



PREPARED FOR THE URBAN DESIGN COMMISSION

**Project Address:** 810-818 W Badger Road, 2430 S Park Street, and 825 Hughes Place

**Application Type:** Informational Presentation – Mixed-Use Development, including Public Building(s) in Urban Design District No. 7  
**UDC will be an Approving Body**

**Legistar File ID #:** [85707](#)

**Prepared By:** Jessica Vaughn, AICP, UDC Secretary

## Background Information

**Applicant | Contact:** Jacob Morrison, Potter Lawson, Inc. | Matt Wachter, City of Madison

**Project Description:** The applicant is proposing the construction of a phased mixed-use development known as the Park Badger Redevelopment, which will be comprised of both civic and multi-family residential uses, including Fire Station No. 6, Public Health of Madison and Dane County office and clinic space, as well as 360 new residential units. The development will be served by structured parking (approximately 440 stalls).

**Approval Standards:** The UDC will be an **approving body** on this request when a formal application is filed. The site is located in Urban Design District 7 (UDD 7), which requires that the Urban Design Commission review the proposed project using the design standards and guidelines for that district in [MGO Section 33.24](#)(14).

In addition to the overall guidelines and requirements in UDD 7, the project site is located in the Bader Road Area of UDD 7, for which the district enumerates more detailed development requirements and guidelines, including those related to minimum building height, setbacks above the third floor, minimizing setbacks, encouraging a richer level of design at the pedestrian level, as well as incorporating well-designed open spaces into developments, etc.

The development proposal also includes public building(s), including the City of Madison Fire Station No. 6. Pursuant to MGO 33.24(4)(d), *“The UDC shall approve plans for all buildings proposed to be built or expanded in the City by the State of Wisconsin, the University of Wisconsin, the City of Madison, Dane County, the Federal Government or any other local governmental entity which has the power to levy taxes on property located within the City.”*

**Adopted Plans:** The project site is located in the [South Madison Plan](#) planning area in Focus Area 1, Village on Park Focus Area. The Village on Park is recommended to be a ‘town center’ for the south side, with anticipated phased improvements to be comprised of residential, commercial, and civic uses.

The Plan reflects the project site as a Community Mixed Use (CMU) land use category (2-6 stories and general densities of less than 130 dwelling units per acre) and building heights of up to eight stories.

**Zoning Related Information:** The project site is comprised of four parcels, zoned both Commercial Corridor-Transitional (CC-T) and Suburban Residential- Varied 1 (SR-V1). At the time of report writing, the applicant has filed an application to rezone the property to the Regional Mixed Use (RMX) Zoning District. In the RMX zoning district the maximum height is five stories/78 feet. The site is also in the Transit Oriented Development Overlay District (TOD). The maximum heights it 8 stories/116 feet, although additional height may be requested as part of a Conditional Use.

As a reference, the design related zoning standards for mixed use and commercial zoning districts are included as an attachment to this report, including, but not limited to those related to building entrance orientation, façade articulation, height, fenestration, and materials. Staff notes that a complete zoning analysis will be completed and that the Zoning Administrator will determine compliance with the zoning requirements.

The project site is also located in the Transit Oriented Overlay District, which enumerates development standards related to setbacks, entrance orientation, height, and automobile infrastructure. At this time, while a complete zoning compliance review has not been completed, several TOD Overlay related concerns have been identified for further refinement, including, but not limited to:

- **Maximum Principal Building Setbacks.** At least 30 percent of the primary street-facing building facades shall be setback no more than 20 feet from the primary street (Building A),
- **Entrance Orientation.** Principal building entrances on all new buildings shall be oriented to their primary abutting street and be located within the maximum setback (Building A),
- **Minimum Number of Stories.** A minimum of two stories is required for a minimum of 75% of the building footprint (Building B and Fire Station), and
- **Standards for Automobile Infrastructure.** Automobile parking, loading, drive aisles, and driveways, shall not be allowed between the primary street-facing facade and the primary public or private street (Building B and Fire Station).

Staff notes that the TOD Overlay District requirements must be met and that plan refinements related to these items may be required.

## Summary of Design Considerations

Planning Division staff requests that the UDC review the proposed Master Plan and provide feedback based on the approval standards noted above as it pertains to the design considerations noted below.

- **Building Orientation.** Overall, the project site has frontage on multiple streets, including S Park Street (Building A), W Badger Road (Buildings A, B and the proposed Fire Station No. 6), and Hughes Place (Building C), as well as a central green space that provides a mid-block pedestrian connection through the site to the larger Village on Park. As such, consideration should be given to the building orientation and placement as it relates to these areas, as well as incorporating a higher level of design.

UDD 7 Building Setbacks and Orientation guidelines and requirements state that new building shall be setback between one and ten feet, unless a great setback is intended to provide for usable public spaces (i.e., plazas), enhancing the visual and pedestrian character of the street, providing connectivity from buildings to the street, etc.

Staff requests the UDC provide feedback as it relates to the following:

- Overall building locations and setbacks related to the street and framing intersections. Staff notes that as proposed, Building A **does not** appear to meet the maximum setback requirement pursuant to UDD 7 (ten feet) and a waiver would be required as outlined above,
- Locating active individual unit and common building entries along street frontages and the pedestrian pathway,
- Providing a higher level of design and detailing at the pedestrian level (i.e., human scale materials and details, active entries, windows, canopies/awnings, etc.), and
- Designing primary building entries as focal points/prominent features facing the primary street.

- **Building Height.** As proposed, building heights range from five stories up to eight stories, which appears to be consistent with the adopted plan recommendations, and the proposed zoning.

UDD 7 Building Height requires buildings are at least two stories in height. The district also includes advisory guidelines recommending heights are limited to four stories, however up to two bonus stories *"...may be allowed depending on the quality of the design, the affect of the development on the adjoining neighborhood and the contribution of the project to the use mix and activity in the vicinity and the character of the street."* In addition, *"New buildings in excess of three stories, shall incorporate a front façade setback of at least 15 feet from the building face at the third floor."*

The guidelines also note that greater flexibility in height and setbacks may be allowed as part of a coordinated redevelopment project as identified in the district's subparagraphs, which is the case here.

Staff notes that such flexibility has been approved in some cases, including as it pertains to allowing lesser setbacks at different heights than those noted in the code.

In addition, staff notes that generally, while some of the proposed heights are taller than what the UDD 7 guidelines recommend, overall, the proposed building heights could be found to be consistent with the height requirements of UDD 7. Staff also notes the UDD 7 guidelines pre-date the more recent height recommendations approved in the aforementioned adopted plans.

Staff requests the UDC's feedback on the overall building height, as well as setbacks.

- **Building Mass and Scale.** While limited information was provided related to the building design and articulation, staff requests the UDC's feedback on the proposed building mass and scale. As indicated on "Potential Art Placement Areas" exhibit there appear to be large art installations along primary street facades and along the central green space.

Consideration should be given to the UDD 7 Building Massing and Articulation guidelines and requirements that generally speak to utilizing four-sided architecture, avoiding blank walls along streets, incorporating design details at the street level to create a more pedestrian scale and enhanced pedestrian environment, etc.

- **Landscape and Screening.** As noted on the site plan, there is a central greenspace that will serves as both an organizing feature, as well as connection both internally and externally through the site. As such, consideration should be given to the design and amenities located in this space, as well as the successful location and screening of back-of house operations.

UDD 7 Landscaping and Open Space guidelines and requirements generally speak to designing open spaces that encourage both active and passive recreation for both residents and visitors, as well as the delineation of private/public spaces. Staff requests the UDC's feedback on the overall design and amenitization of this space.

## ATTACHMENT - 28.060 GENERAL PROVISIONS FOR MIXED-USE AND COMMERCIAL DISTRICTS.

(1) Statement of Purpose.

Mixed-use and commercial districts are established to provide a range of district types, from the small neighborhood center to regional-level retail centers, while fostering high-quality building and site design and pedestrian, bicycle and transit as well as automobile circulation.

(2) Design Standards. The following design standards are applicable after the effective date of this code to all new buildings and major expansions (fifty percent (50%) or more of building floor area). Design standards shall apply only to the portion of the building or site that is undergoing alteration.



Figure D1: Entrance Orientation

- (a) Entrance Orientation (See Figure D1). All new buildings shall have a functional entrance oriented to an abutting public street. Additional entrances may be oriented to a private street or parking area. For buildings with multiple non-residential tenants, a minimum of one (1) tenant space shall have a functional entrance oriented towards an abutting public street. Other tenant spaces shall be connected to the public street with a private sidewalk connection. Entries shall be clearly visible and identifiable from the street, and delineated with elements such as roof overhangs, recessed entries, landscaping, or similar design features. Barrier-free entrances are encouraged. (Am. by ORD-13-00113, 6-26-13)

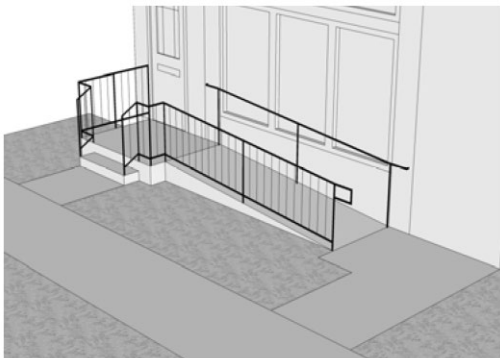


Figure D2: Barrier-Free Entrance Example

- (b) Facade Articulation. Consistent with the design of traditional storefront buildings, new buildings of more than forty (40) feet in width shall be divided into smaller increments, through articulation of the facade. This can be achieved through combinations of including but not limited to the following:
1. Facade Modulation (See Figure D3). Stepping back or extending forward a portion of the facade.
  2. Vertical divisions using different textures or materials (although materials shall be drawn from a common palette).
  3. Division into storefronts, with separate display windows and entrances.



Figure D3: Facade Modulation

4. Variation in roof lines by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval (See Figure D4).
  5. Arcades, awnings, and window bays at intervals equal to the articulation interval.
- (c) Design of Street-Facing Facades.

No blank walls shall be permitted to face the public street, sidewalks, or other public spaces such as plazas. Elements such as windows, doors, columns, changes in material, and similar details shall be used to add visual interest.



Figure D4: Variation in Roof Lines

- (d) Door and/or Window Openings. For nonresidential uses at ground floor level, windows and doors or other openings shall comprise at least sixty percent (60%) of the length and at least forty percent (40%) of the area of the ground floor of the primary street facade. At least fifty percent (50%) of windows on the primary street facade shall have the lower sill within three (3) feet of grade.

For residential uses at ground level, a minimum of fifteen percent (15%) of the ground level of residential facades or side and rear facades not fronting a public street shall consist of windows and door openings. On upper stories, window or balcony openings shall occupy a minimum of fifteen percent (15%) of the upper-story wall area.

1. Glass on windows and doors shall be clear or slightly tinted, allowing views into and out of the interior. Spandrel glass that mimics the appearance of windows may be used for up to twenty percent (20%) of the required area of the openings. (Am. by ORD-13-00205, 12-10-13)
  2. Displays may be placed within windows. Equipment within buildings shall be placed a minimum of five (5) feet behind windows. To preserve views, within three (3) feet of any window, not more than thirty percent (30%) of the view through the windows shall be blocked by merchandise, displays, shelving, or other obstructions.
  3. Window shape, size and patterns shall emphasize the intended organization of the facade and the definition of the building.
- (e) Equipment and Service Area Screening. If an outdoor storage, service or loading area is visible from adjacent residential uses or an abutting public street or public walkway, it shall be screened by a

decorative fence, wall or screen of plant material at least six (6) feet in height. Fences and walls shall be architecturally compatible with the primary structure.

- (f) **Screening of Rooftop Equipment.** All rooftop equipment, with the exception of solar and wind equipment, shall be screened from view from adjacent streets and public rights-of-way. Rooftop equipment shall be screened from view from adjacent buildings to the extent possible.
  - 1. The equipment shall be within an enclosure. This structure shall be set back a distance of one and one-half (1½) times its height from any primary facade fronting a public street.
    - a. Screens shall be of durable, permanent materials (not including wood) that are compatible with the primary building materials.
    - b. Screening shall be constructed to a height of at least one (1) foot above the height of the equipment.
  - 2. Exterior mechanical equipment such as ductwork shall not be located on primary building facades.
- (g) **Materials.** Nonresidential or mixed-use buildings shall be constructed of durable, high-quality materials such as brick, stone, textured cast stone, or tinted masonry units. Table 28D-1 below lists allowable building materials. When applying these requirements, consideration shall be given to the use, amount, placement and relationship of each material as part of a comprehensive palette of building materials. All building facades visible from a public street or public walkway should employ materials and design features similar to or complementary to those of the front facade.

**Table 28D-1.**

| Building Materials                  | Allowable for use as/at: |                 |                    |                         | Standards (see footnotes) |
|-------------------------------------|--------------------------|-----------------|--------------------|-------------------------|---------------------------|
|                                     | Trim/Accent Material     | Top of Building | Middle of Building | Base/Bottom of Building |                           |
| Brick (Face/Veneer)                 | ✓                        | ✓               | ✓                  | ✓                       |                           |
| Smooth-Face/Split-Face Block        | ✓                        | ✓               | ✓                  | ✓                       | A                         |
| Wood/ Wood Composite                | ✓                        | ✓               | ✓                  |                         |                           |
| Fiber-Cement Siding/Panels          | ✓                        | ✓               | ✓                  | ✓                       |                           |
| Concrete Panels, Tilt-up or Precast | ✓                        | ✓               | ✓                  | ✓                       | B                         |
| EIFS/Synthetic Stucco               | ✓                        | ✓               |                    |                         | C                         |
| Stone/Stone Veneer                  | ✓                        | ✓               | ✓                  | ✓                       |                           |
| Metal Panels                        | ✓                        | ✓               | ✓                  | ✓                       | D                         |
| Hand-Laid Stucco                    | ✓                        | ✓               |                    |                         | C                         |
| Vinyl Siding                        | ✓                        |                 |                    |                         | E                         |
| Glass Curtain Wall System           | ✓                        | ✓               | ✓                  | ✓                       |                           |
| Reflective Glass/Spandrel           | ✓                        |                 |                    |                         | F                         |
| Glass (Storefront)                  | ✓                        | ✓               | ✓                  | ✓                       |                           |

A - Shall be used in conjunction with a palette of materials and shall not comprise more than 33% of any building wall adjacent to a public street or walkway.

B - Shall incorporate horizontal and vertical articulation and modulation, including but not limited to changes in color and texture, or as part of a palette of materials.

C - Shall not be within three feet of the ground or used in heavily trafficked pedestrian areas or where high pedestrian traffic is anticipated.

D - Shall be used in conjunction with a palette of materials; shall be a heavy gauge metal, and; shall be non-reflective.

E - Shall be used in limited quantities due to its limited durability.

F - Shall be used in limited quantities as an accent material.



Figure D5: Compatibility with Traditional Buildings

- (h) Compatibility with Traditional Buildings. (See Figure D5.) New development shall relate to the design of traditional buildings adjacent to the site, where present, in scale and character. This can be achieved by maintaining similar, facade divisions, roof lines, rhythm and proportions of openings, building materials and colors. Historic architectural styles need not be replicated.



Figure D6: Building Alignment

- (i) Building Alignment. (See Figure D6.) Buildings shall be aligned with facades parallel with the street to create a well-defined street edge.
- (j) Building Articulation. (See Figure D7.) Buildings shall have horizontal and vertical articulation, which may include dormers, cornice detailing, recesses and projections, stepbacks of upper stories, changes in roof types and planes, building materials, and window patterns. The base of the building shall relate to the human scale, including doors and windows, texture, projections, awnings, canopies, and similar features.



Figure D7: Building Articulation

- (k) Ground-Floor Residential Uses. (See Figure D8.) Ground-floor residential uses fronting a public street or walkway, where present, shall be separated from the street by landscaping, steps, porches, grade changes, and low ornamental fences or walls in order to create a private yard area between the sidewalk and the front door.



Figure D8: Ground Floor Residential Uses