



City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506
 Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 414 East Washington Avenue

Contact Name & Phone #: Duane Johnson 608-836-3690

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered , fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) need discussion with Forestry e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A

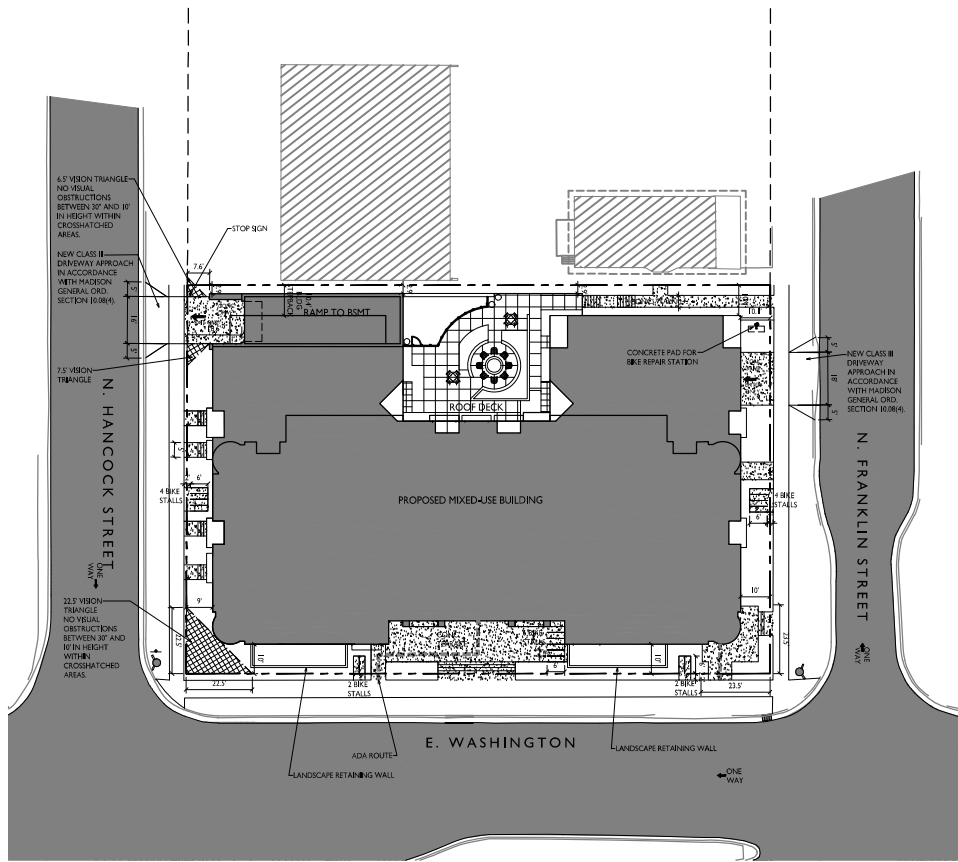
Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.

Attach an additional sheet if further explanation is required for any answers.

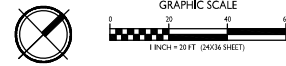
This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.

GENERAL NOTES

1. THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
2. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
3. ALL DAMAGE TO THE PAVEMENT ON CITY STREETS, AND ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
4. ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ADDRESSERON WITHIN WHOSE DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
5. AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-8886) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/SPECS.CFM](https://www.cityofmadison.com/business/specs.cfm)
6. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISLOOSE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREES. THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
7. SECTION 107.10(C) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPILLS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
8. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
9. STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
10. APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER (266-4816).
11. THE PUBLIC RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME. NOTICES SHOWN ON THIS SITE PLAN IN THE RIGHT-OF-WAY ARE PERMANENT AND MAY NEED TO BE REMOVED AT THE APPLICANT'S EXPENSE UPON NOTIFICATION BY THE CITY.

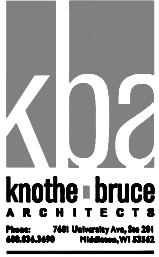
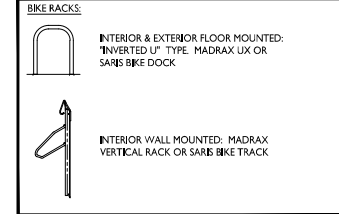


SITE PLAN
C-1.1 1" = 20'-0"



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Site Development Data:			
Zoning: UPR - URBAN MIXED-USE DISTRICT			
Densities			
Lot Area	Conditional Use	36,339 S.F./2.8 acres	
Dwelling Units	448 units		
Lot Area D.U.I.	129 S.F./unit		
Density	247 units/Acre		
Commercial	1,123 S.F. Approx.		
PROVIDED			
Usable Open Space	22,607 S.F. (61.5%)	REQUIRED	22,607 S.F. (61.5%)
Lot Coverage	12,541 S.F. (34.5%)	REQUIRED	23,696 S.F. (65.0%) Max.
Building Height	6 and 9 stories	8 + 2	
Dwelling Use Mix			
Efficiency	37		
One Bedroom	72		
One Bedroom + Den	3		
Two Bedroom	36		
Total Dwelling Units	148 D.U.I.		
Vehicle Parking Stalls			
Underground Garage	146		
Surface	0		
Total	146 vehicle stalls		
Parking Ratio	.99 stall/unit		
Bicycle Parking			
Garage - wall mount	30	PROVIDED	REQUIRED
Garage - floor mount	118		
Total Covered Secure	148	148	
Surface - Guest	16	15 (10% of units)	
Surface - Commercial	2	1 (12,000 S.F.)	
Total	166 bike stalls	167 bike stalls	



ISSUED
Issued for Land Use Submittal - Sept. 2, 2020

PROJECT TITLE
THE CONTINENTAL

414 E Washington Ave
SHEET TITLE
Site Plan

SHEET NUMBER

C-1.1
PROJECT NO. 1972
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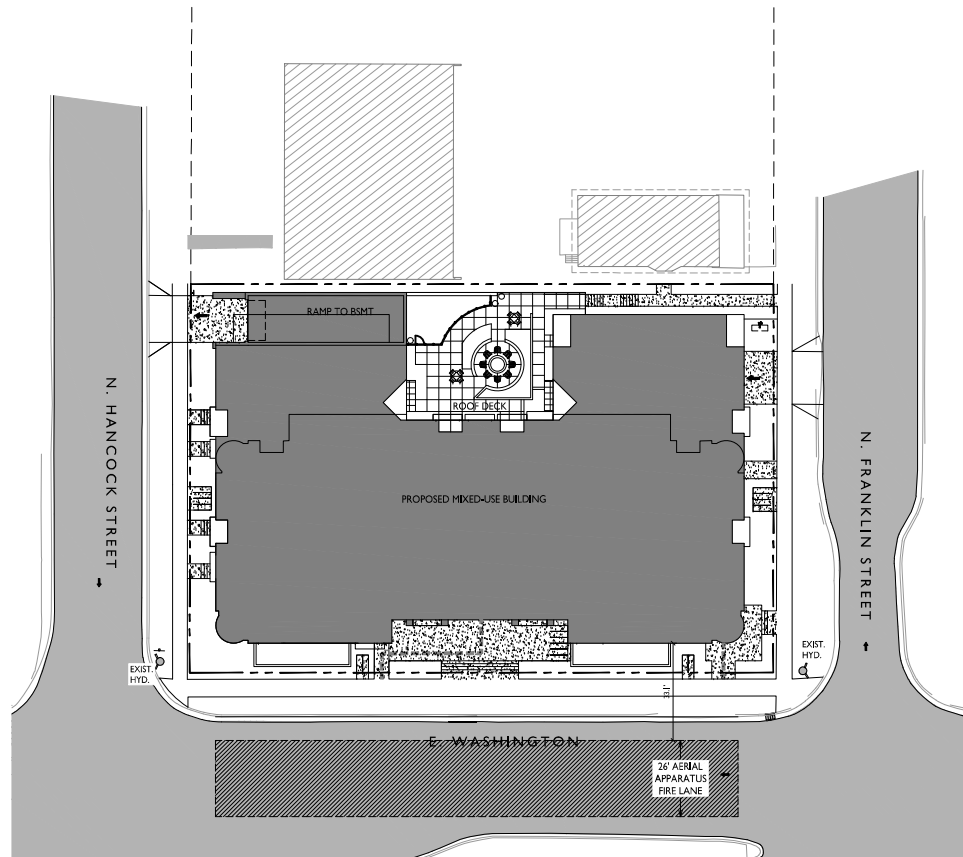
PROJECT TITLE
**THE
 CONTINENTAL**

414 E Washington Ave
 SHEET TITLE
**Fire Department
 Access Plan**

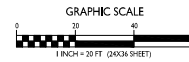
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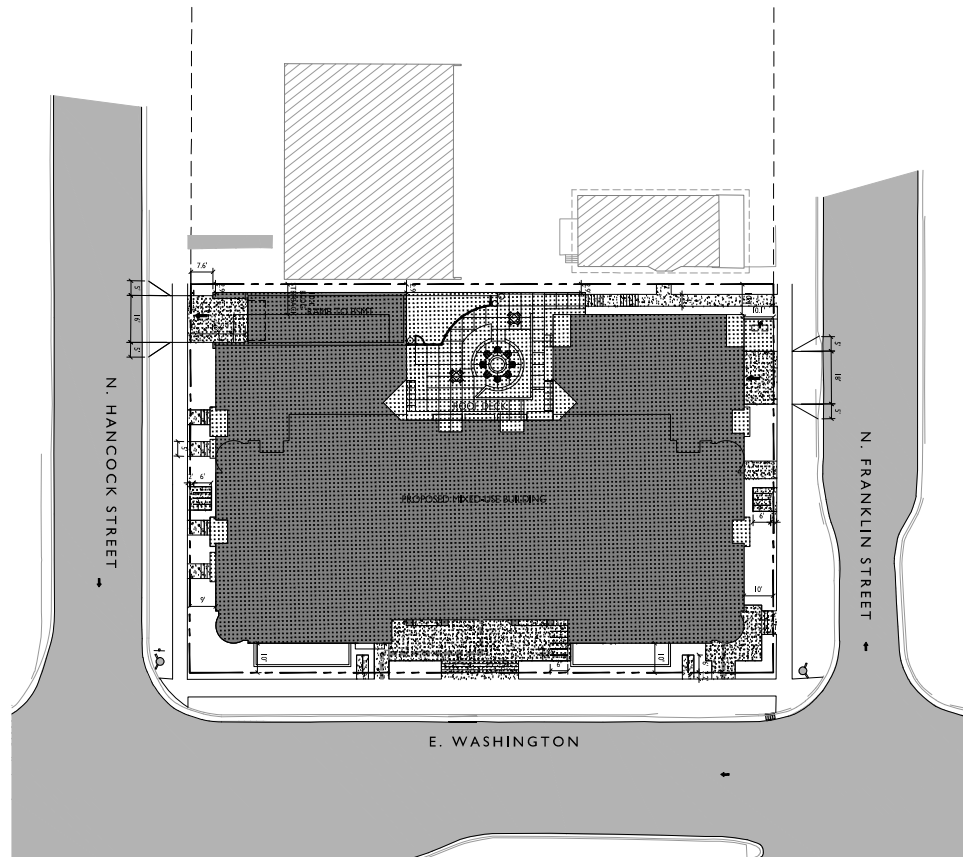
C-I.3

PROJECT NO. **1972**
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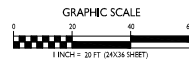


1
C-I.3
FIRE DEPARTMENT ACCESS PLAN
 1" = 20'-0"





LOT COVERAGE
 1 C-I.4
 1" = 20'-0"



LOT COVERAGE	
ZONING: UMX - URBAN MIXED-USE DISTRICT	
TOTAL LOT AREA	26,329 S.F.
MAX. ALLOWED	23,696 S.F. (90%)
PROPOSED LOT COVERAGE	22,541 S.F. (86%)

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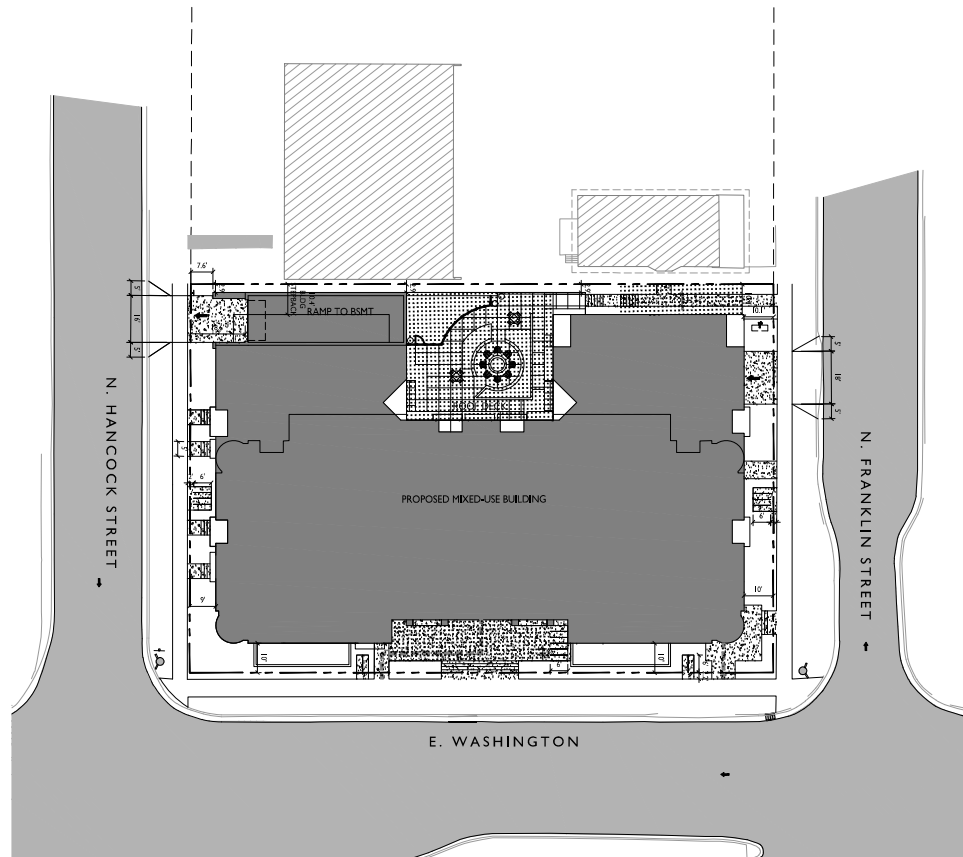
PROJECT TITLE
**THE
 CONTINENTAL**

414 E Washington Ave
 SHEET TITLE
Lot Coverage

SHEET NUMBER

C-I.4

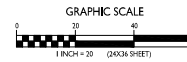
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PROJECT TITLE
THE CONTINENTAL

USABLE OPEN SPACE
 C-1.5 1" = 20'-0"



USABLE OPEN SPACE	
ZONING: UMX-URBAN MIXED-USE DISTRICT	
REQUIRED OPEN SPACE	10 S.F. / BEDROOM
BEDROOMS	184
	1,840 S.F. REQUIRED
OPEN SPACE PROVIDED	
BALCONIES (54 S.F. X 148 S.F.)	7,992 S.F.
ROOF DECKS/TERRACE	8,219 S.F.
SURFACE	436 S.F.
TOTAL	16,647 S.F. PROVIDED

414 E Washington Ave

SHEET TITLE
Usable Open Space

SHEET NUMBER

C-1.5

PROJECT NO. **1972**
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GENERAL NOTES:

- 1. INSTALL A 50' L X 20' W X 1.5' D TRACKING PAD AT THE SITE ENTRANCE. THE TRACKING PAD SHALL BE MAINTAINED/REPAIRED AS NECESSARY TO ACCOMMODATE CONSTRUCTION.
- 2. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR. ALL MAINTENANCE/REPAIR WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- 3. UTILITY STRUCTURE RIM AND TOP OF CURB ELEVATIONS ON PLANS ARE APPROXIMATE. UTILITY STRUCTURES SHALL BE SET TO FINAL ELEVATIONS AFTER THE CURB & GUTTER AND BASE COURSE HAVE BEEN INSTALLED.
- 4. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
- 5. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
- 6. EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
- 7. CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING SANITARY SEWER, STORM SEWER AND WATER MAIN PRIOR TO CONSTRUCTION TO ENSURE PROPER CLEARANCE OF THE NEW UTILITIES. CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO THE EXISTING UTILITIES AND ANY REPAIRS NEEDED AS A RESULT OF THE DAMAGE SHALL BE AT THE EXPENSE OF THE CONTRACTOR REGARDLESS OF THE LOCATION MARKED IN THE FIELD OR SHOWN ON THE PLANS.
- 8. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND LOCATING ALL EXISTING UTILITIES AND ENSURE PROPER CLEARANCE OF NEW UTILITIES.
- 9. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
- 10. THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEDED.
- 11. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
- 12. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
- 13. INSTALL WATER MAIN AT ADEQUATE DEPTH (MIN 6.5' OF COVER) TO AVOID CONFLICT WITH PROPOSED SANITARY SEWER AND STORM SEWER PER DNR STANDARDS EXCEPT WHERE NOTED ON THE PLANS. MAINTAIN MINIMUM 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
- 14. SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP.
- 15. INSTALL 1 SHEET OF 4"x8"x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.
- 16. DIMENSIONS RELATING TO CURB ARE TO FACE OF CURB.
- 17. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADES SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
- 18. CROSS-SLOPE OF SIDEWALKS SHALL BE 2% UNLESS OTHERWISE NOTED.
- 19. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
- 20. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
- 21. ACCESSIBLE ROUTES SHALL BE 5% MAX LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
- 22. ADJUST ALL EXISTING MANHOLE AND VALVE RIMS TO FINAL GRADE.

SITE CONSTRUCTION NOTES:

- 1. CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
- 2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
- 3. CURB FACE HEIGHT ON SITE SHALL BE 6 INCHES.
- 4. CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, DRIVEWAY CONNECTION, RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
- 5. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
- 6. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

UTILITY NOTES:

- 1. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
- 2. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
- 4. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF-WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
- 5. FOR ALL SEWER AND WATER MAIN CROSSESS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
- 6. IF DEWATERING OPERATIONS EXCEED TO GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED FROM THE DEPARTMENT PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
- 7. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
- 8. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
- 9. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
- 10. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
- 11. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE FIELD TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(1)(h) AND SPS 382.40(8)(k).
- 12. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b).
- 13. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
- 14. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
- 15. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITH THESE PLANS.
- 16. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
- 17. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
- 18. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
- 19. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION; THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
- 20. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.

DEMOLITION/EROSION CONTROL NOTES:

- 1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
- 2. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
- 3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
- 4. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
- 5. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
- 6. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
- 7. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
- 8. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
- 9. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR, THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
- 10. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.

SURVEY LEGEND

- ⊕ BENCHMARK
- ✱ FOUND CHISELED "M"
- ⊙ FOUND 1" # IRON PIPE
- ⊙ FOUND 2" # IRON PIPE
- ▲ FOUND P.K. NAIL
- ⊙ FOUND 1 1/4" # IRON ROD
- ⊙ FOUND 3/4" # IRON ROD
- ⊙ SET NAIL

TOPOGRAPHIC SYMBOL LEGEND

- ⬢ EXISTING BOLLARD
- ⬢ EXISTING MAILBOXES
- ⬢ EXISTING MONITORING WELL
- ⬢ EXISTING POST
- ⬢ EXISTING SIGN
- ⬢ EXISTING PARKING METER
- ⬢ EXISTING CURB INLET
- ⬢ EXISTING ROOF DRAIN
- ⬢ EXISTING STORM MANHOLE
- ⬢ EXISTING STORM MANHOLE RECTANGULAR
- ⬢ EXISTING SANITARY CLEANOUT
- ⬢ EXISTING SANITARY MANHOLE
- ⬢ EXISTING FIRE HYDRANT
- ⬢ EXISTING WATER MAIN VALVE
- ⬢ EXISTING CURB STOP
- ⬢ EXISTING WATER MANHOLE
- ⬢ EXISTING GAS VALVE
- ⬢ EXISTING GAS METER
- ⬢ EXISTING DOWN GUY
- ⬢ EXISTING ELECTRIC RECTANGULAR MANHOLE
- ⬢ EXISTING ELECTRIC METER
- ⬢ EXISTING LIGHT POLE
- ⬢ EXISTING UTILITY POLE
- ⬢ EXISTING TV PEDESTAL
- ⬢ EXISTING TELEPHONE PEDESTAL
- ⬢ EXISTING UNIDENTIFIED MANHOLE
- ⬢ EXISTING SHRUB
- ⬢ EXISTING DECIDUOUS TREE

TOPOGRAPHIC LINWORK LEGEND

- 10' --- 10' --- EXISTING UNDERGROUND CABLE TV
- 10 --- 10 --- EXISTING FIBER OPTIC LINE
- 0 --- 0 --- EXISTING WOOD FENCE
- 0 --- 0 --- EXISTING GAS LINE
- 12 --- 12 --- EXISTING UNDERGROUND ELECTRIC LINE
- 00 --- 00 --- EXISTING OVERHEAD GENERAL UTILITIES
- 54" --- 54" --- EXISTING SANITARY SEWER LATERAL
- 54" --- 54" --- EXISTING 6" SANITARY SEWER LINE
- 54" --- 54" --- EXISTING 8" SANITARY SEWER LINE
- 12" --- 12" --- EXISTING STORM SEWER
- 12" --- 12" --- EXISTING 12" STORM SEWER LINE
- 12" --- 12" --- EXISTING 15" STORM SEWER LINE
- 12" --- 12" --- EXISTING 18" STORM SEWER LINE
- 18" --- 18" --- EXISTING WATER SERVICE
- 18" --- 18" --- EXISTING 6" WATER MAIN
- 18" --- 18" --- EXISTING 12" WATER MAIN
- 18" --- 18" --- EXISTING 16" WATER MAIN
- 820 --- 820 --- EXISTING MAJOR CONTOUR
- 818 --- 818 --- EXISTING MINOR CONTOUR

TOPOGRAPHIC HATCHING LEGEND

- ▨ DETECTABLE WARNING PAVEMENT
- ▨ CONCRETE PAVEMENT OR CONCRETE SIDEWALK
- ▨ ASPHALT PAVEMENT
- ▨ CONCRETE WALL
- ▨ GRAVEL

GRADING LEGEND

- 820 --- EXISTING MAJOR CONTOURS
- 818 --- EXISTING MINOR CONTOURS
- 820 --- PROPOSED MAJOR CONTOURS
- 818 --- PROPOSED MINOR CONTOURS
- 2.92% --- PROPOSED SLOPE ARROWS
- ⊕ EXISTING SPOT ELEVATIONS
- ⊕ EXISTING SPOT ELEVATIONS
- ⊕ 1048.61

- ⊕ INLET PROTECTION
- ⊕ SILT FENCE
- ⊕ DISTURBED LIMITS
- ⇒ DRAINAGE DIRECTION
- ▨ EROSION MAT CLASS 1, TYPE A
- ▨ TRACKING PAD

PROPOSED UTILITY LEGEND

- --- STORM SEWER PIPE
- --- WATER SERVICE LATERAL PIPE
- --- SANITARY SEWER LATERAL PIPE
- --- GAS MAIN
- --- ELECTRIC SERVICE

ABBREVIATIONS

- SMH = STORM MANHOLE
- FI = FIELD INLET
- CS = CURB
- CB = CATCH BASIN
- EW = SIGNAL
- SMH = SANITARY MANHOLE

DEMOLITION PLAN LEGEND

- ▨ CURB AND GUTTER REMOVAL
- ▨ ASPHALT REMOVAL
- ▨ CONCRETE REMOVAL
- ▨ BUILDING REMOVAL
- SAWCUT
- ⊕ UTILITY STRUCTURE REMOVAL
- UTILITY LINE REMOVAL

SITE PLAN LEGEND

- ▨ PROPERTY BOUNDARY
- ▨ CURB AND GUTTER (REVERSE CURB HATCHED)
- ▨ PROPOSED CONCRETE
- ⊕ PROPOSED SIGN
- ⊕ PROPOSED LIGHT POLE
- ⊕ PROPOSED BOLLARD
- ⊕ PROPOSED ADA DETECTABLE WARNING FIELD

ABBREVIATIONS

- TC = TOP OF CURB
- FF = FINISHED FLOOR
- FL = FLOW LINE
- SW = TOP OF WALK
- TW = TOP OF WALL
- BM = BOTTOM OF WALL

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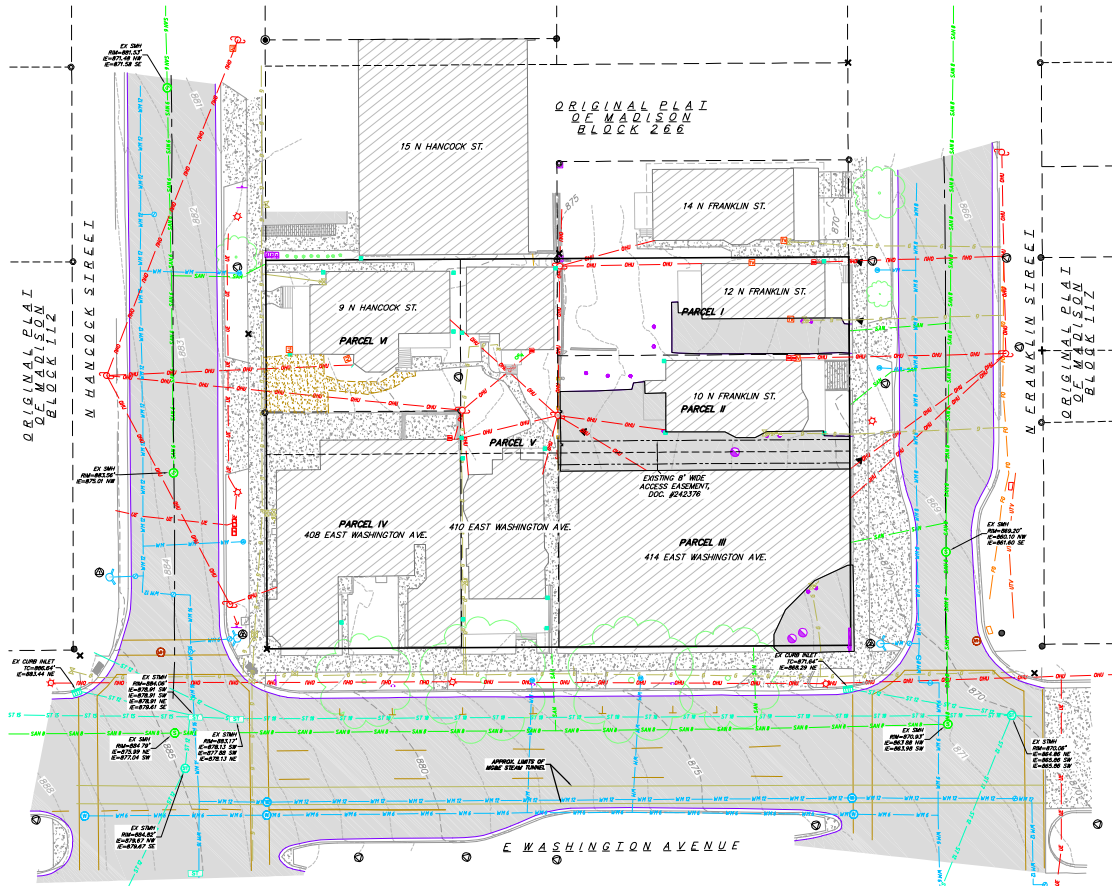
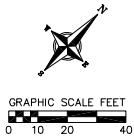
Notes & Legends
The Continental
414 East Washington Avenue
Madison, Dane County, Wisconsin

REVISIONS	NO.	DATE	REMARKS
AS SHOWN			

REVISIONS	NO.	DATE	REMARKS

DATE: 09/02/2020
DRAWN BY: ZORE
CHECKED BY: ZORE
PROJECT NO.: 190350

C
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SURVEYED FOR: LZ VENTURES, A/T/C: JOHN LEA, 5603 SURREY LANE, WAUNAKEE, WI 53703

SURVEYED BY: VERIBCHER ASSOCIATES, INC. BY: MICHAEL S. MARTY, 999 FOURIER DRIVE, STE. 201, MADISON, WI 53717, (608)-821-3855, mmar@veribcher.com

NOTES:

- 1. This survey was prepared based upon information provided in ALTA Commitment for Title Insurance, Order No. NCS-994442-MAD, dated December 21, 2019 at 8:00am. From First American Title Insurance Company, National Commercial Services, 23 West Main Street, Suite 400, Madison, WI 53703.
2. The parcel surveyed contains 7.76 Acres or 338,182 sq. ft. more or less.
3. This survey is based upon field survey work performed between March 17 and March 25, 2020. Any changes in site conditions after March 25, 2020 are not reflected by this survey.
4. Benchmarks shall be verified prior to construction.
5. Elevations depicted on this survey are based upon NAVD83 Datum. (2012 Geoid)
6. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, or ownership title evidence.
7. Utility locations were field located based upon substantial, visible, above ground structures, upon maps provided to the surveyor, or upon markings on the ground placed by utility companies and/or their agents. No warranty is given to the utility markings by others or that all underground utilities affecting this property were marked and subsequently located for this survey. A locate request was sent to Digger's Hotline per Digger's Hotline One-Call ticket numbers 2020111626, 2020111629, 2020111630, 2020111632, and 2020111637. Location of buried private utilities are not within the scope of this survey.

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING BOLLARD
EXISTING MAILBOXES
EXISTING MONITORING WELL
EXISTING POST
EXISTING SIGN
EXISTING PARKING METER
EXISTING CURB INLET
EXISTING ROOF DRAIN
EXISTING STORM MANHOLE
EXISTING STORM MANHOLE RECTANGULAR
EXISTING SANITARY CLEANOUT
EXISTING SANITARY MANHOLE
EXISTING FIRE HYDRANT
EXISTING WATER MAIN VALVE
EXISTING CURB STOP
EXISTING WATER MANHOLE
EXISTING GAS VALVE
EXISTING GAS METER
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EXISTING ELECTRIC METER
EXISTING LIGHT POLE
EXISTING UTILITY POLE
EXISTING TV PEDESTAL
EXISTING TELEPHONE PEDESTAL
EXISTING UNIDENTIFIED MANHOLE
EXISTING SHRUB
EXISTING DECIDUOUS TREE

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FOUND CHISELED "X"
FOUND 1" # IRON PIPE
FOUND 2" # IRON PIPE
FOUND P.K. NAIL
FOUND 1 1/4" # IRON ROD
FOUND 3/4" # IRON ROD
SET NAIL

TOPOGRAPHIC LINEWORK LEGEND

- EXISTING UNDERGROUND CABLE TV
EXISTING FIBER OPTIC LINE
EXISTING WOOD FENCE
EXISTING GAS LINE
EXISTING UNDERGROUND ELECTRIC LINE
EXISTING OVERHEAD GENERAL UTILITIES
EXISTING SANITARY SEWER LATERAL
EXISTING 6" SANITARY SEWER LINE
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EXISTING 12" STORM SEWER LINE
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EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR

TOPOGRAPHIC HATCHING LEGEND

- DETECTABLE WARNING PAVER
CONCRETE PAVEMENT OR CONCRETE SIDEWALK
ASPHALT PAVEMENT
CONCRETE WALL
GRAVEL

PROJECT BENCHMARKS:

- BENCHMARK 1 - ELEV.=888.47': TOP NUT OF FIRE HYDRANT LOCATED IN WEST QUADRANT OF N HANCOCK STREET AND E WASHINGTON AVENUE.
BENCHMARK 2 - ELEV.=885.98': TOP NUT OF FIRE HYDRANT LOCATED IN NORTH QUADRANT OF N HANCOCK STREET AND E WASHINGTON AVENUE.
BENCHMARK 3 - ELEV.=873.49': TOP NUT OF FIRE HYDRANT LOCATED IN WEST QUADRANT OF N FRANKLIN STREET AND E WASHINGTON AVENUE.



THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE 1-800-242-8511

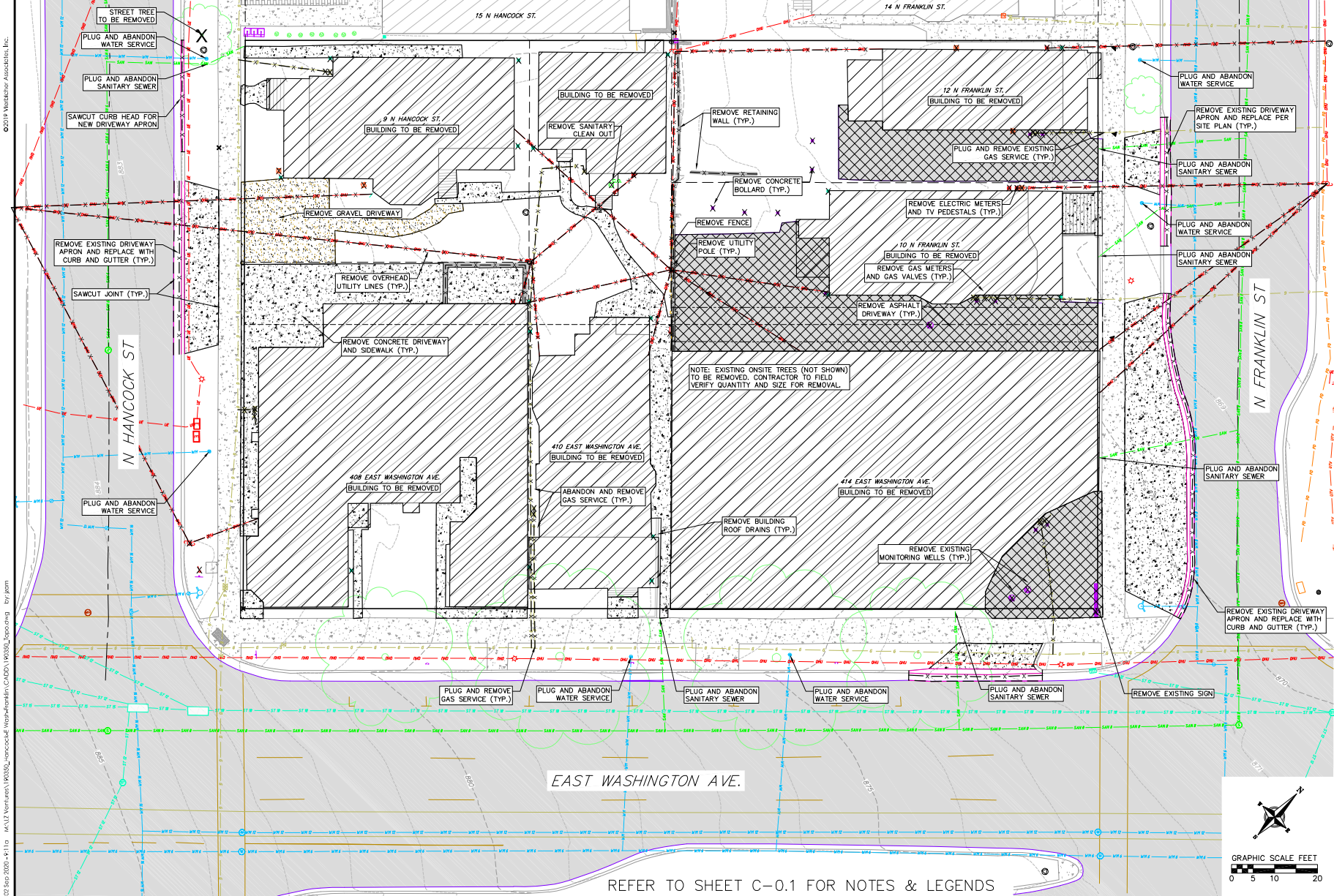


Existing Conditions Plan The Continental 414 East Washington Avenue Madison, Dane County, Wisconsin

Table with columns: REVISIONS, NO., DATE, REMARKS. Contains one revision entry.

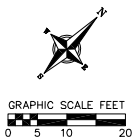
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ZONE:
CHECKED BY:
JOB NO:

PROJECT NO: 190350
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EAST WASHINGTON AVE.

REFER TO SHEET C-0.1 FOR NOTES & LEGENDS



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Demolition Plan

The Continental
 414 East Washington Avenue
 Madison, Dane County, Wisconsin

REVISIONS		REMARKS
NO.	DATE	

SCALE
AS SHOWN

DATE
09/02/2020

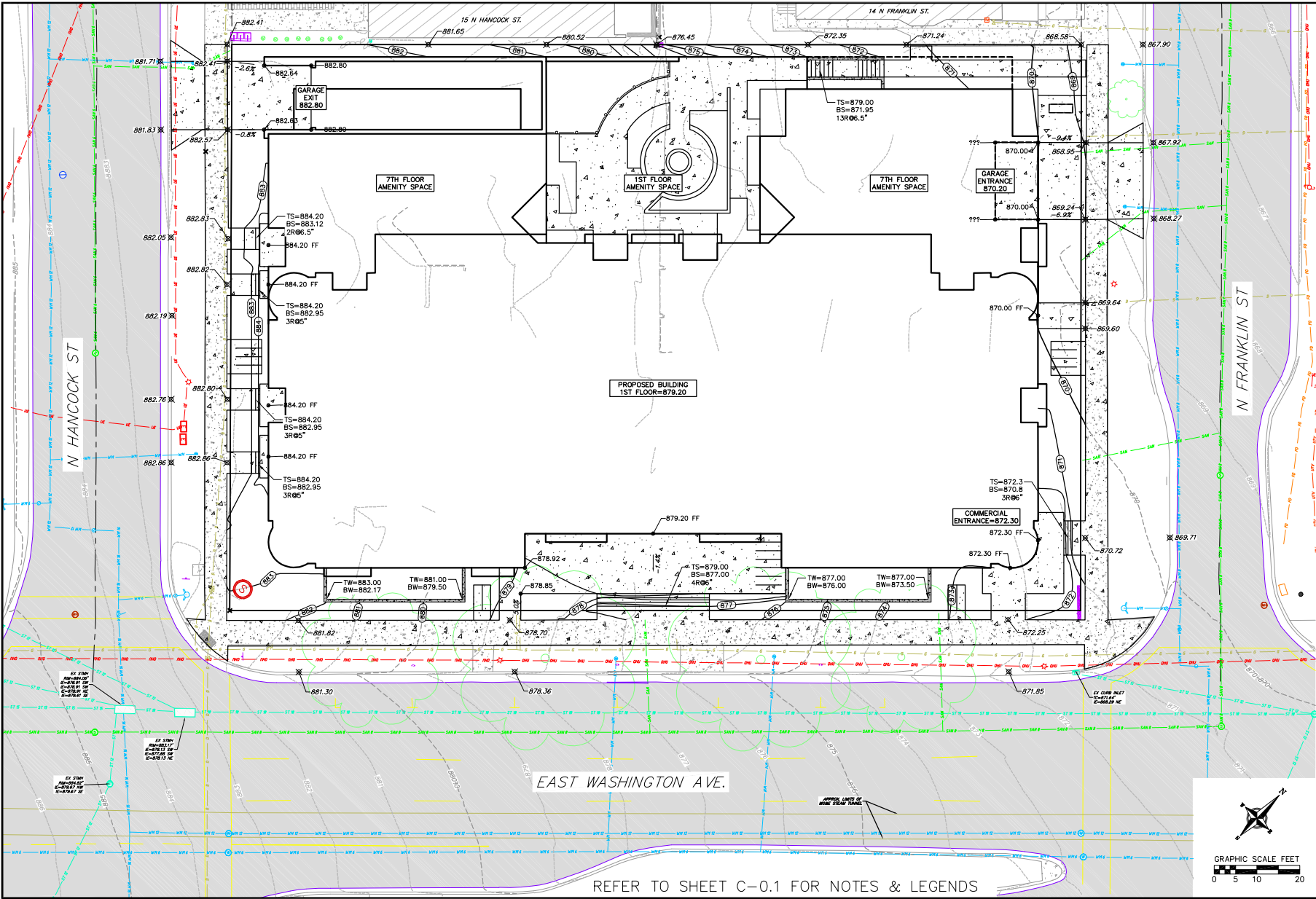
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PROJECT NO.
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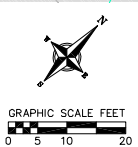
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EAST WASHINGTON AVE.

REFER TO SHEET C-0.1 FOR NOTES & LEGENDS



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Grading Plan
 The Continental
 414 East Washington Avenue
 Madison, Dane County, Wisconsin

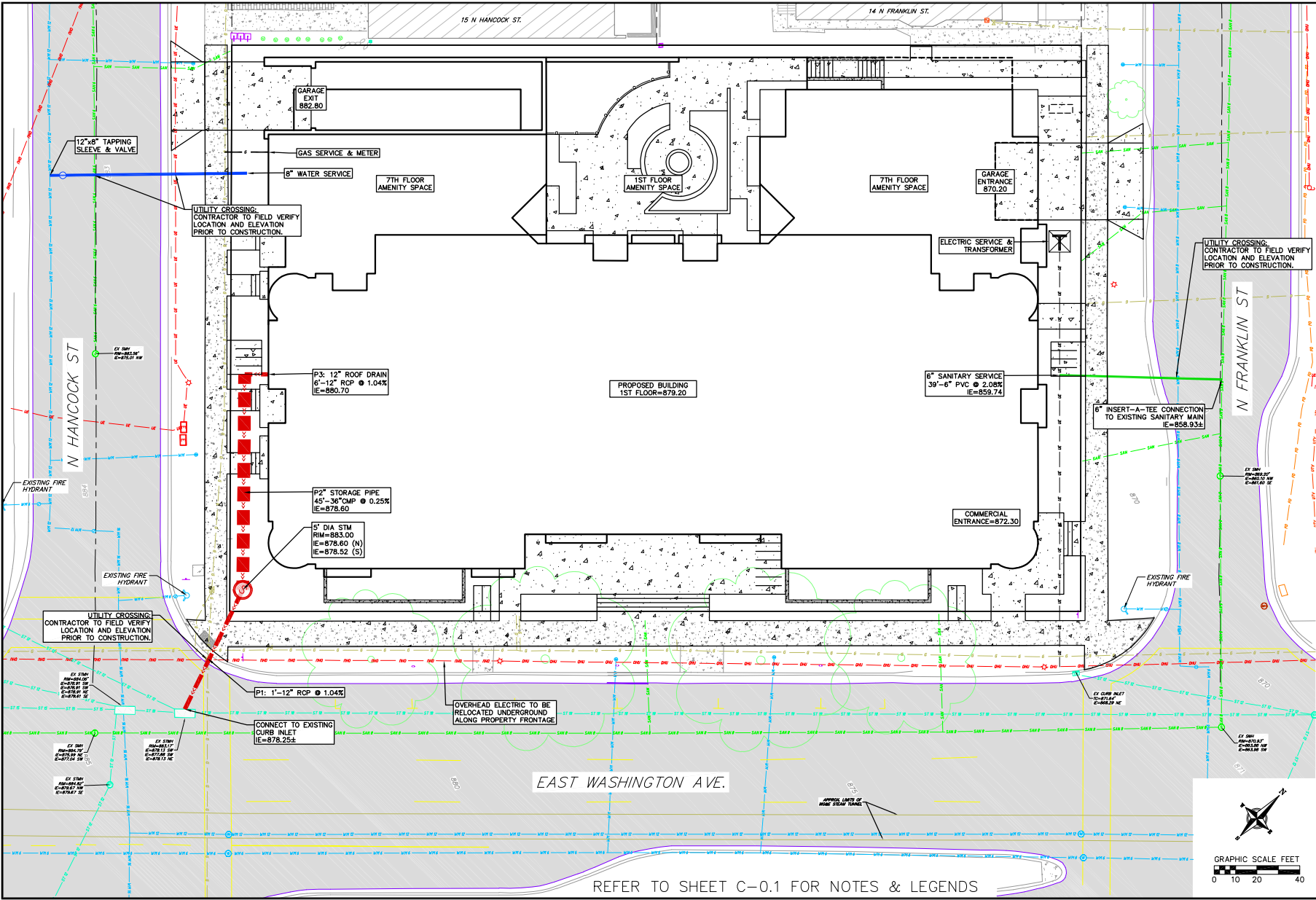
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 DATE: 09/02/2020
 DRAWN BY: ZDM
 CHECKED BY: ZDM
 PROJECT NO.: 190300

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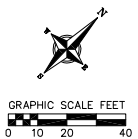
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EAST WASHINGTON AVE.

REFER TO SHEET C-0.1 FOR NOTES & LEGENDS



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Utility Plan
The Continental
414 East Washington Avenue
Madison, Dane County, Wisconsin

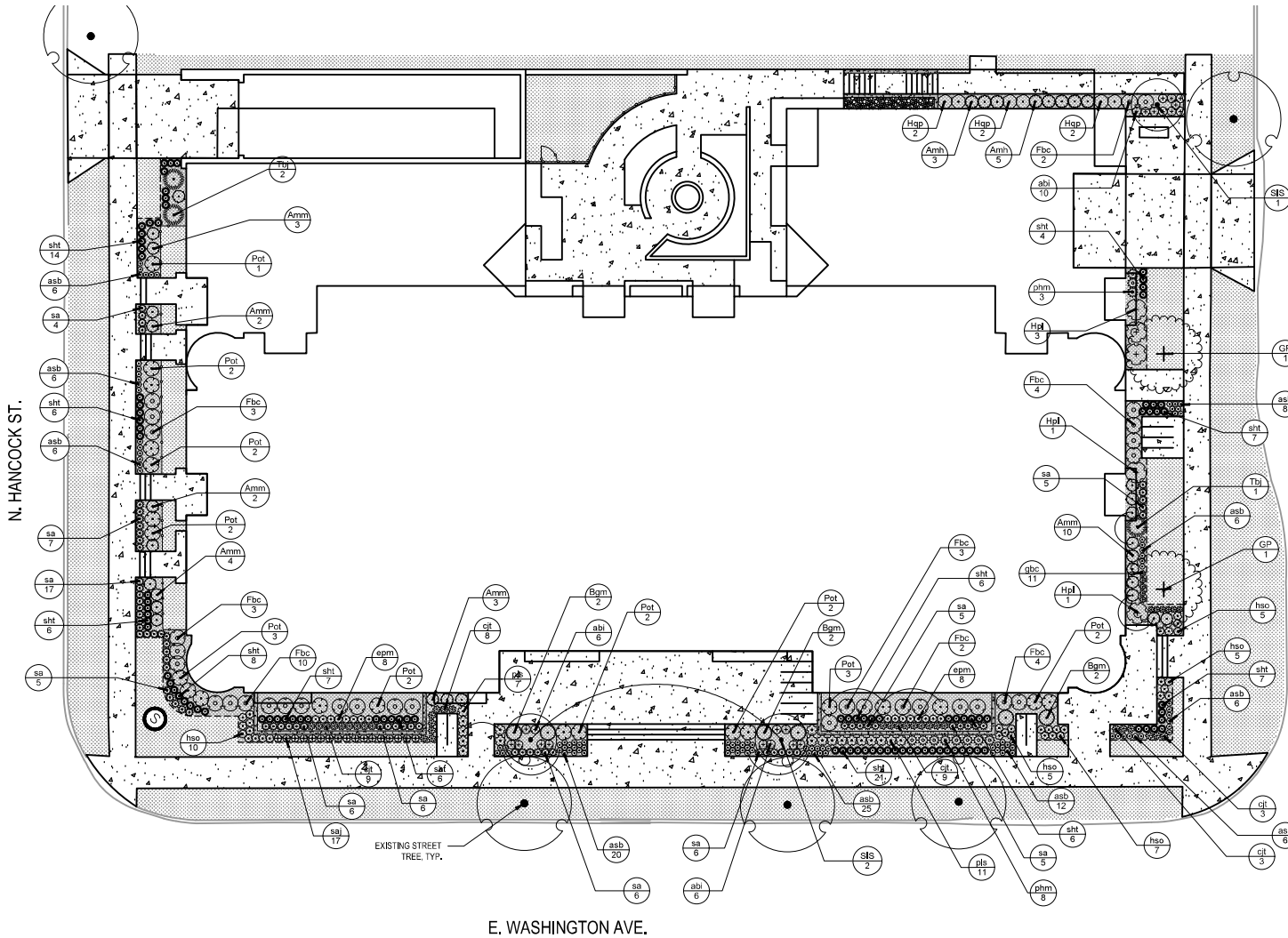
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DATE: 09/02/2020
DRAWN BY: JZM
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PROJECT NO.: 190300

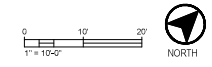
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LEGEND	
	TURF
	HARDWOOD BARK MULCH
	ALUMINUM EDGING
	DECORATIVE STONE MULCH
	FENCE

- NOTES**
- ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHOSE DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
 - AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 4 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE:
[HTTP://WWW.CITYOFMADISON.COM/BUSINESS/FW/SPECS.CFM](http://www.cityofmadison.com/business/fw/specs.cfm)
 - CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
 - SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPILLS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
 - ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERRECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
 - STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
 - AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608)266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.



1 Landscape Plan
 SCALE: 1" = 10'-0"



PLANT SCHEDULE

ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	SJS	Syringa reticulata Ivory Silk / Ivory Silk Japanese Tree Libc	B & B	1.5' Cal	3
DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	GP	Ginkgo biloba Princeton Sentry / Princeton Sentry Ginkgo	B & B	2.5' Cal	2
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	SIZE	QTY
	Amh	Aronia melanocarpa Low Slope Hedger / Low Slope Hedger Chokeberry	3 gal	18" HT (MIN.)	8
	Amm	Aronia melanocarpa UCONNAMISS TM / Low Slope Mound Chokeberry	3 gal	12" HT (MIN.)	27
	Fbc	Fothergilla gardenii Beaver Creek / Dwarf Witchhazel	3 gal	18" HT (MIN.)	32
	Hpl	Hydrangea paniculata Little Quick Fire / Little Quick Fire Hydrangea	3 gal	18" HT (MIN.)	5
	Hsp	Hydrangea quercifolia Pee Wee / Pee Wee Oakleaf Hydrangea	3 gal	18" HT (MIN.)	6
	Pot	Physocarpus opulifolius Tiny Wine / Tiny Wine Ninebark	3 gal	18" HT (MIN.)	28
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	SIZE	QTY
	Bgm	Buxus x Green Mound / Green Mound Boxwood	5 gal	18" HT (MIN.)	6
	Tbj	Thuja occidentalis Bail John / Technito Arborvitae	B & B	4 HT (MIN.)	3
HERBACEOUS PERENNIALS	CODE	BOTANICAL / COMMON NAME	SIZE	SIZE	QTY
	asb	Allium tanguticum Summer Beauty / Summer Beauty Allium	1 gal		110
	abi	Amsonia tabernaemontana Blue Ice / Blue Ice Blue Star	1 gal		22
	cjt	Coreopsis x Jethro Tull / Jethro Tull Tickseed	1 gal		32
	epm	Echinacea x Pixie Meadowrite / Pixie Meadowrite Purple Coneflower	1 gal		16
	gbc	Geranium x cantabrigense Biokovo Carmina / Camine Biokovo Geranium	1 gal		11
	hao	Hemerocallis x Stella de Oro / Stella de Oro Daylily	1 gal		32
	pls	Perovskia atriplicifolia Little Spire TM / Little Spire Russian Sage	1 gal		18
	saj	Sedum x Autumn Joy / Autumn Joy Sedum	1 gal		17
ORNAMENTAL GRASSES	CODE	BOTANICAL / COMMON NAME	SIZE	SIZE	QTY
	phm	Panicum virgatum Heavy Metal / Blue Switch Grass	1 gal		11
	sa	Sceleria autumnalis Autumn Moor Grass	1 gal		88
	srt	Sporobolus heterolepis Tara / Prairie Dropseed	1 gal		102

THE CONTINENTAL
414 E. Washington Ave, Madison, WI 53702
11-Jun-20

Developed Lots	SF	Acres	Landscape Points Subtotal	
Total Developed Area/Lot - Building Area	5,047	0.13		
Landscape Points (5 pts/300 SF for first 5 acres, 1 pt/100 SF for additional)				94
			Landscape Points Required 94	

Development Frontage - N. Franklin St.		Overstory Trees Required*		
LF	LF	Quantity Proposed	Quantity Existing	Shrubs Required
Total LF of Street Frontage Between Parking/Building & Street	132	4		22

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	2		70
Tall Evergreen Tree	35			0
Ornamental Tree	15	1		15
Upright Evergreen Shrub	10	1		10
Shrub, deciduous	3	21		63
Shrub, evergreen	4			0
Ornamental Grass/Perennial	2	86		172
				Development Frontage Points Total 336

Development Frontage - E. Washington Ave.		Overstory Trees Required*		
LF	LF	Quantity Proposed	Quantity Existing	Shrubs Required
Total LF of Street Frontage Between Parking/Building & Street	280	7		33

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35			0
Tall Evergreen Tree	35			0
Ornamental Tree	15	2		30
Upright Evergreen Shrub	10			0
Shrub, deciduous	3	33		99
Shrub, evergreen	4	6		24
Ornamental Grass/Perennial	2	275		550
				Development Frontage Points Total 703

Development Frontage - N. Hancock St.		Overstory Trees Required*		
LF	LF	Quantity Proposed	Quantity Existing	Shrubs Required
Total LF of Street Frontage Between Parking/Building & Street	132	4		22

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35			0
Tall Evergreen Tree	35			0
Ornamental Tree	15			0
Upright Evergreen Shrub	10	2		20
Shrub, deciduous	3	37		111
Shrub, evergreen	4			0
Ornamental Grass/Perennial	2	94		188
				Development Frontage Points Total 319

General Site, Foundation, Screening				
Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35			0
Tall Evergreen Tree	35			0
Ornamental Tree	15			0
Upright Evergreen Shrub	10			0
Shrub, deciduous	3	14		42
Shrub, evergreen	4			0
Ornamental Grass/Perennial	2			0
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4			0
				Foundation Plantings Total 42

TOTAL LANDSCAPE POINTS 1400

* Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) overstory deciduous tree.
 ** Two (2) ornamental deciduous trees may be substituted for one (1) canopy tree, but ornamental trees shall constitute no more than twenty-five percent (25%) of the required trees.



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September 2, 2020

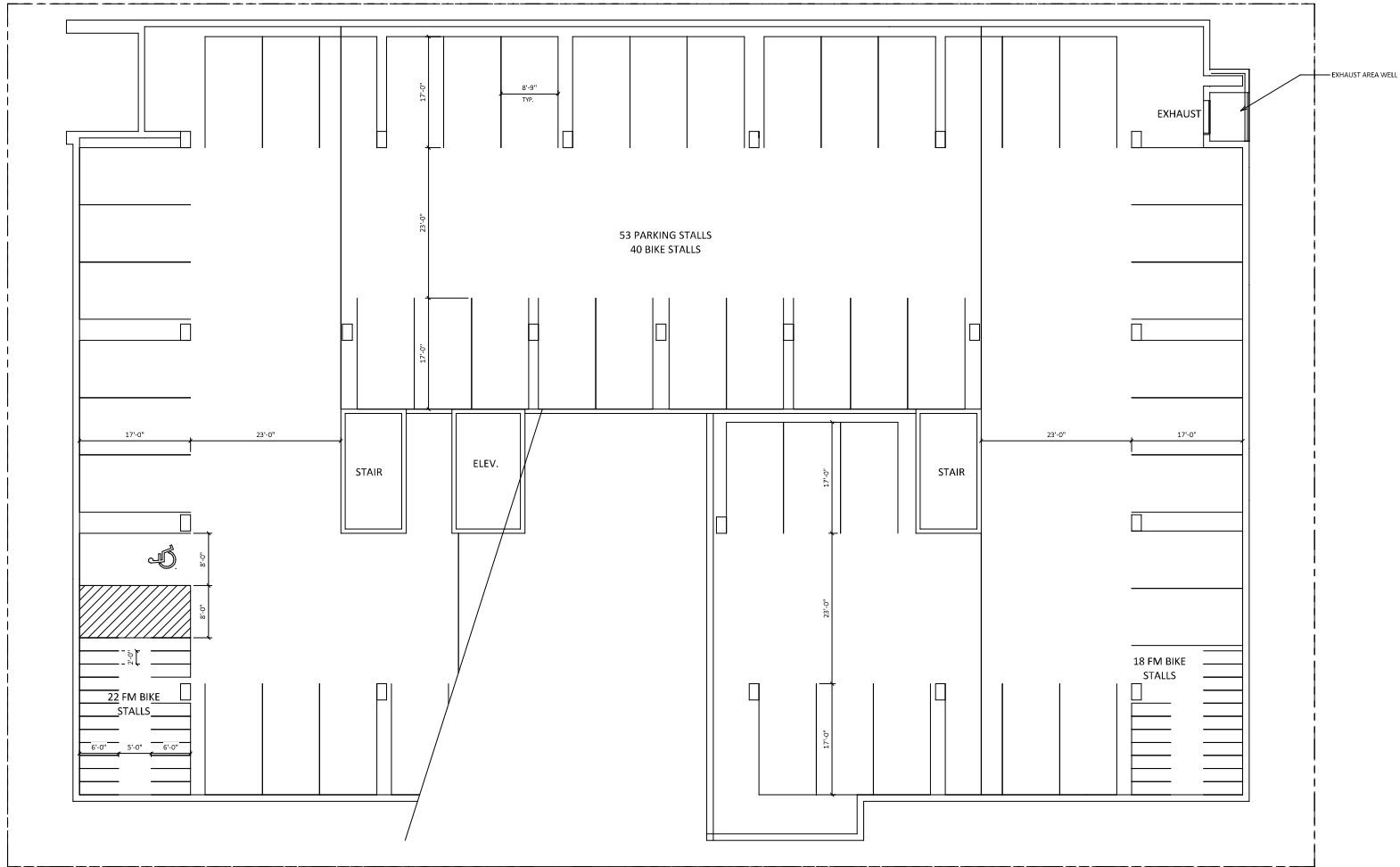
PROJECT TITLE
THE CONTINENTAL

414 E Washington Ave
SHEET TITLE
Plant
Schedule and
Landscape
Worksheet

SHEET NUMBER

L-1.1

PROJECT NO. 1972
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 Issued for Land Use April 1, 2020

PROJECT TITLE
**THE
 CONTINENTAL**

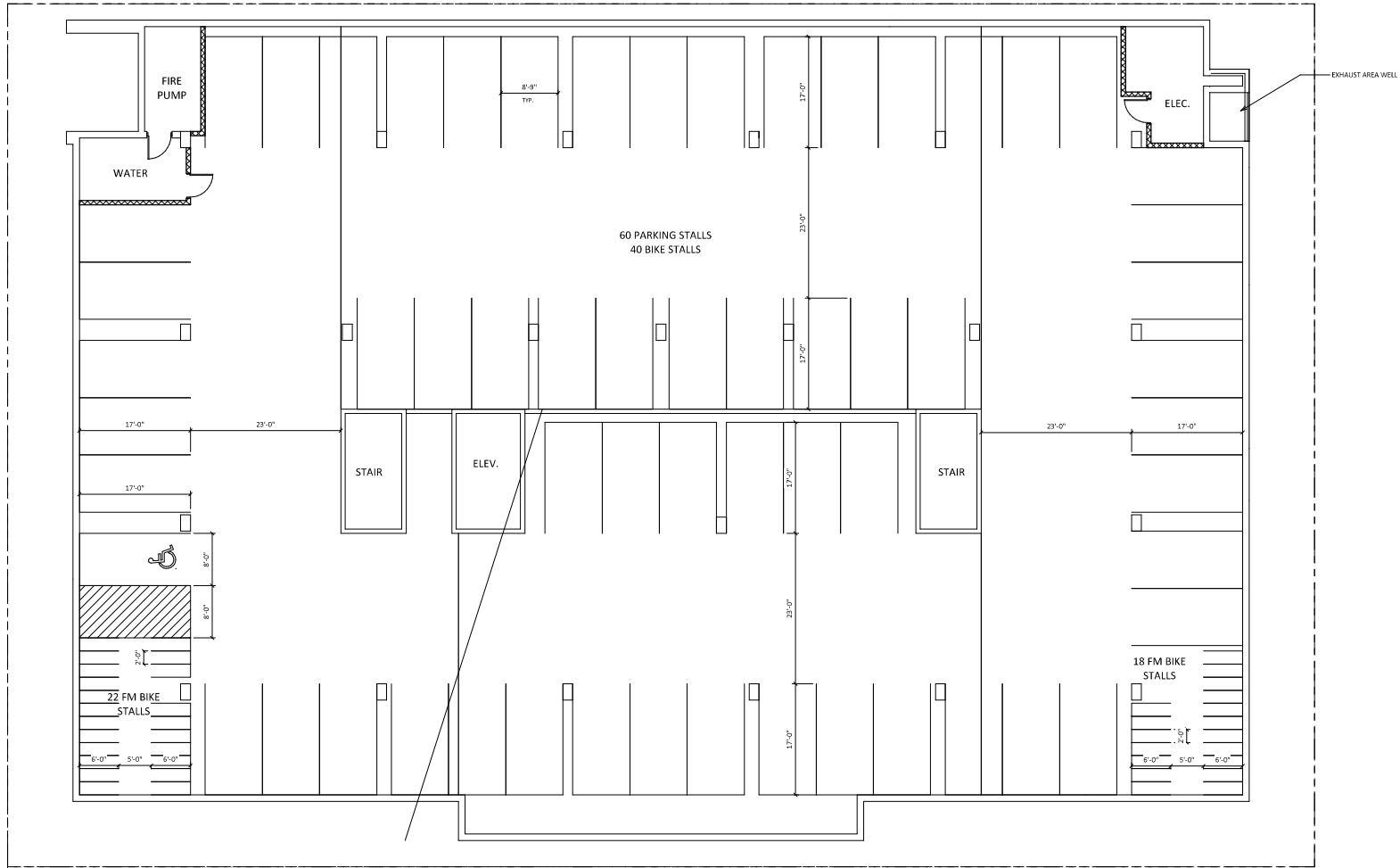
414 E Washington
 Ave

SHEET TITLE
**UNDERGROUND
 PARKING LEVEL
 2**

SHEET NUMBER

A-1.P2
 PROJECT NUMBER **1972**
 © Knothe & Bruce Architects, LLC

1 UNDERGROUND PARKING LEVEL 2
 1/8" = 1'-0"



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PROJECT TITLE
**THE
 CONTINENTAL**

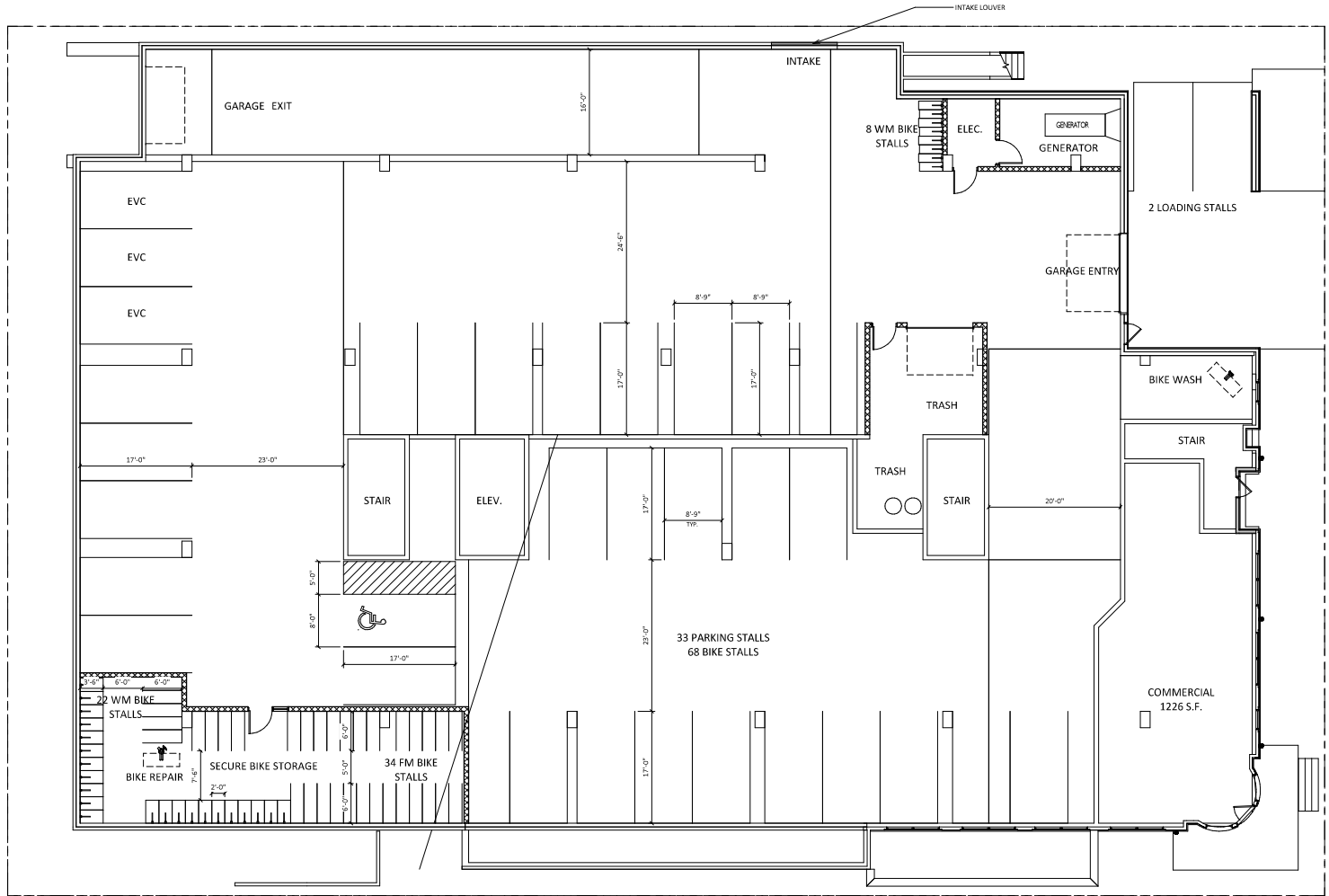
414 E Washington
 Ave

SHEET TITLE
**UNDERGROUND
 PARKING LEVEL
 1**

SHEET NUMBER

A-1.P1
 PROJECT NUMBER **1972**
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1 UNDERGROUND PARKING LEVEL 1
 A-1.P1 1/8" = 1'-0"



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PROJECT TITLE
THE CONTINENTAL

414 E Washington Ave

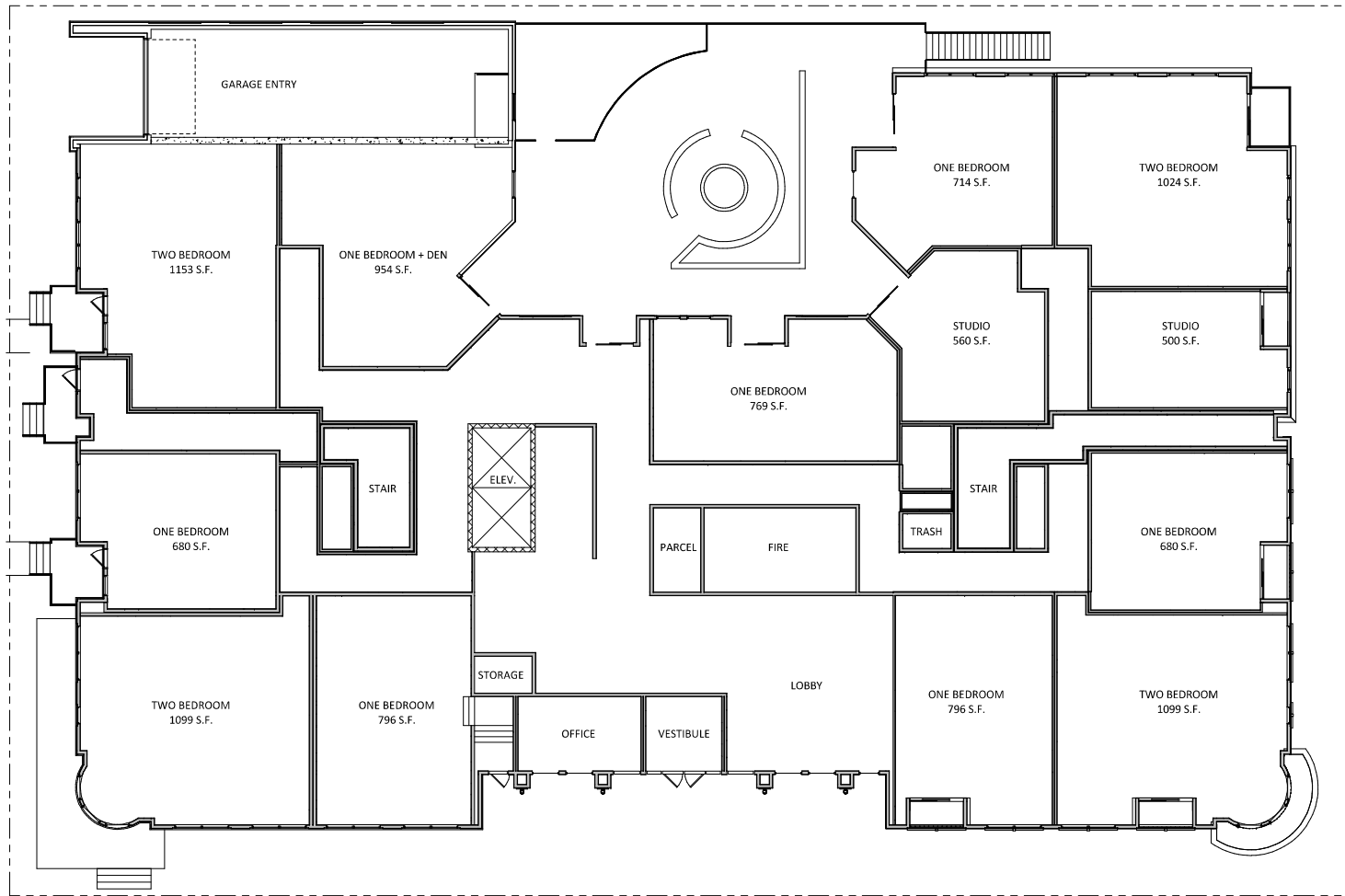
SHEET TITLE
**FRANKLIN ST.
LEVEL FLOOR PLAN**

SHEET NUMBER

A-1.0

PROJECT NUMBER **1972**
© Knothe & Bruce Architects, LLC

1 FRANKLIN ST. LEVEL FLOOR PLAN
A-1.0 1/8" = 1'-0"



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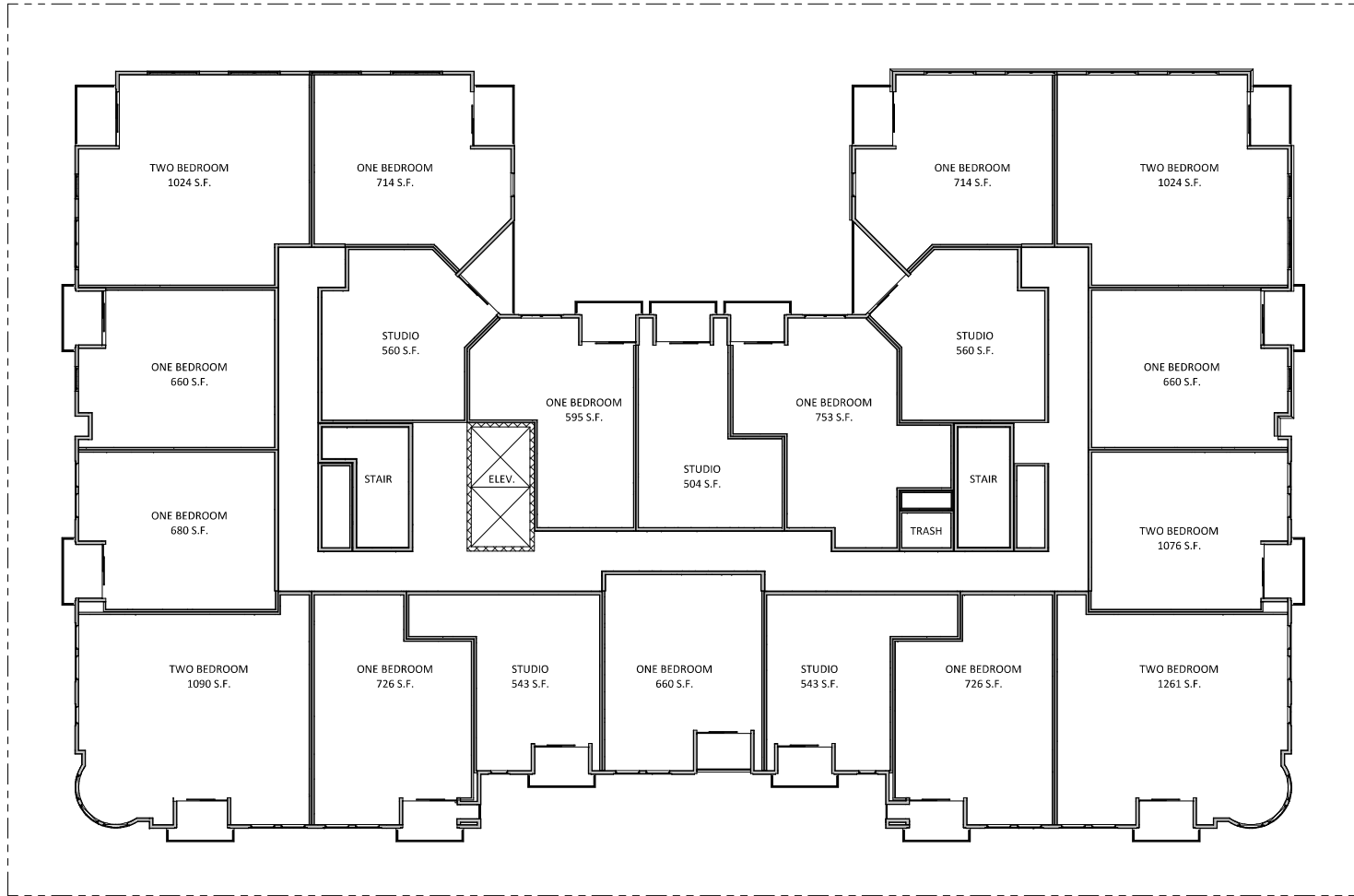
PROJECT TITLE
**THE
 CONTINENTAL**

414 E Washington
 Ave
 SHEET TITLE
**FIRST FLOOR
 PLAN**

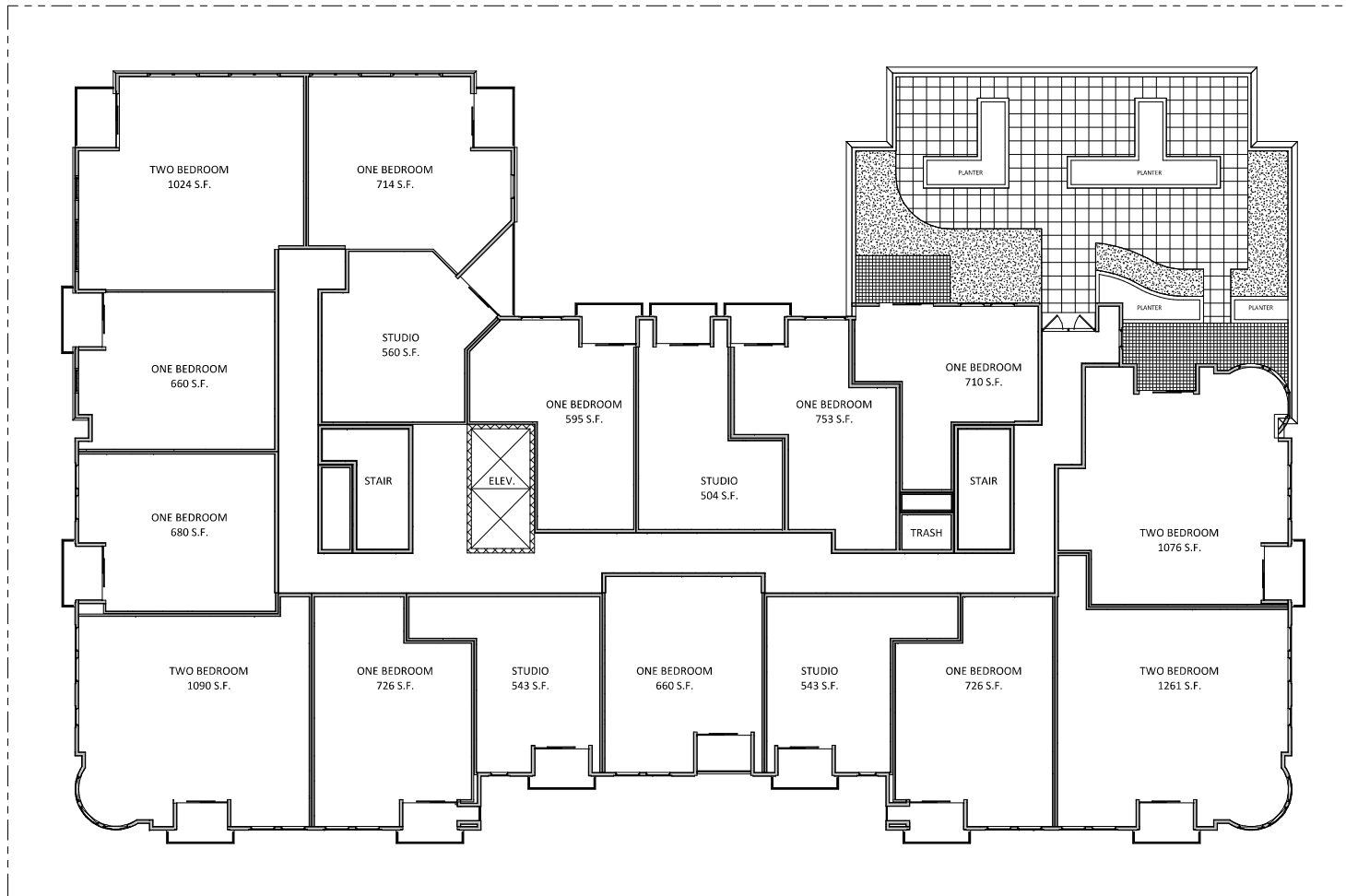
SHEET NUMBER

A-1.1
 PROJECT NUMBER **1972**
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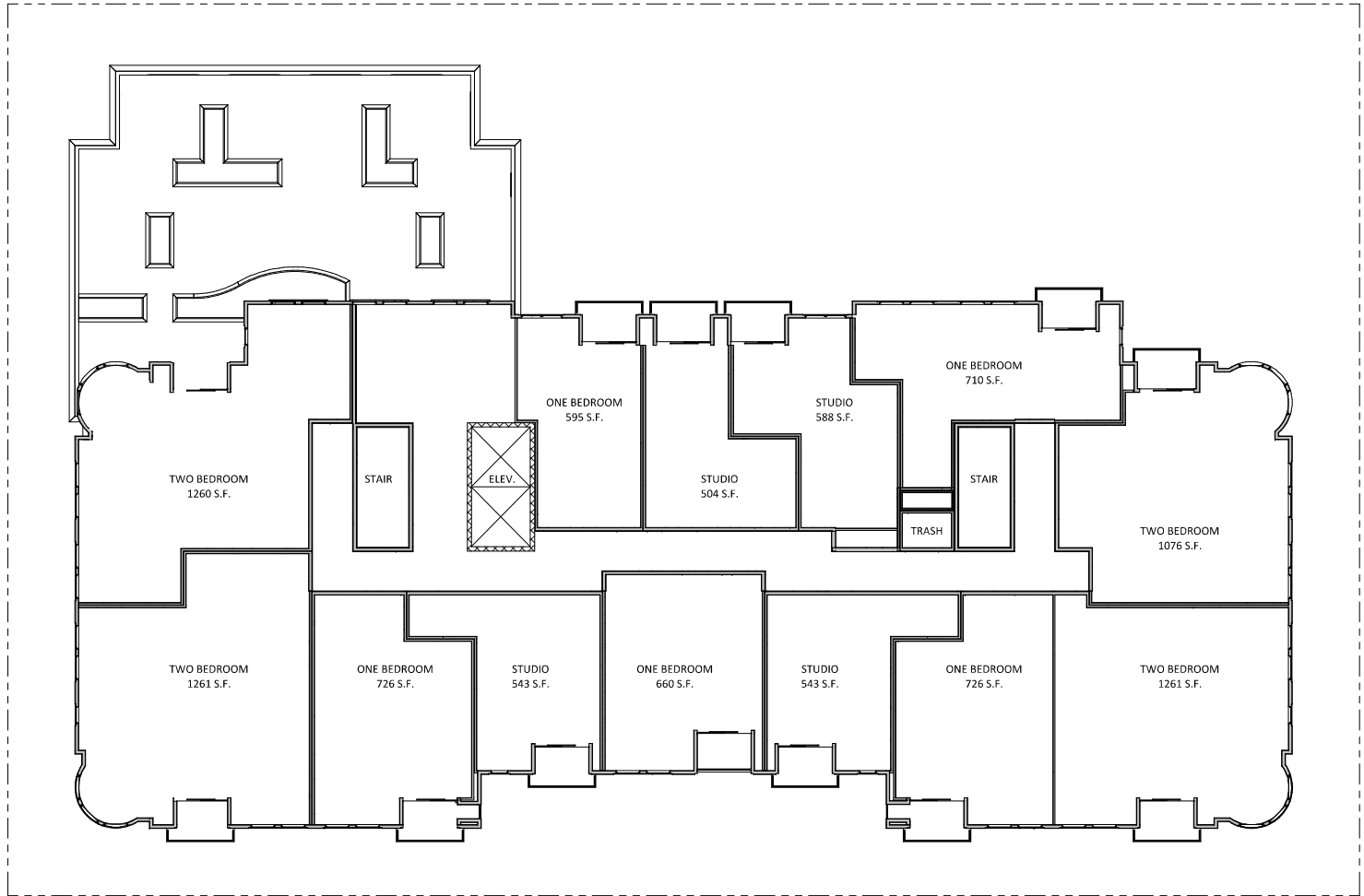
FIRST FLOOR PLAN
 1/8" = 1'-0"



1
 A-1.2
 1/8" = 1'-0"
SECOND - FIFTH FLOOR PLAN



SIXTH FLOOR PLAN
 1/8" = 1'-0"



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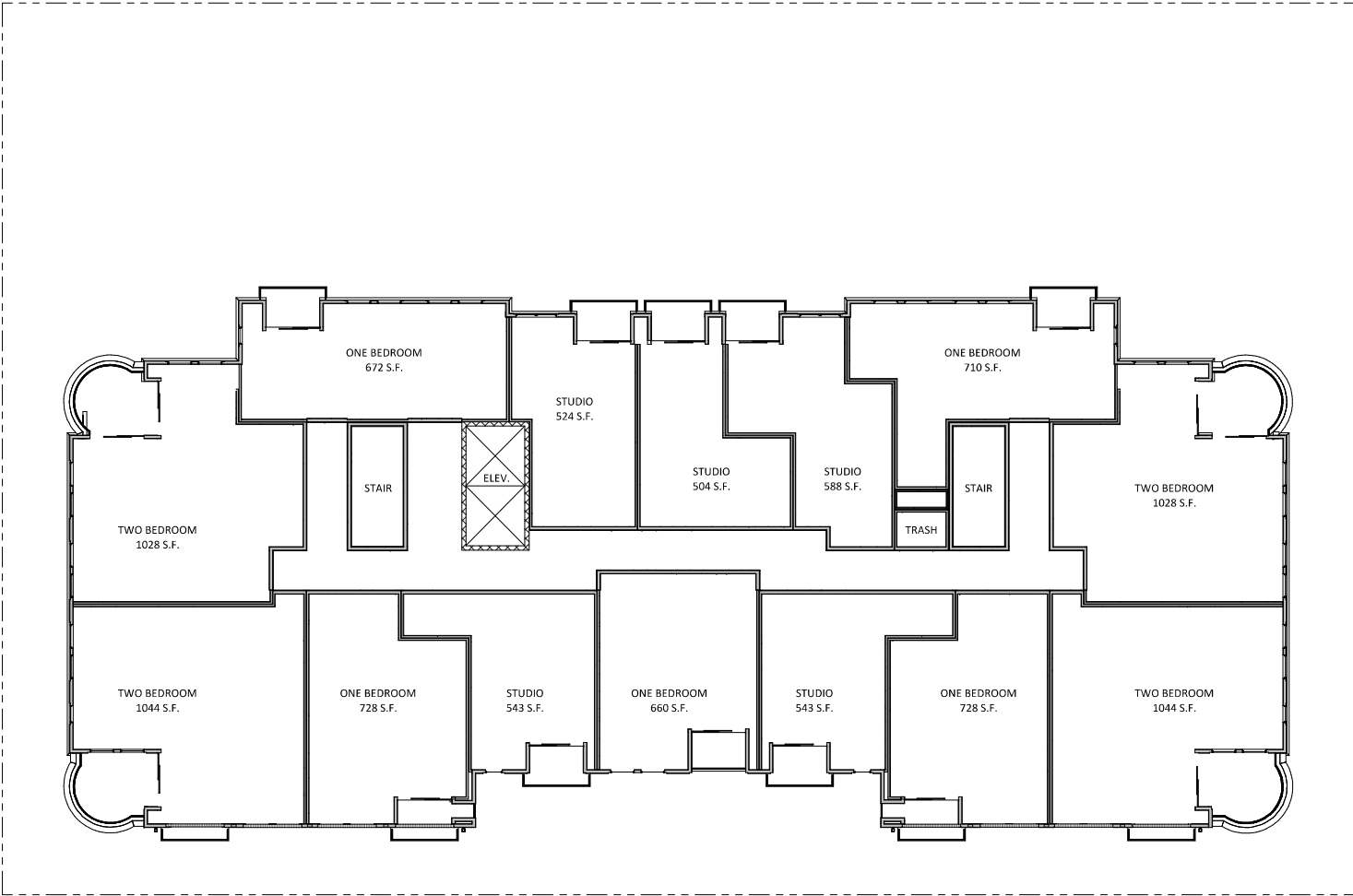
PROJECT TITLE
**THE
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414 E Washington
 Ave
 SHEET TITLE
**SEVENTH FLOOR
 PLAN**

SHEET NUMBER

A-1.7
 PROJECT NUMBER **1972**
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SEVENTH FLOOR PLAN
 1/8" = 1'-0"



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PROJECT TITLE
**THE
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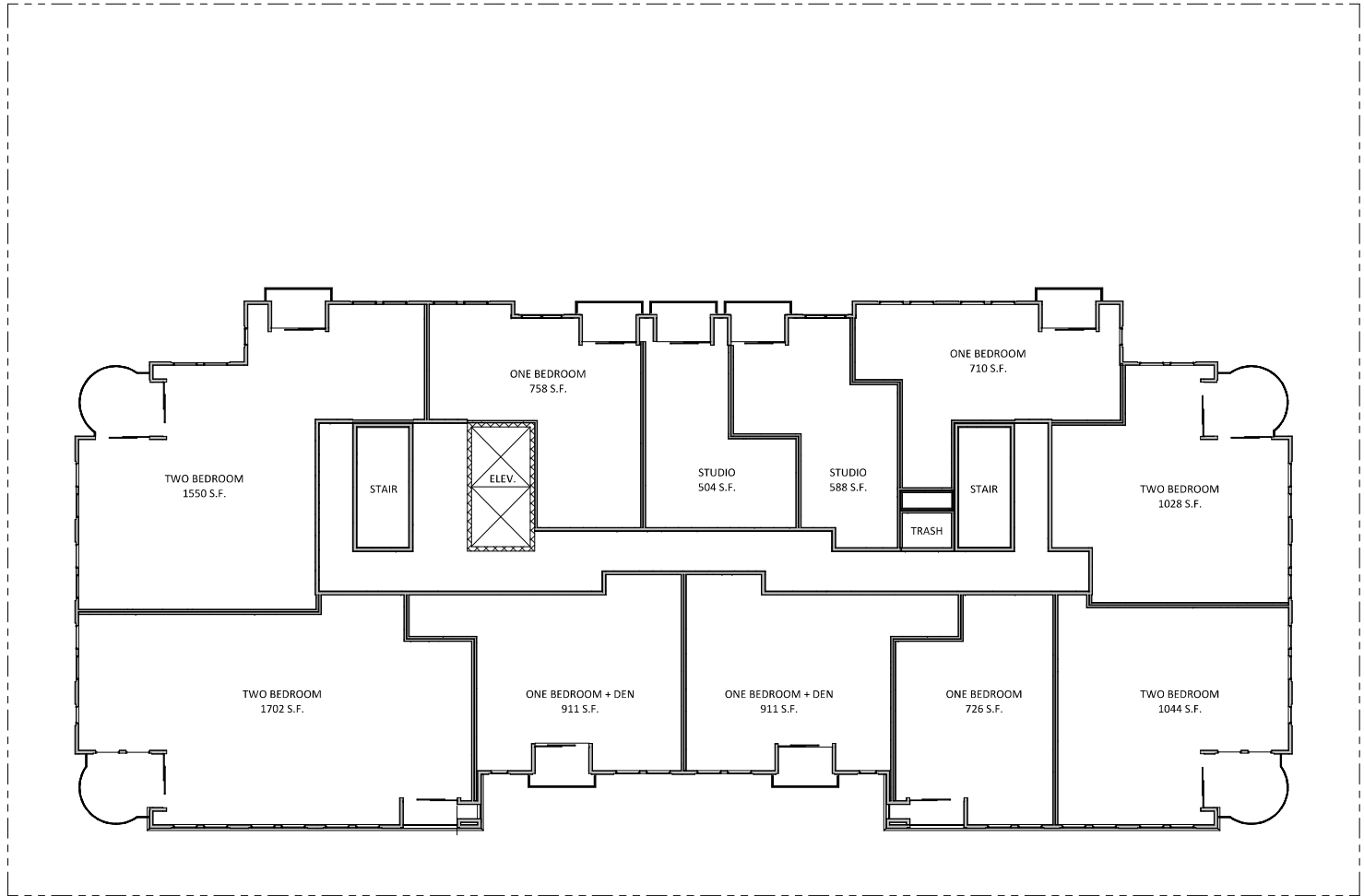
SHEET TITLE
**EIGHTH FLOOR
 PLAN**

SHEET NUMBER

A-1.8

PROJECT NUMBER **1972**
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EIGHTH FLOOR PLAN
 1/8" = 1'-0"



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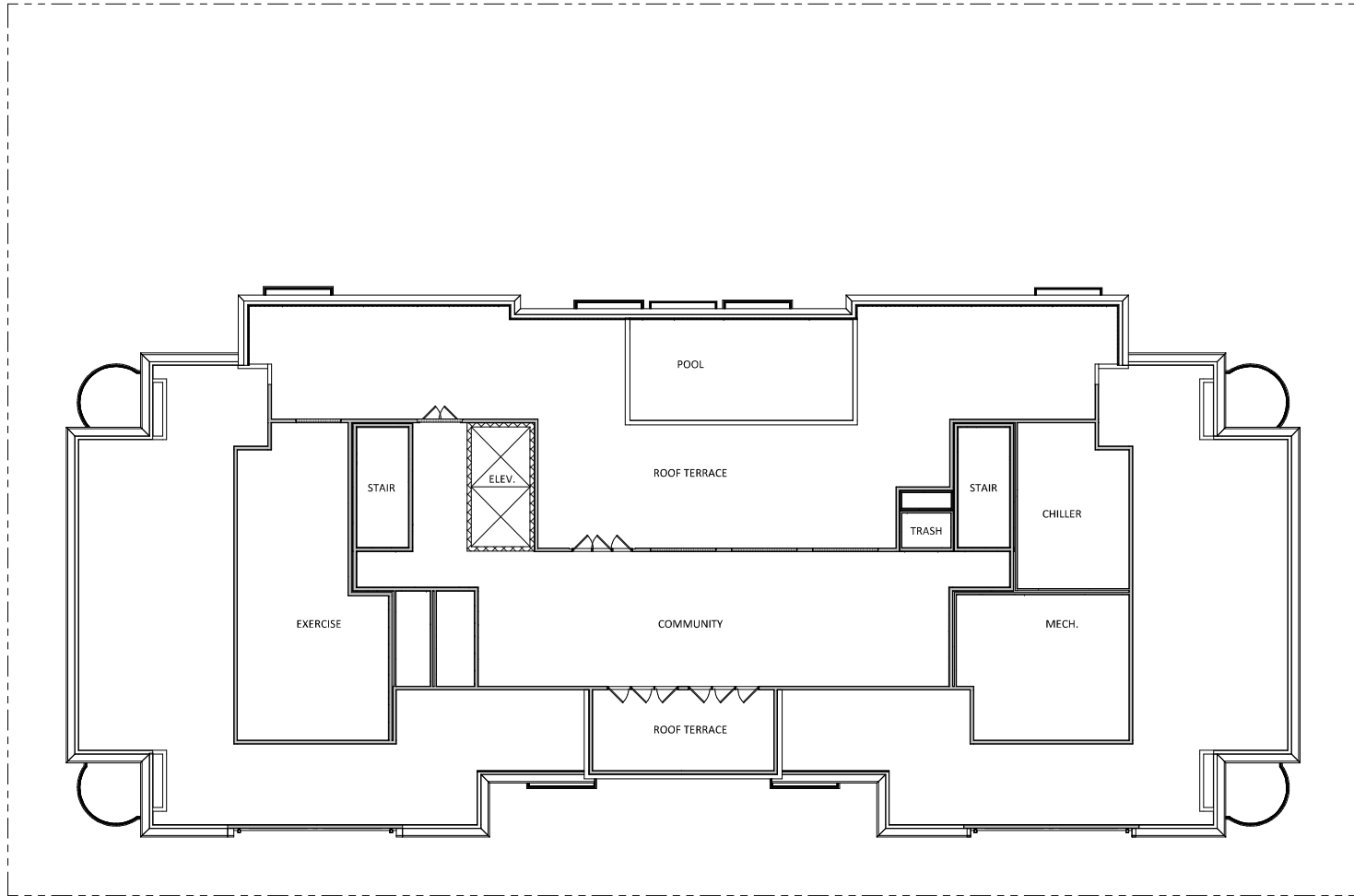
PROJECT TITLE
**THE
 CONTINENTAL**

414 E Washington
 Ave
 SHEET TITLE
**NINTH FLOOR
 PLAN**

SHEET NUMBER

A-1.9
 PROJECT NUMBER **1972**
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1
 A-1.9
NINTH FLOOR PLAN
 1/8" = 1'-0"



ISSUED

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PROJECT TITLE

THE

CONTINENTAL

414 E Washington

 Ave

SHEET TITLE

PENTHOUSE

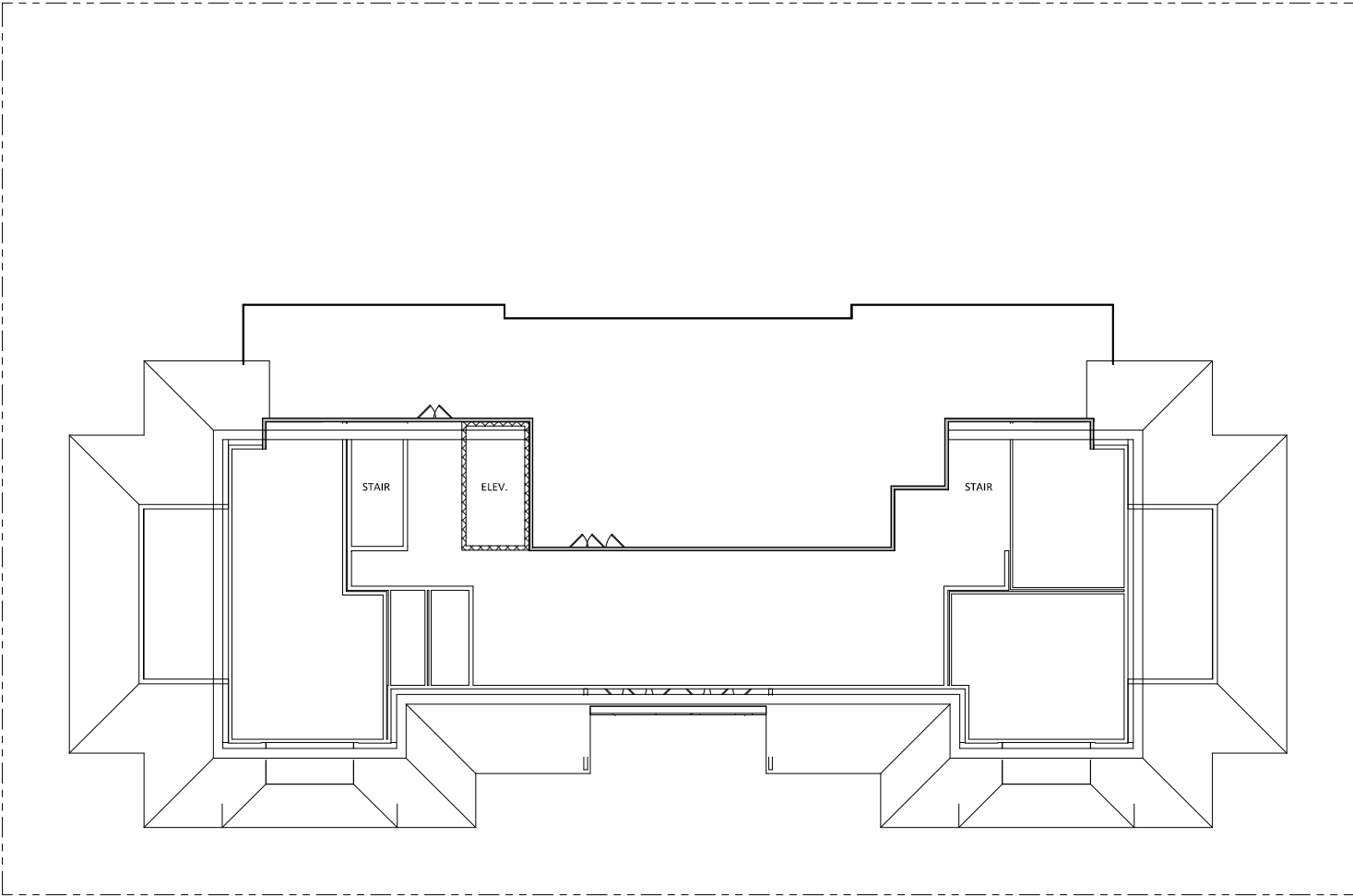
PLAN

SHEET NUMBER

A-1.10

PROJECT NUMBER **1972**

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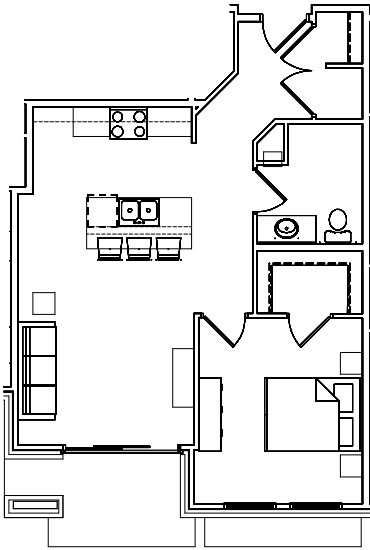
PROJECT TITLE
**THE
CONTINENTAL**

414 E Washington
Ave
SHEET TITLE
ROOF PLAN

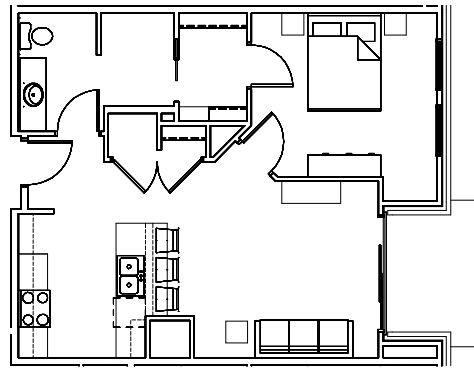
MECHANICAL PENTHOUSE FLOOR PLAN
1
A-1.11 1/8" = 1'-0"

SHEET NUMBER

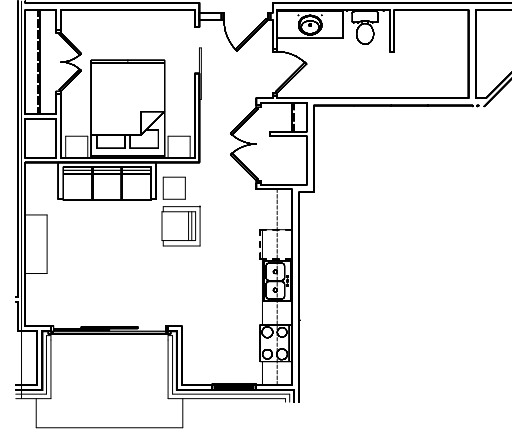
A-1.11
PROJECT NUMBER 1972
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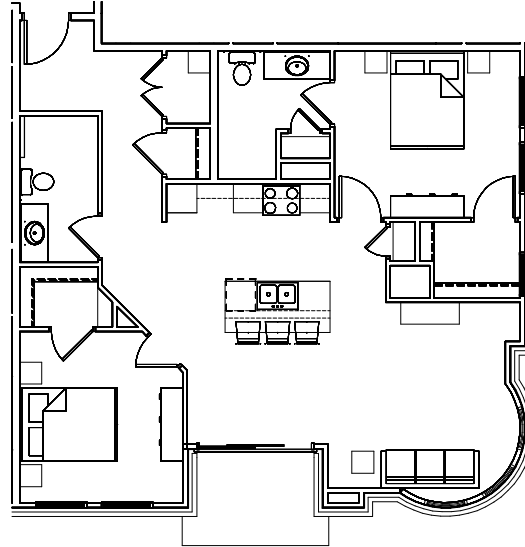
1
 A-1.13
 Typical Unit One Bedroom
 1/4" = 1'-0"



2
 A-1.13
 Typical Unit One Bedroom
 1/4" = 1'-0"



3
 A-1.13
 Typical Unit Studio
 1/4" = 1'-0"



4
 A-1.13
 Typical Unit Two Bedroom
 1/4" = 1'-0"



1 North East
 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
BRICK VENEER - (#1)	SUMMIT	FAWN SMOOTH
BRICK VENEER - (#2)	CLOUD CERAMICS	KANSAS GOLD
MASONRY - (#1) - ARRISCRAFT RENAISSANCE STONE OR CORDOVA STONE BUFF	ARRISCRAFT	SANDRIFT
STANDING SEAM METAL ROOF	(TBD)	SLATE
WINDOWS	N/A	CAMEO
STOREFRONT	FIBERGLASS OR ALUMINUM	BLACK
METAL DOORS/FRAMES	N/A	(TBD)
STONE SILLS & BANDS	EDWARDS	COLOR TO MATCH STONE VENEER
SOFFITS & FASCIA	N/A	(TBD)
RAILINGS	N/A	BLACK

○ Elevations - Exterior Material Schedule
 1/8" = 1'-0"



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PROJECT TITLE
THE CONTINENTAL

414 E Washington Ave
 SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER

A-2.2
 PROJECT NUMBER 1972
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EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
BRICK VENEER - (#1)	SUMMIT	FAWN SMOOTH
BRICK VENEER - (#2)	CLOUD CERAMICS	KANSAS GOLD
MASONRY - (#1) ARRISCRAFT RENAISSANCE STONE OR CORDOVA STONE BUFF	ARRISCRAFT	SANDRIFT
STANDING SEAM METAL ROOF	(TRD)	SLATE
WINDOWS	N/A	CAMEO
STOREFRONT	FIBERGLASS OR ALUMINIUM	(TBD)
METAL DOORS/FRAMES	N/A	(TBD)
STONE SILLS & BANDS	EDWARDS	COLOR TO MATCH STONE VENEER
SOFFITS & FASCIA	N/A	(TBD)
RAILINGS	N/A	BLACK

Elevations - Exterior Material Schedule
 1/8" = 1'-0"

North West
 1/8" = 1'-0"



EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
BRICK VENEER - (#1)	SUMMIT	FAWN SMOOTH
BRICK VENEER - (#2)	CLOUD CERAMICS	KANSAS GOLD
MASONRY - (#1)	ARRISCRAFT	SANDRIFT
MASONRY - (#2)	ARRISCRAFT RENAISSANCE STONE OR CORDOVA STONE BUFF	
STANDING SEAM METAL ROOF	(TBD)	SLATE
WINDOWS	N/A	CAMEL
STOREFRONT	FIBERGLASS OR ALUMINUM	BLACK
METAL DOORS/FRAMES	N/A	(TBD)
STONE SILLS & BANDS	EDWARDS	COLOR TO MATCH STONE VENEER
SOFFITS & FASCIA	N/A	(TBD)
RAILINGS	N/A	BLACK

Elevations - Exterior Material Schedule
 1/8" = 1'-0"

South East
 1/8" = 1'-0"



EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
BRICK VENEER - (#1)	SUMMIT	FAWN SMOOTH
BRICK VENEER - (#2)	CLOUD CERAMICS	KANSAS GOLD
MASONRY - (#1)	ARRISCRAFT	SANDRIFT
MASONRY - (#2)	ARRISCRAFT RENAISSANCE STONE OR CORDOVA STONE BUFF	
STANDING SEAM METAL ROOF	(TBD)	SLATE
WINDOWS	N/A	CAMEO
STOREFRONT	FIBERGLASS OR ALUMINIUM	BLACK
METAL DOORS/FRAMES	N/A	(TBD)
STONE SILLS & BANDS	EDWARDS	COLOR TO MATCH STONE VENEER
SOFFITS & FASCIA	N/A	(TBD)
RAILINGS	N/A	BLACK

Elevations - Exterior Material Schedule
 1/8" = 1'-0"

South West
 1/8" = 1'-0"



1 Colored - North East
 A-2.5 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
BRICK VENEER - (#1)	SUMMIT	FAWN SMOOTH
BRICK VENEER - (#2)	CLOUD CERAMICS	KANSAS GOLD
MASONRY - (#1) - ARRISCRAFT RENAISSANCE STONE OR CORDOVA STONE BLUFF	ARRISCRAFT	SANDRIFT
STANDING SEAM METAL ROOF	(TBO)	SLATE
WINDOWS	N/A	CAMEO
STOREFRONT	FIBERGLASS OR ALUMINIUM	BLACK
METAL DOORS/FRAMES	N/A	(TBD)
STONE SILLS & BANDS	EDWARDS	COLOR TO MATCH STONE VENEER
SOFFITS & FASCIA	N/A	(TBD)
RAILINGS	N/A	BLACK

2 Elevations - Exterior Material Schedule
 1/8" = 1'-0"



1 Colored - North West
 A-2.6
 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
BRICK VENEER - (R1)	SUMMIT	FAWN SMOOTH
BRICK VENEER - (R2)	CLOUD CERAMICS	KANSAS GOLD
MASONRY - (R3) - ARRIS CRAFT RENAISSANCE STONE OR CORDOVA STONE BUFF	ARRIS CRAFT	SANDRIFT
STANDING SEAM METAL ROOF	(TBD)	SLATE
WINDOWS	N/A	CAMEO
STOREFRONT	FIBERGLASS OR ALUMINIUM	BLACK
METAL DOORS/FRAMES	N/A	(TBD)
STONE SILLS & BANDS	EDWARDS	COLOR TO MATCH STONE VENEER
SOFFITS & FASCIA	N/A	(TBD)
RAILINGS	N/A	BLACK

1 Elevations - Exterior Material Schedule
 1/8" = 1'-0"

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 Issued for Land Use April 1, 2020
 Issued for Land Use September 2, 2020

PROJECT TITLE
THE CONTINENTAL

414 E Washington Ave

SHEET TITLE
EXTERIOR ELEVATIONS - COLORED

SHEET NUMBER

A-2.7

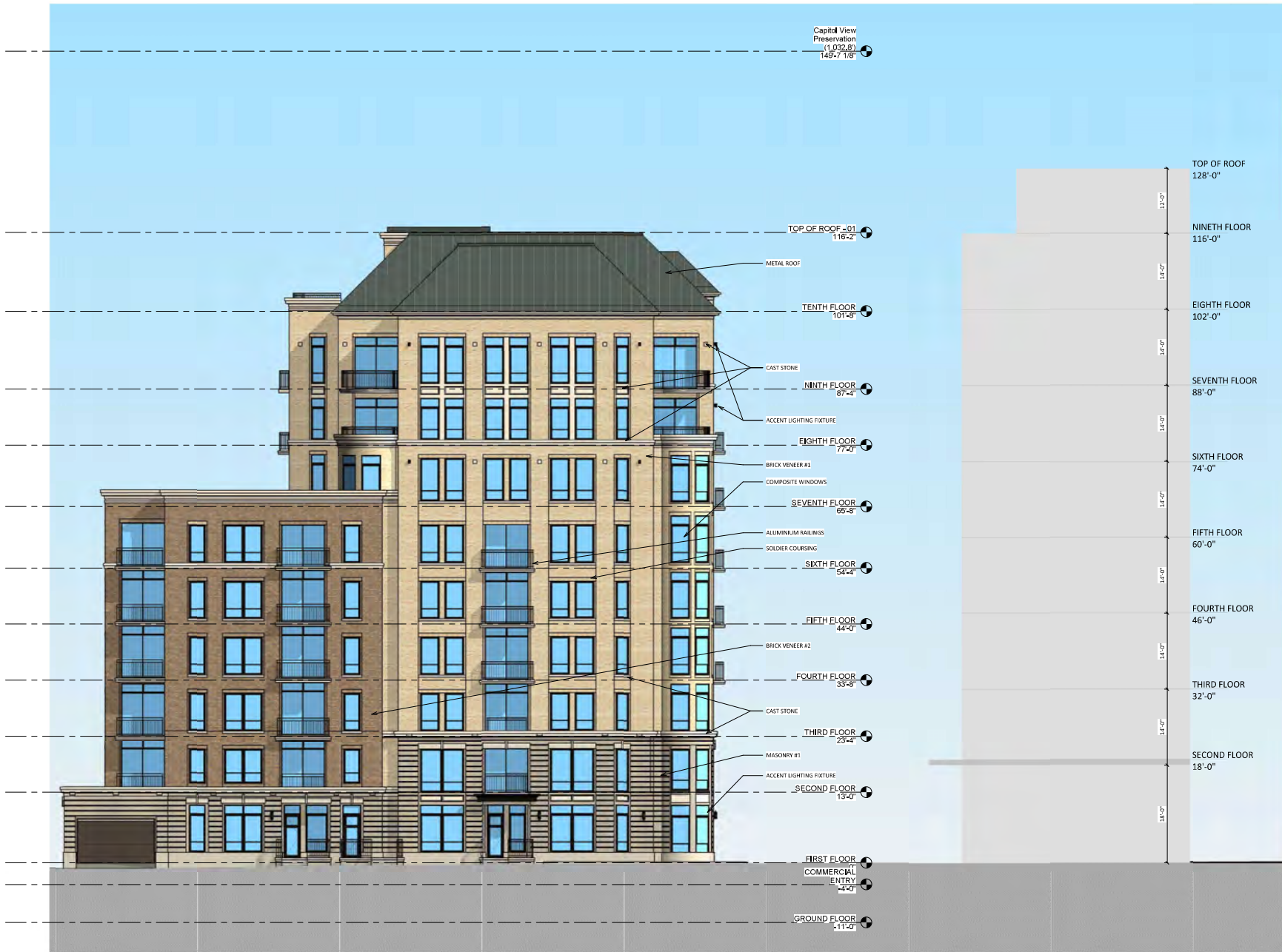
PROJECT NUMBER **1972**
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EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
BRICK VENEER - (R1)	SUMMIT	FAWN SMOOTH
BRICK VENEER - (R2)	CLOUD CERAMICS	KANSAS GOLD
MASONRY - (R3) - ARRISCRAFT RENAISSANCE STONE OR CORDOVA STONE BUFF	ARRISCRAFT	SANDRIFT
STANDING SEAM METAL ROOF	(TBD)	SLATE
WINDOWS	N/A	CAMEO
STOREFRONT	FIBERGLASS OR ALUMINUM	BLACK
METAL DOORS/FRAMES	N/A	(TBD)
STONE SILLS & BANDS	SIWARDS	COLOR TO MATCH STONE VENEER
SCOFFITS & FASCIA	N/A	(TBD)
RAILINGS	N/A	BLACK

Elevations - Exterior Material Schedule
 1/8" = 1'-0"

Colored - South East
 1/8" = 1'-0"



1
 Colored - South West
 1/8" = 1'-0"



A-3.1 - RENDER VIEW 1
E. WASHINGTON AVE.





A-3.2 - RENDER VIEW 2
E. WASHINGTON AVE.





A-3.3 - RENDER VIEW 3
E. WASHINGTON AVE.





A-3.4 - RENDER VIEW 4
E. WASHINGTON AVE.





NOW RENTING

A-3.6 - RENDER VIEW 6
E. WASHINGTON AVE.





A-3.7 - RENDER VIEW 7
E. WASHINGTON AVE.





A-3.8 - RENDER VIEW 8
E. WASHINGTON AVE.





A-3.9 - RENDER VIEW 9
E. WASHINGTON AVE.





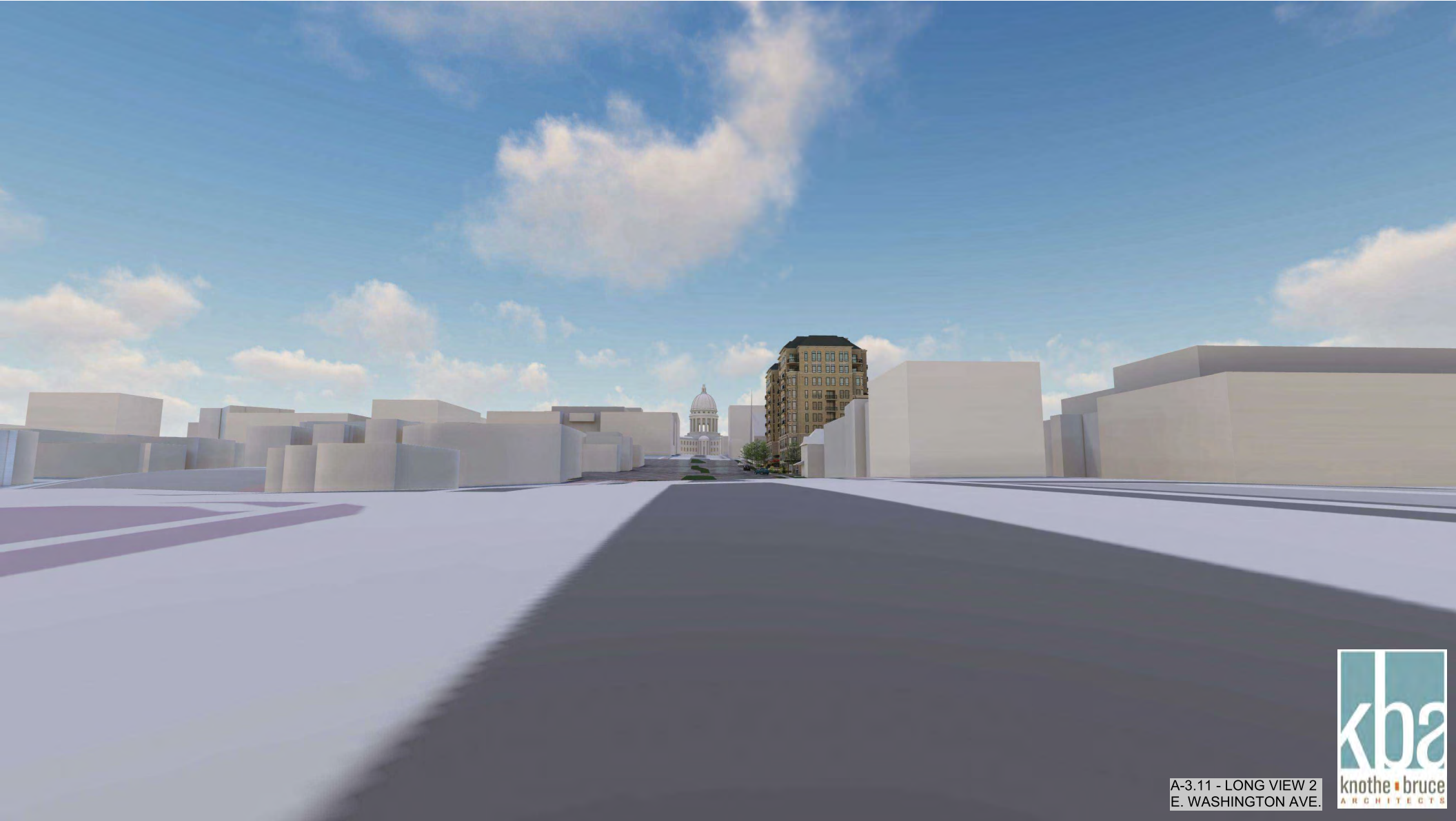
A-3.9B - RENDER VIEW 10
E. WASHINGTON AVE.
E. WASHINGTON AVE.
October 30, 2020





A-3.10 - LONG VIEW 1
E. WASHINGTON AVE.





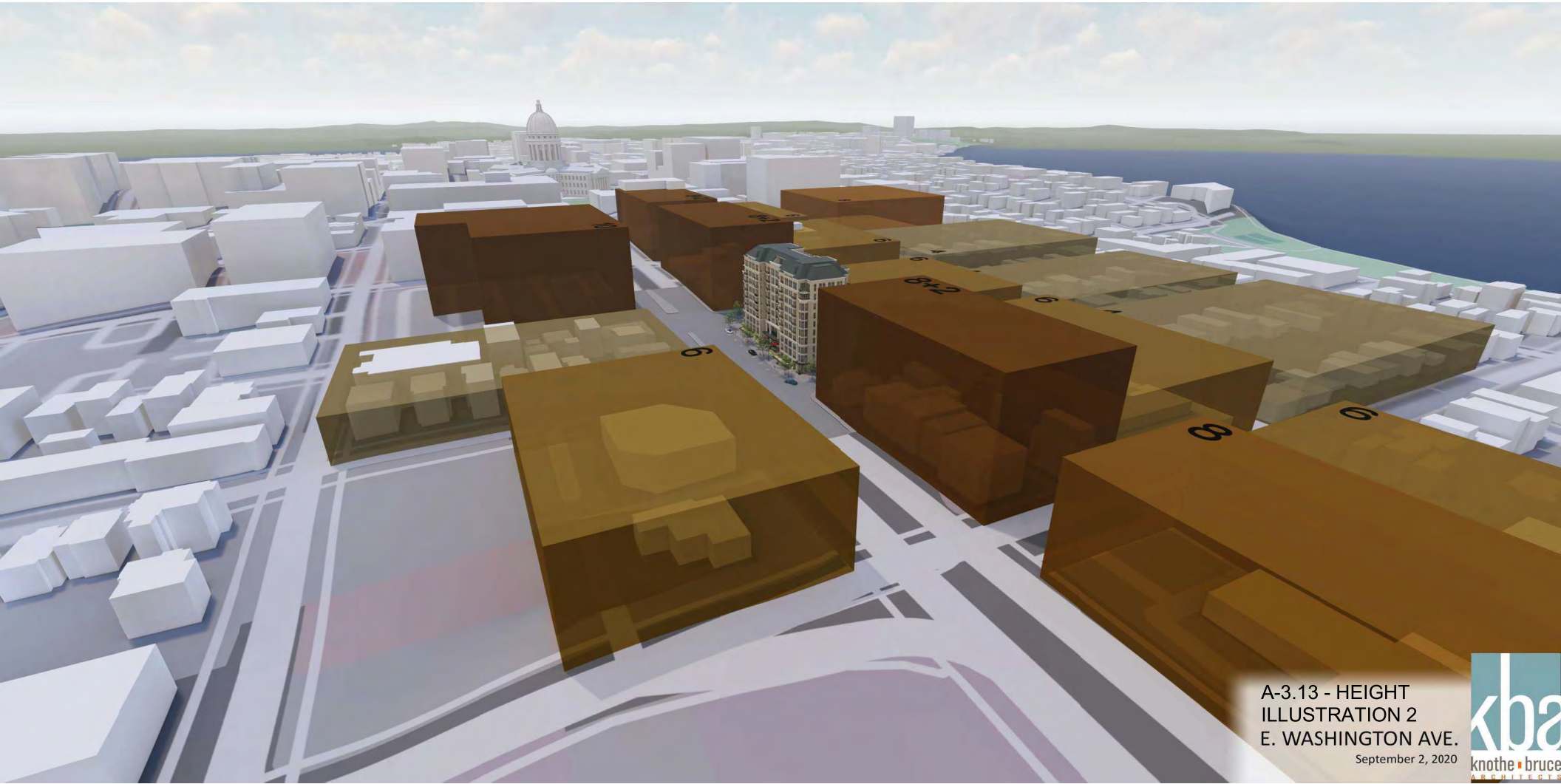
A-3.11 - LONG VIEW 2
E. WASHINGTON AVE.





A-3.12 - HEIGHT
ILLUSTRATION 1
E. WASHINGTON AVE.
September 2, 2020





A-3.13 - HEIGHT
ILLUSTRATION 2
E. WASHINGTON AVE.
September 2, 2020



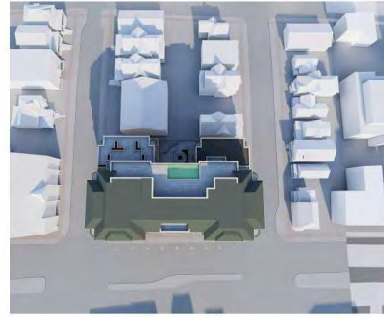
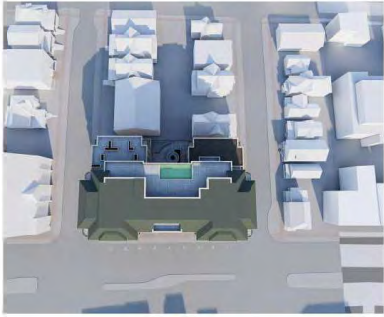
SPRING EQUINOX

SUMMER SOLSTICE

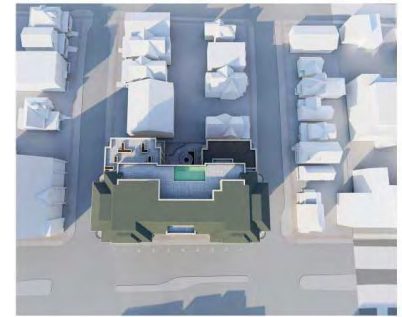
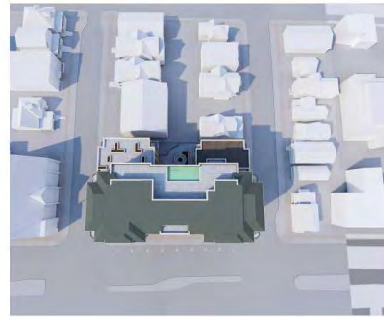
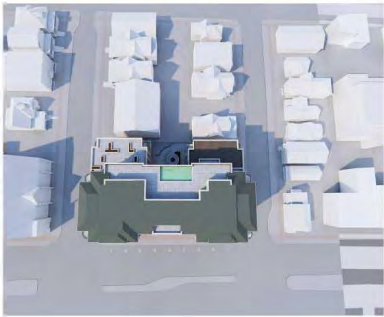
FALL EQUINOX

WINTER SOLSTICE

9:00 AM



12:00 PM

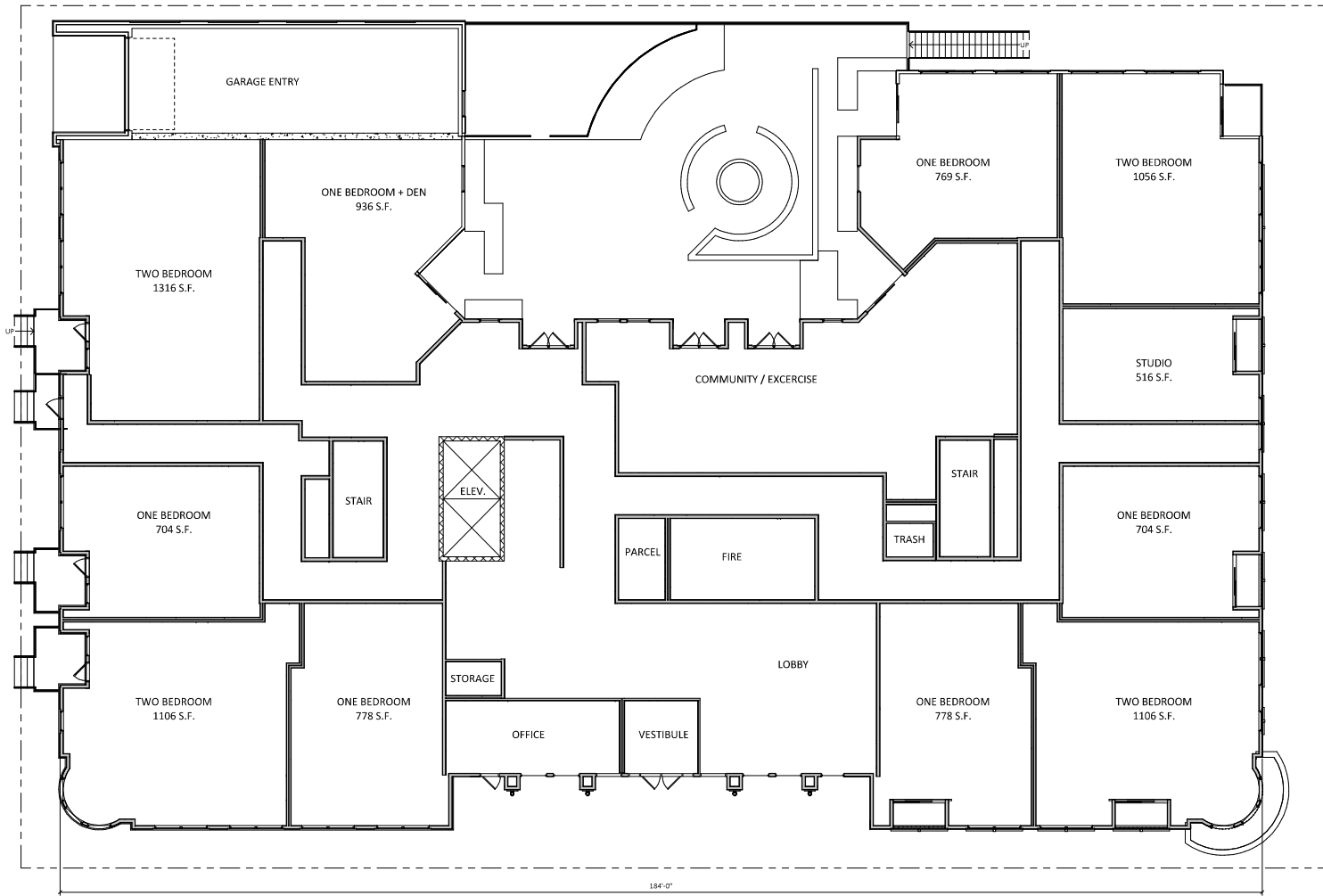


3:00 PM



SHADOW STUDY
E. WASHINGTON AVE.





1 FIRST FLOOR PLAN
 A-1.1 1/8" = 1'-0"

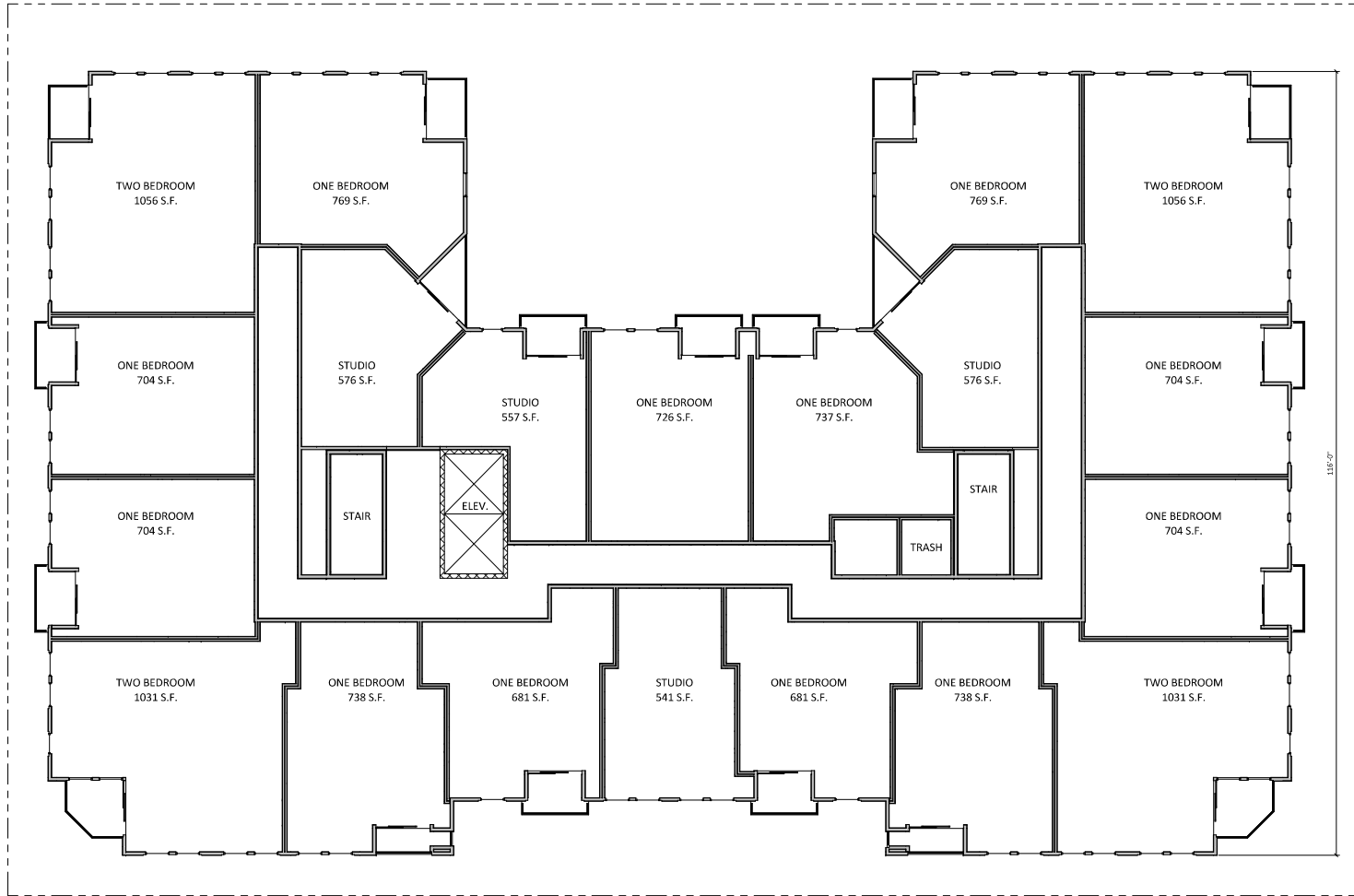
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 Issued for Land Use September 2, 2020

PROJECT TITLE
**THE
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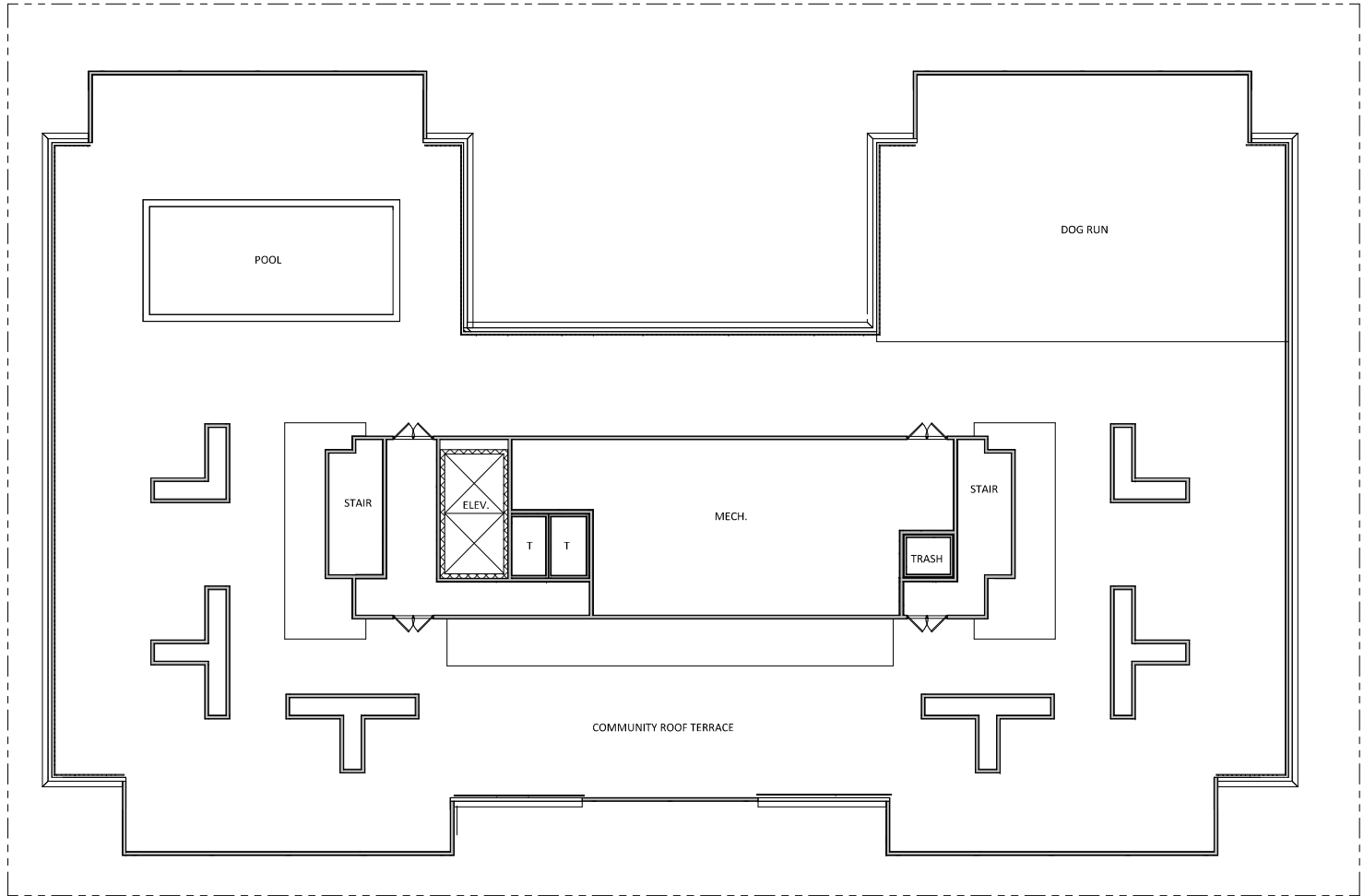
414 E Washington
 Ave
 SHEET TITLE
**FIRST FLOOR
 PLAN**

SHEET NUMBER
8 STORY

A-1.1
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1 SECOND - EIGHTH FLOOR PLAN
 A-1.8 1/8" = 1'-0"



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PROJECT TITLE
**THE
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SHEET TITLE
**PENTHOUSE
 PLAN**

SHEET NUMBER
8 STORY

A-1.9

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1 PENTHOUSE PLAN
 A-1.9 1/8" = 1'-0"

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PROJECT TITLE
THE CONTINENTAL

414 E Washington Ave

SHEET TITLE
EXTERIOR ELEVATIONS - COLORED

SHEET NUMBER
8 STORY

A-2.5

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EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
BRICK VENEER - (B1)	SUMMIT	FAWN SMOOTH
BRICK VENEER - (B2)	CLOUD CERAMICS	KANSAS GOLD
MASONRY - (M1) - ARRISCRAFT RENAISSANCE STONE OR CORDOVA STONE BLUFF	ARRISCRAFT	SANDRIFT
STANDING SEAM METAL ROOF	(TBO)	SLATE
WINDOWS	N/A	CAMEO
STOREFRONT	FIBERGLASS OR ALUMINIUM	BLACK
METAL DOORS/FRAMES	N/A	(TBD)
STONE SILLS & FASCIA	EDWARDS	COLOR TO MATCH STONE VENEER
SOFFITS & FASCIA	N/A	(TBD)
RAILINGS	N/A	BLACK

1 Colored - North East
 A-2.5
 1/8" = 1'-0"

2 Elevations - Exterior Material Schedule
 1/8" = 1'-0"



1 Colored - North West
 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
BRICK VENEER - (H1)	SUMMIT	FAWN SMOOTH
BRICK VENEER - (H2)	CLOUD CERAMICS	KANSAS GOLD
MASONRY - (H1) - ARRISCRAFT RENAISSANCE STONE OR CORDOVA STONE BUFF	ARRISCRAFT	SANDRIFT
STANDING SEAM METAL ROOF	(TBD)	SLATE
WINDOWS	N/A	CAMEO
STOREFRONT	FIBERGLASS OR ALUMINIUM	BLACK
METAL DOORS/FRAMES	N/A	(TBD)
STONE SILLS & BANDS	EDWARDS	COLOR TO MATCH STONE VENEER
SOFFITS & FASCIA	N/A	(TBD)
RAILINGS	N/A	BLACK

Elevations - Exterior Material Schedule
 1/8" = 1'-0"

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PROJECT TITLE
THE CONTINENTAL

414 E Washington Ave

SHEET TITLE
EXTERIOR ELEVATIONS - COLORED

SHEET NUMBER
8 STORY

A-2.7

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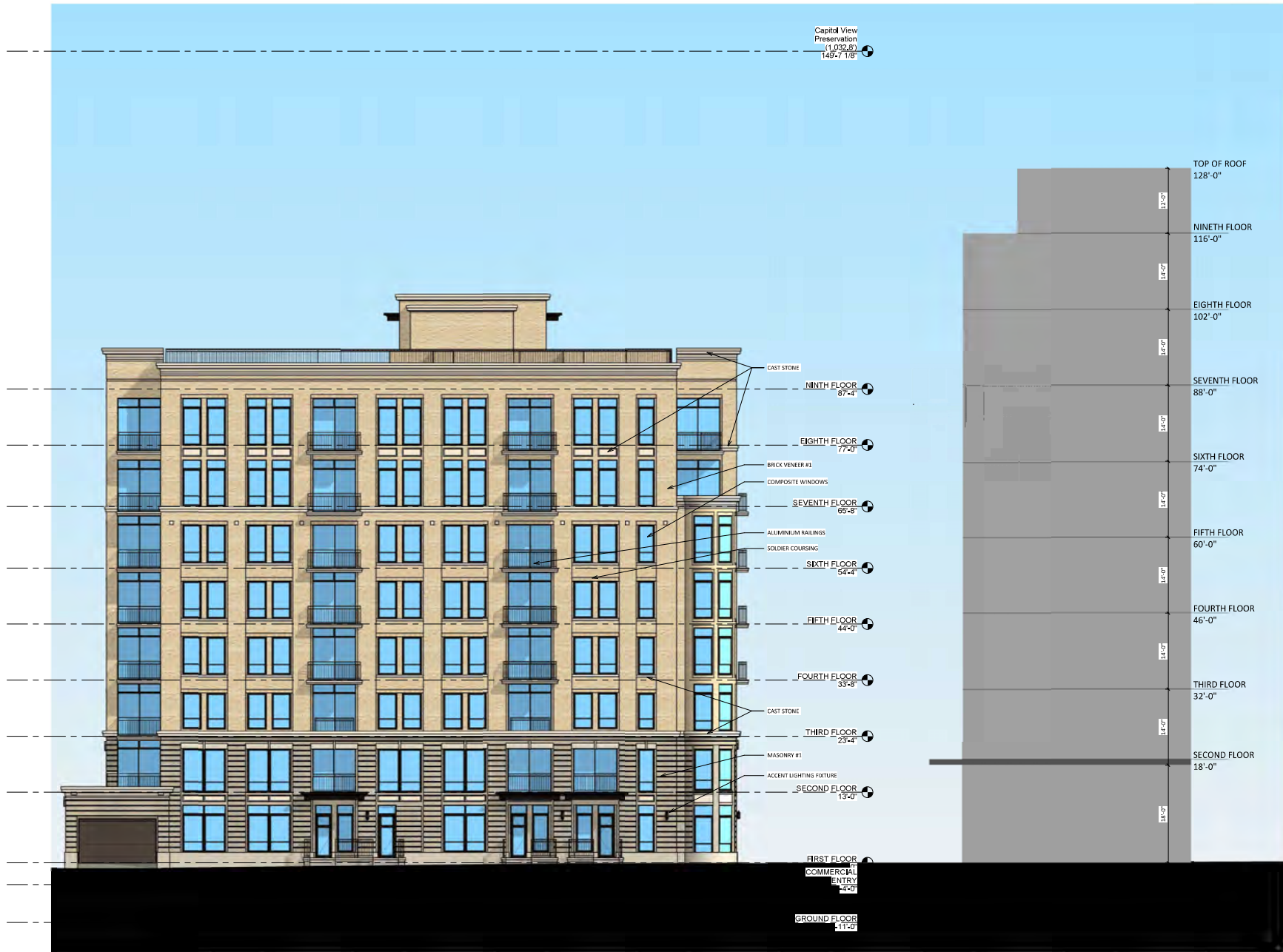


EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
BRICK VENEER - (P1)	SUMMIT	FAWN SMOOTH
BRICK VENEER - (P2)	CLOUD CERAMICS	KANSAS GOLD
MASONRY - (P3) - ARRISCRAFT RENAISSANCE STONE OR CORDOVA STONE BUFF	ARRISCRAFT	SANDRIFT
STANDING SEAM METAL ROOF	(TBD)	SLATE
WINDOWS	N/A	CAMEO
STOREFRONT	FIBERGLASS OR ALUMINUM	BLACK
METAL DOORS/FRAMES	N/A	(TBD)
STONE SILLS & BANDS	SIWARDS	COLOR TO MATCH STONE VENEER
SOFFITS & FASCIA	N/A	(TBD)
RAILINGS	N/A	BLACK

Elevations - Exterior Material Schedule
 1/8" = 1'-0"

Colored - South East
 1/8" = 1'-0"

Capitol View
Preservation
(1,032,8)
149-7 1/8"



ISSUED
Issued for Land Use April 1, 2020
Issued for Land Use September 2, 2020

PROJECT TITLE
**THE
CONTINENTAL**

414 E Washington
Ave

SHEET TITLE
**EXTERIOR
ELEVATIONS -
COLORED**

SHEET NUMBER
8 STORY

A-2.8

PROJECT NUMBER **1972**
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A-3.15 - 8 STORY
RENDER VIEW 1
E. WASHINGTON AVE.





A-3.16 - 8 STORY
RENDER VIEW 2
E. WASHINGTON AVE.





A-3.17 - 8 STORY
RENDER VIEW 3
E. WASHINGTON AVE.

