



Location
702 North Midvale Boulevard

Applicant
Hilldale Land Company/
Domenic Lanni - Joseph Freed & Associates

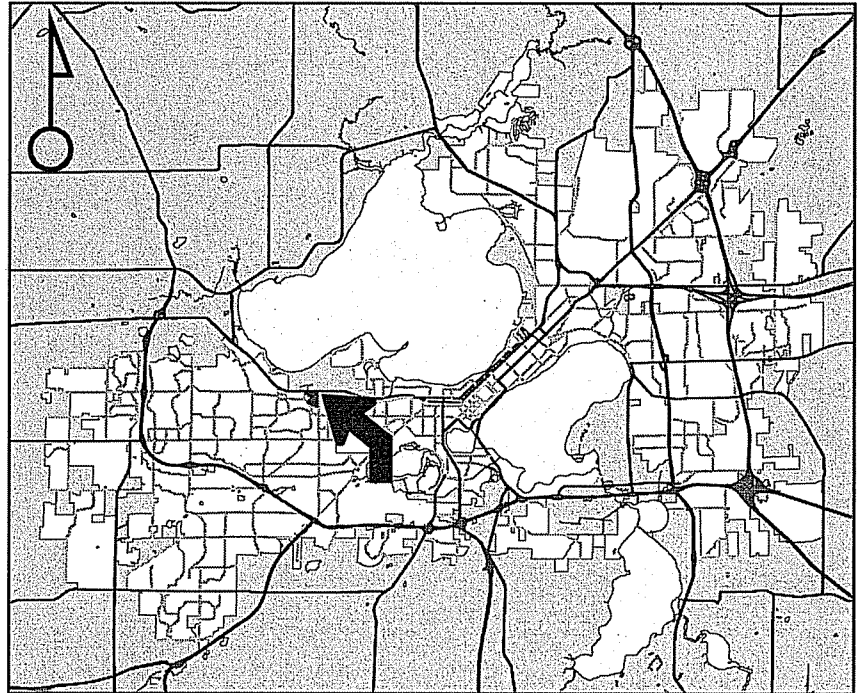
From: PUD(SIP) To: Amended
PUD(GDP-SIP)

Existing Use
Shopping Center and Office Complex

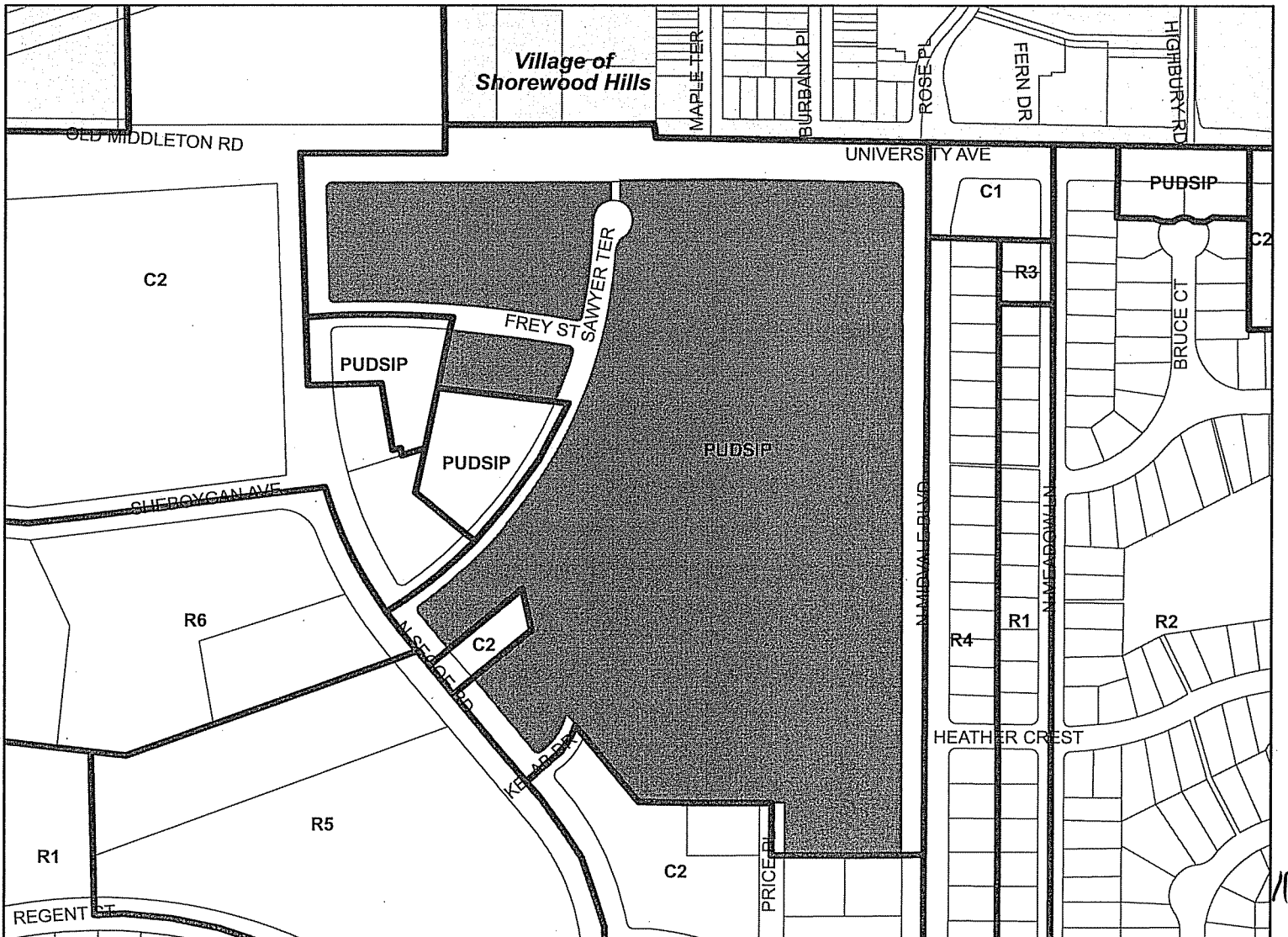
Proposed Use
Demolish Office Complex and Build 65,000 sf
Grocery Store, 80,000 sf Additional Retail
Space, 238 Condo Units, 1,100 Structured
Parking Spaces, with a Future Phase Consisting
of 220 Residential Units and 1 Hotel

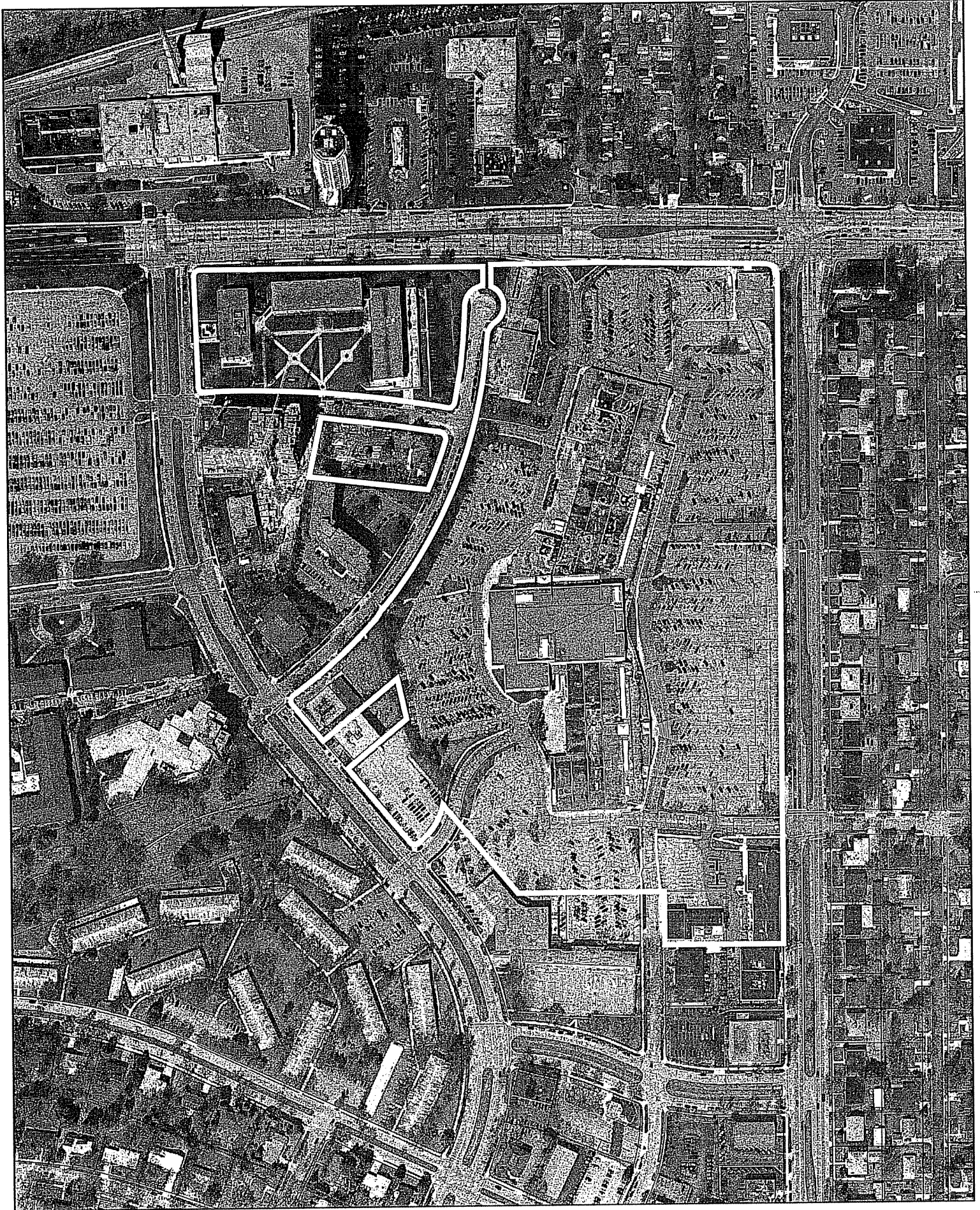
Public Hearing Date
Plan Commission
04 December 2006

Common Council
02 January 2007



For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635





10

LAND USE APPLICATION

Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
 PO Box 2985; Madison, Wisconsin 53701-2985
 Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.

FOR OFFICE USE ONLY:

Amt. Paid \$ 5050 Receipt No. 75444
 Date Received 10-11-06
 Received By RT
 Parcel No. 0709-201-2101-2
 Aldermanic District 11, Tim Gruber
 GQ UDC, Exist. Cond. Use
 Zoning District PUDSIP
For Complete Submittal
 Application Letter of Intent
 IDUP Legal Descript.
 Plan Sets Zoning Text
 Alder Notification 9-6-06 Waiver _____
 Ngrhd. Assn Not. 8-18-06 Waiver _____
 Date Sign Issued _____

1. **Project Address:** 702 N. Midvale Blvd. **Project Area in Acres:** 37.00

Project Title (if any): Hilldale Center

2. **This is an application for:** (check at least one)

<input checked="" type="checkbox"/> Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)		
<input checked="" type="checkbox"/> Rezoning from <u>PUD:GDP/SIP</u> to <u>(Amended)</u>	<input type="checkbox"/> Rezoning from _____ to PUD/PCD-SIP	
<input type="checkbox"/> Rezoning from _____ to PUD/PCD-GDP	<input type="checkbox"/> Rezoning from PUD/PCD-GDP to PUD/PCD-SIP	
<input type="checkbox"/> Conditional Use	<input checked="" type="checkbox"/> Demolition Permit	<input type="checkbox"/> Other Requests (Specify): _____

3. Applicant, Agent & Property Owner Information:

Applicant's Name: Dennis Harder Company: Joseph Freed & Associates
 Street Address: 220 N. Smith Street City/State: Palatine, IL Zip: 60067
 Telephone: (847) 215-5430 Fax: (847) 215-5282 Email: dlannejfreed.com

Project Contact Person: Domenic Lanni Company: Joseph Freed & Associates
 Street Address: 220 N. Smith Street City/State: Palatine, IL Zip: 60067
 Telephone: (847) 215-5430 Fax: (847) 215-5282 Email: dlannejfreed.com

Property Owner (if not applicant): _____
 Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a general description of the project and all proposed uses of the site: Redevelopment of a five acre portion of the property for a 65,000 square foot Whole Foods, 80,000 square feet of commercial space and 238 residential units

Development Schedule: Commencement March 2007 Completion June 2010

5. Required Submittals:

- Site Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - **One (1) copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper
- Letter of Intent: Twelve (12) copies** describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor.
- Filing Fee: \$5,050** See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:

- For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.
- A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.
- A *Zoning Text* must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

FOR ALL APPLICATIONS: All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

6. Applicant Declarations:

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:
 - The site is located within the limits of HILLDALE PUD Plan, which recommends: Mixed-Use for this property.
- Pre-application Notification:** Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:
 - List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices: Tim Gruber (11) on 9/6/06 and Michael Lawton (Hill Farms Neighborhood) on 8/19/06
 - If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.
- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.
 - Planner Tim Parks Date 9/26/06 | Zoning Staff _____ Date _____

The signer attests that this form has been completed accurately and all required materials have been submitted:

Printed Name Domenic Lanni Date 10/10/06
 Signature [Signature] Relation to Property Owner Employee
 Authorizing Signature of Property Owner [Signature] Date 10/10/06

JOSEPH FREED AND ASSOCIATES LLC

October 11, 2006

Mr. Bradley J. Murphy
Department of Planning & Development
City of Madison
215 Martin Luther King, Jr. Drive
Madison, WI 53710

RE: Hilldale Center 702 N. Midvale Boulevard

Dear Mr. Murphy:

We are pleased to submit the following Letter of Intent to introduce our application materials for the Phase 2 redevelopment of Hilldale Center. Early in 2005 the PUD: GDP-SIP of the 37-acre Hilldale Site was approved and recorded. This submittal is regarding the PUD:GDP Amendment and the SIP #2. This package includes the following;

- 1) Updated Zoning Text for GDP and SIP
- 2) Project Description;
- 3) Land Use Application;
- 4) UDC Application;
- 5) Inclusionary Zoning Application and
- 6) Filing fee

PUD: GDP-SIP ZONING TEXT

Legal Description: The lands subject to this Planned Unit Development - Specific Implementation Plan are and shall include those described in Exhibit A, attached hereto.

- A. Statement of Purpose: This zoning district is established to allow for the rehabilitation and construction of;
- Commercial structures including Hotel
 - Residential structures of which 15% will be Inclusionary Zoning units
 - Parking and circulation facilities,
 - Utility infrastructure,
 - Site improvements.

The maximum floor area and dwelling unit density potentially allowed by the standards included in the PUD-General Development Plan may or may not be ultimately achieved upon full build-out of the entire site or the portion of that

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covered by this Phase II SIP. Any additional dwelling units and additional square footage of development proposed beyond the scope of this Phase II SIP shall require review and approval of either a new SIP or an amendment to this Phase II SIP. Each proposed amendment to this SIP that includes additional square footage of development and/or additional dwelling units shall be reviewed against the standards included in the Planned Unit Development section of the Zoning Ordinance to determine if the additional development can be accommodated on the site in a manner which does not have a substantial negative impact on the uses, values and enjoyment of other properties within the neighborhood for uses already permitted. In particular, each proposed amendment to this SIP that includes additional square footage of development and/or additional dwelling units shall include a new or revised Traffic Impact Analysis.

B. Permitted Uses:

- Those that are stated as permitted in the C2 District and those shown on approved plans.
- Uses accessory to permitted uses in the C2 District and those shown on approved plans.
- Public and quasi-public uses, including, for example but not limited to, post office facilities and governmental facilities.

C. Lot Area: The extent of the entire PUD site area that is included in this Phase II SIP and as shown on approved plans.

D. Floor Area Ratio:

- Maximum Floor Area Ratio permitted as shown on approved plans.
- Maximum building heights, setbacks and permitted obstructions shall be as shown on approved plans.

SPECIFIC IMPLEMENTATION PLAN

The Developer, Joseph Freed and Associates LLC, as agent for the owner is proposing to amend the PUD: GDP and allow for a SIP to permit a Specific Implementation Plan for a 5 +/- acre portion of the Property that would have the following characteristics:

- A 65,000 SF grocery store will be constructed at the southeast corner of Segoe Road and University Avenue. Whole Foods Market has signed a lease to occupy this building.
- Outdoor paved and landscaped areas have been provided along the east face of the grocery store to accommodate opportunities for selected store departments to move out-of doors.
- The various elevations of the grocery store have been designed with a variety of textures, reveals and trellises. This store has been designed to comply with all of the criteria contained in the city's big box ordinance.

- A new right-in/right out access to the property has been located on University Avenue.
- The loading dock has been covered and screened to enhance the surrounding neighborhood ambiance.
- A ten (10) story residential tower with one story of ground floor professional office space will be constructed parallel with University Avenue along the north portion of the property. This tower is planned to contain 144 residential units.
- The residential tower will consist of a majority of one and two bedroom units and a small portion of three bedroom units. The building material will include glass, steel and masonry elements.
- The first floor office space will have visibility to both the internal site as well as University Avenue.
- A seven (7) story residential tower with two stories of commercial space will be constructed at the east end of the site orientated perpendicular with University Avenue. This tower is planned to contain 90 residential units.
- The residential tower will consist of a majority of one and two bedroom units and a small portion of two bedroom plus units. The building material will include glass, steel and masonry elements. This building will have loft like finishes.
- The two stories of commercial space will include a 40,000 square foot floor plate for a future health club, 19,000 square feet of ground floor commercial space and a 5,500 square foot restaurant pad.
- There will be a small component of live-work lofts (4 units) along the eastern end of Frey Street incorporated into the façade of the parking structure.
- A four and one-half level parking structure will be utilized as part of this project. The structure will be built integrally within the project boundary limiting the visible exposure to all streets.
- There will be a total of 826 parking spaces that will service the commercial components of this portion of the development along with future parking for a planned hotel. The residential component will consist of 269 private parking spaces reserved for future condo and loft unit owners.
- The parking structure will be accessible from University Ave, Frey Street and Mall Drive and will be serviced by a speed ramp, elevators and stairs.
- Locations for pylon, monument and temporary signage have been included and shown on site plans.
- Landscaping and lighting will be heavily accentuated throughout the project. The top level of the parking structure will have a significant roof top plaza and green space. This will serve to enhance the residential/pedestrian experience at this level. Pocket parks with art sculpture and bench seating will be dispersed throughout the project.
- Vehicular, pedestrian and bicycle safety improvements will be incorporated throughout the project site as well as off site features. These will include but not be limited to,
 - Improved intersections through the use of roundabouts and signals;
 - Increased pedestrian crossings including multiple mid-block crossings;
 - Two way traffic on Sawyer;
 - Bicycle lanes on Sawyer, Segoe and Sheboygan;

- Pedestrian connectivity throughout the project;
 - Bicycle racks throughout the project along with bicycle storage within the residential buildings; and
 - Additional turn lanes at Segoe and University.
- The existing office complex is to be demolished to accommodate this SIP. When the developer purchased this property the office market was stagnant and the three building complex was vacant. The Developer embarked on an unsuccessful 12-month effort to lease the 100,000 square feet of office space. After much time, effort and money, the Developer performed an internal feasibility and highest and best use study that revealed a strong market for retail uses to drive traffic, create energy and continue the momentum for the Hilldale Mall redevelopment. Future office uses will be looked at in other locations throughout the project site and adjacent sites when market conditions improve to make it economically feasible.

RESIDENTIAL PROGRAM

- The 144 unit condominium is a 10 story building with the proposed unit mix

Unit Type	Total Number	% of building
1BR/1 BA	39	27%
1 BR/1 BA/DEN or 2BR	34	24%
2 BR/1 BA	22	15%
2 BR/ 2 BA	35	24%
2 BR/ 2 BA/ DEN	10	7%
3 BR/ 2 BA	4	3%
TOTAL	144	100%

- The 90 unit loft is a 7 story building with the proposed unit mix

Unit Type	Total Number	% of building
1BR/1 BA	29	32%
1 BR/1 BA/DEN or 2BR	28	31%
2 BR/1 BA	19	21%
2 BR/ 2 BA	14	16%
TOTAL	90	100%

- Parking for all units will be contained within the parking structure.
- 22 of the 144 units will be designated as IZ units and 14 of the 90 units will be designated as IZ units.

FAMILY DEFINITION

The definition for "family" in this planned unit development shall be the applicable construction of the definition of "family" found in section 28.03 (2) of the Madison General Ordinances as if this planned unit development were, for purposes only of defining "family," an R1 residence district.

PROJECT MASTER PLAN

The amendment to the GDP includes the incorporation of a Project Master Plan to satisfy the City, Community Neighborhood Groups and various constituents of the project. The Master Plan/amended GDP plan as shown includes the following components;

- Two mid-rise residential towers along Segoe Road with ground floor service commercial space;
- A 125 room life-style hotel component incorporated into the existing mall;
- A commitment to open space that will include an outdoor plaza area increasing accessibility into the mall, beautifying the back entrance of the property and allowing a gathering area for week end art, music and movie festivities;
- A commitment to open space that will include an open park at the corner of Sawyer and Frey Street along with a low density residential product.

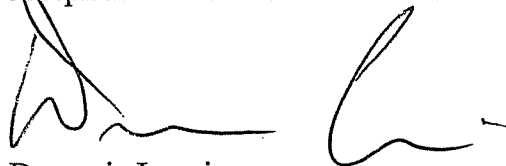
DISCUSSION AND INPUT

The Developer has met with Alderman, City Staff, Community Organizations and the Urban Design Commission over the last three (3) months to discuss various aspects of this proposal. Meetings have been held with, among others;

- Alders Gruber, Radomski, Konkel, Golden, and Cnare
- Staff from Planning, Traffic Engineering, Fire and Safety
- Hill Farms Neighborhood Association
- Sunset Village Community Association

If there are any questions concerning these materials, please contact me.

Joseph Freed and Associates LLC



Domenic Lanni
Development Manager

HILLDALE - SIP CHANGES: PARKING AND FLOOR AREA

Phase 2 and 3 - Current SIP Plan

GROSS FLOOR AREA SF)	EXISTING	ADDED	REMOVED	NET
Core	329,462	0	0	329,462
Firestone	0	0	0	0
Bank	0	0	0	0
Theater	11,054	0	0	11,054
Banquet Hall	28,506	0	0	28,506
Post Office	9,386	0	0	9,386
Humana	97,430	0	(97,430)	0
Restaurants (N)	10,000	0	0	10,000
Retail	51,190	0	0	51,190
Restaurants (S)	10,000	0	0	10,000
Resid. - Midvale	42,000	0	0	42,000
New Commercial	0	143,700	0	143,700
New Residential	0	275,000	0	275,000
TOTAL	589,028	418,700	(97,430)	910,298
PARKING				
Surface Retail	1,104	0	(68)	1,036
Surface Resid.	24	0	0	24
Structure	649	0	0	649
Garage-Resid.	28	0	0	28
Humana	320	0	(320)	0
New structured commercial	0	826	0	826
New structured residential	0	269	0	269
TOTAL	2,125	1,095	(388)	2,832

HILLDALE - SIP CHANGES: PARKING AND FLOOR AREA

Phase 4 and 5 - Future remaining development

GROSS FLOOR AREA SF)	EXISTING	ADDED	REMOVED	NET
Core	329,462	0	0	329,462
Firestone	0	0	0	0
Bank	0	0	0	0
Theater	11,054	0	0	11,054
Banquet Hall	28,506	0	0	28,506
Post Office - phase 4	9,386	0	0	9,386
Humana	0	0	0	0
Restaurants (N)	10,000	0	0	10,000
Retail	51,190	0	0	51,190
Restaurants (S)	10,000	0	0	10,000
Resid. - Midvale	42,000	0	0	42,000
New Commercial	143,700	0	0	143,700
New Residential	275,000	0	0	275,000
New Commercial 4 and 5		109,000	0	109,000
New Residential 4 and 5		253,000	0	253,000
TOTAL	910,298	362,000	0	1,272,298
PARKING				
Surface Retail	1,036	0	(18)	1,018
Surface Resid.	24	0	0	24
Structure	649	0	0	649
Garage-Resid.	28	0	0	28
Humana	0	0	0	0
New structured commercial	826	0	0	826
New structured residential	269		0	269
New structured residential	0	264	0	264
TOTAL	2,832	264	(18)	3,078

**Analysis of Big Box Compliance Issues
City of Madison, Urban Design Commission Requirements**

Whole Foods Market - Hilldale

	Comments:
1. Large Retail Developments	
Applies to retail 40,000 sf or greater	65,000 sf retail footprint
2. Maximum Building Footprint	
Max. footprint size 100,000 GSF	Less than maximum allowed

3. Facades & Exterior Walls

A. Facades greater than seventy-five (75) feet in length, measured horizontally, shall incorporate wall plane projections or recesses having a depth of at least three percent 3% of the total length of the facade and extending at least 20 percent (20%) of the length of the facade. No uninterrupted length of any facade shall exceed seventy-five (75) horizontal feet.

	East Façade	North Façade	West Façade	South Façade
Length in Feet:	271.00	294.50	272.00	276.00
3% of Façade:	8.13	8.84	8.16	8.28
20% length of Façade:	54.20	58.90	54.40	55.20
Provided:	(4) Projections: Total of 162' of projection (13' min)	(4) Projections: Total of 12' of projection (3' min)	(4) projections, Total of 12'-0" projection (3' min)	(3) Projections: Total of 50' of projection (3' min)

B. Ground floor facades that face or abut public streets with pedestrian and vehicular access shall incorporate the following types of features along no less than 60% of their horizontal length in a manner determined sufficient by the Plan Commission

	(1) Arcades	(2) Windows for Vision, display or daylighting	(3) Customer entrances	(4) Awnings, canopies or porticos	(5) Outdoor Patio's or community
East Façade		X	X	X	X
North Façade		X	X (from sidewalk)	X	X
West Façade		X		X	
South Façade		X		X	

C. Facades shall have repeating features with no less than 3 of the elements below. 24" minimum change in plane.

	[C] Color	[T] Texture	[M] Material/ module	[E] Expression of Architecture/ structure
East Façade	X	X	X	X
North Façade	X	X	X	X
West Façade	X	X	X	X
South Façade	X	X	X	X

D. At least one of the above must repeat horizontally. All elements must repeat at 30' max.
See elevations for 3a

4. Roofs

	Comments:
a. Varies with change in height every 75' max	Varies - Maximum of 65'
b. No less than 2 of the following	
i. Parapets to conceal RTU's with dimensional cornice treatment	Parapets on all walls, overhangs at entry towers
ii. Overhanging eaves that extend no less than 3' past the walls.	Multiple slope roof planes provided
iii. 3 or more roof slope planes with varying lengths and designs.	

5. Materials and Colors

Facades directly visible from public streets must use high quality materials and may not have E.I.F.S. below 3' above grade.	Architectural precast walls with multiple colors, textures, and patterns provided. No E.I.F.S. specified
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6. Customer Entrances

a. Defined, highly visible entrance with no fewer than 3 of the following: Canopies or porticos, overhangs, recess/projections, display windows, architectural details, arcades	Well defined customer entrance on East façade with pedestrian access via highly visible public plaza and arcade at University Avenue.
b. All sides that directly abut R.O.W. which provides vehicular access to the site shall feature 1 customer entrance. May use entry portico or plaza. If abuts 2 or more R.O.W.'s, this shall apply to the side with the most traffic.	

HILLDALE INCLUSIONARY ZONING APPLICATION

PART 1 - DEVELOPMENT INFORMATION:

Project or Plat: HILLDALE - PHASE II

Project Address: 702 N. MIDVALE; MADISON Project Area (in acres): 37

Developer: Joseph Freed & Associates LLC Representative: Domenic Lanni

Street Address: 220 N Smith St. Suite 300 City/State: Palatine, IL Zip: 60067

Telephone: 847-215-5430 Fax: 847-215-5282 Email: dlanni@jfreed.com

Agent, If Any: _____ Company: _____

Street Address: _____ City/State: _____ Zip: _____

Telephone: _____ Fax: _____ Email: _____

PART 2 - PROJECT CONTENTS:

Complete the following table as it pertains to this project:

Residential Use	MARKET-RATE UNITS		INCLUSIONARY UNITS		Total Units	Acres
	Owner-Occupied Units	Renter-Occupied Units	Owner-Occupied Units	Renter-Occupied Units		
Single-Family	—	—	—	—	—	NA
Duplexes	—	—	—	—	—	NA
Multi-Family	201	—	37	—	238	NA
TOTAL	201	—	37	—	238	NA

PART 3 - AFFORDABLE HOUSING DATA:

Number of Inclusionary Dwelling Units Proposed by Area Median Income (AMI) Level and Minimum Sale/Rent Price							
Owner-Occupied Units	30%	40%	50%	60%	70%	80%	Total
Number at Percent of AMI	—	—	—	—	—	37	37
Anticipated Sale Price	—	—	—	—	—	TBD	—
Rental Units	30%	40%	50%	60%	70%	80%	Total
Number at Percent of AMI	—	—	—	—	—	—	—
Maximum Monthly Rent Price	—	—	—	—	—	—	—

PART 4 - DWELLING UNIT COMPARISON:

Complete the following table as it pertains to this project:

	MARKET-RATE UNITS					INCLUSIONARY UNITS				
	Studio / Effic	1 Bdrm	2 Bdrms	3 Bdrms	4/More Bdrms	Studio / Effic	1 Bdrm	2 Bdrms	3 Bdrms	4/More Bdrms
Owner-Occupied Units with:	—	50	14	4	—	—	18	19	—	—
Minimum Floor Area:		719	860	1230			719	860		
Rental Units With:	—	—	—	—	—	—	—	—	—	—
Minimum Floor Area:	—	—	—	—	—	—	—	—	—	—

CONTINUE →

11

PART 5 – INCENTIVES: Section 28.04 (25) of the Zoning Ordinance provides the opportunity for applicants in projects where affordable dwelling units are required or where the developer has agreed to pay money in lieu of inclusionary dwelling units, to receive one or more incentives as compensation for complying with the Inclusionary Zoning requirements. Each of the eleven incentives listed below are affixed a point value. The incentive points available to an applicant is dependent upon the number of affordable dwelling units proposed at the various area median income (AMI) levels. The program rewards projects both for having a higher number of affordable dwelling units provided at lower AMI levels, and for having a higher percentage of affordable dwelling units incorporated into the development. The incentive and the corresponding number of points available are listed below. (MAP=Maximum Available Points) Please mark the box next to the incentives requested.

Incentive	MAP	Incentive	MAP
<input type="checkbox"/> Density Bonus (varies by project)	3	<input type="checkbox"/> Cash subsidy from Inclusionary Unit Reserve Fund up to \$10,000 per unit for up to 50% of the affordable units provided.	2
<input type="checkbox"/> Parkland Development Fee Reduction	1	<input type="checkbox"/> Cash subsidy from Inclusionary Unit Reserve Fund of \$5000 for up to 50% of on-site afford-able units in projects with 49 or fewer detached units or projects with four or more stories and 75% of parking provided underground.	2
<input type="checkbox"/> Parkland Dedication Reduction	1	<input type="checkbox"/> Neighborhood Plan preparation assistance	1
<input type="checkbox"/> Off-street Parking Reduction up to 25%	1	<input type="checkbox"/> Assistance obtaining housing funding information	1
<input type="checkbox"/> Non-City provision of street tree planting	1		
<input type="checkbox"/> One addl. story in Downtown Design Zones	1		
<input type="checkbox"/> Residential parking permits in a PUD/PCD	1		
<input type="checkbox"/> Incentives Not Assigned a Point Value by Ordinance (Explain): _____			

PART 6 – WAIVER: The Plan Commission may waive the requirement to provide inclusionary dwelling units in the development if the applicant can present clear and convincing financial evidence that providing the required number of inclusionary dwelling units on-site renders providing the required number of inclusionary units financially infeasible. In such a case, a developer may request a waiver to provide the units off-site, assign the obligation to provide the units to another party, or pay cash in lieu of the units, or any combination of the above. If the waiver is granted, the required units may be provided as new construction off-site in another development within **one mile** of the subject development; off-site units shall be provided at least 1.25 times the number of units if provided within the subject development. Off-site units must be constructed within one year of the time that they would have been constructed within the subject development. The applicant may opt to pay money into the ~~Inclusionary Unit Reserve Fund~~ based on contribution rates established in Section 28.04 (25) of the Zoning Ordinance. If provision of the inclusionary dwelling units through the waiver is still financially infeasible, the developer may seek a reduction in the percent of units to the point where the project becomes financially feasible. If such a waiver is requested, a detailed explanation shall be provided in the required project narrative demonstrating the financial infeasibility of complying with the ordinance requirements and the rationale for the alternative proposed.

- If a waiver is requested, **please mark this box** and include all of the necessary information required by the Zoning Ordinance and IZ Program Policy & Protocols to support your request.

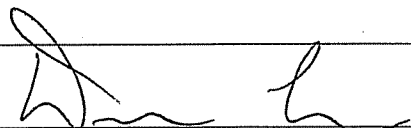
PART 7 – APPLICANT’S DECLARATION:

The signer shall attest that this application has been completed accurately and includes all requests for incentives or waivers; that they have attended both required pre-application staff meetings and given the required notice to the district alderperson and neighborhood association(s) prior to filing this application; and that all required information will be submitted on the corresponding application for zoning and/or subdivision approval by the Plan Commission. The applicant shall begin the declaration by stating below whether or not the project complies with the various requirements of the inclusionary zoning ordinance. Check the applicable box and provide any supporting comments.

Standards for Inclusionary Dwelling Units (IDUs)	Will Comply	Will not comply	Additional comments
Exterior Appearance of IDUs are similar to Market rate.	X		
Proportion of attached and detached IDU units is similar to Market rate.	X		
Mix of IDUs by bedroom size is similar to market rate.	X		

Standards for Inclusionary Dwelling Units (IDUs) [continued]	Will Comply	Will not comply	Additional comments
IDUs are dispersed throughout the project.	X		
IDUs are to be built in phasing similar to market rate.	X		
Pricing fits within Ordinance standards	X		
Developer offers security during construction phase in form of deed restriction.	X		
Developer offers enforcement for for-sale IDUs in form of option to purchase or for rental in form of deed restriction.	X		
Developer describes marketing plan for IDUs.	X		
Developer acknowledges need to inform buyers/renters of IDU status, responsibilities for notification.	X		
Terms of sale or rent.	X		
	Yes	No	Additional comments
Developer has arranged to sell/rent IDUs to non-profit or CDA to meet IDU expectations.		X	
Developer has requested waiver for off-site or cash payment.		X	
Developer has requested waiver for reduction of number of units.		X	
Other:		X	

- The applicant discussed this development proposal with representatives from the Planning Unit, Zoning Administrator and Community Development Block Grant Office on: → 10/5/06
- The applicant presented a preliminary development plan for this project to the Interdepartmental Review Staff Team on: → 10/5/06
- The applicant notified Alderperson GRUBER of District 11 of this development proposal in writing on: → 6/16/05 & 9/25/06
- The applicant also notified Michael hawton of the HFNA neighborhood in writing on: → 6/16/05 & 9/25/06
- The Inclusionary Dwelling Unit Plan Application package contains ALL of the materials required as noted on this form. I, as the undersigned, acknowledge that incomplete or incorrect submittals may cause delays in the review of this project. I am also familiar with the ongoing developer responsibilities summarized on page #2 of this application and outlined in the Inclusionary Zoning Ordinance and Program Policy and Protocols.

Applicant Signature  **Date** 10/10/06

Printed Name Domenic Lanni **Phone** 847-215-5430

HILLDALE CENTER 702 N. MIDVALE BLVD.
INCLUSIONARY ZONING NARRATIVE

The Developer- Joseph Freed and Associates LLC intends to develop 238 dwelling units within the portion of its Hilldale property bounded by Segoe, University, Frey and the Mall entrance.

Characteristics, Distribution and Schedule for construction of IZ units

- One – 11 story tower with 10 floors of residential use containing a majority mix of one and two bedroom homes and a minor portion of three bedroom homes.
- One – 9 story tower with 7 floors of residential use containing a majority mix of one and two bedroom homes designed as lofts.
- Four attached units with three stories acting as live-work lofts.
- All units will be for purchase
- The 11 story tower is proposed to be started first quarter of 2007 and completed by third quarter of 2008.
- The 9 story tower and live-work units would be started third quarter of 2008 and completed fourth quarter of 2009.

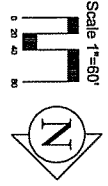
Marketing Plan and Organization of the Condominium Association

The Developer will organize and implement the marketing plan for the IZ units throughout the project. The Developer intends to utilize a third party organization experienced with this type of marketing effort. This organization would be integrated into the Developer's sales staff and would have a presence in our sales office.

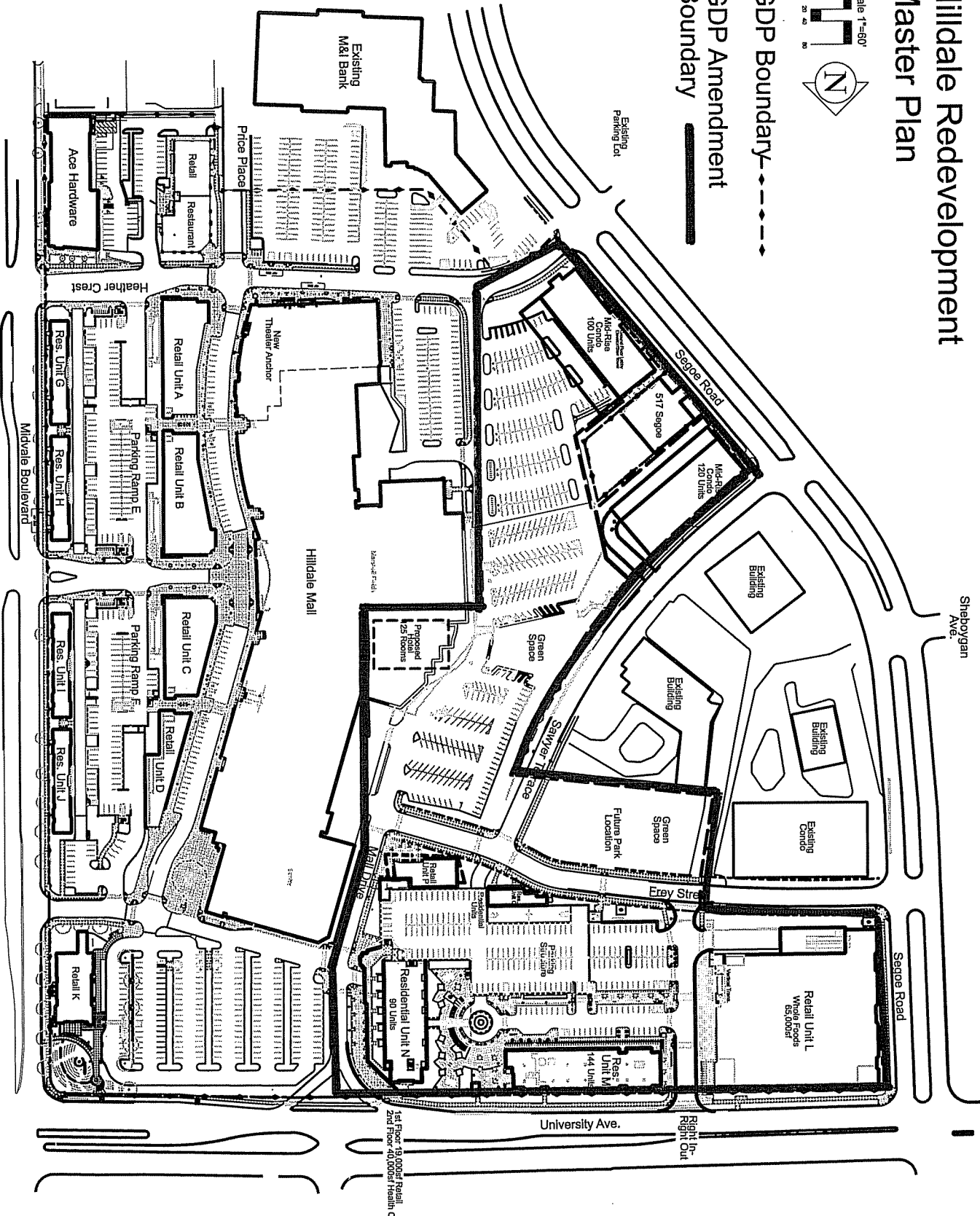
Pricing of IZ units will be according to the guidelines and requirements of Madison codes and ordinances. The Developer will look to reserve a 20% area excluding the IZ units and will work with staff to provide appropriate material.

The condominiums will be organized under the laws of the State of Wisconsin and the City of Madison. Local legal advisers have been engaged and preliminary discussions have taken place on the basic framework and unique provisions.

Hilldale Redevelopment Master Plan



Scale: 1"=60'
 GDP Boundary: - - - - -
 GDP Amendment Boundary: ———



HILLDALE SHOPPING CENTER

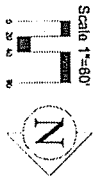
702 N. MIDVALE BOULEVARD
 MADISON, WI
 HILLDALE BUILDING COMPANY LLC

Master Plan
 GDP Amendment

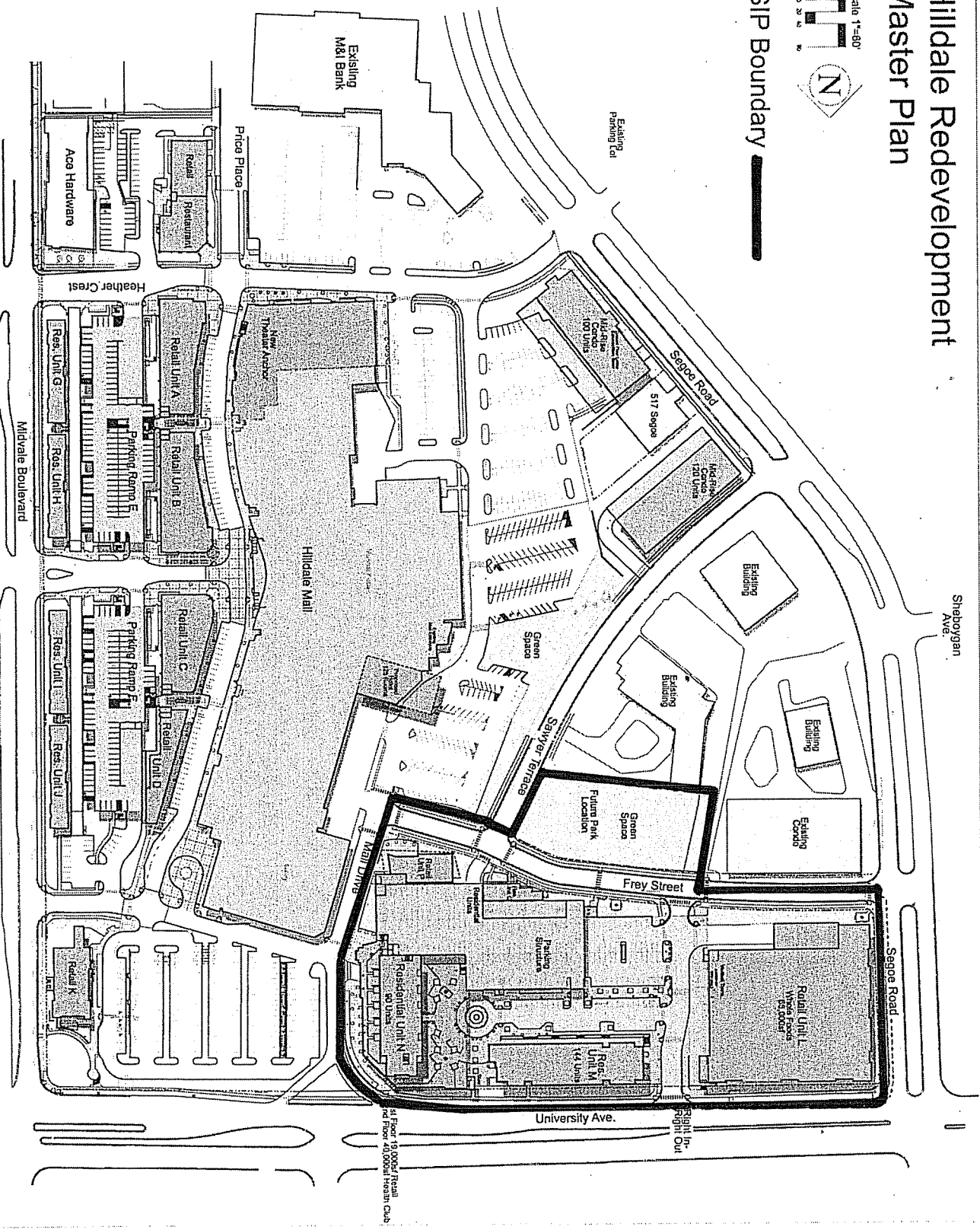
Project No.	10-11-08
Drawn By	
Checked By	
Scale	
Notes	

S/C 100

Hilldale Redevelopment Master Plan



SIP Boundary



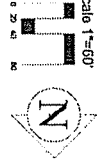
HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD
MADISON, WI
HILLDALE BUILDING COMPANY LLC

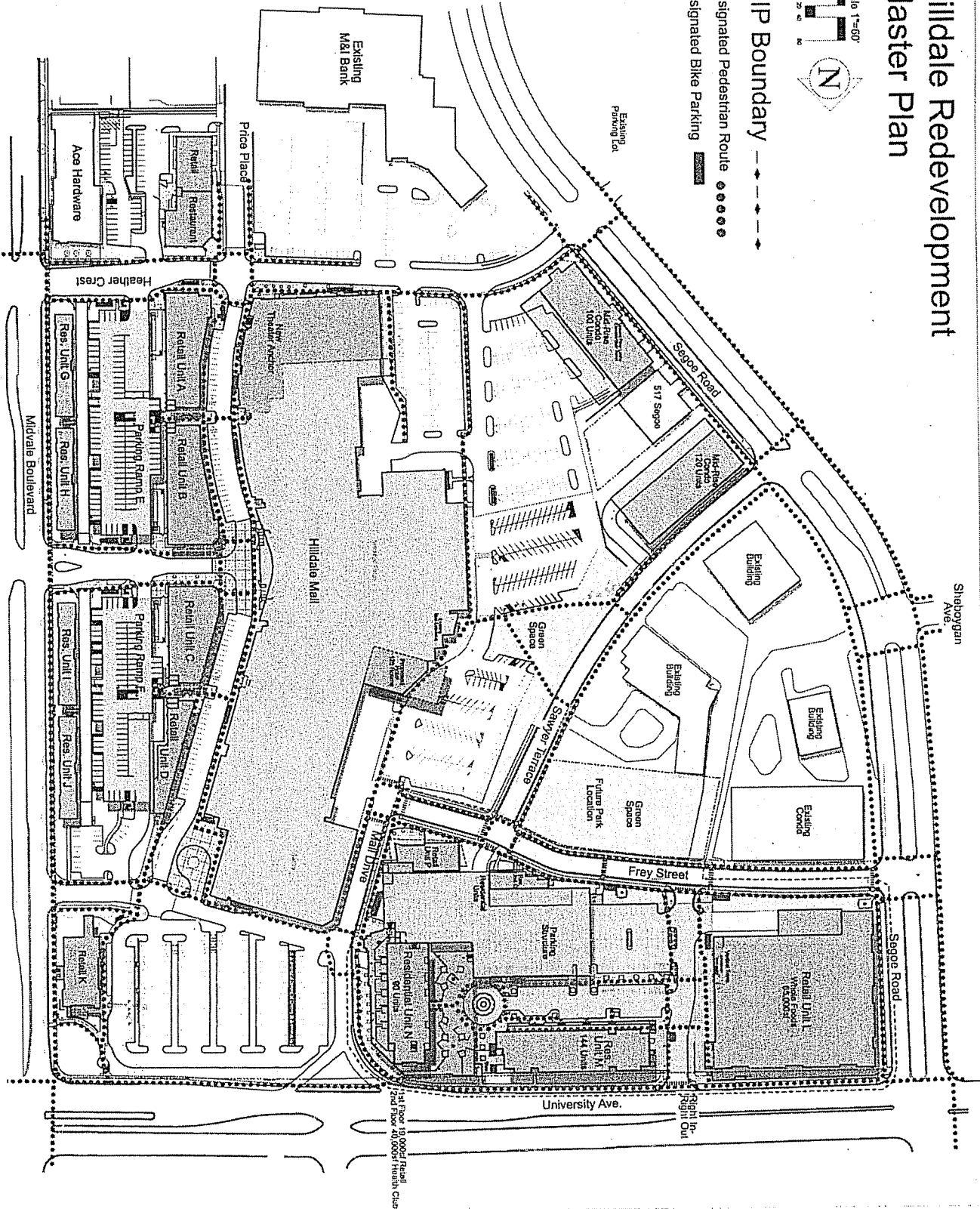
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Site Number	11-04-00
Drawn By	[Signature]
Checked By	[Signature]
Scale	1"=60'
Date	11-04-00
Project Number	11-04-00
Sheet No.	11-04-00
Drawn By	[Signature]
Checked By	[Signature]
Scale	1"=60'
Date	11-04-00
Project Number	11-04-00
Sheet No.	11-04-00

Hilldale Redevelopment Master Plan

Scale 1"=60'



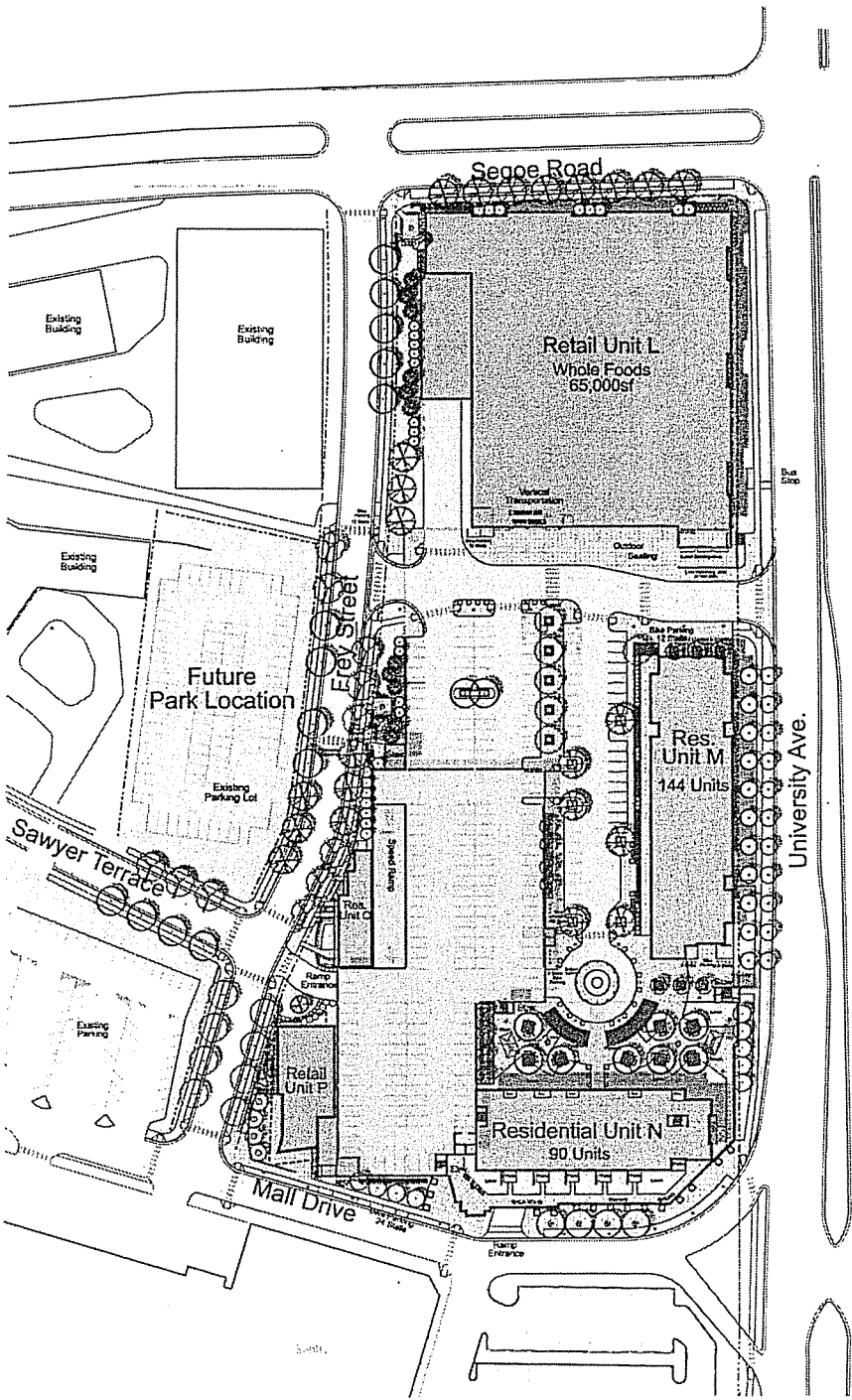
- SIP Boundary - - - - -
- Designated Pedestrian Route ●●●●●
- Designated Bike Parking ■■■■■






HILLDALE SHOPPING CENTER

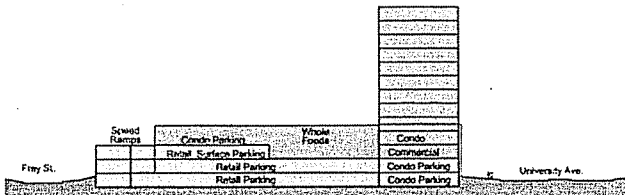
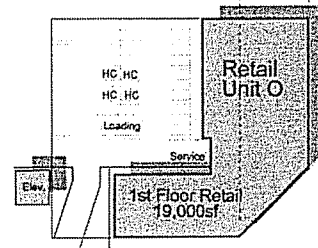
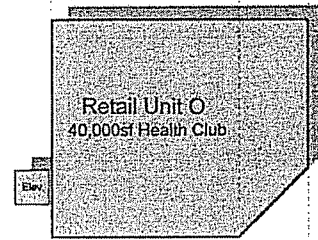
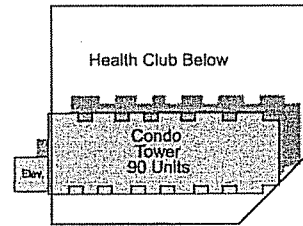
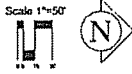
702 N. MIDVALE BOULEVARD
MADISON, WI
HILLDALE BUILDING COMPANY LLC

Project Name	Hilldale Shopping Center
Client	Hilldale Building Company LLC
Site Address	702 N. Midvale Boulevard, Madison, WI
Scale	1" = 60'
Date	11/20/00
Drawn By	[Name]
Checked By	[Name]
Project No.	[Number]
Sheet No.	[Number]

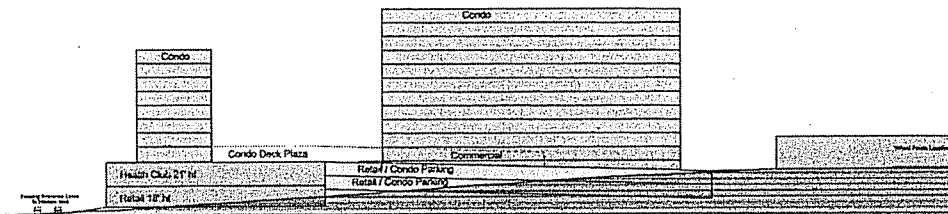


-  Retail
-  Residential
-  Structured Parking

Scale 1"=50'



Site Section Fry Street to University Ave
Facing West



Site Section from University Ave.
Facing South

Existing
Parking Lot

Future Park
Location

Frey Street

Stair
Tower

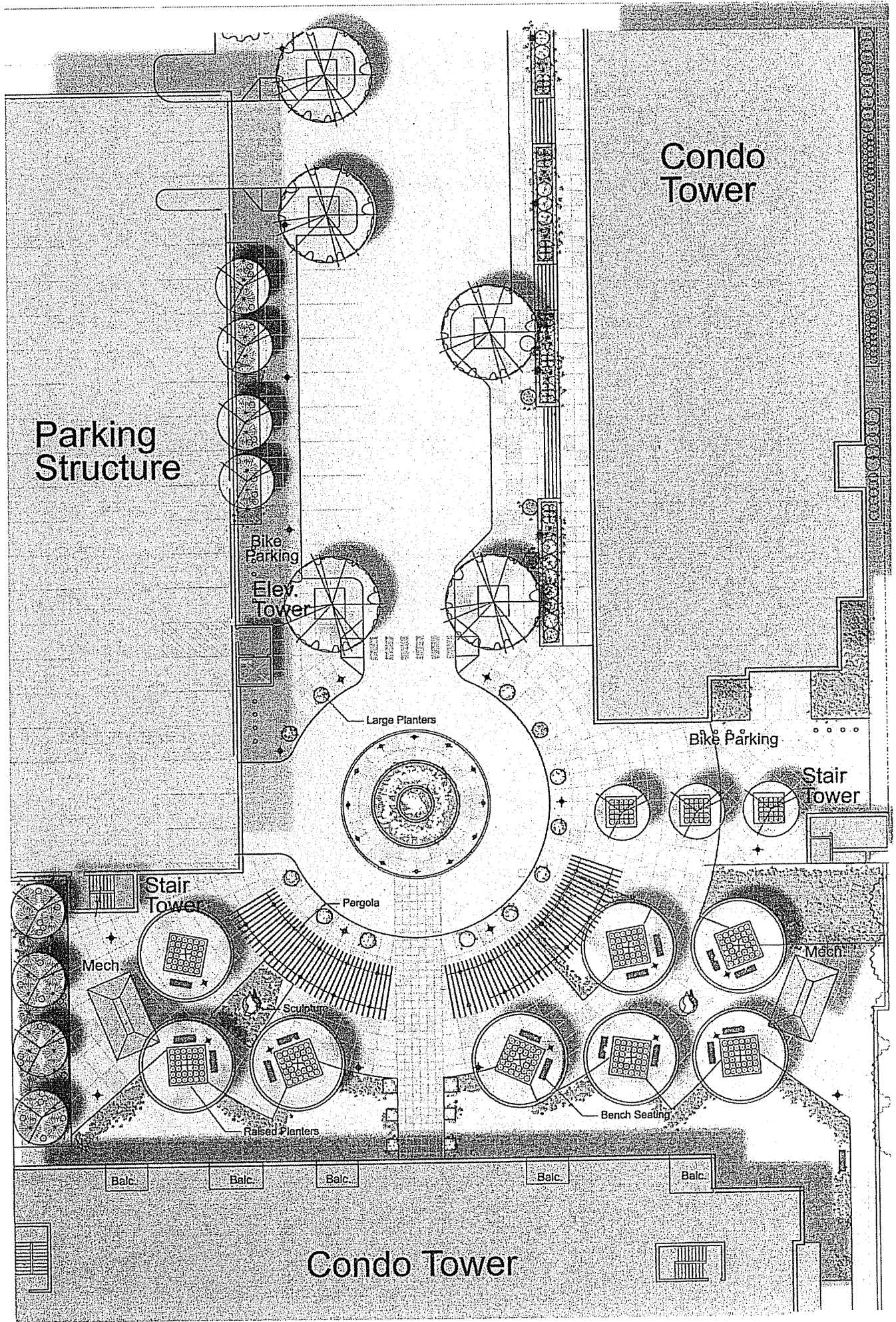
Speed Ramp

Res.
Unit Q

Parking
Structure

Lawyer Terrace

Retail



11

Low Retaining Wall
w/ Handrail

Bike
Parking

Res. Unit M 144 Units

North wall height remains consistent 18" above sidewalk 24" high handrail mounted on top of wall to meet 42" ht fall prevention requirement. Handrail matches building balcony handrail color and construction.

South planter wall steps down with drive elevation to reduce the amount of exposed wall to the south.

Light pole pier elements break up expanse of wall.

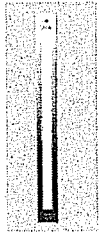
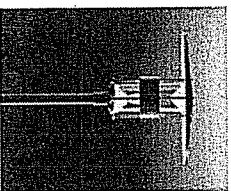
Light fixture height remains constant. Elevation set between 1st and 2nd floors to reduce glare into 2nd story windows.

Planter wall sconce lights add detail to wall face.

Light poles centered on stair openings.

Plan

Elevation



MLE700A

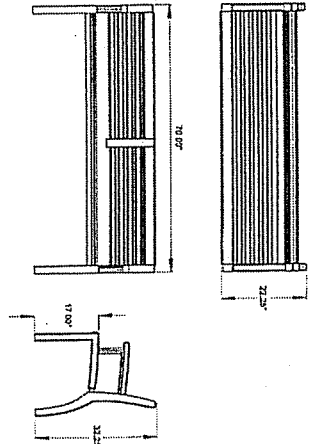
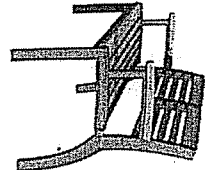
MATERIALS: Boring made per request from your local supplier. The base supports 1.37" x 1.5" and 1.36" x 1.49".

DESCRIPTION: Height: 33.25"
Length: 79.00"
Slat: 17.00"
Slat: 132.00 (96 x 1)

WEIGHT: 132.00 (96 x 1)

FINISH: The Alupro Powder Paint System provides a durable finish for your furniture. All dimensions are in millimeters.

INSTALLATION: 6 (3) are provided in each box for assembly in site.



MLWR700

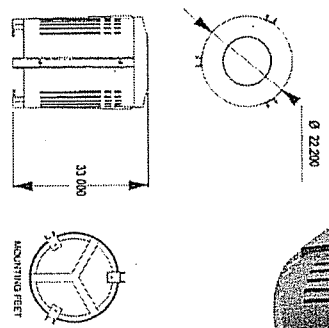
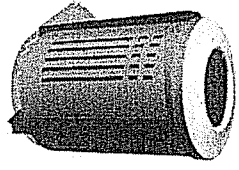
MATERIALS: The MLWR700 is finished in composite 1.5mm thick powder coated steel. All dimensions are in millimeters.

DESCRIPTION: Height: 36.00"
Diameter: 22.200"

WEIGHT: 100.00 (96 x 1)

FINISH: All steel components are finished with E-Coat. The MLWR700 is finished with a durable powder coating. All dimensions are in millimeters.

INSTALLATION: The MLWR700 is finished in each box for assembly in site.



MBR200

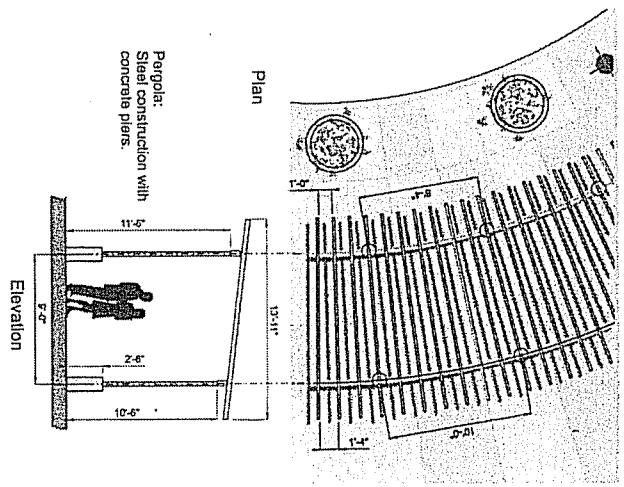
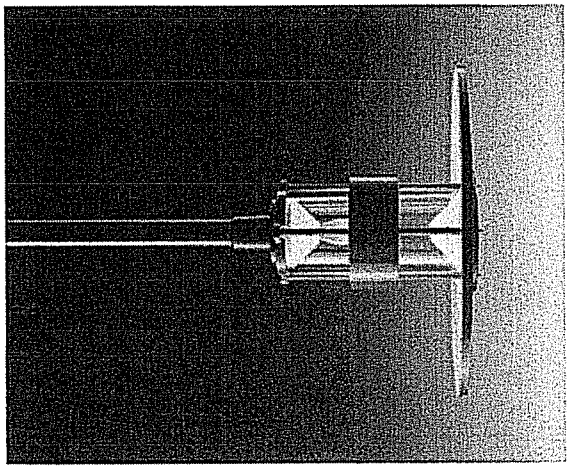
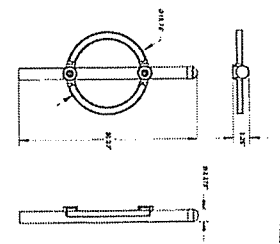
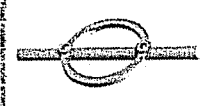
MATERIALS: The MBR200 is finished in composite 1.5mm thick powder coated steel. All dimensions are in millimeters.

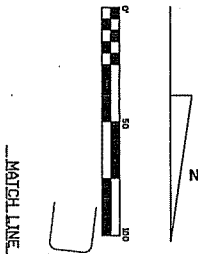
DESCRIPTION: Height: 36.00"
Diameter: 22.200"

WEIGHT: 100.00 (96 x 1)

FINISH: All steel components are finished with E-Coat. The MBR200 is finished with a durable powder coating. All dimensions are in millimeters.

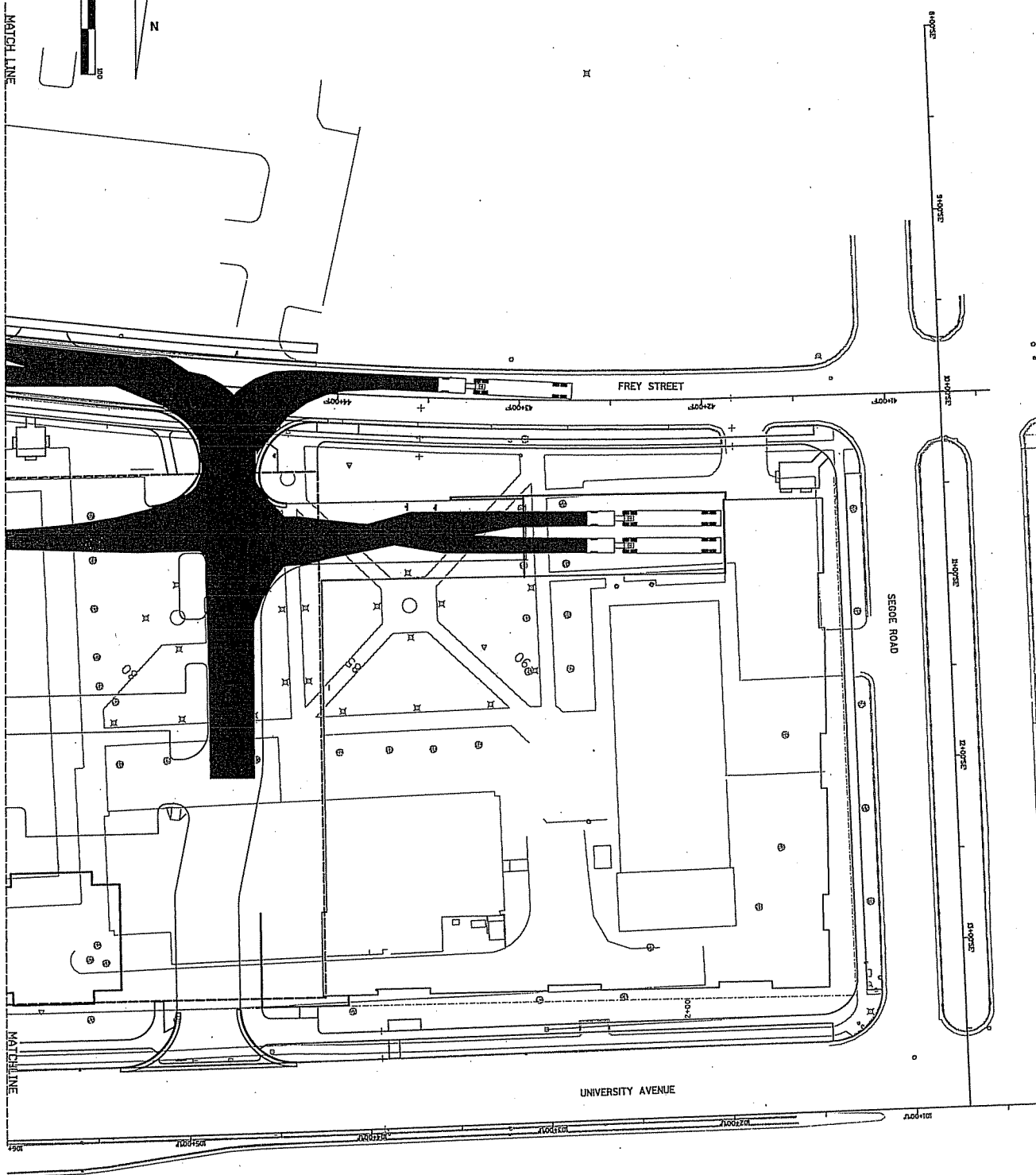
INSTALLATION: The MBR200 is finished in each box for assembly in site.





MATCH LINE

MATCH LINE



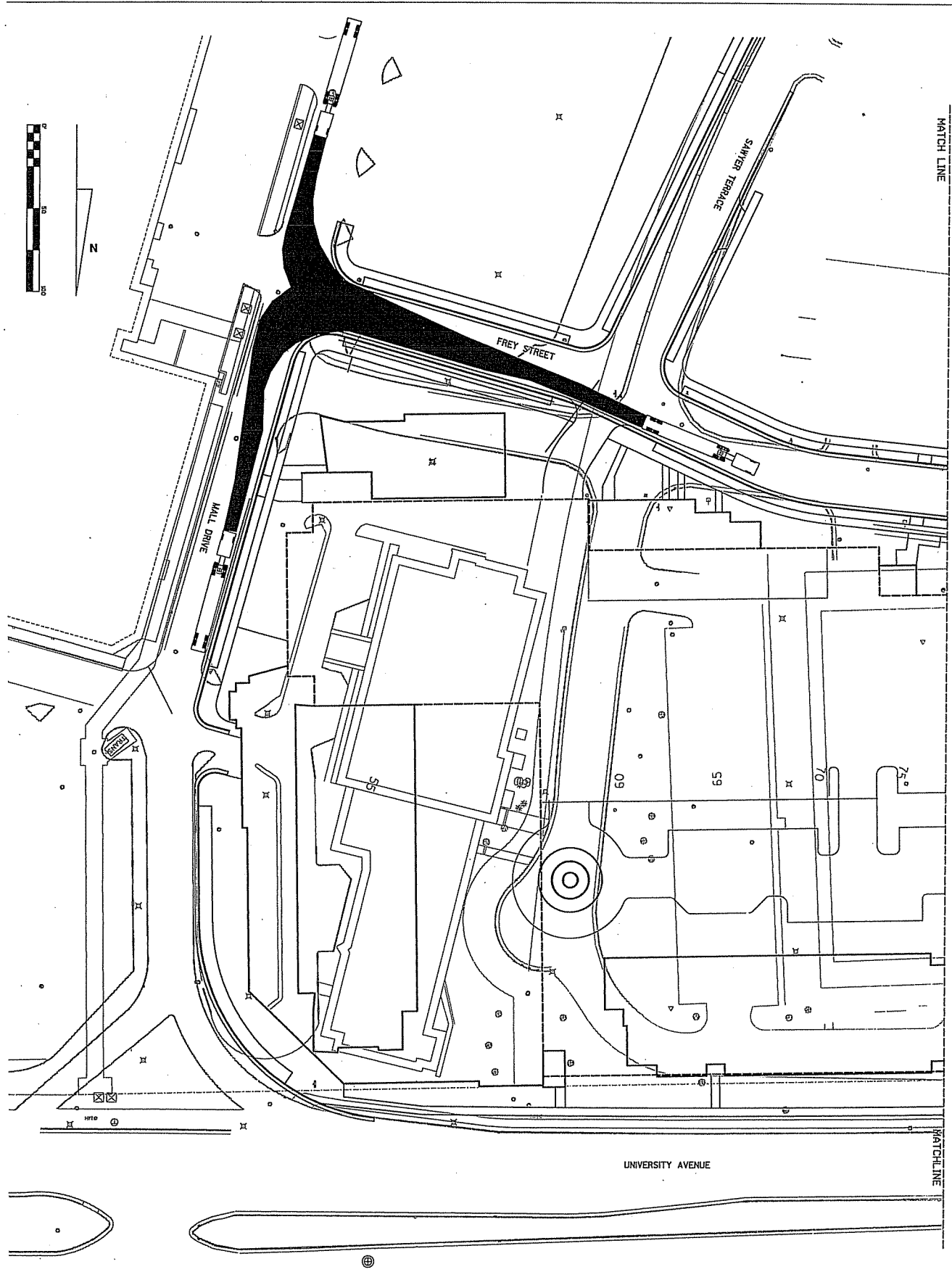
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<p>Project Number</p>	<p>Sheet No.</p>
<p>Date Issued</p>	<p>Revised By</p>
<p>11/2/06</p>	<p></p>
<p>Scale</p>	<p>As Shown</p>
<p>Author</p>	<p>Checker</p>
<p>Drawn</p>	<p>Reviewed</p>
<p>1</p>	<p>1</p>

HILDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD
MADISON, WI
HILDALE BUILDING COMPANY LLC

910 West Virginia Drive
Madison, WI 53718
608.251.9855 FAX
www.strand.com

11



HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD
MADISON, WI 53715
HILLDALE BUILDING COMPANY LLC

TRUCK ACCESS
EAST

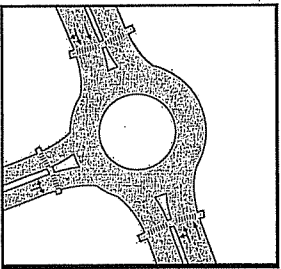
870 West Virginia Drive
Madison, WI 53715
608 251-4443
608 251-8555 FAX
www.hilldale.com



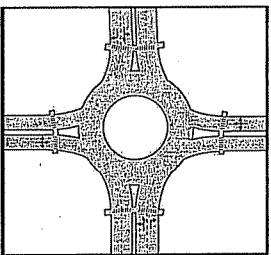
Project Number	11/18/06
Revision	
Drawn By	
Checked By	
Scale	
Sheet Number	S/C 503

Humana Redevelopment – Pedestrian Accommodations

Segoe & Sawyer Terrace
 Bumpouts to Shorten Crossing (to be Coordinated with Plans for Bike Lanes)
 Maintain Median Refuge Signal to Maintain Pedestrian Priority. (JFA) (2)



Segoe & Heather Crest
 Wide Splitter Islands at Future Roundabout (City) (3)



Segoe & Sheboygan
 Wide Splitter Islands at Future Roundabout (City) (2)

Segoe & Frey
 Signalized 2-stage crossing of Segoe (JFA) (2)

(JFA) Indicates Responsible Party
 (2) Indicates Implementation as Part of Phase II
 (3) Indicates Implementation as Part of Phase III

Segoe & University
 Enhanced crossing on west side of intersection to provide better connection to biked/ped path (City) (2)

Add crossing to east side of intersection (City) (2)

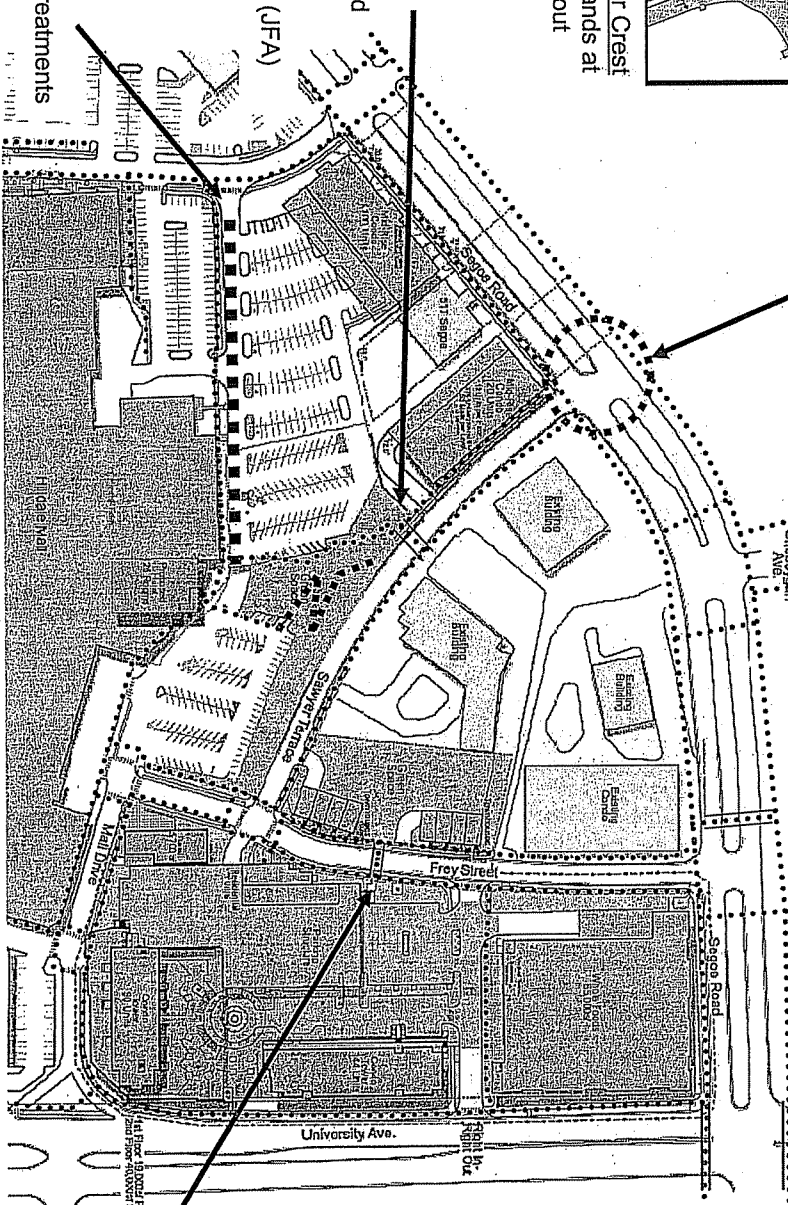
General Notes
 Well Connected and Direct Sidewalk System Throughout Site (JFA) (2),(3)
 City to Continue Investigating Grade Separated Crossing of University Avenue (City) (2),(3)

Frey Street
 Enhanced mid-block Crossing (JFA) (2)

Existing Right-in/Right-out Ped Friendly Crossing of

Sawyer Terrace
 Truck Restriction
 Mid-block table ped crossing
 Accessible Path connection to Mall (JFA)

Mall Drive
 "City Street" Treatments (JFA) (3)



Humana Redevelopment – Bicycle Accommodations

Sheboygan Avenue
Possible Future Bike Lanes on
Sheboygan (City) (3)

Segoe Road
Bike Lanes on Segoe Road at
City's Discretion, Requires
Parking Restriction (City) (2)

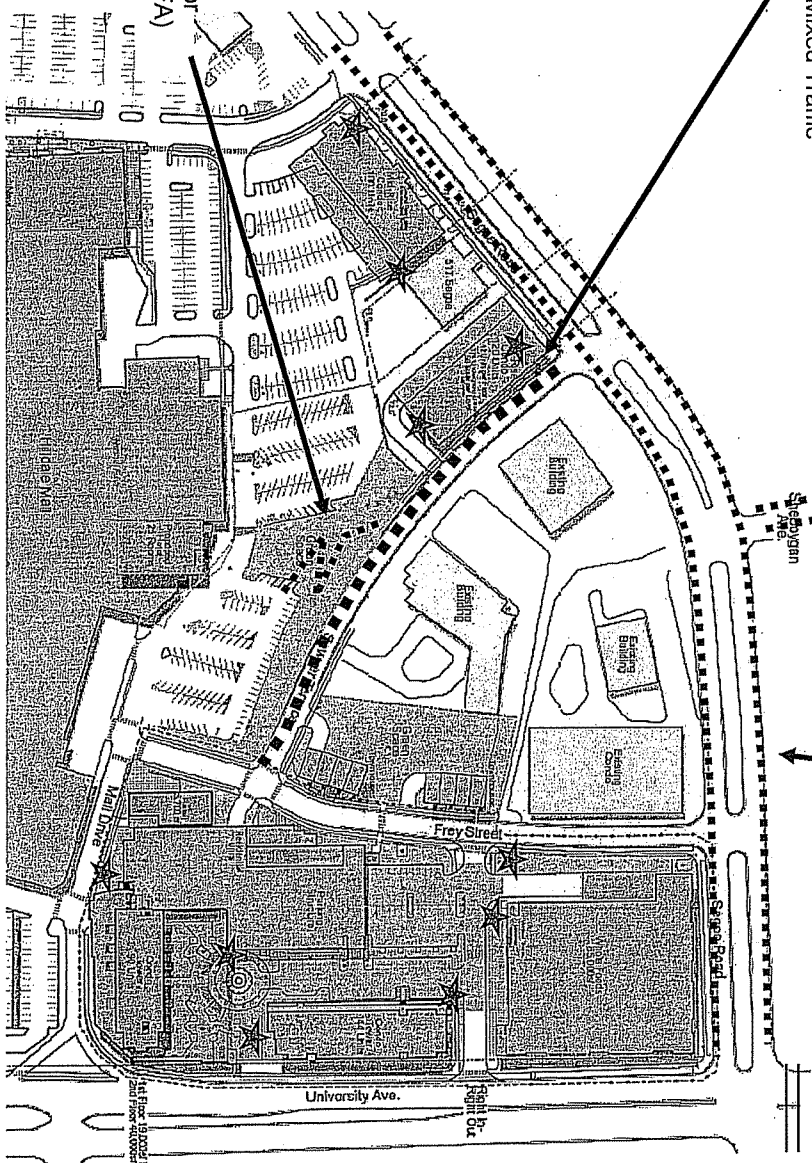
(JFA) Indicates Responsible Party
(2) Indicates Implementation as Part of Phase II
(3) Indicates Implementation as Part of Phase III

Sawyer Terrace
Truck Restriction
Widen street to 36' to Better
Accommodate Mixed Traffic
(JFA) (2)

Sawyer Terrace
Accessible Path for
Access to Mall (JFA)

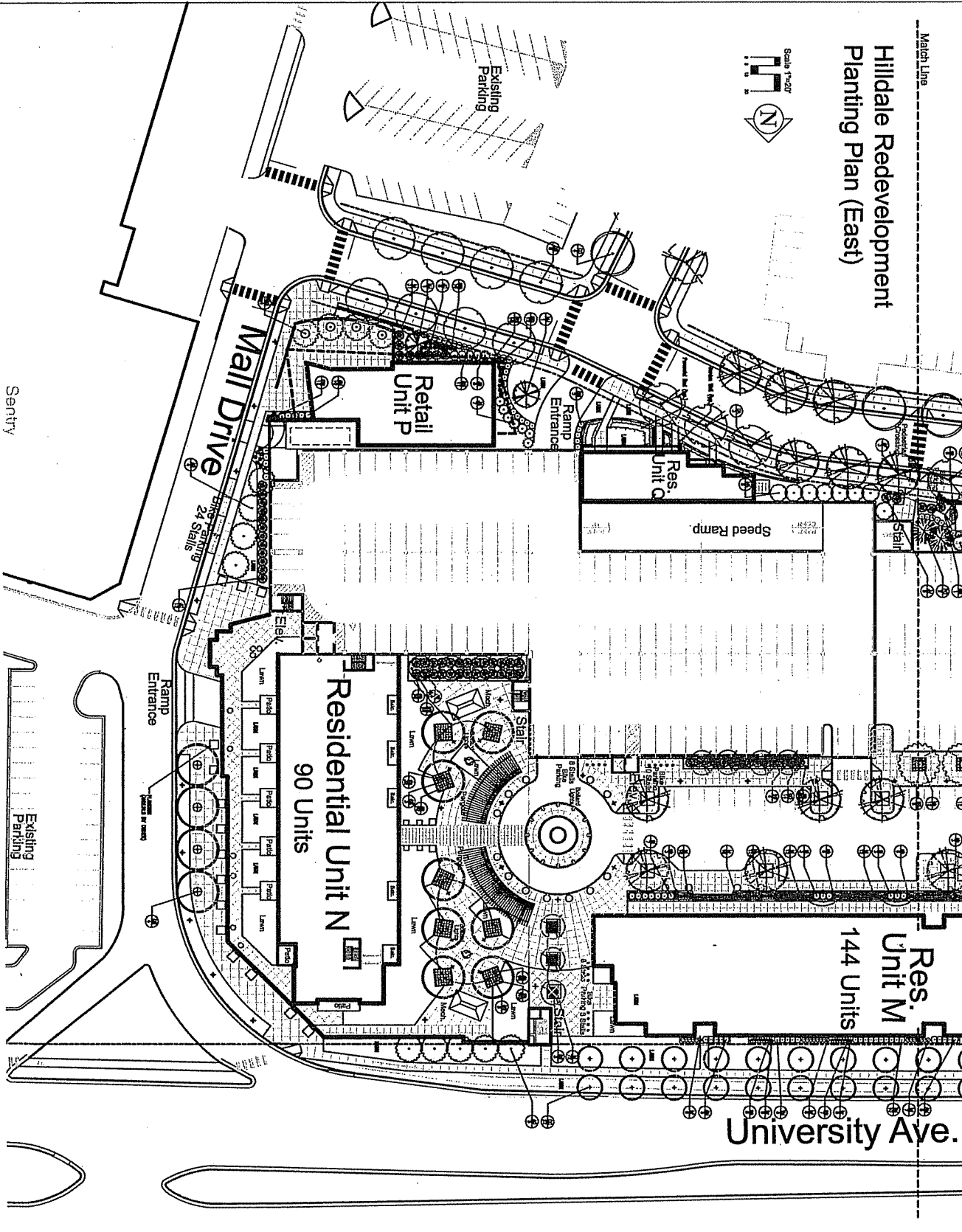
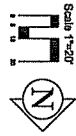
Segoe & University
Enhanced crossing on west
side of intersection to provide
better connection to bike/ped
path (City) (2)

Site Accommodations
Provide abundant bike racks
distributed throughout site
(JFA) ★ (2),(3)



Hilldale Redevelopment
Planting Plan (East)

Match Line



Sentry

Existing Parking

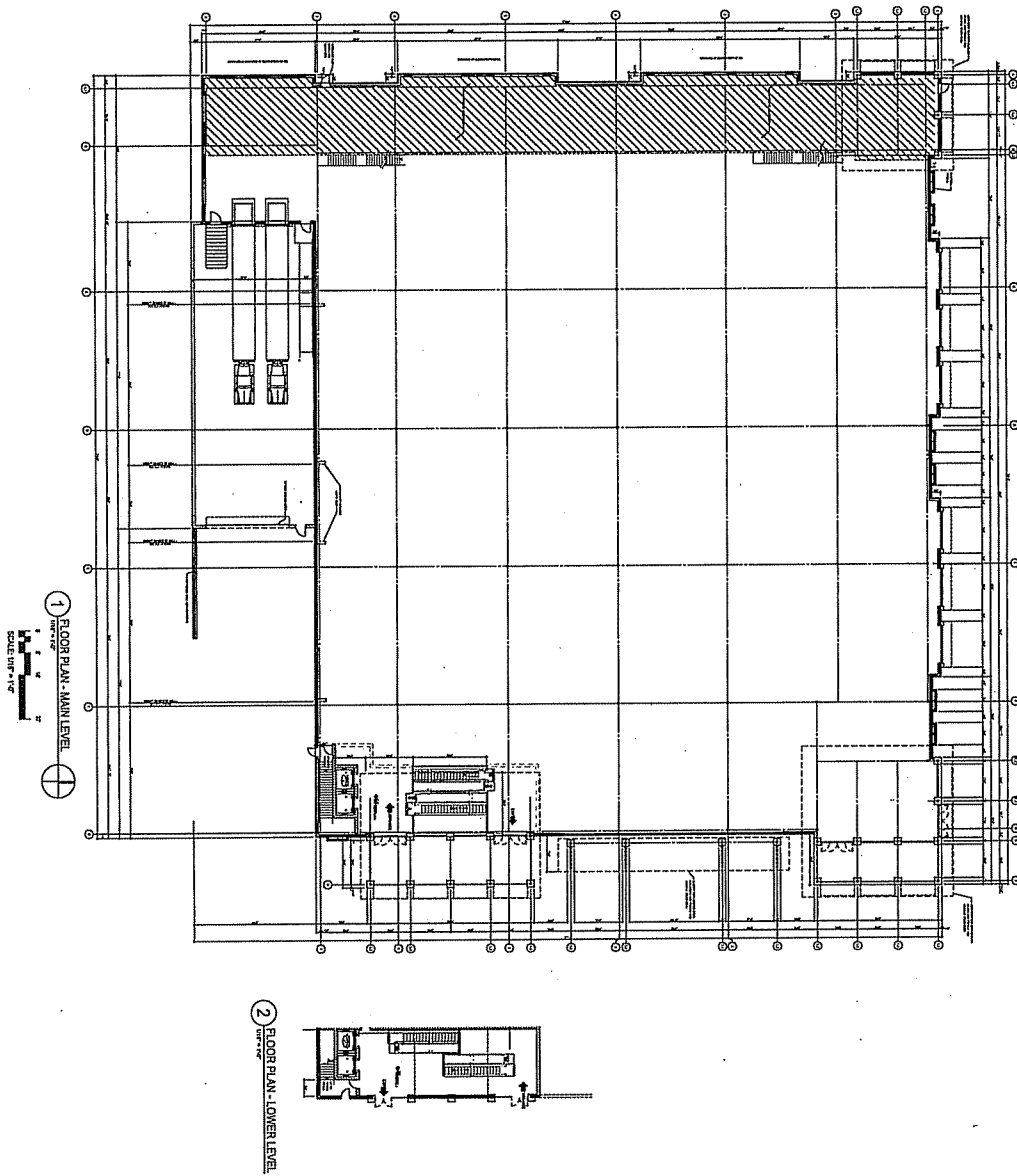
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Client Name	US
Project Name	US
Scale	1/8" = 1'-0"
Sheet Number	2/1

PLANTING PLAN
EAST

HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD
MADISON, WI
HILLDALE BUILDING COMPANY LLC





HILLDALE SHOPPING CENTER

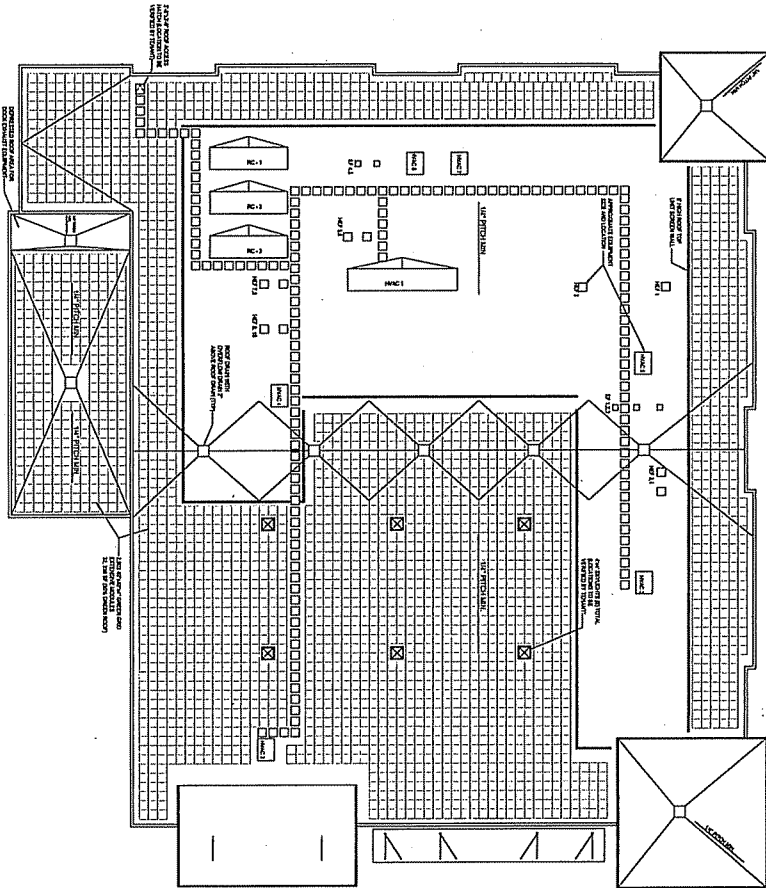
702 N. MIDVALE BOULEVARD MADISON, WI
HILLDALE BUILDING COMPANY LLC

HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

Whole Foods Market
FLOOR PLAN

PPSTEIN UHEN
ARCHITECTS
1111 EAST CENTER STREET
MADISON, WI 53703
TEL: 608.261.1111
WWW.PPSTEINUHEN.COM

Project Number	14-08-05
Client No.	6-0328-02
Drawn By	CW
Checked By	
Scale	
Date	
Sheet No.	L100



HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD MADISON, WI
HILLDALE BUILDING COMPANY LLC

HILLDALE PUD-GDP, AMENDMENT #1 AND SIP AMENDMENT #2

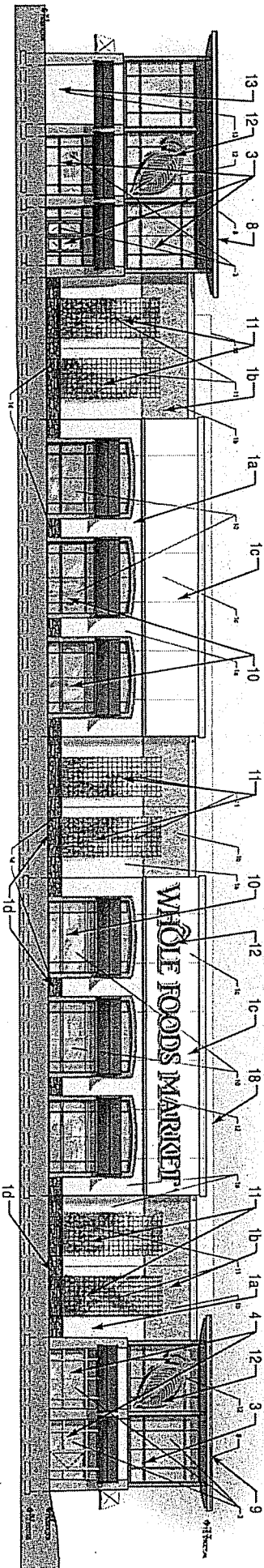
EPSTEIN UHREN
ARCHITECTS
1111 EAST WASHINGTON STREET
MADISON, WISCONSIN 53703
TEL: 608.261.1111
WWW.EPSTEINUHREN.COM

Sheet Title
**HOLE FOODS MARKET
ROOF PLAN**

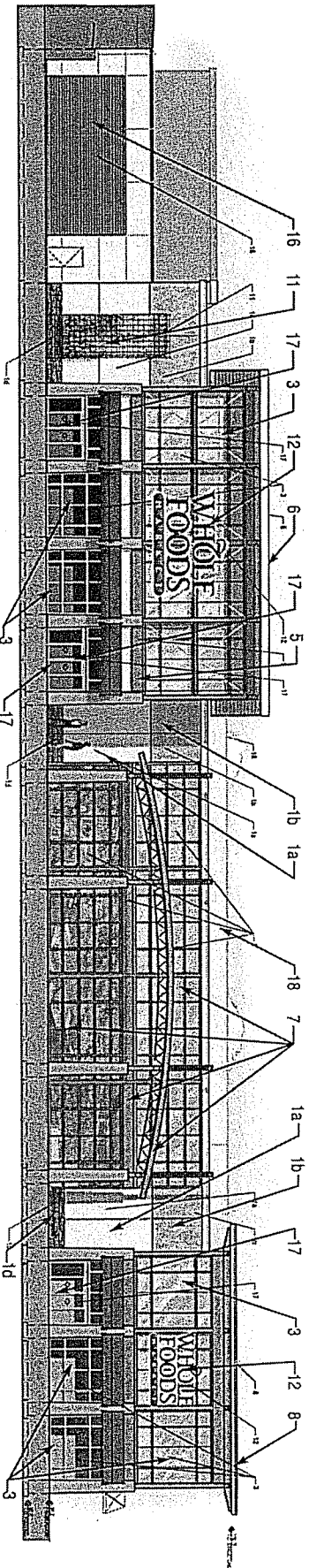
NO.	REVISION	DATE

Project Number: 645219-02
Drawn By: CW
Check Number: 1448-06
Checked By:

Sheet Number:
L101



North Elevation - University Avenue
1" = 20'-0"



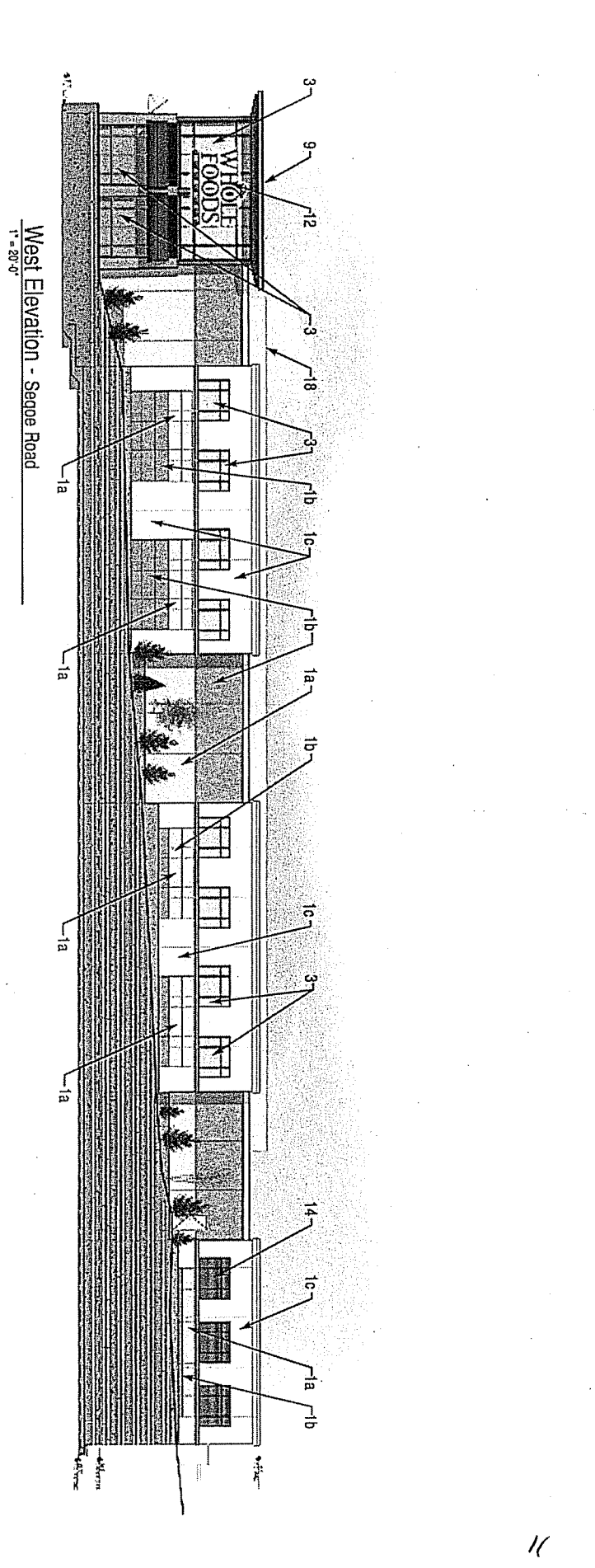
East Elevation
1" = 20'-0"

- 1 Patterned precast wall panels or patterned cast-in-place concrete wall panels
- 1a Field material - tan concrete mix, light acid wash finish
- 1b Accent band - tan concrete mix, deep sand blast, exposed brown aggregate
- 1c Accent band - tan concrete mix, light sand blast, partially exposed brown aggregate
- 1d Base accent - Sierra Drystack precast limestone, field stained
- 2 Poured concrete piers, light sand blast
- 3 Vision glass - clear insulated unit, bronze anodized aluminum frame with thermal break

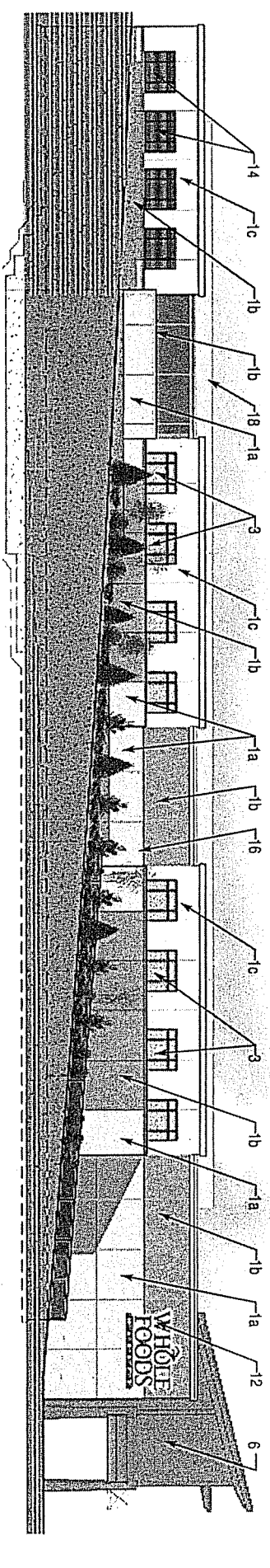
- 4 Patterned glass - insulated unit, no vision, some light transmittance, bronze anodized aluminum frame with thermal break
- 5 Glu-lam timber framing
- 6 Entrance tower - sloping entry roof with two story space, underside of roof is an exposed wood tongue & groove ceiling over glu-lam framing
- 7 Curtain wall system & attached canopy. Curved cantilevered canopy with steel trusses supporting wood tongue & groove ceiling in front of aluminum and glass curtain wall system. All vision glass with the exception of patterned glass at the top parapet panels.
- 8 University Avenue structure. Two story tower on University Avenue, glu-lam framing, vision glass. Pedestrian connection to public transportation and city sidewalk.
- 9 Signage tower structure. Two story tower with glu-lam framing, poured concrete piers, vision glass above and patterned glass below.

- 10 Wood clad projections with steel-framed fabric awnings with vision glass windows.
- 11 Vine covered metal lattice screen with base planter.
- 12 "Whole Foods Market" signage/logo graphic. Backlit, individually cut metal signage.
- 13 Pedestrian plaza.
- 14 Architectural metal louvers.
- 15 Recessed truck dock, naturally screened by existing site conditions.
- 16 Precast panel wall with 6' side return and 30" wide coiling over-head door to screen loading dock.
- 17 Automatic sliding doors
- 18 Roof Screen (beyond)





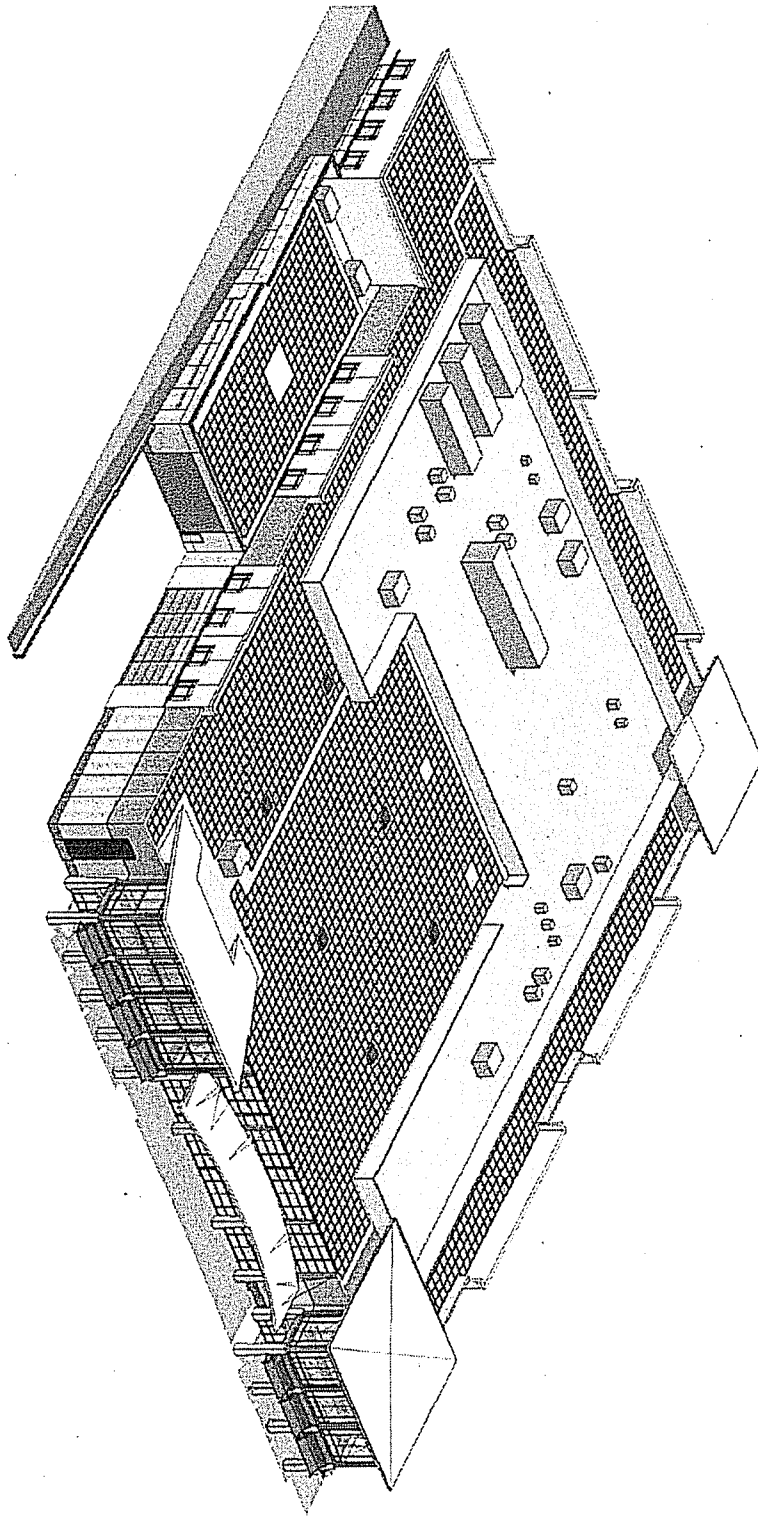
West Elevation - Segoe Road
1" = 20'-0"



South Elevation - Frey Street
1" = 20'-0"

- 1 Patterned precast wall panels or patterned cast-in-place concrete wall panels.
- 2 Field material - Tan concrete mix, light acid wash finish.
- 3 Accent band - Tan concrete mix, deep sand blast, exposed brown aggregate.
- 4 Accent band - Tan concrete mix, light sand blast, partially exposed brown aggregate.
- 5 Base accent - Sierra Drystack precast limestone, field slanted.
- 6 Round concrete piers, light sand blast.
- 7 Vision glass - clear insulated unit, bronze anodized aluminum frame with thermal break.
- 8 Patterned glass - insulated unit, no vision, some light transmittance. Bronze anodized aluminum frame with thermal break.
- 9 Glu-lam timber framing.
- 10 Entrance tower. Slanted entry roof with two story space. Underside of roof is an exposed wood tongue & groove ceiling over glu-lam framing.
- 11 Curtain wall system & arched canopy. Curved cantilevered canopy with steel trusses supporting wood tongue & groove ceiling in front of aluminum and glass curtain wall system. All vision glass with the exception of patterned glass at the top parapet panels.
- 12 University Avenue structure. Two story tower on University Avenue, glu-lam framing, vision glass. Pedestrian connection to public transportation and city sidewalk.
- 13 Segoe head structure. Two story tower with glu-lam framing, poured concrete piers, vision glass above and patterned glass below.
- 14 Wood clad projections with steel-framed fabric awnings with vision glass windows.
- 15 Nine covered metal roll-up screen with base planter.
- 16 White Foods Market. Sinagraflogo graphic. Backlit, individually cut metal signage.
- 17 Pedestrian plaza.
- 18 Architectural metal louvers.
- 19 Recessed louver dock, naturally screened by existing site conditions.
- 20 Precast panel wall with 6' side return and 30' wide ceiling over-head door to screen loading dock.
- 21 Automatic sliding doors.
- 22 Floor Screen (beyond)



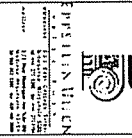


20 ISOMETRIC VIEW - GREENROOF

HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD MADISON, WI
HILLDALE BUILDING COMPANY LLC

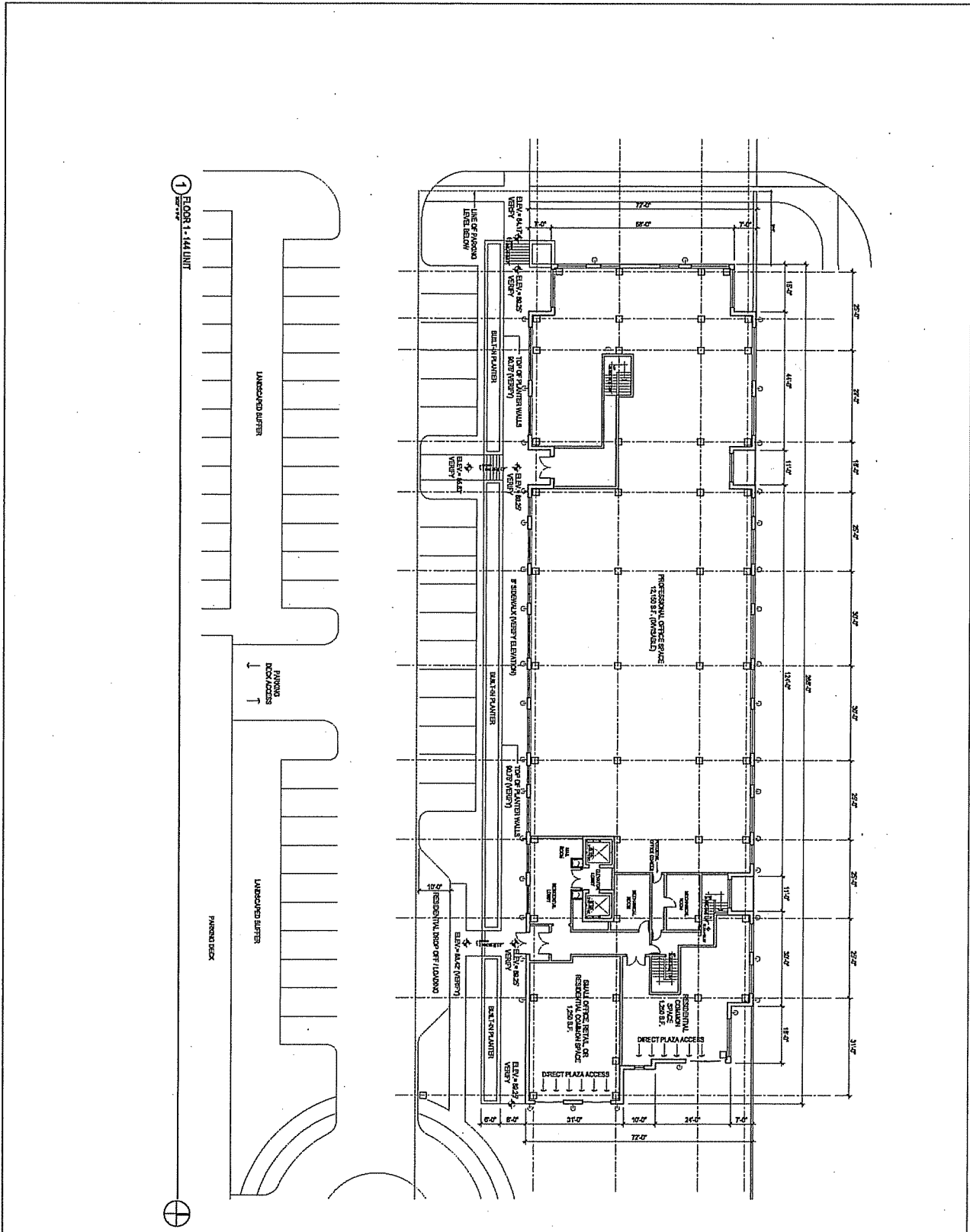
HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2



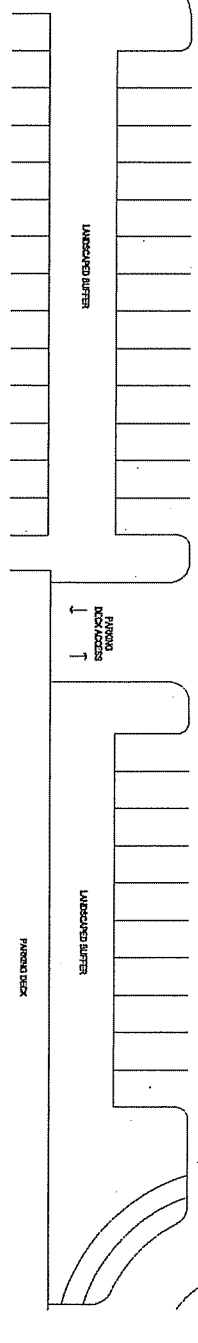
Project Name: WHOLE FOODS MARKET
Project No.: ISOMETRIC VIEW

Project Number	6-0219-02	Sheet No.	01
Date Issued	11-08-05	Scale	

Sheet Number: **L300**



1 FLOOR 1 - 144 UNIT



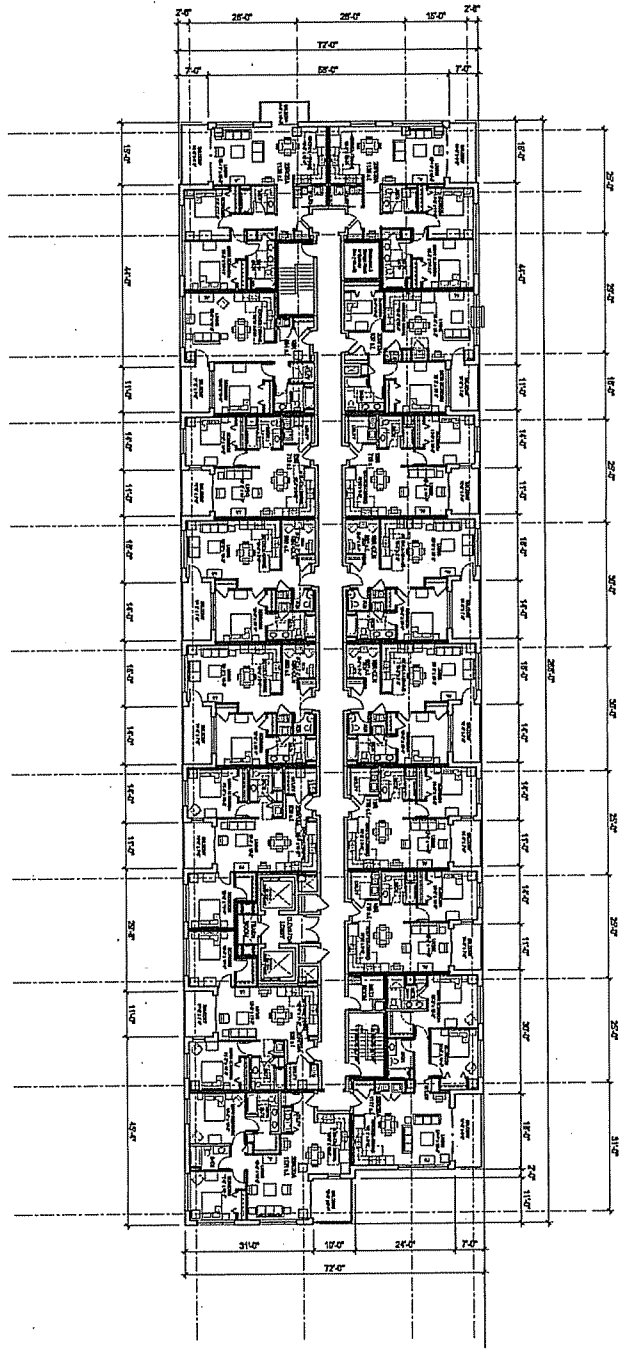
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Contract Number	144946
Revision No.	03
Scale	
Sheet Number	M 100

BUILDING W/
TYPICAL FLOOR PLAN

HILLDALE SHOPPING CENTER
 702 N. MIDVALE BOULEVARD MADISON, WI
 HILLDALE BUILDING COMPANY LLC
 HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

ERSTEIN UHEN
 ARCHITECTS
 1000 W. MOUNTAIN VIEW
 MADISON, WI 53706
 PHONE: 608.261.1111
 FAX: 608.261.1112
 WWW.ERSTEINUHEN.COM

1 FLOORS 2A - 14 UNIT



HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD MADISON, WI
HILLDALE BUILDING COMPANY LLC

HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2



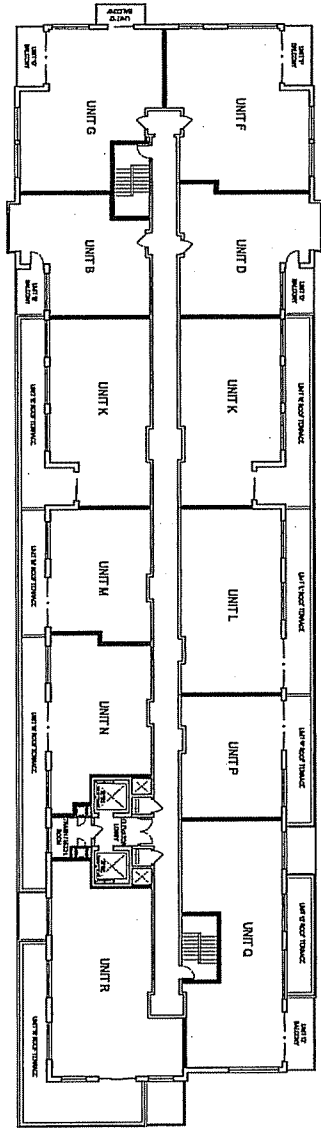
Sheet Title
**BUILDING #1
TYPICAL FLOOR PLAN**

NO.	REVISION	DATE

Project Number: 14888-01
Date Issued: 11-08-06
Sheet No: 05

M 101

1 FLOOR 9 - 14 UNIT



HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD MADISON, WI
HILLDALE BUILDING COMPANY LLC

HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

EPSTEIN UHEN
ARCHITECTS
1111 EAST WISCONSIN AVENUE
MADISON, WI 53703
TEL: 608.261.1111
WWW.EPSTEINUHEN.COM

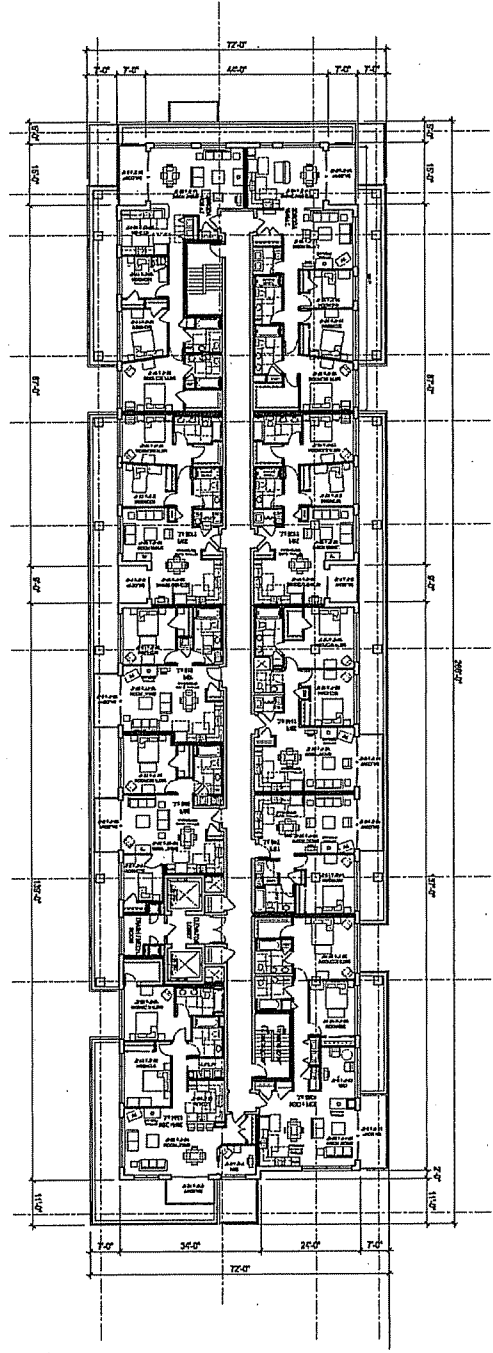


NO.	REVISION	DATE

Project Number: 1488844
Drawing No: 05
Scale: AS SHOWN

Sheet Number: M 102

1 FLOOR 101-114 UNIT



HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD MADISON, WI
HILLDALE BUILDING COMPANY LLC

HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

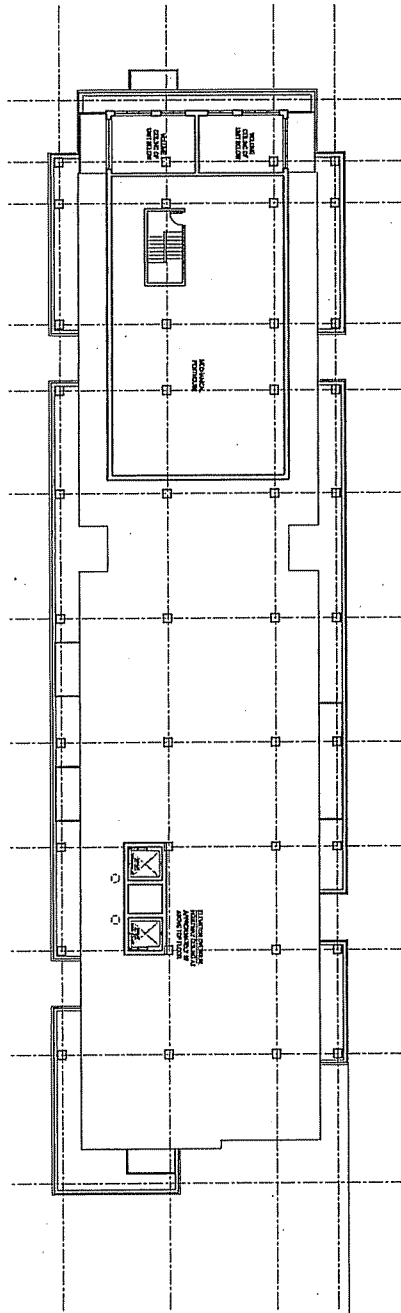


Project Number	14-0394-01
Issue Number	03
Sheet Number	M 103

NO.	REVISION	DATE

Sheet Title
BUILDING NO.
TYPICAL FLOOR PLAN

1 PENHOUSE LEVEL



UPPER LEVEL (SEE SHEET M-103)

HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD MADISON, WI
HILLDALE BUILDING COMPANY LLC

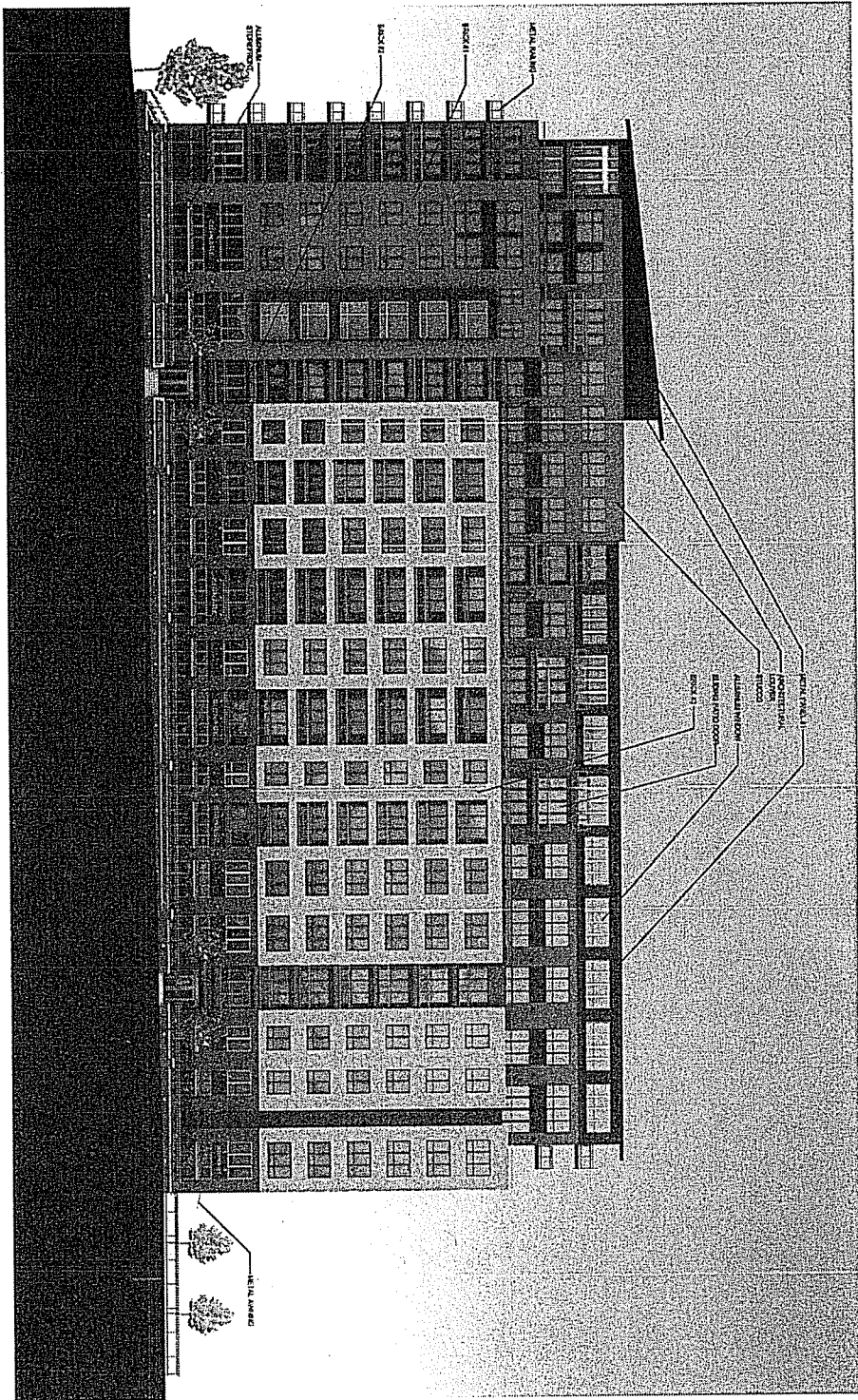
HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

EPSTEIN UHLEN
ARCHITECTS
1000 UNIVERSITY AVENUE
MADISON, WISCONSIN 53706
TEL: 608.263.1111
WWW.EPSTEINUHLEN.COM

NO.	REVISION	DATE

Project Number: 14080401
Date Issued: 11-08-06
Sheet No: 03
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Drawing No: M-104

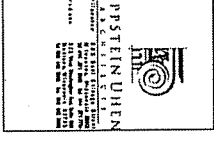
SOUTH ELEVATION

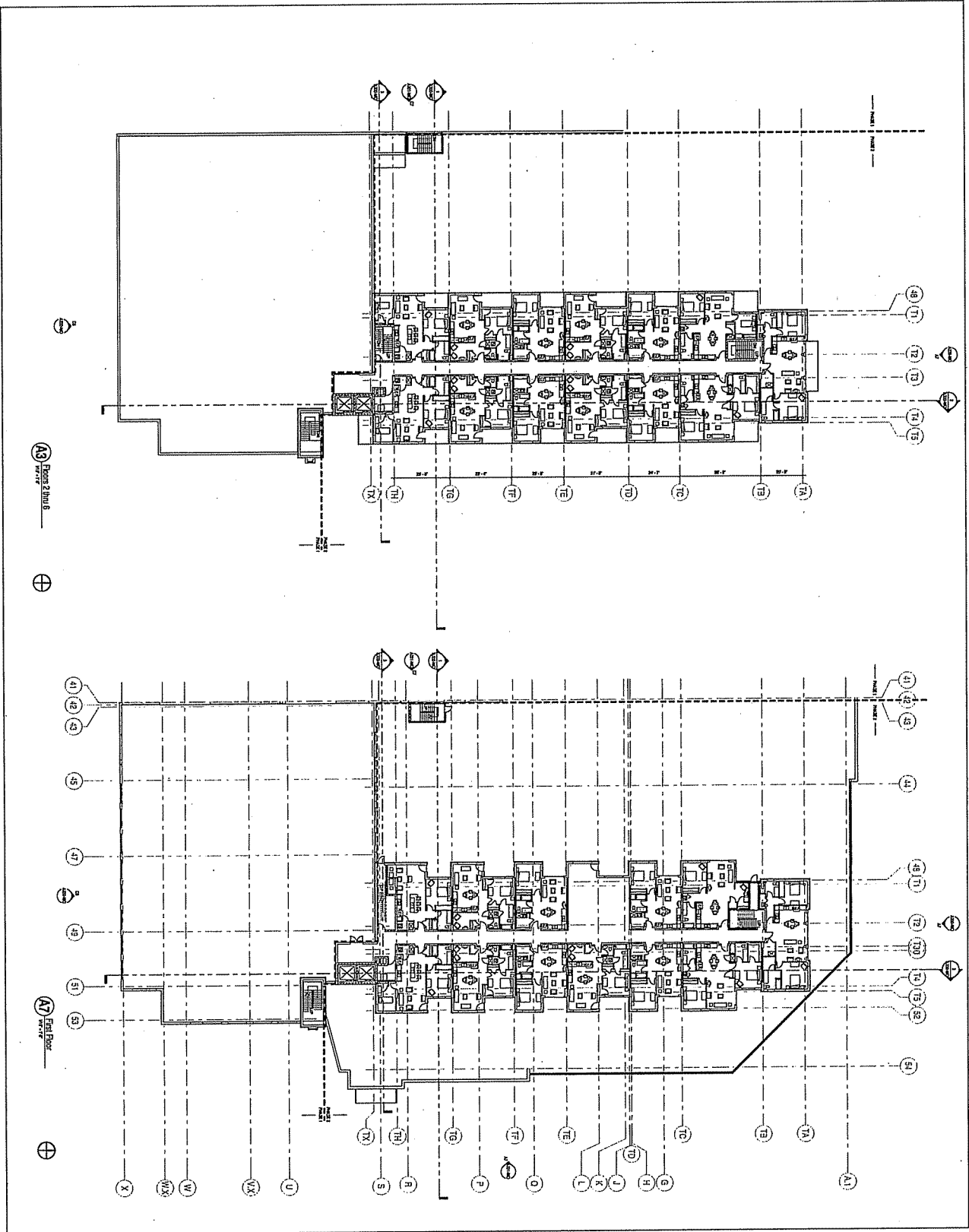


Project Number	1-0620-01
Sheet Number	11-08-06
Scale	CS
Date	MI 2012

BUILDING #1
SOUTH ELEVATION

HILLDALE SHOPPING CENTER
 702 N. MIDVALE BOULEVARD MADISON, WI
 HILLDALE BUILDING COMPANY LLC
 HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2




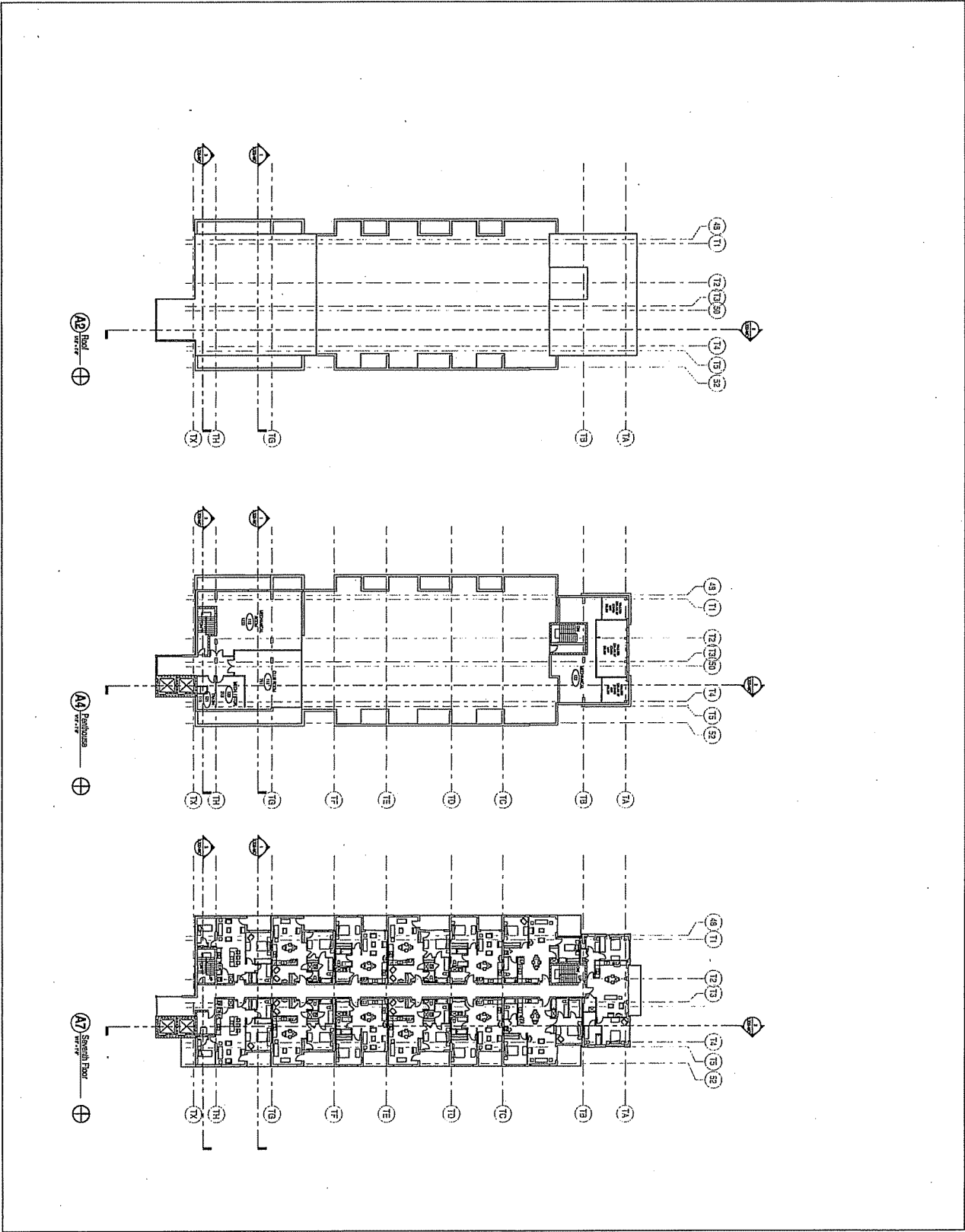


NO 101

FLOORPLANS	
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NO. 103	NO. 103
NO. 104	NO. 104
NO. 105	NO. 105
NO. 106	NO. 106
NO. 107	NO. 107
NO. 108	NO. 108
NO. 109	NO. 109
NO. 110	NO. 110

HILLDALE SHOPPING CENTER
 702 N. MIDVALE BOULEVARD
 MADISON, WI
 HILLDALE BUILDING COMPANY LLC
 HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2


EPSTEIN OREN
 ARCHITECTS
 225 EAST GILBERT STREET
 MADISON, WI 53703
 PHONE: 608.261.1111
 FAX: 608.261.1112
 WWW.EPSTEINOREN.COM

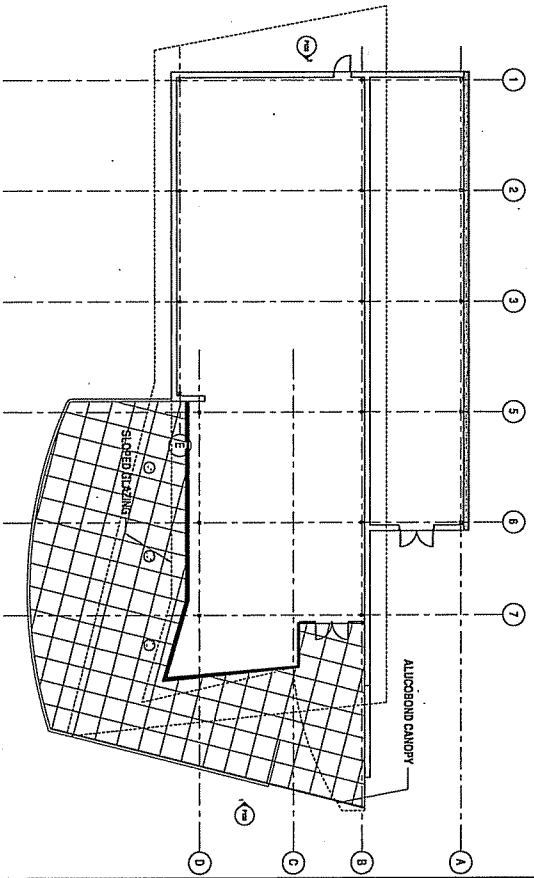
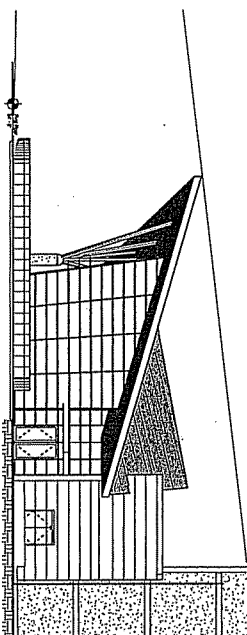
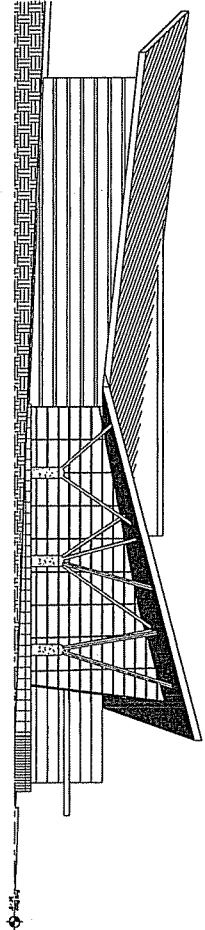
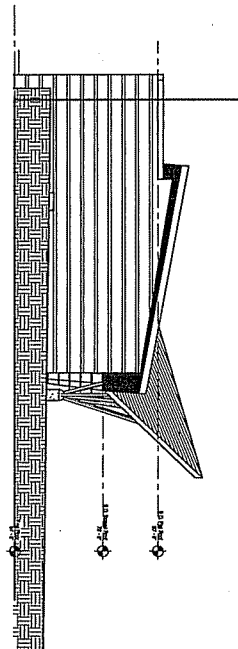


N/O 102	DATE	BY	REVISION
	10/28/11	AKK	

FLOOR PLANS

HILLDALE SHOPPING CENTER
 702 N. MIDVALE BOULEVARD
 MADISON, WI
 HILLDALE BUILDING COMPANY LLC
 HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

EPSTEIN/UNHEN
 ARCHITECTS
 1000 UNIVERSITY AVENUE
 SUITE 1000
 MADISON, WISCONSIN 53706
 TEL: 608.261.1111
 FAX: 608.261.1112
 WWW.EPSTEINUNHEN.COM



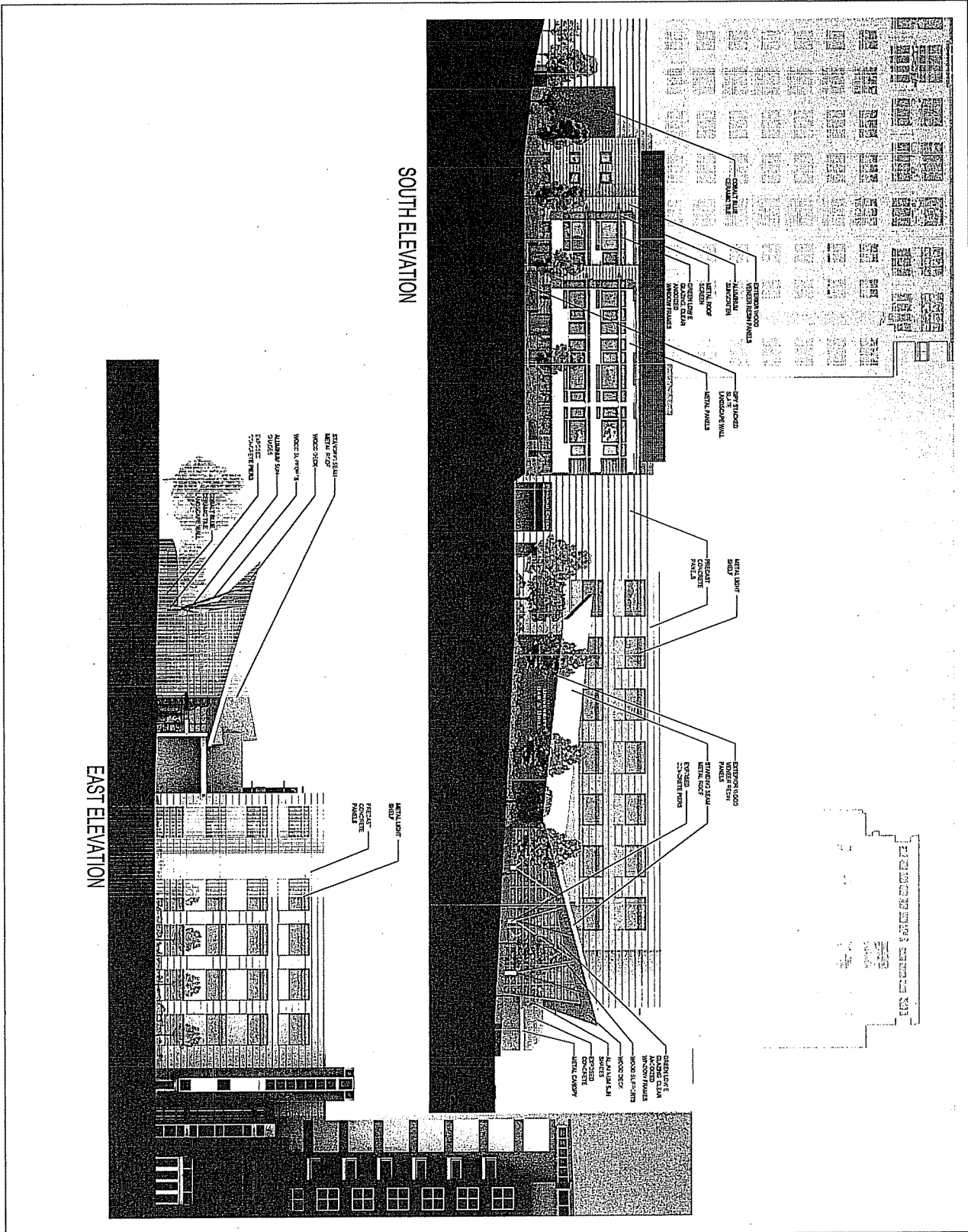
HILDALE SHOPPING CENTER
 702 N. MIDVALE BOULEVARD
 MADISON, WI
 HILDALE BUILDING COMPANY LLC
 HILDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

EPSTEIN
 ARCHITECTS
 1000 W. MOUNTAIN VIEW
 MADISON, WI 53706
 TEL: 608.261.1111
 FAX: 608.261.1112
 WWW.EPSTEINARCHITECTS.COM

Building Division & Plan
 10/08

PROJECT NO.	10088
DATE	10/08
DESIGNER	KW
CHECKER	
DATE	
DESIGNER	
CHECKER	
DATE	
DESIGNER	
CHECKER	
DATE	

P100



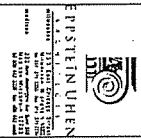
SOUTH ELEVATION

EAST ELEVATION

HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD MADISON, WI
HILLDALE BUILDING COMPANY LLC

HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2



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ARCHITECTS
1000 W. MOUNTAIN VIEW
MADISON, WI 53706
TEL: 608.261.1111
WWW.EPSTEINUHLEN.COM

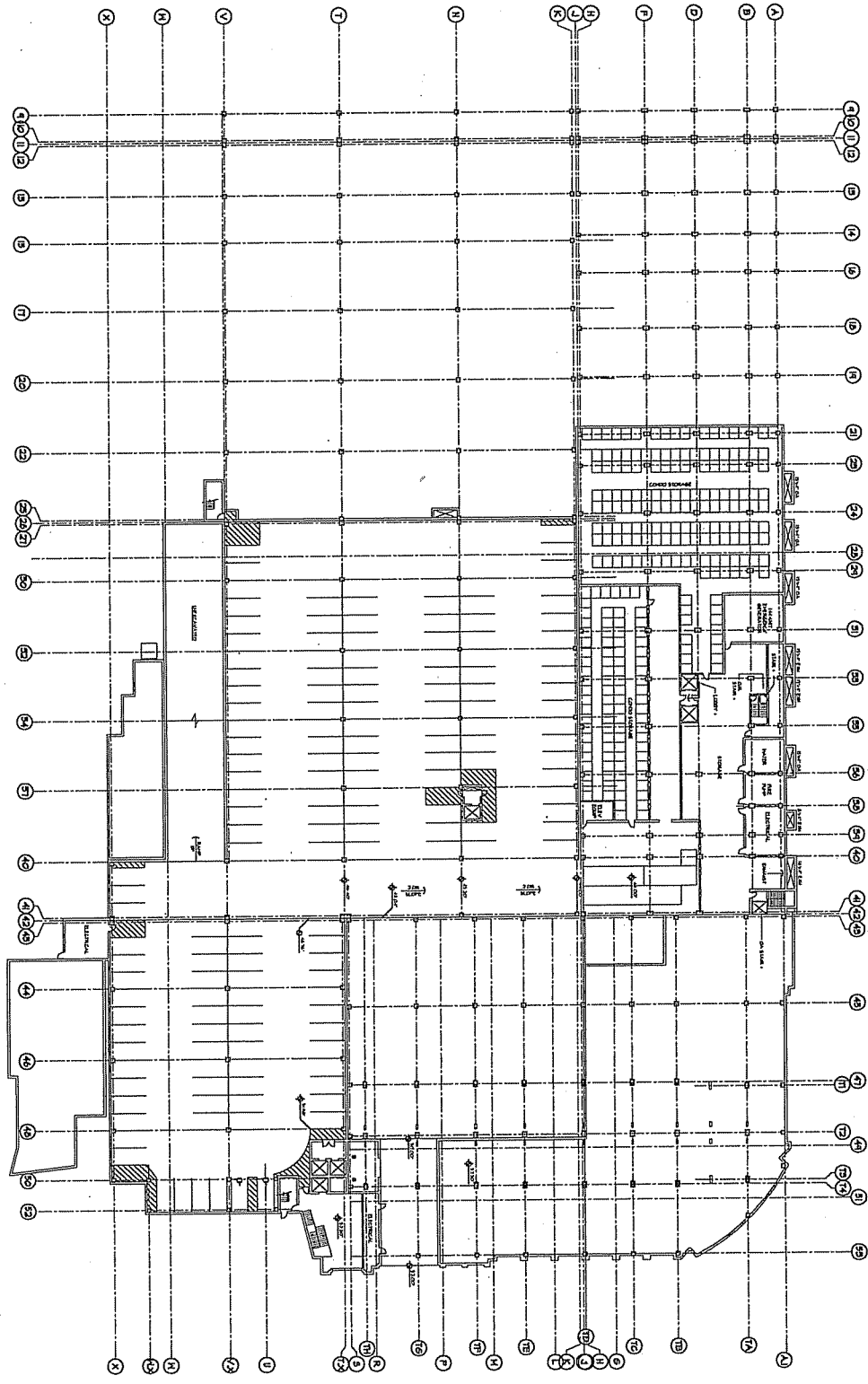
NO.	REVISION	DATE

Project Title:
BUILDING #1 & 2
EAST & SOUTH
ELEVATIONS

Project Number: 14890401
Drawing No: CC
Scale: AS SHOWN

P/Q 200

PARKING LEVEL 1



HILLDALE SHOPPING CENTER
 702 N. MIDVALE BOULEVARD
 MADISON, WI

HILLDALE BUILDING COMPANY LLC

**ARNOLD AND
 O'SHEA, INC.**
 ARCHITECTS & ENGINEERS
 1111 UNIVERSITY AVENUE, SUITE 100
 MADISON, WISCONSIN 53706-1111
 TEL: 608/263-1111 FAX: 608/263-1112

NO.	DESCRIPTION	DATE

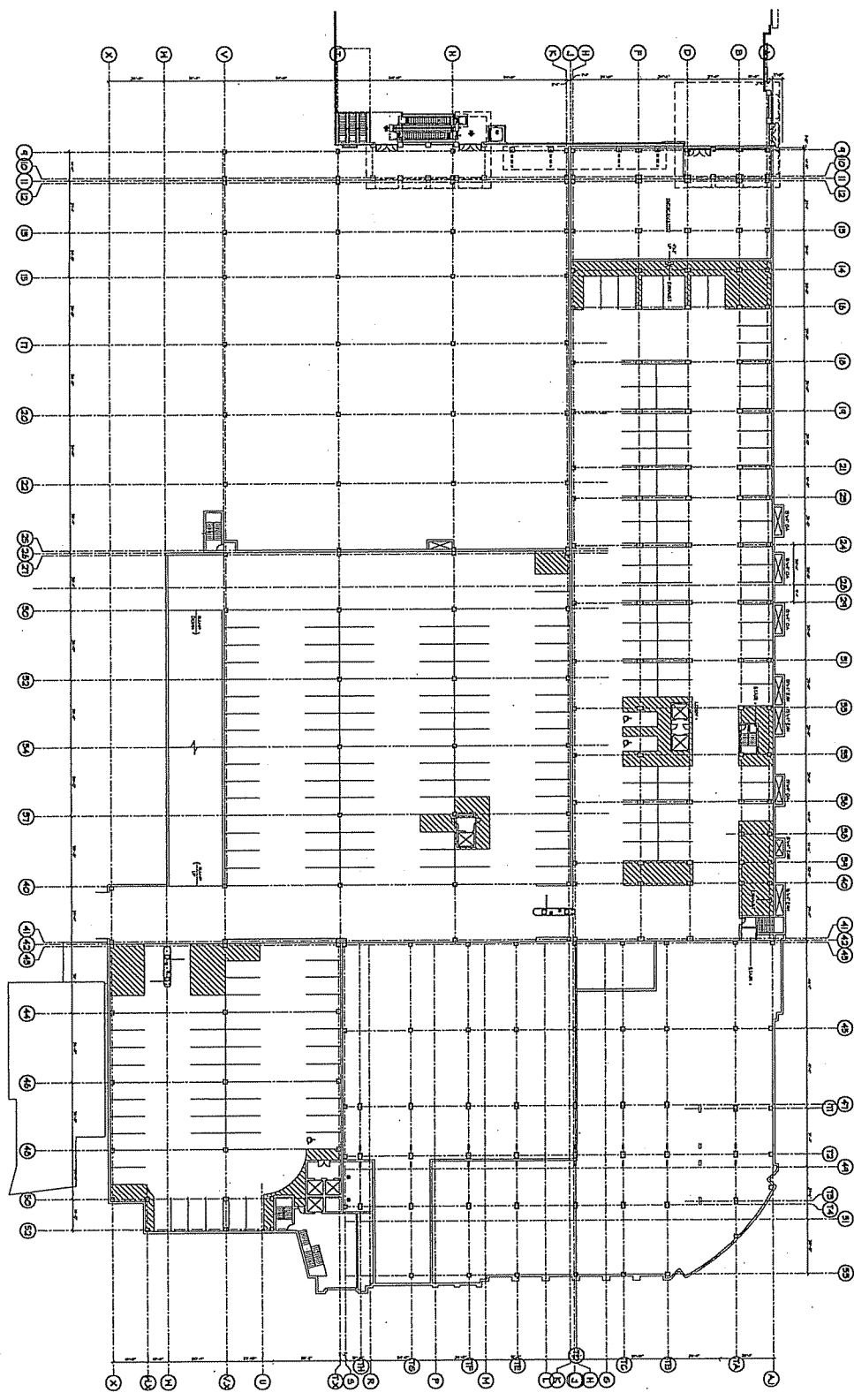
Sheet No. **PARKING LEVEL 1**

Project No. **R101**

Client: **HILLDALE BUILDING COMPANY LLC**

Architect: **ARNOLD AND O'SHEA, INC.**

Date: **11-20-08**



PARKING LEVEL 2



HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD
MADISON, WI

HILLDALE BUILDING COMPANY LLC

AROLD AND SHERIDAN INC.
ARCHITECTS
1111 UNIVERSITY AVENUE
MADISON, WI 53706
TEL: 608/263-1111
WWW.AROLDANDSHERIDAN.COM



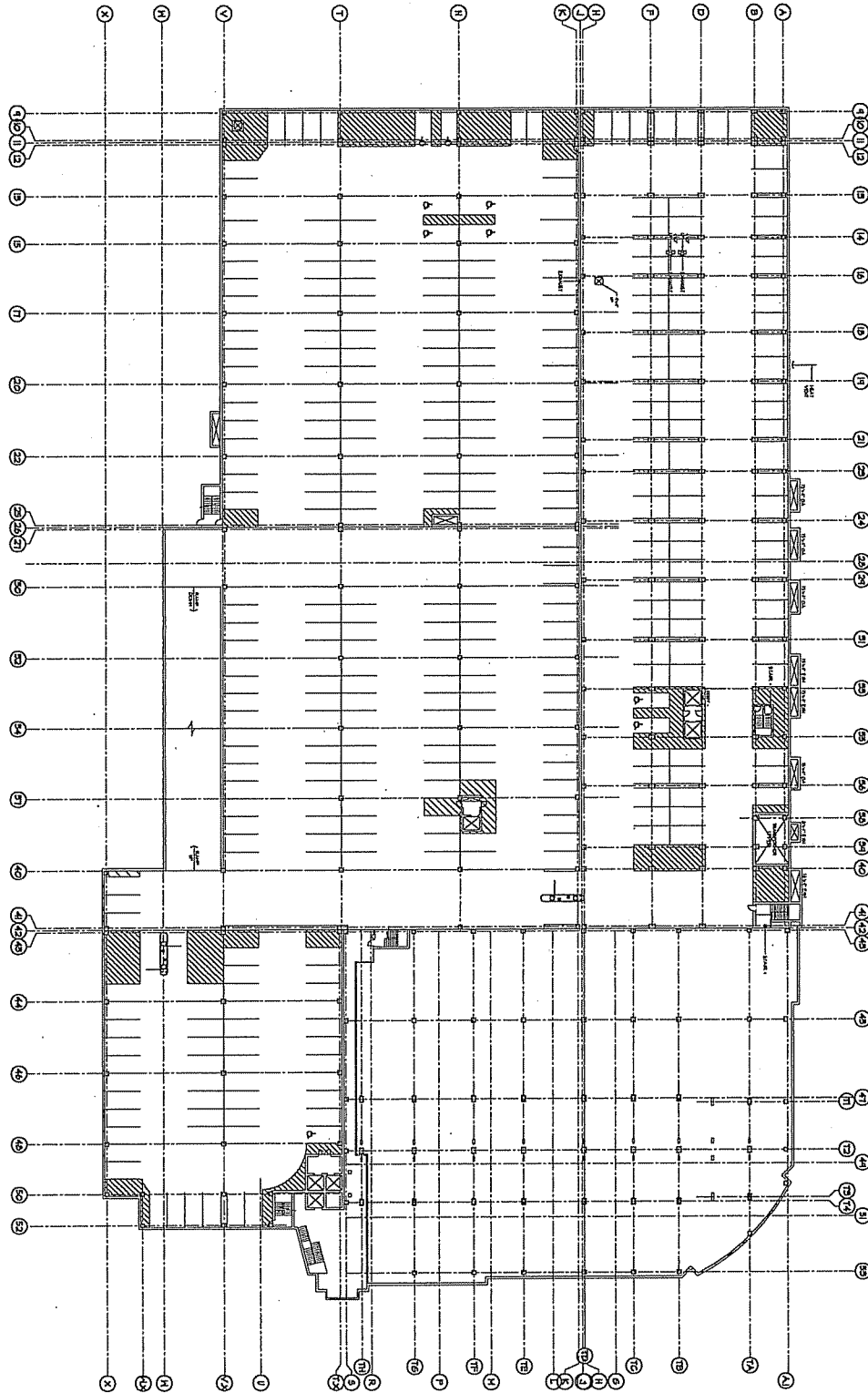
DATE: 11-08-08
PARKING LEVEL 2

NO.	REVISION	DATE

PROJECT NUMBER: 000287
DATE: 11-08-08
SHEET: R102

R102

103 PARKING LEVEL 3



HILLDALE SHOPPING CENTER
 702 N. MIDVALE BOULEVARD
 MADISON, WI

HILLDALE BUILDING COMPANY LLC

ARROLD AND OSBERGER, INC.
 ARCHITECTS
 1111 UNIVERSITY AVENUE
 MADISON, WISCONSIN 53706
 TEL: 608/263-1111
 FAX: 608/263-1111



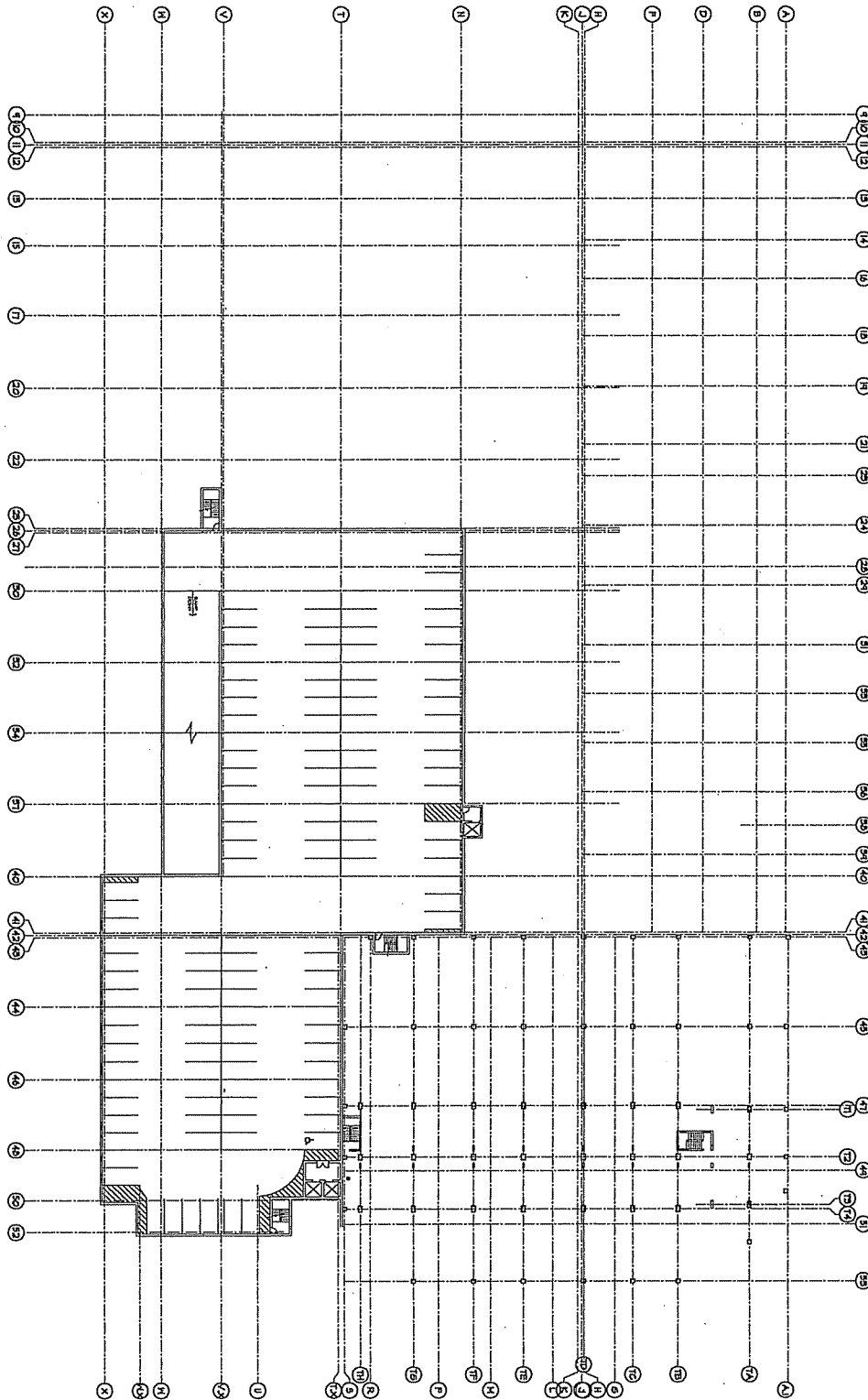
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 PARKING LEVEL 3

NO.	REVISION	DATE	BY	CHK.

Project Name:	
Client:	
Architect:	
Date:	
Scale:	
Sheet No.:	
Project No.:	

R103

1 PARKING LEVEL 5



HILLDALE SHOPPING CENTER
 702 N. MIDVALE BOULEVARD
 MADISON, WI

HILLDALE BUILDING COMPANY LLC

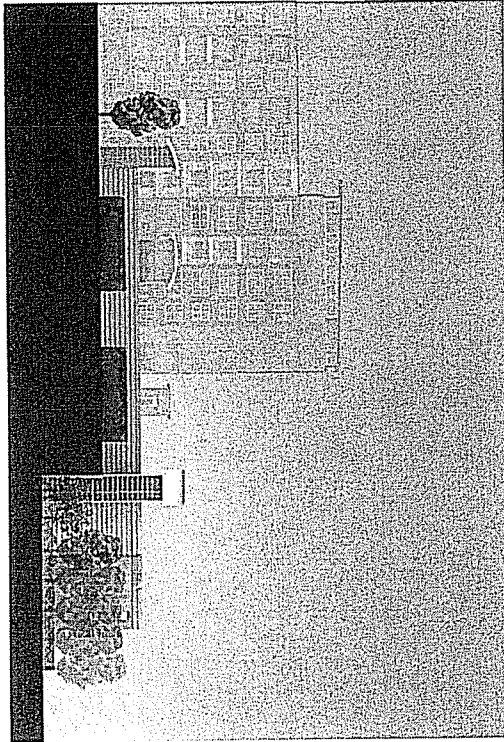
A. RONOLD AND ASSOCIATES, INC.
 ARCHITECTS
 1111 UNIVERSITY AVENUE, SUITE 100
 MADISON, WI 53706
 (608) 263-1111
 FAX: (608) 263-1112
 WWW.ARONOLD.COM

Scale: 1/8" = 1'-0"
 PARKING LEVEL 5

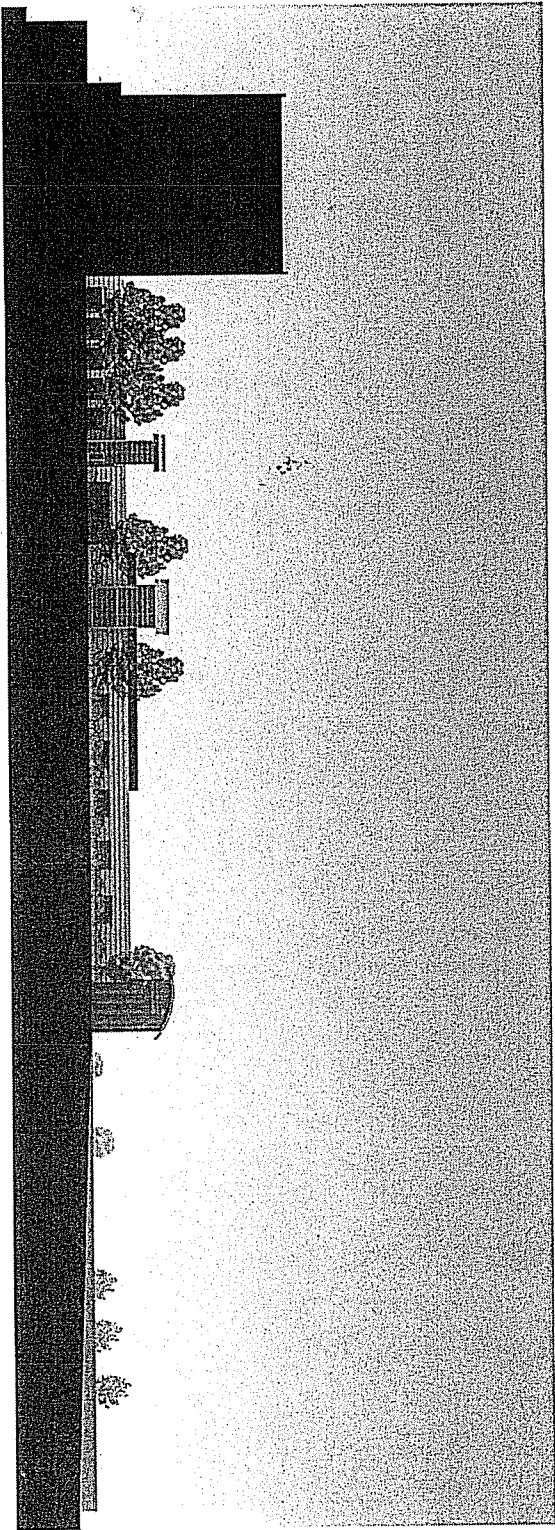
NO.	REVISION	DATE

Project Number:	080227
Scale:	1/8" = 1'-0"
Date:	11-08-06
Drawn by:	MLS
Checked by:	
Project Name:	HILLDALE
Client:	HILLDALE BUILDING COMPANY LLC

R105



WEST ELEVATION

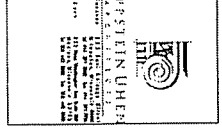


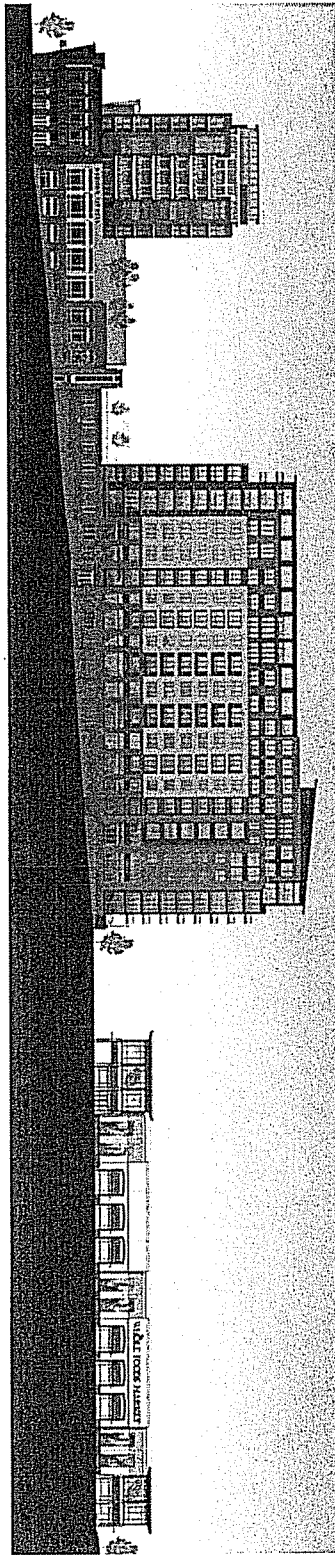
NORTH ELEVATION

Project No.	14656401
Client Name	Hilldale Building Company LLC
Project Name	HILLDALE SHOPPING CENTER
Scale	AS SHOWN
Date	11/20/16
Drawn By	CG
Checked By	
Project Location	
Sheet No.	R 211

Project No.	14656401
Client Name	Hilldale Building Company LLC
Project Name	HILLDALE SHOPPING CENTER
Scale	AS SHOWN
Date	11/20/16
Drawn By	CG
Checked By	
Project Location	
Sheet No.	R 211

HILLDALE SHOPPING CENTER
 702 N. MIDVALE BOULEVARD MADISON, WI
 HILLDALE BUILDING COMPANY LLC
 HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2





OVERALL NORTH ELEVATION

HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD MADISON, WI
 HILLDALE BUILDING COMPANY LLC

HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

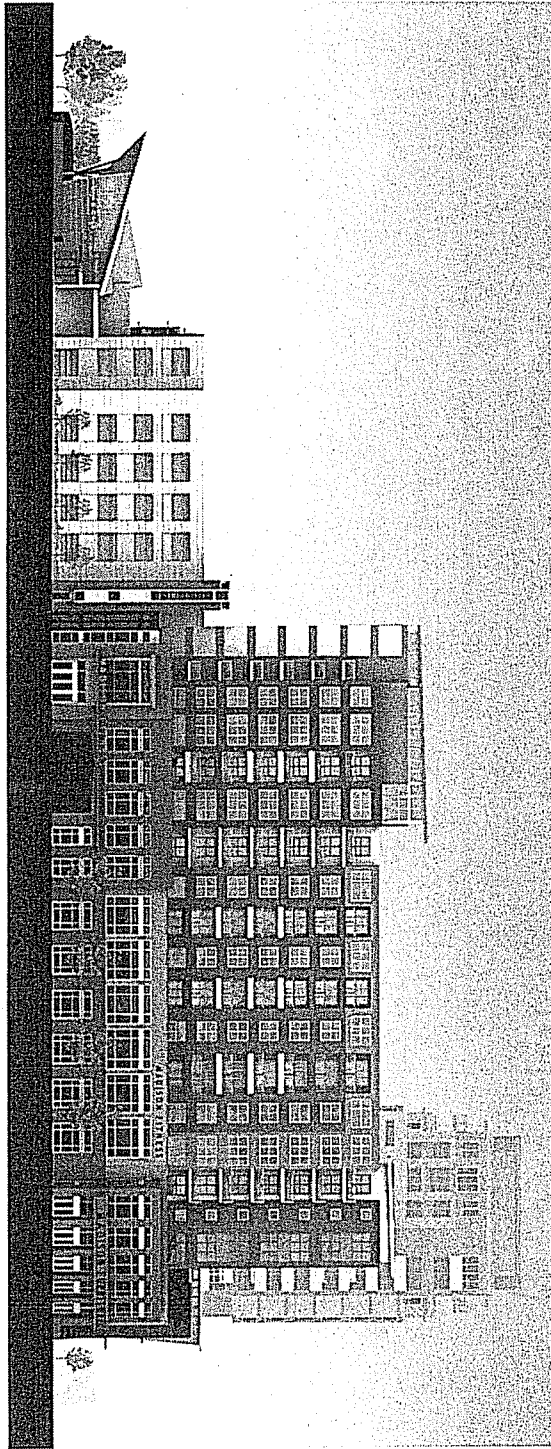


OVERALL
 NORTH ELEVATION

NO.	REVISION	DATE

Project No.	146366-01
Date	10-11-16
Scale	CG

X101



OVERALL EAST ELEVATION

HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD MADISON, WI
HILLDALE BUILDING COMPANY LLC

HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

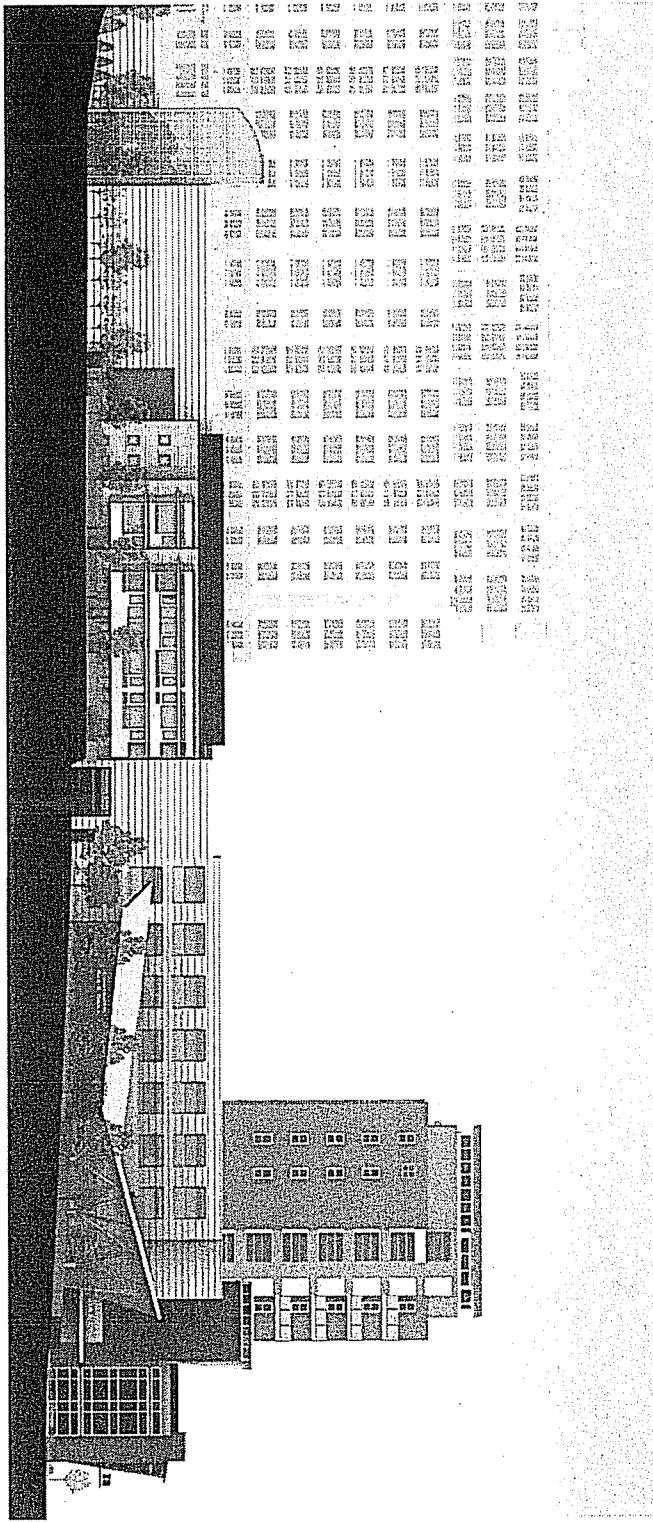


OVERALL
EAST ELEVATION

NO.	REVISION	DATE

PROJECT NO.	143530A1
DATE	11/28/16
SCALE	CG

X102

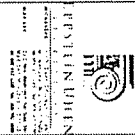


OVERALL SOUTH ELEVATION

HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD MADISON, WI
 HILLDALE BUILDING COMPANY LLC

HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

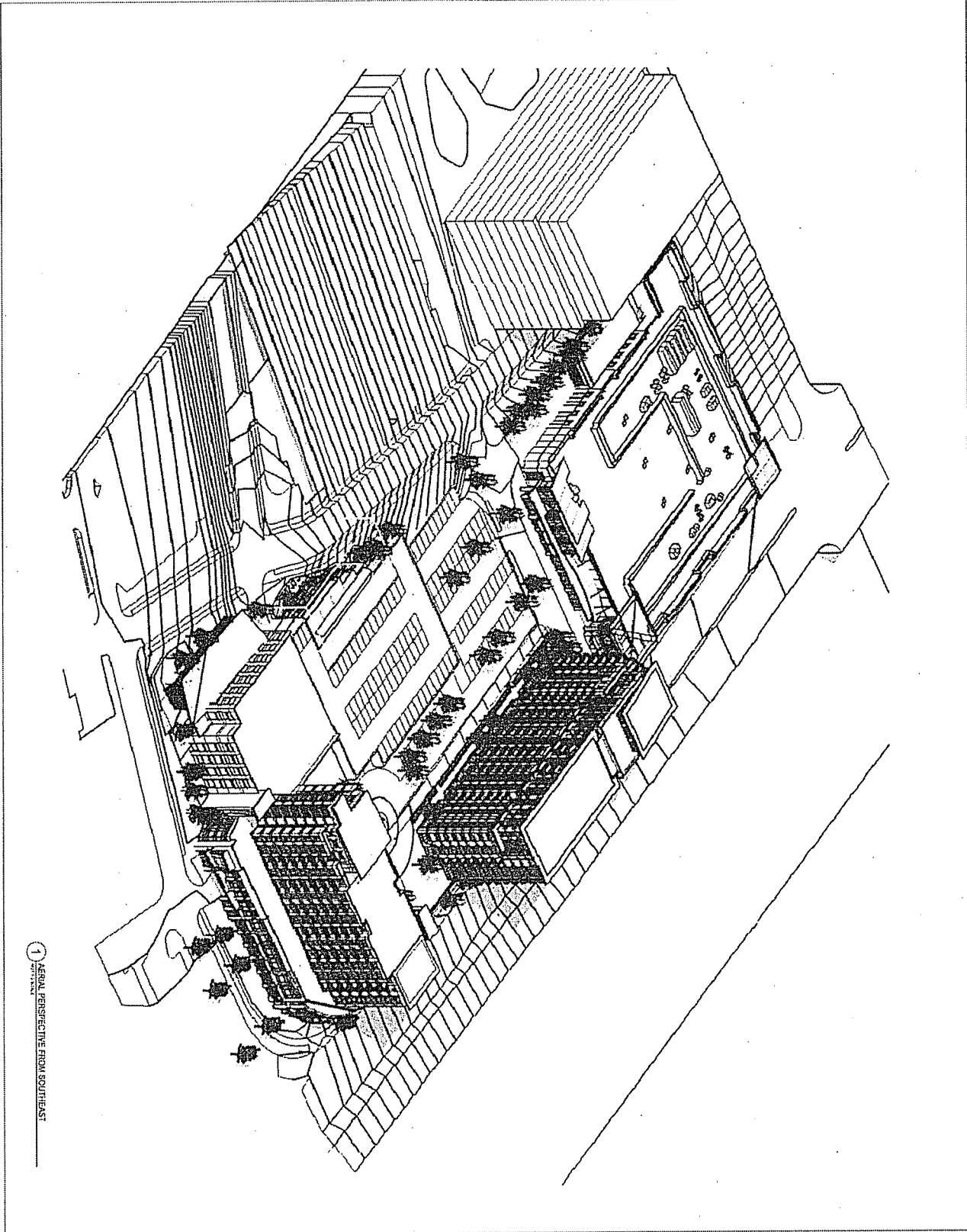


OVERALL
 SOUTH ELEVATION

Project No.	
Sheet No.	
Date	
Scale	
Author	
Checker	
Engineer	

Project No. 1488601
 Date 11/20/26
 Scale CG

X103



1 AERIAL PERSPECTIVE FROM SOUTHEAST

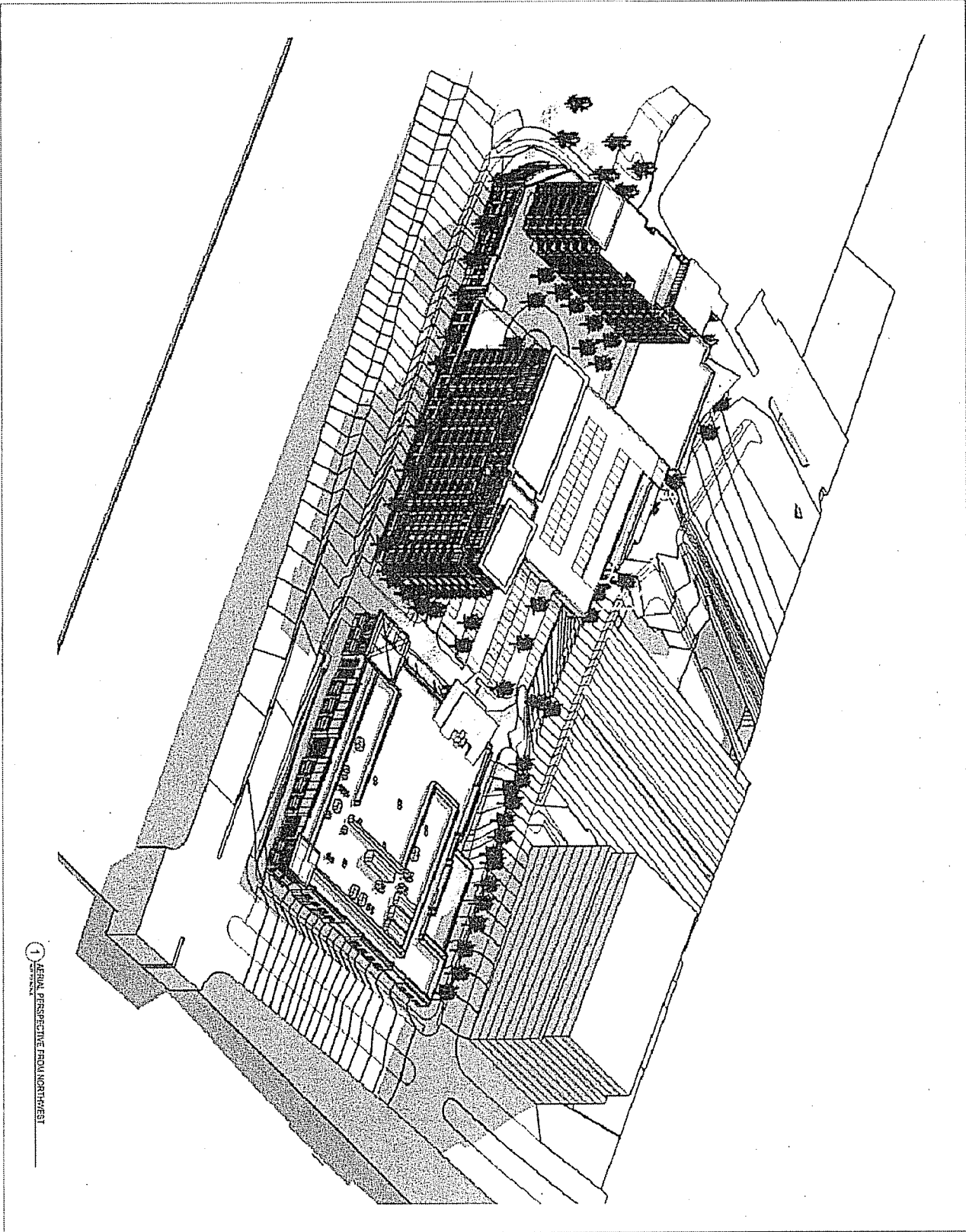
Project No.	14856A1
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Project Name	HILLDALE
Client	HILLDALE BUILDING COMPANY LLC
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Project Title	HILLDALE SHOPPING CENTER
Project Location	702 N. MIDVALE BOULEVARD, MADISON, WI
Project Description	HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

Project Title
AERIAL PERSPECTIVE
FROM SOUTHEAST

HILLDALE SHOPPING CENTER
 702 N. MIDVALE BOULEVARD, MADISON, WI
 HILLDALE BUILDING COMPANY LLC
 HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

PERKINS+WILL
 ARCHITECTS
 330 N. LAKE ST. SUITE 2000
 CHICAGO, IL 60610
 TEL: 312.344.4000
 WWW.PWILL.COM

11



1 AERIAL PERSPECTIVE FROM NORTHWEST

X106 <small>Sheet No.</small>	<small>Project No.</small> 14830A1	<small>Drawn By</small> 14836	<small>Checked By</small> CG
	<small>Date</small> 11/14/06	<small>Scale</small> 1/8" = 1'-0"	<small>Project Name</small> HILLDALE SHOPPING CENTER

AERIAL PERSPECTIVE
 FROM NORTHWEST

HILLDALE SHOPPING CENTER
 702 N. MIDVALE BOULEVARD MADISON, WI
 HILLDALE BUILDING COMPANY LLC
 HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

PREPARED BY:
 ARCHITECT:
 DATE:

11



Epstein Oden Architects Inc. © 2008

JFA JOSEPH FIELD AND ASSOCIATES LLC
 ARCHITECTS AND DESIGNERS

HILDALE

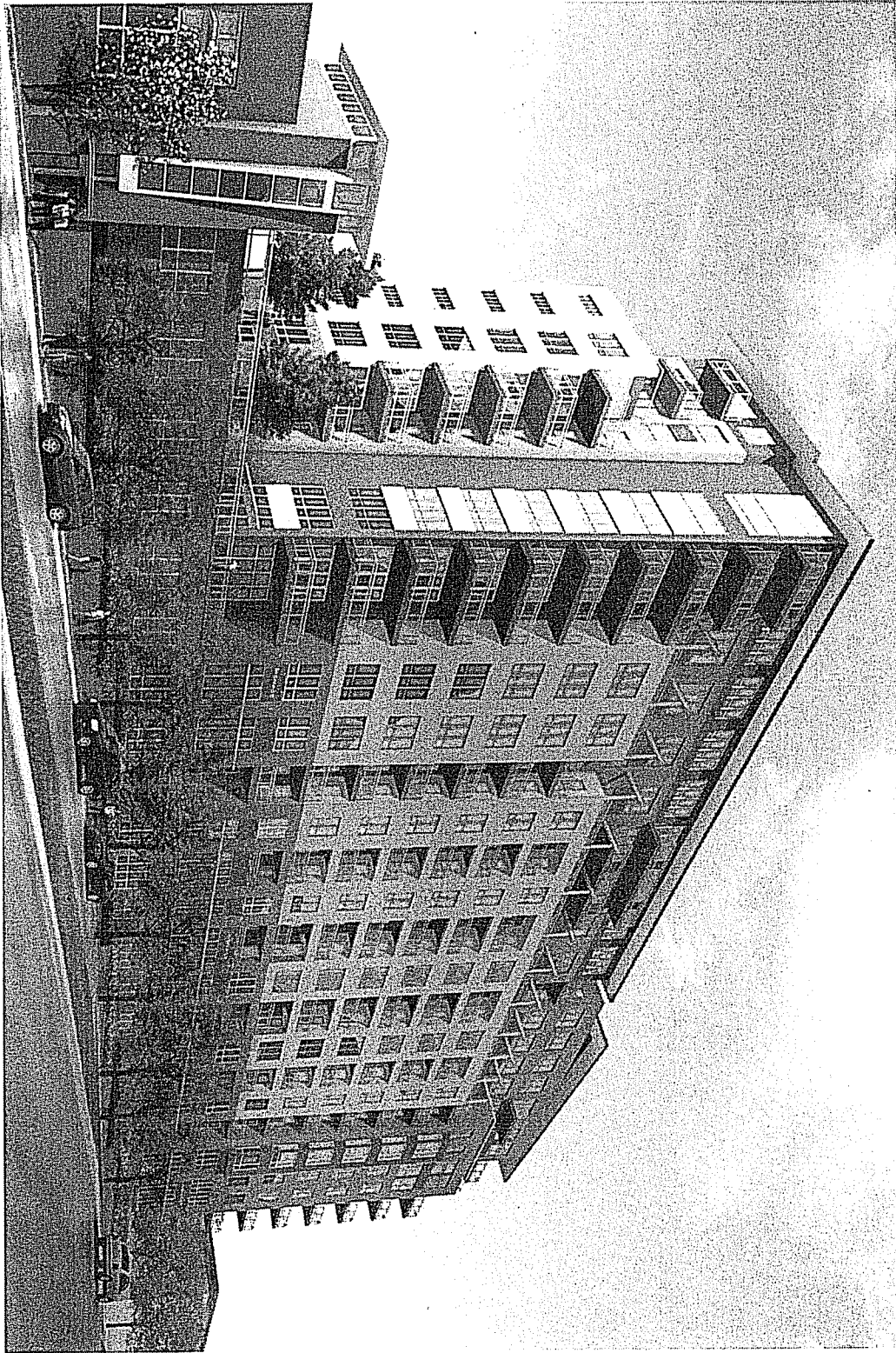
GROUND PERSPECTIVE FROM NORTHEAST

11



EPSTEIN ODEN
 ARCHITECTS

1000 BROADWAY
 NEW YORK, NY 10018



JFA JOSEPH FRIED AND ASSOCIATES LLC
Office for the Board of Governors

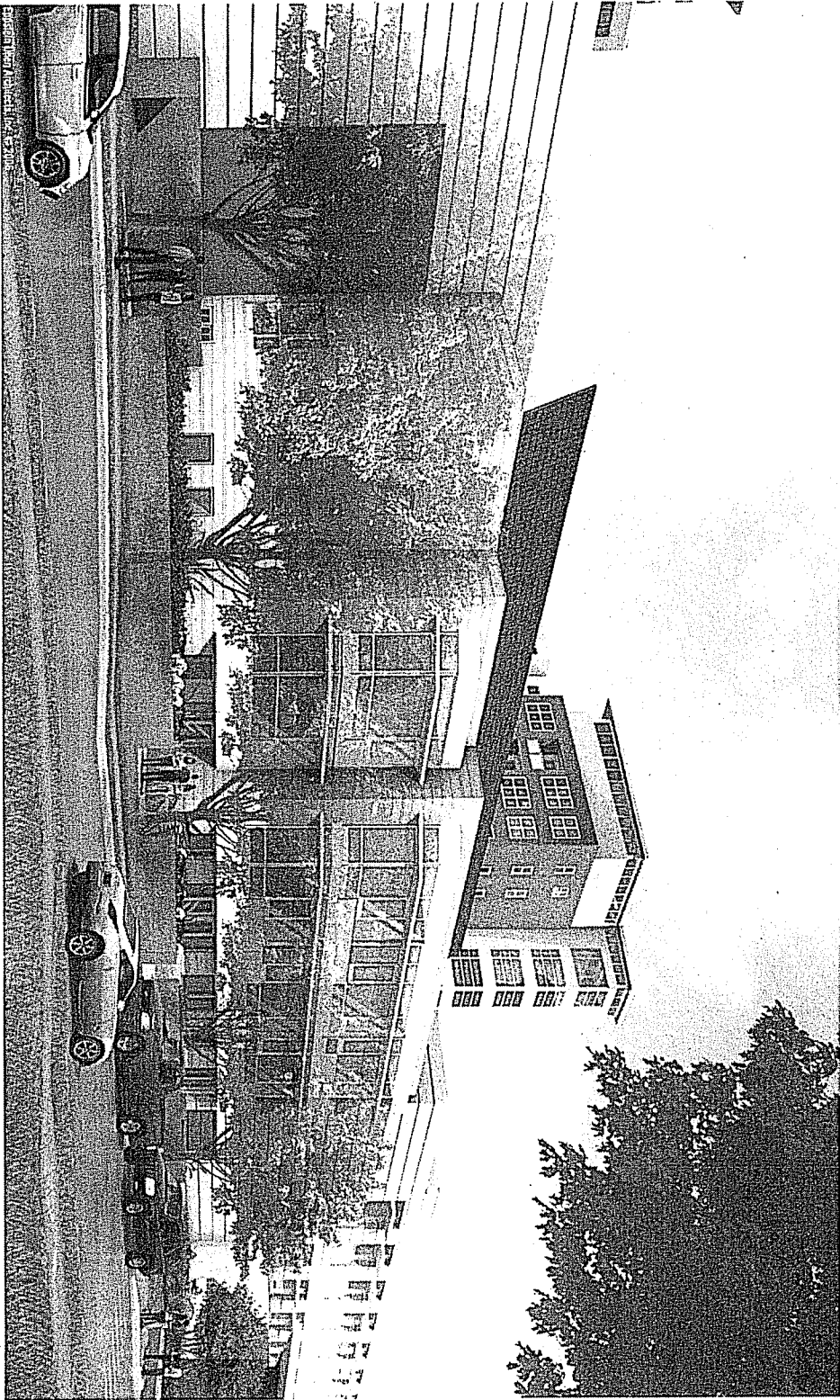
HILDALE

UNIVERSITY LOOKING WEST



EPSTON UNITS

1100 University Avenue



JFA JOSEPH FRIED AND ASSOCIATES LLC
Division of Perini Corporation

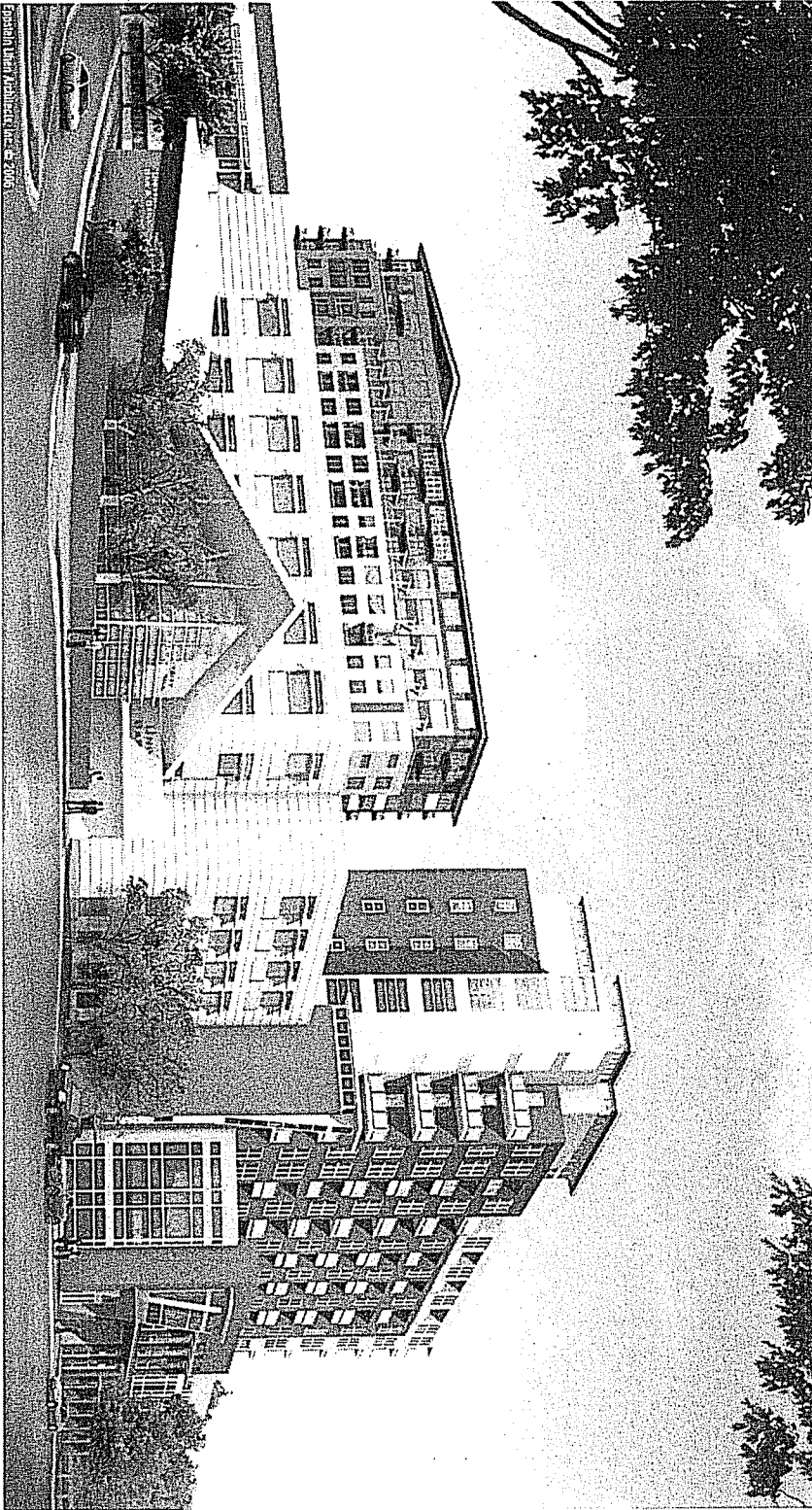
HILDALE

FIREY STREET LOOKING SOUTHEAST



ERNST & YOUNG

1000 Peachtree Street, N.W.
Atlanta, GA 30309
404.512.2000



ERSTEIN CHEN ARCHITECTS © 2009

JFA Joseph Field and Associates LLC
Principal and Project Director - Construction

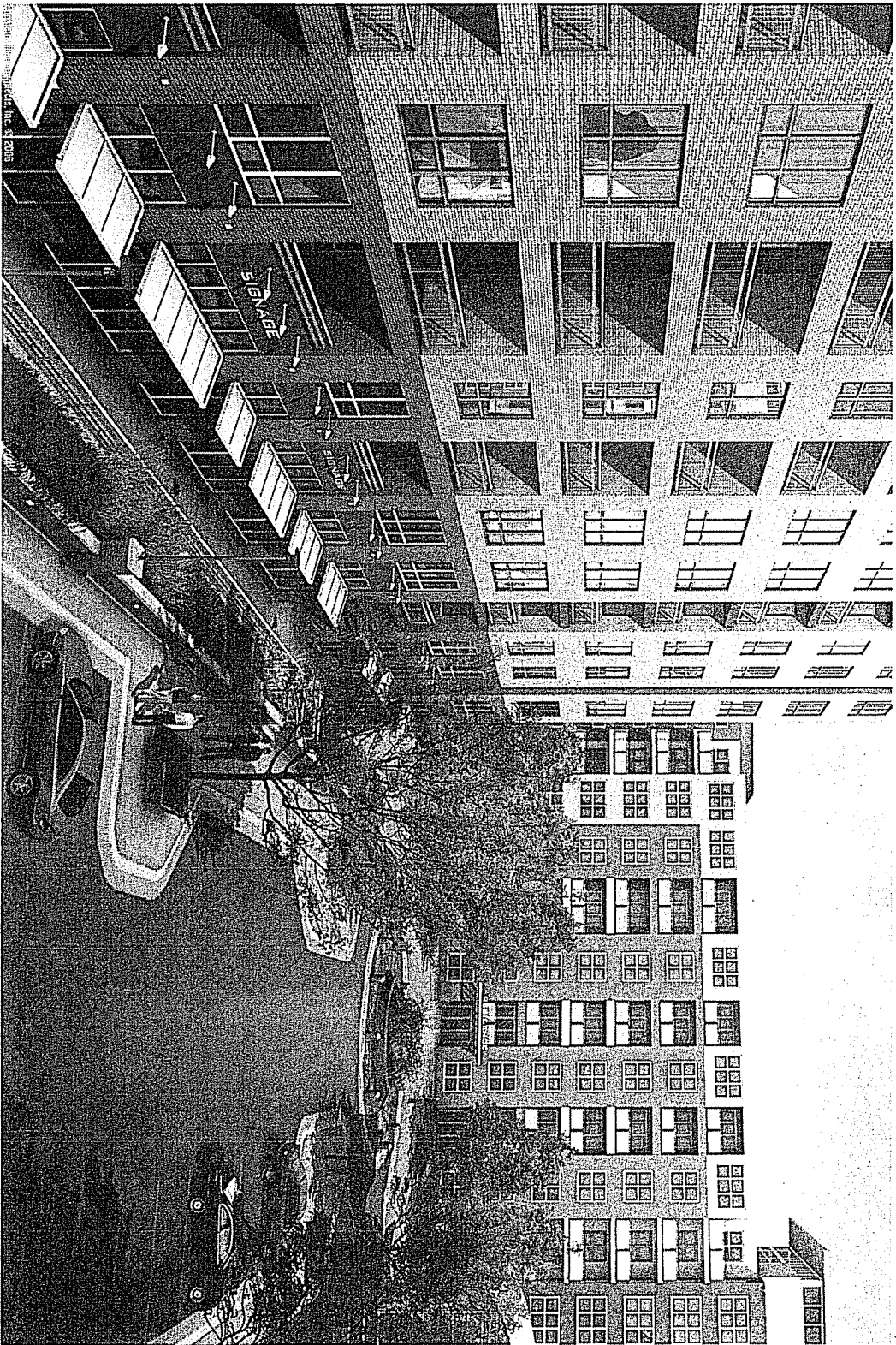
HILDALE

GROUND PERSPECTIVE LOOKING SOUTHEAST



ERSTEIN CHEN
ARCHITECTS

1100 North 1st Street
Boston, MA 02111
Tel: 617.452.1000
Fax: 617.452.1001
www.ersteinchen.com



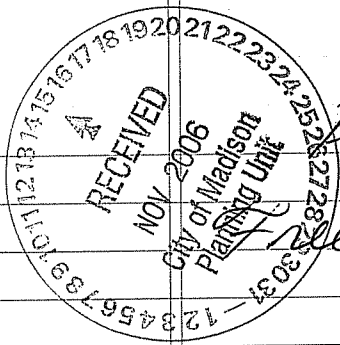
Architectural rendering of Hilldale, Inc. © 2006

JFA JOSEPH FRIED AND ASSOCIATES LLC
 One of the FRIED Group of Companies

HILLDALE

EPSTEIN OJEN
 ARCHITECTS
 1000 15th St. N.W.
 WASHINGTON, D.C. 20004
 TEL: 202.462.1000
 FAX: 202.462.1001
 WWW.EPSTEIN-OJEN.COM

11/11/06



Post the 11/11/06 forum the
Hired Hilldale Project is still

(A) TOO DENSE & THE BIG BOX WHOLE
FOODS & 2X THE NUMBER OF CONDOS

(B) TOO PEDESTRIAN (~~UNFRIENDLY~~
elderly & disabled) not friendly)

(C) Too focused on vehicular traffic
and not residents (PARK. PARK PARK)

(D) NOT THOROUGHLY ANALYZED

I want to know how many
trucks will travel a street
used by senior citizens and
children.

(E) THESE CONDOS are not 40%
sold to occupants because we
looked several recently - they are investments

* There are mostly empty and
will I predict remain so!!

(F) THIS PROJECT is for the
young and up andly "mobile"
not us (the current
residents & neighbors)
& customers

These
figures
are
available
and
Whole Foods
trucks
are
massive!!

Sandra Sul
14 S. Hillside Terrace
Madison, WI 53705

THIS DENSITY is DANGEROUS and will
drive the elderly & handicapped out!!

Parks, Timothy

From: Julie Genovese [juliegenovese@yahoo.com]
Sent: Tuesday, August 22, 2006 6:41 PM
To: Timothy Gruber; Murphy Janet M.; Dave Cieslewicz; Jeanne Hoffman
Cc: Noel Radomski; Michael J. Lawton; Bob Fink; Domenic Lanni; Timothy Parks
Subject: RE: Condos and other issues

Hello all,

I would like to raise to Mayor Dave and others with the city a concern I have about all of this in-fill, smart growth development. I get the concept that we want avoid urban sprawl and the mass commutes that will occur with development creeping on the edges of town. However, it seems to me that two important components need to be addressed:

1. Employment. If you intend to sell all these condos, the residents need to work somewhere. We should encourage some good jobs to return to the neighborhood (which, after all, was part of the plan in this nationally recognized planned community back in the 50s). Otherwise, you'll have a "reverse commute."

There's no light rail to Epic in Verona, American Family out on far east side, etc. Residents of the nine hundred households that will be added at Hilldale need to work somewhere, and I fear that many of them will be hopping in their cars for commutes to the far west and far east sides of town.

2. Schools. With the condos proposed by Freed together with the Sequoia development, we are increasing the population in Hill Farms and Midvale Heights by well over one thousand households. Van Hise Elementary is already at capacity at three hundred students. Affordable condos will bring in single income families. (I don't buy that you'll have only professionals and retirees, especially with Karen Arms also going condo) Even if ten percent of these households have one child in elementary school, you will be increasing the population at the school by over 30%. Does the city have a plan to support our already stretched schools? I felt that this question was punted at the meeting on Saturday.

Philosophically, "new urbanism" sounds good but if it just means stores and condos without a comprehensive plan for transporting people (or better yet, providing them with opportunities to work where they live) and for supporting our schools, then you will have the frantic pace and problems of urban life that many of us hoped to escape by living where we do.

Sincerely,

Julie Genovese
Vice President, UHFNA
speaking on my own behalf

P.S. I grew up in Boston. Trust me, roundabouts (or rotaries as we knew them) are a bad idea.

--- Timothy Gruber <district11@cityofmadison.com>
wrote:

> I am also forwarding this to Mayor Dave Cieslewicz (please read below,
> Dave) because this is an interesting perspective on an important
> issue.
> The word "if" in the following statement is important, "If access via
> public transportation, on foot, and good traffic design are well done,
> I think the Hilldale development will be a very nice place to live"
> If it is not done well, it could be a big mess of traffic congestion,
> etc.
>
> Thanks for the discussion of this.
>
>

> Tim Gruber, District 11 Alder
> district11@cityofmadison.com
> 608-663-5264
> www.cityofmadison.com/council/district11

> -----Original Message-----

> From: Julie Genovese
> [mailto:juliegenovese@yahoo.com]
> Sent: Monday, August 21, 2006 12:52 PM
> To: Murphy Janet M.
> Cc: Noel Radomski; Timothy Gruber; Michael J.
> Lawton; Bob Fink; Domenic
> Lanni; Timothy Parks
> Subject: Re: Condo's

> Dear Ms. Murphy,

> Thanks for your comments (which were expressed by others who attended
> the meeting). I am forwarding your email to our alders, to Tim Parks
> of the City of Madison, and to the relevant representatives of Joseph
> Freed. Know that you may keep up to date on the plans by visiting our
> website at www.hillfarms.org.

> Sincerely,

> Julie Genovese
> Vice President
> UHFNA

> --- "Murphy Janet M." <JMurphy6@uwhealth.org> wrote:

> > I came late to the meeting last Saturday and found
> such a crowd I
> > decided to email instead.
> > I may be one of the few people who are pleased to
> see increased urban
> > infill. If access via public transportation, on
> foot, and good
> > traffic design are well done, I think the Hilldale
> development will be

> > a very nice place to live.

> > I am a house rich, income poor nurse who is very
> interested in going
> > into a condo within the next 5 years. I am
> looking to simplify my
> > life and reduce my expenses and tax burden. I am
> writing to ask you
> > to attend to two issues in the Hilldale
> development:

> > 1) Provide condos that are affordable (under
> \$200,000), simply
> > appointed (no granite counters, jacuzzi's,
> fireplaces, master baths)
> > and large enough for family living (2 bedrooms
> plus a den? or basement

> > storage?). We have plenty of luxury condos in
> this town, and I for
> > one would like to live in an economically
> diverse area.

> > 2) Along the same lines, please keep the mall
> stores diverse and
> > practical. I used to go into Hilldale a lot to

> visit Wolff Kubly,
> > Walgreens, Sentry, the office supply, U Books, the
> Chocolate Shoppe...
>
> > and it would cause me to stop into the other
> shops. Now that most of
> > the service oriented stores have been replaced by
> more upscale
> > shopping, I almost never walk down Hilldale.
> >
> > Thanks for hearing me out,
> >
> > Janet Murphy
> > 233-8886
> >
>
>
>
>

Parks, Timothy

From: Rick Voland [rvoland@mail.tds.net]
Sent: Friday, September 22, 2006 12:30 AM
To: Andy Stein
Cc: Timothy Gruber; Domenic Lanni; Robbie Webber; Jeanne Hoffman; Timothy Parks; Brad Murphy; Dan McCormick; David Dryer; Ken Golden; Noel Radomski
Subject: Re: Hilldale Ped Access

Thank you for sending the map of the Hilldale construction with proposed dates when important pedestrian routes will again become available.

Although these dates are not a long time away, I remain frustrated that Hilldale Management and Joseph Freed and Associates LLC have consistently discounted pedestrian access and other local concerns about Hilldale Mall. Each time someone raises concerns about anything, we hear how great everything will be at completion, while at the same time the existing development plans continue. Pedestrians were told to wait while automobile parking was completed in multiple stages. What happened to efforts to encourage Madison people to use buses, bicycles, and foot travel? Pedestrian access is important even for those who use local buses.

I have two concerns: 1) I remain concerned about pedestrian access until the completion since it is clearly a low priority; 2) I am sincerely concerned that any time local residents have a concern, Joseph Freed and Associates LLC will give us a long story about how we need to wait, how many trips they are making to Madison (indicating that discussing our concerns is a burden), yet how they want to be our neighbors while acting as foreign owners.

I ask again that the alcohol license for Fleming's restaurant be withheld until we see greater willingness to respect local concerns around Hilldale Mall. Madison residents are currently considering what to do about issues on King Street in central Madison, yet all these issues involve local owners who can come together. Why should we imagine that any future issues around Hilldale Mall (such as potential problems with alcohol use around Fleming's restaurant) will be met with greater dispatch and eagerness by owners from Chicago than we have experienced on this simple pedestrian issue?

Thank you for your time and consideration.

Rick Voland
rvoland@tds.net

Andy Stein wrote:

> Rick and Tim,
>
> Thank you for your e-mail regarding the pedestrian access around
> Hilldale. As I am sure you are aware the phase 2 construction is
> wrapping up at Hilldale shortly. We thought it worthwhile to attach a
> marked up site plan of the completion dates for various improvements
> and access points into Hilldale. Please let me know if you have any questions.
>
> Thanks.
>
> Andy
>
>
> Andrew Stein
> Vice President of Development
> Joseph Freed and Associates LLC
> 220 N Smith Street, Suite 300
> Palatine, Illinois 60067
> Direct Dial: 847.215.5393

> Cell Phone: 312.339.4415
> Fax: 847.215.5282
> E-Mail: astein@jfreed.com <<mailto:astein@jfreed.com>>
>
> Check out our website www.josephfreed.com
>
>
> THIS E-MAIL COMMUNICATION MAY CONTAIN PRIVILEGED AND CONFIDENTIAL
> INFORMATION AND IS FOR THE USE OF THE ADDRESSEE ONLY. If you are not
> the addressee, you may not disclose or use information it contains. If
> you received this e-mail in error, please inform AStein@jfreed.com and
> destroy this message and file attachments immediately.
>

--
Rick Voland
rvoland@mail.tds.net

Parks, Timothy

From: Rick Voland [rvoland@mail.tds.net]
Sent: Sunday, September 10, 2006 10:10 PM
To: Timothy Gruber
Cc: Dave Cieslewicz; Jeanne Hoffman; Timothy Parks; Brad Murphy; Dan McCormick; David Dryer; Domenic Lanni; Hilldale mall mgt, Carrie Skille; Robbie Webber
Subject: Re: FW: pedestrian access in and around Hilldale Mall

Thank you for your quick response, and your help and interest.

Hilldale Mall could have a safe, temporary stairs or ramp at the north end of their parking lot within a week or two, while they finish construction. I gave you (Tim Gruber) pictures of an excellent set of temporary stairs at the UW-Hospital. A carpenter could build something in a week.

We should not have to wait for "completion" in November. Hilldale Management is now adding landscaping plants to the new parking spaces and has time to add additional parking space. The north end of the parking lot is unsafe for pedestrians and an eyesore because of the tall weeds. Hilldale Management could provide a temporary fix now to these immediate pedestrian issues to assist pedestrians in the path from Sentry to the sidewalk on University Ave and the nearby bus stops. The area is currently unsafe **as it is.**

Thanks,

Rick Voland
rvoland@tds.net

Timothy Gruber wrote:

> FYI Please read below.

>

> -----Original Message-----

> From: Rick Voland [mailto:rvoland@mail.tds.net]

> Sent: Friday, September 08, 2006 9:36 PM

> To: Timothy Gruber; Ken Golden; Noel Radomski

> Cc: Robbie Webber

> Subject: pedestrian access in and around Hilldale Mall

>

> I wish that someone would look soon into improving pedestrian access around Hilldale Mall. I walk there at least once each week. You can easily verify the issues below by walking from Sentry to Borders and back again. Plenty of people walk in this neighborhood.

>

> There are three types of issues and some can be fixed quickly.

>

> 1) On Hilldale property: issues that do not require city involvement.
> The North end of Hilldale parking lot remains a major obstacle to walk north from Sentry or even northeast from Peking Palace. Hilldale Management continues to improve the automobile parking, but they have not made any improvements to pedestrian access at all even though pedestrian safety was a major concern expressed by many people at the community meeting several weeks ago. Hilldale management does not need any permission from the city to make even temporary improvements so that pedestrians can walk more easily from Sentry to Borders. Try it yourself! We should not have to wait for completion in November to have even temporary improvements to the slope on the north end of the parking lot. Can we get a temporary stairs or ramp to get to the sidewalk without having to fight cars near the existing theater entrance?

>

> 2) Temporary city issues: someone (city or Hilldale) is starting to prepare a concrete handicap ramp at the Midvale / University intersection. It is nice that the project has provided a temporary ramp from the sidewalk to the street. However, the very new barriers

> to keep pedestrians off the fresh concrete also prevent them from
> reaching the buttons to control the traffic lights to cross either
> University or Midvale. It is dangerous to cross six lanes of
> impatient traffic without a pedestrian crossing signal. Would it be
> possible for the city traffic light crew to program the traffic lights
> to always include a pedestrian light for each cycle until the fresh
> concrete and pedestrian barriers are removed from the corner?
>
> 3) There may be longer-term issues for pedestrian safety that were
> brought up at the community meeting. Please do not confuse these
> longer-term issues that require more extensive resources with the two
> above issues that can be handled immediately and simply.
>
> 4) The slowness of Hilldale Management to address even the simple
> issues above, persuade me to raise again the request that the city
> council withhold any alcohol license from Hilldale Management
> (regarding the Flemming's restaurant under construction) until
> Hilldale Management shows sincere interest in accommodating the
> legitimate needs and reasonable requests of the community. If they
> are not willing to handle the simple issue of pedestrian safety then
> how can we have confidence that they will handle the more difficult
> issue of respecting community wishes about responsible drinking and safety around
> alcohol?
>
> Thank you for your time and consideration.
>
>

--

Rick Voland
rvoland@mail.tds.net

Parks, Timothy

From: Steve Hiniker [hiniker@1kfriends.org]**Sent:** Friday, August 25, 2006 8:29 AM

To: Timothy Gruber; Archie Nicolette; Brad Murphy; Brett Hulsey; Joe Mathers; Carter, Travis; Dane Co Planning, Steve Steinhoff; Equis Christopher Larson; Equis David Montross; ggorman@gormancompany.com; Gov James Doyle; HFNA Past Pres., Michael J. Lawton; HFNA Pres., Kelly Thompson-Frater; HFNA, ARC, Bob Forbess; HFNA, Daina Penkiunas; HFNA, John Nicholas Schweitzer, 4th of July; HFNA, safety, Yehuda Elkaini; Hilldale Sentry, Tim Metcalfe; Hilldale/JK Freed Assoc. Bob Fink; Jeanne Hoffman; jkrupp@kruppconstruction.com; John Flad; Jun Lee; Ken Golden; kpfrantz@shorewood-hills.org; MacCubbin, Jean; Malischke, Mary; Malischke, Paul; Mark Olinger; matana@mailbag.com; MAYOR Dave Cieslewicz; mc53705@sbcglobal.net; Mike Pomraning; nlstroud@charter.net; Noel Radomski; Peter Maternowski, Wis State DOA; pmsode@sbcglobal.net; Rebecca Cnare; Red Cross Sandra Lampman; Rep Berceau; Rep Black; Robbie Webber; SCG, Megan Jacobson; SCG, Seth Hain; Sen Risser; Senior Center, Paul Borwoski; SHNA Carrie Dellinger; SHNA Plan Group, Bob Steffen; SVCA co-pres, Julie Horst; SVCA co-pres, Liz Ringle; Svca, co-pres. Liz ringle; Timothy Parks; Todd McGrath; UFHNA ARC, Tom Favour; VSH Dave Benforado; VSH Marilyn Townsend; VSH Rocky VanSistern; Brian Joiner; VSH, Doug Rahn; VSH, Lori DiPrete Brown; VSH, Mark Sundquist; VSH, Peter Hans .; VSH, Joyce Bromley; Weston Place Community By Design, Peter; Wis DOA Bill Peterson; robert.cramer@wisconsin.gov; Wis DOT Brenda Brown

Subject: RE: Goals for redevelopment of Hill Farms State Properties

Tim,

Thank for your leadership on this. Great summary. I am not in the loop as to what the city is doing on a proposed senior center near Westgate - I hope it doesn't conflict with the possible development of a senior center at Hill Farms. Also, it would be good to look at the Post Office location - it could be moved into a more convenient location at Hill Farms. These are just a couple of thoughts - the real plans need local public support to become a reality.

From: Timothy Gruber [mailto:district11@cityofmadison.com]**Sent:** Thursday, August 24, 2006 5:23 PM

To: Steve Hiniker; Archie Nicolette; Brad Murphy; Brett Hulsey; CAC, Joe Mathers; Carter, Travis; Dane Co Planning, Steve Steinhoff; Equis Christopher Larson; Equis David Montross; ggorman@gormancompany.com; Gov James Doyle; HFNA Past Pres., Michael J. Lawton; HFNA Pres., Kelly Thompson-Frater; HFNA, ARC, Bob Forbess; HFNA, Daina Penkiunas; HFNA, John Nicholas Schweitzer, 4th of July; HFNA, safety, Yehuda Elkaini; Hilldale Sentry, Tim Metcalfe; Hilldale/JK Freed Assoc. Bob Fink; Jeanne Hoffman; jkrupp@kruppconstruction.com; John Flad; Jun Lee; Ken Golden; kpfrantz@shorewood-hills.org; MacCubbin, Jean; Malischke, Mary; Malischke, Paul; Mark Olinger; matana@mailbag.com; MAYOR Dave Cieslewicz; mc53705@sbcglobal.net; Mike Pomraning; nlstroud@charter.net; Noel Radomski; Peter Maternowski, Wis State DOA; pmsode@sbcglobal.net; Rebecca Cnare; Red Cross Sandra Lampman; Rep Berceau; Rep Black; Robbie Webber; SCG, Megan Jacobson; SCG, Seth Hain; Sen Risser; Senior Center, Paul Borwoski; SHNA Carrie Dellinger; SHNA Plan Group, Bob Steffen; SVCA co-pres, Julie Horst; SVCA co-pres, Liz Ringle; Svca, co-pres. Liz ringle; Timothy Parks; Todd McGrath; UFHNA ARC, Tom Favour; VSH Dave Benforado; VSH Marilyn Townsend; VSH Rocky VanSistern; VSH, Brian Joiner; VSH, Doug Rahn; VSH, Lori DiPrete Brown; VSH, Mark Sundquist; VSH, Peter Hans .; VSH, Joyce Bromley; Weston Place Community By Design, Peter; Wis DOA Bill Peterson; robert.cramer@wisconsin.gov; Wis DOT Brenda Brown

Subject: Goals for redevelopment of Hill Farms State Properties

As we begin the process of planning for the redevelopment of the Hill Farms State Properties (DOT site on Sheboygan and property north of University Ave at Segoe Rd), I would like to offer the following goals:

1. Employment (State and private) to be the primary use for the site.
2. Other primary and secondary mixed use on the site, these possibilities for example: Senior Center, restaurants,

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housing, small retail stores, education, etc.

3. A grid network of streets on the site to make smaller blocks. Another connection to University would be possible, and an extension of Frey St through the site would be possible.

4. Pedestrian and bike friendly plans. It should be a nice place to walk, with wide sidewalks. There should be good pedestrian connections and cross use with Hilldale and other places near by. There should be bike paths that connect to the Blackhawk Bike Path and other bike routes.

5. Traffic: The development should not negatively effect traffic congestion on surrounding streets. A goal of good Transit Oriented Development such as this should be to have less car trips despite adding density and more intensity of land use.

6. Consider using the land on the north side of University Ave at Segoe Rd for a rail station and other mixed use such as shopping, restaurants, hotel, and/or housing.

7. Follow best practices in storm water management, including storm water detention and infiltration such as rain gardens.

8. Keep the Sheboygan Community Gardens at the site.

9. Include green space in the plans.

10. Evaluate trees and keep mature trees as much as possible.

11. Best practices in environmental building design, construction, and recycling of building materials.

12. Re-use the DOT building on Sheboygan Ave if possible.

13. No large big box stores.

14. No large surface parking lots.

15. Beautiful and creative architecture.

Tim Gruber, District 11 Alder
district11@cityofmadison.com
608-663-5264
www.cityofmadison.com/council/district11

//

Parks, Timothy

From: Timothy Gruber
Sent: Sunday, September 10, 2006 7:43 PM
To: Dave Cieslewicz; Jeanne Hoffman; Timothy Parks; Brad Murphy; Dan McCormick; David Dryer; Domenic Lanni; Hilldale mall mgt, Carrie Skille
Cc: 'rvoland@mail.tds.net'
Subject: FW: pedestrian access in and around Hilldale Mall

FYI Please read below.

-----Original Message-----

From: Rick Volland [mailto:rvoland@mail.tds.net]
Sent: Friday, September 08, 2006 9:36 PM
To: Timothy Gruber; Ken Golden; Noel Radomski
Cc: Robbie Webber
Subject: pedestrian access in and around Hilldale Mall

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- 3) There may be longer-term issues for pedestrian safety that were brought up at the community meeting. Please do not confuse these longer-term issues that require more extensive resources with the two above issues that can be handled immediately and simply.
- 4) The slowness of Hilldale Management to address even the simple issues above, persuade me to raise again the request that the city council withhold any alcohol license from Hilldale Management (regarding the Flemming's restaurant under construction) until Hilldale Management shows sincere interest in accommodating the legitimate needs and reasonable requests of the community. If they are not willing to handle the simple issue of pedestrian safety then how can we have confidence that they will handle the more difficult issue of respecting community wishes about responsible drinking and safety around alcohol?

Thank you for your time and consideration.

--

Parks, Timothy

From: Martin, Al
Sent: Monday, November 13, 2006 12:26 PM
To: 'Endlich, Sandy'
Subject: RE: HILLDALE

I'll have this forwarded this to the Commission . Al

From: Endlich, Sandy [mailto:Sandy.Endlich@dwd.state.wi.us]
Sent: Monday, November 13, 2006 12:20 PM
To: Martin, Al
Subject: HILLDALE

I understand a Big Box was already approved and approved (a Big Box Whole Foods) but I am still adamantly opposed, even more so when the traffic and planning people could not tell me a citizen and neighbor how many large trucks will travel my streets on a daily, weekly and monthly basis without all the condo traffic//that data is and was available and should be available. I lived across from the smaller Whole Foods for a number of years//the idling trucks, the large air conditioners, and buyer/customer traffic make a significant impact, the Weston folks will realize this when it's too late!! We have been insulted by and in this whole planning process, and we the elderly/older resident are endangered and certainly endangered pedestrians and maybe enraged and outraged too!! Sandra Saul Madison Wisconsin Please don't send anymore twenty eight year olds to tell us how the world works and how we will embrace and grow to love roundabouts. Da I do not think so and why so?

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