

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____
Project # _____

DATE SUBMITTED: September 17, 2008

UDC MEETING DATE: September 24, 2008

Action Requested

- ☐ Informational Presentation
☐ Initial Approval and/or Recommendation
☒ Final Approval and/or Recommendation

PROJECT ADDRESS: 610 John Nolen Drive

ALDERMANIC DISTRICT: 14

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:

Beechwood Development, LLC
1025 Thoroughbred Lane
DePere, WI 54115

ICON Architectural Group, PLLC
4200 James Ray Drive
Grand Forks, ND 58203

CONTACT PERSON: Bert Slind - Representative

Address: 4705 Monona Drive
Monona, WI 53716

Phone: (608) 221-1900

Fax: (608) 221-1910

E-mail address: bert@slinderealty.com

TYPE OF PROJECT:

(See Section A for:)

- ☐ Planned Unit Development (PUD)
☐ General Development Plan (GDP)
☐ Specific Implementation Plan (SIP)
☐ Planned Community Development (PCD)
☐ General Development Plan (GDP)
☐ Specific Implementation Plan (SIP)
☐ Planned Residential Development (PRD)
☒ New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
☐ School, Public Building or Space (Fee may be required)
☐ New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
☐ Planned Commercial Site

(See Section B for:)

- ☐ New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

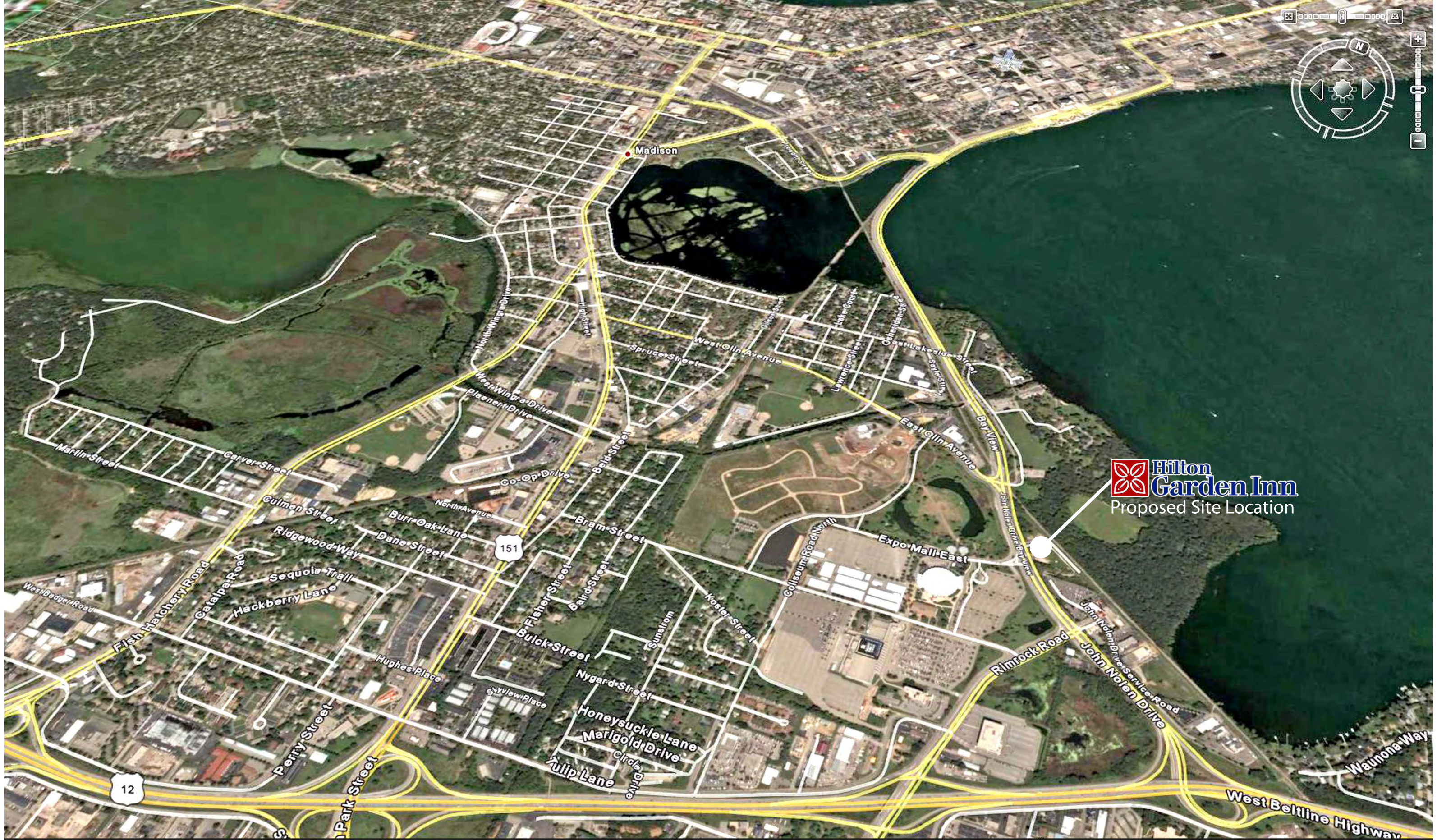
- ☐ R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- ☐ Comprehensive Design Review* (Fee required)
☐ Street Graphics Variance* (Fee required)
☐ Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.



 **Hilton
Garden Inn**
Proposed Site Location

 **Hilton
Garden Inn**
Madison, Wisconsin


Beechwood
Development, L.L.C.

ICON
ARCHITECTURAL GROUP
V. 701.772.1, F. 701.772.4275
WWW.ICONARCHITECTS.COM



MATERIAL LEGEND

- 1 Architectural Concrete Base
- 2 Brick
- 3 Composite Metal Panel
- 4 Standing Seam Metal Roof
- 5 Precast Concrete Band
- 6 Fabric Awnings







ICON
ARCHITECTURAL GROUP
4200 JAMES RAY DRIVE
SUITE 300
GRAND FORKS, ND 58203
P: 701.772.4266 F: 701.772.4275
WWW.ICONARCHITECTS.COM

STRUCTURAL
ICON Architectural Group
4200 James Ray Drive
Grand Forks, North Dakota
(701) 772 4266 Office
(701) 772 4275 Fax

MECHANICAL

ELECTRICAL

CIVIL

**HILTON
GARDEN INN**

610 JOHN NOLEN DRIVE
MADISON, WISCONSIN

REVISION RECORD	
Revision	Date

SCALE: 1" = 80'
DRAWN BY: MK/KD JLC #06-022



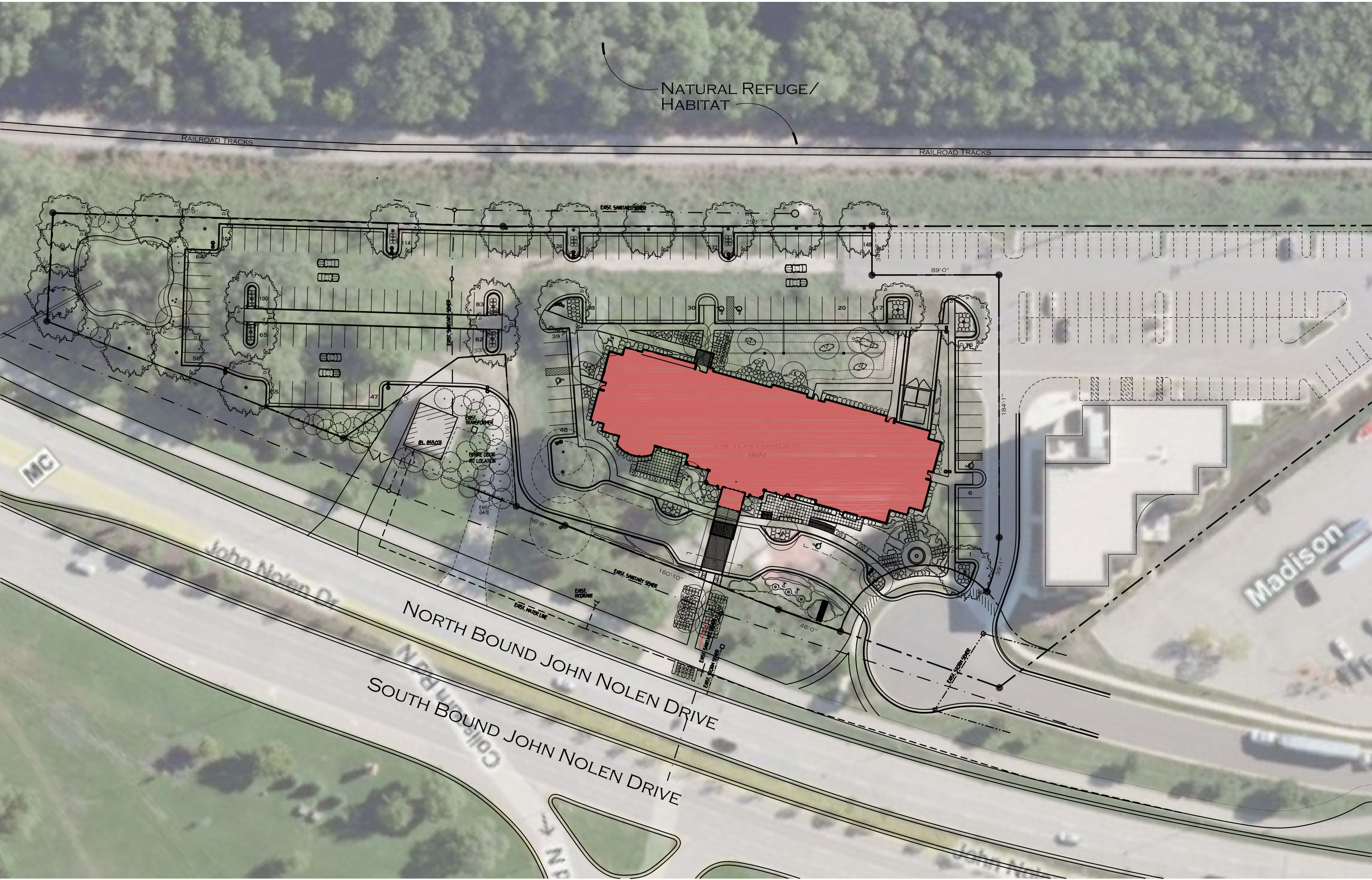
**NOT FOR
CONSTRUCTION**

**OVERALL
SITE PLAN**

DATE
09/15/08

SHEET
A001





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Grand Forks, North Dakota
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MECHANICAL

ELECTRICAL

CIVIL

**HILTON
GARDEN INN**
610 JOHN NOLEN DRIVE
MADISON, WISCONSIN

REVISION RECORD	
Revision	Date

SCALE: 1" = 30'
DRAWN BY: MK/KD JN: #06-022

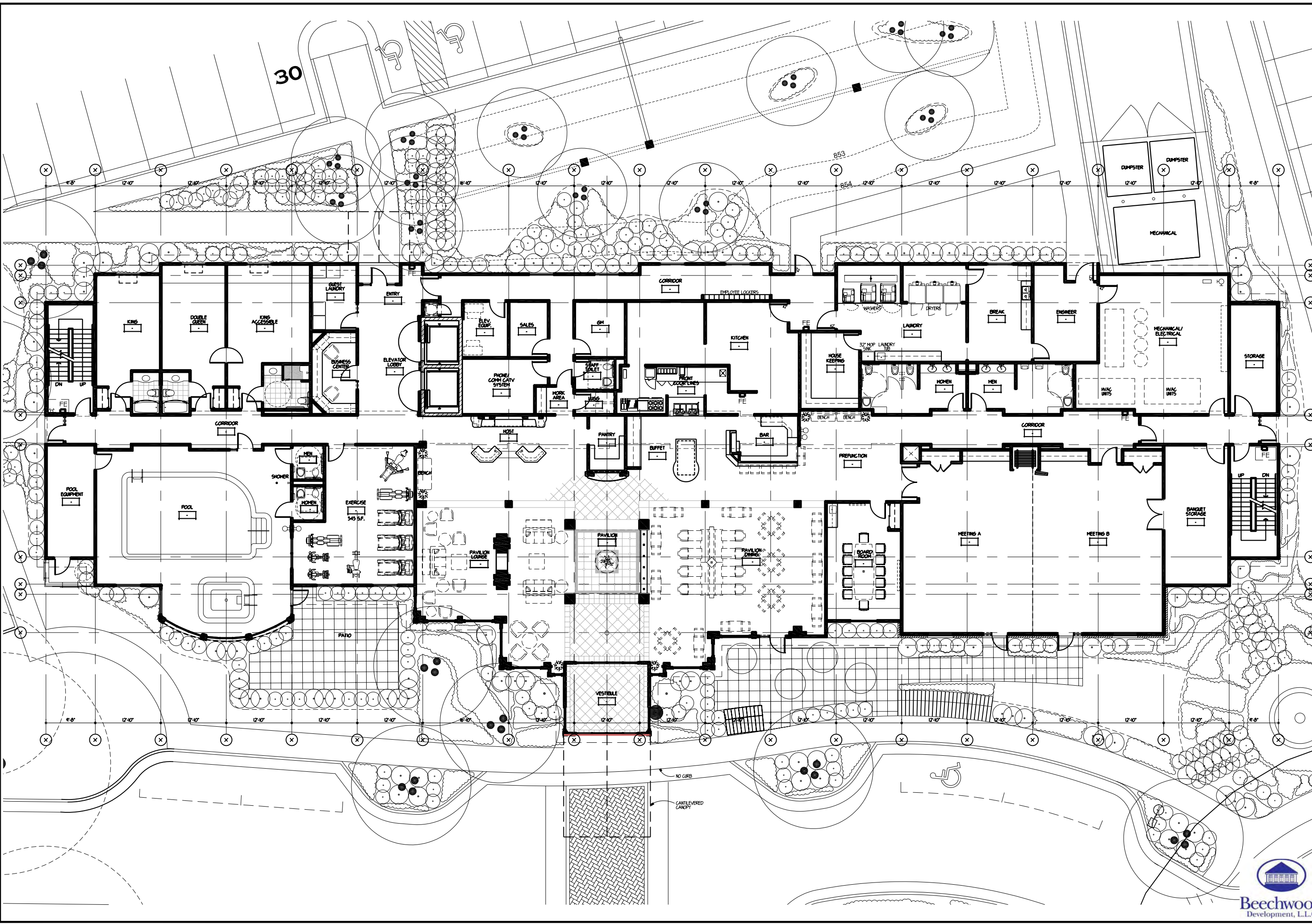
NOT FOR
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ENLARGED
SITE PLAN

DATE
09/15/08

SHEET
A002





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ON Architectural Group
200 James Ray Drive
and Forks, North Dakota
(701) 772 4266 Office
(701) 772 4275 Fax

MECHANICAL

ELECTRICAL

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**HILTON
GARDEN INN**
610 JOHN NOLEN DRIVE
MADISON, WISCONSIN

REVISION RECORD	
Revision	Date
-	

SCALE: **AS NOTED**

DRAWN BY: MK/KD JN: #06-022

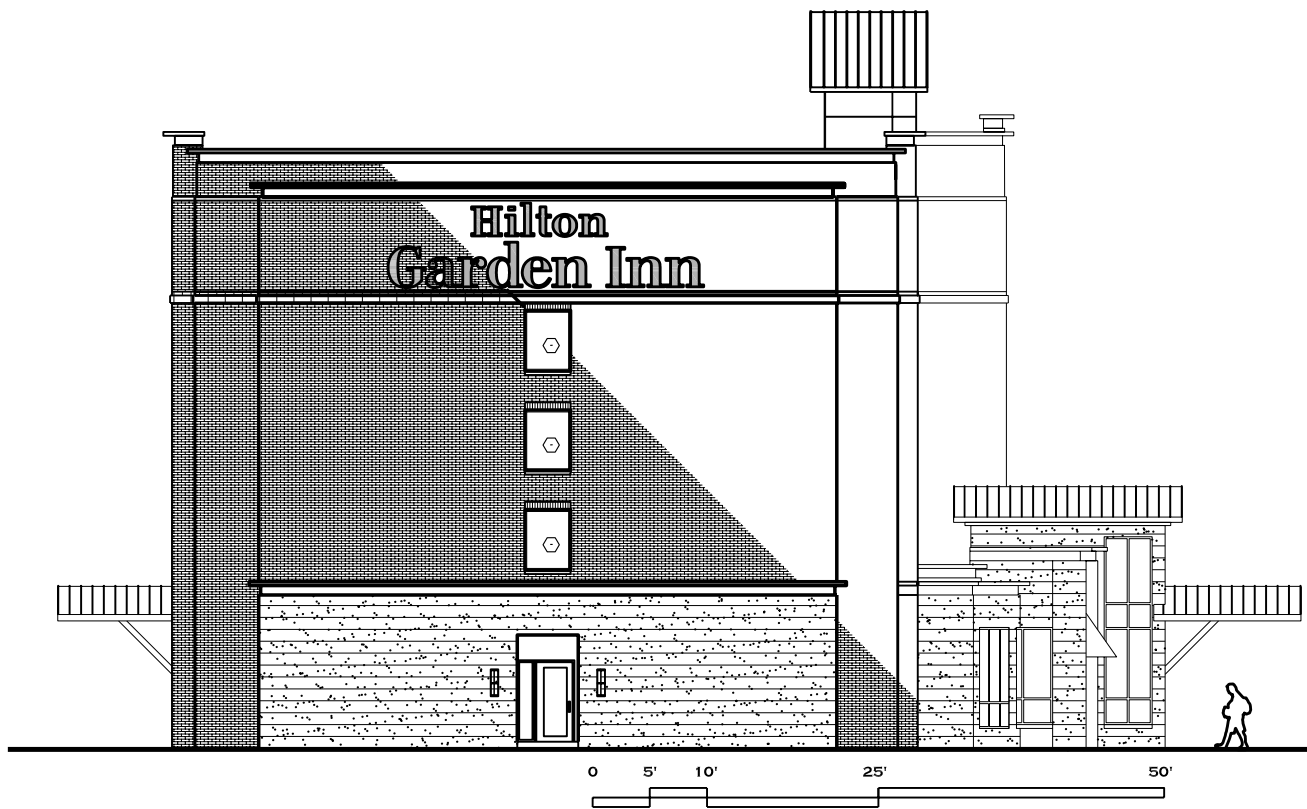


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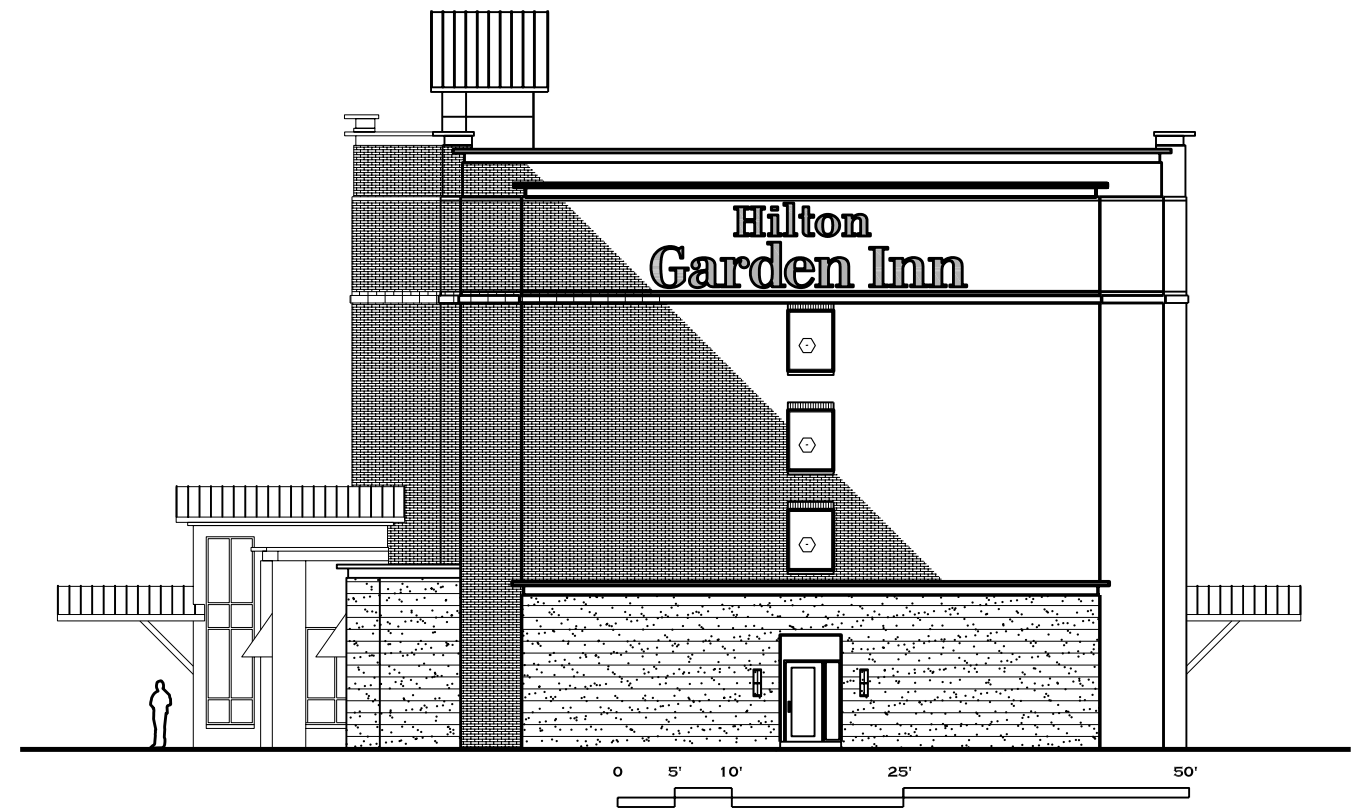
BUILDING ELEVATIONS

DATE
09/15/08

SHEET
A300



WEST BUILDING ELEVATION



EAST BUILDING ELEVATION



SOUTH BUILDING ELEVATION

3
A300

ICON Architectural Group
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ELECTRICAL

Quam Engineering, LLC
4893 Larson Beach Road
McFarland, WI 53558
(608) 838-7750 Office
(608) 838-7752 Fax

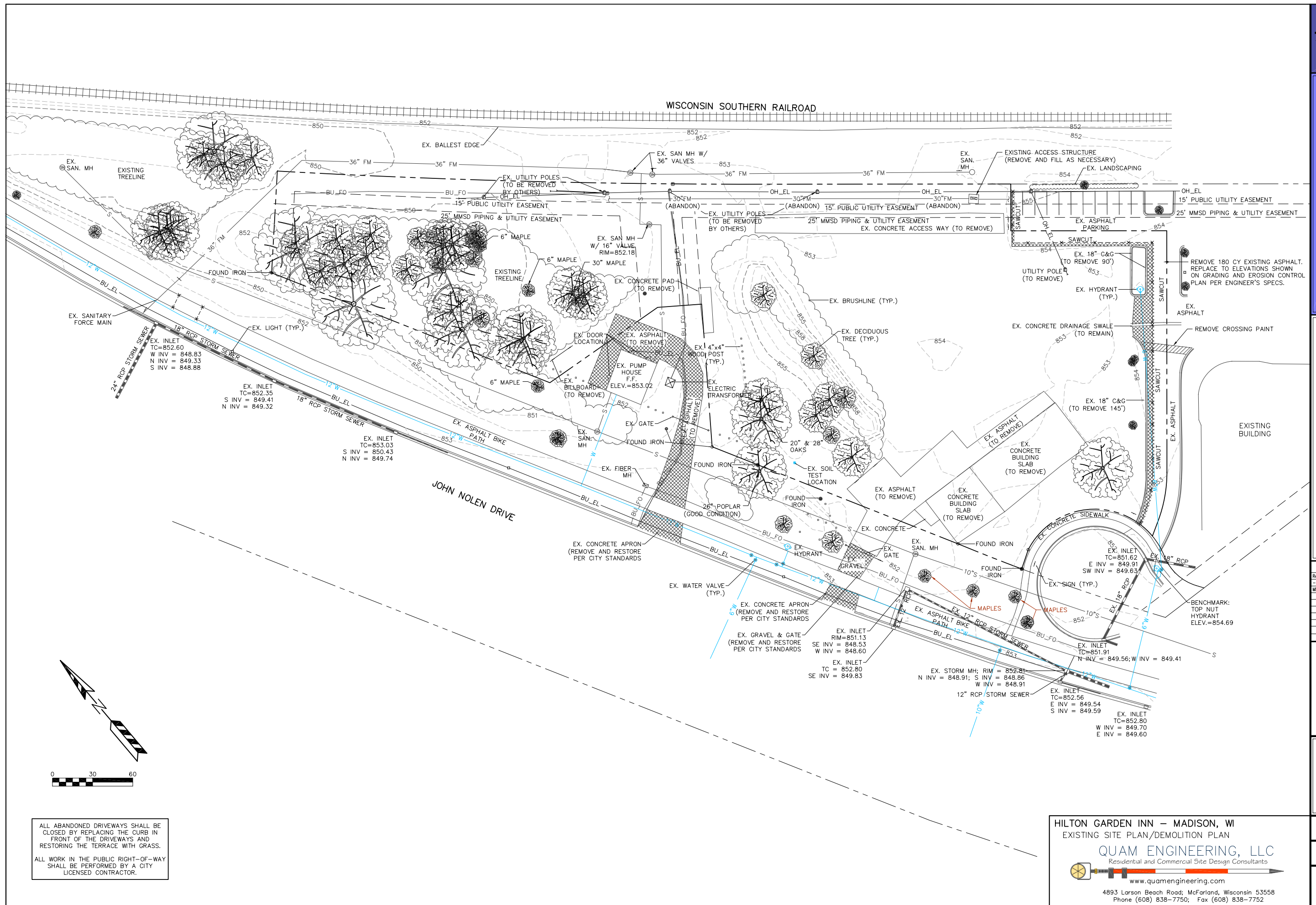
**HILTON
GARDEN INN**
610 JOHN NOLEN DRIVE
MADISON, WISCONSIN

REVISION RECORD	
Revision	Date
	-
MSD Revisions	9/09/08
SCALE:	
DRAWN BY : KJP	FN: IA-02-08

**NOT FOR
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DATE
9/09/08

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C-101



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MECHANICAL

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**HILTON
GARDEN INN**
610 JOHN NOLEN DRIVE
MADISON, WISCONSIN

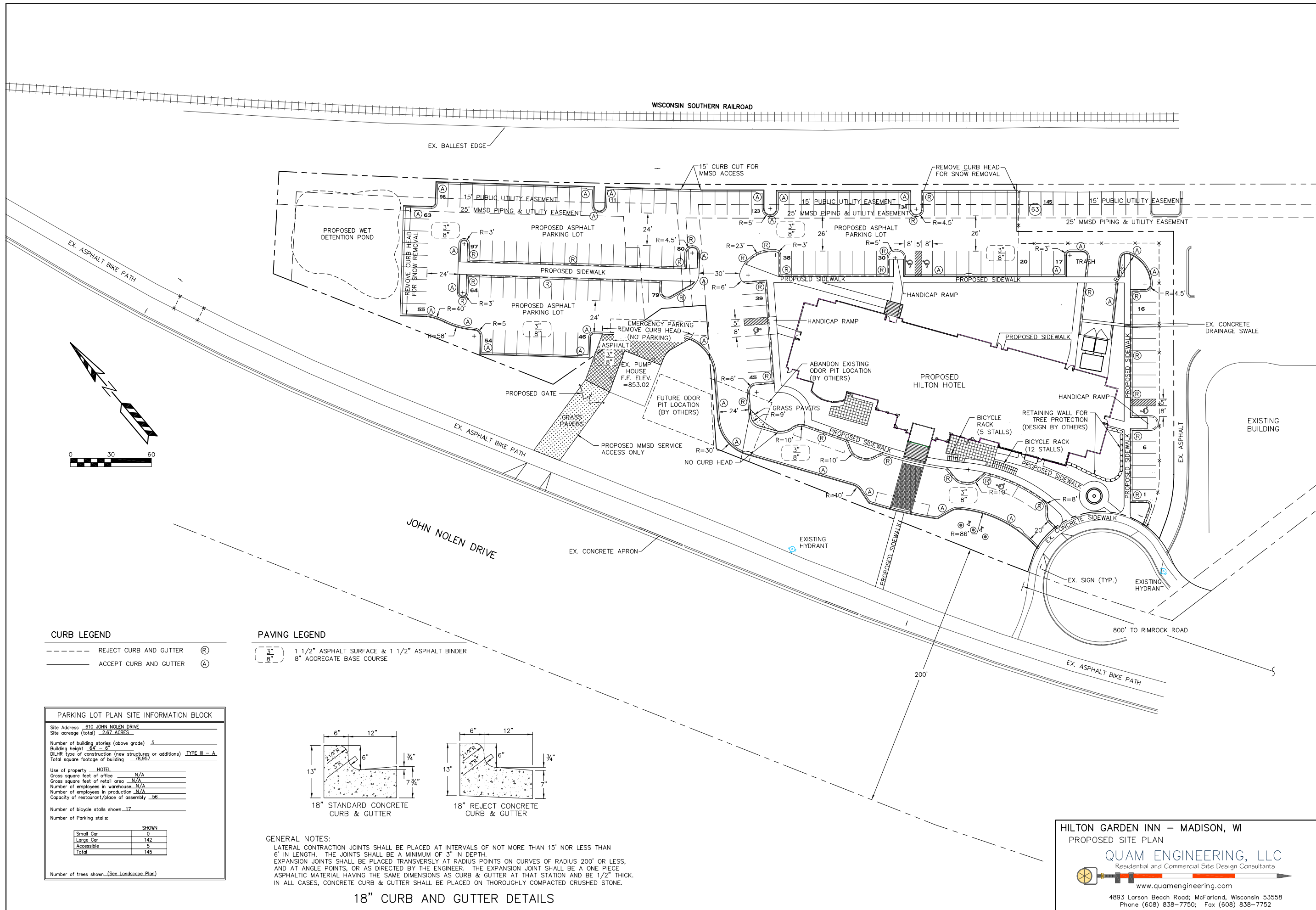
REVISION RECORD	
Revision	Date
New Site Layout	8/29/08
MMSD Revisions	9/09/08
MMSD Revisions	9/15/08

SCALE:
DRAWN BY: KJP FN: 1A-02-08

**NOT FOR
CONSTRUCTION**

DATE
09/15/08

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C-102





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MECHANICAL

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**HILTON
GARDEN INN**
610 JOHN NOLEN DRIVE
MADISON, WISCONSIN

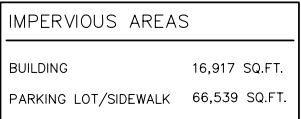
REVISION RECORD	
Revision	Date
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MSD Revisions	9/09/08
SCALE:	
DRAWN BY : KJP	FN: IA-02-0

**NOT FOR
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09/09/08

SHEET

C-103



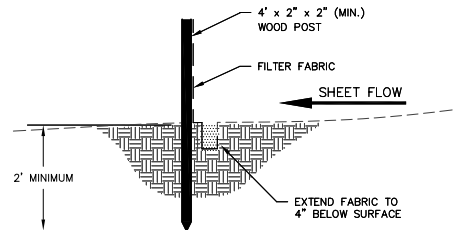
ALL ABANDONED DRIVEWAYS SHALL BE CLOSED BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS AND RESTORING THE TERRACE WITH GRASS.

ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.

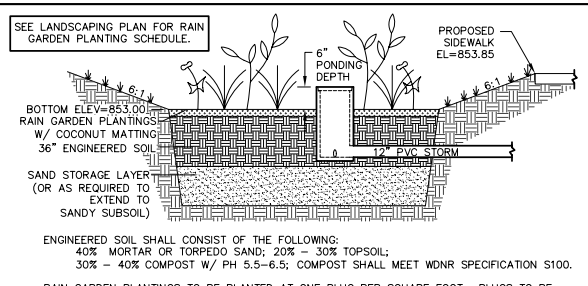
THE CONTRACTOR SHALL OBTAIN AN APPLICATION TO EXCAVATE/GRADE IN THE CITY RIGHT-OF-WAY PRIOR TO CONSTRUCTION.

ALL GRADES ARE EDGE OF
PAVEMENT ELEVATIONS
UNLESS NOTED.

INLETS #1 - 7 SHALL HAVE
"CATCH-ALL" INLET FILTERS
INSTALLED AFTER BEING
SET. THE HR PILLOW SHALL
BE INSTALLED FOLLOWING
PAVING OPERATIONS.



SILT FENCE CONSTRUCTION (SHEET FLOW)



RAIN GARDEN DETAIL

 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

TDD(FOR THE HEARING IMPAIRED)(800)542-2285

WS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

HILTON GARDEN INN – MADISON, WI
GRADING AND EROSION CONTROL PLAN

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants

www.quamengineering.com

4893 Larson Beach Road; McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752

EROSION NOTES:

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY AND AFTER A RAINFALL OF 1/2 INCH OR MORE WITHIN 24 HOURS. NECESSARY MAINTENANCE SHOULD FOLLOW THE INSPECTIONS WITHIN 24 HOURS.

THE STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. ALL PUBLIC ROADS SHOULD BE CLEANED BY STREET SWEEPING (VS. FLUSHING) AT THE END OF EACH WORKDAY.

WATERING PROVISION: FOR THE FIRST SIX WEEKS AFTER THE INITIAL STABILIZATION (E.G., SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, PROVISIONS SHALL BE MADE FOR WATERING WHENEVER MORE THAN 7 DAYS OF DRY WEATHER ELAPSE.

ANIONIC POLYMER: IF EROSION CONTROL BECOMES PROBLEMATIC, POLYMER SHOULD BE APPLIED TO DISTURBED AREAS (SEE DNR TECHNICAL STANDARD 1050:
[<HTTP://DNR.WI.GOV/ORG/WATER/WM/NPS/PDF/STORMWATER/TECHSTDS/EROSION/DNR1050-POLYACRYLIMIDE.PDF>](http://DNR.WI.GOV/ORG/WATER/WM/NPS/PDF/STORMWATER/TECHSTDS/EROSION/DNR1050-POLYACRYLIMIDE.PDF)

SOIL STOCKPILES: A ROW OF SILT FENCE PLACED DOWNSLOPE AND AT LEAST 10 FEET AWAY FROM THE STOCKPILE SHALL PROTECT ALL STOCKPILES. SOIL STOCKPILES THAT ARE INACTIVE FOR MORE THAN 14 CONSECUTIVE DAYS SHALL BE STABILIZED WITH SEED & MULCH, EROSION MAT, POLYMER, OR COVERED WITH TARPS OR SIMILAR MATERIAL. NO STOCKPILE SHALL BE PLACED WITHIN 20 FEET OF A DRAINAGE WAY.

SILT FENCE AND STOCKPILES SHALL BE FIELD LOCATED BY THE ENGINEER.

CUT AND FILL SLOPES SHALL BE NO GREATER THAN 2:1. ALL SLOPES 3:1 OR GREATER SHALL BE STABILIZED BY CLASS I, TYPE A EROSION MATTING.

ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED AS NEEDED.

TIME SCHEDULE:

OCTOBER 2 - 16, 2008

OCTOBER 16, 2008 – SEPT. 7, 2009 CONSTRUCT BUILDING, UTILITIES AND PARKING LOT.

SEPTEMBER 8 - 15, 2009 RESTORE ALL PVIOUS DISTURBED AREAS AND FINAL LANDSCAPING.

RESTORATION NOTES:

ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SEED MIXTURE 40 SHALL BE USED AND MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.

SEED MIXTURES FOR LAWN AREAS SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER FOR LAWN AREAS SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SATISFACTORY STAND OF GRASS ON ALL SEEDED AREAS FOR ONE YEAR AFTER THE PROJECT'S FINAL ACCEPTANCE.

OWNER:
BEECHWOOD DEVELOPMENT, LLC
ATTN: THOMAS ARNOT
1025 THOROUGHbred LANE
DEPERE, WI 54115

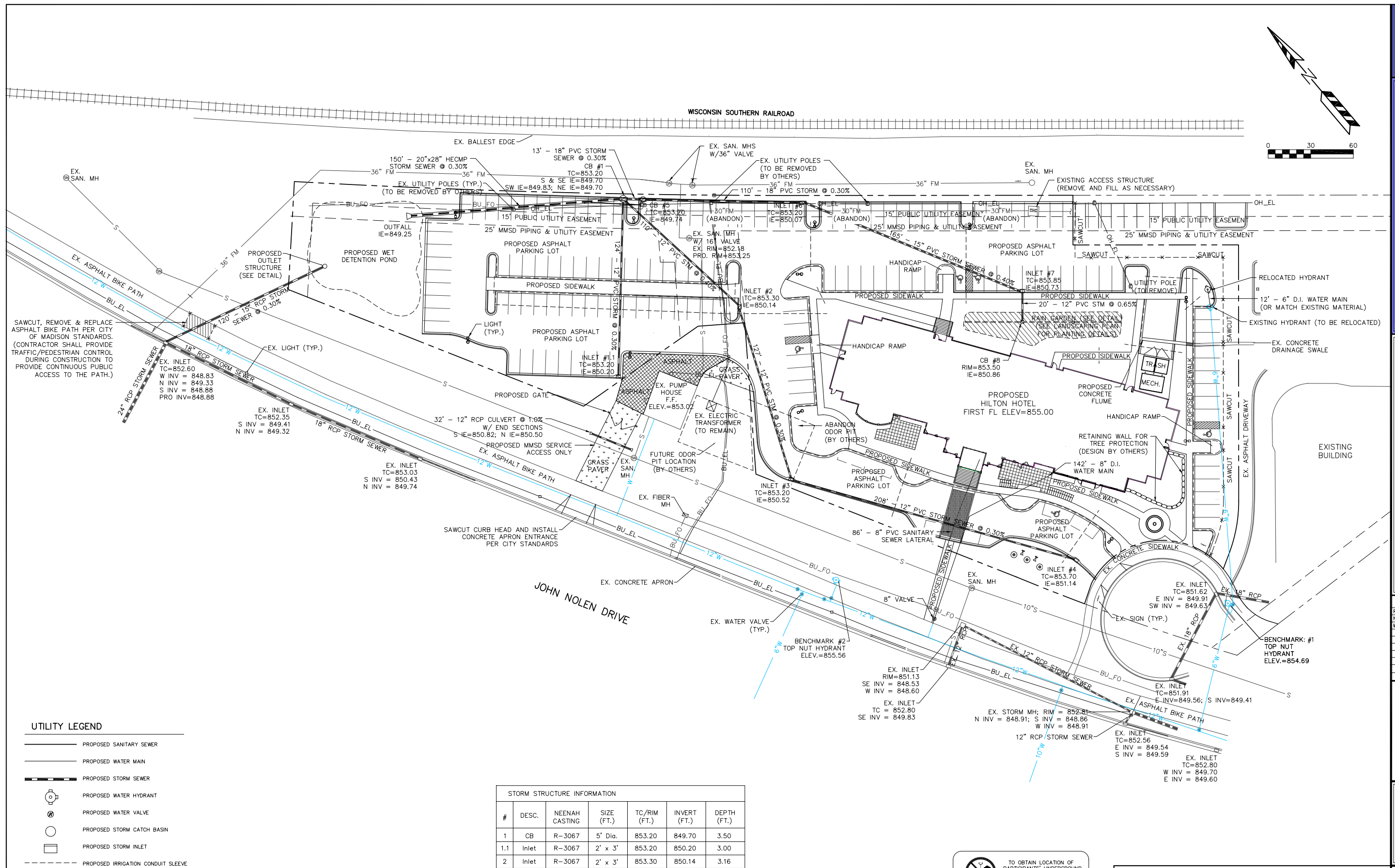
ENGINEER:
QUAM ENGINEERING, LLC
ATTN: KEVIN PARISH
4893 LARSON BEACH ROAD
MCFARLAND, WI 53558

REVISION RECORD	
Revision	Date
New Site Layout	8/29/08
MMSD Revisions	9/09/08
SCALE:	
DRAWN BY : KJP	FN: 1A-02-08

NOT FOR CONSTRUCTION

DATE
09/09/08

SHEET
C-104



GENERAL NOTES:

ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.

THE APPLICANT SHALL OBTAIN A STREET EXCAVATION PERMIT FOR THE INSTALLATION OF UTILITIES REQUIRED TO SERVE THIS PROJECT. THE APPLICANT SHALL PAY THE PERMIT FEE, INSPECTION FEE AND STREET DEGRADATION FEE AS APPLICABLE AND SHALL COMPLY WITH ALL THE CONDITIONS OF THE PERMIT.

THE APPLICANT SHALL OBTAIN ALL NECESSARY SEWER CONNECTION PERMITS AND SEWER PLUGGING PERMITS PRIOR TO ANY UTILITY WORK.

PRIOR TO APPROVAL OF THE CONDITIONAL USE APPLICATION, THE OWNER SHALL OBTAIN A PERMIT TO PLUG EACH EXISTING SANITARY SEWER LATERAL THAT SERVES A BUILDING THAT IS PROPOSED FOR DEMOLITION. FOR EACH LATERAL TO BE PLUGGED THE OWNER SHALL DEPOSIT \$1,000 WITH THE CITY ENGINEER IN TWO SEPARATE CHECKS IN THE FOLLOWING AMOUNTS: (1) \$500 NON-REFUNDABLE DEPOSIT FOR THE COST OF INSPECTION OF THE PLUGGING BY CITY STAFF; AND (2) \$500 FOR THE COST OF CITY STAFF TO PERFORM THE PLUGGING IF THE OWNER ELECTS TO COMPLETE THE PLUGGING OF A LATERAL BY PRIVATE CONTRACTOR AND THE PLUGGING IS INSPECTED AND APPROVED BY THE CITY ENGINEER. THE \$500 FEE SHALL BE REFUNDED TO THE OWNER.

STORM STRUCTURE INFORMATION						
#	DESC.	NEENAH CASTING	SIZE (FT.)	TC/RIM (FT.)	INVERT (FT.)	DEPTH (FT.)
1	CB	R-3067	5' Dia.	853.20	849.70	3.50
1.1	Inlet	R-3067	2' x 3'	853.20	850.20	3.00
2	Inlet	R-3067	2' x 3'	853.30	850.14	3.16
3	Inlet	R-3067	2' x 3'	853.20	850.52	2.68
4	Inlet	R-3067	2' x 3'	853.70	851.14	2.56
5	CB	R-3067	4' Dia.	853.20	849.74	3.46
6	Inlet	R-3067	2' x 3'	853.20	850.07	3.13
7	Inlet	R-3067	2' x 3'	853.85	850.73	3.17
8	CB	Open Grote	2' x 2'	853.50	850.86	2.64

 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

TDD(FOR THE HEARING IMPAIRED)(800)542-2289

WS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE.

HILTON GARDEN INN – MADISON, WI
UTILITY PLAN

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants

 www.quamengineering.com

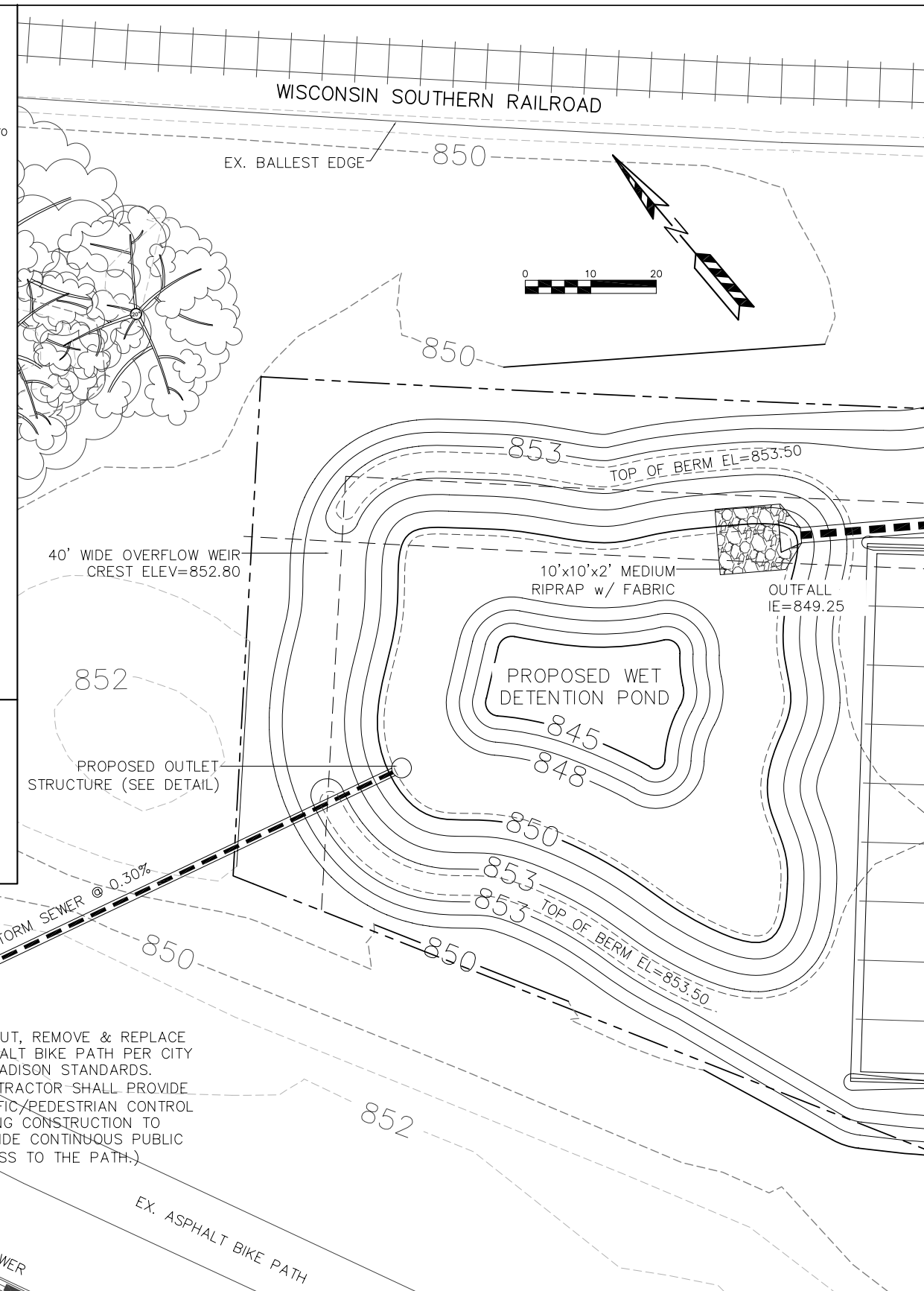
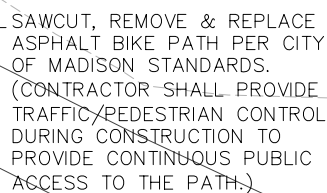
4893 Larson Beach Road; McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752



WASHED GRAVEL AND CRUSHED STONE USED FOR
BEDDING SHALL CONFORM TO THE FOLLOWING GRADATION:

PASSING 1" SIEVE	100%
PASSING 1/2" SIEVE	35-60%
PASSING #200 SIEVE	0-10%

DETENTION POND OUTFALL STRUCTURE DETAIL



 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

TDD(FOR THE HEARING IMPAIRED)(800)542-22

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

HILTON GARDEN INN – MADISON, WI

DETENTION POND PLAN & STORM SEWER DETAILS

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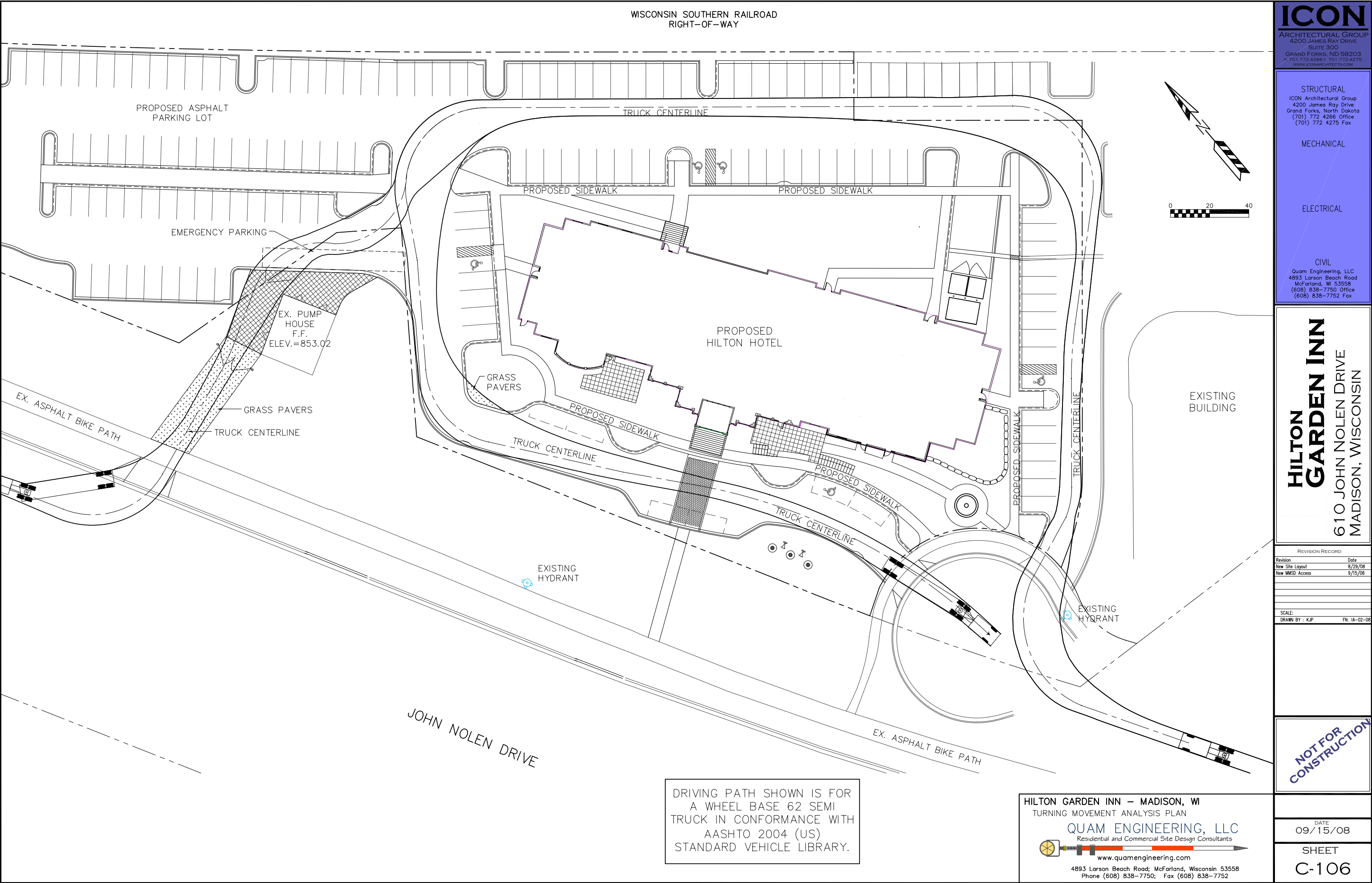
**HILTON
GARDEN INN**
610 JOHN NOLEN DRIVE
MADISON, WISCONSIN

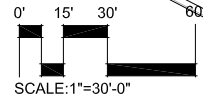
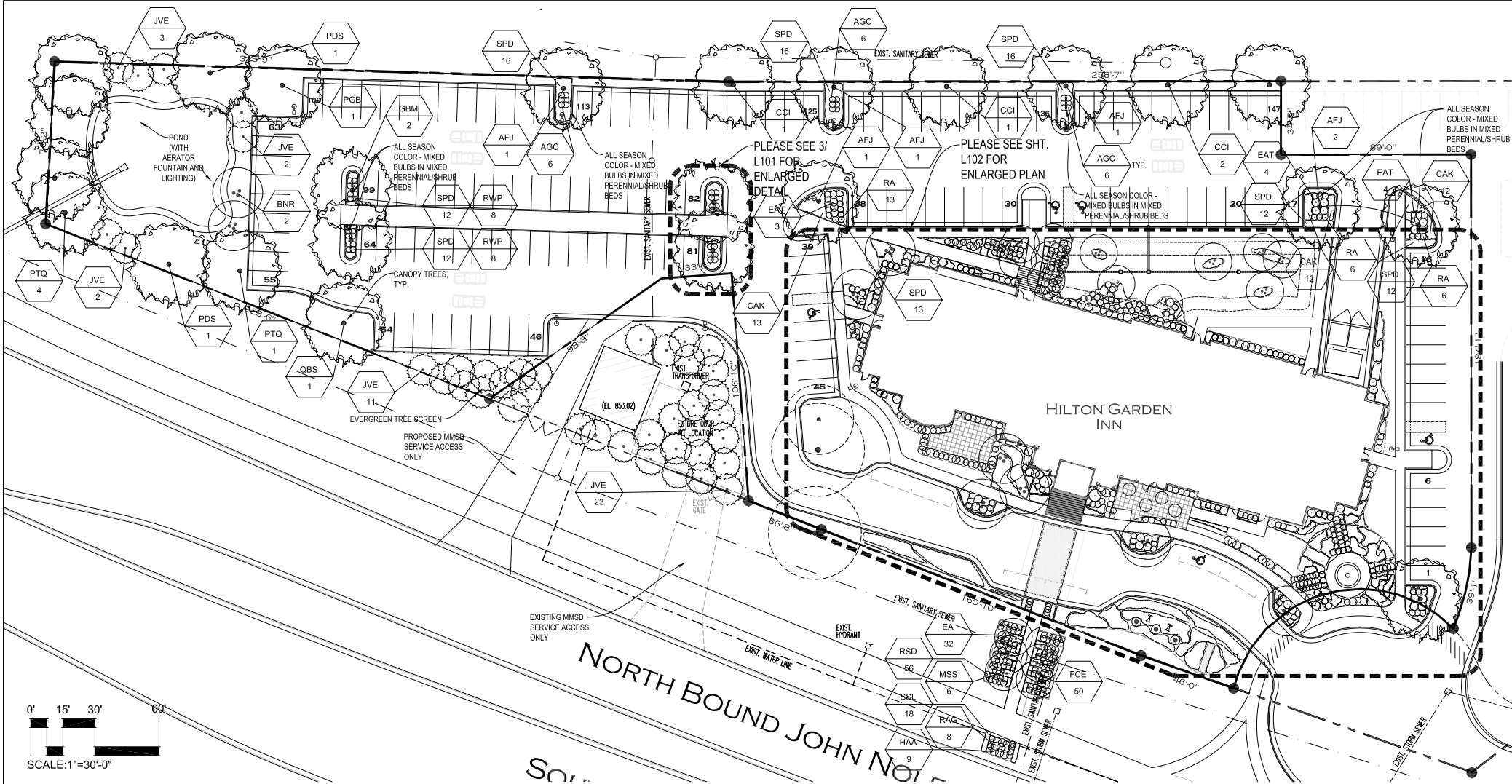
REVISION RECORD	
Revision	Date
New Site Layout	8/29/08
SCALE:	
DRAWN BY : KJP	FN: IA-02-0

NOT FOR CONSTRUCTION

DATE
09/09/08

SHEET
C-105





LANDSCAPE PLAN

PLAN NOTES:

1. REFER TO WRITTEN SPECIFICATIONS MANUAL FOR ADDITIONAL REQUIREMENTS.
2. REFER TO CIVIL ENGINEERS PLANS FOR ADDITIONAL SITE LAYOUT AND UTILITY INFORMATION RELATING TO WORK SHOWN.
3. THE CONTRACTOR(S) ARE TO COORDINATE ALL PHASES OF WORK WITH THE GENERAL CONTRACTOR AND OWNER'S REPRESENTATIVE.
4. PROTECT ALL EXISTING TREES, UTILITIES AND NEW IMPROVEMENTS FROM DAMAGE RELATING TO THE IMPLEMENTATION OF WORK SHOWN.
5. THE CONTRACTOR(S) ARE RESPONSIBLE FOR FILING FOR AND OBTAINING ALL NECESSARY PERMITS, POSTING REQUIRED ESCROWS AND NOTIFYING ALL REGULATORY AGENCIES OF WORK IN PROGRESS.
6. FIELD LOCATE UTILITIES PRIOR TO DIGGING.

LANDSCAPE WORKSHEET

I. NUMBER OF TREES REQUIRED

ELEMENT	QUANTITY	QUANTITY		
		REQUIRED	MIN. 2.5X	MAX. 3X
NUMBER OF PARKING STALLS (CURRENTLY 148)	161	N/A	N/A	N/A
TOTAL SF OF THE STORAGE AREA (DIV. BY 300 SF)	0	N/A	N/A	N/A
NUMBER OF CANOPY SHADE TREES REQ. (2' - 2 1/2' CAL.)	N/A	12	30	36
TOTAL				

II. NUMBER OF LANDSCAPE POINTS REQUIRED

ELEMENT	QUANTITY	REQUIRED	MIN. 3X	MAX. 3X
NUMBER OF PARKING STALLS	683	1,732	2,079	
TOTAL SF OF THE STORAGE AREA (DIV. BY 300 SF)	75	75	75	
NUMBER OF LANDSCAPE POINTS REQUIRED (2' - 2 1/2' CAL.)	768	1,807	2,154	
TOTAL				

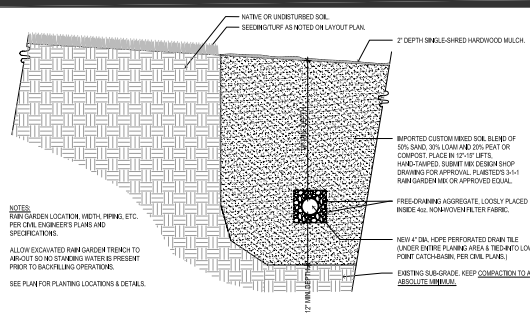
TABULATION OF POINTS AND CREDITS

ELEMENT	POINT VALUE	QUANTITY	POINTS ACHIEVED	CREDITS	
				QUANTITY	POINTS
CANOPY TREE: 2' - 2 1/2' CAL. (TREES REQ. ABOVE N/A)	35	24	840	3	65
DECIDUOUS SHRUB	2	550	1,100	0	0
EVERGREEN SHRUB	3	43	129	0	0
DECORATIVE WALL OR FENCE (PER 10LF)	5	7.6	38	0	0
EARTH BERM (PER 10 LF) AVG. HT. 30"	5	0	0	0	0
EARTH BERM (PER 10 LF) AVG. HT. 15"	3	0	0	0	0
EVERGREEN TREES (3' HT. MINIMUM)	15	41	615	0	0
CANOPY TREE OR SMALL TREE: 1 1/2" - 2' CAL.	15	27	405	0	0
SUB TOTALS		3,127	3	65	3,192

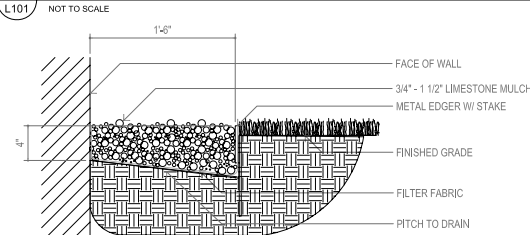
RAIN GARDEN DESIGN:

PROPOSED HOTEL BUILDING ROOF AREA ONLY:
RUNOFF (GROSS): (A) 16,916SF X (E) 1"HR. = (V) 1,410CF
(A)=AREA
(E)=EVENT
(V)=VOLUME IN CUBIC FEET
(D)=DEPTH (AVERAGES)
ASSUMED TAPERED HOTEL ROOF, EXTERNAL STORM PIPING: (V)=1,410CF X .5 = 704.8CF

PROPOSED RAIN GARDEN:
HOLDING CAPACITY: (A-32.368SF X D)-.36" = (V)-.262CF (37% OF ANTICIPATED IMPERVIOUS ROOF AREA).
(WISCONSIN DOT SUGGESTS A RAIN GARDEN TARGET CAPACITY OF 15%-30% OF INTENDED IMPERVIOUS AREA)

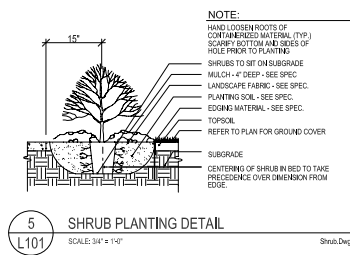


SECTION AT RAIN GARDEN AREA



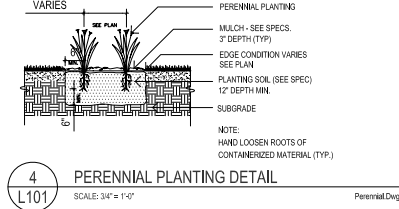
2 MAINTENANCE STRIP @ WALL

SCALE: 1/12" = 1'-0"



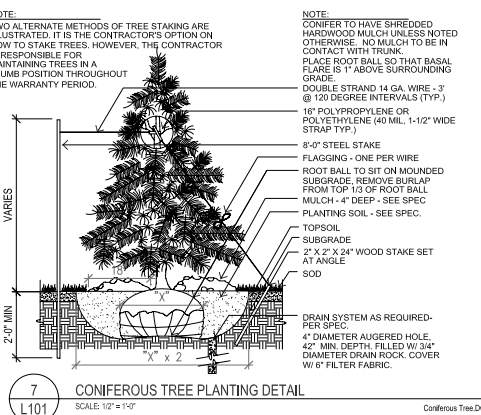
5 SHRUB PLANTING DETAIL

SCALE: 3/4" = 1'-0"



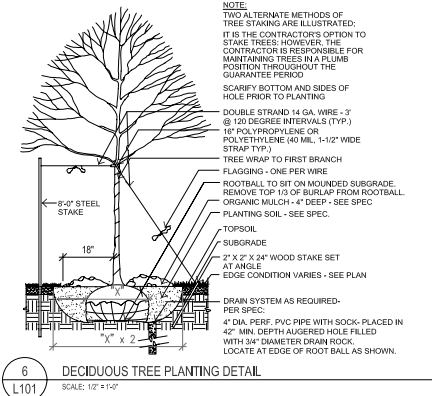
4 PERENNIAL PLANTING DETAIL

SCALE: 3/4" = 1'-0"



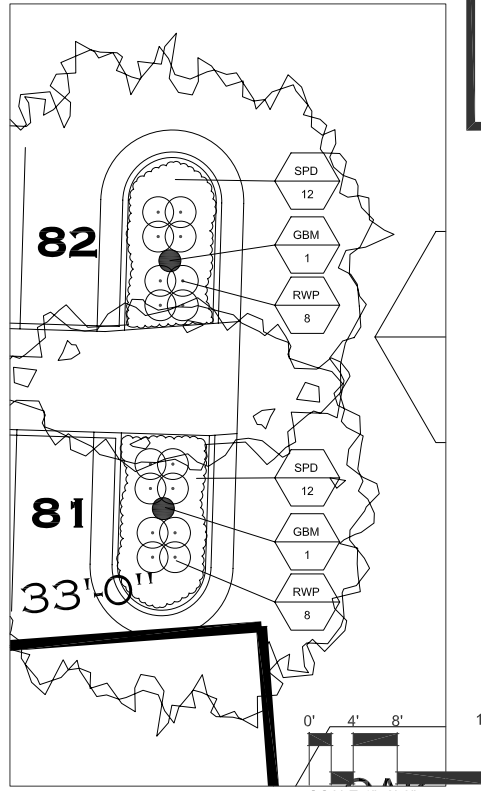
7 CONIFEROUS TREE PLANTING DETAIL

SCALE: 1/2" = 1'-0"



6 DECIDUOUS TREE PLANTING DETAIL

SCALE: 1/2" = 1'-0"



3 ENLARGEMENT-PARKING ISLAND, TYP.

SCALE: 1" = 8'-0"

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MECHANICAL

ELECTRICAL

CIVIL

HILTON GARDEN INN
610 JOHN NOLEN DRIVE
MADISON, WISCONSIN

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UDC REVIEW 08/11/08, 08/20/09
UDC FINAL REVIEW 09/17/08

SCALE:
DRAWN BY: MFJ JN: #06-022

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF WISCONSIN.

PRINT NAME: MATTHEW FAIR JONES
SIGNATURE: _____
DATE: _____
LICENSE #: #578

LANDSCAPE PLAN

DATE
07/29/08

SHEET
L101

GENERAL LANDSCAPE AREAS

[illegible][illegible]

GENERAL LANDSCAPE AREAS

SHRUBS; CONIFEROUS							
JCS	9	Juniperus chinensis 'Sea Green' / SEA GREEN JUNIPER	4-6'x4-6'	BB	#2	#5	HEALTHY/FULL
JCS	11	Juniperus sabina 'Broadmoor' / BROADMOOR JUNIPER	1-2'x3-5'	BB	#2	#5	HEALTHY/FULL
TMT	18	Taxus x media 'Taunton' / TAUNTON YEW	3'x3-4'	BB	#2	#5	HEALTHY/FULL

PERENNIALS: ORNAMENTAL GRASSES							
CAK	65	Calamagrotis x acutiflora 'Karl Foerster' / KARL FOERSTER FEATHER REED GRASS	42"x12"	CONT	#1	#2	HEALTHY/FULL
FCE	30	Festuca chinensis 'Elijah Blue' / ELIJAH BLUE	6"x6"	CONT	#1	#2	HEALTHY/FULL
MS	186	Miscanthus sinensis 'Silverfeather' / SILVER FEATHER MAIDEN GRASS	36"x12"	CONT	#1	#2	HEALTHY/FULL
SSL	18	Schizachnium scoparium / LITTLE BLUE STEM	36"x12"	CONT	#1	#2	HEALTHY/FULL
SPD	133	Sporobolus Fritschii 'Dropsseed' / PRAIRIE DROPSSEED	24"x24"	CONT	#1	#2	HEALTHY/FULL

ANNUALS						
A1	60	ANNUALS: WHITE				HEALTHY/FULL
A2	148	ANNUALS: RED				HEALTHY/FULL
A3	12	ANNUALS: YELLOW				HEALTHY/FULL
A4	12	ANNUALS: BLUE				HEALTHY/FULL
A5	770	ANNUALS: MIXED				HEALTHY/FULL

- LANDSCAPE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.

- LANDSCAPE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.
- LANDSCAPE CONTRACTOR SHALL VERIFY PLAN LAYOUT AND DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND/OR INTENT OF THE PROJECT'S LAYOUT.
- LANDSCAPE CONTRACTOR SHALL ASSURE COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK AND/OR MATERIALS SUPPLIED.
- LANDSCAPE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION OPERATIONS. DAMAGE TO SAME SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- LANDSCAPE CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10'-0" CLEARANCE).
- LANDSCAPE CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
- UNDERGROUND UTILITIES SHALL BE INSTALLED SO THAT TRENCES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.
- EXISTING COURTS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER ELEMENTS ARE BASED UPON INFORMATION SUPPLIED TO THE LANDSCAPE ARCHITECT BY OTHERS. LANDSCAPE CONTRACTOR SHALL VERIFY DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.
- ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND/OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. CHANGES IN THE ALIGNMENT AND GRADES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
- NO PLANTS WILL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- SOD AREAS DISTURBED DUE TO GRADING UNLESS NOTED OTHERWISE.
- WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
- SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.
- PROPOSED PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, UNLESS NOTED OTHERWISE. DECIDUOUS SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED HEIGHT. ORNAMENTAL TREES SHALL HAVE NO "V" CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' FEET ABOVE THE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE FINISHED GRADE.
- PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS AND DETAILS TAKE PRECEDENCE OVER NOTES.
- LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WATERING/LAWN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIALS GROWTH REQUIREMENTS.
- LANDSCAPE CONTRACTOR SHALL INSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO INSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL PLANTING AREAS.
- LANDSCAPE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN THE PLANT MATERIAL SELECTIONS AND OTHER SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE PLANT MATERIAL SELECTIONS OR SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- LANDSCAPE CONTRACTOR SHALL PREPARE AND SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF LANDSCAPE AND SITE IMPROVEMENTS PRIOR TO SUBMITTING FINAL PAY REQUEST.
- LANDSCAPE CONTRACTOR SHALL PREPARE AND SUBMIT REPRODUCIBLE AS-BUILT DRAWING(S) OF LANDSCAPE INSTALLATION, IRRIGATION AND SITE IMPROVEMENTS UPON COMPLETION OF CONSTRUCTION INSTALLATION AND PRIOR TO PROJECT ACCEPTANCE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE OF NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL WARRANTY NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF THE OWNER ACCEPTANCE. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.
- UNLESS NOTED OTHERWISE, THE APPROPRIATE DATES FOR SPRING PLANT MATERIAL INSTALLATION AND SEED/SOD PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.
- FALL SODDING IS GENERALLY ACCEPTABLE FROM AUGUST 15 TO NOVEMBER 1. FALL SEEDING IS GENERALLY ACCEPTABLE FROM AUGUST 15 TO SEPTEMBER 15. ADJUSTMENTS TO SOD/SEED PLANTING DATES MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
- CONIFEROUS PLANTING IS GENERALLY ACCEPTABLE FROM AUGUST 15 TO OCTOBER 1. FALL DECIDUOUS PLANTING IS GENERALLY ACCEPTABLE FROM THE FIRST FROST UNTIL NOVEMBER 15. ADJUSTMENTS TO PLANTING DATES MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
- EXISTING TREES TO REMAIN SHALL BE FERTILIZED AND PRUNED TO REMOVE DEAD WOOD, DAMAGED, AND/OR RUBBING BRANCHES.
- EXISTING TREES AND/OR SIGNIFICANT SHRUB MASSINGS FOUND ON SITE SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED OR ARE LOCATED IN AN AREA TO BE GRADED. QUESTIONS REGARDING EXISTING PLANT MATERIAL SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL.

- PROPOSED PLANT MATERIAL SHALL BE LOADED AND STAKED AS SHOWN ON PLAN. LANDSCAPE ARCHITECT MUST APPROVE STAKING OF PLANT MATERIAL PRIOR TO DIGGING.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF BID AND/OR QUOTATION.
- ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. LANDSCAPE ARCHITECT MUST BE NOTIFIED PRIOR TO ADJUSTMENT OF PLANTS.
- PLANT MATERIAL SHALL BE FERTILIZED UPON INSTALLATION WITH DRIED BONE MEAL, OTHER APPROVED FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS OR MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 0-20-20 OF 12 OZ. PER 2.5" CALIPER TREE AND 6 OZ. PER SHRUB WITH AND ADDITIONAL APPLICATION OF 10-10-10 THE FOLLOWING SPRING IN THE TREE SAUCER.
- ROUGH GRADING AND FINISHED GRADING TO BE DONE BY OTHERS UNLESS NOTED OTHERWISE.
- GRADING LIMITS ARE HEREIN DEFINED AS THE JUNCTURE OF PROPOSED GRADE WITH EXISTING GRADE UNLESS NOTED OTHERWISE.
- GRADING LIMITS AND LIMITS OF WORK SHOWN ON PLAN ARE ONLY APPROXIMATE AND MAY BE ADJUSTED IN FIELD BY LANDSCAPE ARCHITECT. WORK OUTSIDE OF THESE LIMITS WILL BE DONE AT LANDSCAPE CONTRACTORS EXPENSE UNLESS DIRECTED BY LANDSCAPE ARCHITECT OR OWNER IN WRITING.
- FILL/CUT AS NECESSARY TO PROVIDE A 1% MINIMUM GRADE AWAY FROM BUILDINGS WITHIN LIMITS OF CONSTRUCTION.
- SALVAGE TOPSOIL FROM THE EARTHWORK AREAS AS APPROPRIATE AND/OR AS DIRECTED BY LANDSCAPE ARCHITECT AND STOCKPILE FOR REUSE IN LOCATION APPROVED BY OWNER.
- MAINTAIN A UNIFORM GRADE BETWEEN CONTOURS IN AREAS TO BE GRADED UNLESS SPECIFICALLY NOTED OTHERWISE.

- PLANT MATERIALS TO BE INSTALLED PER PLANTING DETAILS.
- PLANTING AREAS RECEIVING GROUND COVER, PERENNIALS, ANNUALS, AND/OR VINES SHALL RECEIVE A MINIMUM OF 12" DEPTH OF PLANTING SOIL CONSISTING OF AT LEAST 45 PARTS TOPSOIL, 45 PARTS SCREENED COMPOST OR MANURE AND 10 PARTS SAND.
- WRAPPING MATERIAL SHALL BE CORRUGATED POLYETHYLENE PEAVING 1" GREATER IN CALIPER THAN THE TREE BEING PROTECTED OR QUALITY, HEAVY, WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE, WRAP DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO DECEMBER 1 AND REMOVE WRAPPING AFTER MAY 1.
- ELEVATIONS SHOWN ARE FINISHED ELEVATIONS. SPOT ELEVATIONS TAKE PRECEDENCE OVER CONTOURS.
- ADD EROSION CONTROL MEASURES IF GRADES GREATER THAN 3:1 OR IF CONDITIONS WARRANT. REFER TO NDDOT SPECIFICATIONS FOR EROSION CONTROL.
- LANDSCAPE CONTRACTOR SHALL CONTACT PUBLIC UTILITIES FOR LOCATION OF UNDERGROUND UTILITIES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. LANDSCAPE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE IF DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.

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| <p>STEEL EDGER TO BE USED TO CONTACT SHRUBS, PERENNIALS AND ANNUALS WHERE PLANTING BED MEETS SOD UNLESS NOTED OTHERWISE,</p> <ul style="list-style-type: none"> ANNUAL AND PERENNIAL PLANTING BEDS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH WITH NO WEED BARRIER, SHRUB BED MASSINGS TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH FIBER MAT WEED BARRIER, CONIFEROUS TREES ARE TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH AND SHALL HAVE NO MULCH IN DIRECT CONTACT WITH THE TREE TRUNK, MAINTENANCE STRIPS, WHERE ILLUSTRATED, TO HAVE EDGER AND STONE MULCH AS INDICATED ON DRAWINGS OR IN SPECIFICATIONS, LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SPECIFICATIONS AS PART OF THE SCOPE OF WORK WHEN BIDDING. THESE SHALL BE PROVIDED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND/OR INSTALLATION. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT SODDED/SEEDED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION, | <ul style="list-style-type: none"> LANDSCAPE CONTRACTOR SHALL PROVIDE PROPER EROSION CONTROL MEASURES AS REQUIRED TO INSURE THAT EROSION IS KEPT TO AN ABSOLUTE MINIMUM, PROVIDE TEMPORARY COVERING FOR CATCH BASINS AND MAN HOLES UNTIL FINISHED GRADING IS COMPLETE, PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION, REFER TO WIDOT SPECS., #2211 AGGREGATE BASE AND #3886 SILT FENCE, CONTRACTOR SHALL CONSTRUCT DRAINAGE BASINS AS NEEDED, CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES PER NDPCA (NORTH DAKOTA POLLUTION CONTROL AGENCY) SPECS, WITHIN TWO WEEKS OF FINISHED SITE GRADING, DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOD OR ROCK BASE, CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF ACCUMULATED SILT IN FRONT OF SILT FENCES AND EXCESS SEDIMENT IN PROPOSED CATCH BASINS, FOR THE DURATION OF CONSTRUCTION, |
|--|---|

- REMOVE EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED.

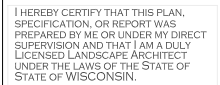
MECHANICAL

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REVISION RECORD	
Revision	Date
OWNER REVIEW	08/04,05/08
URBAN DESIGN COMM. (UDC) REVIEW	08/06/08
UDC REVIEW	08/11,18,20,29/08
UDC FINAL REVIEW	09/17/08

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PLANT SCHEDULE DETAILS & NOTES

SHEET
L201

Computed in accordance with IES recommendations

Statistics					
GROUP	MIN	MAX	AVE	AVE/MIN	MAX/MIN
(%)	0.00	26.77	3.77	N/A	N/A

Luminaires Used

TYPE	QTY	TEST#	DESCRIPTION
B0	19	-----	Bollard , Conc. Pour (1) BL <FN2-P10-DO>, LLF= 0.80;
F	3	AFL15-17	KIM LIGHTING, AFL15/175MHxxxxx, ARCHITECTURAL FLOODLIGHT LUMIN, DIE-CAST ALUM. HOUSING & LENS LAMPS: (1) , 14400 LUMENS, BLST. , LLF = 1.00 @2.00
OA	12	-----	Single Warp 9, 25' RTS, Conc. Pour (1) W <WP9L3/400PMH-ED28>, LLF= 1.00;
OB	2	-----	Double Warp 9, 25' RTS, Conc. Pour (2) W <WP9L3/400PMH-ED28>, LLF= 1.00;
OW	10	-----	Laradeo , Wall (1) WL <LMC-175H-CS>, LLF= 0.72;

