

# CITY OF MADISON Comprehensive Plan

Draft - May 1, 2018

Imagine Madison  
People Powered Planning







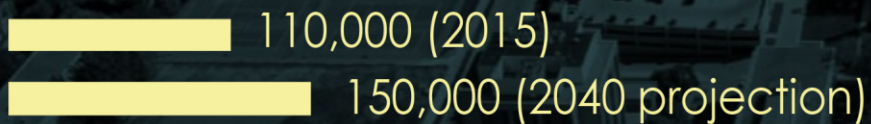
## POPULATION



Madison will add 70,000 new residents between now and 2040.



## TOTAL HOUSING UNITS



Madison will need to build 40,000 housing units by 2040 to meet the needs of our growing population.

# COMPREHENSIVE PLAN

## 6 BUCKETS



### Form + Connectivity



### Neighborhoods + Housing



### Culture + Character



### Green + Resilient



### Services + Facilities



### Economy + Opportunity

## RELATED PLANS

- Neighborhood Plans
- Neighborhood Development Plans
- Special Area Plans
- Transportation Plans

- CDBG Five-Year Plans
- Affordable Housing Studies, Reports, and Programs

- Cultural Plan
- Historic Preservation Plan
- Urban Design Plans

- Sustainability Plan
- Park & Open Space Plan
- Energy Plan

- Water and Sewer System Plans
- Long Range Facilities Plan
- Intergovernmental Agreements

- Economic Development Plan
- Tax Increment Financing (TIF) Plans
- Redevelopment Plans

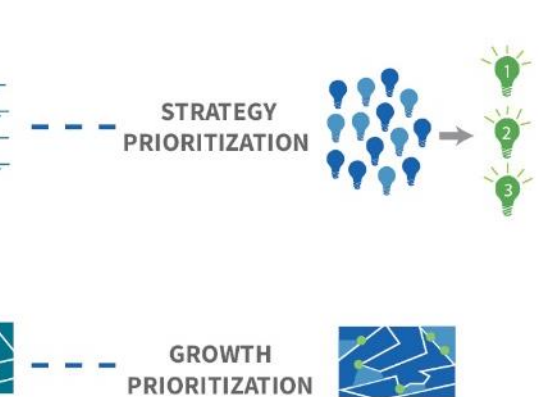
# Phase 1: Fall 2016



## Phase 2: Spring 2017



## Phase 3: Fall 2017





# 15,000+ people engaged through Imagine Madison



**Website**  
11,960 unique visitors



**Community Meetings**  
10 meetings / 371 participants



**Resident Panels**  
231 participants



**Markets and Festivals**  
19 Events / 649 interactions



**Social Media**  
803 followers



**Mini-Documentary**



**Planning Pop-ins**  
60 pop-ins / 1,775 attendees

- Hip Hop Architecture & Planning Camp
- Cap Times Talk
- UW-Madison PEOPLE Program
- UW-Madison Classes



**Inter-agency Staff Team**  
23 staff members / 17 departments



**Neighborhood Resource Teams**  
9 Teams / 118 attendees



**City Committees**  
16 Boards, Commissions, and Committees



# 6 Elements . . .



## LAND USE & TRANSPORTATION

Compact Land Use |  
Efficient Transportation



## NEIGHBORHOODS & HOUSING

Complete Neighborhoods | Housing Access



## ECONOMY & OPPORTUNITY

Growing Economy | Equitable Education &  
Advancement



## CULTURE & CHARACTER

Cultural Vibrancy | Unique Character



## Effective Government

Efficient Services | Regional Cooperation  
Community Facilities



## GREEN & RESILIENT

Natural Resources | Parks and Recreation

. . . 12 goals, 50 strategies, 167 actions

# Lenses



**Equity**



**Sustainability**



**Health**



**Adaptability**



Imagine  Madison

# Urban Design-Related Strategies & Actions



# Land Use & Transportation: Strategy #5

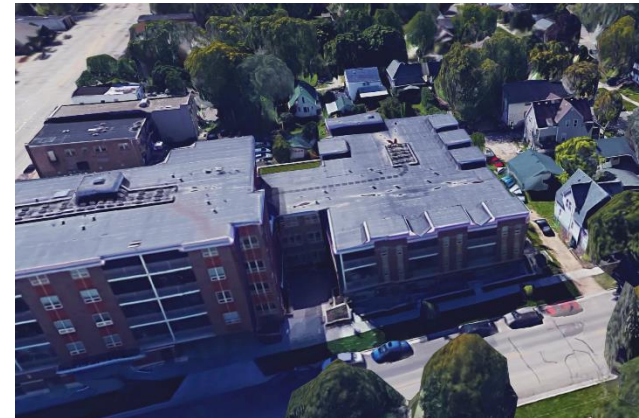
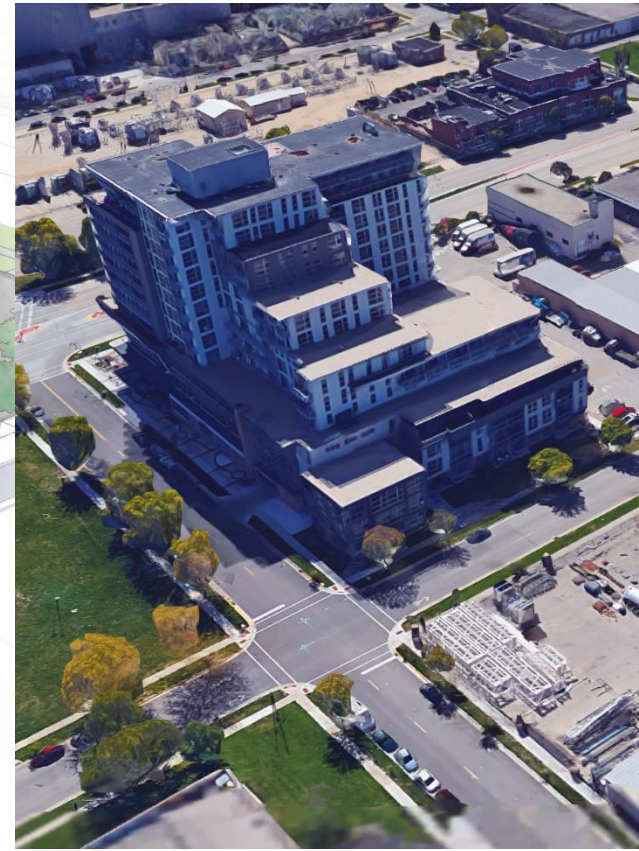
- Concentrate the highest intensity development along transit corridors, downtown, and at Activity Centers.
  - Implement TOD overlay zoning along high-frequency transit corridors
  - Ensure that redevelopment is well-integrated into adjacent low density residential areas
  - Prepare plans to transition auto-oriented commercial area into mixed-use Activity Centers

Building stepback

Landscape buffer

Fence

Side and/or rear yard setback





# Neighborhoods & Housing: Strategy #2

- Support development of a wider mix of housing types, sizes, and costs throughout the city.
  - Detailed sub-area plans should encourage “Missing Middle” housing types



# Neighborhoods & Housing: Strategy #3

- Increase the amount of available housing.
  - Prioritize planning for the transition underutilized, automobile-oriented commercial areas into Activity Centers
  - Explore adjustments to the zoning code conditional use thresholds to increase the permitted residential density in select districts
  - Explore the widespread replacement of residential density maximums with height maximums



# Culture & Character: Strategy #1

- Create vibrant and inviting places through creative architecture and urban design.
  - Prioritize placemaking
  - Emphasize high-quality human-scale design in new buildings and public places
  - Use development review standards to ensure redevelopment results in interesting, high-quality buildings and harmonious relationships with older buildings
  - Update UDDs 1-6 and consider UDDs to redeveloping corridors

# Culture & Character: Strategy #3

- Create safe and affirming community spaces that bring people together and provide social outlets for underrepresented groups.
  - ID existing public and private spaces for increased usage and activation
  - Design and program parks and public spaces for enjoyment by a broad range of users



# Culture & Character: Strategy #5

- Preserve defining views of the lakes, downtown skyline, and Capitol from publicly accessible locations.
  - Adhere to the *Maximum Building Heights Map and Views and Vistas Maps* in the *Downtown Plan*
  - Conduct a viewshed study of the lakes, downtown skyline and Capitol from vantage points within the city and beyond its borders and implement zoning restrictions to preserve these views

# Green & Resilient: Strategy #2

- Improve lake and stream water quality.
  - Further incentivize rain gardens and other types of green infrastructure



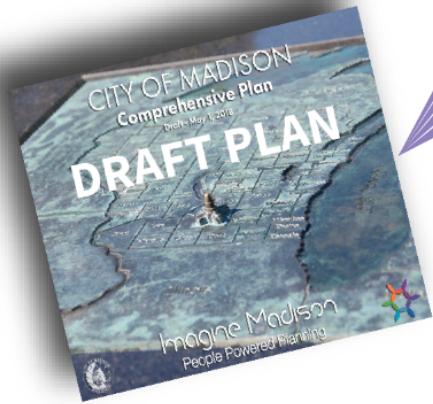
# Green & Resilient: Strategy #6

- Develop a healthy and diverse urban tree canopy.
  - Continue to prioritize tree species diversity to create a resilient tree canopy
  - Encourage the placement of utilities that fosters street tree growth

# Land Use Supplement Appendix: Design Principles

1. Transit-Oriented Development (TOD) Principles
  2. Traditional Neighborhood Development (TND) Principles
- Contained in the Plan as more detailed reference to supplement discussion of TOD and TND in some strategies and actions.
  - Provides guidance and principles for future sub-area plan development.





Submit comments online – visit [imaginemadisonwi.com](http://imaginemadisonwi.com)

Provide comments at a meeting

Email / write us

Call us

Community  
Comments

City Board, Commission,  
and Committee Review

Plan Commission  
Review

Plan Commission  
Recommendation

Common Council Review and Adoption



# Questions/Comments/Discussion

- Focus on content/policy (not typos).
- ***Please include any final suggested edits in a motion to recommend adoption of Plan.***
- Planning staff and the Plan Commission will review comments and recommend edits to Council.
- Council will consider edits during their adoption deliberations.



# Contact Us



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# A Greater Madison Vision

*how we grow matters*



Scenario Survey Website

[www.greatermadisonvision.com](http://www.greatermadisonvision.com)



September 12  
through  
November 12,  
2018!



