

APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL

AGENDA ITEM # _____

Project # _____

03303

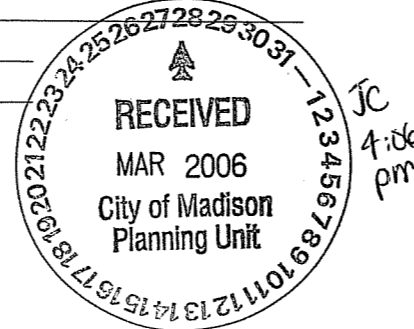
DATE SUBMITTED: <u>3/28/06</u>	<input checked="" type="checkbox"/> Action Requested
UDC MEETING DATE: <u>4/5/06</u>	<input checked="" type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 541 & 543 West Washington Avenue

ALDERMANIC DISTRICT: _____

OWNER/DEVELOPER (Partners and/or Principals) <u>Navin Jarugumilli</u>	ARCHITECT/DESIGNER/OR AGENT: <u>Knapp Schmidt Architects</u>
<u>18 Shepard Terrace</u>	<u>2040 Winnebago Street</u>
<u>Madison, WI 53704</u>	<u>Madison, WI 53704</u>

CONTACT PERSON: Mark J Schmidt, AIA
Address: 2040 Winnebago Street
Madison, WI 53704
Phone: 920-787-0140 or 800-236-0140
Fax: 920-787-1418
E-mail address: ksarch@earthlink.net



TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 50,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee required)
- Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

March 27, 2006



Creation of;

Capitol Bakery & Bistro

And Residential Apartments

451 & 453 W. Washington Avenue

Madison, WI

Index

1- Location Map

2- Letter of Intent

3- Project statistics

4- Zoning Text

5- Drawings

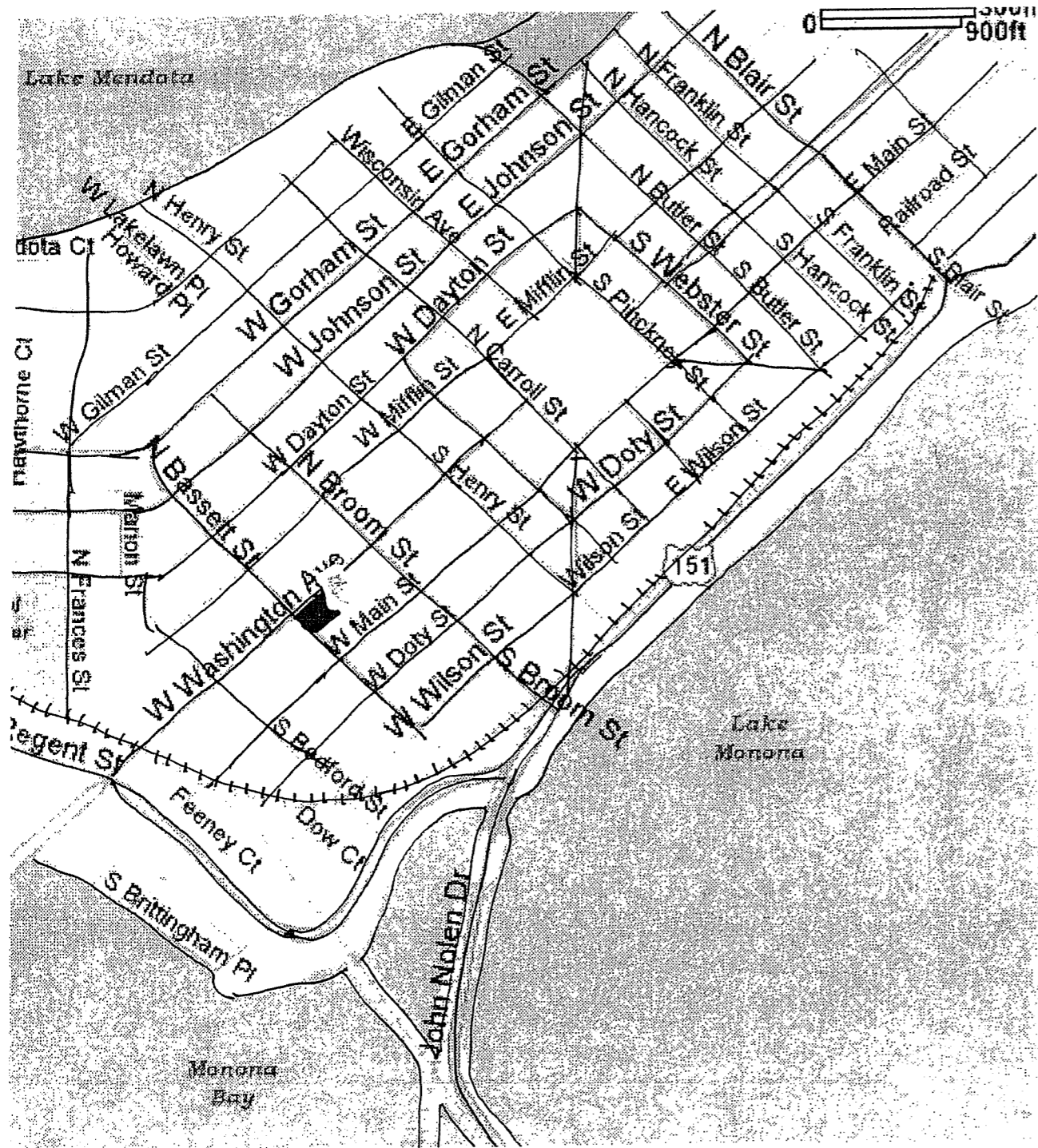
March 27, 2006

Capitol Bakery & Bistro

453 W. Washington Avenue
Madison, WI



Location Map



March 27, 2006

S0502

Project Owner;
Navin Jarugumilli
18 Shepard Terrace
Madison, WI



Re: Proposed Creation of;

Capitol Bakery & Bistro

and Residential Apartments

451 & 453 W. Washington Avenue

Madison, Wisconsin

Letter of Intent

Existing Conditions

The existing building at 451 W. Washington Avenue has (1) two-bedroom residential apartment on the first floor and (1) two-bedroom residential apartment on the second floor.

The existing building at 453 W. Washington Avenue has (2) two-bedroom apartments on the first floor, (2) two-bedroom apartments on the second floor and (1) four-bedroom apartment on the third floor.

453 W. Washington Avenue has no parking. 451 W. Washington Avenue has two spaces in the rear yard using a driveway access agreement with 449 W. Washington Ave.

The properties are located in the r6 Zoning District.

Description of the Proposed Construction

The owner proposes to convert the existing first floor of the two buildings into a restaurant by combining the two lots into one, and constructing an addition between the buildings.

A bakery serving this restaurant and other retail establishments is to be located in the existing and new basement areas.

It appears that this use is consistent with the Bassett Neighborhood Plan. Due to the lack of parking, it is acknowledged that the bulk of the proposed business will need to be from services provided to the local neighborhood. The appropriateness of this business has been thoroughly discussed with the Bassett Neighborhood Steering Committee and the Committee of the whole. A large item of discussion for the neighborhood was the design of the proposed building. It is the owner's intent to maintain, improve, and expand the existing residential buildings in such a way that the neighborhood character is maintained and improved while providing the neighborhood with essential services.

The exterior of the buildings are proposed to be altered. The changes include:

- A new porch is to replace the existing porch at 453 W. Washington Avenue.
- A new raised grade level around the buildings with guardrails, is proposed to provide a patio seating area for the restaurant, separated from the existing sidewalk.
- An addition is to be constructed between the two existing buildings. Separate entrances are created to the first floor commercial space, and second floor residential units.
- A new sidewalk ramp at the new handicap parking space in rear of 451 W. Washington Ave. is to provide an accessible entry to the first floor commercial space.
- The low slope roof areas above the new addition are to provide usable open areas for the four residential apartments that are to remain.
- Both buildings will have new roof shingles, and new vinyl siding, details of which were discussed with the Bassett Neighborhood Steering Committee.

Description of the Proposed Business Operations

The restaurant plans to serve coffee and baked goods in the morning, provide lunches mid-day, and dinners in the evening. Alcohol is to be served at a bar and with meals as part of the proposed restaurant service. One desired feature is to provide outdoor seating on the raised patio area around the building, and with adequate demand, possible future lease space in the city owned terrace. Hours of operation are proposed to be from 6:00 am to 11:00 pm, with last seating at 10:30 for interior dining, and last seating on the patio at 9:00pm. The patio area will be open during suitable weather conditions. The bar area will only operate during hours of the restaurant food service.

The owner/operators wish to serve alcoholic beverages with food on the outside patio area. The R-6 zoning district regulations specifically do not allow alcohol outside of the building.

There is a trash enclosure to be located behind the building. The enclosure will contain (4) trash cans and (2) recycling receptacles. Residential trash will be picked up by the City of Madison garbage services.

Restaurant trash will be placed in trash receptacles, also in the trash enclosure. The restaurant will contract with a private vendor to make a minimum of twice weekly trash pick-ups between the hours of 7:00 am and 5:00 pm. Containers will be the smaller size with rear yard pick-up or rolling containers out to the Bassett Street curb. Grease removal and recycled trash will also be removed by a private vendor.

Delivery of fresh produce is anticipated once per day. Delivery of dry goods for the bakery is anticipated to be about once per week. Dry goods for the restaurant is also anticipated to be about once per week. These deliveries will be in small trucks, which will make deliveries in the rear of the building, temporarily sharing space with the handicap accessible parking space. These deliveries will also be made between the hours of 7:00 am and 5:00 pm and at a designated time with the lowest business activity.

The lower level bakery is anticipated to serve several business locations. Deliveries to off-site locations will also be made with small trucks, parking in the rear yard parking space.

Parking on the site is limited to the one handicap accessible and loading zone parking space. The owners will pursue the leasing of parking spaces from adjacent property owners who have adjacent parking lots in the center of the block.

The Capitol Bakery Food services including the bakery and restaurant will be managed by Jeff Holm.

The Captiol Bistro Beverage services including coffee and alcohol will be managed by Joshua Matteson.

Merits of the Project

The new commercial establishment will provide a dining and social venue for neighborhood residents. The 'no on-site parking' condition will likely limit many of the customers to those living in the nearby residential areas and in business hour to those working in the south capitol district.

The new second floor deck will provide exterior open areas for building residents that do not exist for current residents.

Conversion of the existing first floor areas to commercial use will include improved appearance of the two buildings at a prominent location, retain the buildings with predominately residential character and use, and maintain the two buildings in present form, postponing pressure for more intensive development at this site.

Limitations and Hurdles for the Proposed Project

The two subject properties are zoned R-6. Although a restaurant is allowed as a conditional use, a tavern is not allowed. A recent interpretation of the R6 zoning text is that a restaurant-tavern is also not allowed in the R6 district. Outdoor seating with liquor service is not allowed. There are limitations to the design of the restaurant entry and the signage on the exterior of the building.

The two existing buildings have some infringement into required yard areas. The proposed addition and front porch reconstruction may require variances if the project remains in the R6 district.

City staff have determined that a PUD zoning district is the only avenue open for processing the proposed alterations and use.

Schedule for Development

It is anticipated that the site use approval process with the City of Madison will be completed by mid summer 2006. The building permit process should provide building permits by October 1st, 2006. Pending financial approvals, it is anticipated that construction could start by October 2006, with occupancy anticipated by April 1st 2007.

The architect for the project is ; Mark J. Schmidt
Knapp Schmidt Architects LLC
2040 Winnebago St.
Madison, WI 53704
800-236-0140
fax 920-787-1418

The construction contractor has not been selected:

3/27/06

S0505

**Capitol Bakery & Bistro
& Residential Apartments**

Owner Navin Jarugumilli
453 W. Washington Avenue
451 W. Washington Avenue
Madison, WI



Project Description

Convert the existing first floor space of 451 & 453 West Washington Avenue into one commercial restaurant space by constructing an addition to connect the two existing buildings. The existing second and third floor residential apartments are to remain. A bakery serving the restaurant and others is to be located in lower level.

Project Statistics

Site Area	5,640 sf								
	Area	Total Floor Area	Total Bldg Flr Area	Lot Area Req'd R6	Open Area Req'd R6	Commercial Space	Residential Space		
Basement									
Kitchen/Bakery	1,338								
Mech#1 & Tenant Laundry	656						656		
Exit/Toilet Addition	230								
Mech #2	258								
Stair #1	311								
Total Basement Area		2,793							
First Floor									
Existing 451	1,376					1,376			
First Floor Addition	408					408			
Existing 453	1,008					1,008			
Total New & Existing Porche:	316								
Total First Floor Area		3,108							
Second Floor									
Apartment #1	933			450	140		933		
Apartment #2	637			450	140		637		
Apartment #3	572			450	140		572		
New Hall Addition	57								
Stair #1	83								
Stair #2	84								
Stair #3	59								
Total Second Floor Area		2,425							
Third Floor									
Apartment #4	1,226			600	280		1,226		
Stair #1	100								
Stair #2	84								
Total Third Floor Area		1,410							
Total Building Floor Area			9,736	1,950	700	2,792	4,024		
Floor Area Ratio									
9,736sf / 5460 sf:								1.73	

March 27, 2006

Capitol Bakery & Bistro

And Residential Apartments

453 W. Washington Avenue

Madison, WI



Zoning Text

Legal Description: The lands subject to this planned unit development shall include those described in Exhibit A, attached hereto.

- A. Statement of Purpose: This zoning district is established to allow for the construction of a multi-use building housing a restaurant-tavern, related commercial bakery, and residential apartments.
- B. Permitted Uses:
 - 1. Those that are stated as permitted users in the R6 District.
 - 2. Uses accessory to permitted uses as permitted in the R6 District.
 - 3. Other permitted uses: restaurant-tavern and bakery
- C. Lot Area 5,640 sf
- D. Floor Area Ratio
 - 1. Maximum floor area ratio permitted is 2.0
 - 2. Maximum building height shall be 3 stories or as shown on approved plans.
- E. Yard Requirements: Yard areas will be provided as shown on the approved plans.
- F. Landscaping: Site landscaping will be provided as shown on the approved plans.
- G. Accessory Off-Street Parking & Loading: Accessory off-street parking and loading will be provided as shown on approved plans.
- H. Lighting: Site lighting will be provided as shown on approved plans.
- I. Signage: signage will be allowed as per Chapter 31 of the Madison General Ordinances, as compared to the R6 district, or signage will be provided as approved on the recorded plans.
- J. Family Definition: The family definition of this PUD-SIP shall coincide with the definition given in Chapter 28.03(2) of the Madison General Ordinances for the R6 zoning district.
- K. Alterations and Revisions: No alteration or revision of this planned unit development shall be permitted unless approved by the City Plan Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Plan Commission.



CAPITOL BAKERY & BISTRO

& RESIDENTIAL APARTMENTS

453 W. WASHINGTON AVE.
MADISON, WISCONSIN

PROJECT DESCRIPTION

CONVERT EXISTING FIRST FLOOR
AREAS OF TWO RESIDENTIAL
BUILDINGS INTO COMBINED
COMMERCIAL SPACE WITH A
CONNECTING ADDITION.

PROJECT TEAM

OWNER:
NAVIN JARUGUMILLI
MADISON, WI

ARCHITECT
MARK J. SCHMIDT
2040 WINNEBAGO ST
MADISON, WI 53704
608-271-0140

INDEX

- 1.1 TITLE SHEET
- 2.1 SITE PLAN
- 6.0 BASEMENT PLAN
- 6.1 FIRST FLOOR PLAN
- 6.2 SECOND FLOOR PLAN
- 6.3 THIRD FLOOR PLAN
- 7.1 ROOF PLAN
- 8.1 EXTERIOR ELEVATIONS
- 8.2 EXTERIOR ELEVATIONS
- 8.3 EXTERIOR DETAILS

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LLC

OWNER
NAVIN JARUGUMILLI

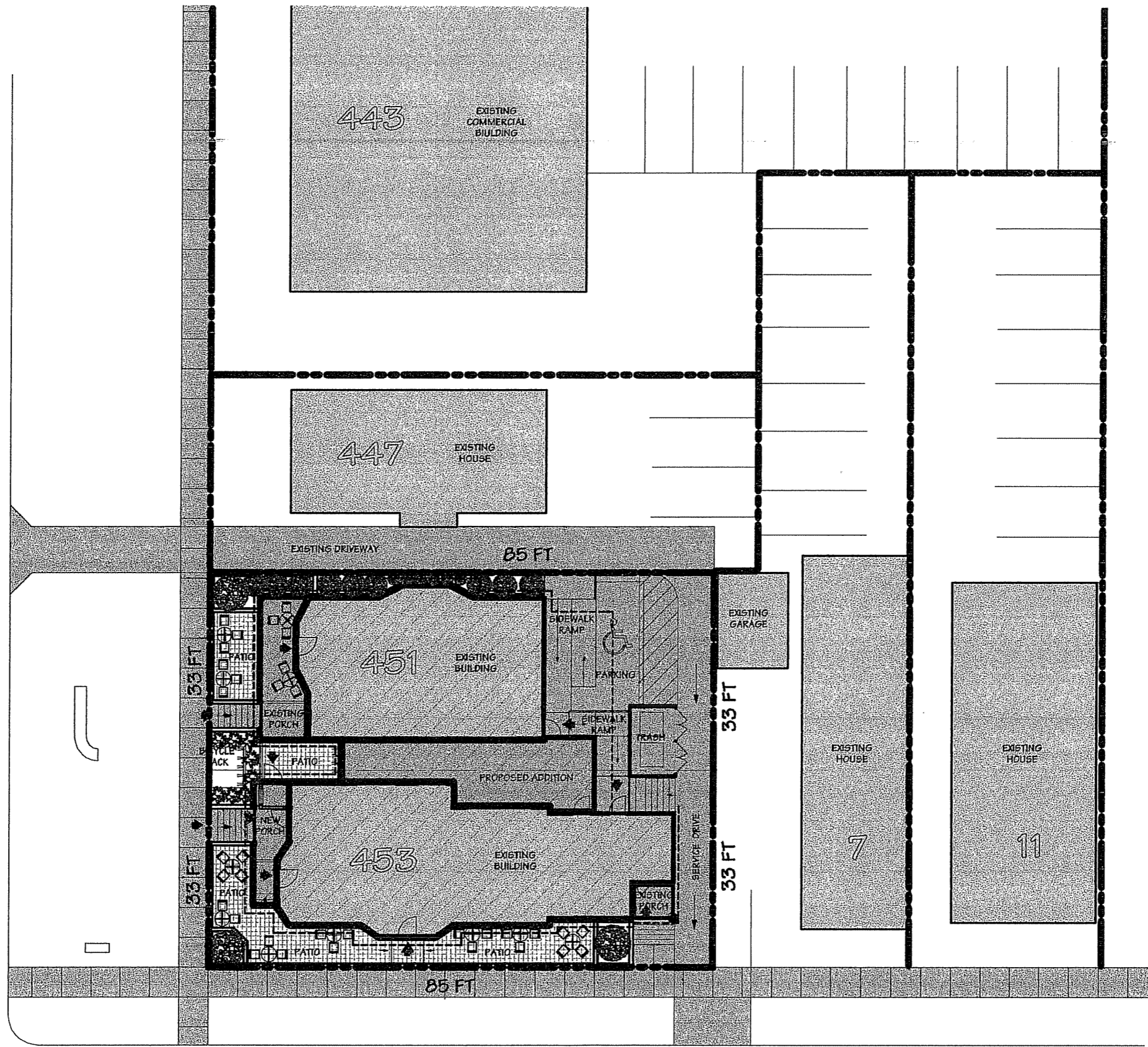
ALTERATIONS FOR:
CAPITOL BAKERY & BISTRO
& RESIDENTIAL APARTMENTS
451 & 453 W. WASHINGTON AVENUE MADISON, WI

ISSUED:	DESIGN CONCEPT
DATE:	3/27/06
DRAWN BY:	DESIGNED BY:
	JOB NO:
	50505

TITLE
SHEET

SHEET No. 1.1

WEST WASHINGTON AVENUE



ONE WAY TRAFFIC

BASSET STREET

ONE WAY TRAFFIC

SITE PLAN NOTES:

SITE AREA: 5,604 sq ft

BUILDING AREA CALCULATIONS:

451 W. WASH 1,008 sq ft

EXISTING PORCH 168 sq ft

453 W. WASH 1,376 sq ft

EXISTING REAR PORCH 42 sq ft

PROPOSED NEW PORCH 106 sq ft

PROPOSED ADDITION 409 sq ft

TOTAL BUILDING AREA 3,108 sq ft

EXISTING & NEW BASEMENT AREA 2,793 sq ft

EXISTING SECOND FLOOR AREA 2,425 sq ft

EXISTING THIRD FLOOR AREA 1,410 sq ft

TOTAL BUILDING FLOOR AREA 9,736 sq ft

LANDSCAPING SCHEDULE

- (A) _____
- (B) _____
- (C) _____

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ksanchez@mlk.com
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Mark J.
Schmidt
Architect
AIA

NAVIN JARUGUMILLI
MADISON, WI

ALTERATIONS FOR:
**CAPITOL BAKERY & BISTRO
& APARTMENTS**
451 & 453 W. WASHINGTON AVENUE, MADISON, WI

DATE	ISSUED:
3/27/06	CONCEPT DESIGN

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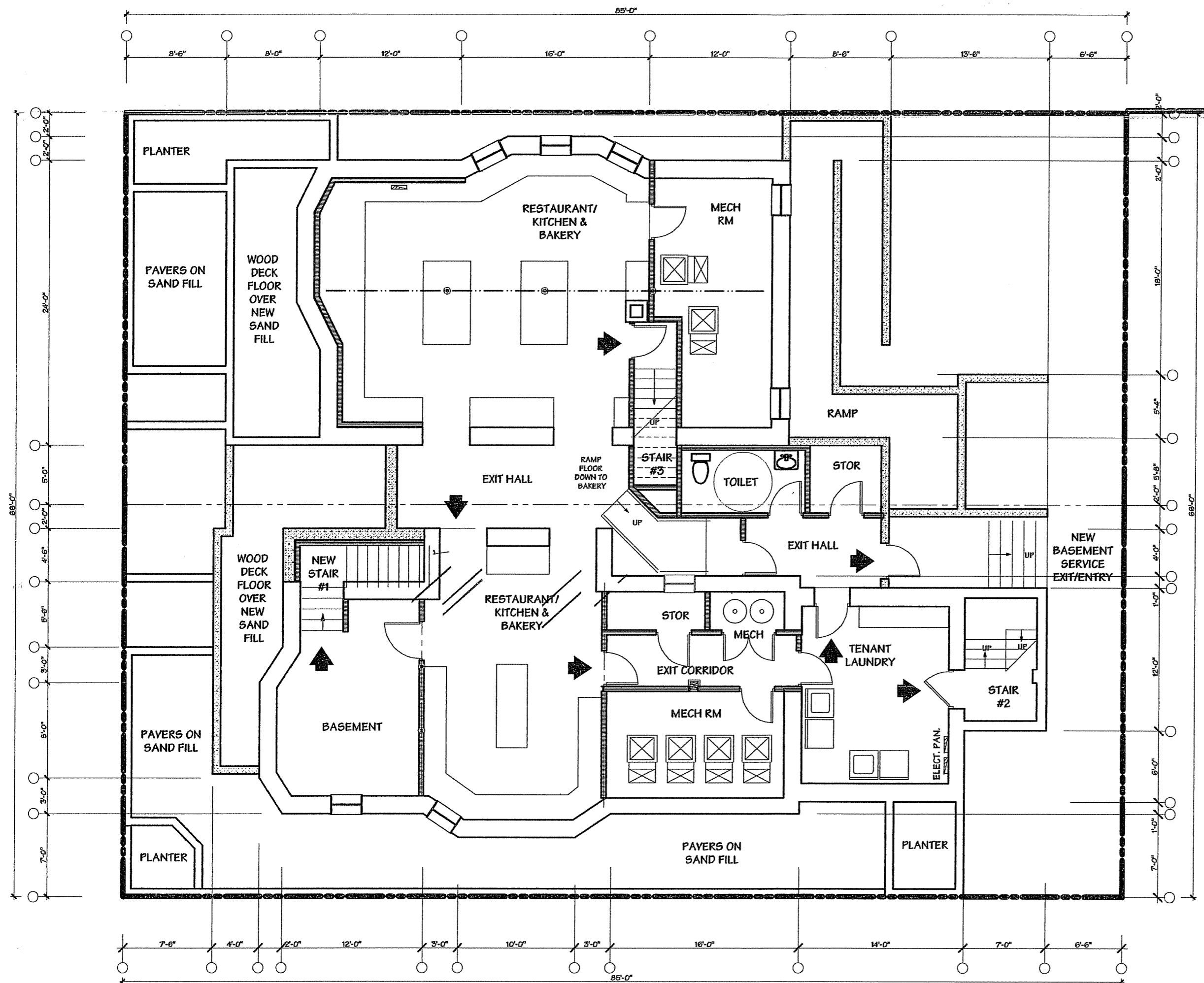
GRAPHIC SCALE: 1" = 10'-0"

PROJECT NORTH

TRUE NORTH

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SITE PLAN
2.1



AREA CALCULATIONS

KITCHEN/BAKERY	1,335 sq ft
MECH #1 AND TENANT USE AREA	656 sq ft
NEW EXIT & TOILET ROOM ADDITION	231 sq ft
MECH #2	257 sq ft
STAIR #1 /BASEMENT	310 sq ft
TOTAL BASEMENT AREA	2,789 sq ft

OCCUPANCY CALCULATIONS:

SOUTH NET BAKERY AREA	
NORTH NET BAKERY AREA	1,150 sq ft
BAKERY 806 SF/2005F = (5) PERSONS	

SCALE: 1/4"=1'-0"

PROJECT TRUE NORTH

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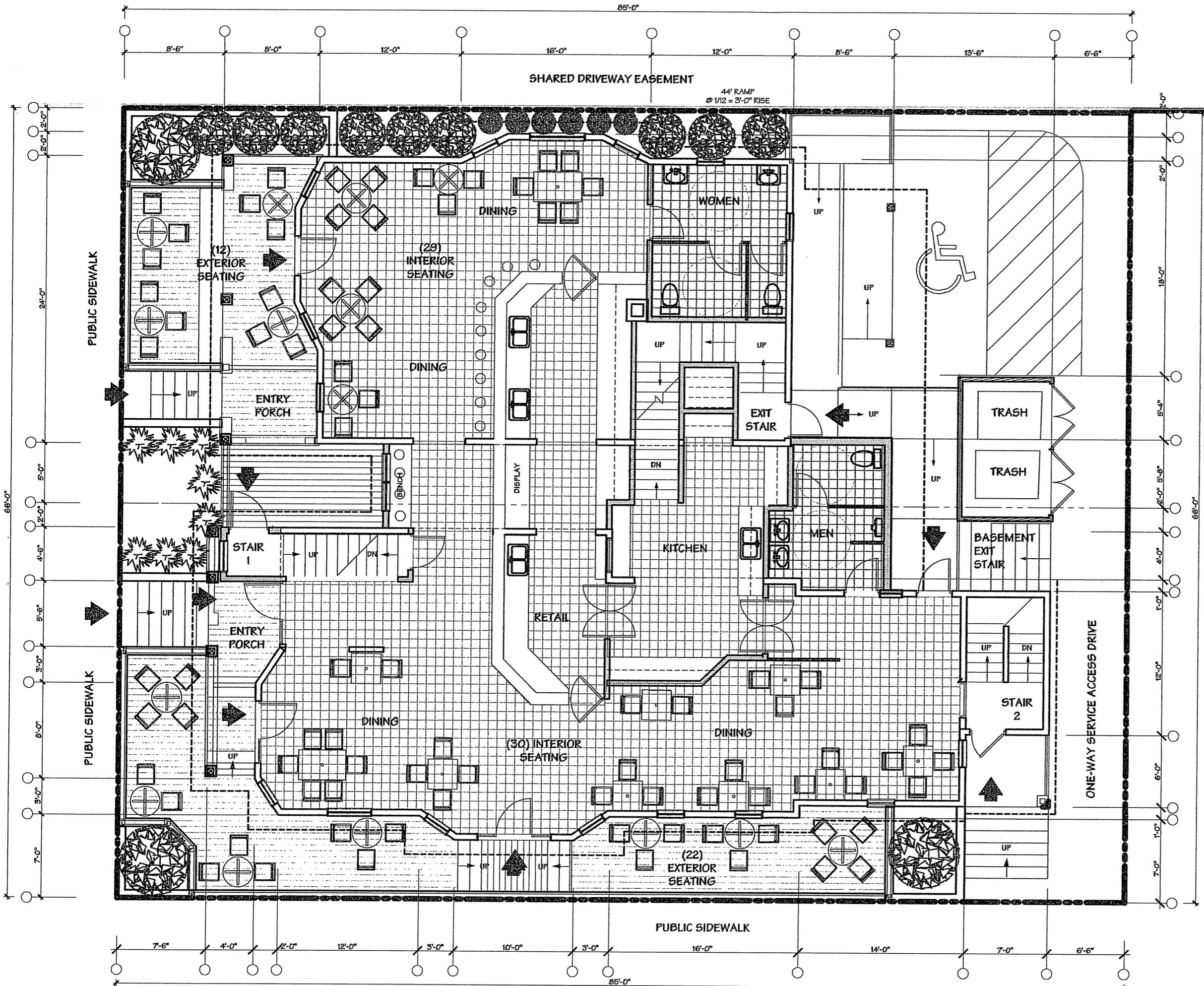
OWNER
NAVIN JARUGUMILLI

ALTERATIONS FOR:
CAPITOL BAKERY & BISTRO
& RESIDENTIAL APARTMENTS
451 & 453 W. WASHINGTON AVENUE MADISON, WI

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			60505

BASEMENT FLOOR PLAN

SHEET No. **6.0**



FIRST FLOOR PLAN NOTES:

SCOPE OF WORK

FIRST FLOOR TOTAL AREA:

CONVERT THE FIRST FLOOR OF THE TWO EXISTING BUILDINGS INTO A RESTAURANT-TAVERN. AN ADDITION IS TO BE CONSTRUCTED TO CONNECT THE BASEMENT AND FIRST FLOOR AREAS. A NEW RAISED PATIO DECK IS TO BE CONSTRUCTED WITH A MASONRY RETAINING WALL AND STEEL GUARDRAIL. FUTURE WORK MAY INCLUDE IMPROVEMENTS TO TERRACE AREA TO PROVIDE OUTDOOR SEATING.

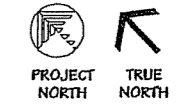
BUILDING AREA CALCULATIONS:

EXISTING AREA 451	1,376 sq ft
PROPOSED CONNECTING ADDITION	408 sq ft
EXISTING AREA 453	1,008 sq ft
PROPOSED ENTRY STAIR ADDITION	22 sq ft
TOTAL FIRST FLOOR	2,814 sq ft
EXISTING 451 FRONT PORCH	168 sq ft
PROPOSED NEW 453 FRONT PORCH	106 sq ft
EXISTING 453 REAR PORCH	42 sq ft
TOTAL BUILDING FLOOR AREA	3,129 sq ft

OCCUPANCY CALCULATIONS:

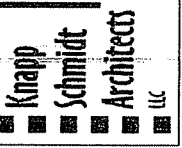
NET INTERIOR DINING AREA	RESTAURANT 1,386 SF/155F = (83) PERSONS
RESTAURANT INTERIOR SEATING	(61) PERSONS
RESTAURANT EXTERIOR SEATING	(32) PERSONS
RESTAURANT KITCHEN	
RESTAURANT KITCHEN	
TOTAL RESTAURANT OCCUPANCY	(32) PERSONS

SCALE: 1/4"=1'-0"



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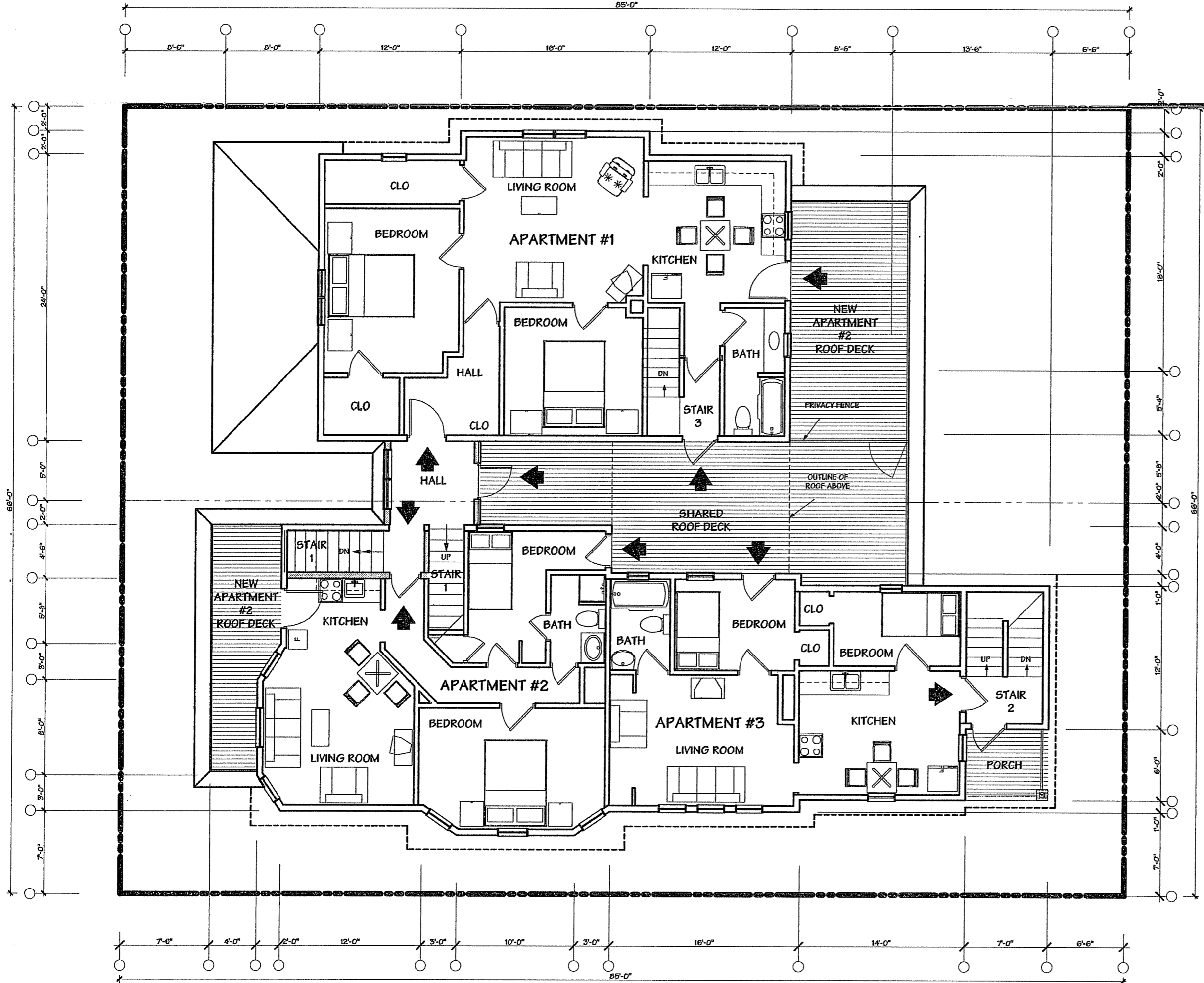
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ALTERATIONS FOR:
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& RESIDENTIAL APARTMENTS
451 & 453 W. WASHINGTON AVENUE MADISON, WI

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FIRST FLOOR PLAN

SHEET No. **6.1**



SECOND FLOOR PLAN NOTES:

SCOPE OF WORK:
 SCOPE OF WORK:
 CONSTRUCT NEW ROOF DECK AND
 HALL OVER NEW CONNECTING
 ADDITION:

FLOOR AREA CALCULATIONS:

APARTMENT #1	933 sq ft
APARTMENT #2	637 sq ft
APARTMENT #3	572 sq ft
NEW HALL	57 sq ft
STAIR 1	83 sq ft
STAIR 2	84 sq ft
STAIR 3	59 sq ft
TOTAL	2,425 sq ft

USABLE OPEN AREA:

REQUIRED:

APART #1 (2) BDRM @ 705F = 140 SF
 APART #2 (2) BDRM @ 705F = 140 SF
 APART #3 (2) BDRM @ 705F = 140 SF
 APART #4 (4) BDRM @ 705F = 280 SF

TOTAL REQ'D OPEN AREA: 700 SF

PROVIDED:

APART #1 DECK AREA	102 sq ft
APART #2 DECK AREA	197 sq ft
SHARED DECK AREA	282 sq ft
APART #4 DECK AREA	165 sq ft
TOTAL USABLE AREA	709 sq ft

OCCUPANCY CALCULATIONS:

APARTMENT #1: 933 SF / 200SF = (5) PERSONS
 APARTMENT #2: 637 SF / 200SF = (4) PERSONS
 APARTMENT #3: 572 SF / 200SF = (3) PERSONS

TOTAL SECOND FLOOR OCCUPANCY (12) PERSONS

SCALE: 1/4"=1'-0"

PROJECT TRUE NORTH
 NORTH NORTH

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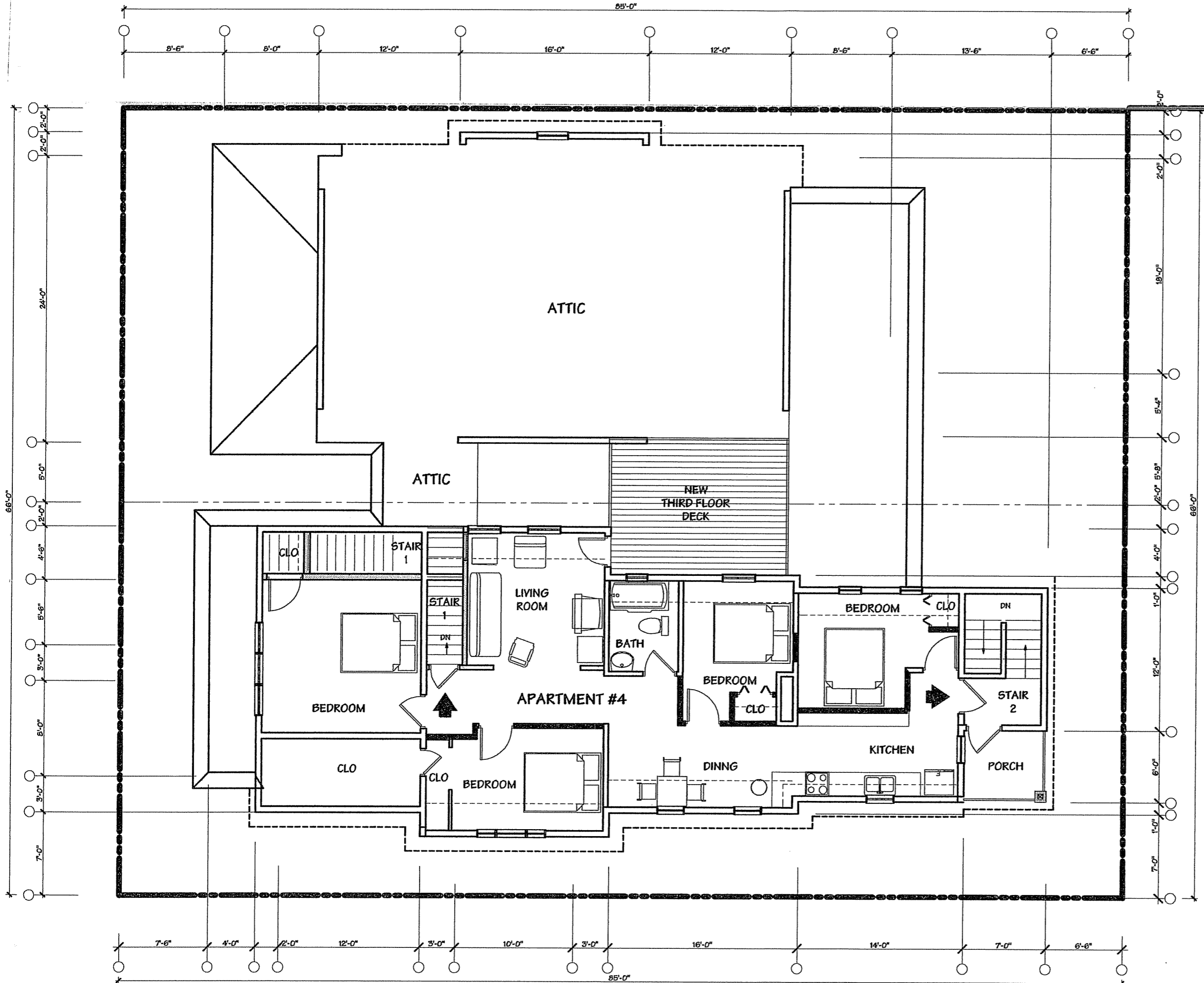
OWNER
 NAVIN JARUGUMILLI

ALTERATIONS FOR:
 CAPITOL BAKERY & BISTRO
 & RESIDENTIAL APARTMENTS
 451 & 453 W. WASHINGTON AVENUE MADISON, WI

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SECOND FLOOR PLAN

SHEET No: 6.2



THIRD FLOOR PLAN NOTES:

THIRD FLOOR AREA CALCULATIONS:

EXISTING THIRD FLOOR APARTMENT	1,226 sq ft
STAIR 1	100 sq ft
STAIR 2	84 sq ft
EXISTING THIRD FLOOR AREA:	1,409 sq ft
NEW THIRD FLOOR DECK	172 sq ft

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OWNER
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ALTERATIONS FOR:
CAPITOL BAKERY & BISTRO
& RESIDENTIAL APARTMENTS
451 & 453 W. WASHINGTON AVENUE MADISON, WI

OCCUPANCY CALCULATIONS:

APARTMENT #4: 1,226 SF / 200SF = (7) PERSONS
TOTAL THIRD FLOOR OCCUPANCY (7) PERSONS

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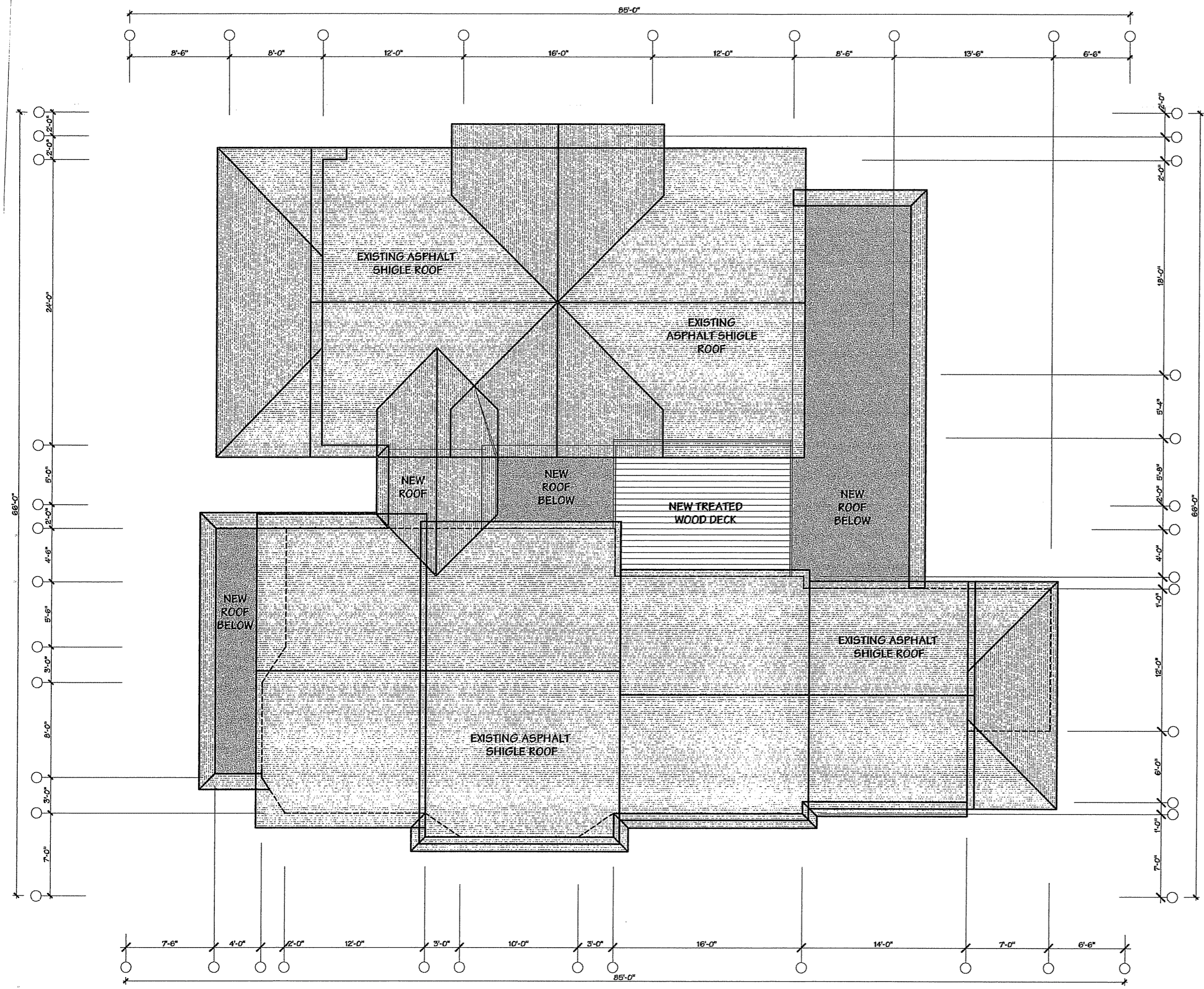
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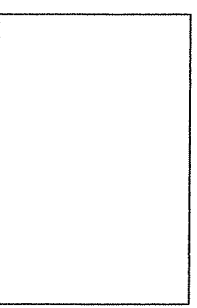
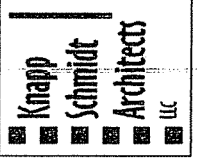
THIRD FLOOR PLAN

SHEET# 6.3



ROOF PLAN NOTES:

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608-271-0140
Phone
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Fax
ksanchez@earthlink.net
e-mail



OWNER
NAVIN JARUGUMILLI

ALTERATIONS FOR:
CAPITOL BAKERY & BISTRO
& RESIDENTIAL APARTMENTS
451 & 453 W. WASHINGTON AVENUE MADISON, WI

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SCALE: 1/4"=1'-0"

PROJECT NORTH TRUE NORTH

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ROOF PLAN

SHEET No: 7.1



A 8.1

SOUTH ELEVATION
BASSETT STREET SIDE

WELDED STEEL GUARDRAILS.
NEW MASONRY RETAINING WALL

0'-0" FIRST FLOOR
-2'-4" NEW DECK FLOOR
-4'-0" SIDEWALK

OWNER
NAVIN JARUGUMILLI



ADDITION TO CONNECT TWO BUILDINGS
AT BASEMENT, FIRST FLOOR &
SECOND FLOOR LEVELS.

NEW VINYL SIDING
ROUND MANUFACTURED WINDOW DETAIL
NEW VINYL SIDING
NEW WELDED STEEL GUARDRAILS.
IT FACE CONCRETE BLOCK RETAINING WALL

29'-6" EXISTING ROOF HEIGHT
(33'-6" ABOVE ADJACENT SIDEWALK)
25'-2" THIRD FLOOR PLAN
NEW WINDOWS IN EXISTING OPENINGS
RESIDENTIAL ENTRY
NEW VINYL SIDING
NEW FRONT PORCH & SECOND FLOOR
APARTMENT DECK
18'-8" THIRD FLOOR PLAN
SUSPENDED SIGN 6 FT X 2 FT
NEW VINYL SIDING
10'-0" SECOND FLOOR
ALUMINUM WRAP WINDOW CASINGS AND MID-POINT BORDER
NEW WELDED STEEL GUARDRAILS.
SLPIT FACE CONCRETE BLOCK RETAINING WALL

B 8.1

WEST ELEVATION
WASHINGTON AVENUE SIDE

0'-0" FIRST FLOOR
-2'-0" NEW DECK FLOOR
4'-0" EXISTING STREET SIDEWALK
-8'-0" BASEMENT FLOOR

ALTERATIONS FOR:
CAPITOL BAKERY & BISTRO
& RESIDENTIAL APARTMENTS
451 & 453 W. WASHINGTON AVENUE MADISON, WI

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	JOB NO:
	50505

EXTERIOR
ELEVATIONS

SHEET No. 8.1

NEW SECOND FLOOR APARTMENT DECK
OVER NEW FIRST FLOOR
COMMERCIAL SPACE ADDITION

NEW EXIT STAIR DECK

TRASH ENCLOSURE

HANDICAP ACCESS RAMP TO
FIRST FLOOR
COMMERCIAL SPACE

NEW FRONT PORCH & SECOND FLOOR
APARTMENT DECK

C
8.1

NORTH ELEVATION

NEW SPLIT FACE CONCRETE BLOCK
RETAINING WALL WITH
WELDED STEEL GUARDRAILS.

FIRST FLOOR ACCESSIBLE ENTRY

NEW 2ND FLOOR RESIDENTIAL APARTMENT
DECK ABOVE NEW
COMMERCIAL SPACE ADDITION

ADDITION TO CONNECT TWO BUILDINGS
AT BASEMENT, FIRST FLOOR &
SECOND FLOOR LEVELS.

NEW 3RD FLOOR APARTMENT
DECK ABOVE NEW
COMMERCIAL SPACE ADDITION

NEW SIDEWALK RAMP TO PROVIDE
HANDICAP ACCESSIBILITY TO
FIRST FLOOR
COMMERCIAL SPACE

NEW SPLIT FACE RETAINING WALL
WITH WELDED STEEL GUARDRAILS.

D
8.1

EAST ELEVATION

NEW BASEMENT SERVICE ENTRY/EXIT

TRASH ENCLOSURE

2040 Winnebago St.
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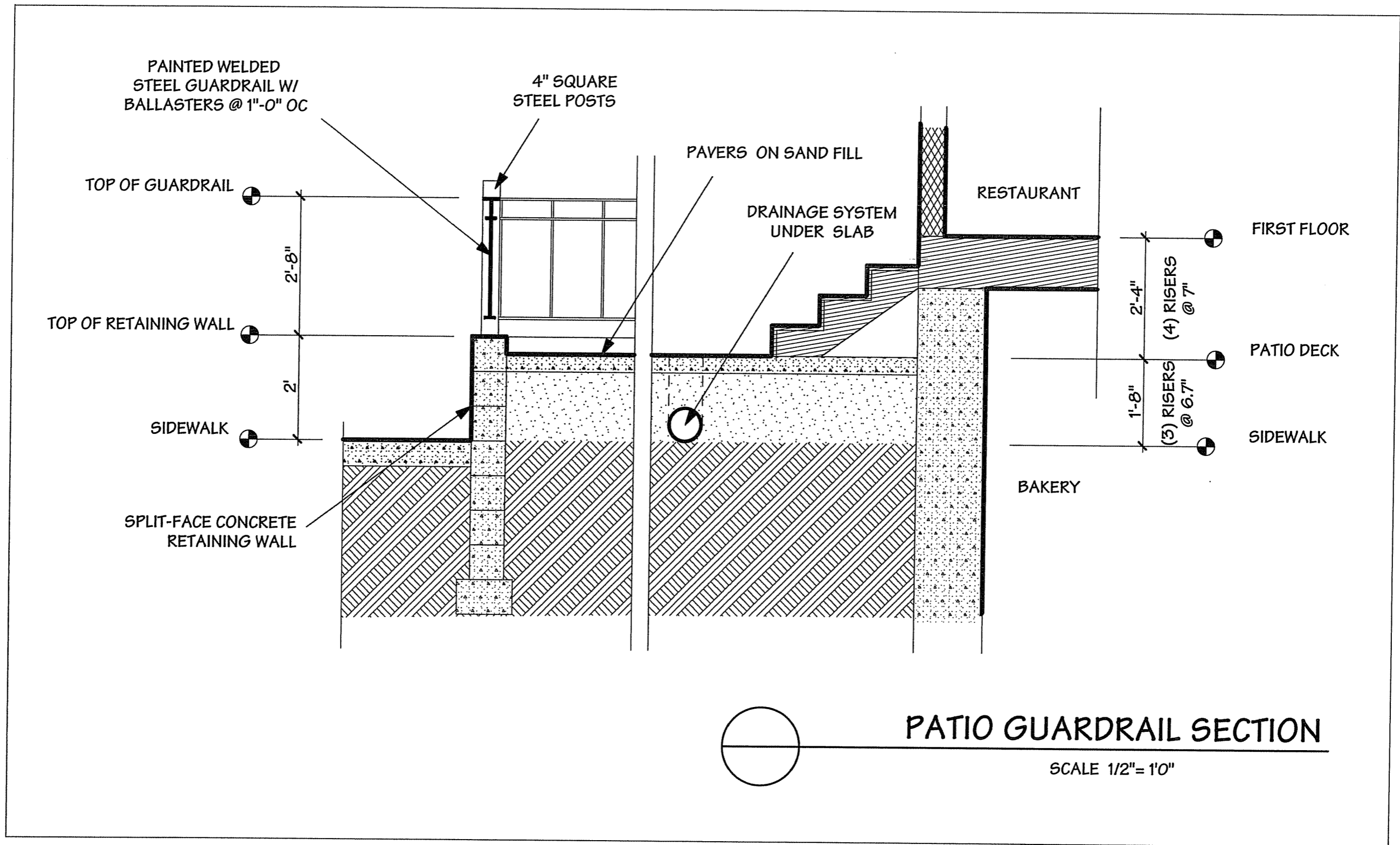
OWNER
NAVIN JARUGUMILLI

ALTERATIONS FOR:
CAPITOL BAKERY & BISTRO
& RESIDENTIAL APARTMENTS
451 & 453 W. WASHINGTON AVENUE MADISON, WI

ISSUED:	DESIGN CONCEPT
DATE:	3/27/06
DRAWN BY:	DESIGNED BY:
JOB NO:	60505

EXTERIOR
ELEVATIONS

SHEET No. **8.1**



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CAPITOL BAKERY & BISTRO

453 WEST WASHINGTON AVENUE

MADISON, WISCONSIN

DATE:	03/27/2006
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