSED OVER WINTER SHALL BE SPRAYED WITH POLYMER IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1050.

KEY

WISCONSIN DOT CLASS 1, URBAN,
TYPE A, EROSION MAT

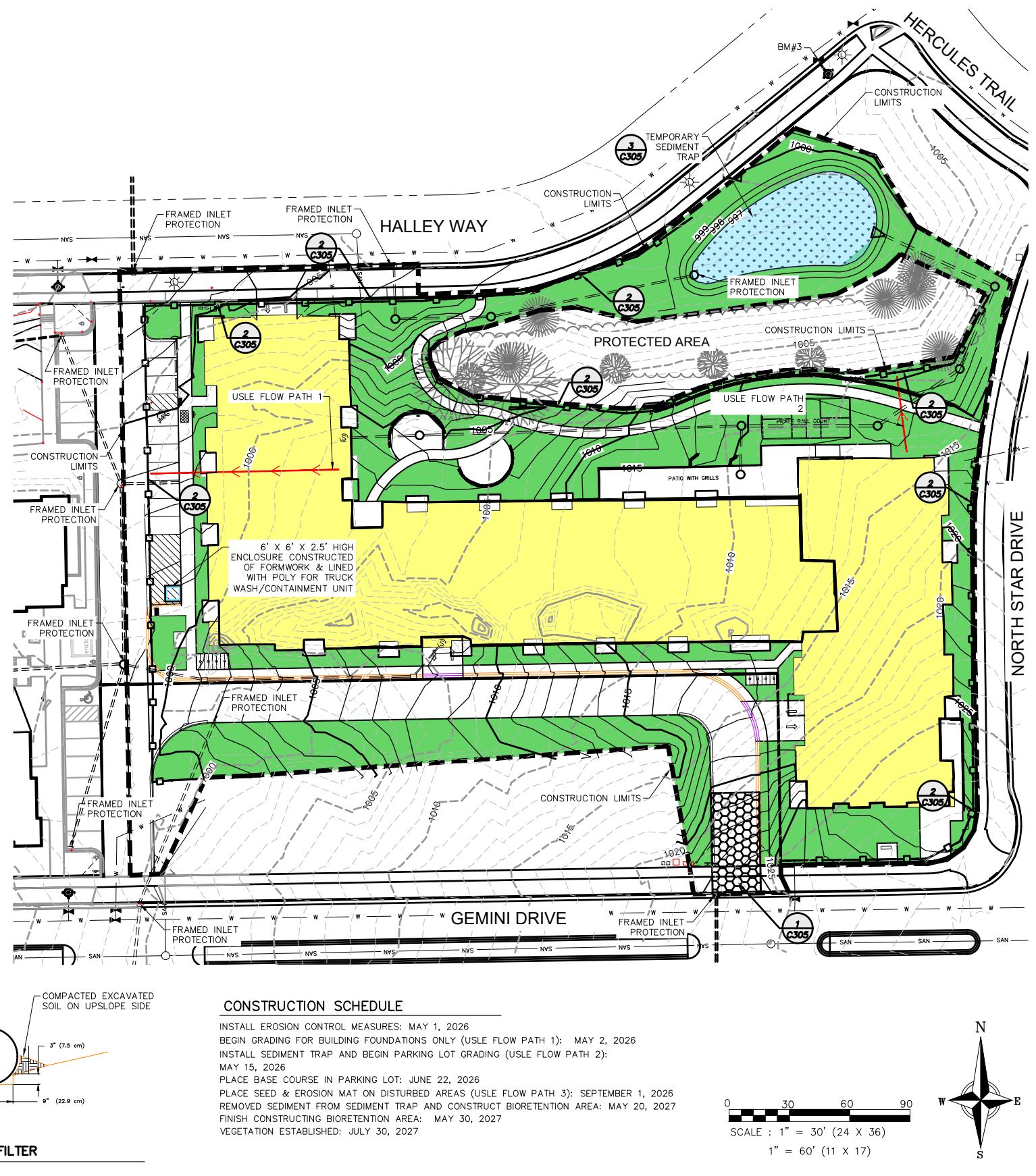


TEMPORARY SEDIMENT TRAP DETAIL



STONE TRACKING PAD

C305



CONSTRUCTION SCHEDULE

INSTALL EROSION CONTROL MEASURES: MAY 1, 2026
BEGIN GRADING FOR BUILDING FOUNDATIONS ONLY (USLE FLOW PATH 1): MAY 2, 2026
INSTALL SEDIMENT TRAP AND BEGIN PARKING LOT GRADING (USLE FLOW PATH 2): MAY 15, 2026
PLACE BASE COURSE IN PARKING LOT: JUNE 22, 2026
PLACE SEED & EROSION MAT ON DISTURBED AREAS (USLE FLOW PATH 3): SEPTEMBER 1, 2026
REMOVED SEDIMENT FROM SEDIMENT TRAP AND CONSTRUCT BIORETENTION AREA: MAY 20, 2027
FINISH CONSTRUCTING BIORETENTION AREA: MAY 30, 2027
VEGETATION ESTABLISHED: JULY 30, 2027

0 30 60 90
SCALE : 1" = 30' (24 X 36)
1" = 60' (11 X 17)



PROJECT
CAPITAL VIEW
APARTMENTS

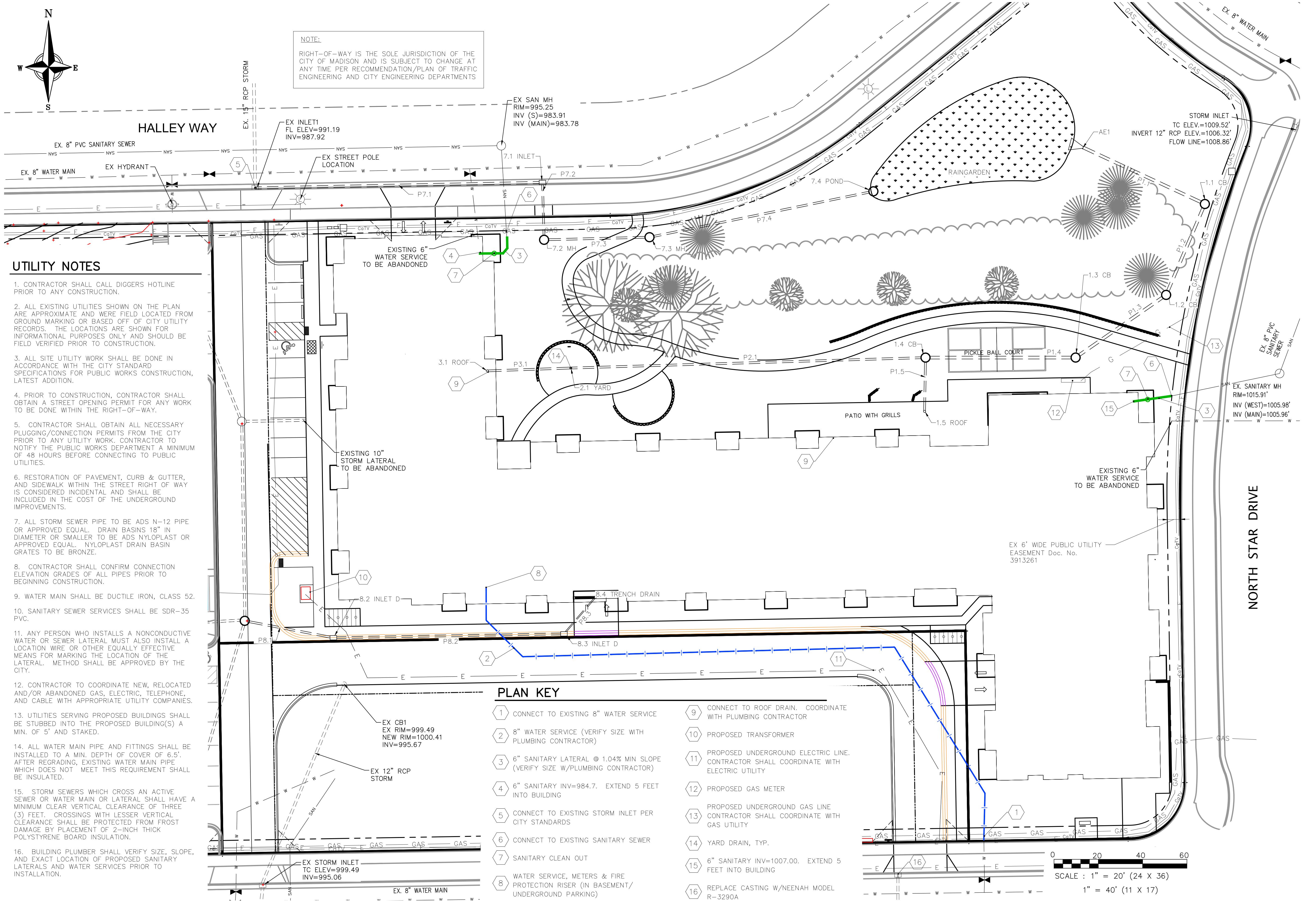
MADISON, WI

DRAWN BY
K.JOHNSON
CHECKED BY
R.JOHNSON
DATE
12.11.2025
JOB NUMBER
24-102
VOLUME / BID SET

SHEET NAME
EROSION CONTROL PLAN

SHEET NUMBER

C305



STRUCTURE TABLE					
STRUCTURE NAME:	SIZE	TOP OF CASTING	PIPES IN:	PIPES OUT	CASTING:
1.1 CB	4-FT DIA. CB	1010.00	P1.2, 15" REINFORCED CONCRETE PIPE INV IN =1001.08	P1.1, 15" REINFORCED CONCRETE PIPE INV OUT =1000.00	NEENAH R-2050
1.2 CB	4-FT DIA. CB	1011.06	P1.3, 15" REINFORCED CONCRETE PIPE INV IN =1001.35	P1.2, 15" REINFORCED CONCRETE PIPE INV OUT =1001.35	NEENAH R-2050
1.3 CB	4-FT DIA. CB	1015.50	P1.4, 15" REINFORCED CONCRETE PIPE INV IN =1001.81	P1.3, 15" REINFORCED CONCRETE PIPE INV OUT =1001.81	NEENAH R-2050
1.4 CB	4-FT DIA. CB	1014.51	P2.1, 10" INV IN =1002.27 P1.5, 10" INV IN =1003.20	P1.4, 15" REINFORCED CONCRETE PIPE INV OUT =1002.27	NEENAH R-2050
1.5 ROOF	CONNECT TO ROOF DRAIN	1018.70		P1.5, 10" INV OUT =1004.50	CONNECT TO ROOF DRAIN
2.1 YARD	8" BASIN	1005.96	P3.1, 10" INV IN =1003.69	P2.1, 10" INV OUT =1003.69	8" GRATE
3.1 ROOF	CONNECT TO ROOF DRAIN	1005.52		P3.1, 10" INV OUT =1004.15	CONNECT TO ROOF DRAIN
7.1 INLET	2X3-FT	995.75	P7.2, 10" INV IN =990.65	P7.1, 12" INV OUT =990.65	NEENAH R-3067
7.2 MH	3-FT DIA. CB	996.30	P7.3, 10" INV IN =990.90	P7.2, 10" INV OUT =990.90	NEENAH R-1550
7.3 MH	3-FT DIA. CB	998.50	P7.4, 10" INV IN =991.34	P7.3, 10" INV OUT =991.34	NEENAH R-1550
7.4 POND	3-FT DIA. CB	997.50		P7.4, 10" INV OUT =992.31	HAALA INDUSTRIES CG36TM
8.1 EX CB	EXISTING CB	998.85	P8.1, 10" INV IN =993.00		ADJUST CASTING RIM HEIGHT
8.2 INLET D	2X3-FT	1001.50	P8.2, 10" INV IN =997.00	P8.1, 10" INV OUT =997.00	NEENAH R-3290A
8.3 INLET D	2X3-FT	1007.67	P8.3, 6" INV IN =1003.24	P8.2, 10" INV OUT =1003.24	NEENAH R-3290A
8.4 TRENCH DRAIN	20' LONG	1007.63		P8.3, 6" INV OUT =1004.32	ZURN Z886-8606-HD-DGE
AE1	12" RCP A.E.	1000.02	P1.1, 15" REINFORCED CONCRETE PIPE INV IN =998.50		
EX INLET1	EX STRUCTURE	992.56	P7.1, 12" INV IN =988.25		

PIPE TABLE						
NAME	SIZE	LENGTH	SLOPE	MATERIAL	START INVERT ELEVATION	END INVERT ELEVATION
P1.1	15"	61'	2.48%	ADS N-12	1000.00'	998.50'
P1.2	15"	45'	0.60%	ADS N-12	1001.35'	1001.08'
P1.3	15"	50'	0.92%	ADS N-12	1001.81'	1001.35'
P1.4	15"	68'	0.68%	ADS N-12	1002.27'	1001.81'
P1.5	10"	25'	5.36%	ADS N-12	1004.50'	1003.20'
P2.1	10"	161'	0.88%	ADS N-12	1003.69'	1002.27'
P3.1	10"	38'	1.20%	ADS N-12	1004.15'	1003.69'
P7.1	12"	130'	1.85%	RCP	990.65'	988.25'
P7.2	10"	26'	0.97%	ADS N-12	990.90'	990.65'
P7.3	10"	48'	0.92%	ADS N-12	991.34'	990.90'
P7.4	10"	104'	0.94%	ADS N-12	992.31'	991.34'
P8.1	10"	41'	9.82%	ADS N-12	997.00'	993.00'
P8.2	10"	105'	5.99%	ADS N-12	1003.24'	997.00'
P8.3	6"	22'	5.00%	ADS N-12	1004.32'	1003.24'

REVISIONS ▲ DATE

CLIENT
OAK PARK PLACE

PROJECT
CAPITOL VIEW APARTMENTS

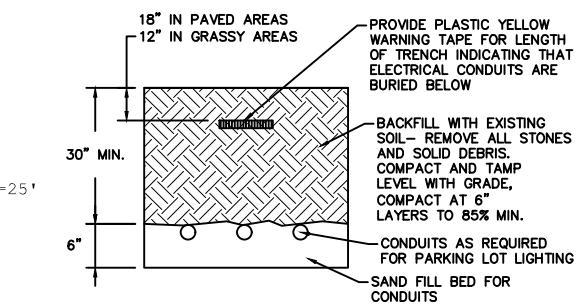
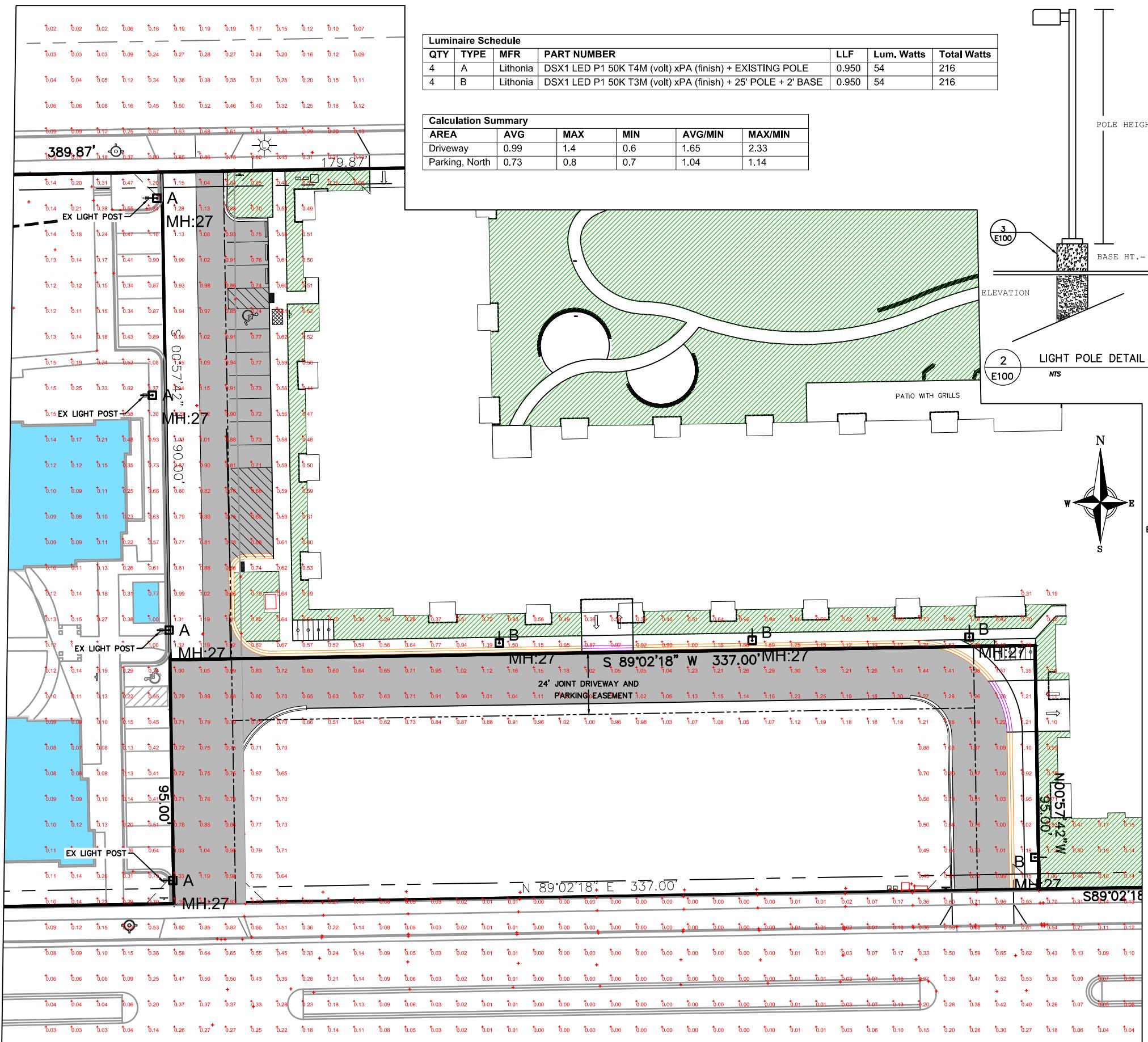
MADISON, WI

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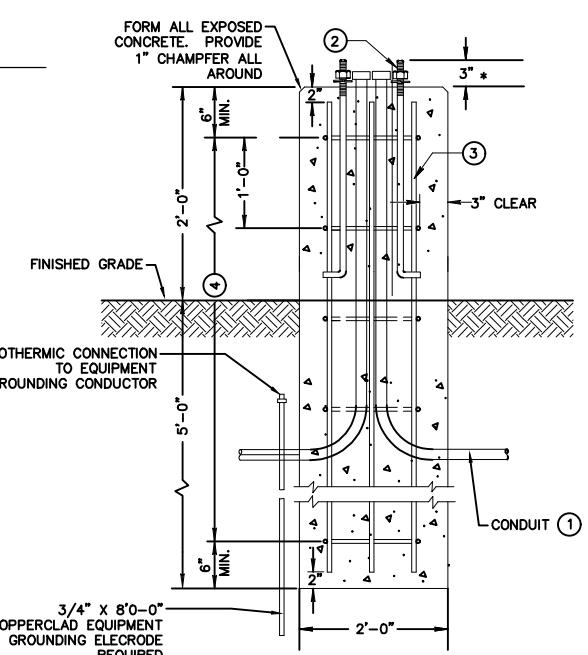
SHEET NAME
STORM SEWER SCHEDULE

SHEET NUMBER

C401



1 CONDUIT TRENCH DETAIL
E100 NTS



(1) THE MINIMUM DEPTH OF CONDUIT EXITING THE CONCRETE BASE AND INSTALLED BELOW THE TRAVELED WAY SHALL BE 24 INCHES. THE MINIMUM DEPTH OF CONDUIT EXITING THE CONCRETE BASE THAT IS NOT INSTALLED BELOW THE TRAVELED WAY SHALL BE 18 INCHES. THE MAXIMUM DEPTH OF ALL CONDUIT SHALL BE 36 INCHES EXCEPT WITH WRITTEN APPROVAL BY THE ENGINEER.

- (2) ANCHOR BOLTS PER MANUFACTURER'S INSTRUCTIONS
(3) (6) NO.4 X 4'-8" BAR STEEL REINFORCEMENT.
(4) (5) NO.4 X 5'-1" BAR STEEL REINFORCEMENT @ 1'-0" C-C.

3 CONCRETE BASE DETAIL
E100 NTS

0 20 40 60
SCALE : 1" = 20' (24 X 36)

CLIENT
OAK PARK PLACE

PROJECT
CAPITOL VIEW
APARTMENTS

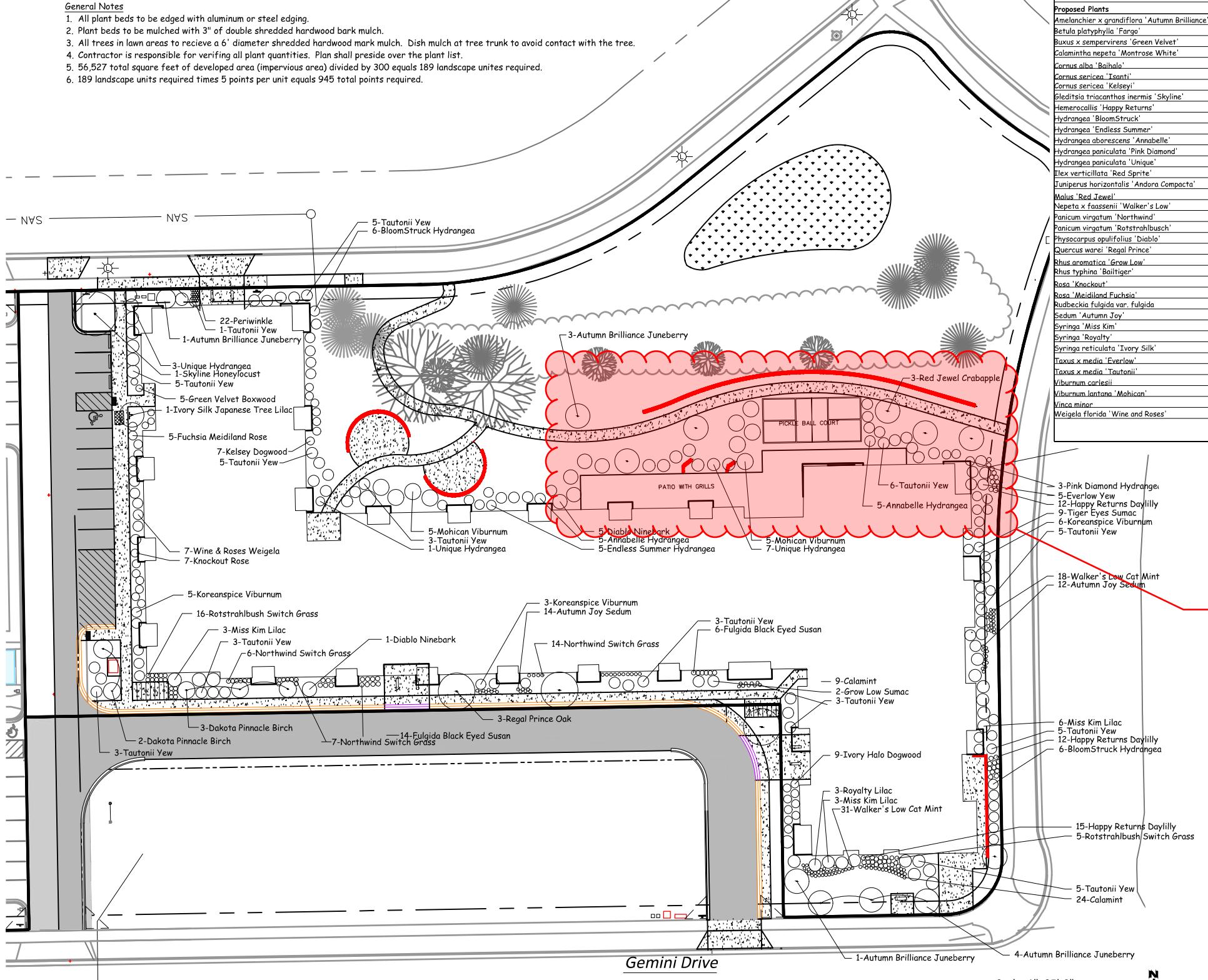
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VOLUME / BID SET

SCALE NAME
LIGHTING PLAN

SHEET NUMBER

E100

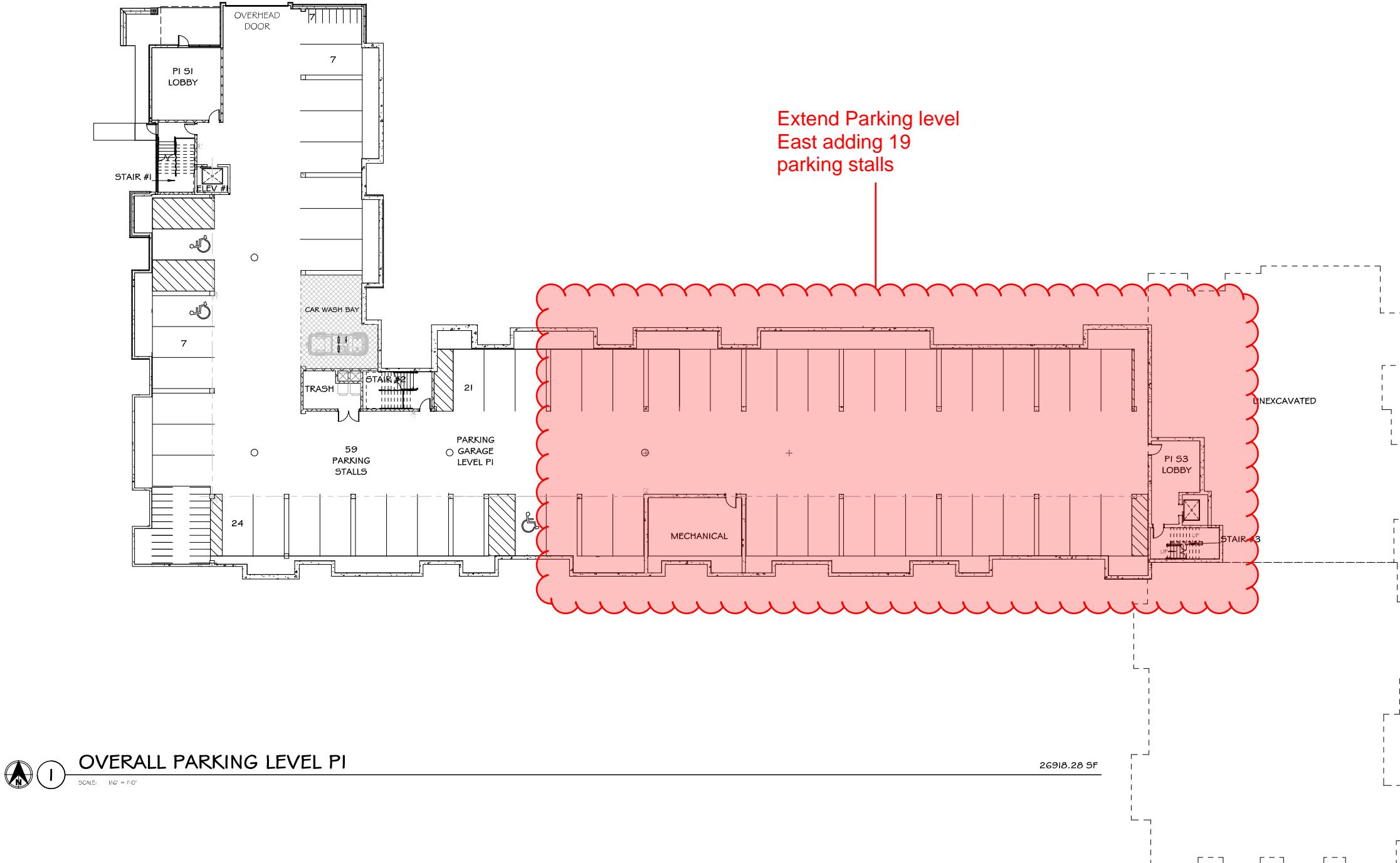


Scale: 1"=25'-0"
0' 25' 50'



Reconfigure
foundation planting
and landscaping
around outdoor
amenity space

L100



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PLAN COMMISSION
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OAK PARK PLACE

PROJECT
**CAPITOL VIEW
APARTMENTS**

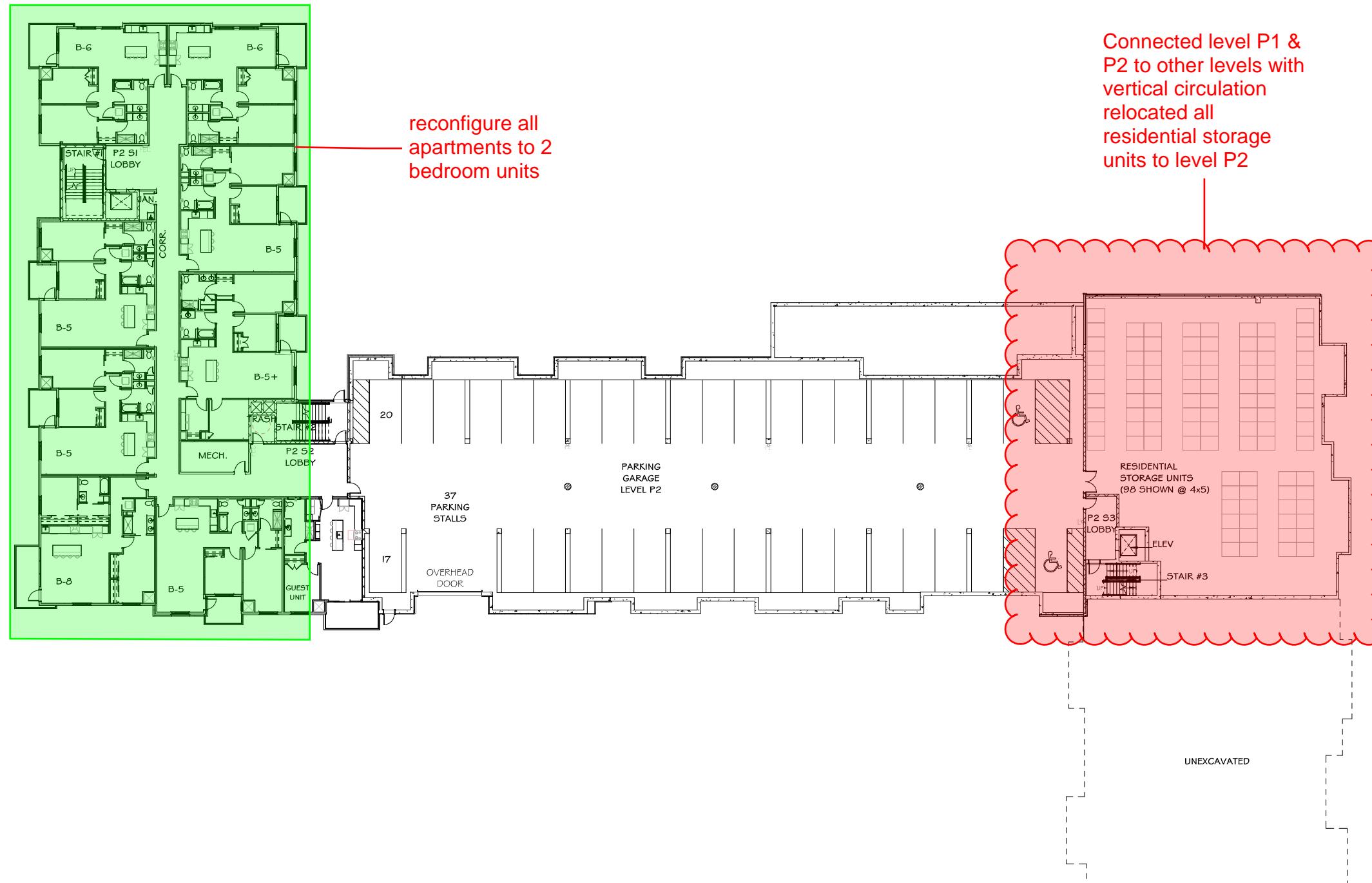
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B. SERVIN / J. GRAHAM
DATE
12.12.2025
JOB NUMBER
24-102
BID SET | VOLUME

SHEET NAME
OVERALL PARKING LEVEL PI

SHEET NUMBER

A100



OVERALL PARKING LEVEL P2

SCALE: 1IN = 1'-0"

SHEET NAME
OVERALL PARKING LEVEL P2

SHEET NUMBER

A101

REVISIONS ▲ DATE

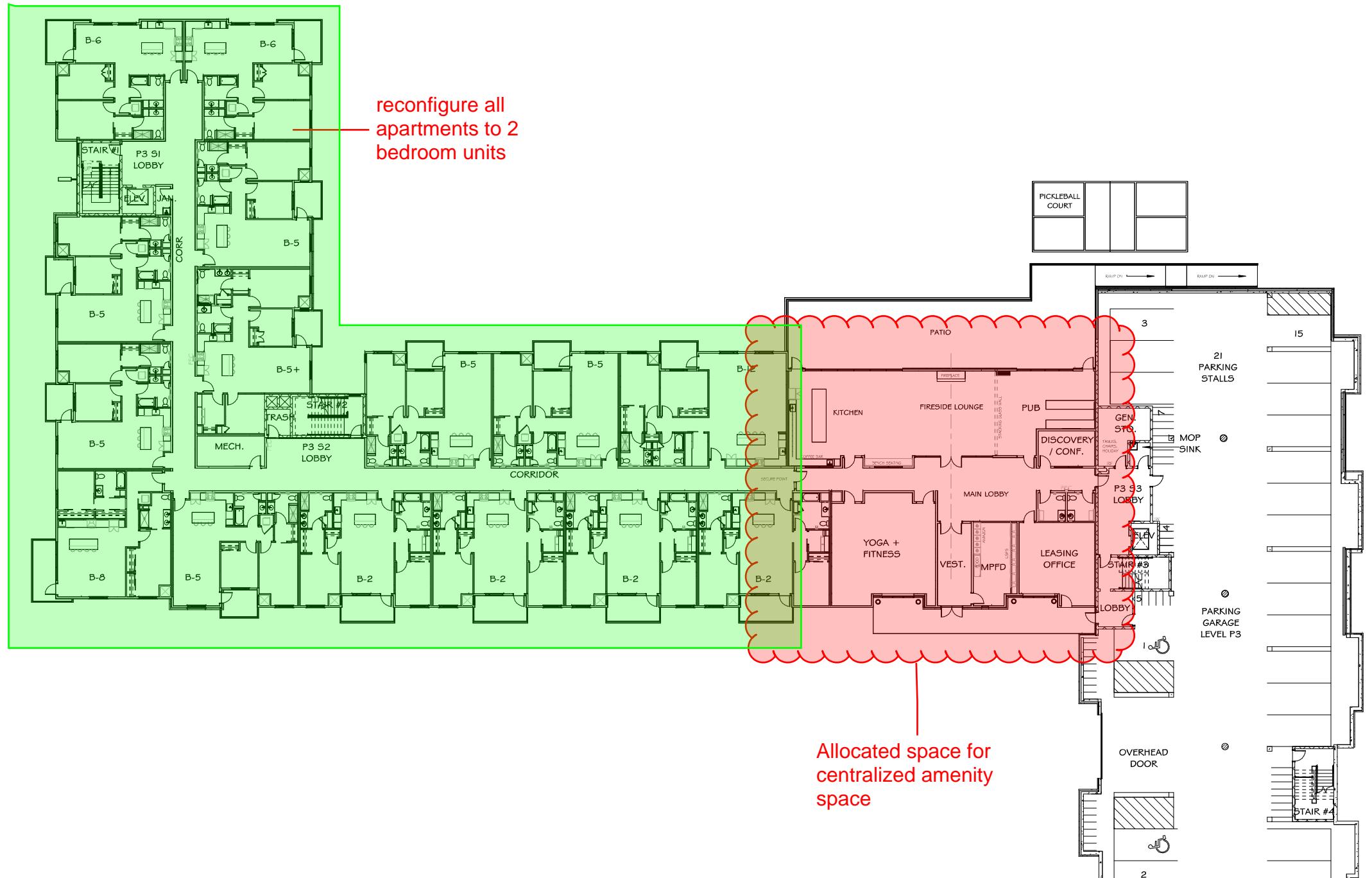
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**CAPITOL VIEW
APARTMENTS**

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12.12.2025
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DATE
12.12.2025
JOB NUMBER
24-102
BID SET | VOLUME

SHEET NAME
OVERALL PARKING LEVEL P3

SHEET NUMBER

A102

REVISIONS ▲ DATE

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PROJECT
**CAPITOL VIEW
APARTMENTS**

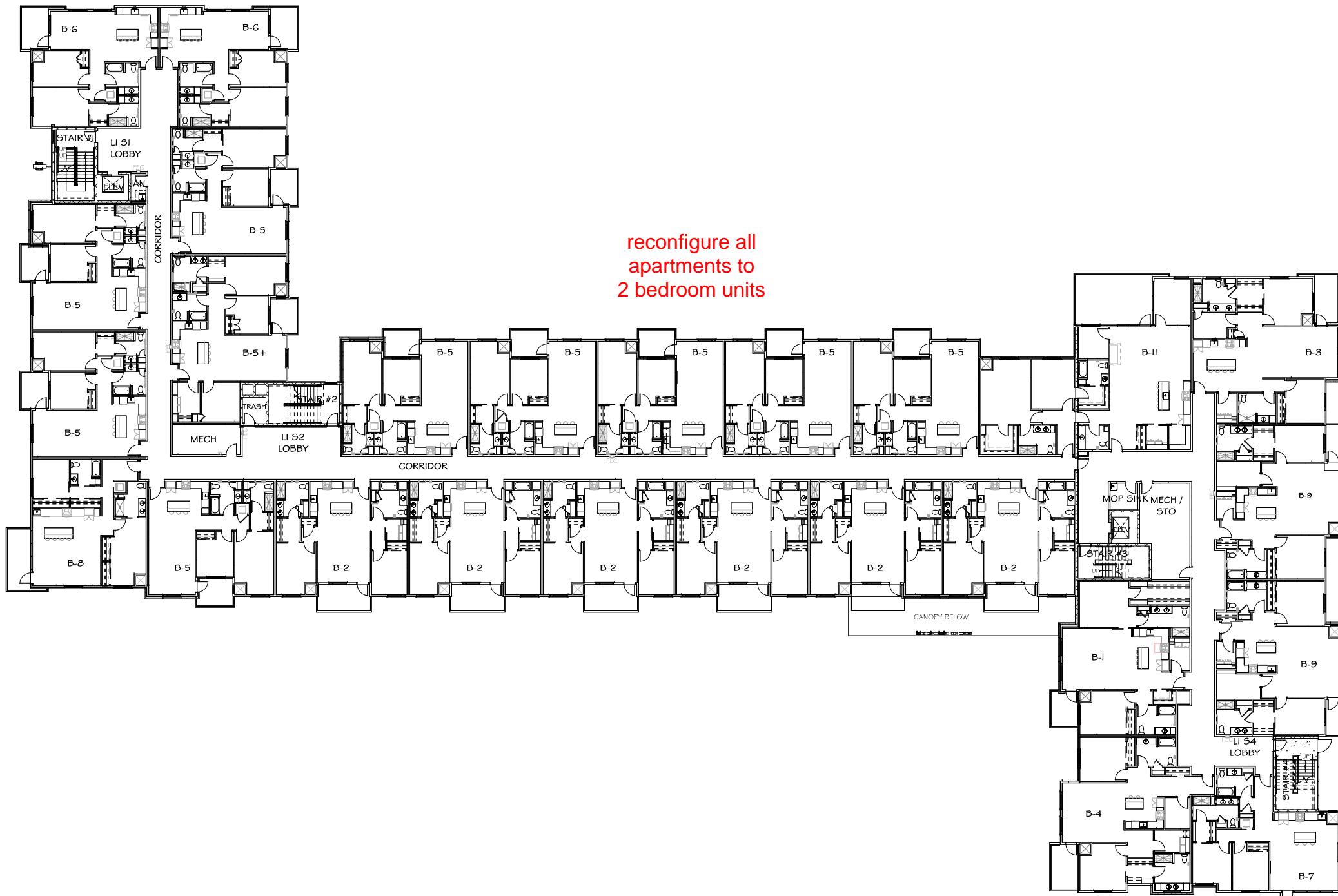
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B. SERVIN / J. GRAHAM
DATE
12.12.2025
JOB NUMBER
24-102
BID SET | VOLUME

SHEET NAME
OVERALL FIRST FLOOR PLAN

SHEET NUMBER

A103



OVERALL FIRST FLOOR

SCALE: 1/16" - 1'-0"

This architectural floor plan illustrates a building section with multiple floors. The plan includes the following labeled areas:

- B-6**: Located on the top floor, featuring a large rectangular room and a smaller adjacent room.
- STAIR #1**: Located on the top floor, with an "UP" arrow indicating the direction of the stairs.
- EEC**: Located on the top floor, near the central corridor.
- B-5**: Located on the middle floors, featuring a large rectangular room and a smaller adjacent room.
- CORRIDOR**: A vertical corridor connecting the floors.
- B-5 +**: Located on the middle floors, featuring a large rectangular room and a smaller adjacent room.
- STAIR #2**: Located on the middle floors, with a "DOWN" arrow indicating the direction of the stairs.
- TRASH**: Located on the middle floors, near the central corridor.
- L2 S2 LOBBY**: Located on the middle floors, near the central corridor.
- MECH**: Located on the middle floors, near the central corridor.
- B-8**: Located on the bottom floor, featuring a large rectangular room and a smaller adjacent room.
- B-5**: Located on the bottom floor, featuring a large rectangular room and a smaller adjacent room.

— Add units to second floor

— Add units to second floor

This architectural floor plan illustrates the layout of a building across multiple floors. The plan is organized into several sections:

- Top Left:** A vertical red line labeled "floor" extends downwards from the top edge.
- Top Row:** A series of units labeled B-5 are arranged in a row, separated by a central "CORRIDOR".
- Second Floor:** A row of units labeled B-2 is shown, with a "CORRIDOR" running along the right side.
- Third Floor:** A more complex layout featuring units B-4, B-7, B-9, and B-1. It includes a "STAIR #3" leading down to the second floor, a "STAIR #4" leading up to the fourth floor, and various common areas labeled L2 S3 LOBBY, L2 S4 LOBBY, MECH / STO, and MOP SINK.
- Bottom Left:** The text "reconfigure all apartments to 2 bedroom units" is written in red.
- Bottom Right:** The total area is listed as 39143.61 SF.

reconfigure all
apartments to
2 bedroom units

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PROJECT
**CAPITOL VIEW
APARTMENTS**

MADISON, WI

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DATE
12.12.2025
JOB NUMBER
24-102
PJD SET 1 VOLUME

SHEET NAME
**OVERALL SECOND FLOOR
PLAN**

SHEET NUMBER



C
SCA

OVERALL SECOND FLOOR

SCALE: 1/16" = 1'

REVISIONS ▲ DATE

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CLIENT
OAK PARK PLACE

PROJECT
**CAPITOL VIEW
APARTMENTS**

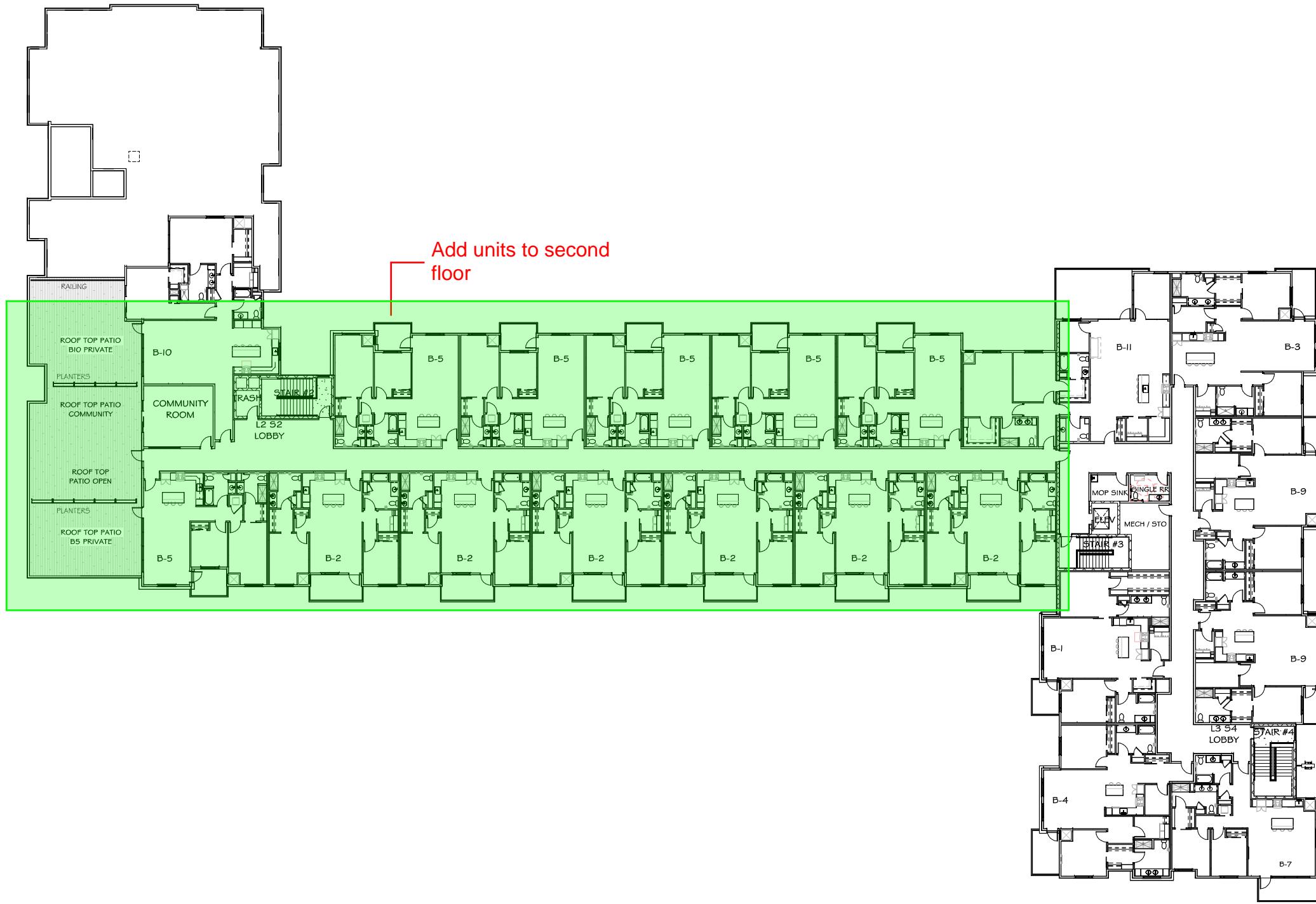
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DATE
12.12.2025
JOB NUMBER
24-102
BID SET | VOLUME

SHEET NAME
OVERALL THIRD FLOOR PLAN

SHEET NUMBER

A105



OVERALL THIRD FLOOR

SCALE: 1/6" - 1'-0"



NORTH ELEVATION

2026

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

2021

SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE		
BOX	MATERIAL / MANUFACTURER	DESCRIPTION / COLOR
A	ALUMINUM SIDING / LONGBOARD SOFFIT	DARK CHERRY
B	6" COMPOSITE LAP SIDING / LP SMARTSIDING	TUNDRA GRAY
C	6" COMPOSITE BOARD AND BATTEN SIDING / LP SMARTSIDING	SNOWSCAPE® WHITE
D	STONE VENEER / FOND DU LAC STONE	HAMILTON DIMENSIONAL
E	MANUF STONE CAP / FOND DU LAC STONE	---



EXTERIOR FINISH SCHEDULE		
BOX	MATERIAL / MANUFACTURER	DESCRIPTION / COLOR
A	ALUMINUM SIDING / LONGBOARD SOFFIT	DARK CHERRY
B	6" COMPOSITE LAP SIDING / LP SMARTSIDING	TUNDRA GRAY
C	6" COMPOSITE BOARD AND BATTEN SIDING / LP SMARTSIDING	SNOWSCAPE WHITE
D	STONE VENEER / FOND DU LAC STONE	HAMILTON DIMENSIONAL
E	MANUF STONE CAP / FOND DU LAC STONE	...



EXTERIOR FINISH SCHEDULE		
BOX	MATERIAL / MANUFACTURER	DESCRIPTION / COLOR
A	ALUMINUM SIDING / LONGBOARD SOFFIT	DARK CHERRY
B	6" COMPOSITE LAP SIDING / LP SMARTSIDE	TUNDRA GRAY
C	6" COMPOSITE BOARD AND BATTEN SIDING / LP SMARTSIDE	SNOWSCAPE WHITE
D	STONE VENEER / FOND DU LAC STONE	HAMILTON DIMENSIONAL
E	MANUF STONE CAP / FOND DU LAC STONE	---





NORTH ELEVATION

SCALE: 1/64" = 1'-0"



SOUTH ELEVATION

SCALE: 1/64" = 1'-0"



EAST ELEVATION

SCALE: 1/64" = 1'-0"



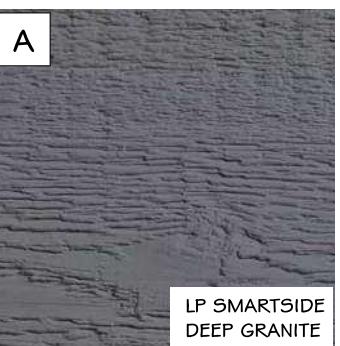
WEST ELEVATION

SCALE: 1/64" = 1'-0"

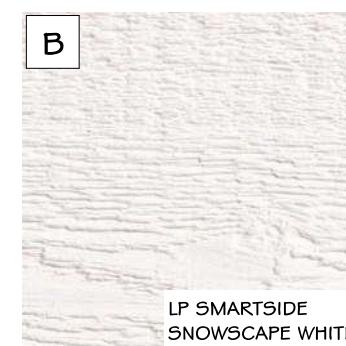


NORTH ELEVATION

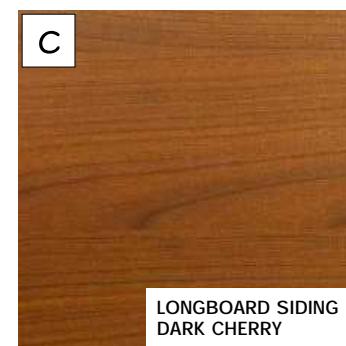
SCALE: 1/4" = 1'-0"



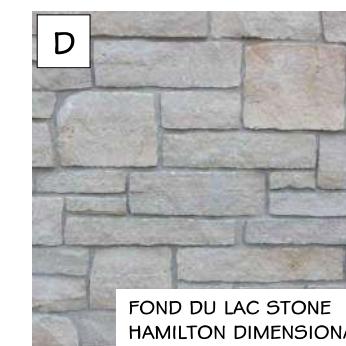
COMPOSITE TRIM



COMPOSITE TRIM



ALUMINUM SIDING



STONE VENEER

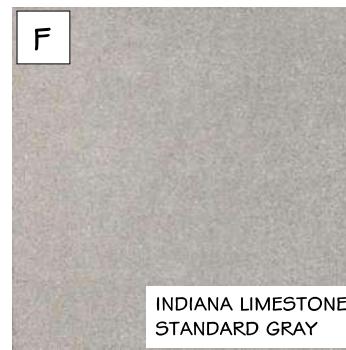
FINISH LEGEND		
BOX	MATERIAL / DESCRIPTION	MANUFACTURER / COLOR
A	HORIZONTAL LAP SIDING	LP SMARTSIDE / DEEP GRANITE
B	VERTICAL BOARD & BATTEN	LP SMARTSIDE / SNOWSCAPE WHITE
C	HORIZONTAL ALUMINUM SIDING	LONGBOARD ALUMINUM SIDING / DARK CHERRY
D	NATURAL STONE VENEER	FOND DU LAC / HAMILTON DIMENSIONAL
E	ANODIZED ALUMINUM	DARK BRONZE
F	LIMESTONE SILL/CAP	INDIANA LIMESTONE / STANDARD GRAY



WINDOWS | RAILINGS



METAL COPINGS |
FASCIA COVERS



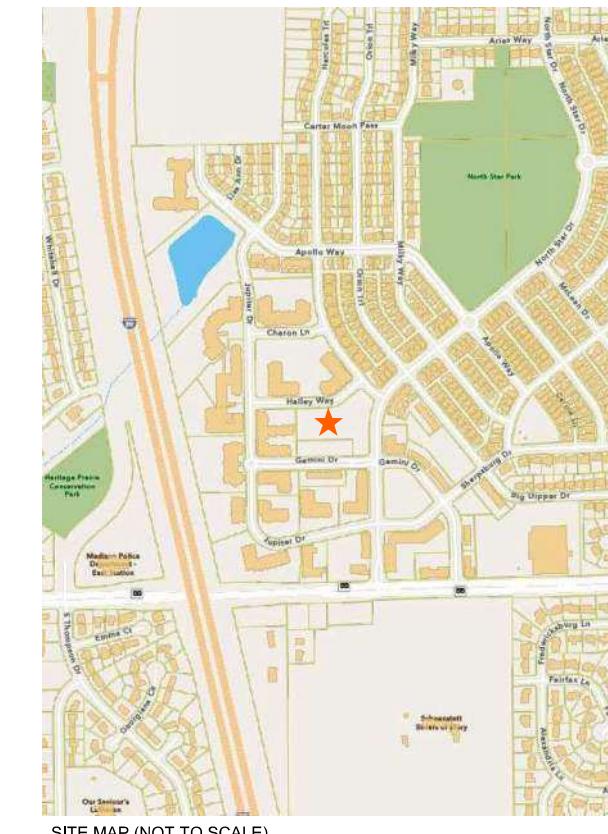
STONE SILL



719 JUPITER LANE



5837 GEMINI DRIVE



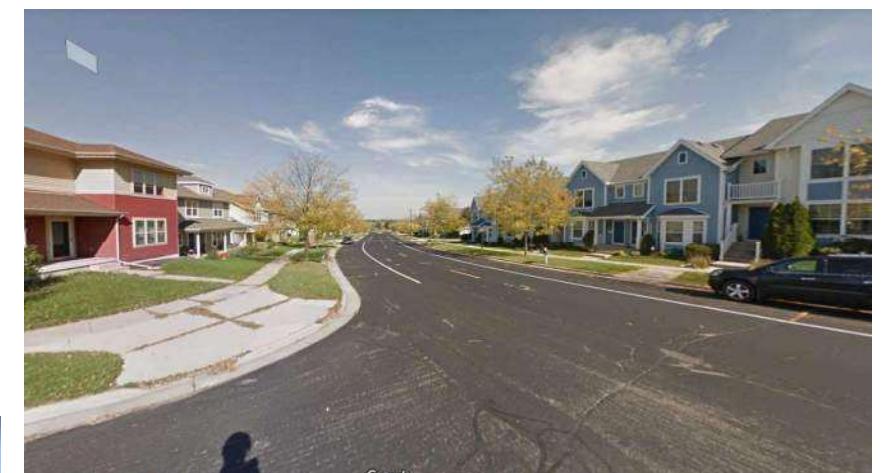
SITE MAP (NOT TO SCALE)



GEMINI LOOKING NORTHEAST



NORTHSTAR & GEMINI LOOKING NORTHWEST



HALLEY WAY LOOKING SOUTHEAST



5801 GEMINI DRIVE



769 NORTH STAR DRIVE



818 NORTH STAR DRIVE



NORTHSTAR DRIVE LOOKING SOUTHWEST



OAK PARK PLACE - CAPITOL VIEW APARTMENTS

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SOUTH EAST - PERSPECTIVE

01.20.2026



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SOUTH WEST - PERSPECTIVE

01.20.2026



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NORTH WEST - PERSPECTIVE

01.20.2026



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NORTH EAST - PERSPECTIVE

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