

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____
Date received _____
Received by _____
Aldermanic District _____
Zoning District _____
Urban Design District _____
Submittal reviewed by _____
Legistar # 73953

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: _____

Title: _____

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested December 14, 2022

New development Alteration to an existing or previously-approved development
 Informational Initial approval Final approval

3. Project Type

Project in an Urban Design District
Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
Planned Multi-Use Site or Residential Building Complex

Signage
Comprehensive Design Review (CDR)
Signage Variance (i.e. modification of signage height, area, and setback)
Signage Exception

Other
Please specify

4. Applicant, Agent, and Property Owner Information

Applicant name _____ **Company** _____
Street address _____ **City/State/Zip** _____
Telephone _____ **Email** _____

Project contact person _____ **Company** _____
Street address _____ **City/State/Zip** _____
Telephone _____ **Email** _____

Property owner (if not applicant) _____
Street address _____ **City/State/Zip** _____
Telephone _____ **Email** _____

5. Required Submittal Materials

Application Form

Letter of Intent

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
- For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.

Development Plans (Refer to checklist on Page 4 for plan details)

Filing fee

Electronic Submittal*

Notification to the District Alder

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with _____ on _____.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant _____ Relationship to property _____

Authorizing signature of property owner  _____ Date _____

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

Urban Design Districts: \$350 (per §35.24(6) MGO).

Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)

Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)

Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)

All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

*** All plans must be legible, including the full-sized landscape and lighting plans (if required)*

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

- Grading Plan
- Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit



October 31, 2022

Letter of Intent

Dane County Jail Consolidation, South Tower Addition, 118 W. Wilson St. & Public Safety Building Renovation, 115 W. Doty Street, Madison, WI

Please accept this Land Use Application, Letter of Intent, and attachments as our formal request for a major alteration to an existing Planned Development for the Dane County Jail Consolidation, South Tower Addition and Public Safety Building Renovation for Dane County Public Works.

This application is to amend the existing PD (GDP/SIP) that was approved April 7, 1992 and stated that any future expansion of the facility shall require review and approval of the SIP and a public hearing. The original approval planned that the future expansion for additional housing would be located on top of the PSB. After review of the existing structure, it was determined that expansion would not be structurally feasible. Therefore, the County is moving forward with an adjacent addition to keep the Jail downtown as originally approved.

Zoning

The project site is in a Planned Development District (PD) zoning district (Zoning 28.098).

Legal Description

Lots 1 through 6 and Lots 9 through 14, Block 71, Original Plat of the City of Madison. These lots are in the process of being combined into a single property under a new CSM that would include the Dane County Courthouse.

Certified Survey Map

A new CSM for this site has been completed to include the Dane County Courthouse, Public Safety Building, and the South Tower Addition and is attached.

Project Development Team

Owner:

Greg Brockmeyer
Dane County Department of Administration
210 MLK Jr Blvd, Room 425
Madison, WI 53703
(608) 266-4519

Owner Project Manager:

Todd Draper
Dane County Public Works
Department
1919 Alliant Energy Center Way
Madison, WI 53713

User:

Lt. Jeff Heil
Dane County Sheriff's Office
115 W. Doty Street
Madison, WI 53703

Construction Manager (Agent):

Erik Lindstrom, Laura Hause
Gilbane Building Company
101 W Pleasant St #104
Milwaukee, WI 53212

PM/Engineer:

Chris Harp
Mead & Hunt, Inc.
2440 Deming Way
Middleton, WI 53562
(608) 443-0443

Structural Engineer:

Robert Guinn
HDR, Inc.
30 W. Monroe, Suite 700
Chicago, IL 60603

Architect:

Doug Hursh, Jan Horsfall
Potter Lawson, Inc.
749 University Avenue, Suite 300
Madison, WI 53705
(608) 274-2741

Civil:

Brionne Bischke
OTIE, Inc.
1033 N. Mayfair Road, Suite 200
Milwaukee, WI 53226

Staff and Neighborhood Input

The Project Development Team has worked with the City Staff with the most recent meeting on September 7, 2022. The Project Team has had three UDC Informational presentations on October 30, 2019, December 11, 2019, and September 7, 2022.

The Project Development Team has met with Alder Verveer on October 22, 2019 and April 7, 2021. The Project Team has given presentations to the Bassett Neighborhood Association on November 11, 2019, April 12, 2021, and September 12, 2022 as well as a Capital Neighborhood "Postcard" Public meeting on December 10, 2019. An additional Capital Neighborhood "Postcard" Public meeting is planned for mid-November 2022.

Project Overview

The current Jail System is located within the City-County Building (CCB), the Public Safety Building (PSB), and the Ferris Center. During the Health and Life Safety Assessment of the CCB Jail, significant problems, issues, and conditions, many of which threatened the health and life safety of those living, working, and volunteering in the CCB Jail were identified.

The Dane County Jail Consolidation project provide a facility that will combine all residents at the CCB and PSB into one building to reduce the total number of beds, improve resident and staff security, provide appropriate medical and mental health housing and services, provide additional program, educational and recreation spaces, greatly reduce solitary confinement, provide increased visitation, provide multi-purpose space to meet the spiritual needs of the residents, and provide a downtown location next to the Courthouse and close to public transportation to make it more convenient for visitors. The Sheriff's Office is continuing to develop effective jail diversion programs that offset jail population growth.

The site for the south tower addition currently accommodates a surface parking lot, a loading dock and two vehicular ramps, one that accesses the Dane County Courthouse garage to the southwest, and another that accesses the lower-level garage of the PSB. The loading dock serves the PSB and is located on the upper level of the surface parking lot. The footprint of the south tower addition will extend over the ramps, requiring the ramps to be removed and reconfigured. The south tower site includes frontage on West Wilson Street, and is adjacent to privately owned properties at the corner of W. Wilson Street and S. Carroll Street. The project includes about 207,000 GSF of jail housing and associated program space on the first through sixth floors at the South Tower Addition and 59,000 SF of remodeled space within the PSB.

The design of the site reflects both the building's location in downtown Madison and its mission as a secure Jail facility. The W. Wilson Street façade recognizes the dignity of the adjacent courthouse, the importance for discretion with regards to the secure vehicular ramp, and the desire to be an active presence in vibrant downtown Madison. The utilitarian functions of the loading and waste/recycling collection docks will reside behind closed doors. The garage doors are recessed away from the sidewalk to provide better visibility and safety for truck movements. One loading dock will be used for trash and recycling collection and one dock will be used for loading of material and bulk foodservice. Both loading docks are designed for dock level delivery which adjust for various sized vans, trucks, or semi-trailers. The receiving docks will allow for deliveries to be conducted internally with the garage doors closed. Given the extreme temperature swings that Madison experiences, both heating and ventilation will be included in the dock. The resulting scale of the building in this pedestrian zone is appropriate for the nature of the street. Building utilities and facilities services are to occur at lower levels, Basement, Sub-Basement and Sub-Basement 2, which are accessed from a parking garage access ramp that will enter from W. Wilson Street.

The PSB sub-basement contains existing parking for 55 vehicles in a card access-controlled secure parking area limited to specified court/law enforcement functions. Parking will not be provided for general staff or visitors who will be directed to the available nearby public parking facilities.

The design provides a clear circulation strategy by physically separating primary entries for the public, staff, building services, and secure resident movement. The existing Vehicular Sallyport will remain, with the entry from W. Doty Street and exit to S. Carroll Street. The use of the Vehicular Sallyport will be restricted to arrestees and processing as well as the transport function from the Jail. On S. Carroll Street, a new public entry will be provided for individuals reporting for outstanding warrants and public drop-off to jail.

Public access for Resident Visitation, Initial Appearance Court, Jail Diversion, and the Dane County Sheriff's Office will remain at the PSB's primary historically identified public entry at the existing W. Doty Street lobby. The Huber residents will be housed at the existing Ferris Center which will alleviate congestion in the main lobby and provides an opportunity to improve the important public facing functions of the PSB lobby.

The additional floors will consist of housing for males and females, including orientation and classification, minimum, medium, maximum general population, transitional, medical, mental health, as well as youthful resident housing. No portion of the building will exceed the 187.2-foot (City datum) height restriction.

The roof will utilize a green and blue roof system to provide storm water management for the new addition.

Fire Department access around the building will be from the city streets. A Fire Command Center will be provided at the first floor off W. Doty Street.

The exterior building design provides a unique approach to a jail structure within an urban setting. One of the driving factors of the design is to provide an increase in the amount of daylight that is provided for the residents. Because of this, the façade is a balance between translucent glass curtainwall and opaque terracotta panels. The vertical panels of glass and terracotta are broken up with horizontal metal bands that express every other floor slab. The seemingly random pattern of glazing, vertical terracotta panels and mechanical louvers provides the flexibility to allow each floor layout to be different if required by the internal spatial functions. The composition of the panels creates strong solid corners while the center of the building becomes more open. The larger glass openings in the middle of the volume responds to the interior spatial organization of the common areas at the center of the building floors.

The terracotta panels provide a long-lasting durable, lightweight exterior façade for this civic building. The natural red clay panels will also provide color and texture, adding interest to the city block and city skyline as well as relating back to the existing Public Safety Building's red brick. The lower level of the building is clad with a medium warm gray brick, this serves to create a more durable exterior finish, provides a smaller scale texture, and helps to accentuate the recess of the base of the building. The terracotta horizontal bands, louvers and window framing will be a dark charcoal gray that ties back to the dark window mullions on the PSB and provides a strong contrast with the red clay colored terracotta panels. The terracotta panels will have a combination of smooth and ribbed texture to create a subtle variation.

Exterior Lighting

Building lighting will meet City of Madison Ordinances and the Urban Design District guidelines. The concrete columns along West Wilson Street will be washed with light, and soffit down lighting will be provided at the recessed base of the building to light the ramps, loading aprons and pedestrian entrances. The translucent glass at windows above the street level will have a subtle glow from internal illumination at night.

Screening

New mechanical areas on the existing PSB roof will be screened by a louver screen wall similar to the existing louvers on the PSB. The loading dock and service doors along W. Wilson Street are set back from the sidewalk to provide separation from pedestrian traffic.

Sustainability

The project will extend the life of the existing building by renovating and reusing the Public Safety Building. The addition of the south tower will create a denser urban use and fill in the existing surface parking lot along West Wilson Street. The existing building will be fitted with updated mechanical equipment to improve the occupant's comfort and increase energy efficiency. The new jail will focus on providing a better interior environment with daylighting to all resident spaces by increasing the amount of glass on the building façade. The terracotta panels were chosen because of their low life cycle cost and long-term durability with minimal maintenance. To reduce stormwater runoff the project will incorporate a green and blue roof system.

Construction Schedule

Construction is expected to commence in August 2023 with the completion of the South Tower project anticipated to be August 2025 with the completion of the renovation of the PSB anticipated to be August 2026.

Approvals Requested

Approvals requested are for the Major Alteration to an Existing Approved Planned Development.

With your recommendations and approval, we look forward to providing Dane County and the Sheriff's Office with a new and renovated facility that is safe and secure for staff, volunteers, residents, visitors, as well as the community.

Dane County Jail Consolidation South Tower Addition & Public Safety Building Renovation

115 W. Doty Street
Madison, WI 53703

October 31, 2022 Land Use Application

Dane County Public Works
Project No.: 318025

Mead & Hunt Project No.:
4215400-161957.01

Mead & Hunt

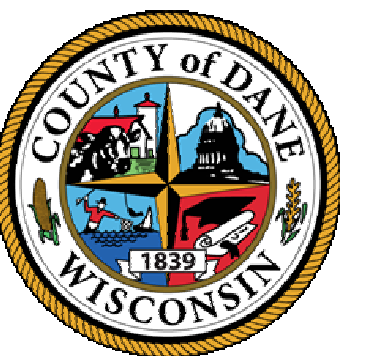
Mead & Hunt, Inc.
2440 Deming Way
Middleton, WI 53562
phone: 608-273-6380
meadhunt.com

**Potter
Lawson**

Success by Design

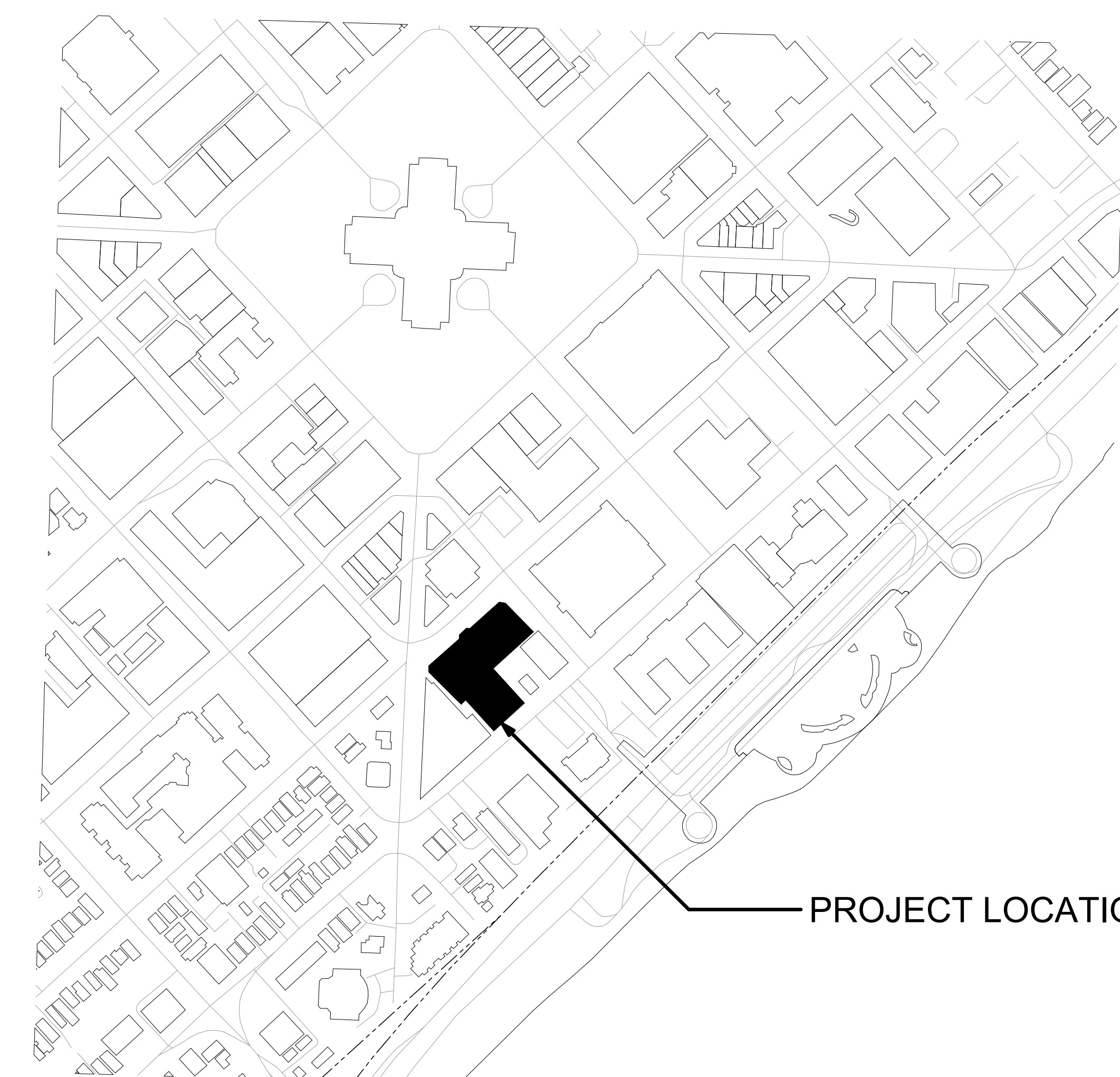
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DANE COUNTY DEPT. OF
PUBLIC WORKS, HIGHWAY &
TRANSPORTATION
1919 ALLIANT ENERGY
CENTER WAY
MADISON, WI 53713
PROJECT NO. 318025

DWG #	Drawing Title	DWG #	Drawing Title	DWG #	Drawing Title
GENERAL					
LU-CD	COVER DRAWING				
CIVIL					
C001	EXISTING CONDITIONS				
C002	ENLARGED EXISTING CONDITIONS - AREA A				
C003	ENLARGED EXISTING CONDITIONS - AREA B				
C101	ENLARGED DEMOLITION PLAN - AREA A				
C102	ENLARGED DEMOLITION PLAN - AREA B				
C201	OVERALL SITE PLAN				
C202	ENLARGED SITE PLAN - AREA A				
C203	ENLARGED SITE PLAN - AREA B				
C301	ENLARGED GRADING PLAN - AREA A				
C302	ENLARGED GRADING PLAN - SUB-BASEMENT 2 - AREA B				
C303	ENLARGED GRADING PLAN - SUB-BASEMENT - AREA B				
C304	ENLARGED GRADING PLAN - BASEMENT - AREA B				
C401	UTILITIES PLAN				
C402	UTILITIES PLAN				
C501	OVERALL FIRE ACCESS EXHIBIT				
C901	VEHICLE TURNING RADIUS EXHIBITS				
ARCHITECTURAL					
LU-A001	CONTEXT PHOTOS - EXISTING CONDITIONS				
LU-A002	ILLUSTRATIVE SITE PLAN				
LU-A003	AERIAL VIEWS				
LU-A004	BUILDING PERSPECTIVES				
LU-A005	BUILDING PERSPECTIVES				
LU-A101	FLOOR PLANS				
LU-A102	FLOOR PLANS				
LU-A103	FLOOR PLANS				
LU-A104	FLOOR PLANS				
LU-A105	FLOOR PLANS				
LU-A201	BUILDING ELEVATION - NORTH				
LU-A202	BUILDING ELEVATION - EAST				
LU-A203	BUILDING ELEVATION - SOUTH				
LU-A204	BUILDING ELEVATION - WEST				
LU-A205	BUILDING ELEVATION - NORTH COLOR				
LU-A206	BUILDING ELEVATION - EAST COLOR				
LU-A207	BUILDING ELEVATION - SOUTH COLOR				
LU-A208	BUILDING ELEVATION - WEST COLOR				
ELECTRICAL					
ES-1	SITE LIGHTING				
ES-2	SITE LIGHTING PHOTOMETRIC PLAN WILSON STREET ENTRANCE				
ES-3	SITE LIGHTING SUBMITTAL (FIXTURES)				



PROJECT LOCATION

Dane County Jail Consolidation
South Tower Addition & Public Safety
Building Renovation
115 W. Doty Street
Madison, WI 53703

ISSUED
10/31/2022 LAND USE
APPLICATION

NOT FOR CONSTRUCTION

MM# NO: 4215400-161957.01
DATE: 12/15/2022
DESIGNED BY: JDH
DRAWN BY: EML
CHECKED BY: JDH

DO NOT SCALE DRAWINGS
SHEET CONTENTS
COVER DRAWING

SHEET NO:

LU-CD



View of Dane County Courthouse along West Wilson Street



Context View from John Nolen Drive



Dane County Courthouse



View of 111 West Wilson (Left) and 131 West Wilson (Right)



View of Public Safety Building from West Wilson Street



View of 112 West Wilson Street



VIEW FROM FAIRCHILD



VIEW FROM JOHN NOLEN



SOUTH ELEVATION



VIEW FROM DOHS



FACADE DETAIL

Mead & Hunt

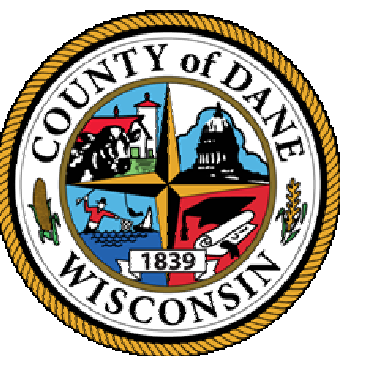
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phone: 608-273-6380
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DANE COUNTY DEPT. OF
PUBLIC WORKS, HIGHWAY &
TRANSPORTATION
1919 ALLIANT ENERGY
CENTER WAY
MADISON, WI 53713
PROJECT NO. 318025

**Dane County Jail Consolidation
South Tower Addition & Public Safety
Building Renovation**
115 W. Doty Street
Madison, WI 53703

ISSUED
10/31/2022 LAND USE
APPLICATION

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MEMO: 4215400-161957.01
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DESIGNED BY: JDH
DRAWN BY: WSJ
CHECKED BY: JDH

DO NOT SCALE DRAWINGS
SHEET CONTENTS
BUILDING
PERSPECTIVES

SHEET NO.:

LU-A004



STREET LEVEL WEST



STREET LEVEL EAST



STREET LEVEL WEST AT DUSK



STREET LEVEL EAST AT DUSK

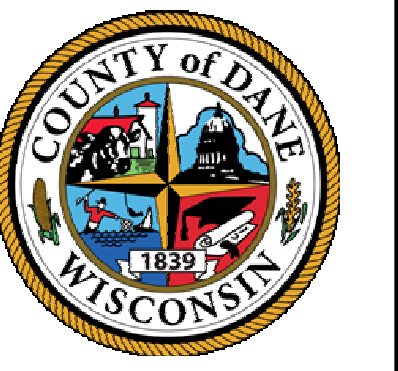
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DANE COUNTY DEPT. OF
PUBLIC WORKS, HIGHWAY &
TRANSPORTATION
1919 ALLIANT ENERGY
CENTER WAY
MADISON, WI 53713
PROJECT NO. 318025

**Dane County Jail Consolidation
South Tower Addition & Public Safety
Building Renovation**
115 W. Doty Street
Madison, WI 53703

ISSUED
10/31/2022 LAND USE
APPLICATION

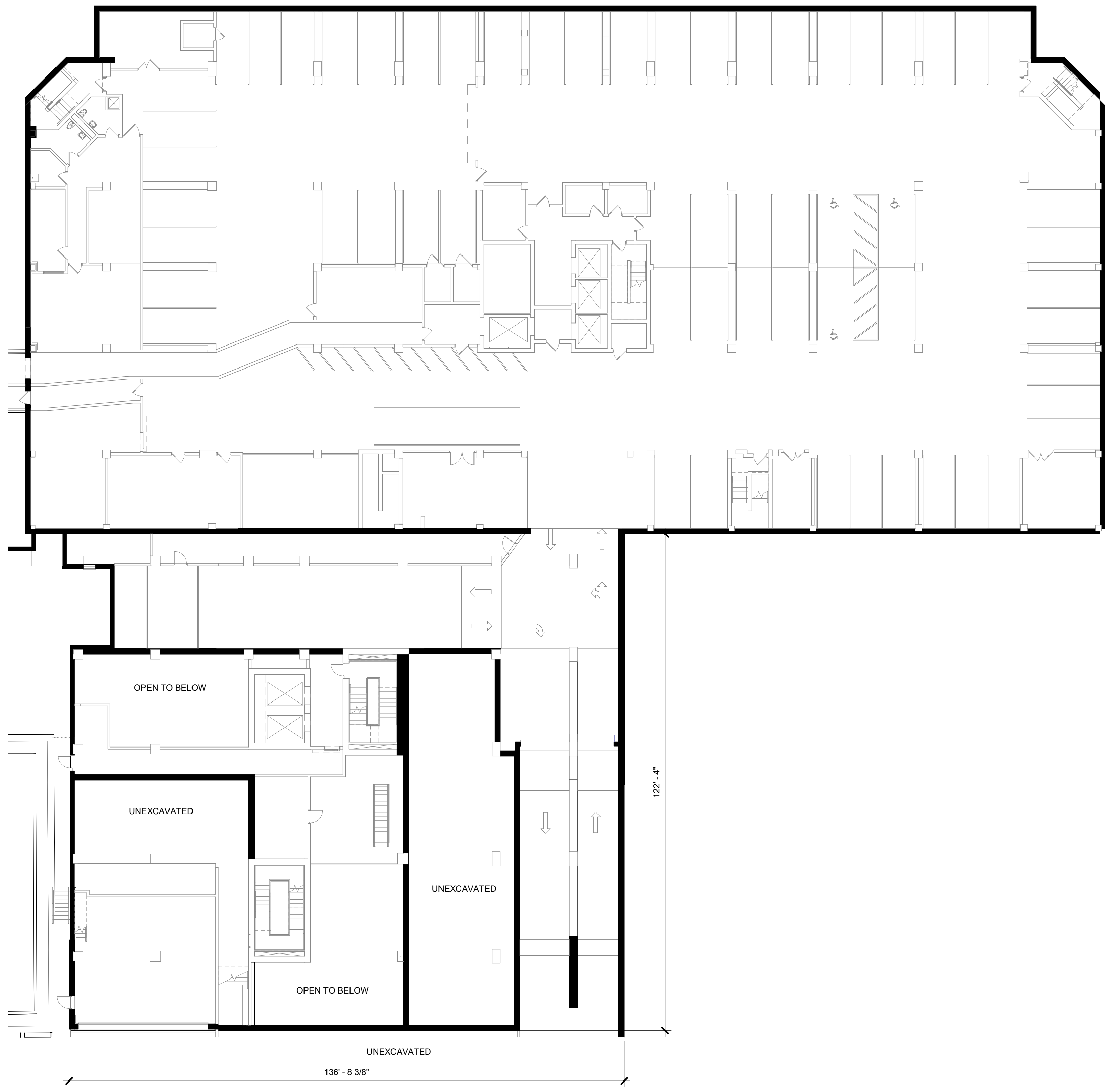
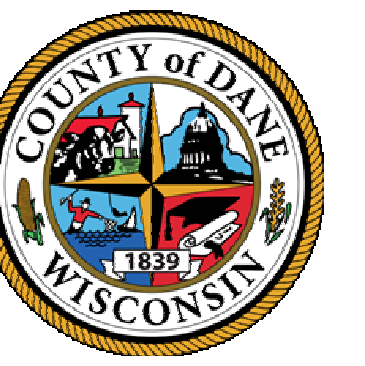
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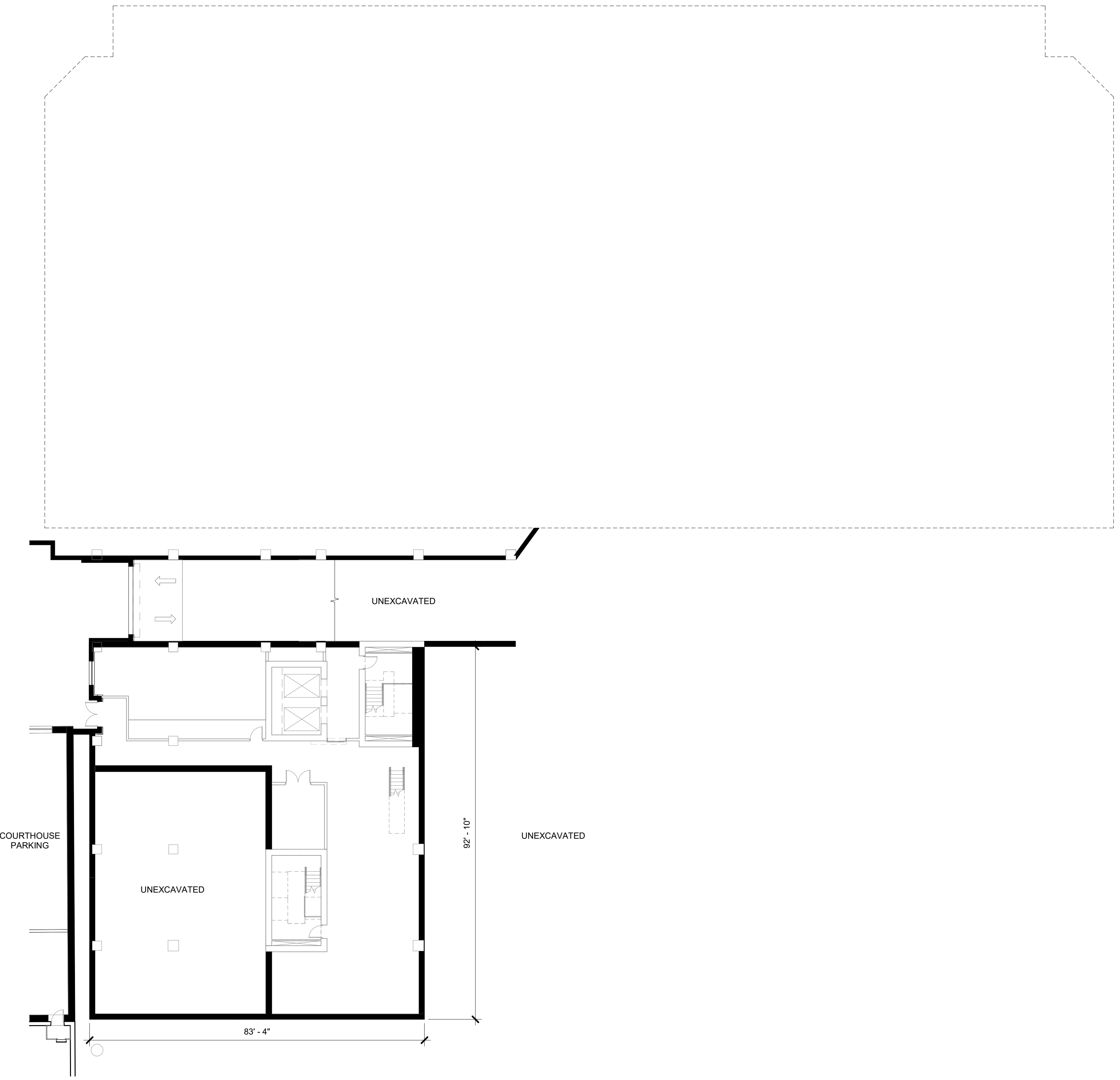
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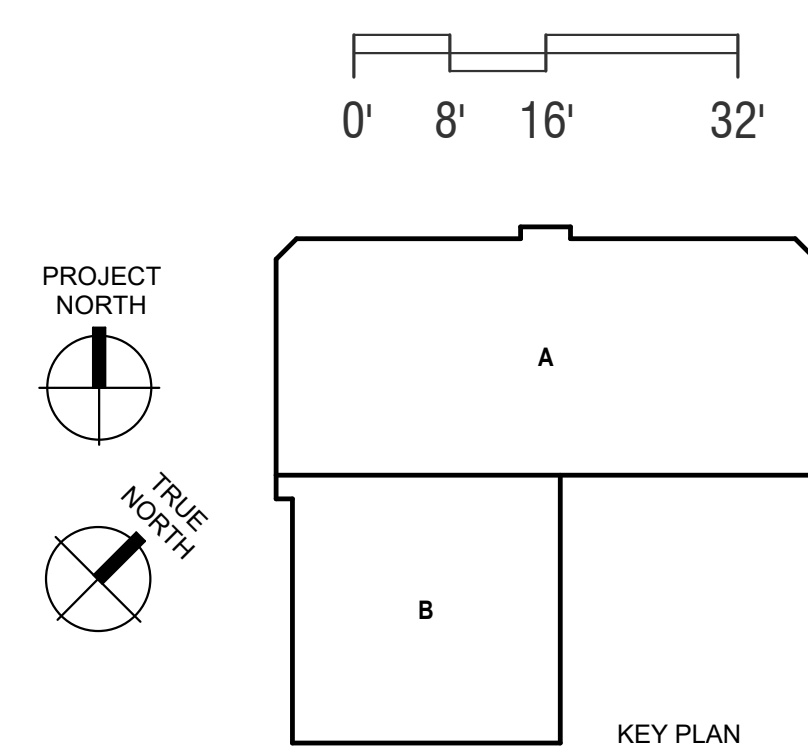
LU-A005



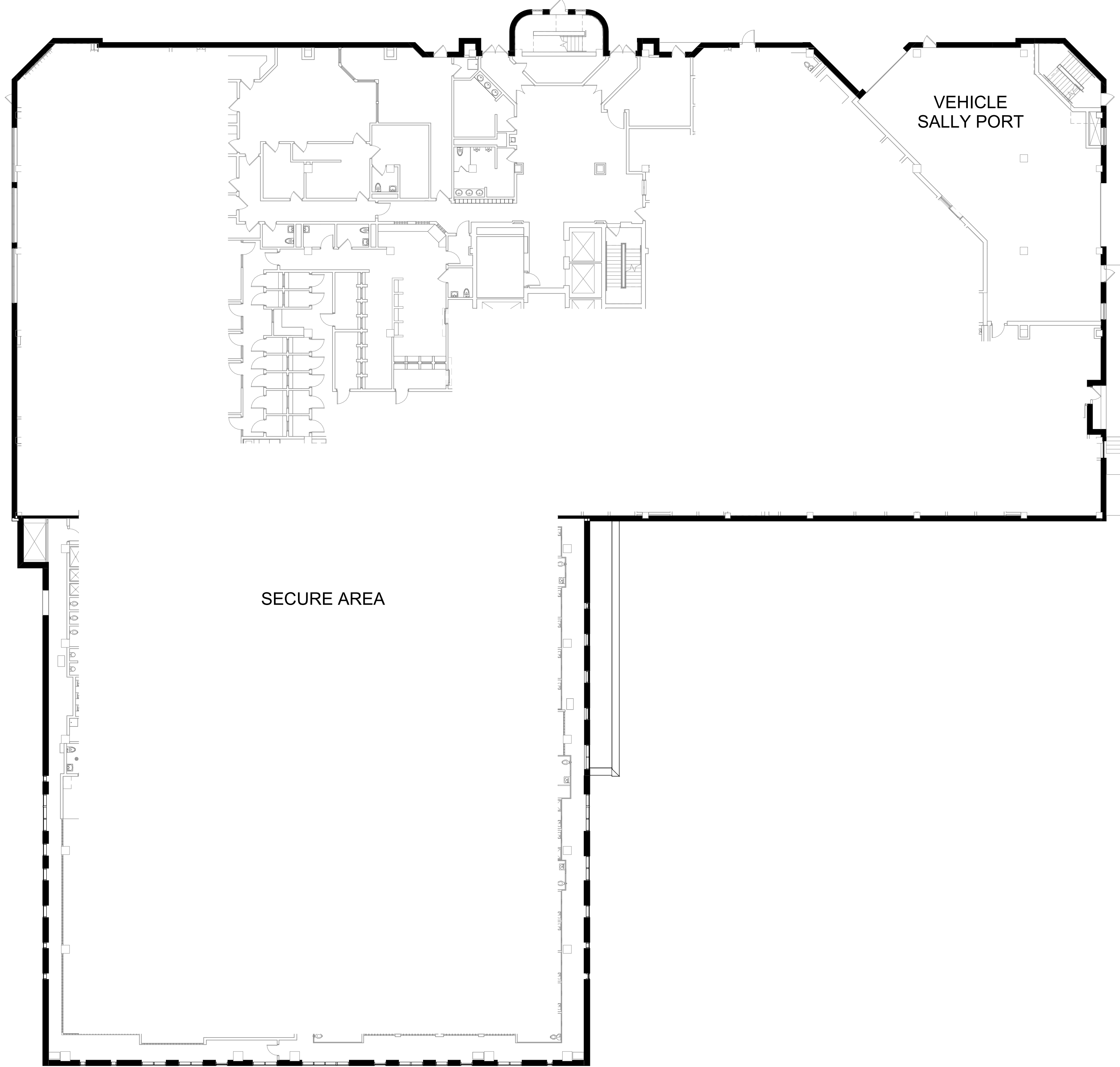
2 SUB-BASEMENT FLOOR PLAN
LU-A101 1/16" = 1'-0"



1 SUB-BASEMENT 2 FLOOR PLAN
LU-A101 1/16" = 1'-0"



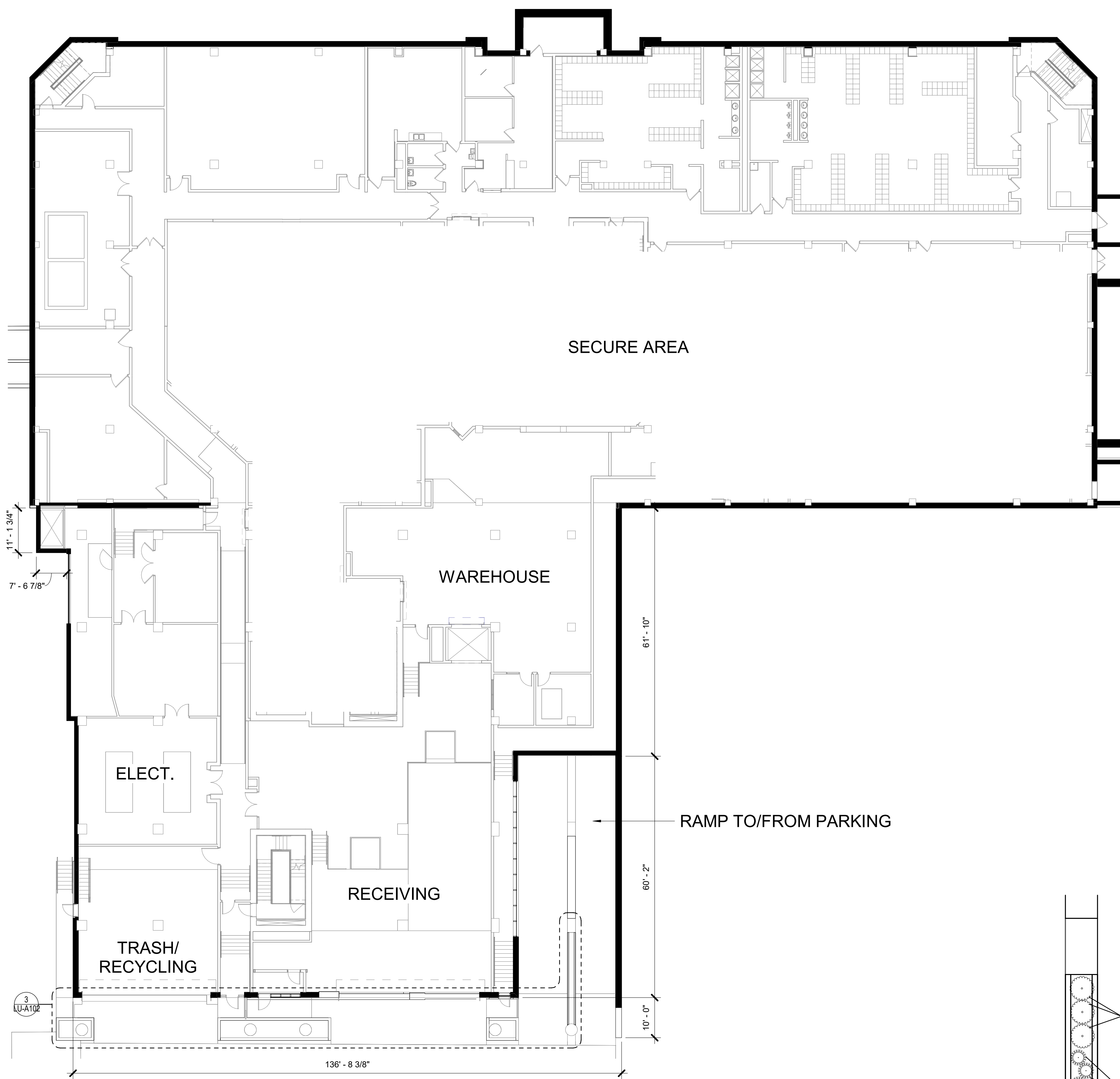
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SECURE AREA

VEHICLE SALLY PORT

2 FIRST FLOOR PLAN
LU-A102 1/16" = 1'-0"



SECURE AREA

WAREHOUSE

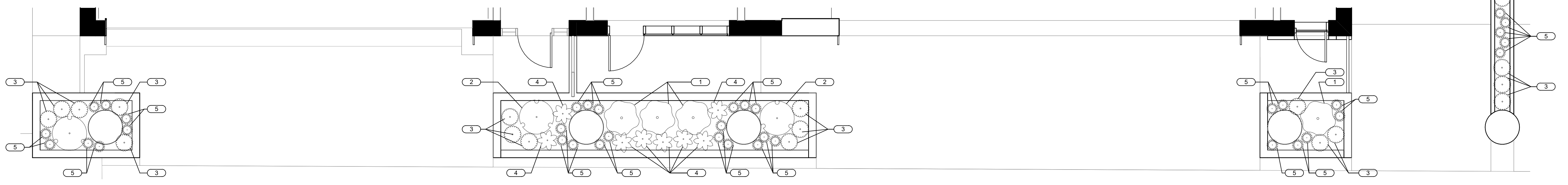
ELECT.

RECEIVING

TRASH/RECYCLING

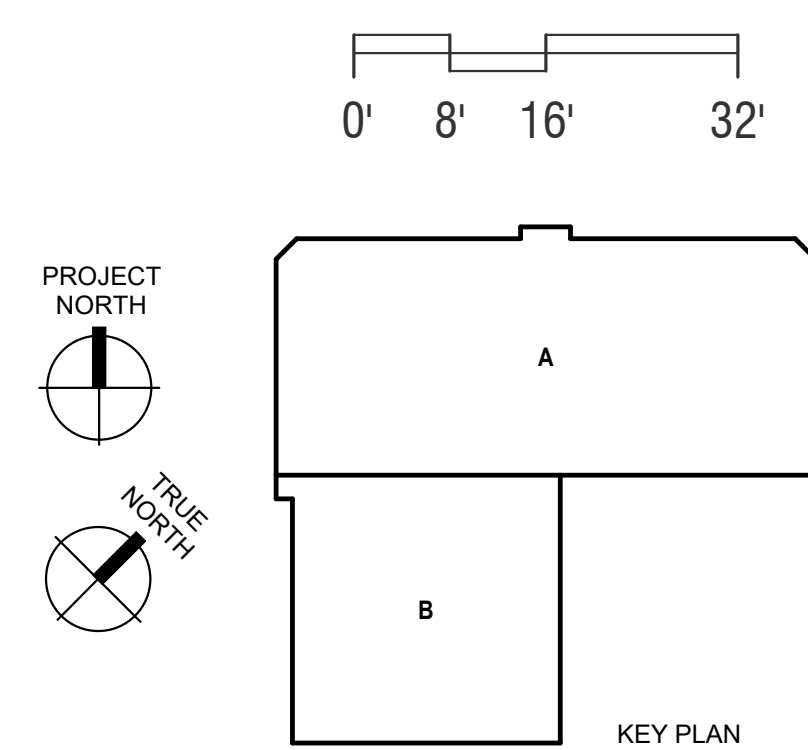
RAMP TO/FROM PARKING

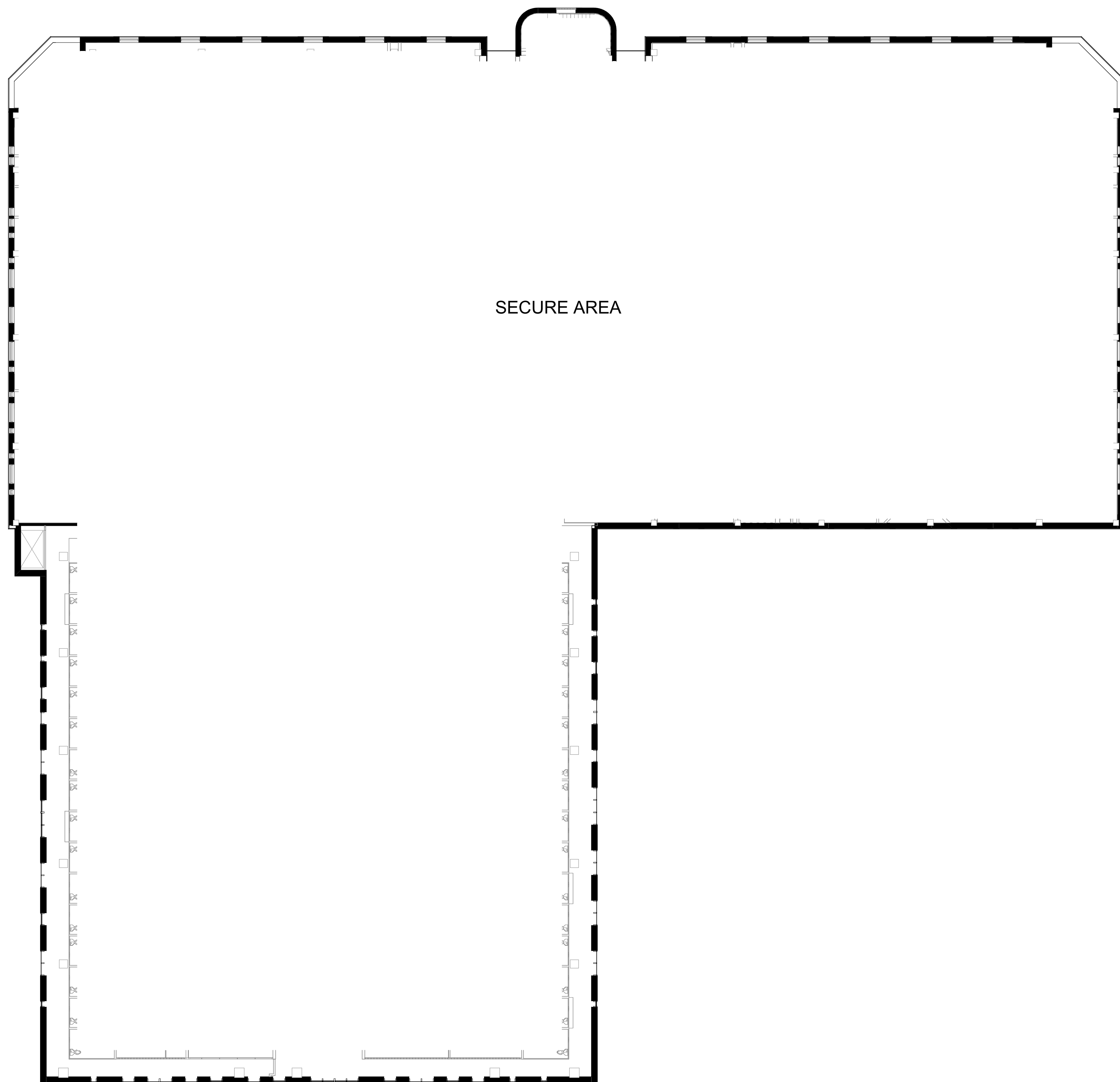
1 BASEMENT FLOOR PLAN
LU-A102 1/16" = 1'-0"



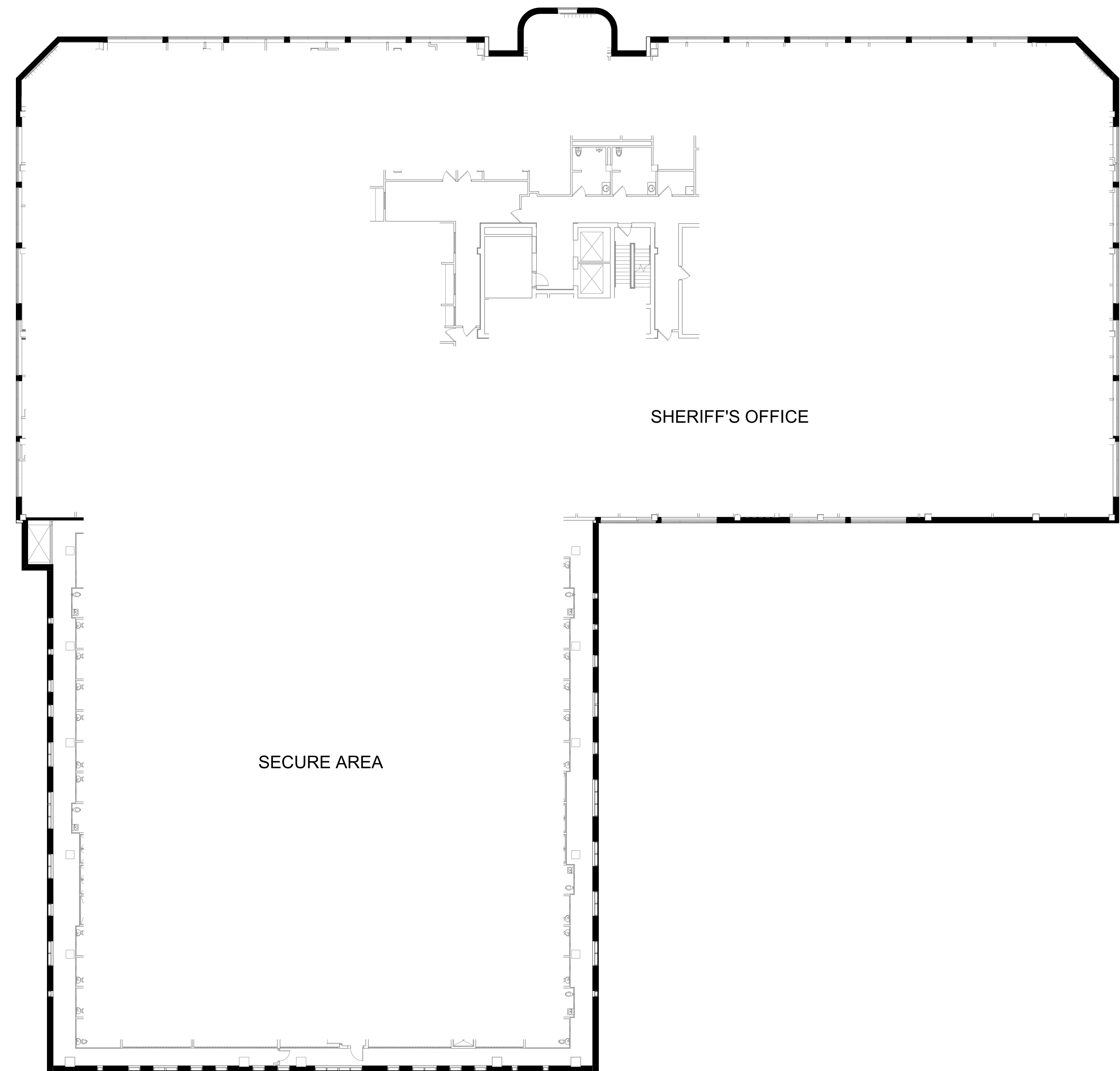
3 LANDSCAPE PLAN
LU-A102 1/4" = 1'-0"

PLANT SCHEDULE	
TAG NUMBER	BOTANICAL/COMMON NAME
Ferns	
1	Osmonda cinnamomea/ Cinnamon Fern
Herbaceous Perennials	
2	Hosta x 'August Moon'/ August Moon Hosta
3	Geranium maculatum/ Spotted Geranium Geranium
4	Amsonia tabernaemontana 'Blue Ice'/ Blue Ice Blue Star
Ornamental Grasses	
5	Carex pensylvanica/ Pennsylvania Sedge

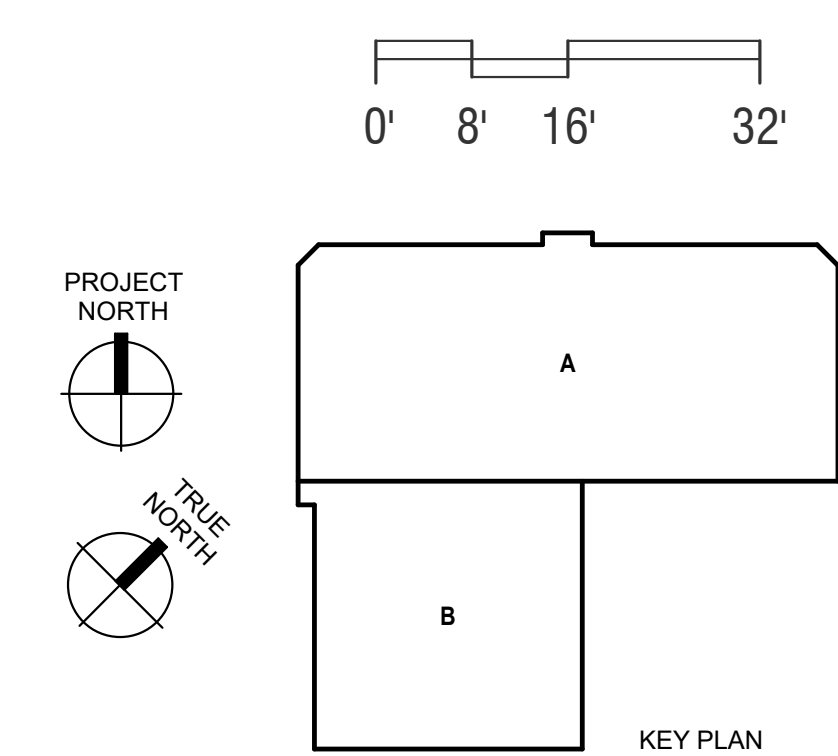


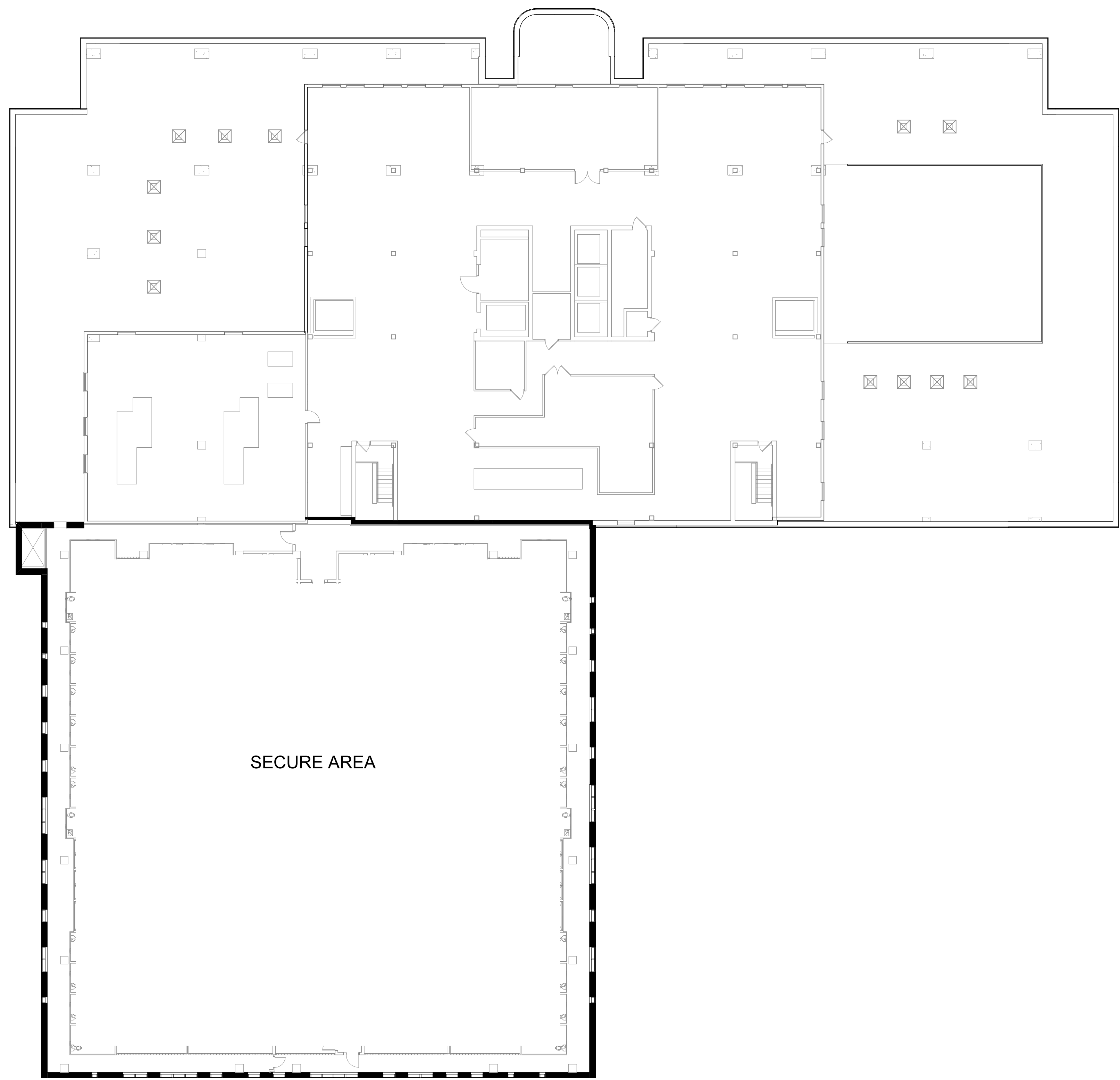


2 THIRD FLOOR PLAN
LU-A103 1/16" = 1'-0"

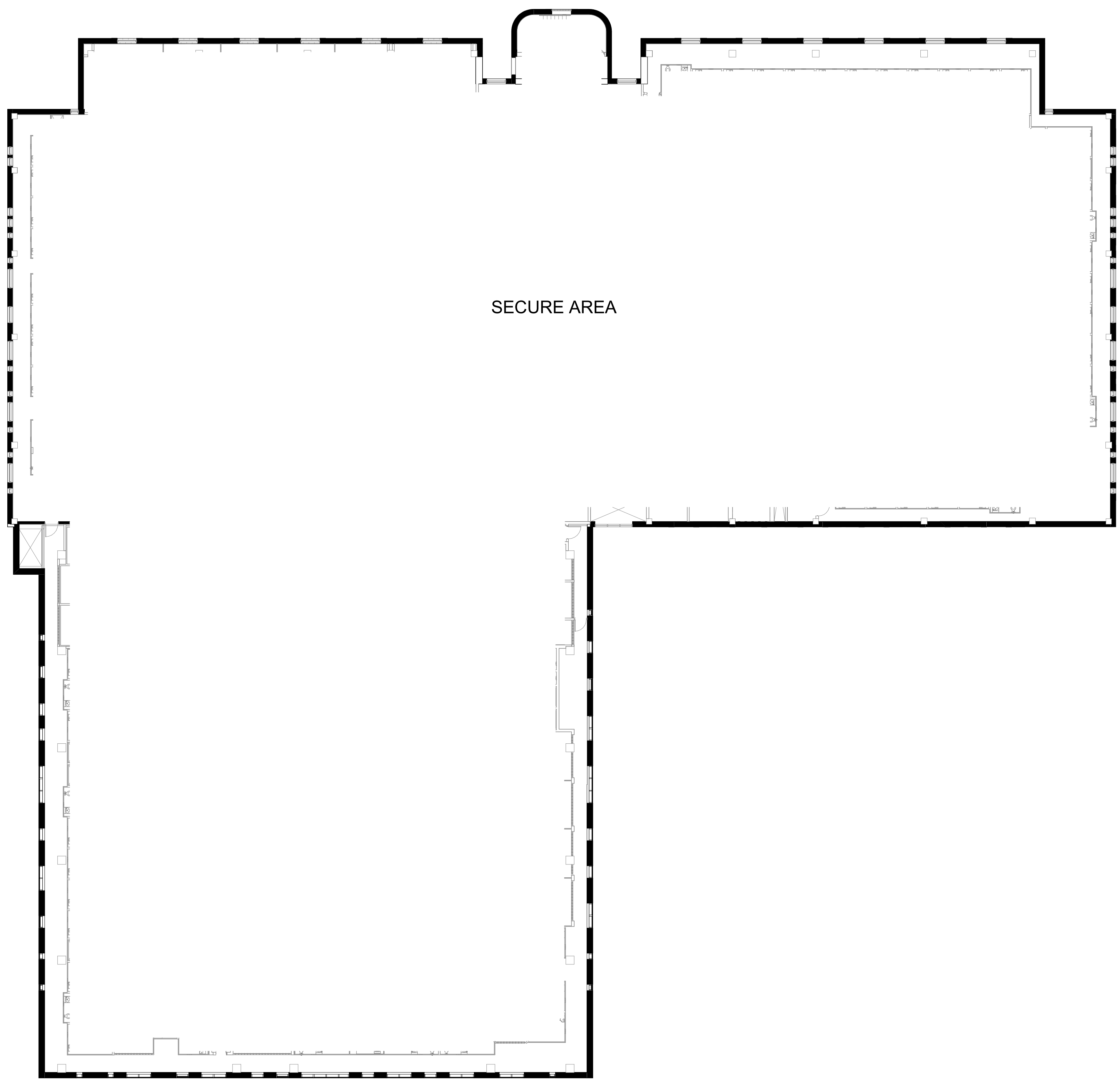


1 SECOND FLOOR PLAN
LU-A103 1/16" = 1'-0"

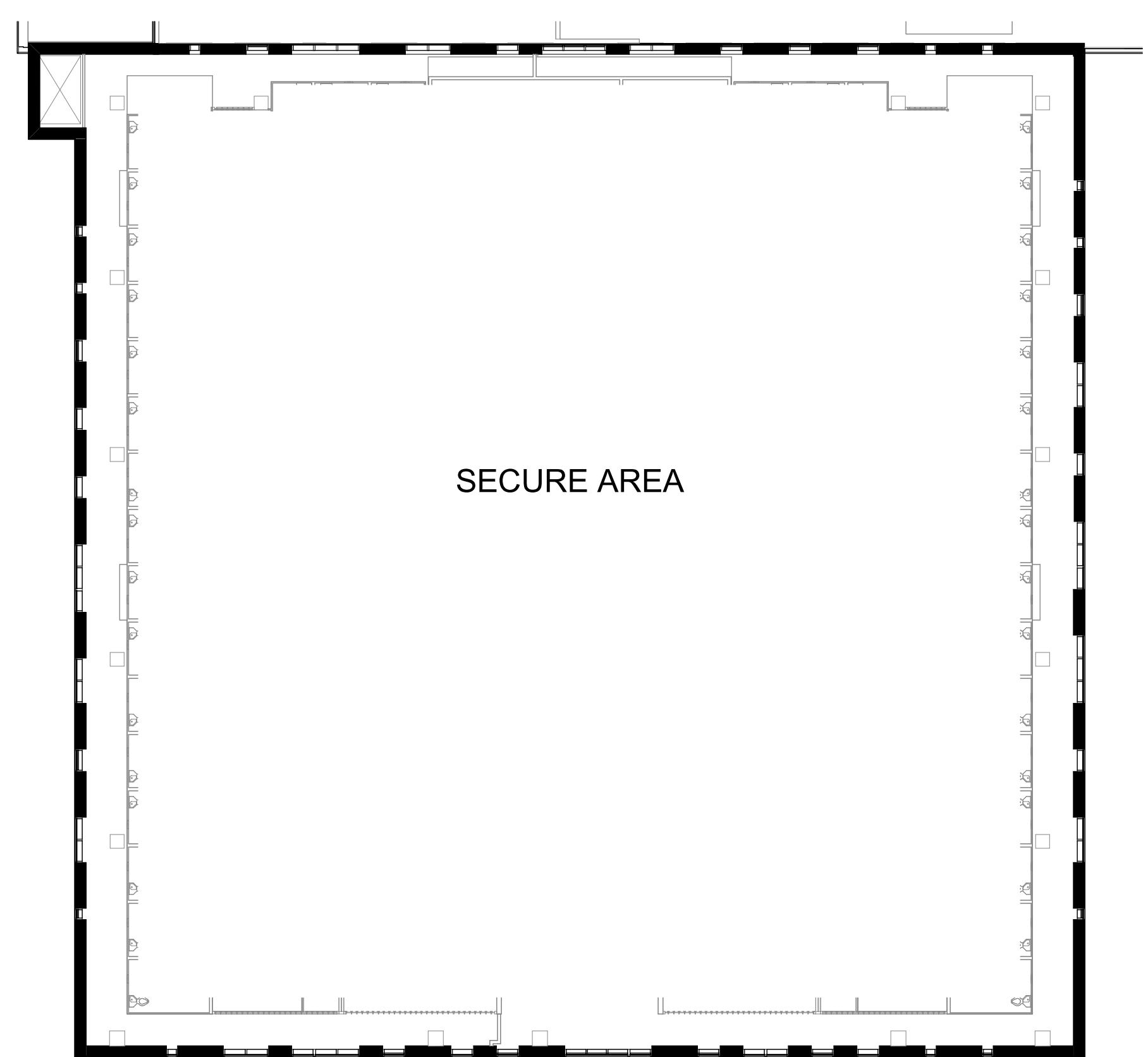




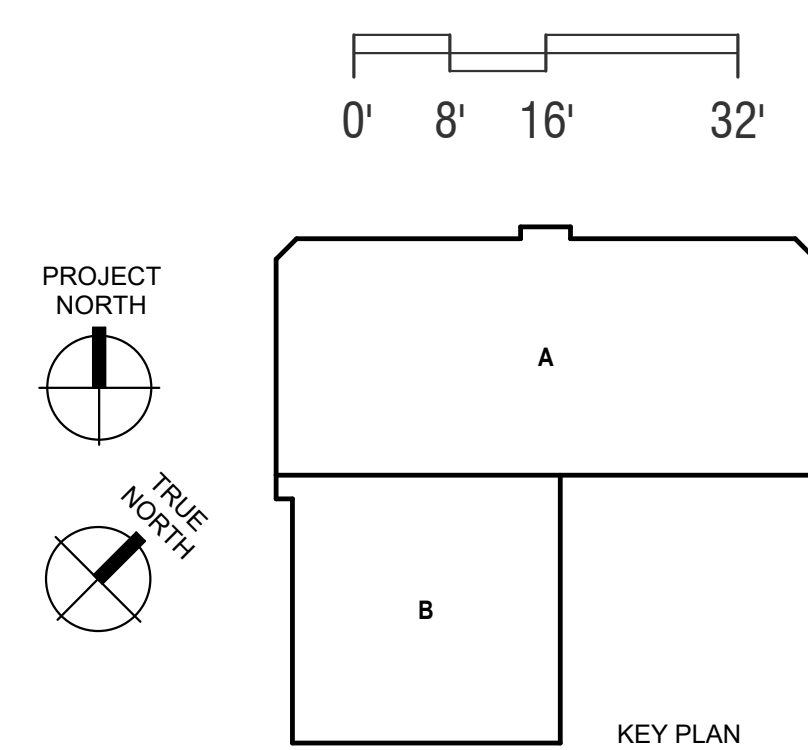
2 FIFTH FLOOR PLAN
LU-A104 1/16" = 1'-0"

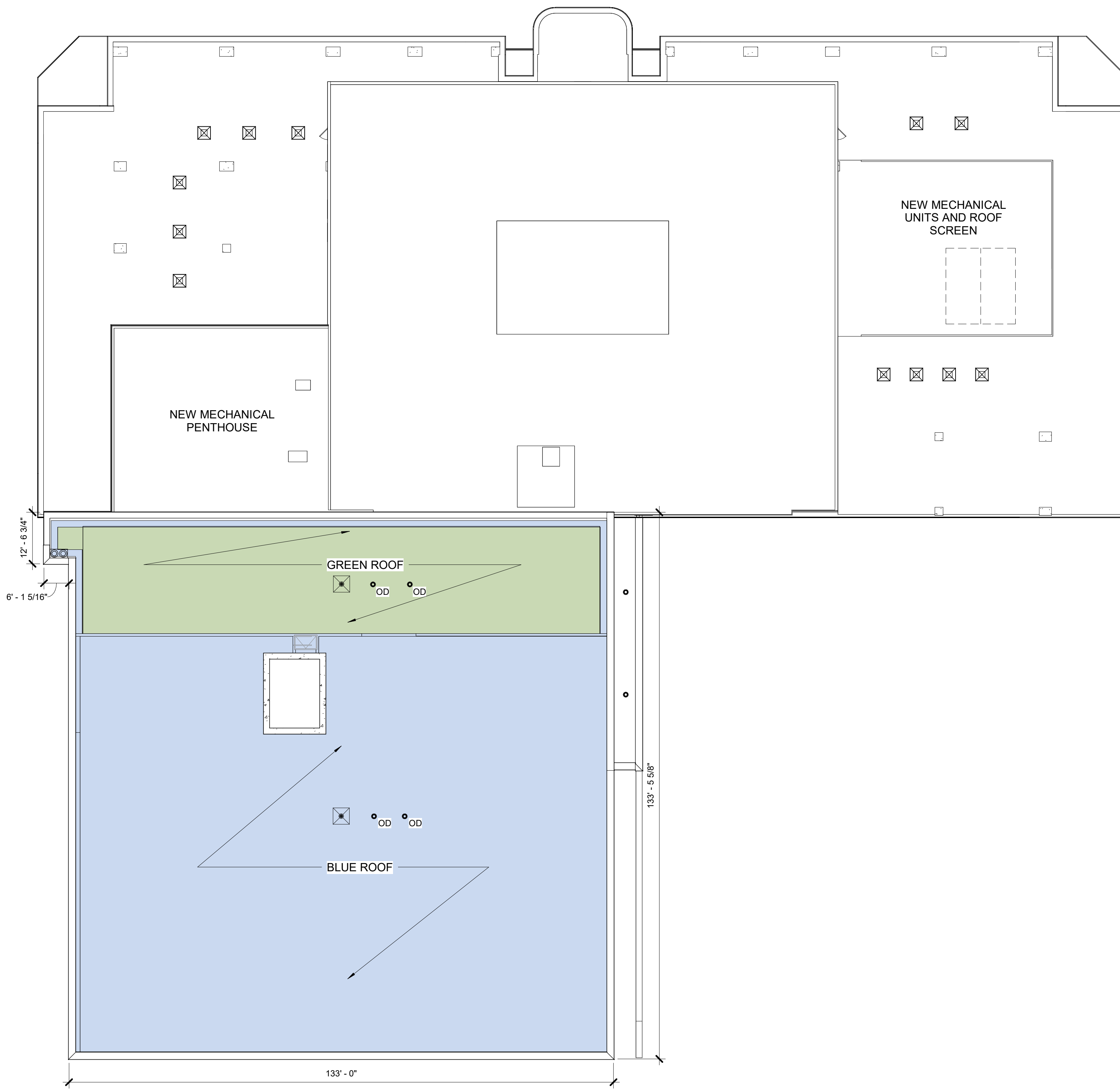


1 FOURTH FLOOR PLAN
LU-A104 1/16" = 1'-0"

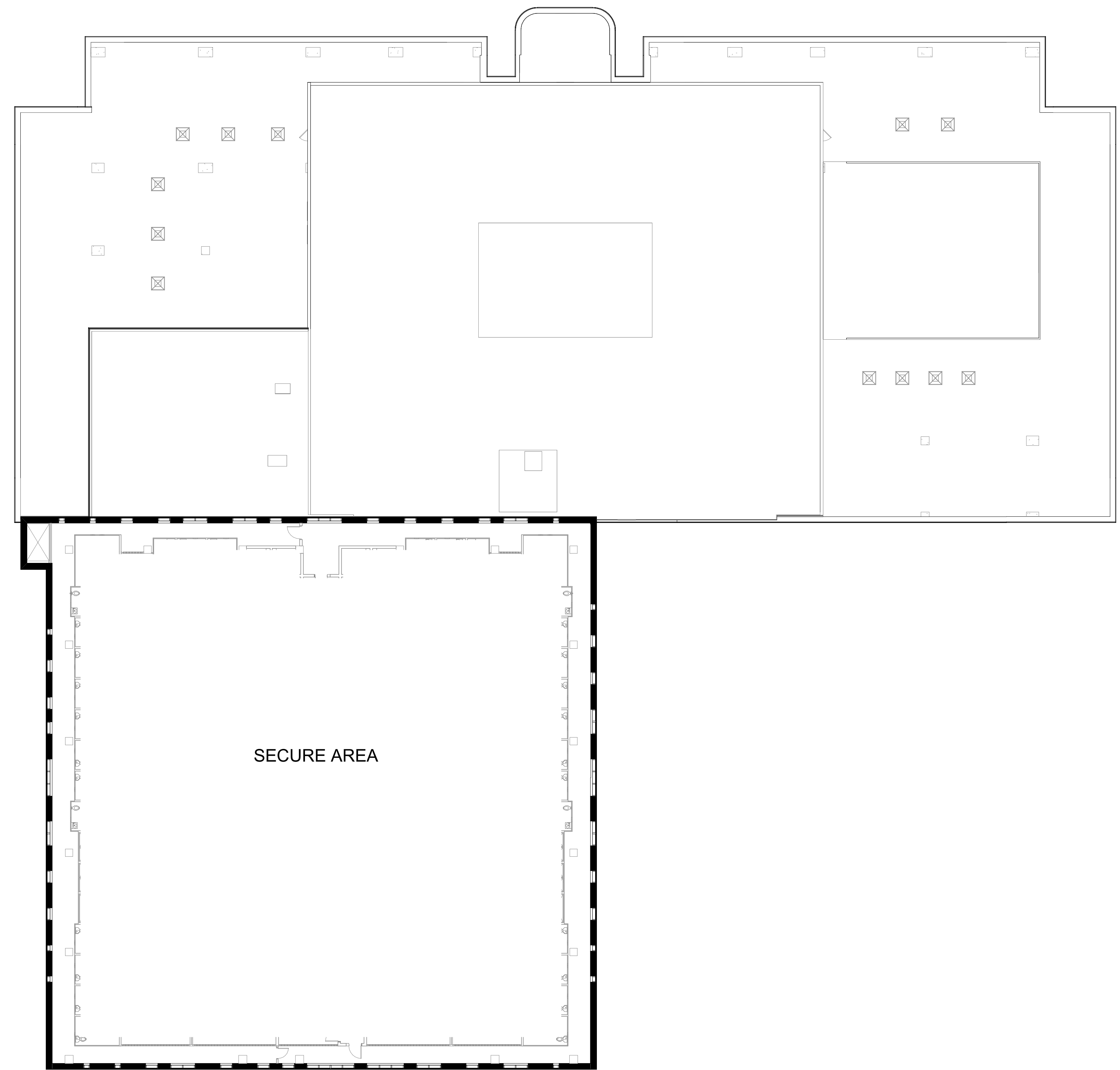


3 FIFTH M FLOOR PLAN
LU-A104 1/16" = 1'-0"

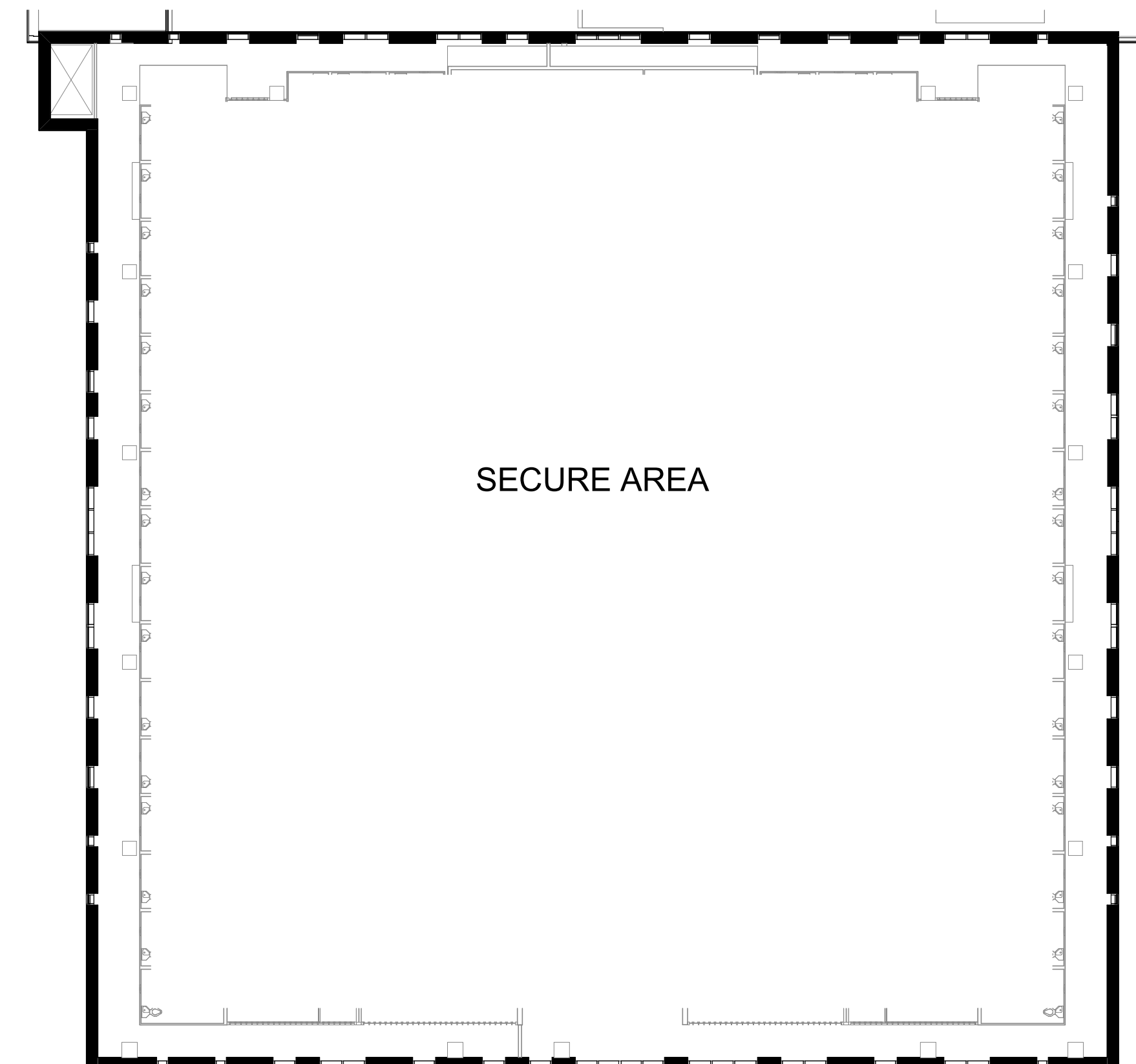




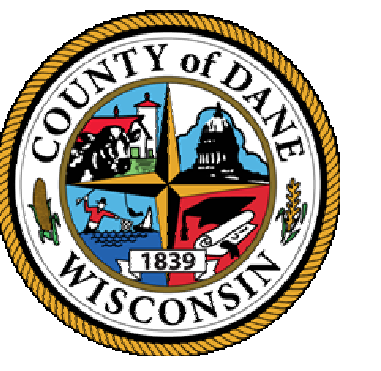
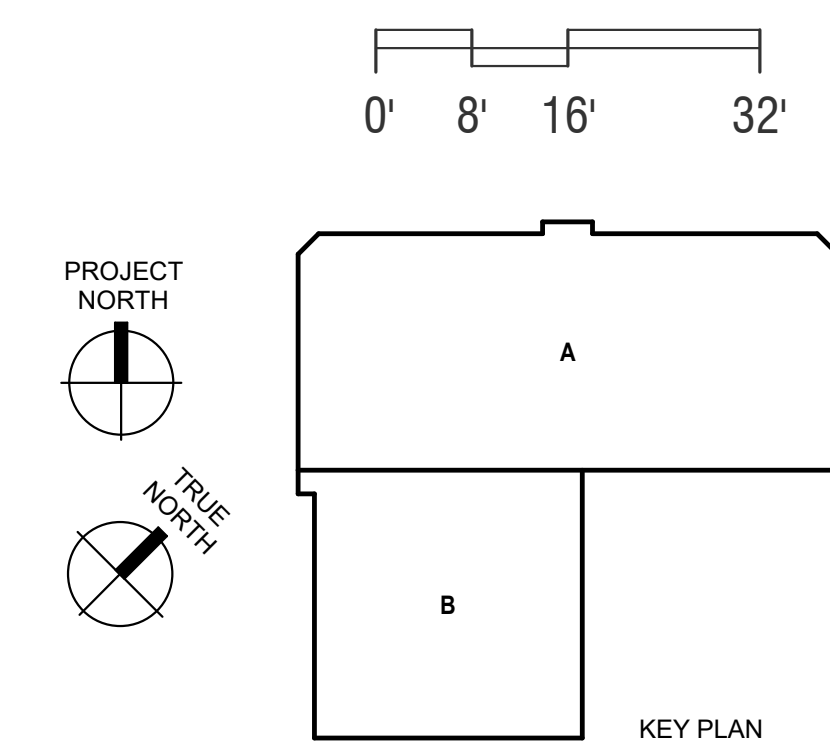
3 ROOF PLAN
LU-A105 1/16" = 1'-0"

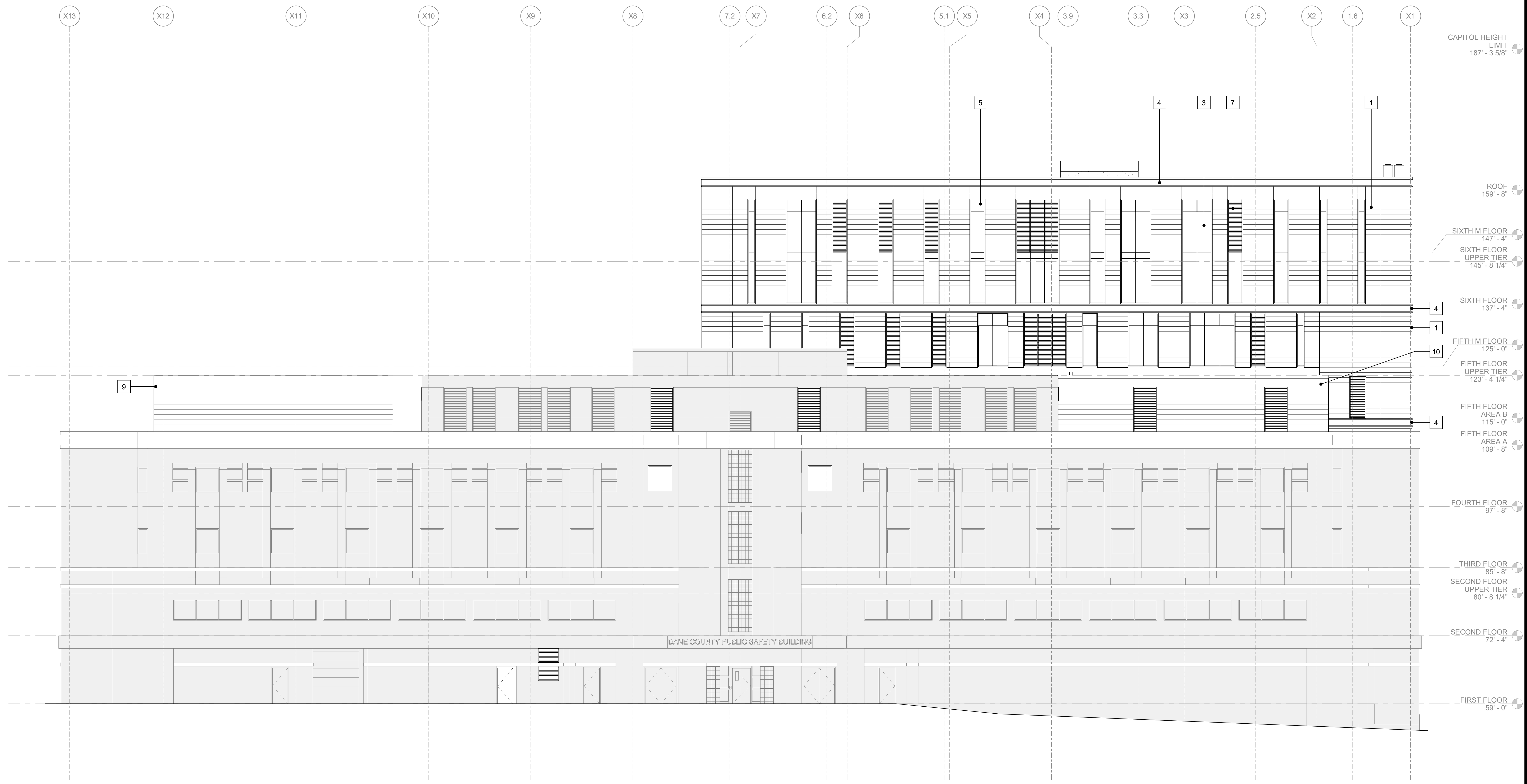
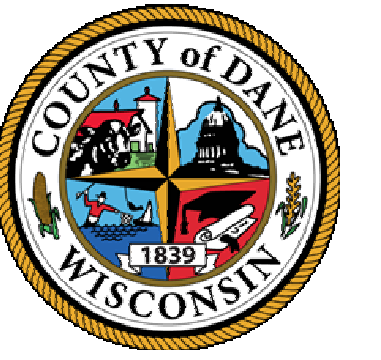


1 SIXTH FLOOR PLAN
LU-A105 1/16" = 1'-0"

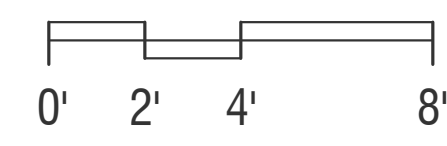


2 SIXTH M FLOOR PLAN
LU-A105 1/16" = 1'-0"



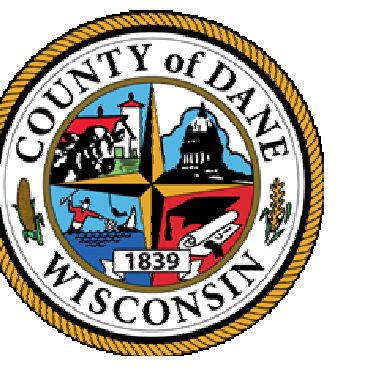


1 NORTH ELEVATION
LU-A201

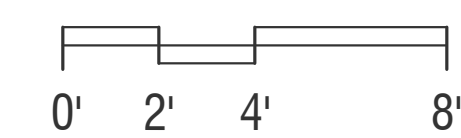


- | | | |
|---|--------------------|---------------------|
| 1 TERRACOTTA VENEER | 5 SPANDREL GLAZING | 9 MECHANICAL SCREEN |
| 2 BRICK VENEER | 6 CONCRETE COLUMN | 10 METAL WALL PANEL |
| 3 SSG ANODIZED ALUMINUM CURTAIN WALL SYSTEM | 7 LOUVER | |
| 4 GRAPHITE GREY TERRACOTTA BAND | 8 OVERHEAD DOOR | |

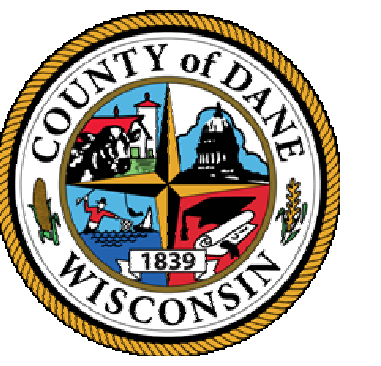
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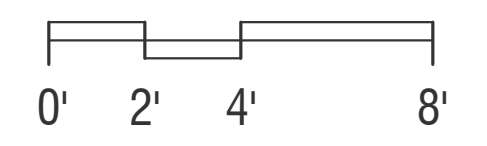
1 EAST ELEVATION
1/8" = 1'-0"



1	TERRACOTTA VENEER	5	SPANDREL GLAZING	9	MECHANICAL SCREEN
2	BRICK VENEER	6	CONCRETE COLUMN	10	METAL WALL PANEL
3	SSG ANODIZED ALUMINUM CURTAIN WALL SYSTEM GRAPHITE GREY TERRACOTTA BAND	7	LOUVER		
4	OVERHEAD DOOR	8	OVERHEAD DOOR		

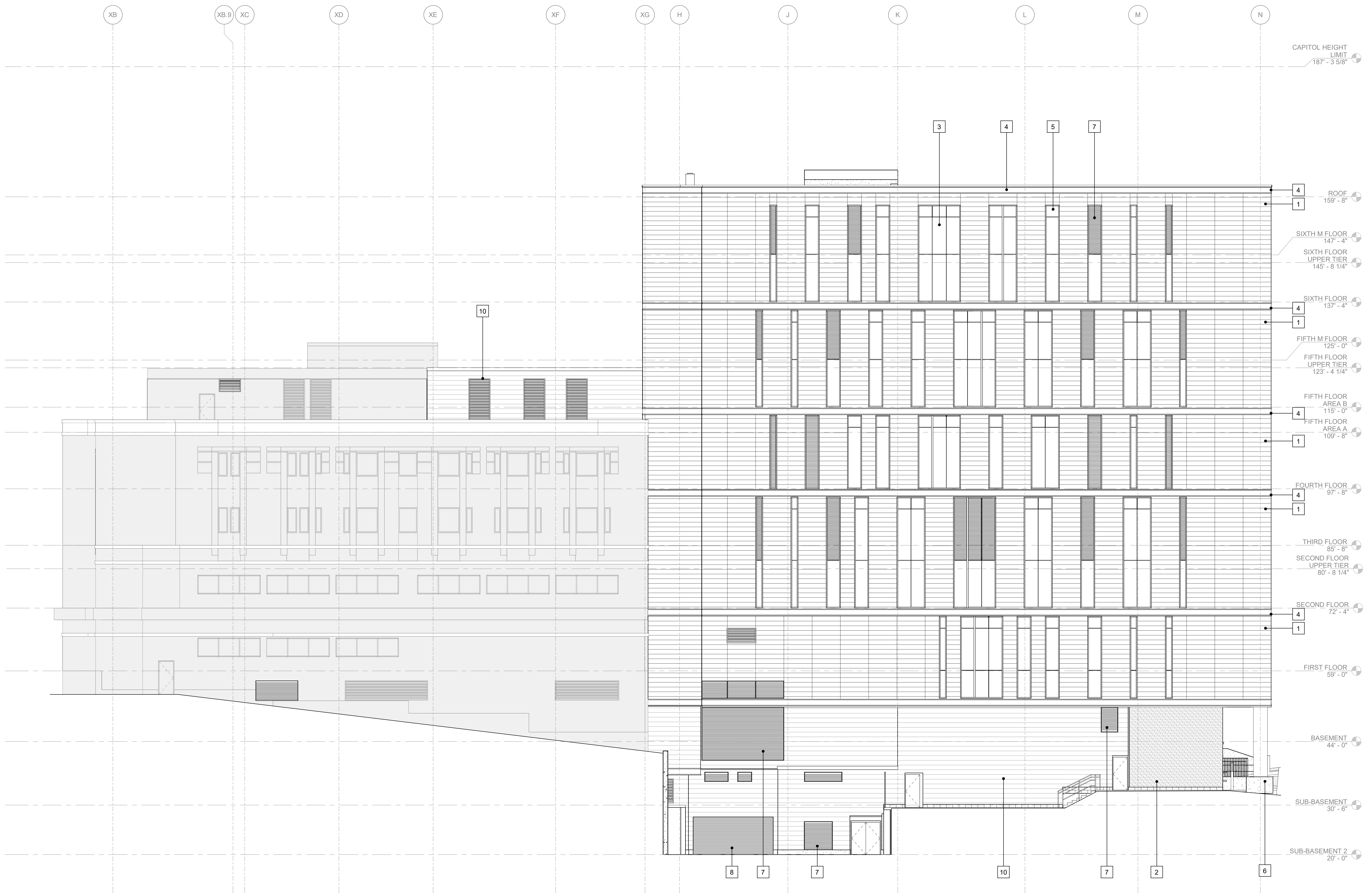
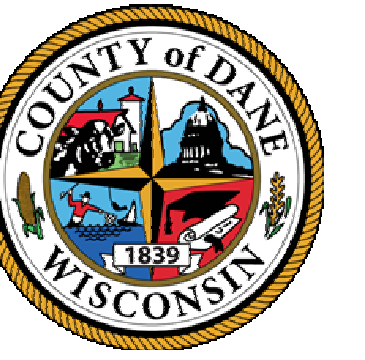


1 SOUTH ELEVATION
1/8" = 1'-0"



- | | | |
|---|--------------------|---------------------|
| 1 TERRACOTA VENEER | 5 SPANDREL GLAZING | 9 MECHANICAL SCREEN |
| 2 BRICK VENEER | 6 CONCRETE COLUMN | 10 METAL WALL PANEL |
| 3 SSG ANODIZED ALUMINUM CURTAIN WALL SYSTEM | 7 LOUVER | |
| 4 TERRACOTA BAND | 8 OVERHEAD DOOR | |

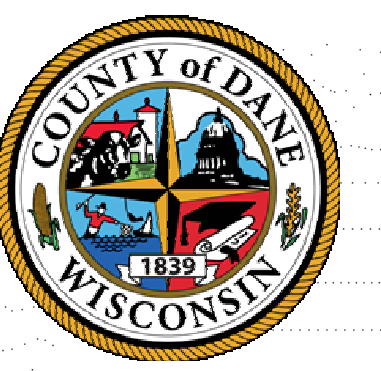
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1 WEST ELEVATION
1/8" = 1'-0"

- | | | |
|---|--------------------|---------------------|
| 1 TERRACOTTA VENEER | 5 SPANDREL GLAZING | 9 MECHANICAL SCREEN |
| 2 BRICK VENEER | 6 CONCRETE COLUMN | 10 METAL WALL PANEL |
| 3 SSG ANODIZED ALUMINUM CURTAIN WALL SYSTEM | 7 LOUVER | |
| 4 TERRACOTTA BAND | 8 OVERHEAD DOOR | |

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1 NORTH ELEVATION COLOR
LU-A205
1/8" = 1'-0"

0' 4' 8' 16'



11 CENTRIA METAL PANEL SYSTEM
SURREY BEIGE



9 CENTRIA CS210 METAL PANEL SYSTEM
SURREY BEIGE

10 CONSTRUCTION SPECIALTIES BS157 LOUVER
MUSHROOM



5 SOLARBAN 70 TRANSLUCENT GLASS
SATLLITE 1 ON 3RD SURFACE
(TO RECEIVE 2" X 4" BLACK BIRD GLAZING PATTERN)



6 CONCRETE COLUMN
STAINED; POLISHED



4 SHILDAN: TERRACOTTA BAND
VOLCANO GREY; STANDARD



3 WAUSAU: CURTAIN WALL SYSTEM
BLACK ANODIZED ALUMINUM
7 CONSTRUCTION SPECIALTIES BS157 LOUVER
BLACK ANODIZED ALUMINUM
8 OVERHEAD DOOR
BLACK ANODIZED ALUMINUM



2 HEBRON BRICK CO: BRICK VENEER
SLATE GREY



1 SHILDAN: TERRACOTTA VENEER
NATURAL RED; RANDOMIZED PATTERN WITH 3
FINISHES: BRUSHED, STANDARD AND PATINATED

CAPITOL HEIGHT LIMIT
187' - 3 5/8"

ROOF
159' - 8"

SIXTH FLOOR
137' - 4"

FIFTH FLOOR AREA B
115' - 0"

FIFTH FLOOR AREA A
109' - 8"

FOURTH FLOOR
97' - 8"

THIRD FLOOR
85' - 8"

SECOND FLOOR
72' - 4"

FIRST FLOOR
59' - 0"

BASEMENT
44' - 0"

1 EAST ELEVATION COLOR
LU-A206
1/8" = 1'-0"

0' 4' 8' 16'



11 CENTRIA METAL PANEL SYSTEM
SURREY BEIGE

9 CENTRIA CS210 METAL PANEL SYSTEM
SURREY BEIGE

10 CONSTRUCTION SPECIALTIES BS157 LOUVER
MUSHROOM

5 SOLARBAN 70 TRANSLUCENT GLASS
SATINLITE 1 ON 3RD SURFACE
(TO RECEIVE 2" X 4" BLACK BIRD GLAZING PATTERN)

6 CONCRETE COLUMN
STAINED: POLISHED

4 SHILDAN: TERRACOTTA BAND
VOLCANO GREY: STANDARD

3 WAUSAU: CURTAIN WALL SYSTEM
BLACK ANODIZED ALUMINUM

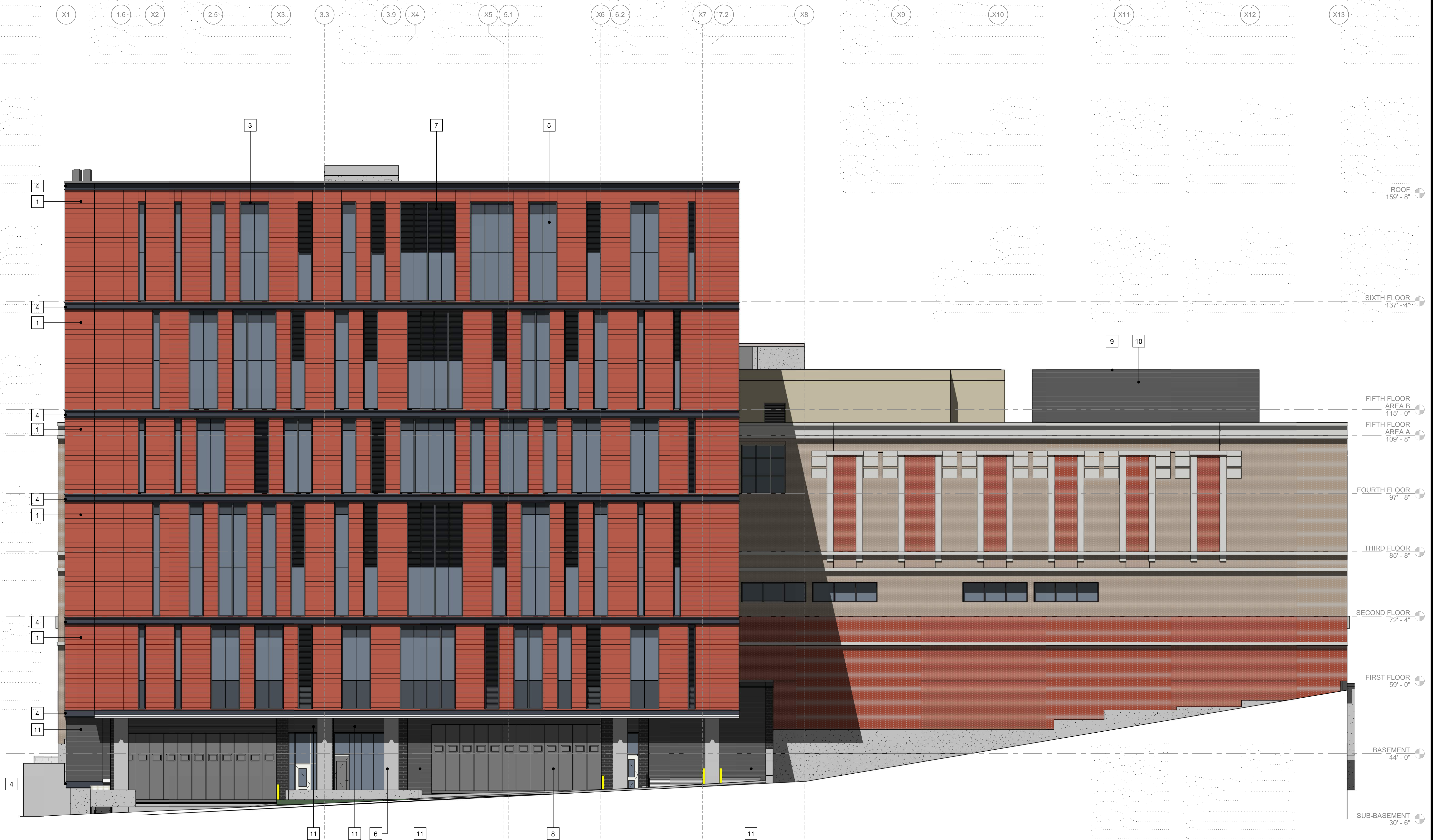
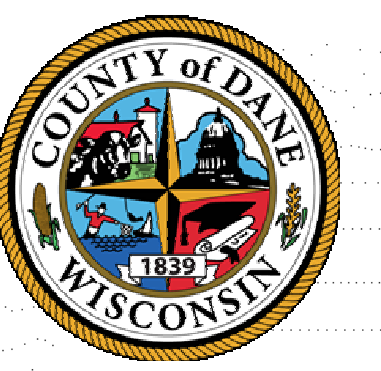
7 CONSTRUCTION SPECIALTIES BS157 LOUVER
BLACK ANODIZED ALUMINUM

8 OVERHEAD DOOR
BLACK ANODIZED ALUMINUM

2 HEBRON BRICK CO: BRICK VENEER
SLATE GREY

1 SHILDAN: TERRACOTTA VENEER
NATURAL RED: RANDOMIZED PATTERN WITH 3
FINISHES: BRUSHED, STANDARD AND PATINATED

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1 SOUTH ELEVATION COLOR
1/8" = 1'-0"



11 CENTRIA METAL PANEL SYSTEM



9 CENTRIA CS210 METAL PANEL SYSTEM SURREY BEIGE

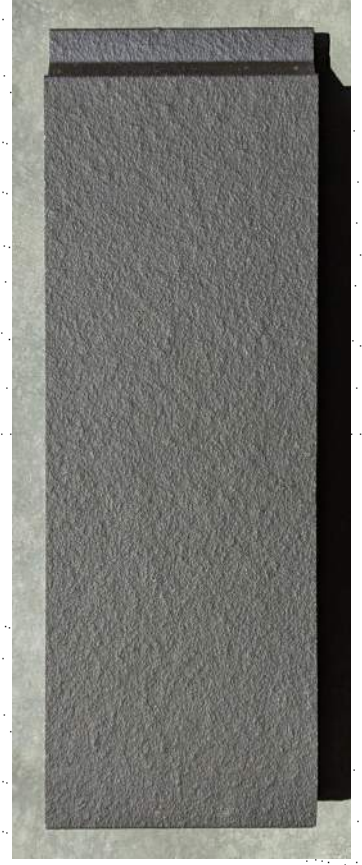
10 CONSTRUCTION SPECIALTIES BS157 LOUVER MUSHROOM



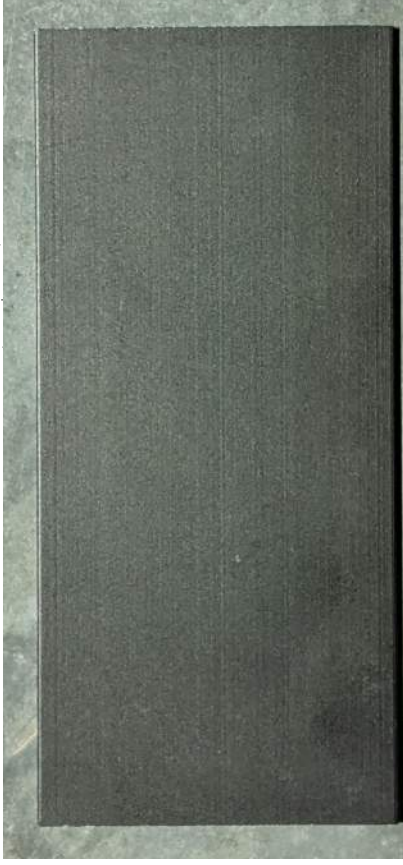
5 SOLARBAN 70 TRANSLUCENT GLASS SATINLITE 1 ON 3RD SURFACE (TO RECEIVE 2" X 4" BLACK BIRD GLAZING PATTERN)



6 CONCRETE COLUMN STAINED: POLISHED



4 SHILDAN: TERRACOTTA BAND VOLCANO GREY: STANDARD



3 WAUSAU: CURTAIN WALL SYSTEM BLACK ANODIZED ALUMINUM

7 CONSTRUCTION SPECIALTIES BS157 LOUVER BLACK ANODIZED ALUMINUM

8 OVERHEAD DOOR BLACK ANODIZED ALUMINUM



2 HEBRON BRICK CO: BRICK VENEER SLATE GREY



1 SHILDAN: TERRACOTTA VENEER NATURAL RED: RANDOMIZED PATTERN WITH 3 FINISHES: BRUSHED, STANDARD AND PATINATED



1 WEST ELEVATION COLOR
LU-A208
1/8" = 1'-0"



11 CENTRIA METAL PANEL SYSTEM
SURREY BEIGE



9 CENTRIA CS210 METAL PANEL SYSTEM
SURREY BEIGE



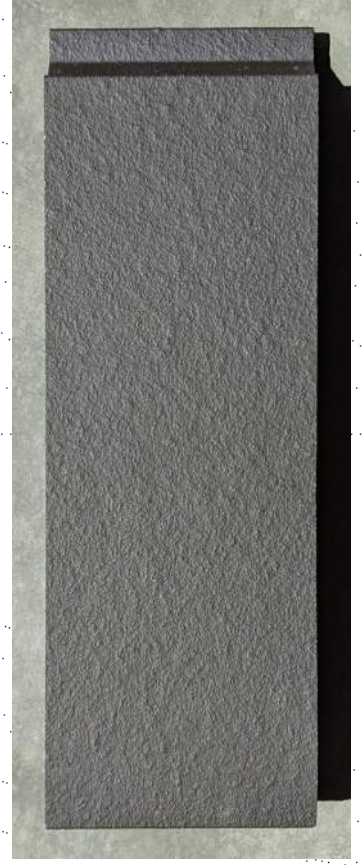
5 SOLARBAN 70 TRANSLUCENT GLASS
SATINLITE 1 ON 3RD SURFACE
(TO RECEIVE 2" X 4" BLACK BIRD GLAZING PATTERN)



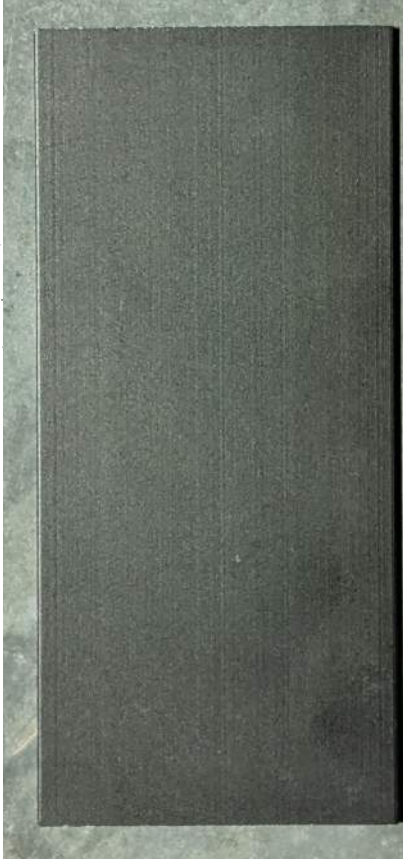
10 CONSTRUCTION SPECIALTIES BS157 LOUVER
MUSHROOM



6 CONCRETE COLUMN
STAINED, POLISHED



4 SHILDAN: TERRACOTTA BAND
VOLCANO GREY: STANDARD



3 WAUSAU: CURTAIN WALL SYSTEM
BLACK ANODIZED ALUMINUM



2 HEBRON BRICK CO: BRICK VENEER
SLATE GREY



1 SHILDAN: TERRACOTTA VENEER
NATURAL RED, RANDOMIZED PATTERN WITH 3
FINISHES: BRUSHED, STANDARD AND PATINATED

12/17/2022 2:51:22 PM Autodesk Docs//DCJ Consolidation/2018.18.00.DCJ.AID-2023.M

Dane County Jail Consolidation South Tower Addition & Public Safety Building Renovation

115 W. Doty Street
Madison, WI 53703

October 31, 2022 Land Use Application

Dane County Public Works
Project No.: 318025
Mead & Hunt Project No.:
4215400-161957.01

Mead & Hunt

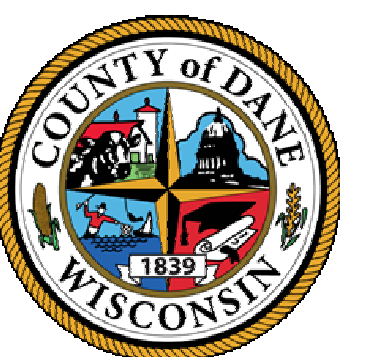
Mead & Hunt, Inc.
2440 Deming Way
Middleton, WI 53562
phone: 608-273-6380
meadhunt.com

**Potter
Lawson**

Success by Design

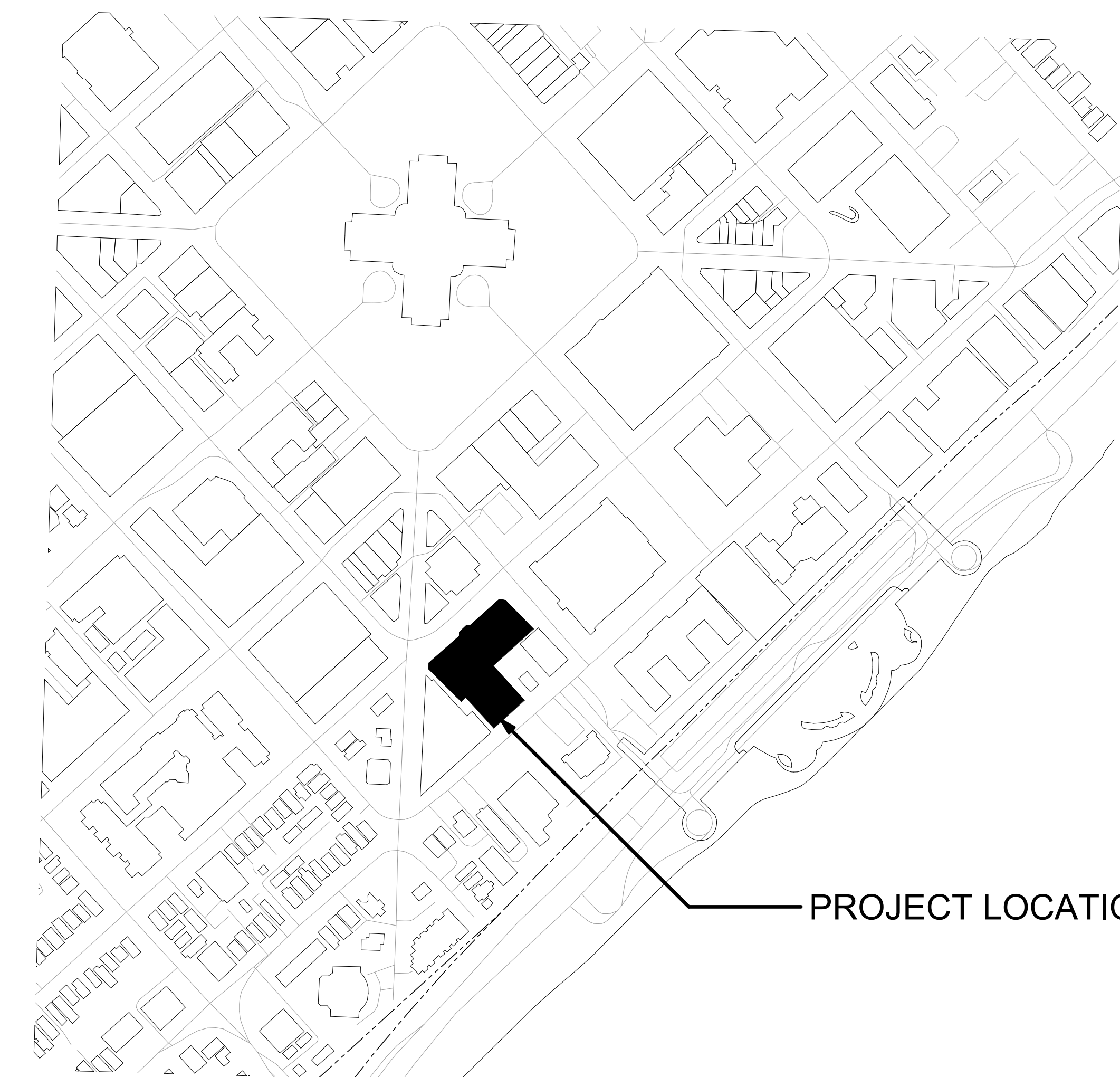
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DANE COUNTY DEPT. OF
PUBLIC WORKS, HIGHWAY &
TRANSPORTATION
1919 ALLIANT ENERGY
CENTER WAY
MADISON, WI 53713
PROJECT NO. 318025

DWG #	Drawing Title	DWG #	Drawing Title	DWG #	Drawing Title
GENERAL					
LU-CD	COVER DRAWING				
CIVIL					
C001	EXISTING CONDITIONS				
C002	ENLARGED EXISTING CONDITIONS - AREA A				
C003	ENLARGED EXISTING CONDITIONS - AREA B				
C101	ENLARGED DEMOLITION PLAN - AREA A				
C102	ENLARGED DEMOLITION PLAN - AREA B				
C201	OVERALL SITE PLAN				
C202	ENLARGED SITE PLAN - AREA A				
C203	ENLARGED SITE PLAN - AREA B				
C301	ENLARGED GRADING PLAN - AREA A				
C302	ENLARGED GRADING PLAN - SUB-BASEMENT 2 - AREA B				
C401	UTILITIES PLAN				
C402	UTILITIES PLAN				
C501	OVERALL FIRE ACCESS EXHIBIT				
C901	VEHICLE TURNING RADIUS EXHIBITS				
ARCHITECTURAL					
LU-A001	CONTEXT PHOTOS - EXISTING CONDITIONS				
LU-A002	ILLUSTRATIVE SITE PLAN				
LU-A003	AERIAL VIEWS				
LU-A004	BUILDING PERSPECTIVES				
LU-A005	BUILDING PERSPECTIVES				
LU-A101	FLOOR PLANS				
LU-A102	FLOOR PLANS				
LU-A103	FLOOR PLANS				
LU-A104	FLOOR PLANS				
LU-A105	FLOOR PLANS				
LU-A201	BUILDING ELEVATION - NORTH				
LU-A202	BUILDING ELEVATION - EAST				
LU-A203	BUILDING ELEVATION - SOUTH				
LU-A204	BUILDING ELEVATION - WEST				
LU-A205	BUILDING ELEVATION - NORTH COLOR				
LU-A206	BUILDING ELEVATION - EAST COLOR				
LU-A207	BUILDING ELEVATION - SOUTH COLOR				
LU-A208	BUILDING ELEVATION - WEST COLOR				
ELECTRICAL					
ES-1	SITE LIGHTING				
ES-2	SITE LIGHTING PHOTOMETRIC PLAN WILSON STREET ENTRANCE				
ES-3	SITE LIGHTING SUBMITTAL (FIXTURES)				



Dane County Jail Consolidation
South Tower Addition & Public Safety
Building Renovation
115 W. Doty Street
Madison, WI 53703

ISSUED
10/31/2022 LAND USE
APPLICATION

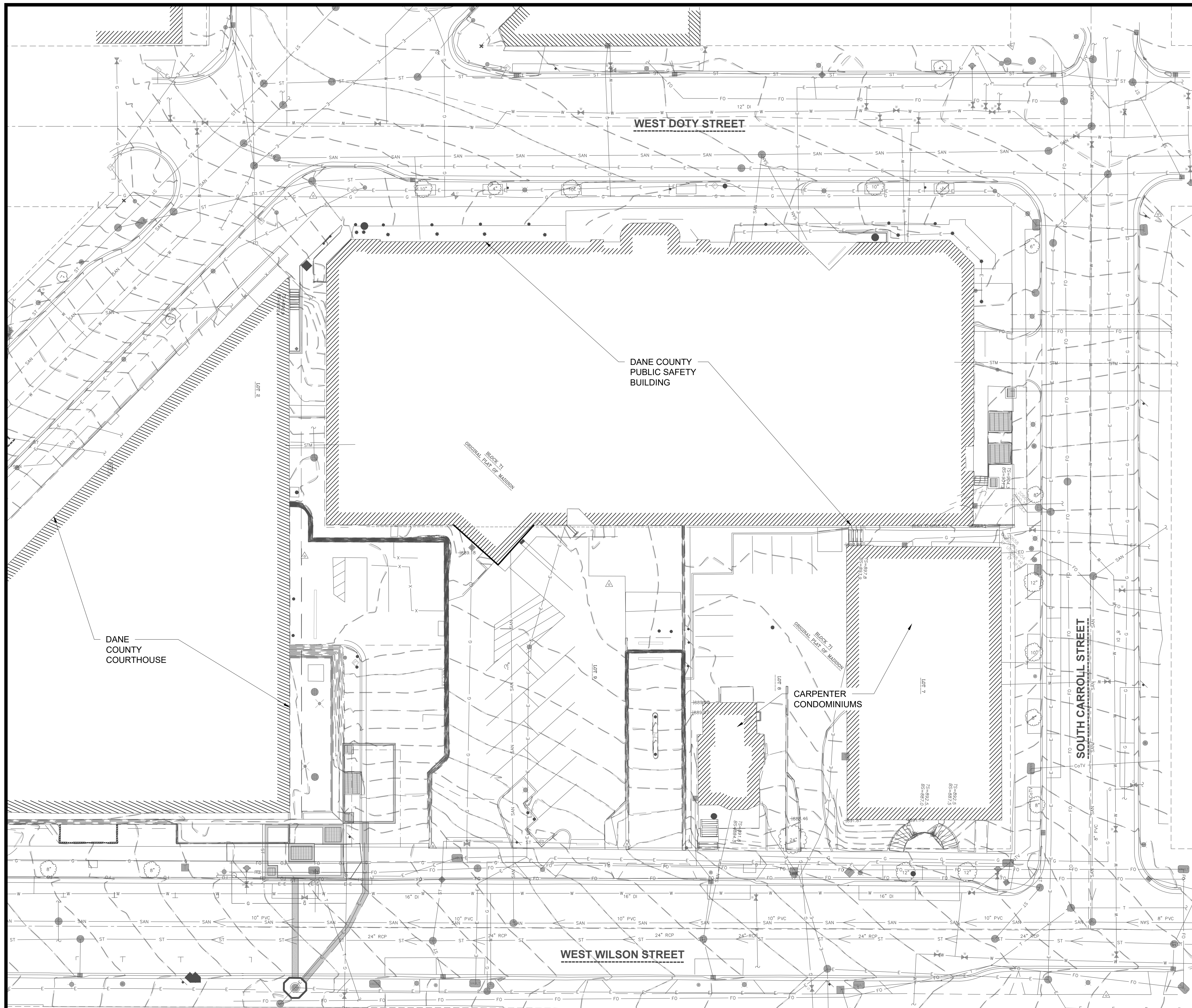
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SBH NO: 4215400-161957.01
DATE: 10/31/2022
DESIGNED BY: JDH
DRAWN BY: EML
CHECKED BY: JDH

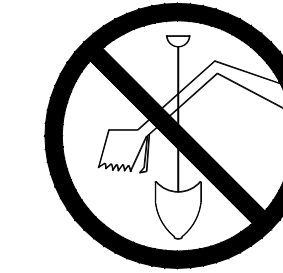
DO NOT SCALE DRAWINGS
SHEET CONTENTS
COVER DRAWING

SHEET NO:

LU-CD



TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



CALL DIGGERS HOTLINE
1-800-242-9511
TOLL FREE
WS STATUTE 182.0175(1974)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

ATTENTION:
ALL UTILITY LOCATIONS ARE SHOWN FROM FIELD OBSERVATION BASED UPON LOCATES AND/OR INFORMATION RECEIVED FROM OTHER SURVEYS AND VARIOUS UTILITY COMPANIES. BEFORE THE START OF ANY EXCAVATION, A COMPLETE LOCATE OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA SHOULD BE COMPLETED.

LEGEND

SEE LEGEND ON "BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY" DATED 05/28/20 PREPARED BY JSD PROFESSIONAL SERVICES, INC., PROVIDED IN THIS PLAN SET.

CIVIL NOTES (SHEETS C001-C003, C101- 102)

- "BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY" DATED 05/28/20 PREPARED BY JSD PROFESSIONAL SERVICES, INC.
- CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
- ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE FEDERAL AND LOCAL LAWS, CODES, AND ORDINANCES.
- THE LOCATIONS OF COVERED SLABS, ASPHALT CONCRETE PAVEMENTS, PIPES, UNDERGROUND STRUCTURES, OR OTHER UTILITIES SHOWN ON THESE PLANS ARE BASED ON VISIBLE FEATURES ON THE GROUND OR AVAILABLE DRAWINGS PROVIDED BY OTHERS; THEREFORE, THEY ARE APPROXIMATE. VERIFY THE TYPE OF MATERIALS, EXACT LOCATION, SIZE AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF WORK.
- RESTORE TO ORIGINAL CONDITION EXISTING ASPHALT CONCRETE PAVEMENT, CEMENTITIOUS CONCRETE PAVEMENT, CONCRETE WALKS, LANDSCAPED AREAS, AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED DURING CONSTRUCTION.
- PROTECT EXISTING UTILITIES, VALVE BOXES, AND MANHOLES, WHETHER SHOWN OR NOT SHOWN ON THE PLANS, AFFECTED BY TRENCHING WORK. IF DISTURBED, RESTORE TO ORIGINAL CONDITION.
- VERIFY THE LOCATIONS, SIZES, AND MATERIALS OF PROPOSED CONNECTIONS TO EXISTING UTILITIES. EXERCISE EXTREME CAUTION DURING EXCAVATION ACTIVITIES IN THESE LOCATIONS.
- CONDUCT CONSTRUCTION OPERATIONS WITH MINIMAL INTERFERENCE TO ROADS, DRIVEWAYS, PARKING AREAS, SIDEWALKS, AND OTHER PEDESTRIAN AND VEHICULAR FACILITIES. PROVIDE CONTINUOUS TRAFFIC FLOW IN ALL DIRECTIONS AT ALL TIMES.
- REVIEW THE PLANS AND NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND BEFORE PROCEEDING WITH THE WORK.
- COORDINATE AND OBTAIN CLEARANCES AND PERMITS FROM THE CITY OF MADISON DEPARTMENT OF PUBLIC WORKS PRIOR TO EXCAVATION ACTIVITIES.
- PROTECT EXISTING SURVEY MONUMENTS. REPORT DAMAGED SURVEY MONUMENTS. RESTORE AND REPAIR DISTURBED SURVEY MONUMENTS.
- MINIMIZE DISRUPTION OF UTILITY SERVICES. THE OWNER SHALL APPROVE IN ADVANCE ANY SERVICE INTERRUPTIONS AND THE REMOVAL OF EXISTING UTILITY LINES. PROVIDE WRITTEN NOTIFICATION TO OWNER 72 HOURS IN ADVANCE OF INTERRUPTIONS OF SERVICE. MAXIMUM UTILITY OUTAGE FOR ANY ONE (1) INTERRUPTION SHALL NOT EXCEED FOUR (4) HOURS PER DAY.
- RESTORE UNPAVED AREAS DISTURBED DURING CONSTRUCTION BY SODDING.
- PROVIDE TEMPORARY CONNECTION TO EXISTING LINES AS REQUIRED TO MINIMIZE UTILITY SERVICE INTERRUPTIONS BEFORE THE REMOVAL OF ANY PORTION OF EXISTING LINES.
- PROVIDE TEMPORARY ACCESS PROTECTION FOR EQUIPMENT, TRUCKS OR OTHER CONSTRUCTION VEHICLES TO PREVENT ANY DAMAGE TO EXISTING AND/OR NEWLY INSTALLED CONCRETE SIDEWALKS, CURBS, AND PAVING.
- ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND AVOID PONDING CONDITIONS ANYWHERE ON SITE. DIRECT STORM WATER TO STORM WATER CONVEYANCE STRUCTURES.
- DUE TO VARIATIONS AND CONSTRAINTS, DETERMINE EACH UTILITY TIE IN LAYOUT BY ITS ACTUAL FIELD CONDITIONS. CHANGES TO THE DESIGN CONFIGURATION REQUIRE APPROVAL OF THE ARCHITECT/ENGINEER AND DOCUMENTATION ON THE AS-BUILT DRAWINGS.
- EXERCISE EXTREME CAUTION IN EXCAVATING AREAS THAT ARE KNOWN TO HAVE UNDERGROUND UTILITIES. HAND EXCAVATE WITHIN 3 FEET OF ANY EXISTING UTILITIES. IN CASES WHERE THE DEPTH OR ELEVATION ARE NOT INDICATED ON THE PLANS, PROCEED WITH CAUTION.
- PROVIDE SHORING FOR TRENCH EXCAVATION WORK THAT EXCEEDS 4 FEET IN DEPTH.
- PRESERVE AND PROTECT ALL EXISTING TREES AND PLANT MATERIALS NOT IDENTIFIED ON THE PLANS FOR REMOVAL OR RELOCATION. IF PROPOSED IMPROVEMENTS MAY NEGATIVELY AFFECT THE MAJOR ROOT SYSTEMS, OBTAIN APPROVAL OF THE ARCHITECT/ENGINEER TO REMOVE OR RELOCATE THE EXISTING TREE OR PLANT MATERIAL.
- THE EXISTING COMMUNICATIONS VAULT AND DUCT BANK IS TO BE REMOVED AND PROPERLY DISPOSED.
- THE NEWLY CONSTRUCTED VAULT AND DUCT BANK IS TO BE PROTECTED AT ALL TIMES. THE CONTRACTOR IS RESPONSIBLE FOR THE SUPPORT AND PROTECTION OF THE NEWLY CONSTRUCTED FIBER OPTIC CABLES AND OR DUCTS FOR THE DURATION OF THE PROJECT. ANY COSTS ASSOCIATED WITH THE DAMAGE AND REPAIR OF THE NEWLY CONSTRUCTED FIBER OPTIC CABLES AND VAULT ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
- CONTRACTOR SHALL PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO CITY OF MADISON TRAFFIC ENGINEERING. CONTRACTOR SHALL BE RESPONSIBLE FOR FEES ASSOCIATED WITH THE TEMPORARY LOSS OF PARKING SPACES DURING CONSTRUCTION. IN MARCH 2021, THE FEE WAS \$18/STALL/DAY.

1 OVERALL EXISTING CONDITIONS
C001 1" = 20'

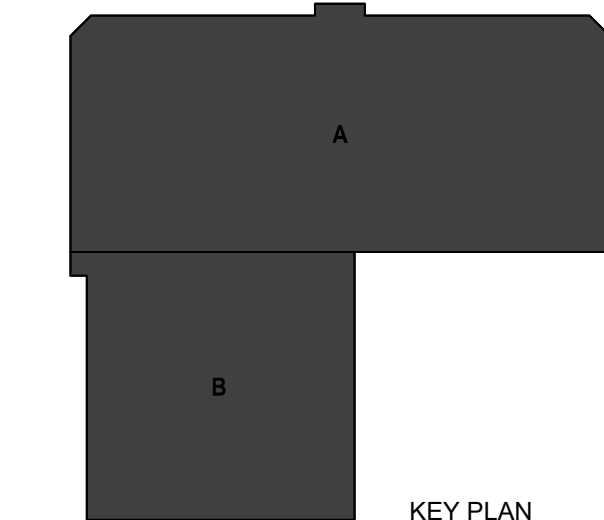
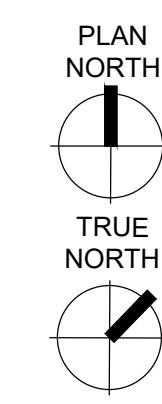
GENERAL NOTES:

- CONTRACTOR SHALL CONTACT DIGGERS HOTLINE PRIOR TO DOING ANY EXCAVATION.
- DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL LOCAL AND STATE BUILDING CODES AND ORDINANCES AND GENERAL DESIGN STANDARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY WATER DAMAGE THAT OCCURS IN THE VAULT OR IN AREAS ADJACENT TO THE VAULT REGARDLESS OF THE CAUSE OF THE WATER INFILTRATION.
- CONTRACTOR SHALL OBTAIN A STREET EXCAVATION PERMIT PRIOR TO DOING ANY REPAIR WORK THAT INVOLVES EXCAVATION WITHIN THE PUBLIC RIGHT OF WAY.
- CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGES TO THE VAULT INCLUDING DAMAGE TO ANY WATER PROOFING MEMBRANES OR OTHER FEATURES REGARDLESS OF WHO CAUSED THE DAMAGE.
- CONTRACTOR SHALL PROVIDE A SIGNED AND SEALED PLAT OF SURVEY AND LEGAL DESCRIPTION BY A PROFESSIONAL LAND SURVEYOR COMPLIANT WITH CHAPTER A-E 7 OF THE WISCONSIN ADMINISTRATIVE CODE SHOWING THE IMPROVEMENTS WITH A FULLY DIMENSIONED AND LEGALLY DESCRIBED PERIMETRICAL BOUNDARY OF THE ENCROACHMENT AREA REFERENCED TO THE DANE COUNTY COORDINATE SYSTEM TIED TO A QUARTER SECTION LINE AS REQUIRED BY CHAPTER 236 OF THE WISCONSIN STATUTES. THE MAP AND LEGAL DESCRIPTION SHALL ALSO DEFINE AND DESCRIBE THE THREE DIMENSIONAL LOCATION OF THE UPPER AND LOWER LIMITS OF THE IMPROVEMENTS. ALL VERTICAL LOCATIONS SHALL BE REFERENCED TO THE NAVD 88 (91) DATUM.

UTILITY COORDINATION INFORMATION:

CONTRACTOR SHALL COORDINATE WITH ALL PRIVATE AND PUBLIC UTILITIES TO ASCERTAIN EACH UTILITY'S DESIRED DEMOLITION AND RELAY.

GAS & ELECTRIC: MADISON GAS & ELECTRIC 133 S. BLAIR ST. MADISON, WI	INTERNET & COMMUNICATIONS: CENTURYLINK 10 E. DOTY ST. MADISON, WI	PUBLIC WORKS (ROADS, SIDEWALK, TERRACE, LANDSCAPING, SANITARY, STORM): CITY OF MADISON DEPARTMENT OF PUBLIC WORKS 211 S. CARROLL ST. MADISON, WI 53703
WATER: MADISON WATER UTILITY 523 E. MAIN ST. MADISON, WI	CHARTER COMMUNICATIONS ADMINISTRATION 2701 DANIELS STREET MADISON, WI	AT&T 316 W. WASHINGTON AVE. MADISON, WI 53703



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Mead & Hunt, Inc.
2440 Deming Way
Middleton, WI 53562
phone: 608-273-6380
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DANE COUNTY DEPT. OF PUBLIC WORKS, HIGHWAY & TRANSPORTATION
1919 ALLIANT ENERGY CENTER WAY
MADISON, WI 53713
PROJECT NO. 318025

**Dane County Jail Consolidation
South Tower Addition & Public Safety
Building Renovation**
115 W. Doty Street
Madison, WI 53703

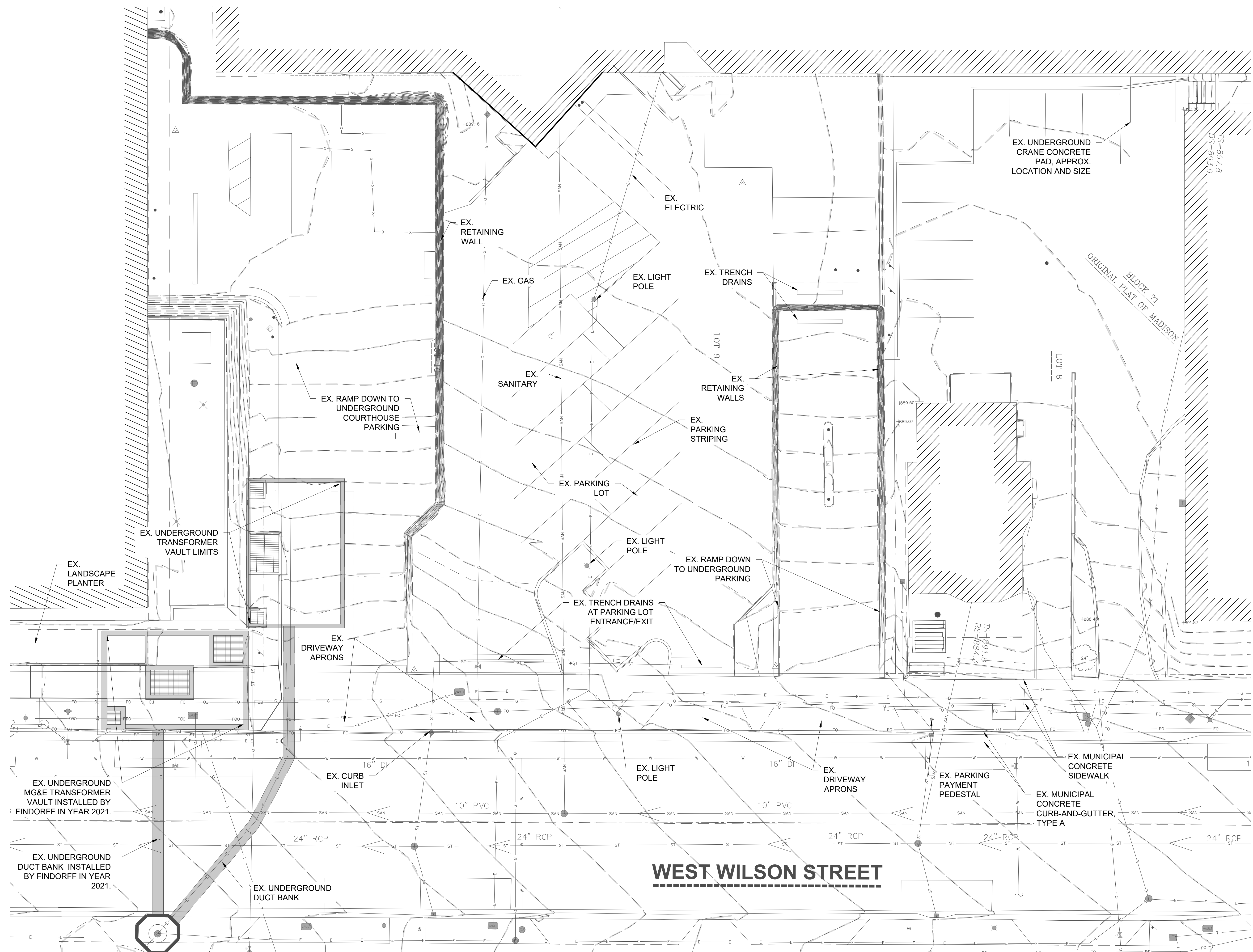
PROJECT: 19012022 LAND USE APPLICATION

NOT FOR CONSTRUCTION

MEAN NO.: 4215400-161957.01
DATE: 04/07/2022
DESIGNED BY: BRB
DRAWN BY: RH
CHECKED BY: RJ
DO NOT SCALE DRAWINGS
SHEET CONTENTS
OVERALL EXISTING CONDITIONS
SHEET NO.:

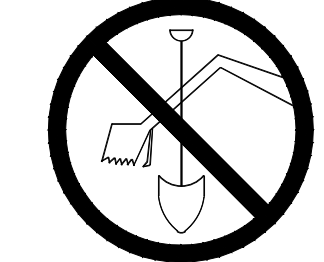
C001

LEGEND
 SEE LEGEND ON "BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY" DATED 05/28/20 PREPARED BY JSD PROFESSIONAL SERVICES, INC., PROVIDED IN THIS PLAN SET.



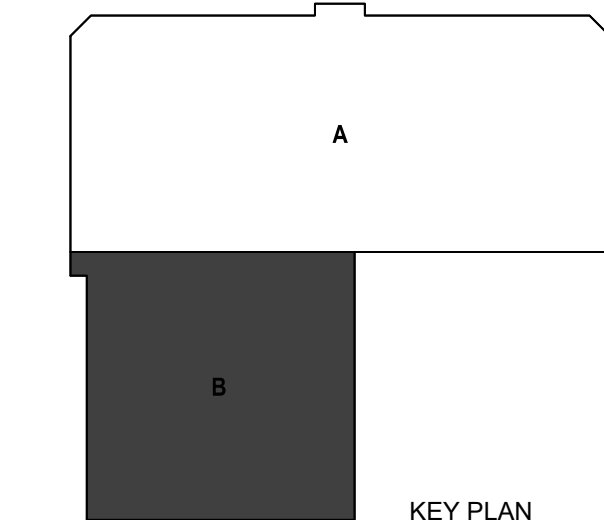
1
C003 ENLARGED EXISTING CONDITIONS - AREA B
 1" = 10'

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 WIS. STATUTE 182.0175(1974)
 REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

ATTENTION:
 ALL UTILITY LOCATIONS ARE SHOWN FROM FIELD OBSERVATION BASED UPON LOCATES AND/OR INFORMATION RECEIVED FROM OTHER SURVEYS AND VARIOUS UTILITY COMPANIES. BEFORE THE START OF ANY EXCAVATION, A COMPLETE LOCATE OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA SHOULD BE COMPLETED.



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DANE COUNTY DEPT. OF PUBLIC WORKS, HIGHWAY & TRANSPORTATION
 1919 ALLIANT ENERGY CENTER WAY
 MADISON, WI 53713
 PROJECT NO. 318025

**Dane County Jail Consolidation
 South Tower Addition & Public Safety
 Building Renovation**
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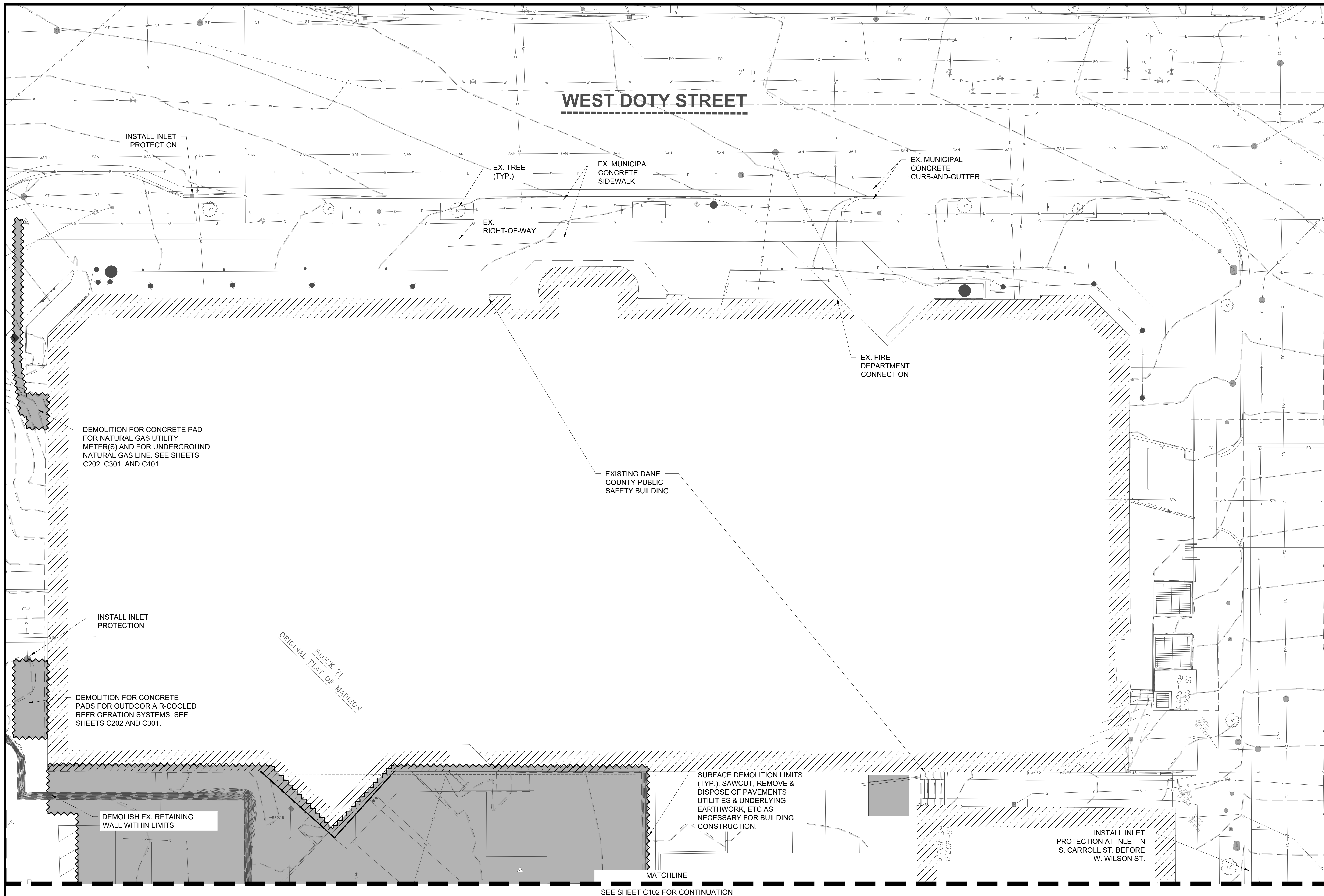
19012022 LAND USE APPLICATION

NOT FOR CONSTRUCTION

SHEET NO.: 4215400-161957-01
 DATE: 04/07/2022
 DESIGNED BY: BRB
 DRAWN BY: RH
 CHECKED BY: RJ
 DO NOT SCALE DRAWINGS

SHEET CONTENTS
 ENLARGED EXISTING CONDITIONS - AREA B

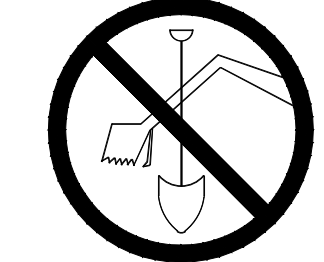
SHEET NO.:
C003



LEGEND
 SEE LEGEND ON "BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY" DATED 05/28/20 PREPARED BY JSD PROFESSIONAL SERVICES, INC., PROVIDED IN THIS PLAN SET.

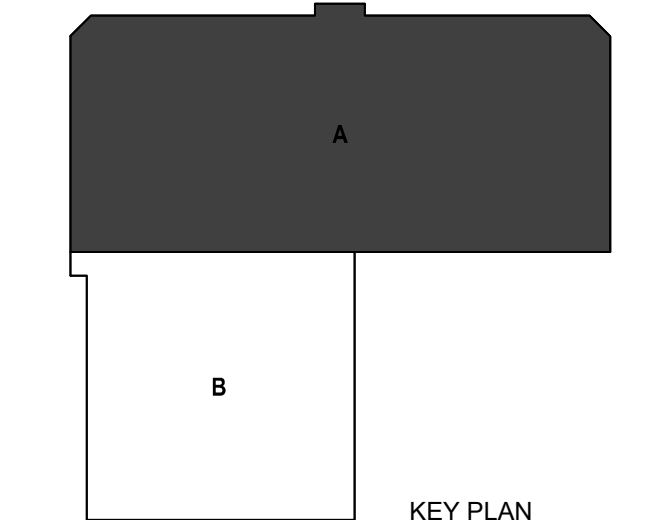
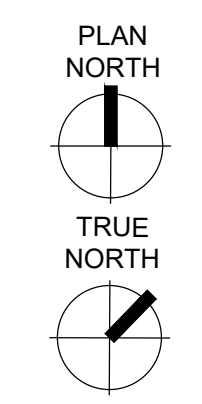
PROPOSED SURFACE DEMOLITION LIMITS

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



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 TOLL FREE
 WIS. STATUTE 182.0175(1974)
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1
C101 ENLARGED DEMOLITION PLAN - AREA A
 1" = 10'

- DEMOLITION PLAN NOTES:**
- CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
 - EARTH MOVING: CONFORM TO SECTION 312000 "EARTH MOVING" OF PROJECT SPECIFICATIONS.
 - INLET PROTECTION: CONFORM TO CITY OF MADISON STANDARD DETAIL DRAWING 1.04 "INLET PROTECTION TYPE C AND TYPE C "MODIFIED".

Mead & Hunt
 Mead & Hunt, Inc.
 2440 Deming Way
 Middleton, WI 53562
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DANE COUNTY DEPT. OF PUBLIC WORKS, HIGHWAY & TRANSPORTATION
 1919 ALLIANT ENERGY CENTER WAY
 MADISON, WI 53713
 PROJECT NO. 318025

**Dane County Jail Consolidation
 South Tower Addition & Public Safety
 Building Renovation**
 115 W. Doty Street
 Madison, WI 53703

19012022 LAND USE APPLICATION

NOT FOR CONSTRUCTION

MAN NO: 4215400-161957.01
 DATE: 04/07/2022
 DESIGNED BY: BRB
 DRAWN BY: RH
 CHECKED BY: RJ
 DO NOT SCALE DRAWINGS

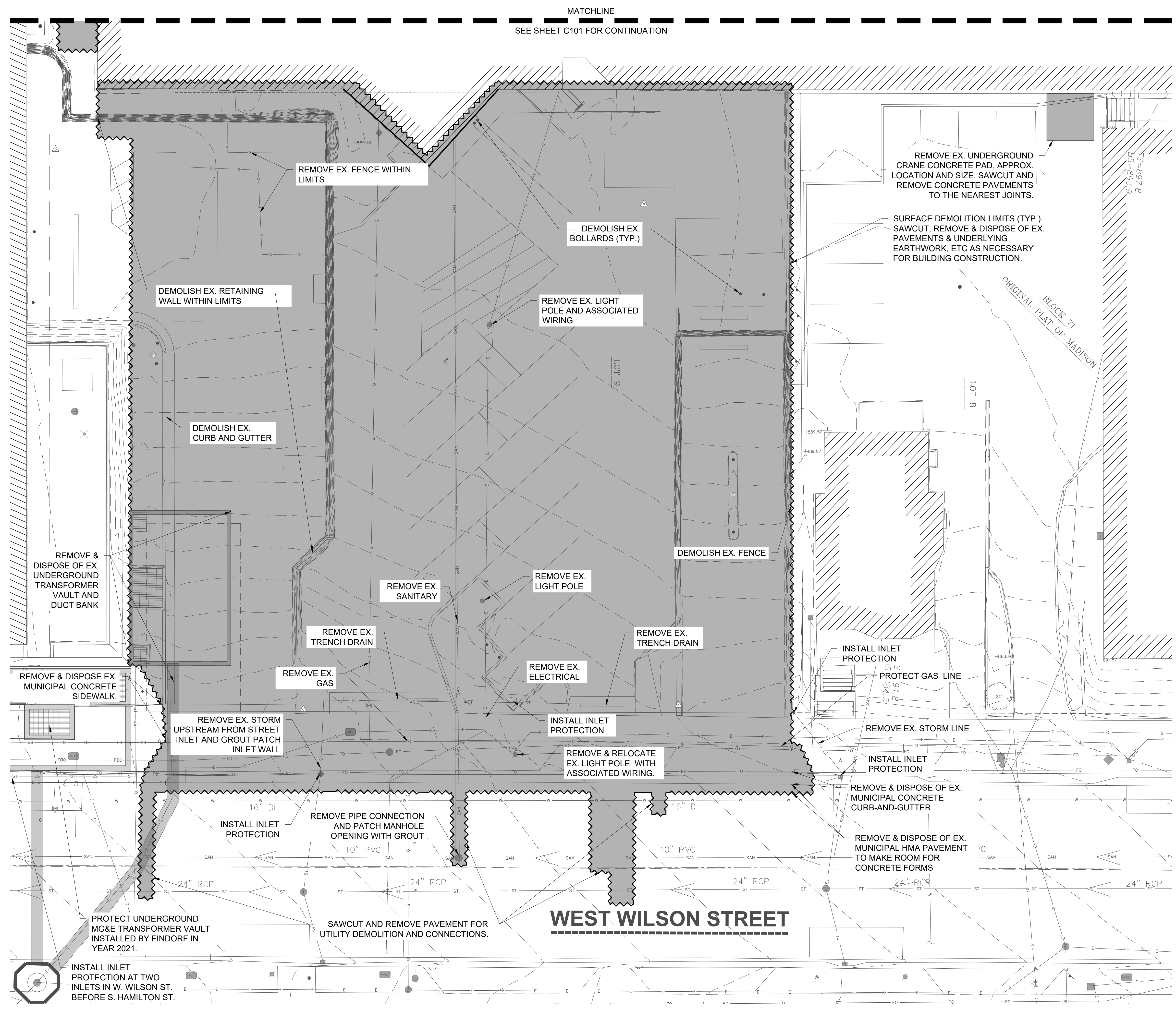
SHEET CONTENTS
 ENLARGED DEMOLITION PLAN - AREA A

SHEET NO:

C101

LEGEND
 SEE LEGEND ON "BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY" DATED 05/28/20 PREPARED BY JSD PROFESSIONAL SERVICES, INC., PROVIDED IN THIS PLAN SET.

 PROPOSED SURFACE DEMOLITION LIMITS

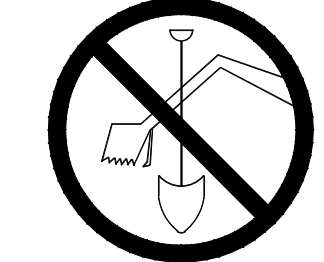


MATCHLINE
 SEE SHEET C101 FOR CONTINUATION

1
C102 ENLARGED DEMOLITION PLAN - AREA B
 1" = 10'

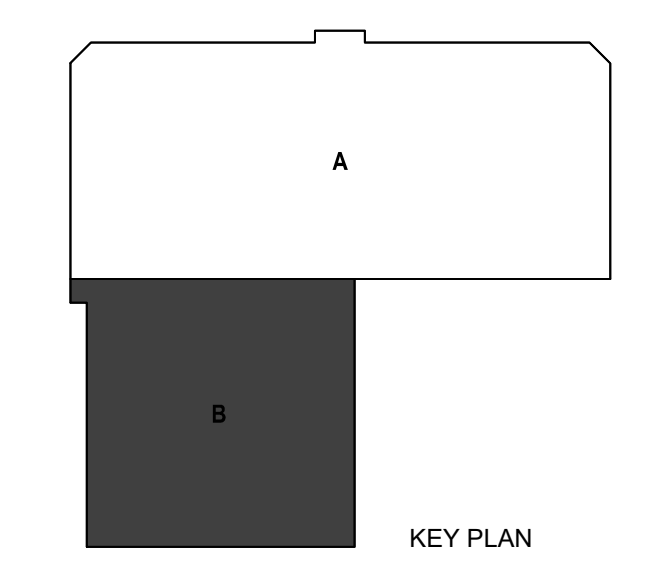
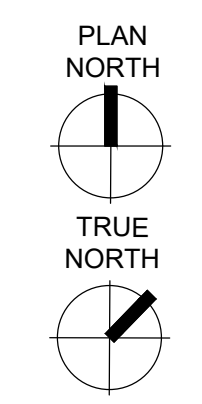
- DEMOLITION PLAN NOTES:**
- CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
 - EARTH MOVING: CONFORM TO SECTION 312000 "EARTH MOVING" OF PROJECT SPECIFICATIONS.
 - INLET PROTECTION: CONFORM TO CITY OF MADISON STANDARD DETAIL DRAWING 1.04 "INLET PROTECTION TYPE C AND TYPE C "MODIFIED".

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 WIS STATUTE 182.0175(1974)
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DANE COUNTY DEPT. OF PUBLIC WORKS, HIGHWAY & TRANSPORTATION
 1919 ALLIANT ENERGY CENTER WAY
 MADISON, WI 53713
 PROJECT NO. 318025

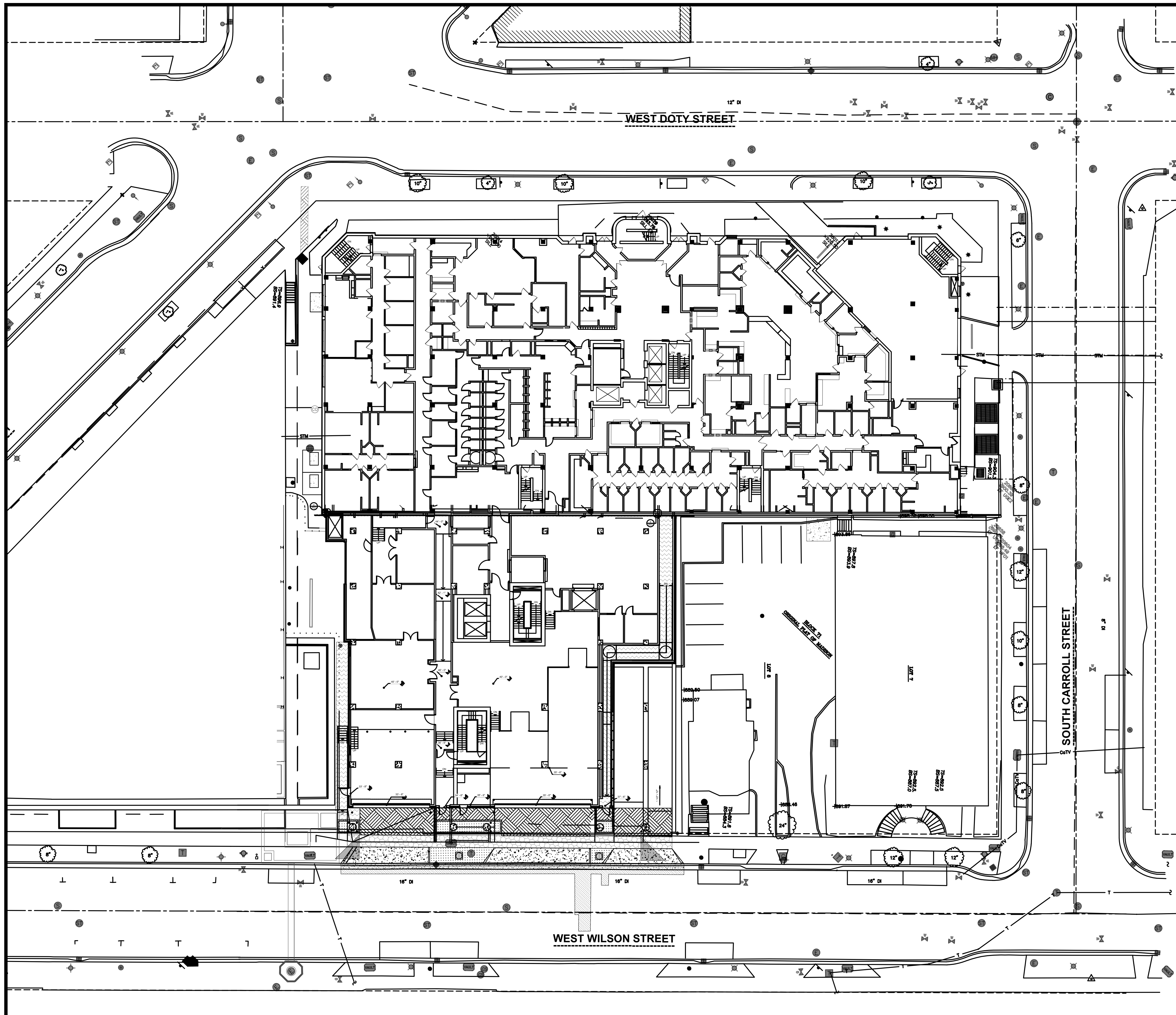
**Dane County Jail Consolidation
 South Tower Addition & Public Safety
 Building Renovation**
 115 W. Doty Street
 Madison, WI 53703

191912022 LAND USE APPLICATION

NOT FOR CONSTRUCTION

MEAN NO: 4215400-161957-01
 DATE: 04/07/2022
 DESIGNED BY: BRB
 DRAWN BY: RH
 CHECKED BY: RJ
 DO NOT SCALE DRAWINGS
 SHEET CONTENTS
 ENLARGED DEMOLITION PLAN - AREA B
 SHEET NO:

C102



1 OVERALL SITE PLAN
C201 1" = 20'

UTILITY COORDINATION INFORMATION:

CONTRACTOR SHALL COORDINATE WITH ALL PRIVATE AND PUBLIC UTILITIES TO ASCERTAIN EACH UTILITY'S DESIRED DEMOLITION AND RELAY.

GAS & ELECTRIC:	INTERNET & COMMUNICATIONS:	PUBLIC WORKS (ROADS, SIDEWALK, TERRACE, LANDSCAPING, SANITARY, STORM):
MADISON GAS & ELECTRIC 133 S. BLAIR ST. MADISON, WI	CENTURYLINK 10 E. DOTY ST. MADISON, WI	CITY OF MADISON DEPARTMENT OF PUBLIC WORKS 211 S. CARROLL ST. MADISON, WI 53703
WATER:	CHARTER COMMUNICATIONS ADMINISTRATION	
MADISON WATER UTILITY 523 E. MAIN ST. MADISON, WI	2701 DANIELS STREET MADISON, WI	
	AT&T	
	316 W. WASHINGTON AVE. MADISON, WI 53703	

GENERAL NOTES:

- CONTRACTOR SHALL CONTACT DIGGERS HOTLINE PRIOR TO DOING ANY EXCAVATION.
- DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL LOCAL AND STATE BUILDING CODES AND ORDINANCES AND GENERAL DESIGN STANDARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY WATER DAMAGE THAT OCCURS IN THE VAULT OR IN AREAS ADJACENT TO THE VAULT REGARDLESS OF THE CAUSE OF THE WATER INFILTRATION.
- CONTRACTOR SHALL OBTAIN A STREET EXCAVATION PERMIT PRIOR TO DOING ANY REPAIR WORK THAT INVOLVES EXCAVATION WITHIN THE PUBLIC RIGHT OF WAY.
- CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGES TO THE VAULT INCLUDING DAMAGE TO ANY WATER PROOFING MEMBRANES OR OTHER FEATURES REGARDLESS OF WHO CAUSED THE DAMAGE.
- CONTRACTOR SHALL PROVIDE A SIGNED AND SEALED PLAT OF SURVEY AND LEGAL DESCRIPTION BY A PROFESSIONAL LAND SURVEYOR COMPLIANT WITH CHAPTER A-E 7 OF THE WISCONSIN ADMINISTRATIVE CODE SHOWING THE IMPROVEMENTS WITH A FULLY DIMENSIONED AND LEGALLY DESCRIBED PERIMETRICAL BOUNDARY OF THE ENCROACHMENT AREA REFERENCED TO THE DANE COUNTY COORDINATE SYSTEM TIED TO A QUARTER SECTION LINE AS REQUIRED BY CHAPTER 236 OF THE WISCONSIN STATUTES. THE MAP AND LEGAL DESCRIPTION SHALL ALSO DEFINE AND DESCRIBE THE THREE DIMENSIONAL LOCATION OF THE UPPER AND LOWER LIMITS OF THE IMPROVEMENTS. ALL VERTICAL LOCATIONS SHALL BE REFERENCED TO THE NAVD 88 (91) DATUM.

CIVIL NOTES (SHEETS C201-C203, C301- 302, & C402)

- "BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY" DATED 05/28/20 PREPARED BY JSD PROFESSIONAL SERVICES, INC.
- CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
- ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE FEDERAL AND LOCAL LAWS, CODES, AND ORDINANCES.
- THE LOCATIONS OF COVERED SLABS, ASPHALT CONCRETE PAVEMENTS, PIPES, UNDERGROUND STRUCTURES, OR OTHER UTILITIES SHOWN ON THESE PLANS ARE BASED ON VISIBLE FEATURES ON THE GROUND OR AVAILABLE DRAWINGS PROVIDED BY OTHERS; THEREFORE, THEY ARE APPROXIMATE. VERIFY THE TYPE OF MATERIALS, EXACT LOCATION, SIZE AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF WORK.
- RESTORE TO ORIGINAL CONDITION EXISTING ASPHALT CONCRETE PAVEMENT, CEMENTITIOUS CONCRETE PAVEMENT, CONCRETE WALKS, LANDSCAPED AREAS, AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED DURING CONSTRUCTION.
- PROTECT EXISTING UTILITIES, VALVE BOXES, AND MANHOLES, WHETHER SHOWN OR NOT SHOWN ON THE PLANS, AFFECTED BY TRENCHING WORK. IF DISTURBED, RESTORE TO ORIGINAL CONDITION.
- VERIFY THE LOCATIONS, SIZES, AND MATERIALS OF PROPOSED CONNECTIONS TO EXISTING UTILITIES. EXERCISE EXTREME CAUTION DURING EXCAVATION ACTIVITIES IN THESE LOCATIONS.
- CONDUCT CONSTRUCTION OPERATIONS WITH MINIMAL INTERFERENCE TO ROADS, DRIVEWAYS, PARKING AREAS, SIDEWALKS, AND OTHER PEDESTRIAN AND VEHICULAR FACILITIES. PROVIDE CONTINUOUS TRAFFIC FLOW IN ALL DIRECTIONS AT ALL TIMES.
- REVIEW THE PLANS AND NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND BEFORE PROCEEDING WITH THE WORK.
- COORDINATE AND OBTAIN CLEARANCES AND PERMITS FROM THE CITY OF MADISON DEPARTMENT OF PUBLIC WORKS PRIOR TO EXCAVATION ACTIVITIES.
- PROTECT EXISTING SURVEY MONUMENTS. REPORT DAMAGED SURVEY MONUMENTS. RESTORE AND REPAIR DISTURBED SURVEY MONUMENTS.
- MINIMIZE DISRUPTION OF UTILITY SERVICES. THE OWNER SHALL APPROVE IN ADVANCE ANY SERVICE INTERRUPTIONS AND THE REMOVAL OF EXISTING UTILITY LINES. PROVIDE WRITTEN NOTIFICATION TO OWNER 72 HOURS IN ADVANCE OF INTERRUPTIONS OF SERVICE. MAXIMUM UTILITY OUTAGE FOR ANY ONE (1) INTERRUPTION SHALL NOT EXCEED FOUR (4) HOURS PER DAY.
- RESTORE UNPAVED AREAS DISTURBED DURING CONSTRUCTION BY SODDING.
- PROVIDE TEMPORARY CONNECTION TO EXISTING LINES AS REQUIRED TO MINIMIZE UTILITY SERVICE INTERRUPTIONS BEFORE THE REMOVAL OF ANY PORTION OF EXISTING LINES.
- PROVIDE TEMPORARY ACCESS PROTECTION FOR EQUIPMENT, TRUCKS OR OTHER CONSTRUCTION VEHICLES TO PREVENT ANY DAMAGE TO EXISTING AND/OR NEWLY INSTALLED CONCRETE SIDEWALKS, CURBS, AND PAVING.
- ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND AVOID PONDING CONDITIONS ANYWHERE ON SITE. DIRECT STORM WATER TO STORM WATER CONVEYANCE STRUCTURES.
- DUE TO VARIATIONS AND CONSTRAINTS, DETERMINE EACH UTILITY TIE IN LAYOUT BY ITS ACTUAL FIELD CONDITIONS. CHANGES TO THE DESIGN CONFIGURATION REQUIRE APPROVAL OF THE ARCHITECT/ENGINEER AND DOCUMENTATION ON THE AS-BUILT DRAWINGS.
- EXERCISE EXTREME CAUTION IN EXCAVATING AREAS THAT ARE KNOWN TO HAVE UNDERGROUND UTILITIES. HAND EXCAVATE WITHIN 3 FEET OF ANY EXISTING UTILITIES. IN CASES WHERE THE DEPTH OR ELEVATION ARE NOT INDICATED ON THE PLANS, PROCEED WITH CAUTION.
- PROVIDE SHORING FOR TRENCH EXCAVATION WORK THAT EXCEEDS 4 FEET IN DEPTH.
- PRESERVE AND PROTECT ALL EXISTING TREES AND PLANT MATERIALS NOT IDENTIFIED ON THE PLANS FOR REMOVAL OR RELOCATION. IF PROPOSED IMPROVEMENTS MAY NEGATIVELY AFFECT THE MAJOR ROOT SYSTEMS, OBTAIN APPROVAL OF THE ARCHITECT/ENGINEER TO REMOVE OR RELOCATE THE EXISTING TREE OR PLANT MATERIAL.
- THE EXISTING COMMUNICATIONS VAULT AND DUCT BANK IS TO BE REMOVED AND PROPERLY DISPOSED.
- THE NEWLY CONSTRUCTED VAULT AND DUCT BANK IS TO BE PROTECTED AT ALL TIMES. THE CONTRACTOR IS RESPONSIBLE FOR THE SUPPORT AND PROTECTION OF THE NEWLY CONSTRUCTED FIBER OPTIC CABLES AND OR DUCTS FOR THE DURATION OF THE PROJECT. ANY COSTS ASSOCIATED WITH THE DAMAGE AND REPAIR OF THE NEWLY CONSTRUCTED FIBER OPTIC CABLES AND VAULT ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
- CONTRACTOR SHALL PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO CITY OF MADISON TRAFFIC ENGINEERING. CONTRACTOR SHALL BE RESPONSIBLE FOR FEES ASSOCIATED WITH THE TEMPORARY LOSS OF PARKING SPACES DURING CONSTRUCTION. IN MARCH 2021, THE FEE WAS \$18/STALL/DAY.

LEGEND

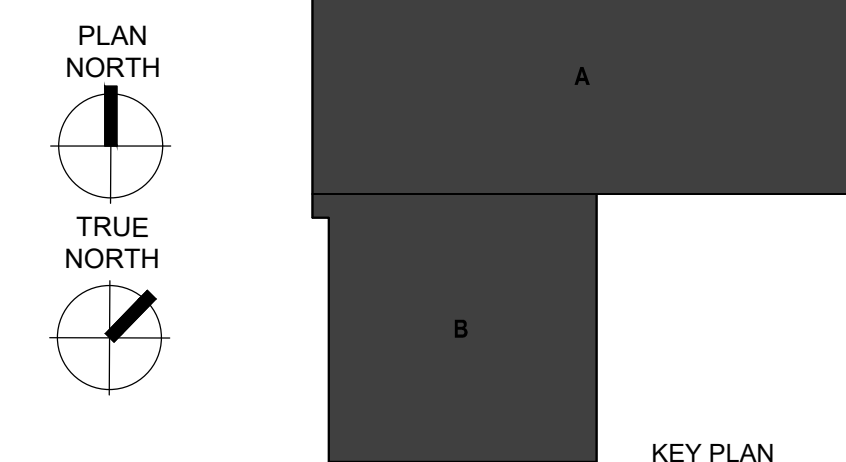
SEE LEGEND ON "BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY" DATED 05/28/20 PREPARED BY JSD PROFESSIONAL SERVICES, INC., PROVIDED IN THIS PLAN SET, FOR EXISTING FEATURES.

EXISTING	PROPOSED	
— W —	— W —	WATER PIPE
— SAN —	— SAN —	SANITARY PIPE
— ST —	— ST —	STORM PIPE
— E —	— E —	ELECTRICAL CONDUIT
	○	WATER VALVE
	○	SANITARY CLEANOUT
	○	ROOF DRAIN CONNECTION
	○	HYDRANT
	○	LIGHT POLE
	○	LIGHT POLE
	[Pattern]	PROPOSED MUNICIPAL CONCRETE SIDEWALK (DETAIL 2/C203 AND MADISON SDD 4.02)
	[Pattern]	PROPOSED MUNICIPAL CONCRETE DRIVEWAY (DETAIL 3/C203 AND MADISON SDD 3.02)
	[Pattern]	PROPOSED PERMEABLE CONCRETE DRIVEWAY PAVEMENT (DETAIL 4/C203)
	[Pattern]	PROPOSED CONCRETE SIDEWALK PAVEMENT (DETAIL 5/C203)
	[Pattern]	PROPOSED MUNICIPAL CONCRETE CURB-AND-GUTTER, TYPE A
	[Pattern]	PROPOSED TREE TRENCH
	[Pattern]	PROPOSED ASPHALT ROADWAY PAVEMENT
	[Pattern]	PROPOSED TURF

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WIS STATUTE 182.0175(1974)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

ATTENTION:
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DANE COUNTY DEPT. OF PUBLIC WORKS, HIGHWAY & TRANSPORTATION
1919 ALLIANT ENERGY CENTER WAY
MADISON, WI 53713
PROJECT NO. 318025

**Dane County Jail Consolidation
South Tower Addition & Public Safety
Building Renovation**
115 W. Doty Street
Madison, WI 53703

19012802 LAND USE APPLICATION

NOT FOR CONSTRUCTION

MEAN NO: 4215400-161957-01
DATE: 04/07/2022
DESIGNED BY: BRB
DRAWN BY: RH
CHECKED BY: RJ
DO NOT SCALE DRAWINGS
SHEET CONTENTS
OVERALL SITE PLAN

SHEET NO:

C201

LEGEND

SEE LEGEND ON "BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY" DATED 05/28/20 PREPARED BY JSD PROFESSIONAL SERVICES, INC., PROVIDED IN THIS PLAN SET, FOR EXISTING FEATURES.

EXISTING	PROPOSED	
		WATER PIPE
		SANITARY PIPE
		STORM PIPE
		ELECTRICAL CONDUIT
		WATER VALVE
		SANITARY CLEANOUT
		ROOF DRAIN CONNECTION
		HYDRANT
		LIGHT POLE
		LIGHT POLE

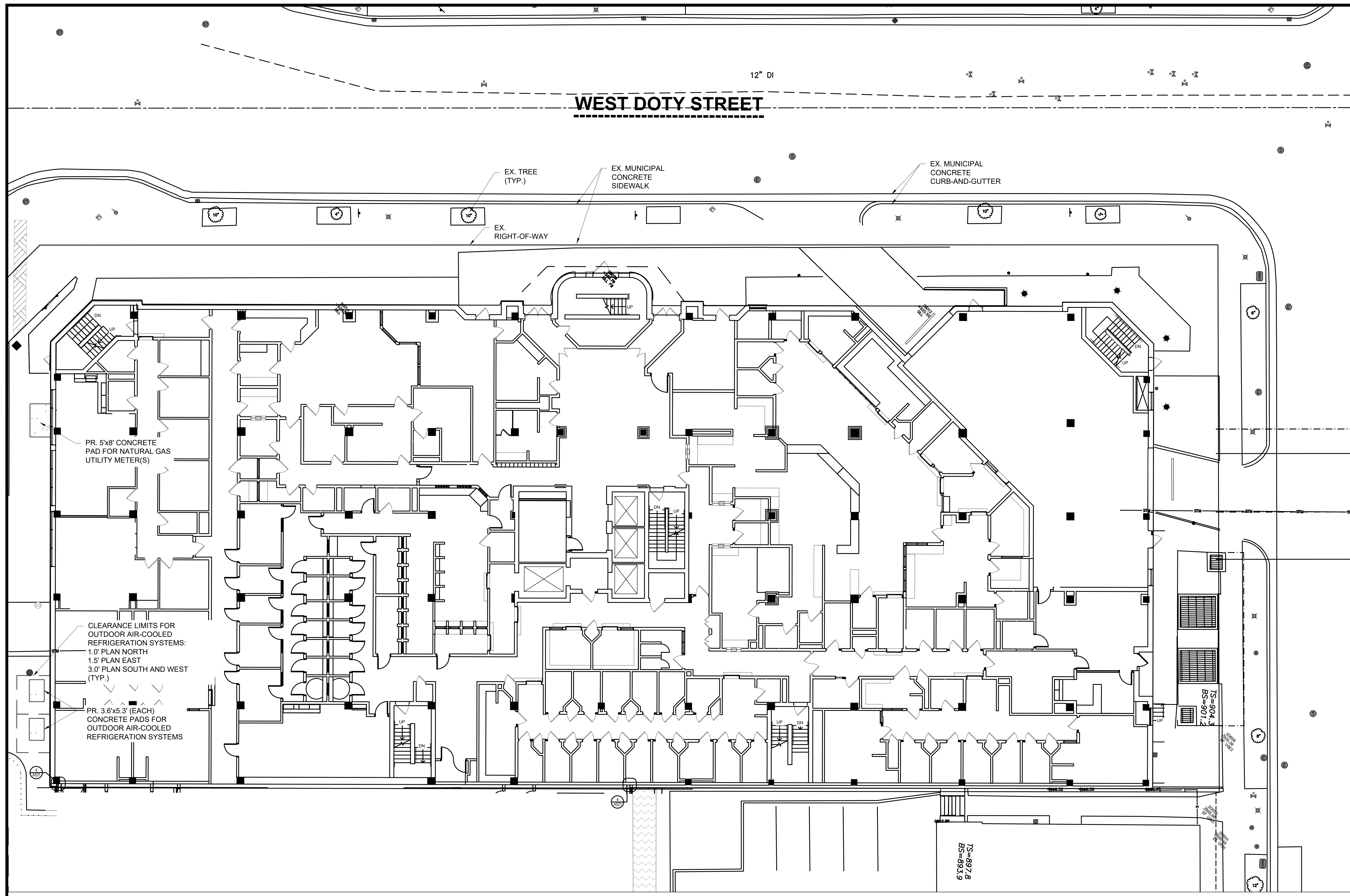
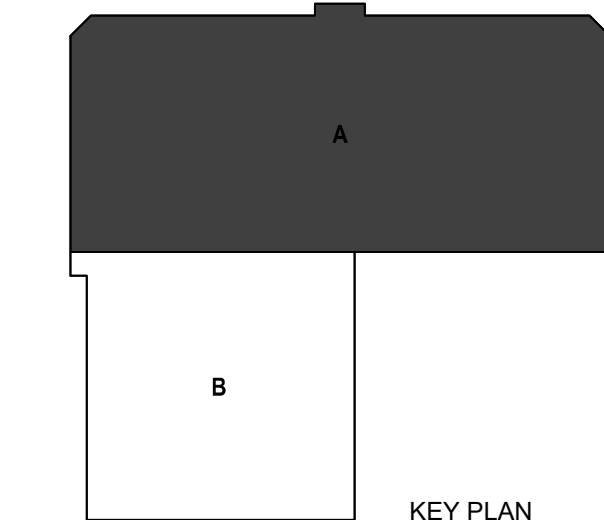
	PROPOSED MUNICIPAL CONCRETE SIDEWALK (DETAIL 2/C203 AND MADISON SDD 4.02)
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	PROPOSED PERMEABLE CONCRETE DRIVEWAY PAVEMENT (DETAIL 4/C203)
	PROPOSED CONCRETE SIDEWALK PAVEMENT (DETAIL 5/C203)
	PROPOSED MUNICIPAL CONCRETE CURB-AND-GUTTER, TYPE A
	PROPOSED TREE TRENCH
	PROPOSED ASPHALT ROADWAY PAVEMENT
	PROPOSED TURF

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



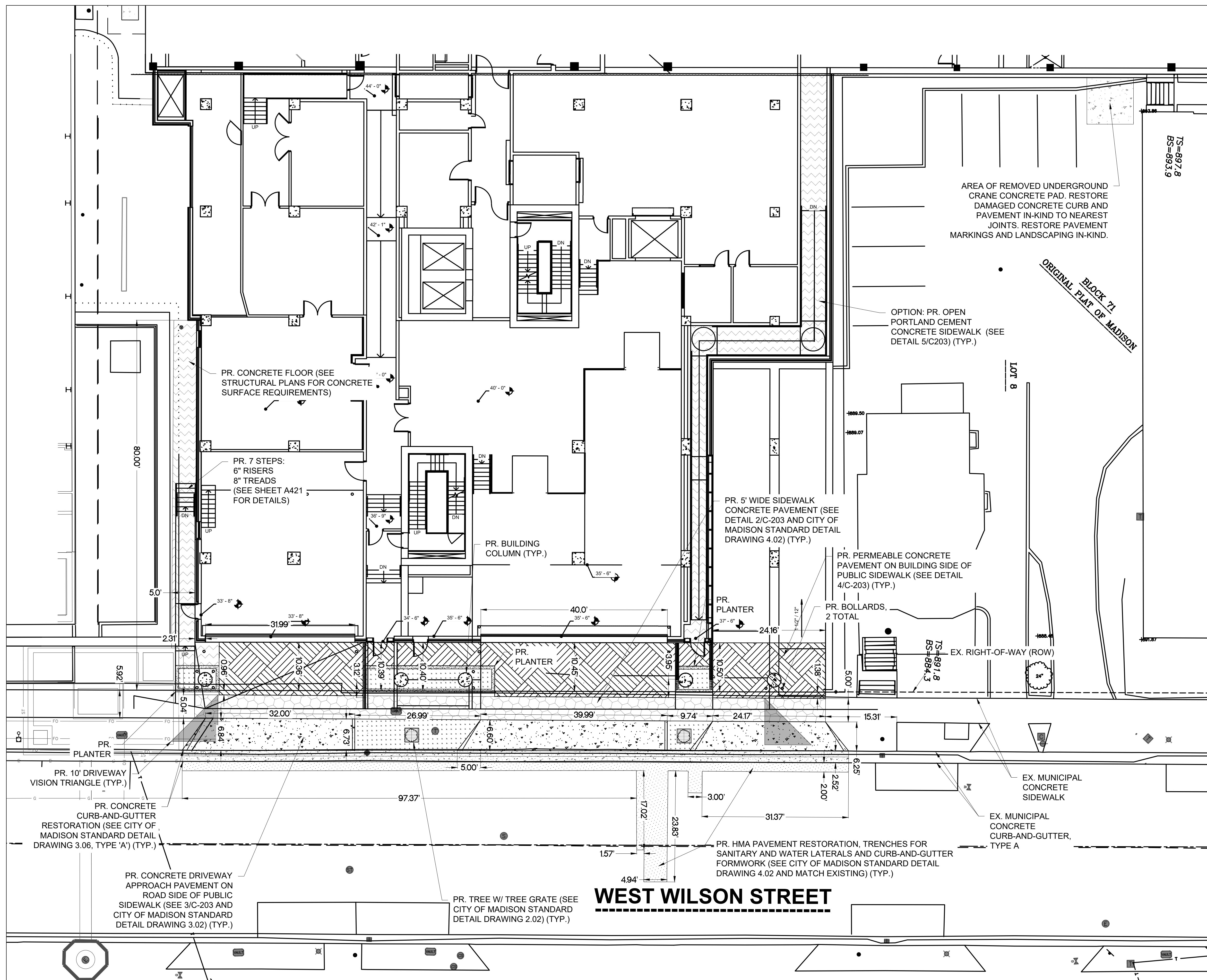
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WIS STATUTE 182.0175(1974)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

ATTENTION:
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1 ENLARGED SITE PLAN - AREA A
C202 1" = 10'

- SITE AND GRADING PLAN NOTES:**
- CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
 - EARTH MOVING: CONFORM TO SECTION 312000 "EARTH MOVING" OF PROJECT SPECIFICATIONS.
 - ASPHALT: CONFORM TO SECTION 321216 "ASPHALT PAVING" OF PROJECT SPECIFICATIONS.
 - CONCRETE: CONFORM TO SECTION 321313 "CONCRETE PAVING" OF PROJECT SPECIFICATIONS.
 - CURB-AND-GUTTER: CONFORM TO CITY OF MADISON STANDARD DETAIL DRAWING 3.06 "MADISON STANDARD CONCRETE CURB & GUTTER" AND STANDARD DETAIL DRAWING 3.10 "LONGITUDINAL JOINTS AND PAVEMENT TIES DETAIL. CONFORM TO TYPE 'A' CONCRETE CURB & GUTTER AND TO DRIVEWAY SECTION TYPE 'A' CURB & GUTTER IN DRAWING 3.06 AND TO PAVEMENT TIES ON DRAWING 3.10.
 - DRIVEWAYS: CONFORM TO CITY OF MADISON STANDARD DETAIL DRAWING 3.02 "MADISON STANDARD CURB CUT DETAILS" AND STANDARD DETAIL DRAWING 3.09 "MADISON STANDARD COMMERCIAL DRIVE DETAILS." CONFORM TO COMMERCIAL DETAIL AND TO DRIVEWAY SECTION TYPE "A" CONCRETE CURB & GUTTER DETAIL IN DRAWING 3.02.
 - ALL PAVEMENT WORK IN THE PUBLIC ROW WILL BE DESIGNED BY THE CITY OF MADISON ENGINEERING DEPARTMENT.



SITE AND GRADING PLAN NOTES:

- CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
- EARTH MOVING: CONFORM TO SECTION 312000 "EARTH MOVING" OF PROJECT SPECIFICATIONS.
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LEGEND

SEE LEGEND ON "BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY" DATED 05/28/20 PREPARED BY JSD PROFESSIONAL SERVICES, INC., PROVIDED IN THIS PLAN SET, FOR EXISTING FEATURES.

EXISTING	PROPOSED	
— W —	— W —	WATER PIPE
— SAN —	— SAN —	SANITARY PIPE
— ST —	— ST —	STORM PIPE
— E —	— E —	ELECTRICAL CONDUIT
	○	WATER VALVE
	○	SANITARY CLEANOUT
	○	ROOF DRAIN CONNECTION
	○	HYDRANT
	○	LIGHT POLE
	○	LIGHT POLE
	[Pattern]	PROPOSED MUNICIPAL CONCRETE SIDEWALK (DETAIL 2/C203 AND MADISON SDD 4.02)
	[Pattern]	PROPOSED MUNICIPAL CONCRETE DRIVEWAY (DETAIL 3/C203 AND MADISON SDD 3.02)
	[Pattern]	PROPOSED PERMEABLE CONCRETE DRIVEWAY PAVEMENT (DETAIL 4/C203)
	[Pattern]	PROPOSED CONCRETE SIDEWALK PAVEMENT (DETAIL 5/C203)
	[Pattern]	PROPOSED MUNICIPAL CONCRETE CURB-AND-GUTTER, TYPE A
	[Pattern]	PROPOSED TREE TRENCH
	[Pattern]	PROPOSED ASPHALT ROADWAY PAVEMENT
	[Pattern]	PROPOSED TURF

Mead & Hunt
Mead & Hunt, Inc.
2440 Deming Way
Middleton, WI 53562
phone: 608-273-6380
meadhunt.com

Potter Lawson
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DR

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Total Integrated Enterprises

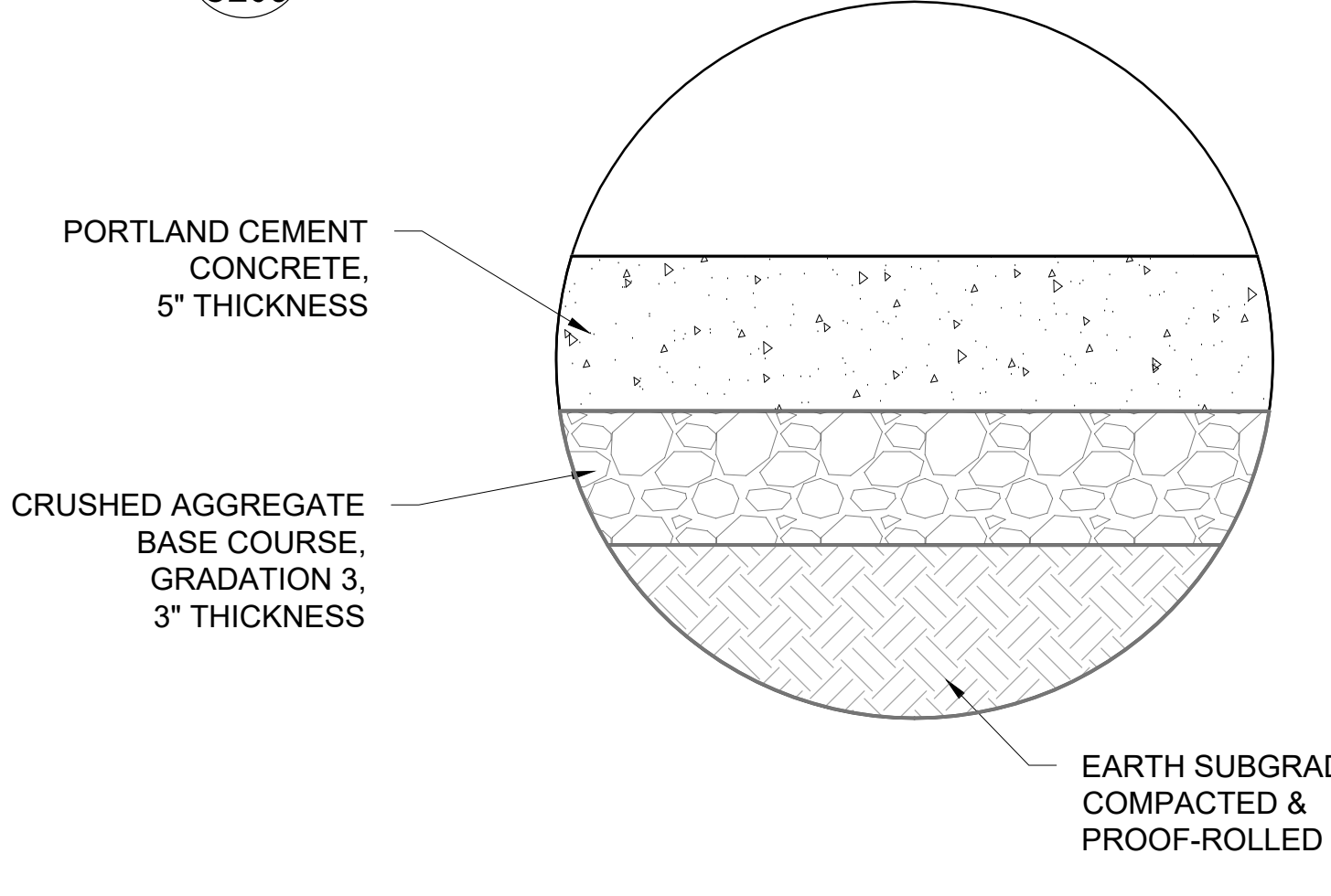
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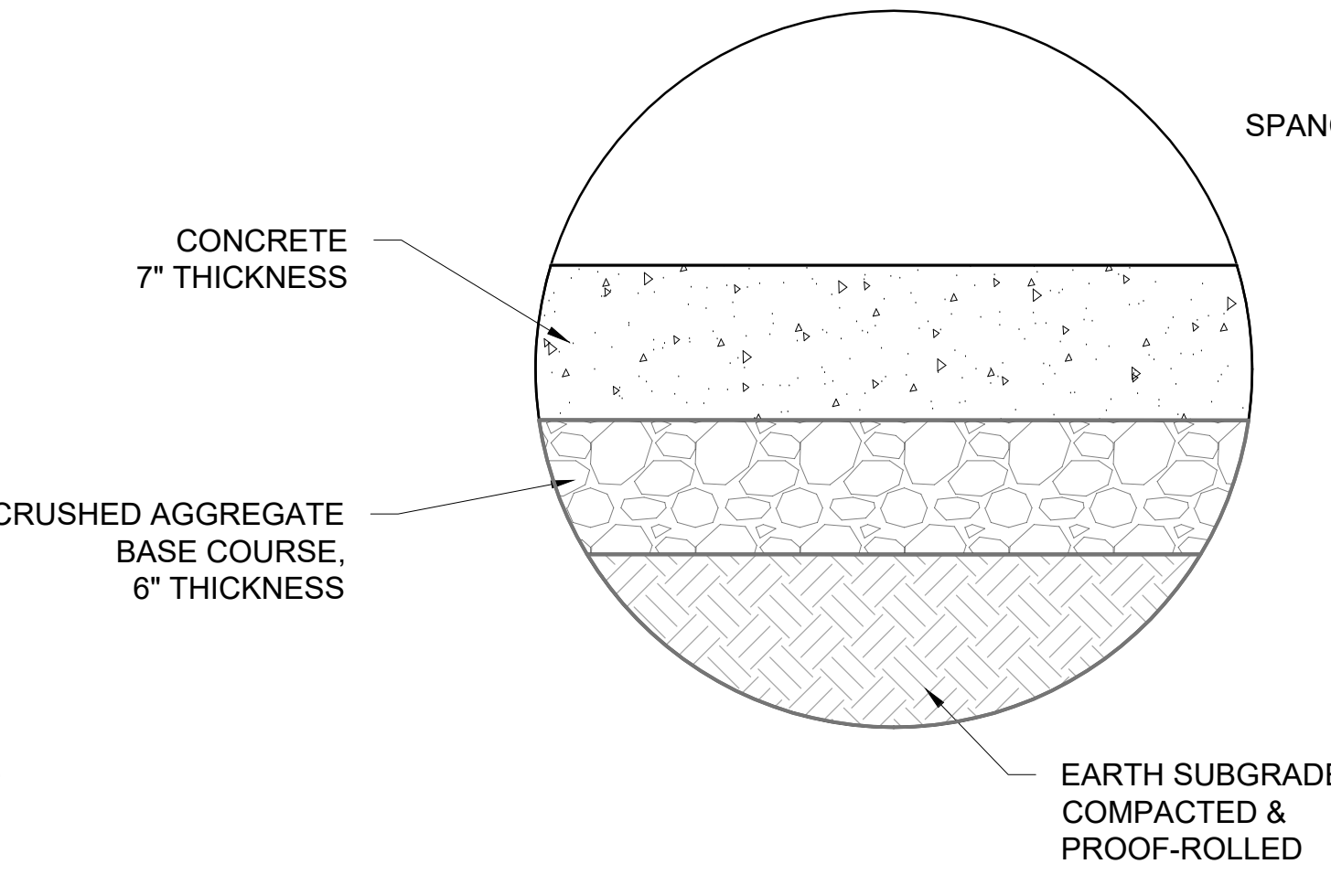
DANE COUNTY DEPT. OF PUBLIC WORKS, HIGHWAY & TRANSPORTATION
1919 ALLIANT ENERGY CENTER WAY
MADISON, WI 53713
PROJECT NO. 318025

**Dane County Jail Consolidation
South Tower Addition & Public Safety
Building Renovation**
115 W. Doty Street
Madison, WI 53703

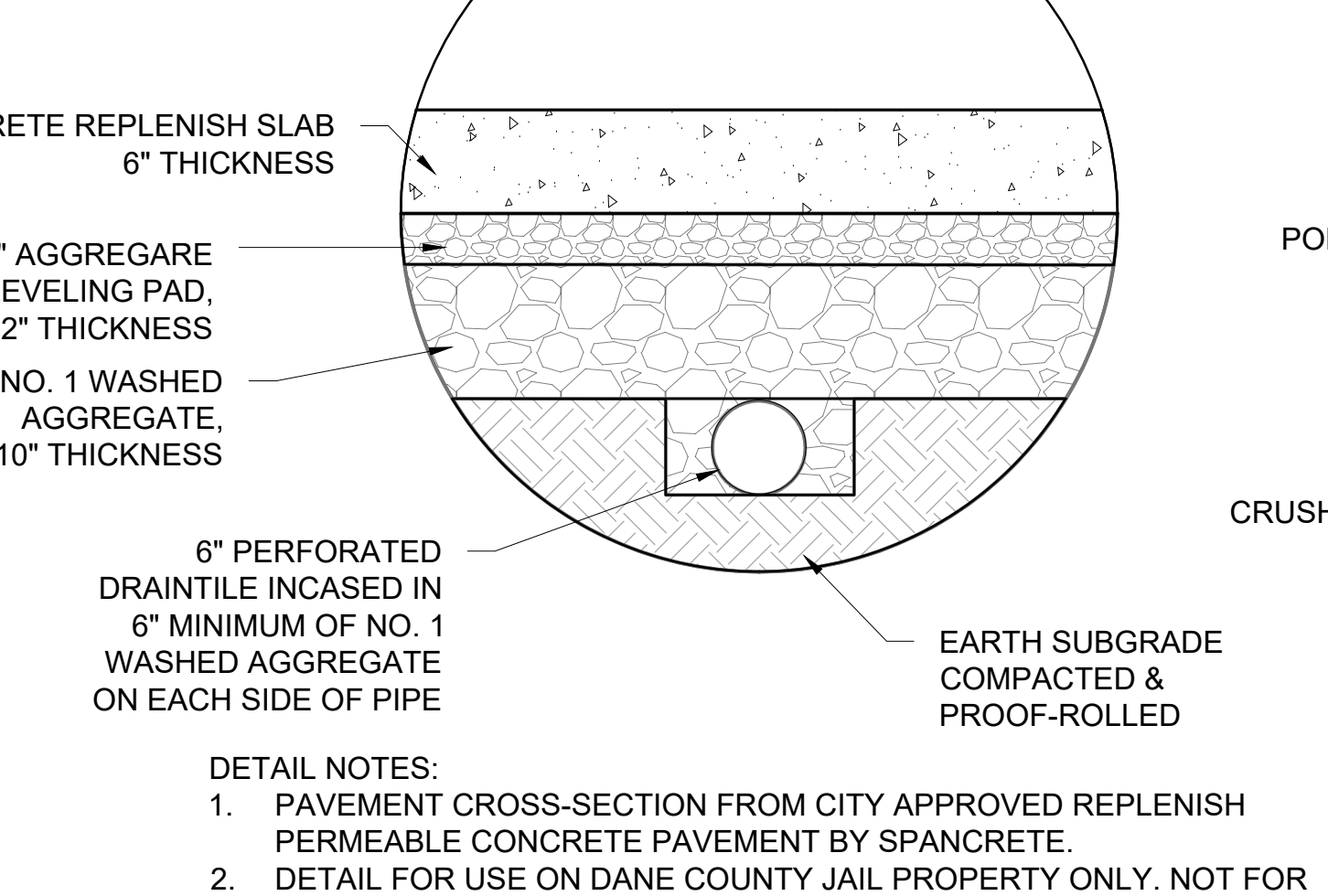
1 ENLARGED SITE PLAN - AREA B
C203 1" = 10'



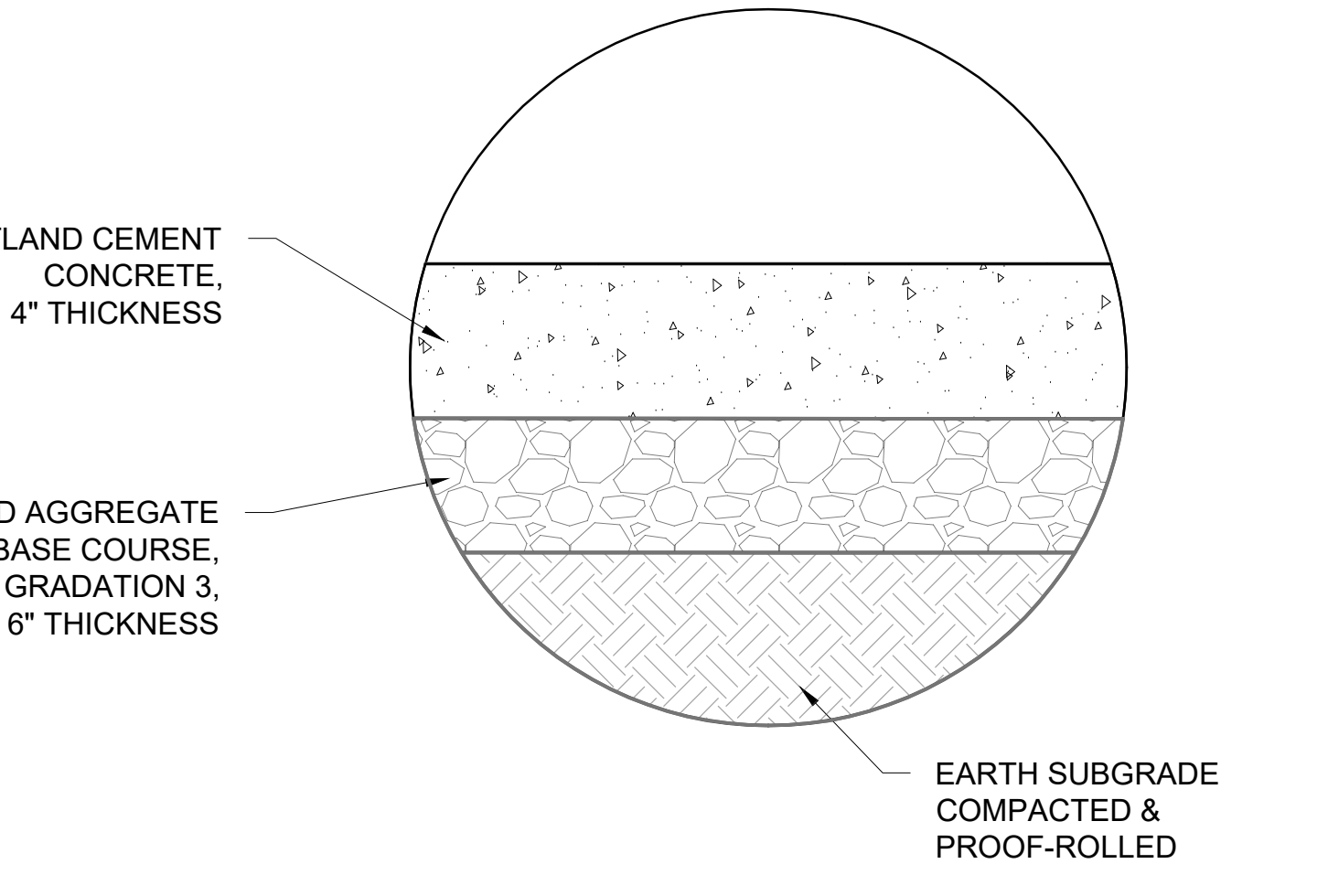
2 CONCRETE SIDEWALK PAVEMENT CROSS-SECTION, FOR USE WITHIN PUBLIC ROW ONLY
C203 NTS



3 CONCRETE DRIVEWAY PAVEMENT CROSS-SECTION, FOR USE WITHIN PUBLIC ROW ONLY
C203 NTS



4 PERMEABLE CONCRETE PAVEMENT CROSS-SECTION
C203 NTS



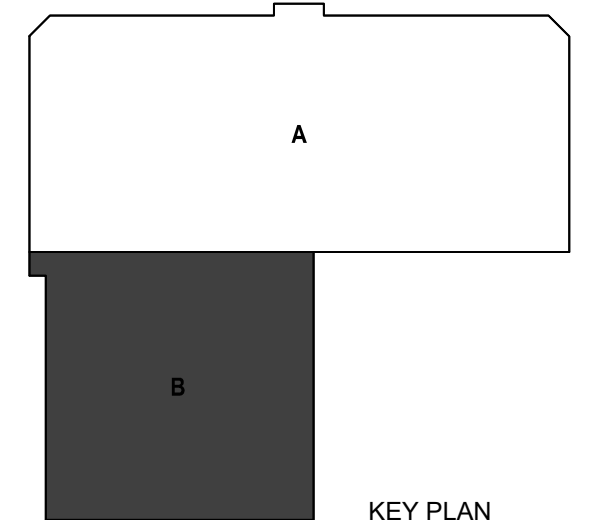
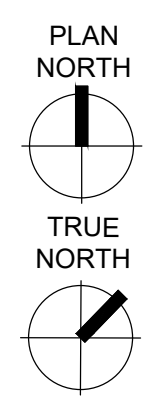
5 CONCRETE SIDEWALK PAVEMENT CROSS-SECTION, FOR USE OUTSIDE OF PUBLIC ROW
C203 NTS

DETAIL NOTES:
1. PAVEMENT CROSS-SECTION FROM CITY APPROVED REPLENISH PERMEABLE CONCRETE PAVEMENT BY SPANCRETE.
2. DETAIL FOR USE ON DANE COUNTY JAIL PROPERTY ONLY. NOT FOR USE IN CITY RIGHT OF WAY.



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CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WS STATUTE 182.0175(1974)
REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

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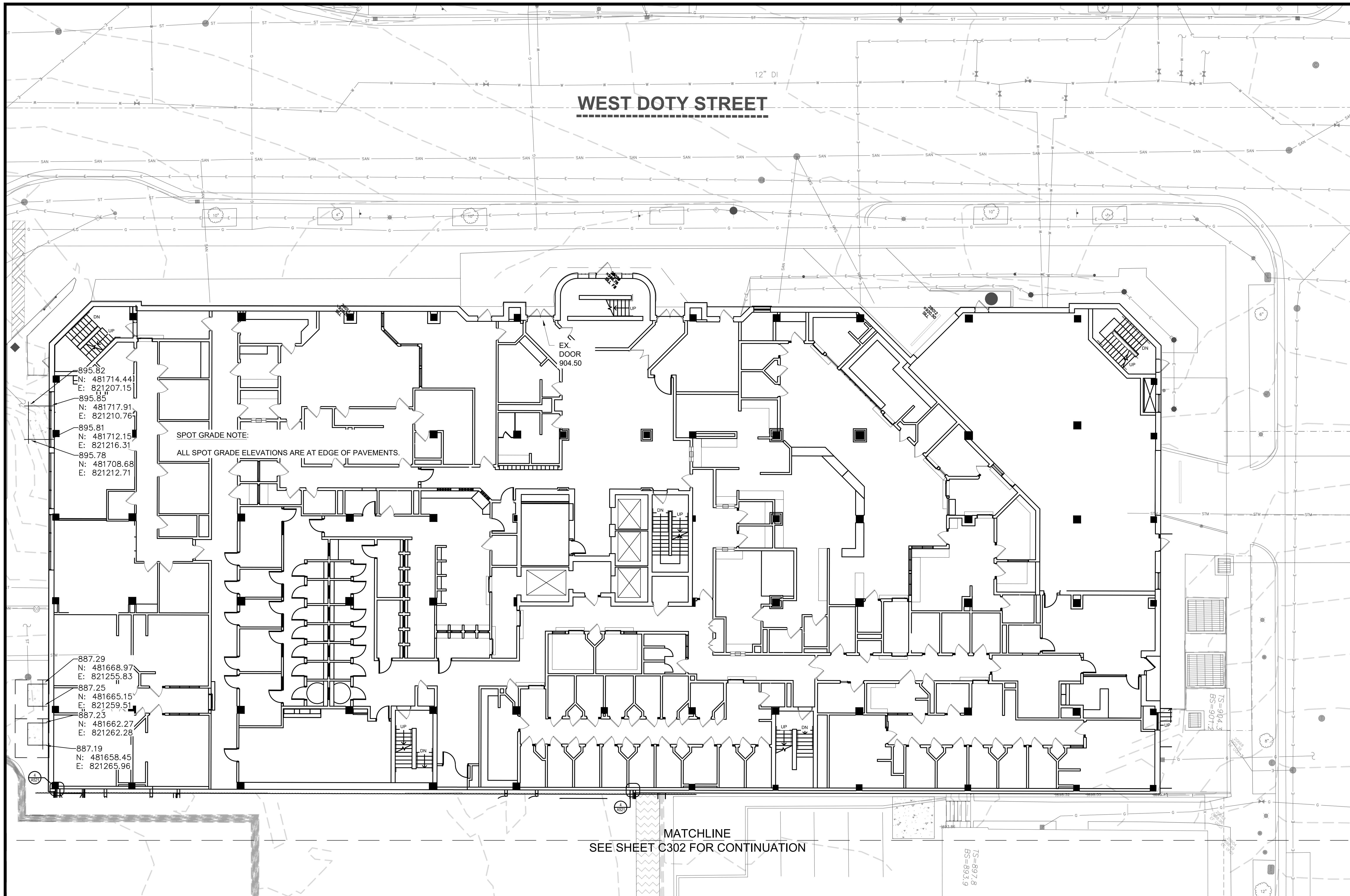


19112022 LAND USE APPLICATION

NOT FOR CONSTRUCTION

MEAN NO: 4215400-161957-01
DATE: 04/07/2022
DESIGNED BY: BRB
DRAWN BY: RH
CHECKED BY: RJ
DO NOT SCALE DRAWINGS
SHEET CONTENTS
ENLARGED SITE PLAN - AREA B

SHEET NO:
C203



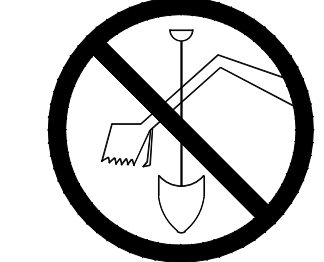
LEGEND

SEE LEGEND ON "BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY" DATED 05/28/20 PREPARED BY JSD PROFESSIONAL SERVICES, INC., PROVIDED IN THIS PLAN SET, FOR EXISTING FEATURES.

EXISTING	PROPOSED	
		WATER PIPE
		SANITARY PIPE
		STORM PIPE
		ELECTRICAL CONDUIT
		WATER VALVE
		SANITARY CLEANOUT
		ROOF DRAIN CONNECTION
		HYDRANT
		LIGHT POLE
		LIGHT POLE

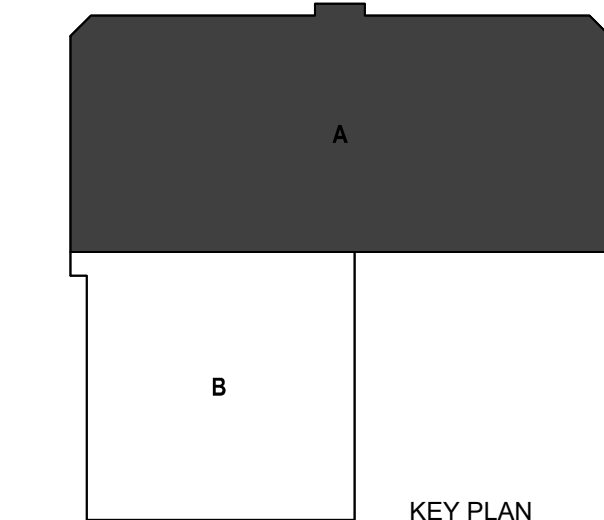
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	PROPOSED CONCRETE SIDEWALK PAVEMENT (DETAIL 5/C203)
	PROPOSED MUNICIPAL CONCRETE CURB-AND-GUTTER, TYPE A
	PROPOSED TREE TRENCH
	PROPOSED ASPHALT ROADWAY PAVEMENT
	PROPOSED TURF
	MAJOR CONTOUR
	MINOR CONTOUR
	XXX.XX PROPOSED SPOT GRADE ELEVATION WITH NORTHING & EASTING
	XXX.XX (M) PROPOSED SPOT GRADE ELEVATION (MATCH EXISTING) WITH NORTHING & EASTING

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



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1 ENLARGED GRADING PLAN - AREA A
C301 1" = 10'

- SITE AND GRADING PLAN NOTES:**
- CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
 - EARTH MOVING: CONFORM TO SECTION 312000 "EARTH MOVING" OF PROJECT SPECIFICATIONS.
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 - CONCRETE: CONFORM TO SECTION 321313 "CONCRETE PAVING" OF PROJECT SPECIFICATIONS.
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 - DRIVEWAYS: CONFORM TO CITY OF MADISON STANDARD DETAIL DRAWING 3.02 "MADISON STANDARD CURB CUT DETAILS" AND STANDARD DETAIL DRAWING 3.09 "MADISON STANDARD COMMERCIAL DRIVE DETAILS." CONFORM TO COMMERCIAL DETAIL AND TO DRIVEWAY SECTION TYPE "A" CONCRETE CURB & GUTTER DETAIL IN DRAWING 3.02.

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Mead & Hunt, Inc.
2440 Deming Way
Middleton, WI 53562
phone: 608-273-6380
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DANE COUNTY DEPT. OF PUBLIC WORKS, HIGHWAY & TRANSPORTATION
1919 ALLIANT ENERGY CENTER WAY
MADISON, WI 53713
PROJECT NO. 318025

**Dane County Jail Consolidation
South Tower Addition & Public Safety
Building Renovation**
115 W. Doty Street
Madison, WI 53703

ISSUED 10/12/2022 LAND USE APPLICATION

NOT FOR CONSTRUCTION

MAN NO: 4215400-161957.01
DATE: 04/07/2022
DESIGNED BY: BRB
DRAWN BY: RH
CHECKED BY: RJ
DO NOT SCALE DRAWINGS

SHEET CONTENTS
ENLARGED GRADING PLAN - AREA A
SHEET NO.

C301

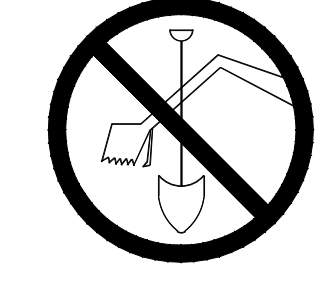
LEGEND

SEE LEGEND ON "BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY" DATED 05/28/20 PREPARED BY JSD PROFESSIONAL SERVICES, INC., PROVIDED IN THIS PLAN SET, FOR EXISTING FEATURES.

EXISTING	PROPOSED	
		WATER PIPE
		SANITARY PIPE
		STORM PIPE
		ELECTRICAL CONDUIT
		WATER VALVE
		SANITARY CLEANOUT
		ROOF DRAIN CONNECTION
		HYDRANT
		LIGHT POLE
		LIGHT POLE

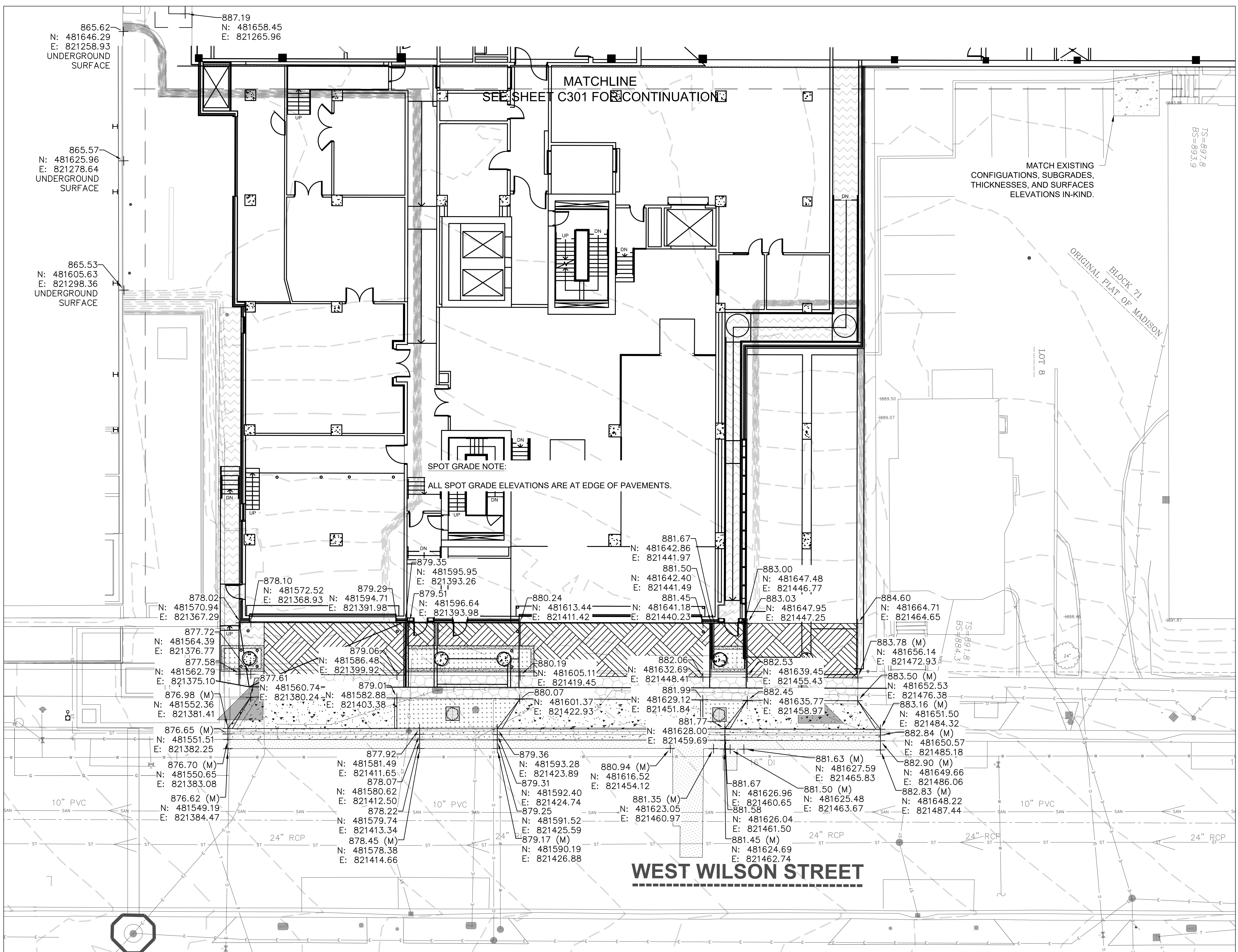
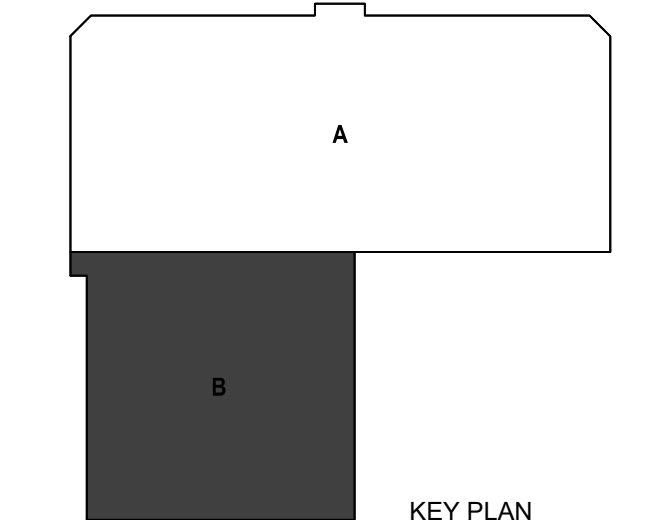
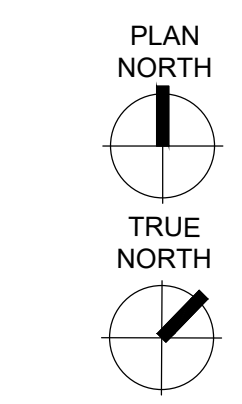
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	PROPOSED ASPHALT ROADWAY PAVEMENT
	PROPOSED TURF
	MAJOR CONTOUR
	MINOR CONTOUR
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	PROPOSED SPOT GRADE ELEVATION (MATCH EXISTING) WITH NORTHING & EASTING

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1 GRADING PLAN - SUB-BASEMENT - AREA B
C302 1" = 10'

- SITE AND GRADING PLAN NOTES:**
- CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
 - EARTH MOVING: CONFORM TO SECTION 312000 "EARTH MOVING" OF PROJECT SPECIFICATIONS.
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LEGEND

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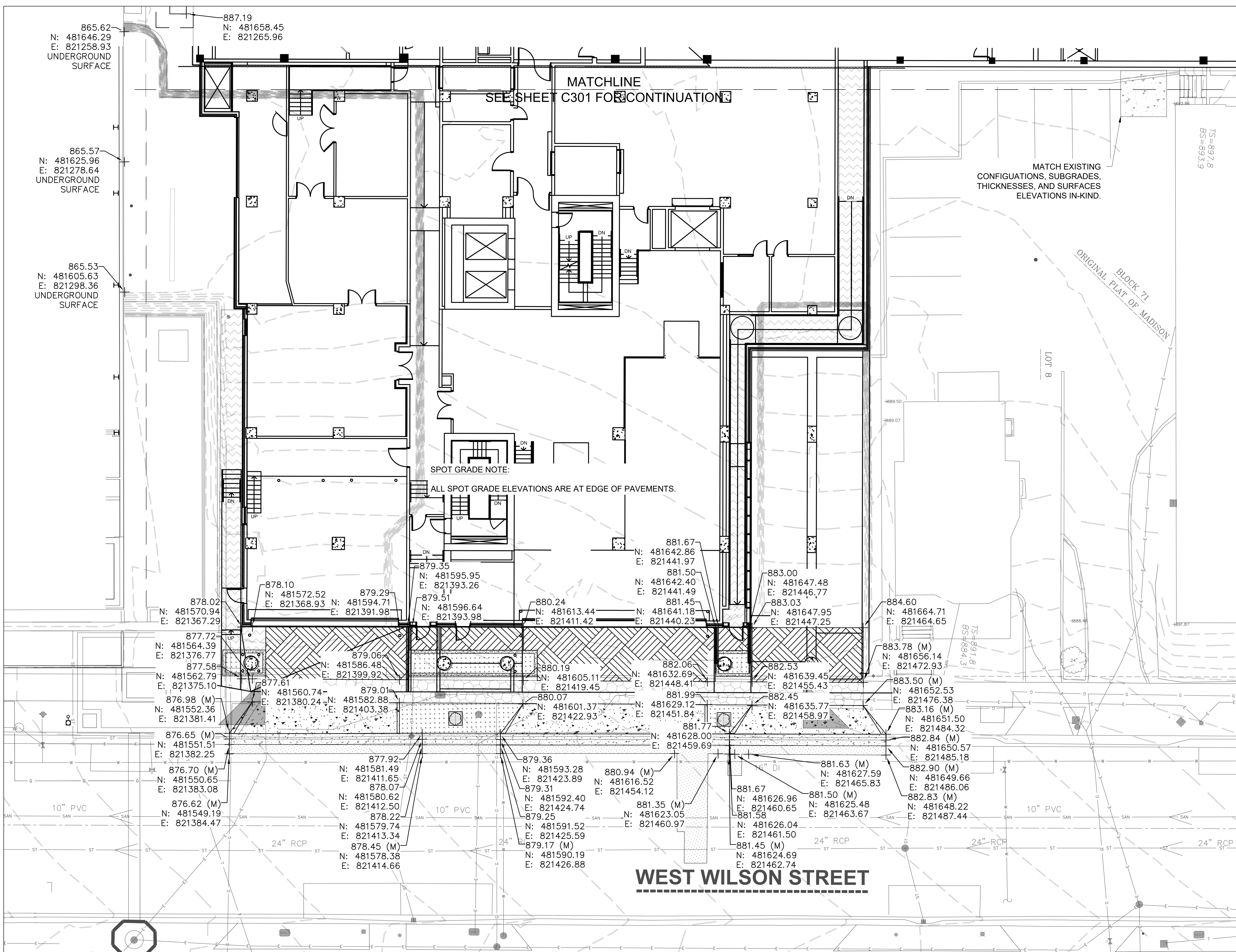
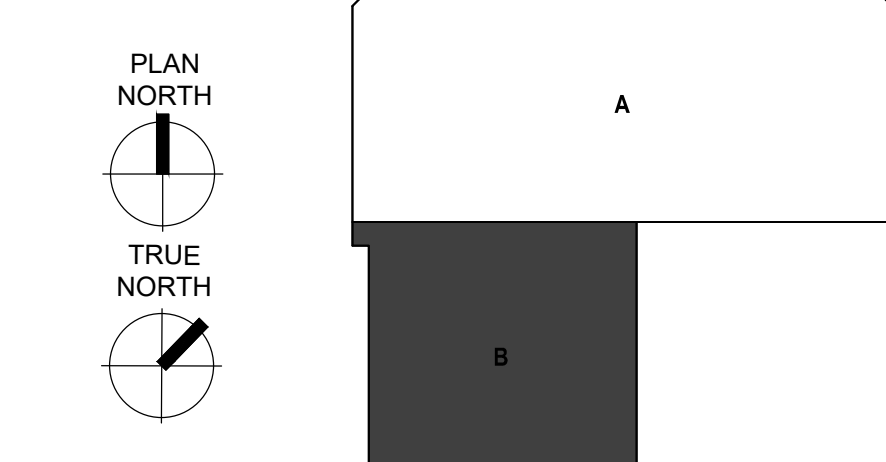
EXISTING	PROPOSED	
		WATER PIPE
		SANITARY PIPE
		STORM PIPE
		ELECTRICAL CONDUIT
		WATER VALVE
		SANITARY CLEANOUT
		ROOF DRAIN CONNECTION
		HYDRANT
		LIGHT POLE
		LIGHT POLE

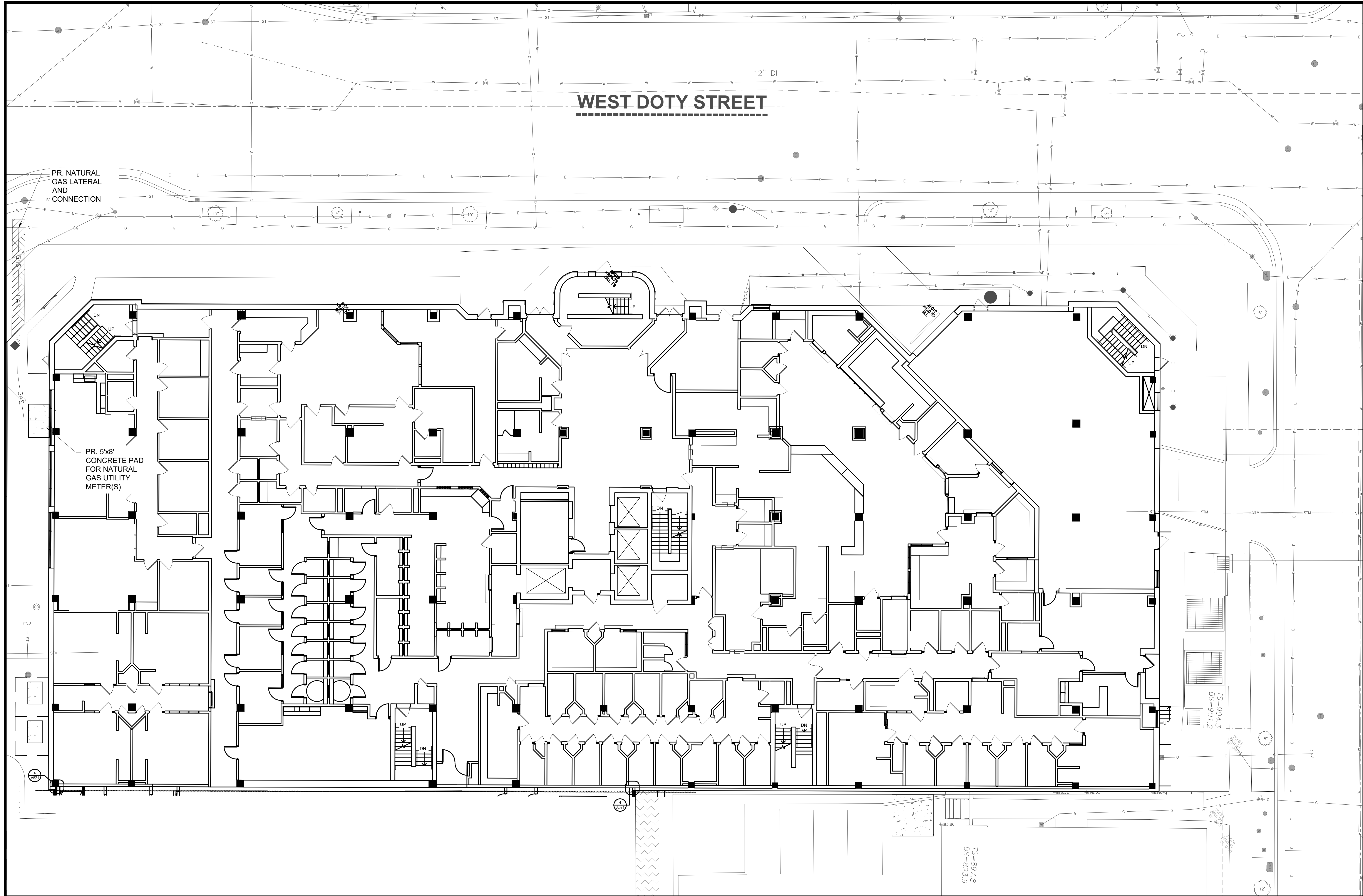
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	PROPOSED TURF
	MAJOR CONTOUR
	MINOR CONTOUR
XXX.XX	PROPOSED SPOT GRADE ELEVATION WITH NORTHING & EASTING
XXX.XX (M)	PROPOSED SPOT GRADE ELEVATION (MATCH EXISTING) WITH NORTHING & EASTING

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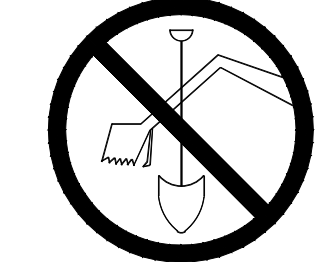


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EXISTING	PROPOSED	
— W —	— W —	WATER PIPE
— SAN —	— SAN —	SANITARY PIPE
— ST —	— ST —	STORM PIPE
— E —	— E —	ELECTRICAL CONDUIT
	⊙	WATER VALVE
	○	SANITARY CLEANOUT
	•	ROOF DRAIN CONNECTION
	○	HYDRANT
⊙	⊙	LIGHT POLE
○	○	LIGHT POLE

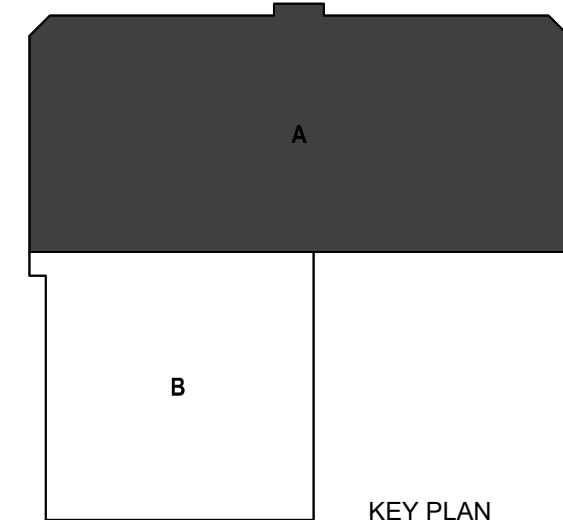
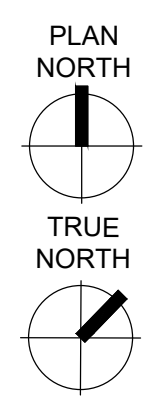
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	PROPOSED MUNICIPAL CONCRETE CURB-AND-GUTTER, TYPE A
	PROPOSED TREE TRENCH
	PROPOSED ASPHALT ROADWAY PAVEMENT
	PROPOSED TURF

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1 UTILITIES PLAN - AREA A
C401 1" = 10'

UTILITY PLAN NOTES:

1. CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
2. ALL UTILITIES: CONFORM TO SECTION 330500 "COMMON WORK RESULTS FOR UTILITIES" AND SECTION 315000 "EXCAVATION SUPPORT AND PROTECTION" OF PROJECT SPECIFICATIONS.
3. SANITARY: CONFORM TO SECTION 221313 "FACILITY SANITARY SEWERS" OF PROJECT SPECIFICATIONS.
4. WATER: CONFORM TO SECTION 221113 "FACILITY WATER DISTRIBUTION PIPING" OF PROJECT SPECIFICATIONS.
5. STORM: CONFORM TO SECTION 334200 "STORMWATER CONVEYANCE" OF PROJECT SPECIFICATIONS.

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Middleton, WI 53562
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DANE COUNTY DEPT. OF PUBLIC WORKS, HIGHWAY & TRANSPORTATION
1919 ALLIANT ENERGY CENTER WAY
MADISON, WI 53713
PROJECT NO. 318025

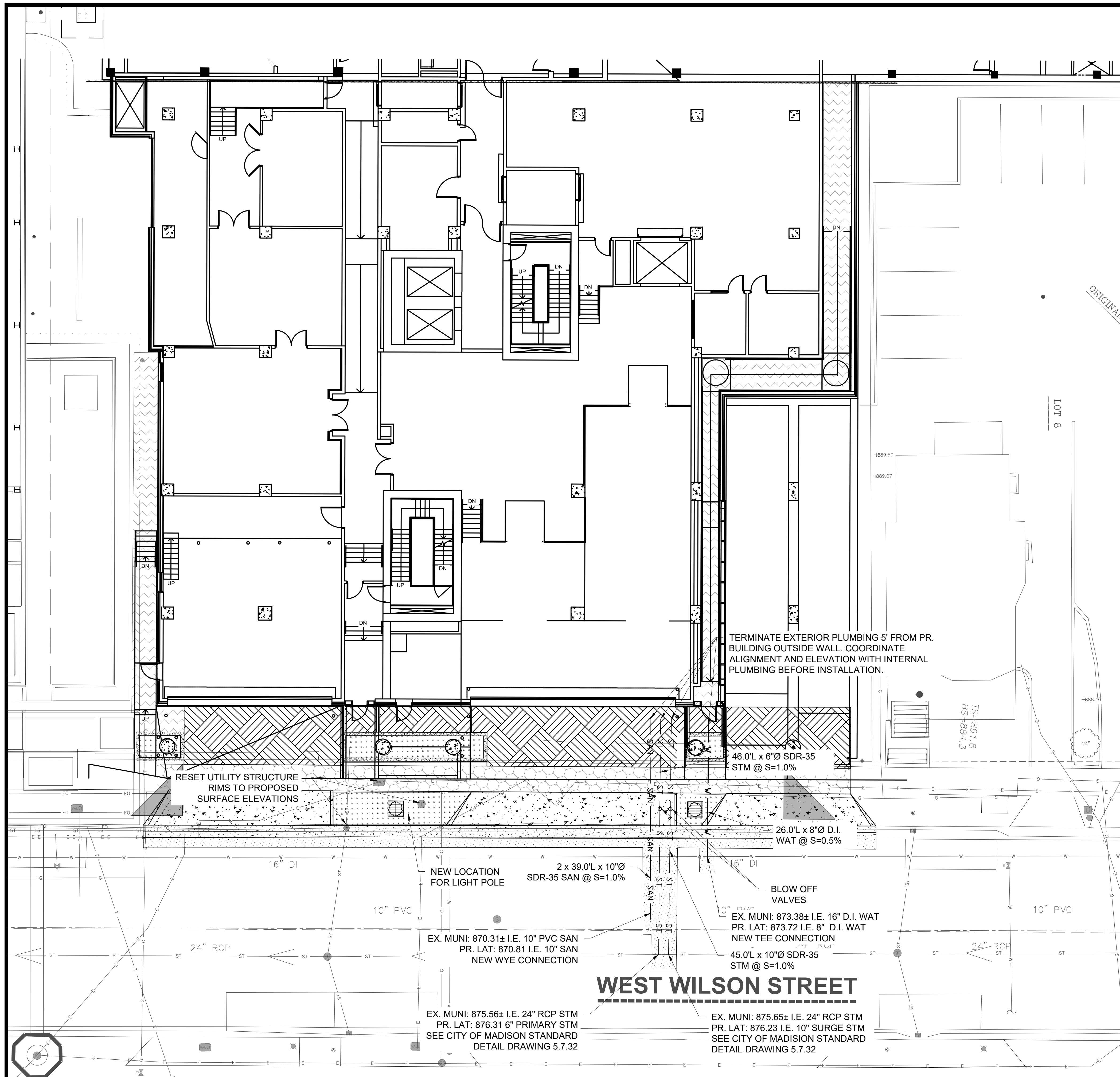
Dane County Jail Consolidation
South Tower Addition & Public Safety
Building Renovation
115 W. Doty Street
Madison, WI 53703

ISSUED 10/12/2022 LAND USE APPLICATION

NOT FOR CONSTRUCTION

MEAN NO: 4215400-161957-01
DATE: 04/07/2022
DESIGNED BY: BRB
DRAWN BY: RH
CHECKED BY: RJ
DO NOT SCALE DRAWINGS
SHEET CONTENTS
UTILITIES PLAN - AREA A
SHEET NO:

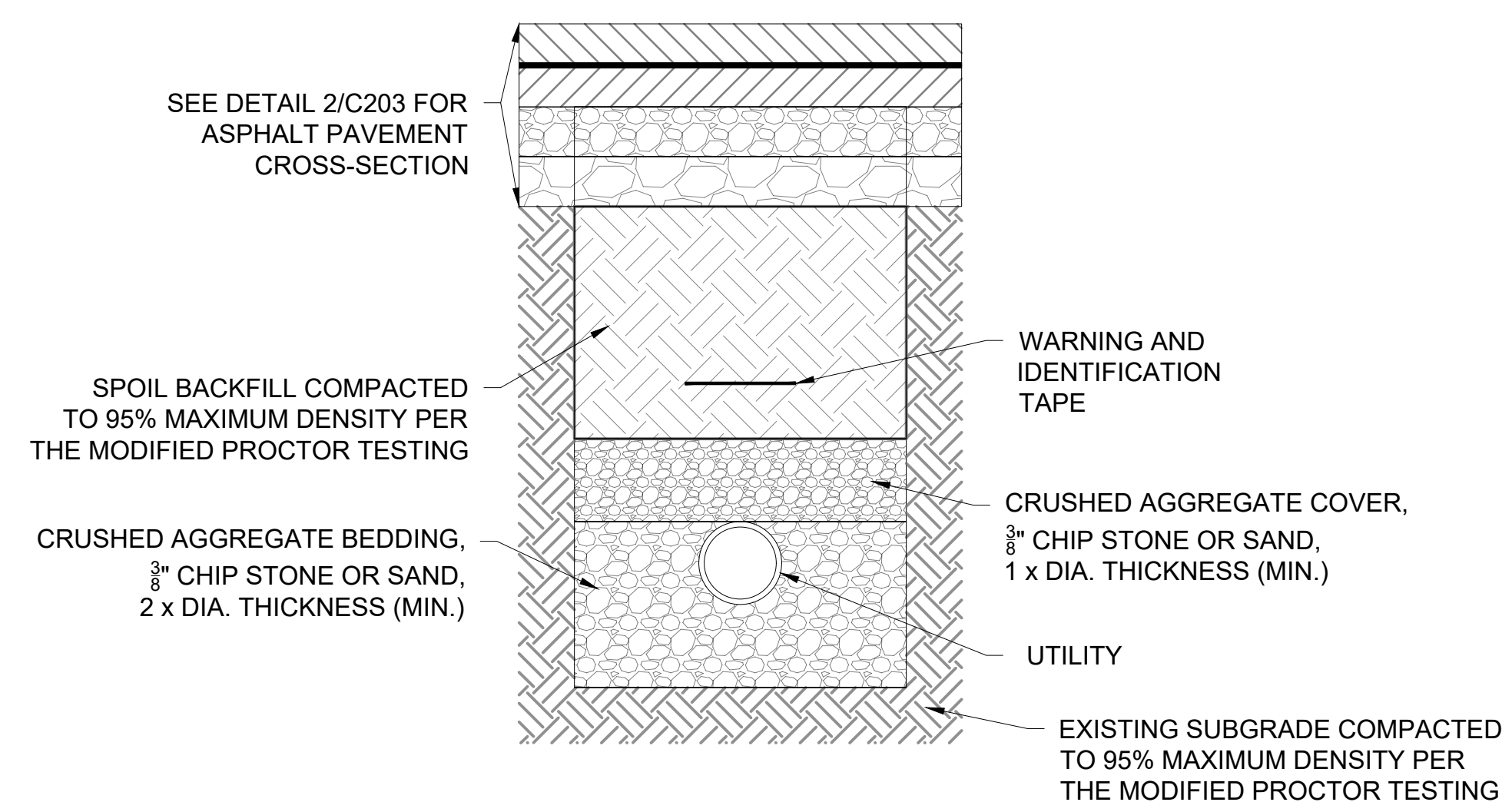
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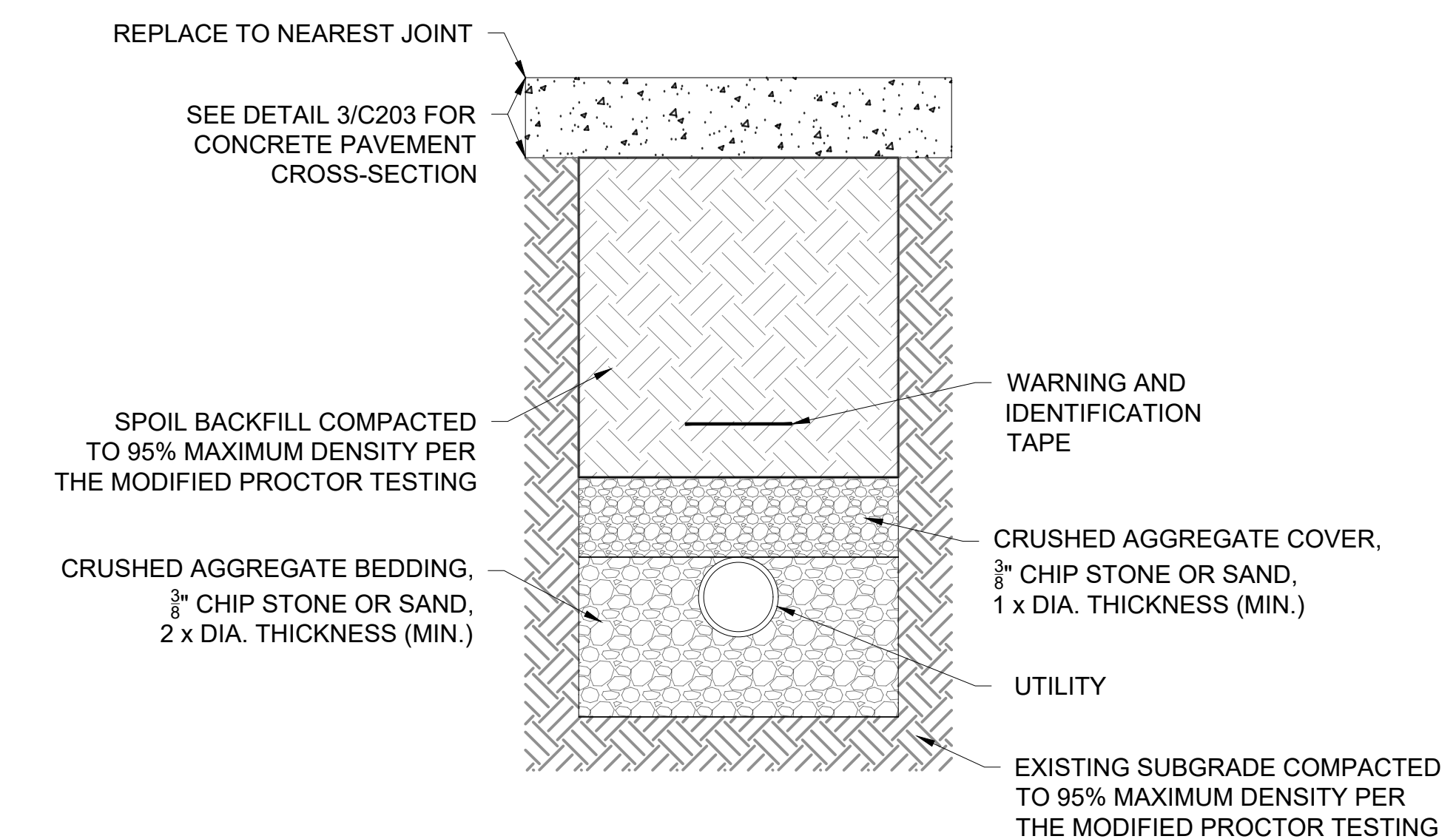
1
C402
UTILITIES PLAN - AREA B
1" = 10'

UTILITY PLAN NOTES:

- CONFORM TO CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
- ALL UTILITIES: CONFORM TO SECTION 330500 "COMMON WORK RESULTS FOR UTILITIES" AND SECTION 315000 "EXCAVATION SUPPORT AND PROTECTION" OF PROJECT SPECIFICATIONS.
- SANITARY: CONFORM TO SECTION 221313 "FACILITY SANITARY SEWERS" OF PROJECT SPECIFICATIONS.
- WATER: CONFORM TO SECTION 221113 "FACILITY WATER DISTRIBUTION PIPING" OF PROJECT SPECIFICATIONS.
- STORM: CONFORM TO SECTION 334200 "STORMWATER CONVEYANCE" OF PROJECT SPECIFICATIONS.
- CONTRACTOR TO OBTAIN MARKER BALLS FROM THE CITY AND EMBED THEM IN THE CONCRETE NEAR THE BUILDING PENETRATIONS.



2
C402
UTILITY TRENCH SECTION, ASPHALT PAVEMENT CONDITION
NTS



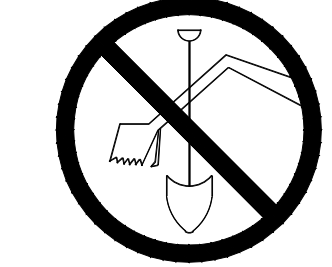
3
C402
UTILITY TRENCH SECTION, CONCRETE PAVEMENT CONDITION
NTS

SEE LEGEND ON "BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY" DATED 05/28/20 PREPARED BY JSD PROFESSIONAL SERVICES, INC., PROVIDED IN THIS PLAN SET, FOR EXISTING FEATURES.

EXISTING	PROPOSED	
— W —	— W —	WATER PIPE
— SAN —	— SAN —	SANITARY PIPE
— ST —	— ST —	STORM PIPE
— E —	— E —	ELECTRICAL CONDUIT
	⊙	WATER VALVE
	○	SANITARY CLEANOUT
	○	ROOF DRAIN CONNECTION
	○	HYDRANT
	○	LIGHT POLE
	○	LIGHT POLE

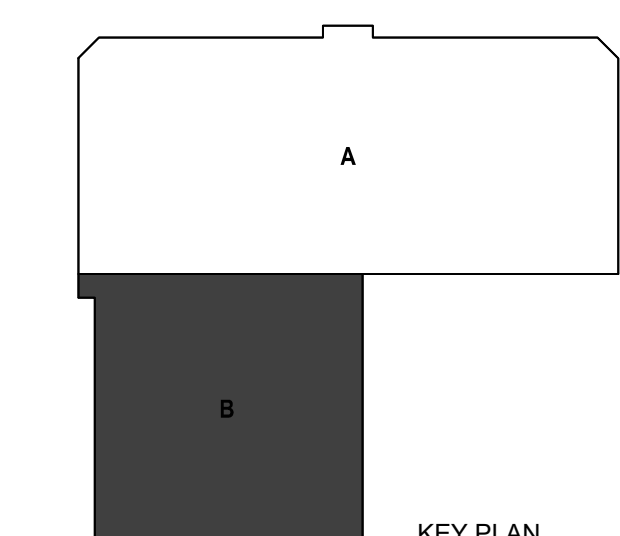
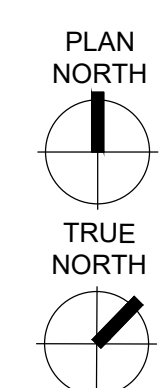
	PROPOSED MUNICIPAL CONCRETE SIDEWALK (DETAIL 2/C203 AND MADISON SDD 4.02)
	PROPOSED MUNICIPAL CONCRETE DRIVEWAY (DETAIL 3/C203 AND MADISON SDD 3.02)
	PROPOSED PERMEABLE CONCRETE DRIVEWAY PAVEMENT (DETAIL 4/C203)
	PROPOSED CONCRETE SIDEWALK PAVEMENT (DETAIL 5/C203)
	PROPOSED MUNICIPAL CONCRETE CURB-AND-GUTTER, TYPE A
	PROPOSED TREE TRENCH
	PROPOSED ASPHALT ROADWAY PAVEMENT
	PROPOSED TURF

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WI STATUTE 182.0175(1974)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

ATTENTION:
ALL UTILITY LOCATIONS ARE SHOWN FROM FIELD OBSERVATION BASED UPON LOCATES AND/OR INFORMATION RECEIVED FROM OTHER SURVEYS AND VARIOUS UTILITY COMPANIES. BEFORE THE START OF ANY EXCAVATION, A COMPLETE LOCATE OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA SHOULD BE COMPLETED.



Mead & Hunt

Mead & Hunt, Inc.
2440 Deming Way
Middleton, WI 53562
phone: 608-273-6380
meadhunt.com

Potter Lawson
Success by Design

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1919 ALLIANT ENERGY CENTER WAY
MADISON, WI 53713
PROJECT NO. 318025

**Dane County Jail Consolidation
South Tower Addition & Public Safety
Building Renovation**
115 W. Doty Street
Madison, WI 53703

PROJECT 10012022 LAND USE APPLICATION

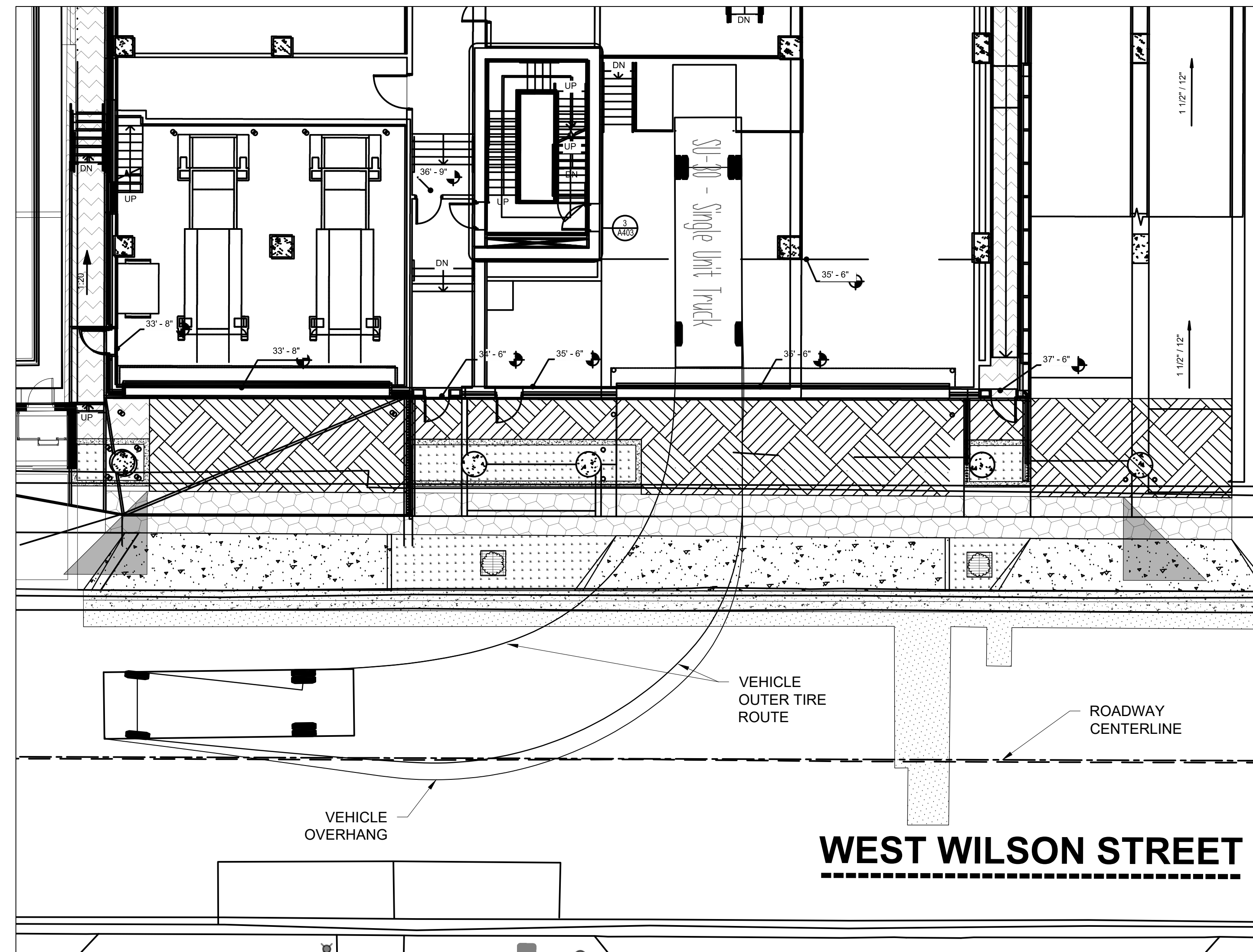
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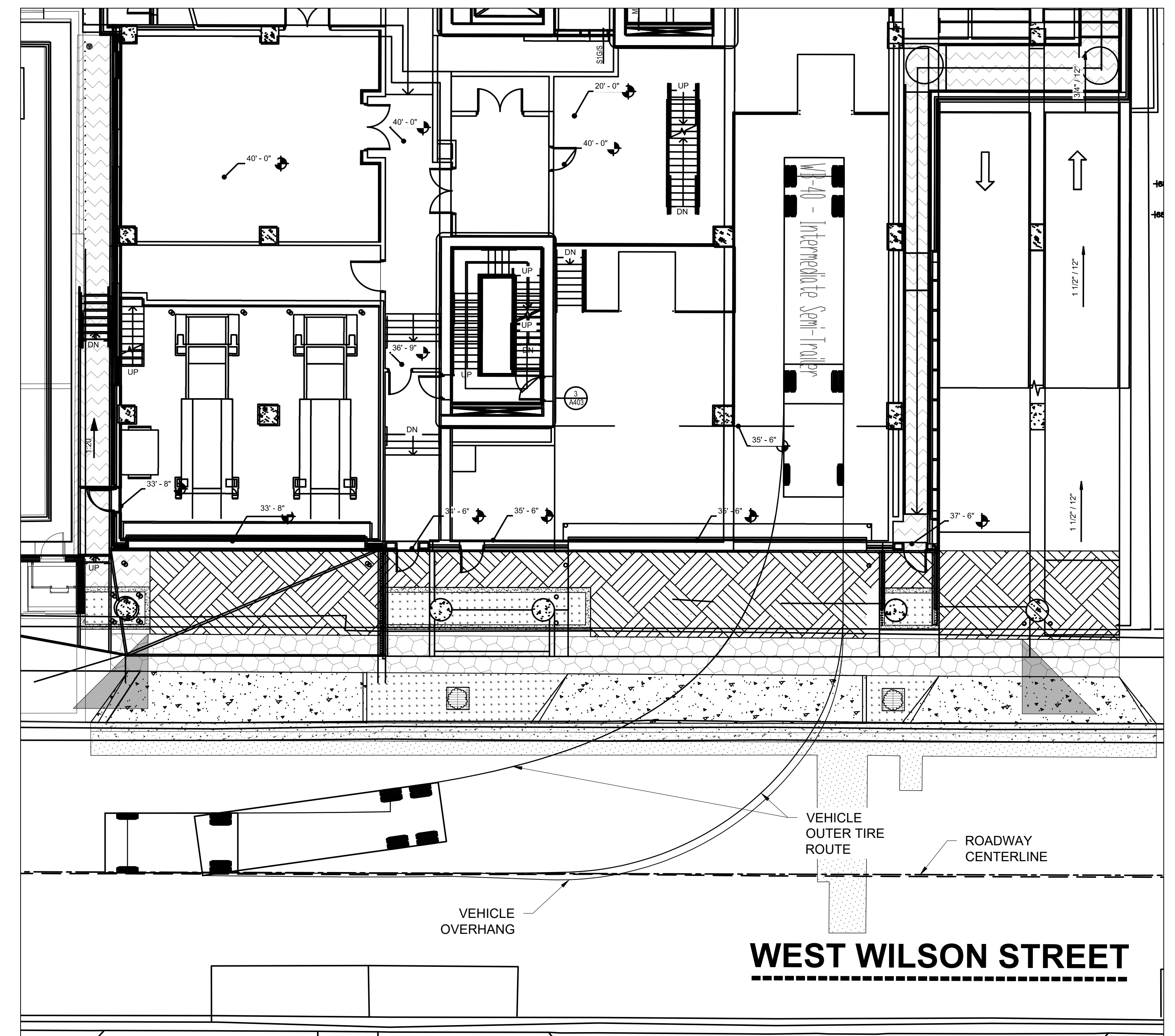
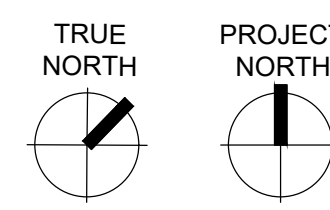
SHEET CONTENTS
UTILITIES PLAN

SHEET NO.

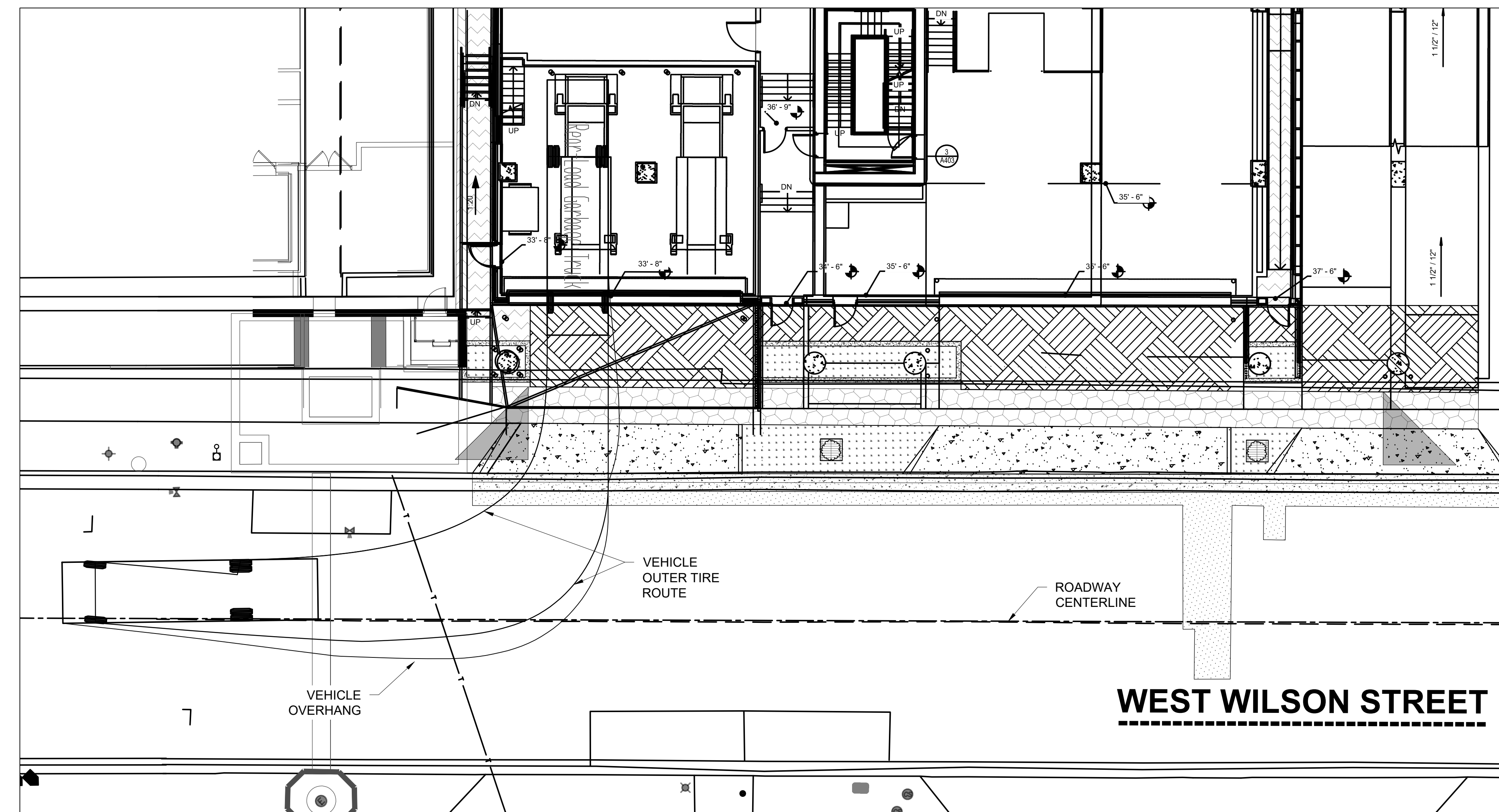
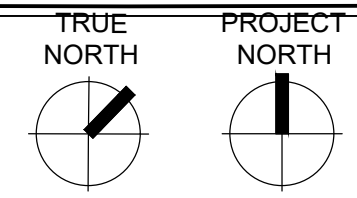
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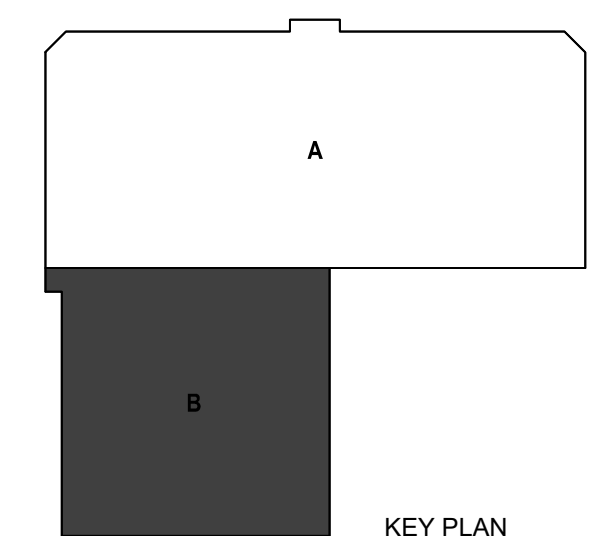
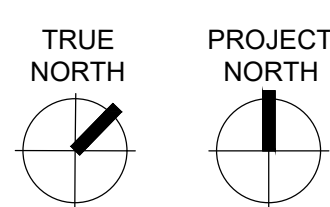
1 VEHICLE TURNING RADIUS - SU-30 SINGLE UNIT TRUCK
C901 1" = 10'

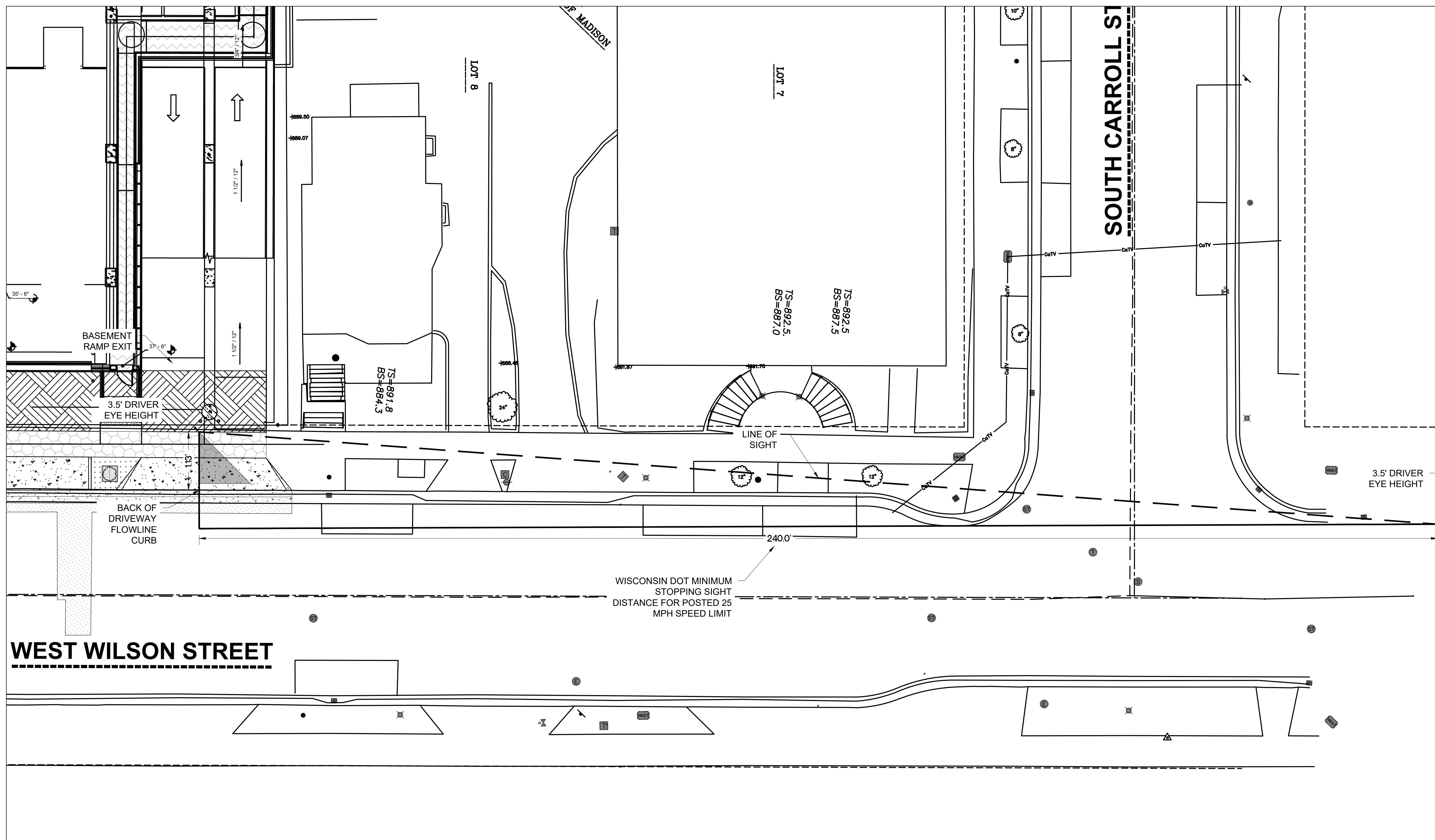


2 VEHICLE TURNING RADIUS- WB-40 SEMI-TRAILER
C901 1" = 10'

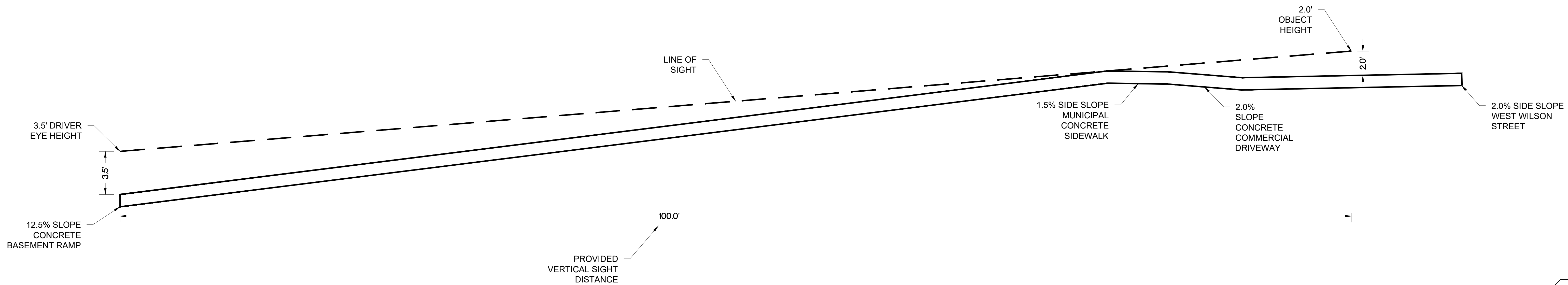
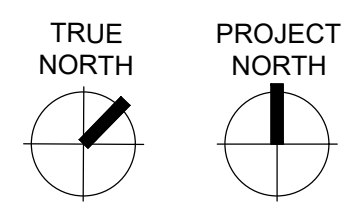


3 VEHICLE TURNING RADIUS - GARBAGE TRUCK
C901 1" = 10'

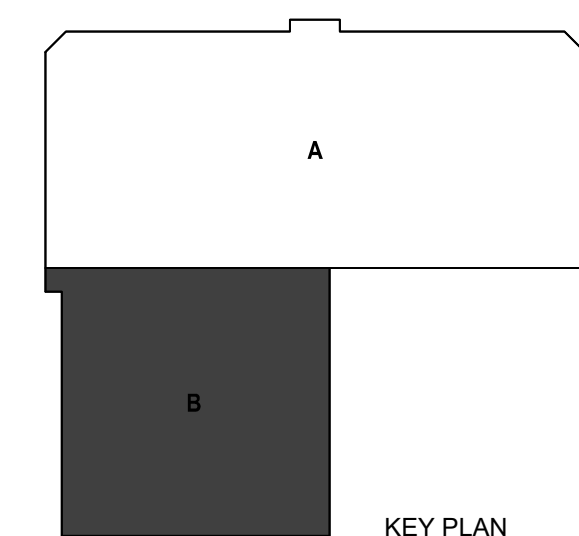
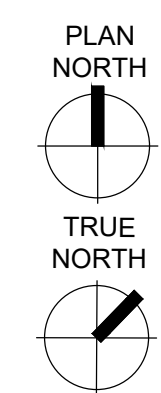




1 SIGHT DISTANCE EXHIBIT - BASEMENT RAMP EXIT - HORIZONTAL
1" = 10'



2 SIGHT DISTANCE EXHIBIT - BASEMENT RAMP EXIT - VERTICAL
1" = 4'



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