

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

Aldermanic District _____

Zoning District _____

Urban Design District _____

Submittal reviewed by _____

Legistar # _____

3/11/22
2:21 p.m.

RECEIVED

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: _____

Title: _____

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested _____

New development

Alteration to an existing or previously-approved development

Informational

Initial approval

Final approval

3. Project Type

Project in an Urban Design District

Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)

Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)

Planned Development (PD)

General Development Plan (GDP)

Specific Implementation Plan (SIP)

Planned Multi-Use Site or Residential Building Complex

Signage

Comprehensive Design Review (CDR)

Signage Variance (i.e. modification of signage height, area, and setback)

Signage Exception

Other

Please specify

4. Applicant, Agent, and Property Owner Information

Applicant name _____

Street address _____

Telephone _____

Project contact person _____

Street address _____

Telephone _____

Property owner (if not applicant) Russell Kahn

Street address 445 W. Wilson Street, Suite K

Telephone 608.438.8827

Company _____

City/State/Zip _____

Email _____

Company _____

City/State/Zip _____

Email _____

City/State/Zip Madison, WI 53703

Email 818regent@gmail.com

5. Required Submittal Materials

Application Form

Letter of Intent

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
- For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.

Development Plans (Refer to checklist on Page 4 for plan details)

Filing fee

Electronic Submittal*

Notification to the District Alder

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with _____ on _____.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant _____ Relationship to property _____

Authorizing signature of property owner Russell Kahn Date _____

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

Urban Design Districts: \$350 (per §35.24(6) MGO).

Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)

Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)

Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)

All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

*** All plans must be legible, including the full-sized landscape and lighting plans (if required)*

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

- Grading Plan
- Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (*Signage applications only*)

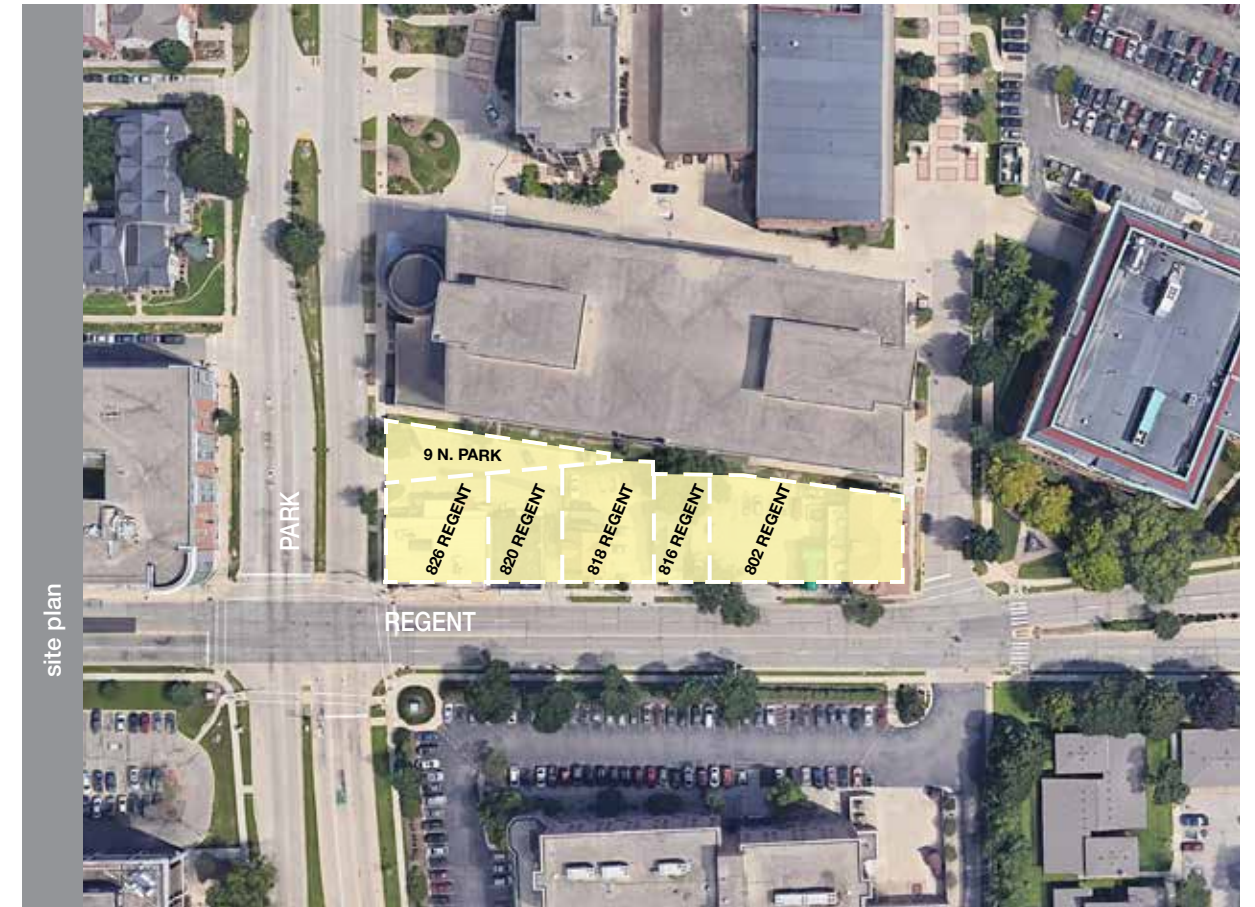
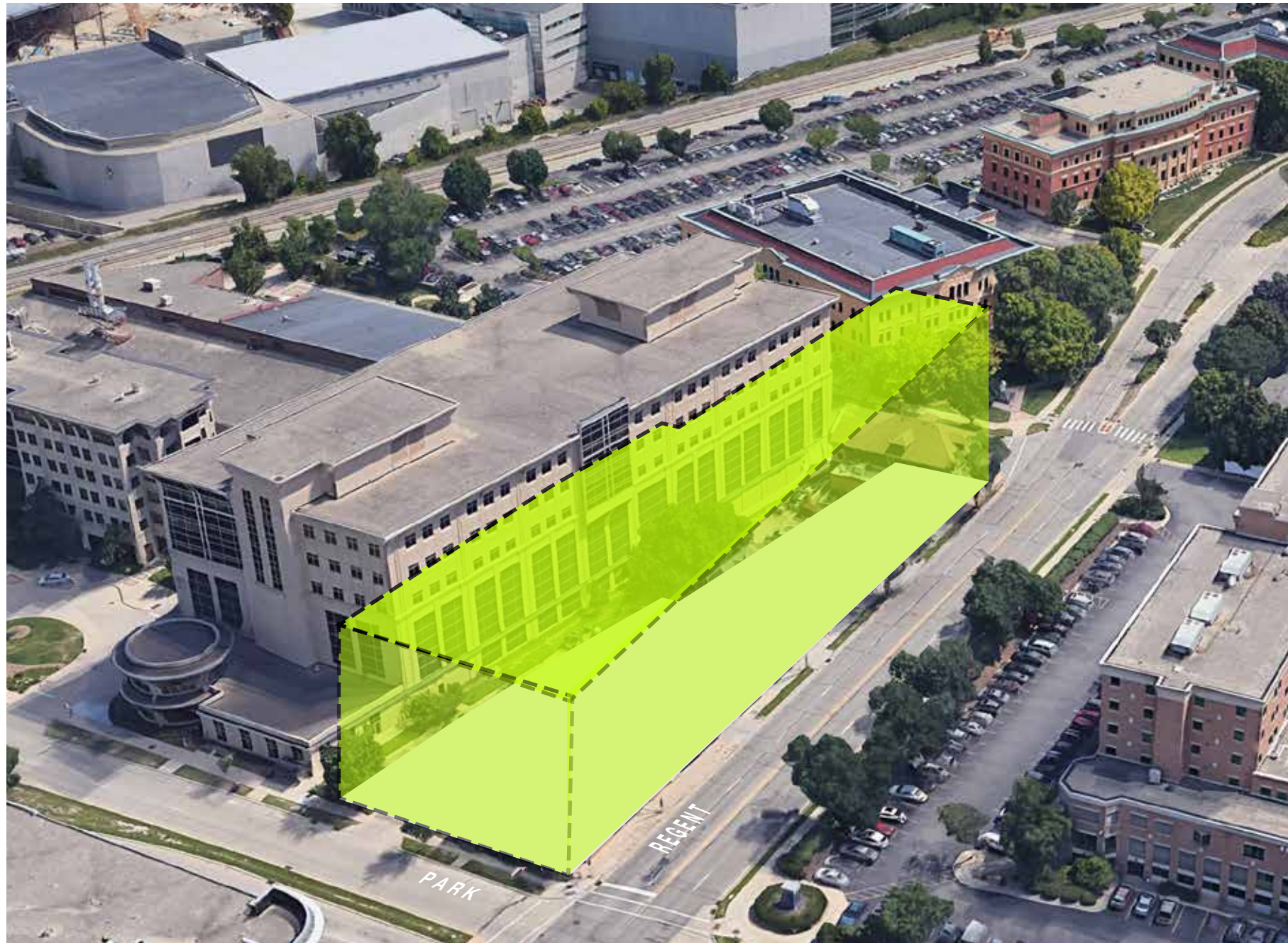
- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

CRG | Madison Park + Regent

UDC Submission

Monday, March 14, 2022





The site occupies a critical part of the South Campus Plan in Madison at the intersection of Park and Regent. The proposed ten story project recognizes the need to create a sense of enclosure and urban space in order to strengthen the business corridor along Regent as well as acting as an entrance to the campus from the south along Park. The site sits along both major vehicular paths and pedestrian paths and the proposed project speaks to the unified street-scape sought in the South Campus Plan with the use of the stepback and setbacks and even more by the critical introduction of vertical breaks and an undulating rhythm which play up the neighborhood/human scale and downplay any sense of heavy horizontality.

The approach to detailing is deeply rooted in tradition, but expresses the sense of a pedestrian scale, of texture, warmth and architecture with a base, middle and top with a contemporary, forward looking vocabulary. It speaks to what Madison is and what it can be.

street view looking southeast

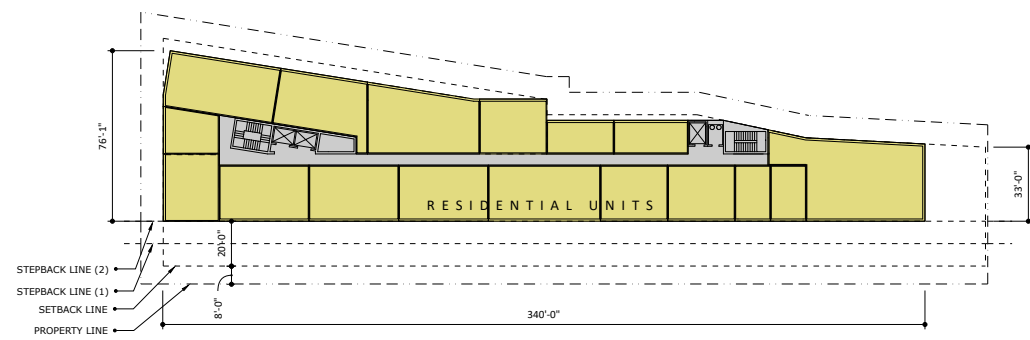


street view along Regent

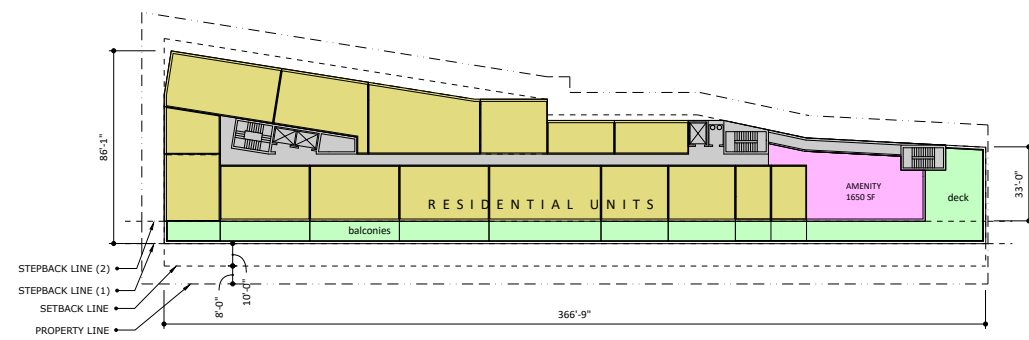
street view looking east



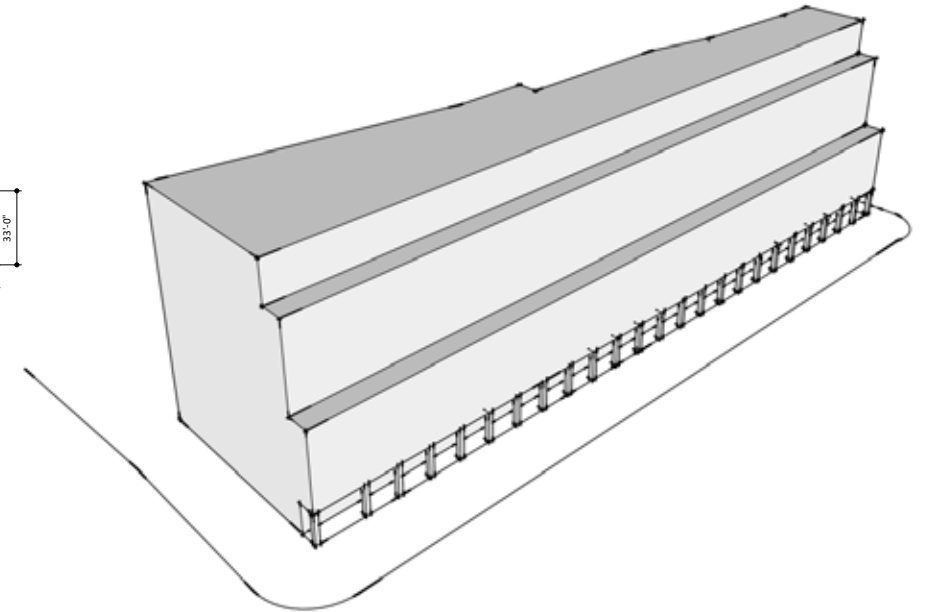
aerial view looking northwest



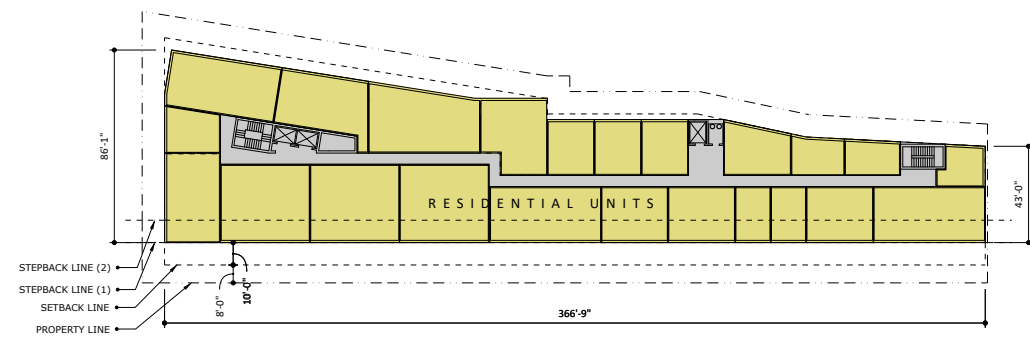
FLOOR 10



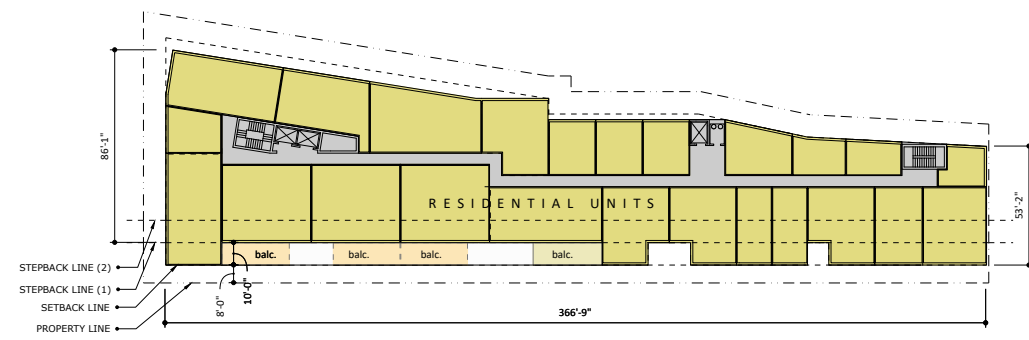
FLOOR 9



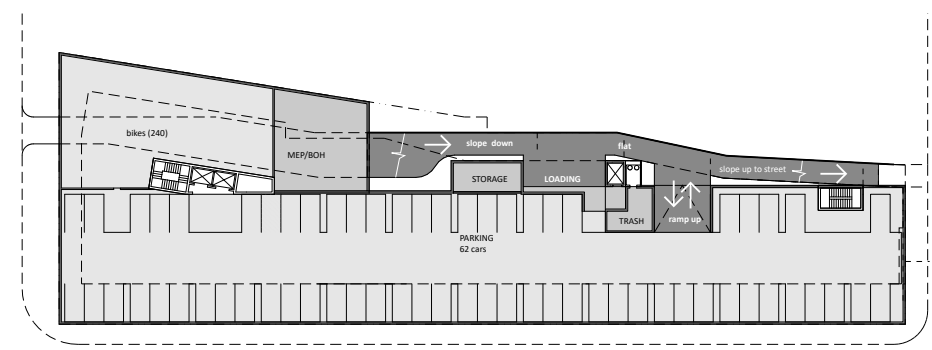
AERIAL VIEW OF MASSING



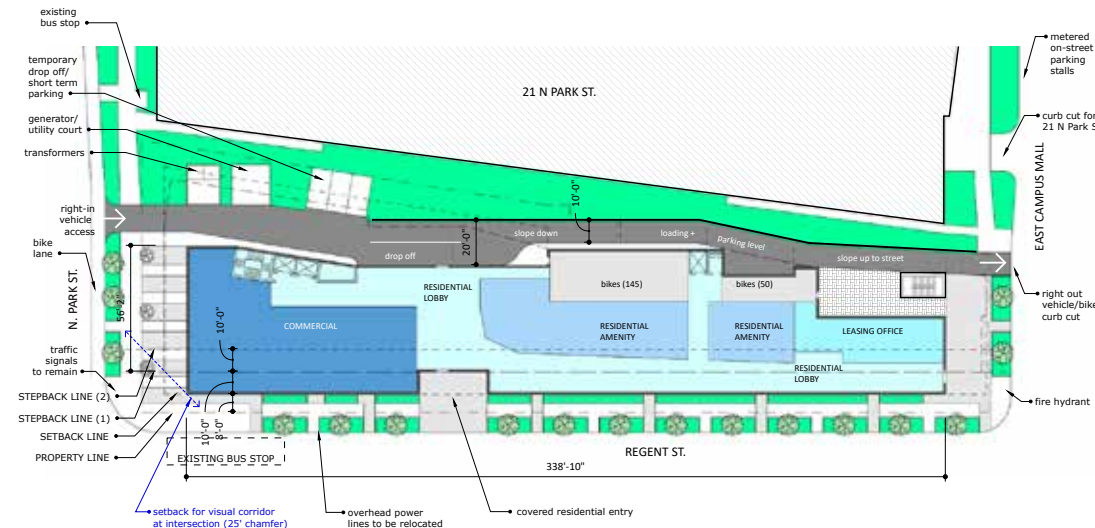
FLOORS 5-8



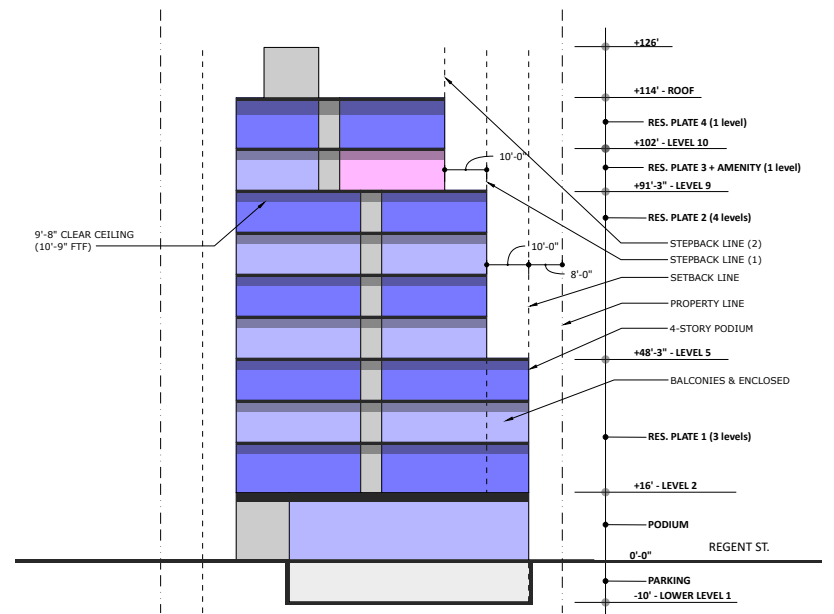
FLOORS 2-4



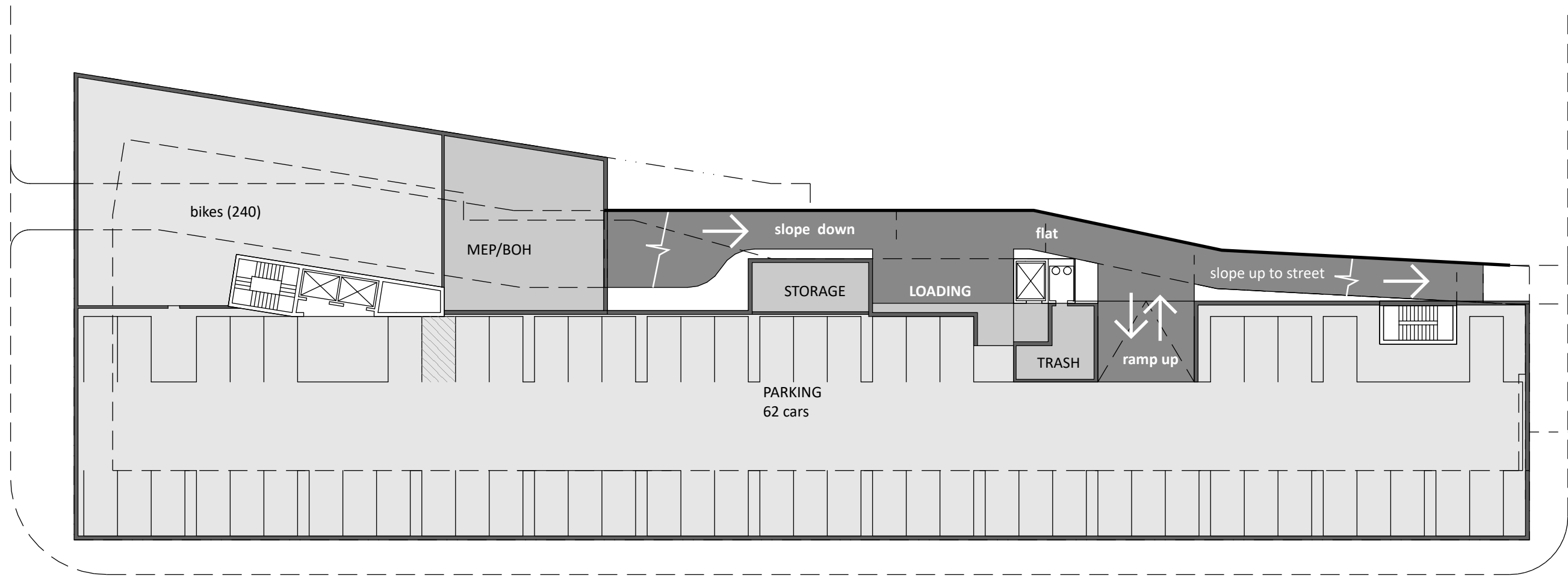
BASMENT

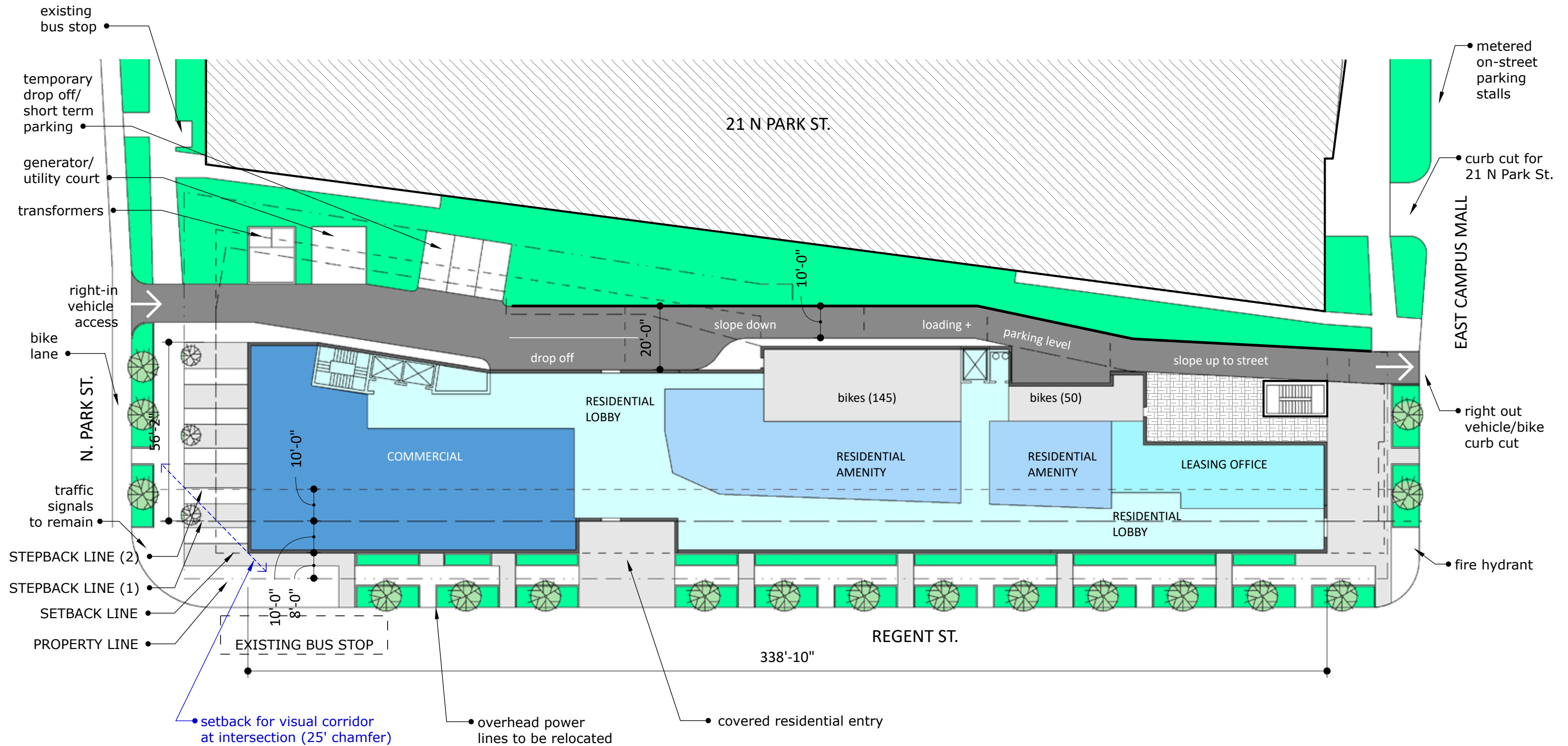


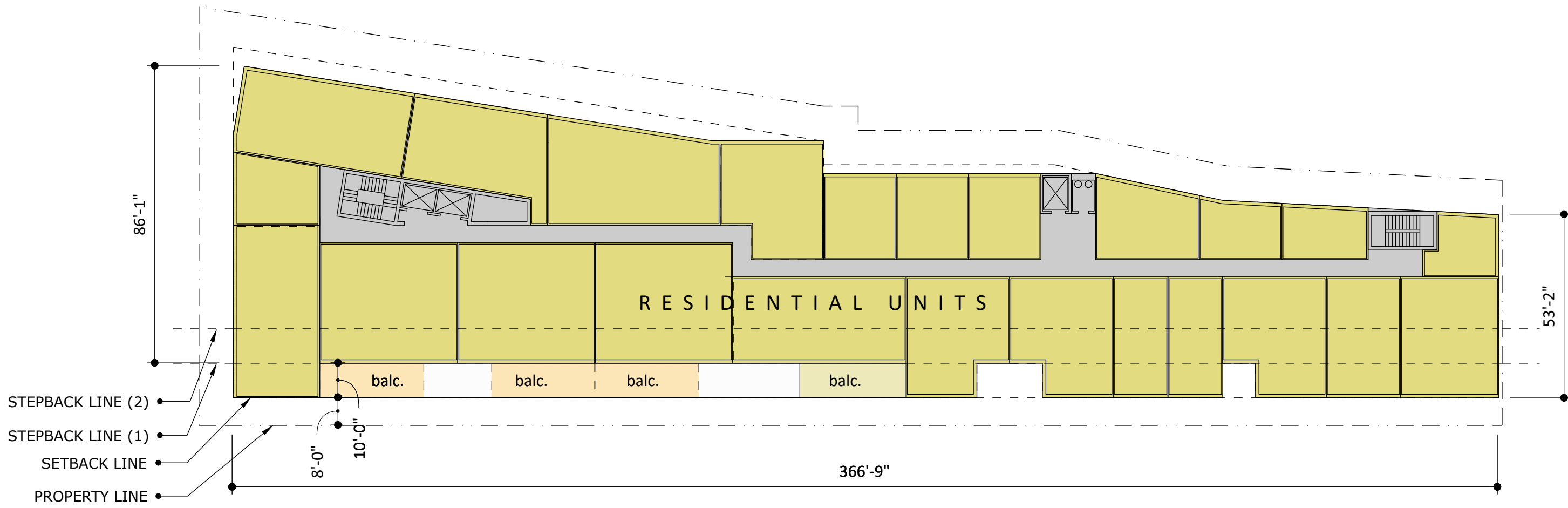
GROUND FLOOR

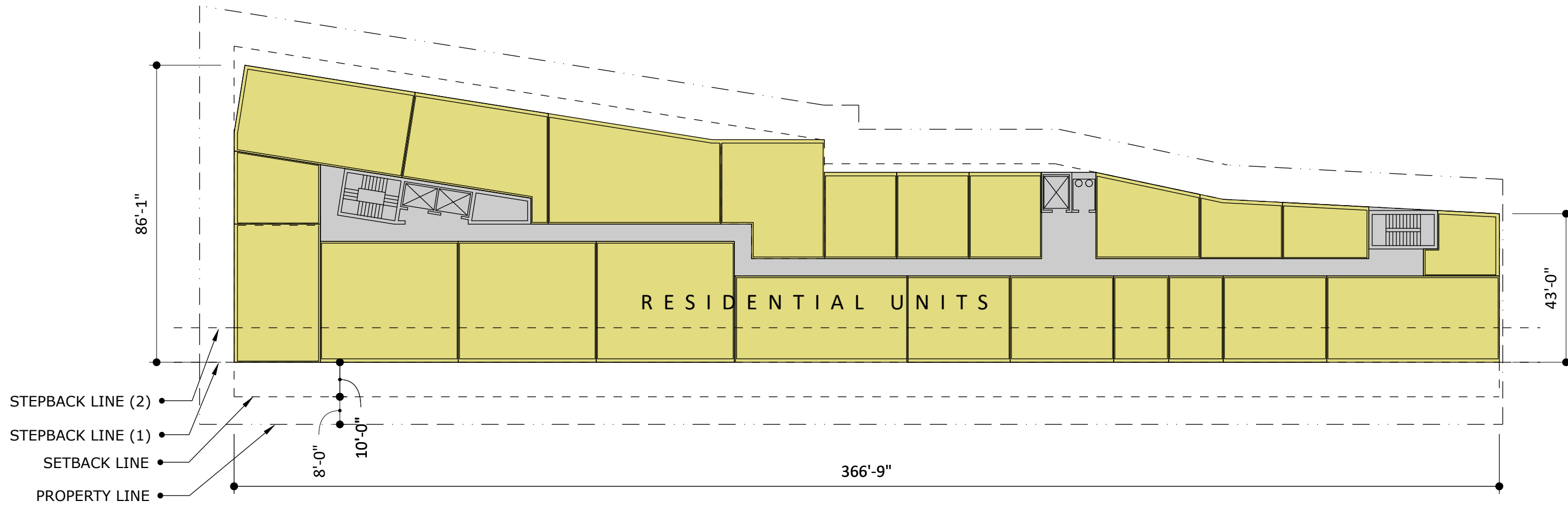


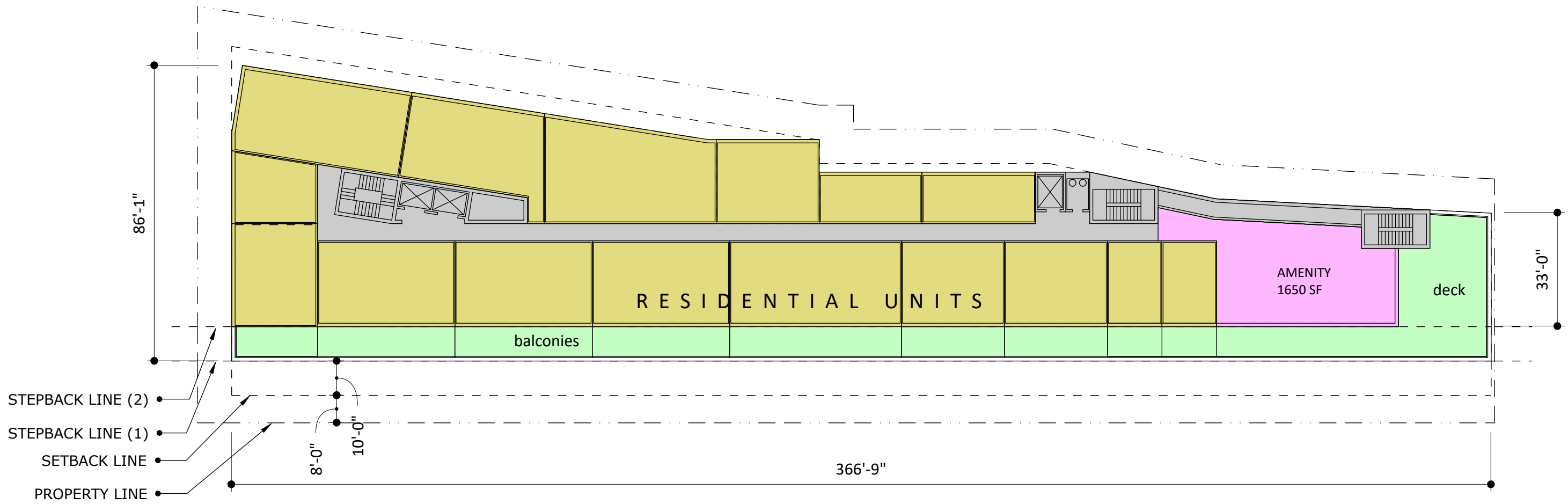
SECTION LOOKING EAST

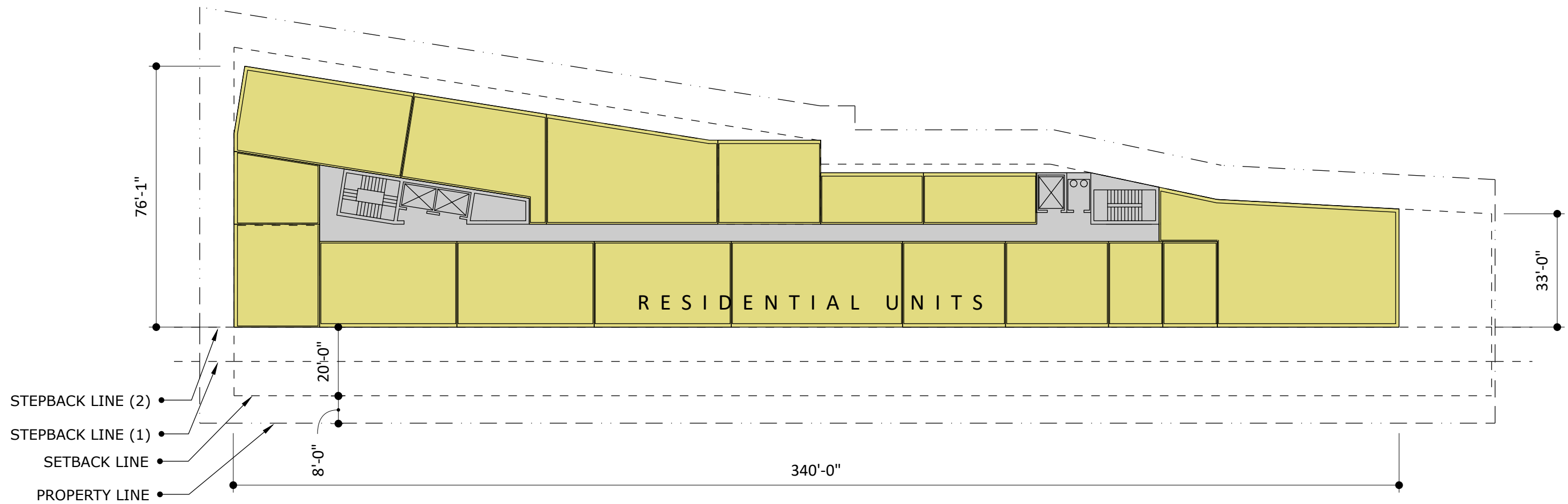


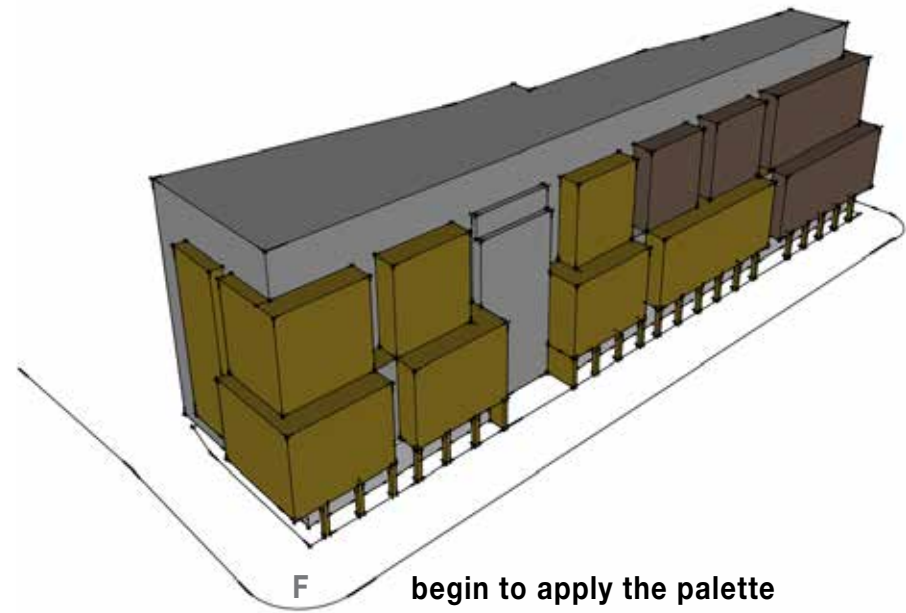








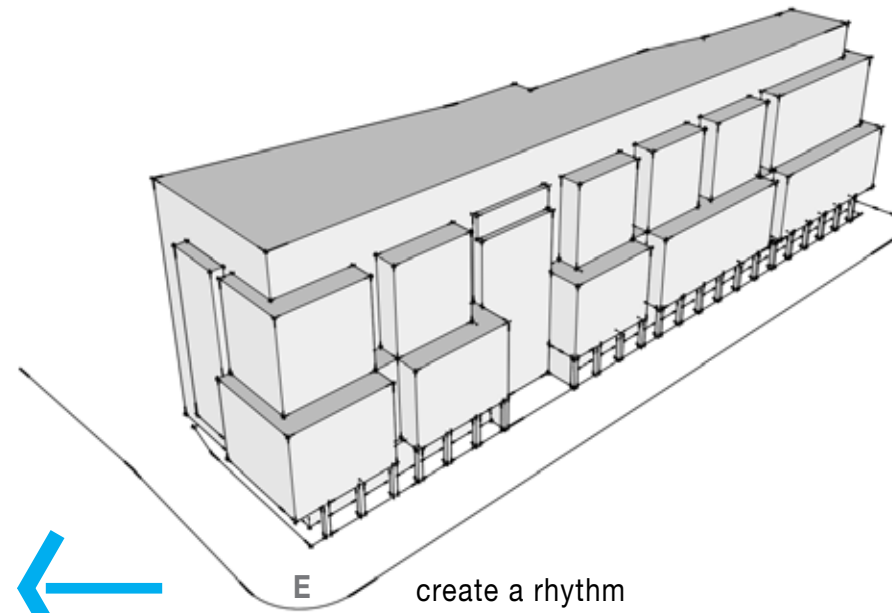




F

begin to apply the palette

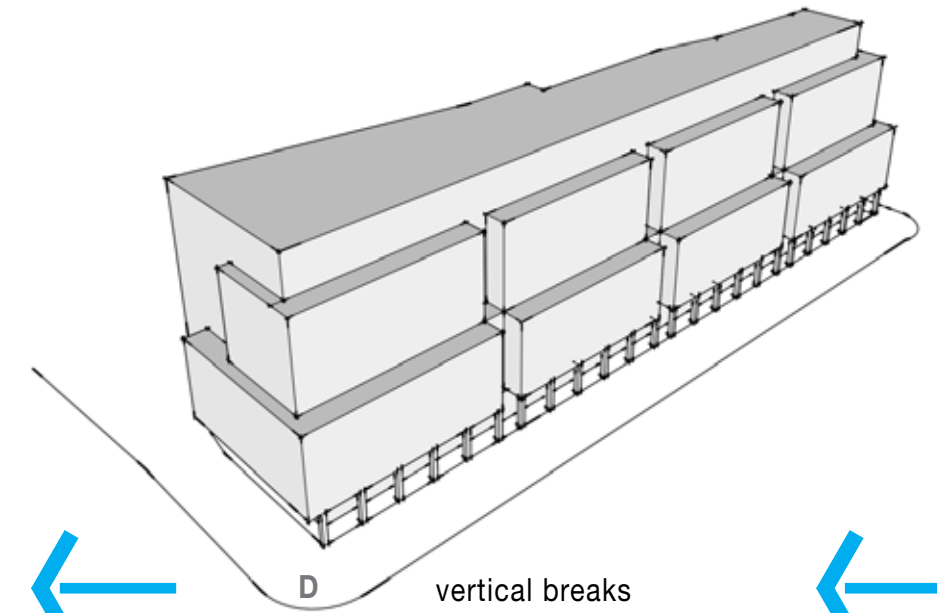
- keep the palette to 3 main materials
- use the materials to enhance the weight, lightness of the masses while breaking them down
- reinforce the human scale with texture



E

create a rhythm

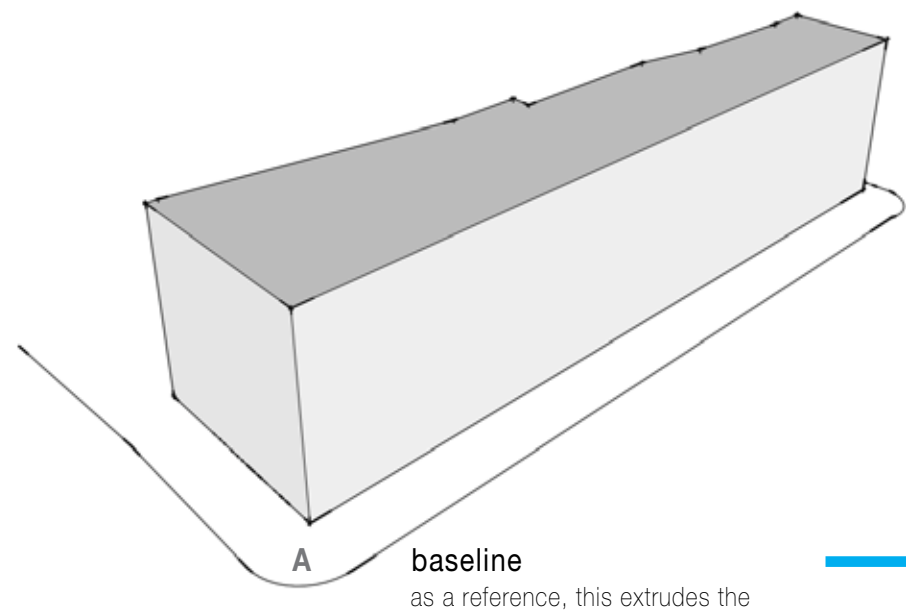
the vertical breaks are orchestrated into a composition that creates a fluid rhythm on the street



D

vertical breaks

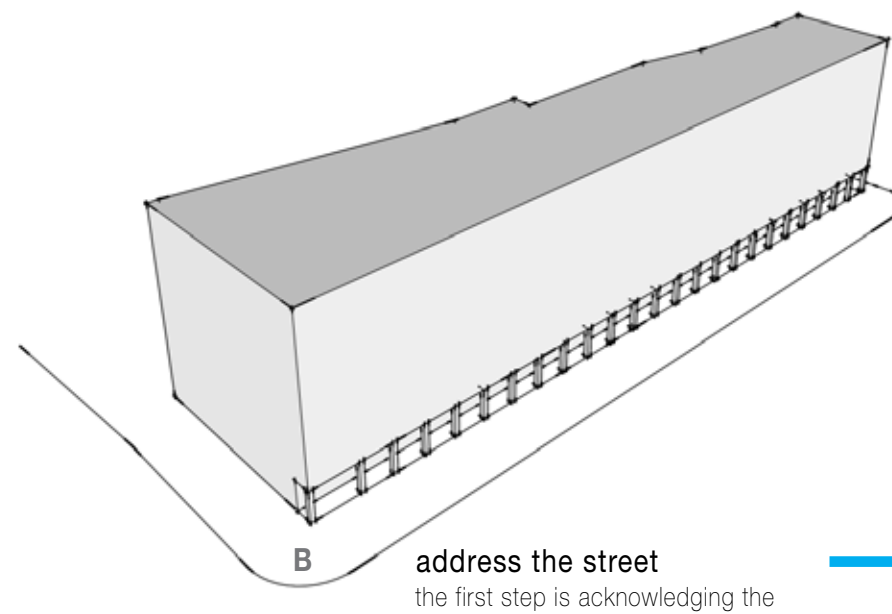
create a more intimate and appropriate scale though the addition of vertical breaks as well



A

baseline

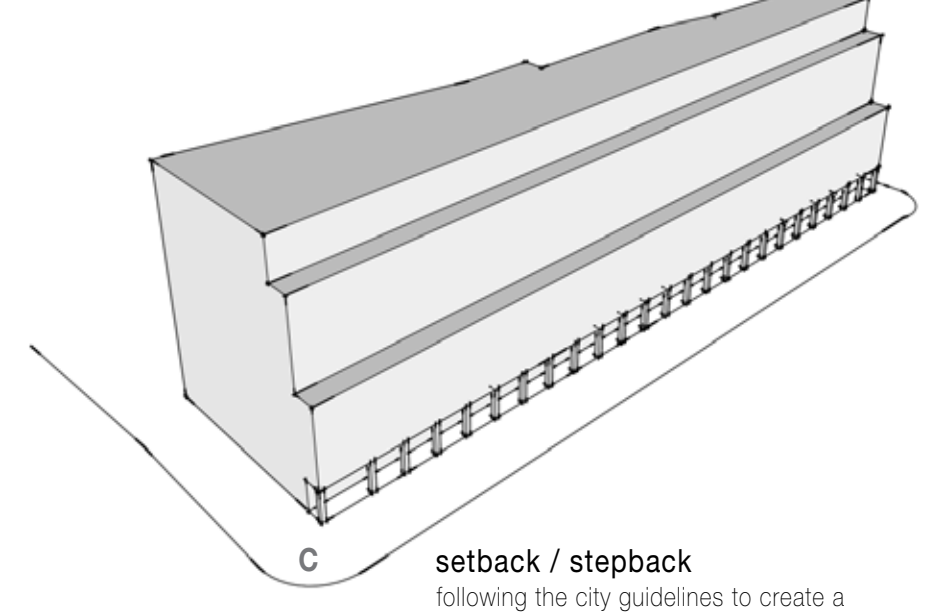
as a reference, this extrudes the overall site prior to addressing the steps needed to addressing the planning guidelines



B

address the street

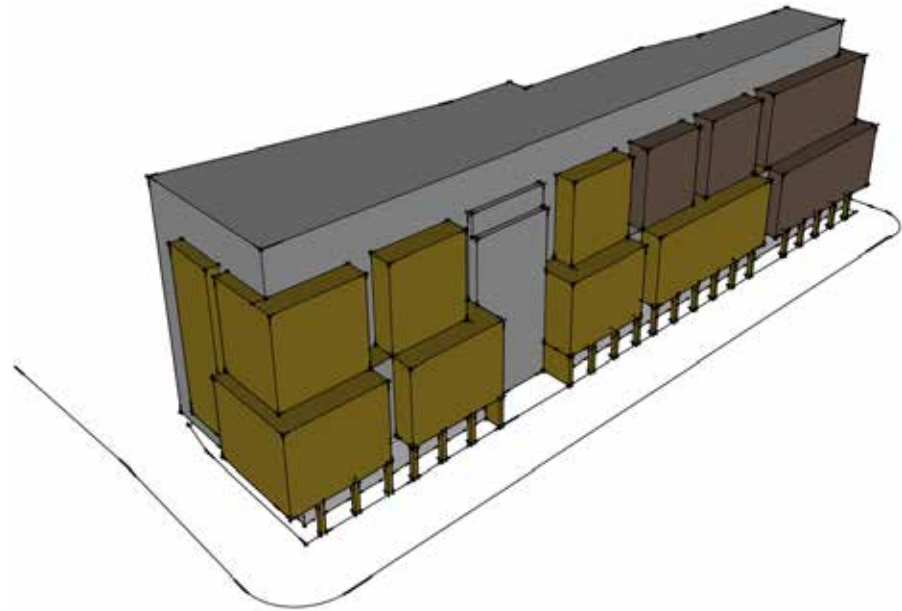
the first step is acknowledging the street experience and creating a human scale both on the sidewalk and from a distance



C

setback / stepback

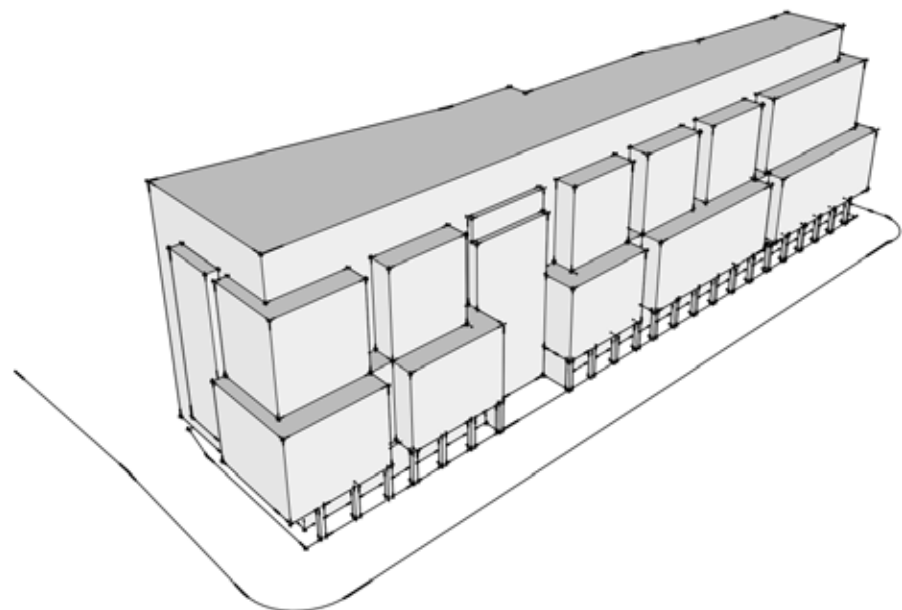
following the city guidelines to create a composition which doesn't overpower the street/neighborhood. Hold back from the property line and then step back at the 5th and 9th floor to right-size the basic mass



Recapping the previous page and its diagrams, the proposed design addresses the following:

- how the building meets the street in order to create a human-scaled urban experience
- conforming to setback and stepback guidelines for projects of the scale
- providing vertical breaks in the massing to continue to create a scale of building which reinforces the rhythm of the neighborhood
- develop a tight material palette which carries forward the overall approach to a neighborhood scale through color, texture and unit scale/size.

The proposed project establishes a four story base along Park, Regent and E. Campus Dr. clad in a reddish brick. A series of piers and columns at the ground floor establish an anchor for this mass while opening it up substantially with storefront windows to activate the streets with retail spaces and amenities which serve the residents.

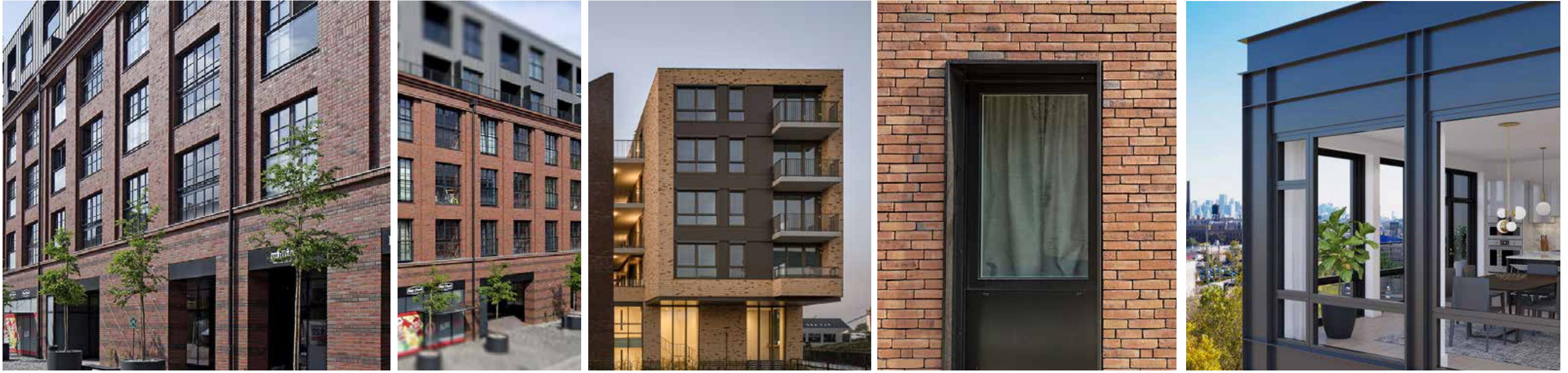


Floors 5 through 8 step back from the base and are clad in three different materials which help define the entry along Regent and then create a further punctuation to the building's rhythm from east to west.

Floors 9 and 10 step back from the middle grouping of floors to create an attic quality to the design therein completing the traditional notion of base/middle/top. It will also feel more open and transparent to reinforce the cap.

The material palette changes from darker to lighter in an east west direction to break down the massing and imply a difference in buildings. All of this, along with the window patterns keep the project from feeling overly heavy or massive and instead, provide an appropriately scaled, warm and inviting experience on the street and in the neighborhood.





the images portray the sense of color, scale, detailing and materiality that the proposed design is aspiring to - an appreciation of tradition and character expressed with a contemporary voice





SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION





CONCEPT | UDC SUBMISSION | VIEW LOOKING NORTHEAST ALONG REGENT

03.14..2022





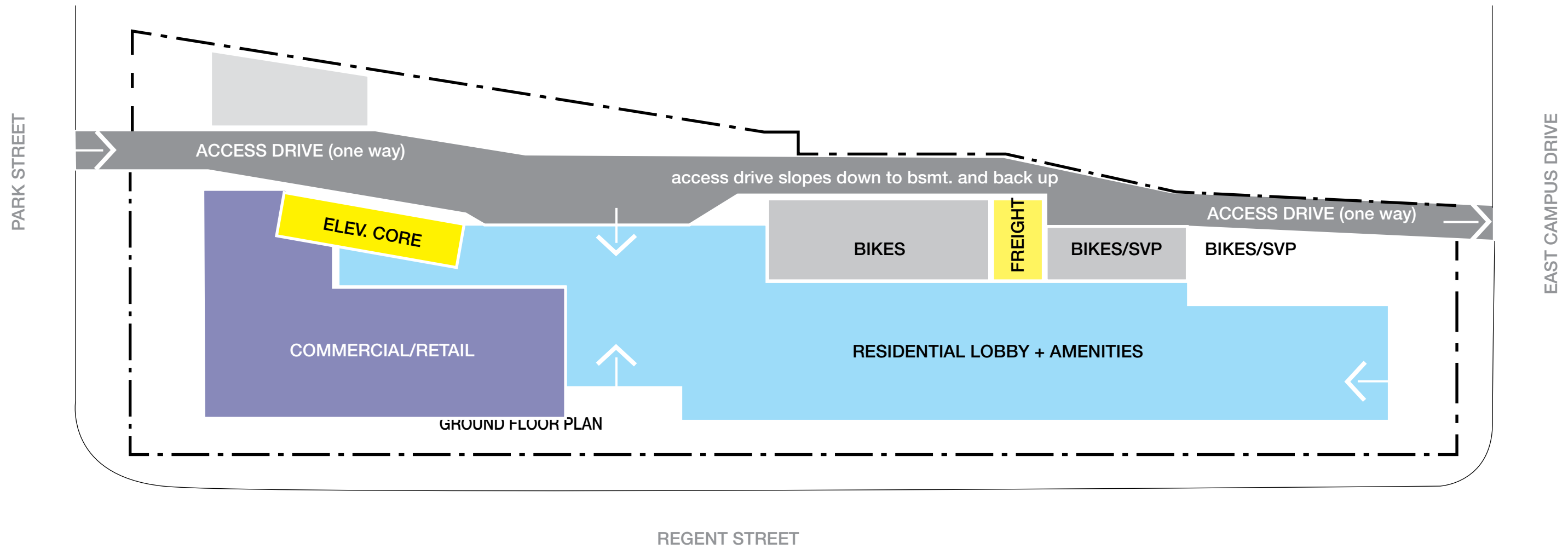
CONCEPT | UDC SUBMISSION | VIEW LOOKING NORTHWEST ALONG REGENT

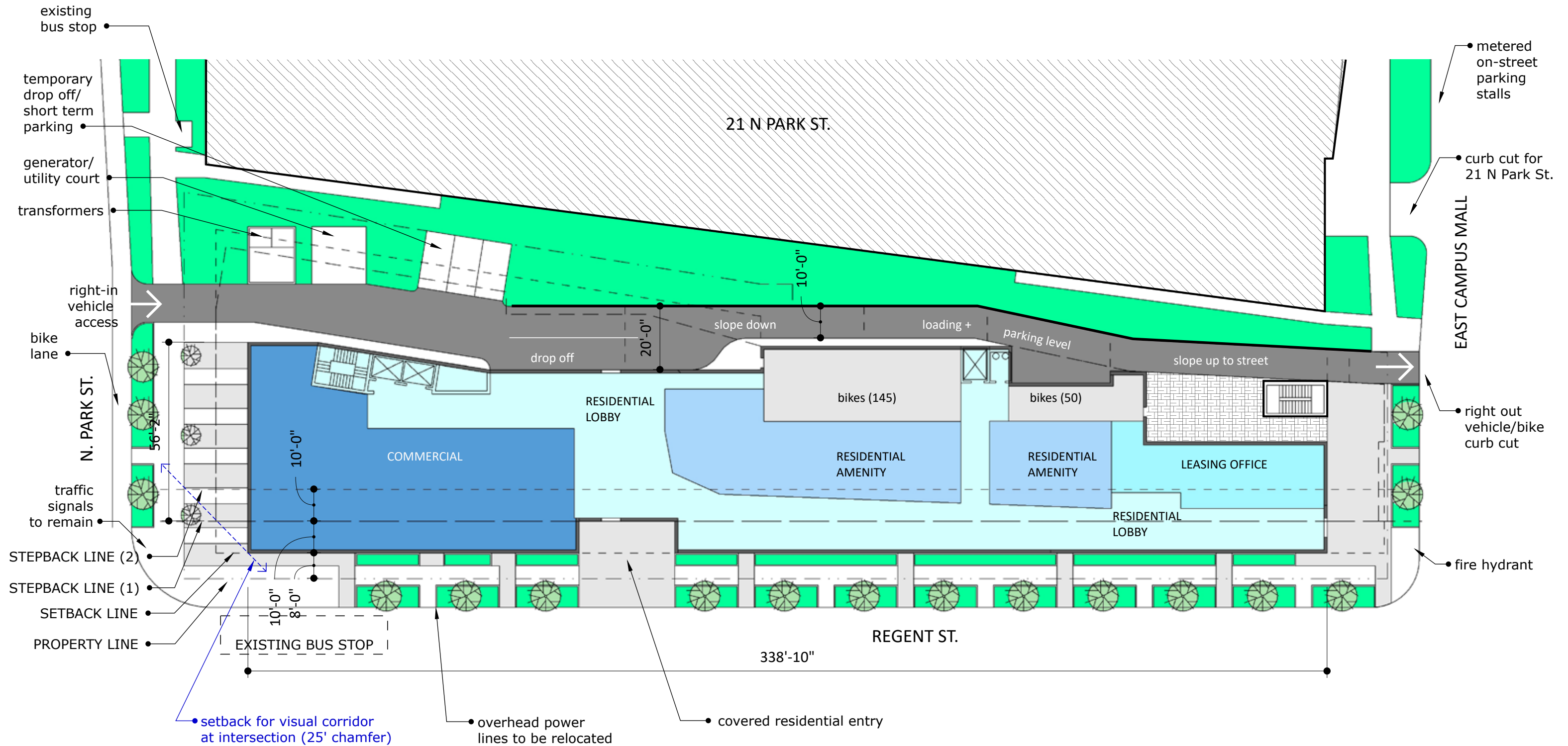
03.14..2022



CONCEPT | UDC SUBMISSION | VIEW LOOKING WEST/NORTHWEST ALONG REGENT

03.14..2022



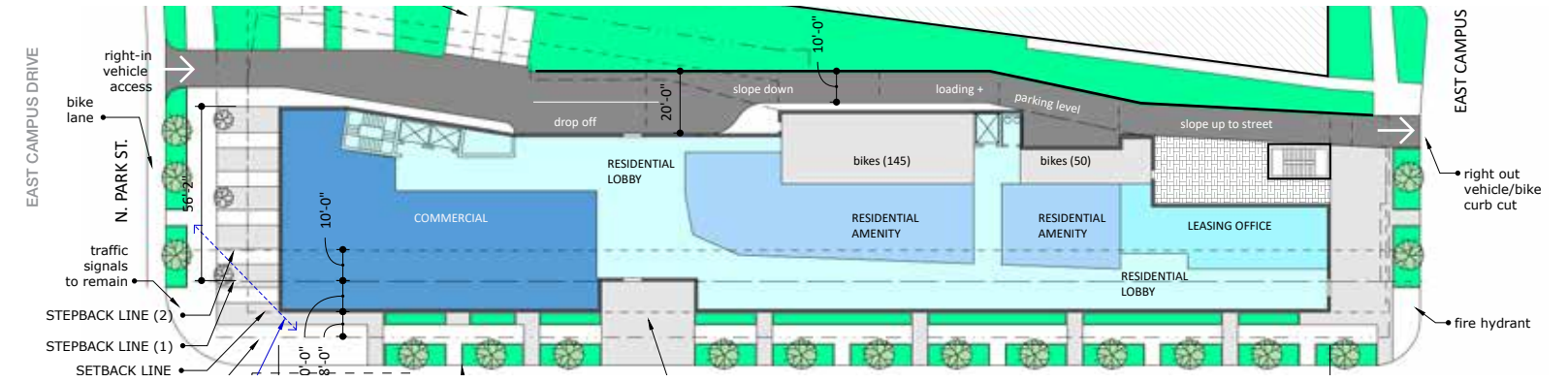
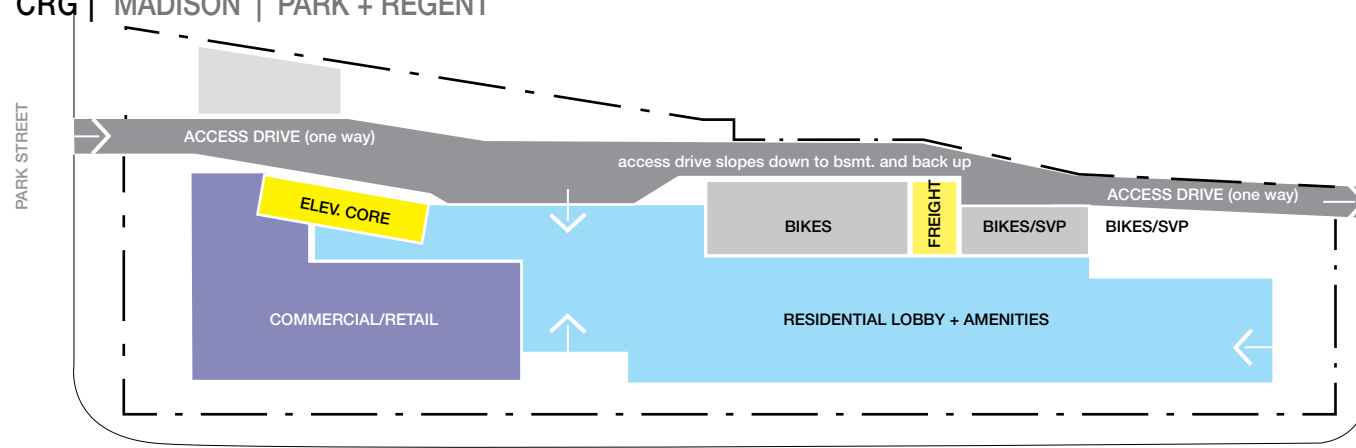




EXISTING SIDEWALK CONDITION ALONG REGENT (APPR. 7' FROM CURB TO BLDG.)



PROPOSED SIDEWALK CONDITION ALONG REGENT (APPR. 15' FROM CURB TO BLDG.)









CONCEPT | UDC SUBMISSION | VIEW LOOKING NORTHEAST ALONG REGENT

03.14..2022