



City of Madison

Proposed Rezoning

Location
841 Jupiter Dr & 818 North Star Dr

Applicant
Fusion Apartments, LLC/
Uljan Kissiov

From: PD(GDP) To: Amended
PD(GDP-SIP)

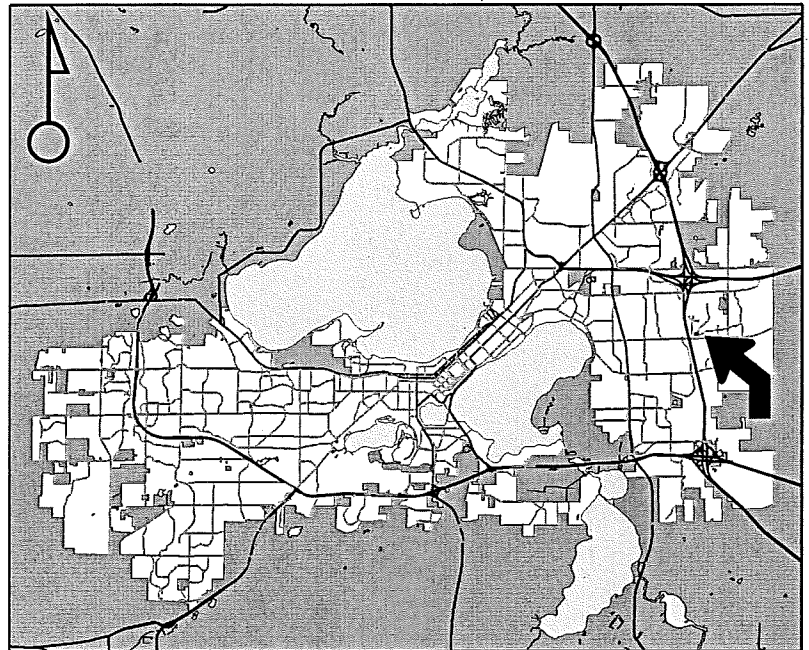
Existing Use
Vacant land

Proposed Use
Construct 54-unit apartment building

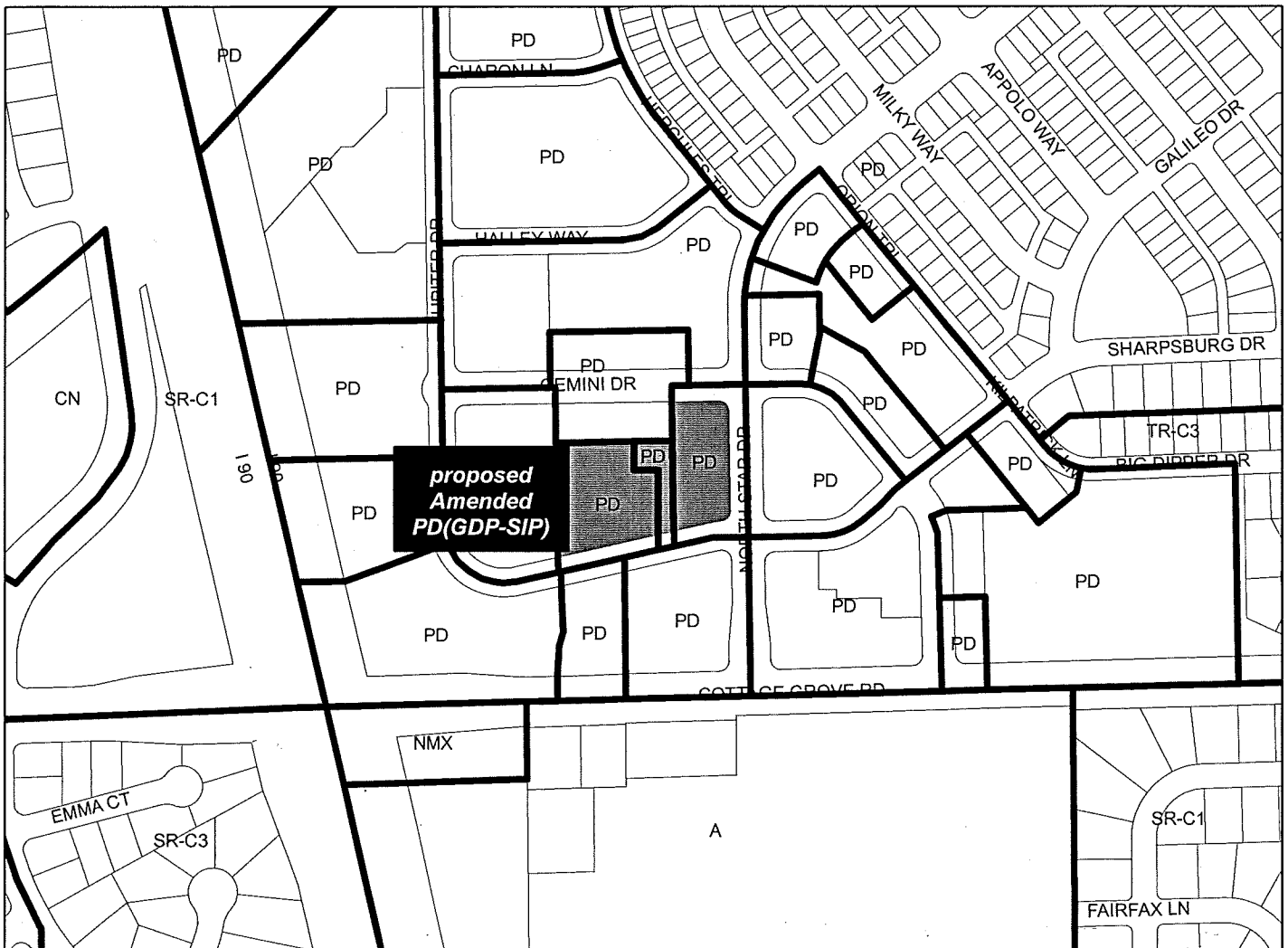
Public Hearing Date

Plan Commission
25 January 2016

Common Council
02 February 2016

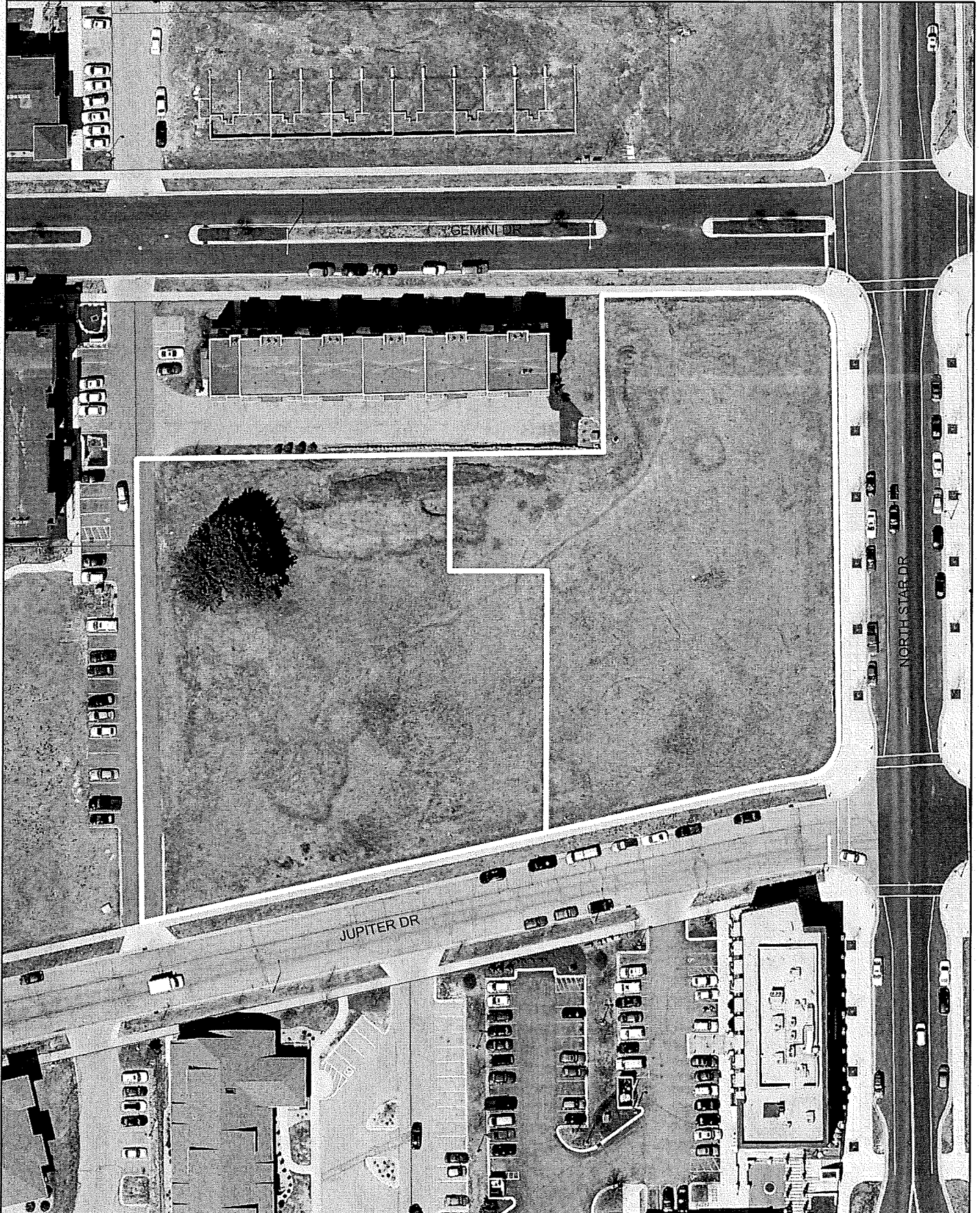


For Questions Contact: Kevin Firchow at: 267-1150 or kfirchow@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 15 January 2016





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:	
Amt. Paid _____	Receipt No. _____
Date Received _____	
Received By _____	
Parcel No. _____	
Aldermanic District _____	
Zoning District _____	
Special Requirements _____	
Review Required By:	
<input type="checkbox"/> Urban Design Commission	<input type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. **Project Address:** 841 JUPITER DRIVE & 818 NORTH STAR, MADISON, WI
Project Title (if any): FUSION APARTMENTS & THE VIEW

2. **This is an application for (Check all that apply to your Land Use Application):**

- Zoning Map Amendment from**
 - 1) GDP AMENDMENT FOR 841 JUPITER DR.
 - 2) NEW SIP FOR 841 JUPITER DR.
 - 3) REVISED SIP FOR 818 NORTH STAR
- Major Amendment to Approved PD-GDP Zoning** **Major Amendment to Approved PD-SIP Zoning**
- Review of Alteration to Planned Development (By Plan Commission)**
- Conditional Use, or Major Alteration to an Approved Conditional Use**
- Demolition Permit**
- Other Requests:** _____

3. **Applicant, Agent & Property Owner Information:**

Applicant Name: ULIAN KISSIOV **Company:** _____
Street Address: 476 PRESIDENTIAL LN **City/State:** MADISON, WI **Zip:** 53711
Telephone: (608) 320-3151 **Fax:** () **Email:** ukissiov@gmail.com

Project Contact Person: ULIAN KISSIOV **Company:** _____
Street Address: 476 PRESIDENTIAL LN **City/State:** MADISON, WI **Zip:** 53711
Telephone: (608) 320-3151 **Fax:** () **Email:** ukissiov@gmail.com

Property Owner (if not applicant): FUSION APARTMENTS, LLC & THE VIEW, LLC
Street Address: 10206 RUSTLING BIRCH RD **City/State:** VERONA, WI **Zip:** 53593

4. **Project Information:**

Provide a brief description of the project and all proposed uses of the site: 1)FUSION APTS. - 3 STORY, 54 UNIT APARTMENT BUILDING WITH UNDERGROUND PARKING GARAGE. 2)THE VIEW - 5 STORY EXISTING BUILDING
Development Schedule: Commencement MARCH, 2016 Completion NOVEMBER, 2016

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
Grading and Utility Plans (existing and proposed)
Landscape Plan (including planting schedule depicting species name and planting size)
Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- Seven (7) copies of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
Twenty Five (25) copies of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
One (1) copy of the plan set reduced to fit onto 8 1/2 X 11-inch paper

* For projects requiring review by the Urban Design Commission, provide Fourteen (14) additional 11x17 copies of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- Project Team, Existing Conditions, Project Schedule, Proposed Uses (and ft^2 of each), Hours of Operation, Building Square Footage, Number of Dwelling Units, Auto and Bike Parking Stalls, Lot Coverage & Usable Open Space Calculations, Value of Land, Estimated Project Cost, Number of Construction & Full-Time Equivalent Jobs Created, Public Subsidy Requested

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: City Treasurer.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices: Alder Hall - 9/10/15, MPNA - 9/10/15

-> If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Kevin Firchow Date: 9/10/15 Zoning Staff: Jenny Kirchgatter Date: 9/10/15

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant ULIAN KISSIOV Relationship to Property: ARCHITECT
Authorizing Signature of Property Owner [Signature] Date 12/08/2015

ULIAN KISSIOV - A R C H I T E C T

476 PRESIDENTIAL LANE, MADISON WI 53711

P. 608.320.3151 ukissiov@charter.net

December 08, 2015

Katherine Cornwell
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd
Madison, Wisconsin 53710-2985

Re: Letter of Intent for:

- 1) GDP Amendment for 841 Jupiter Dr. (Fusion Apartments)
- 2) New SIP for 841 Jupiter Dr. (Fusion Apartments)
- 3) Revised SIP for 818 North Star (The View)

Grandview Commons – Lot 441 & 442
Madison, Wisconsin

Dear Katherine,

The following is submitted together with the plans and Land Use Application for staff, UDC, Plan Commission and Common Council consideration of approval.

The project is located on the far east side of Madison, in lot 442 of Grandview Commons development, currently surrounded by apartment buildings to the east, south and west, and row houses to the north. The new site layout required property lines for lot 441 & 442 to be reconfigured as shown on the drawings.

Project Team:

Owner/Developer: FUSION APARTMENTS, LLC
10206 Rustling Birch Rd
Verona, WI 53593
Ph. 608-285-8680
Fax 608-255-3387
Contact: Dan Schmidt
dans@rentfmi.com

Architect: ULIAN KISSIOV
476 Presidential Ln
Madison, WI 53711
608-320-3151
ukissiov@gmail.com

Civil & Landscape Design: D'ONOFRIO KOTTKE & ASSOC., INC
7530 Westward Way
Madison, WI 53717
608-833-7530
Contact: Dan Day
dday@donofrio.cc

Project Description:

The proposed development lot 442 is 1.38 acres in size, zoned PD-SIP. The development consist of one 3 story multifamily apartment building with a total of 54 dwelling units (39.13 du/acre) and 49 car parking stalls in an underground parking garage. Fusion Apartments has been located north of the view corridor line between two newly built apartment buildings: The View to the East & Lions Gate 2 to the West with individual unit entrances with pedestrian connections to the surrounding streets and the surface parking area.

The use, mass, placement, and configuration are consistent with the adopted General Development Plan. Currently lot 442 is zoned for 38 units – the unit mix is not specified. We are requesting 54 units: 10 studios and 44 one bedrooms – a unit mix aiming to move toward a better balance and long term stabilization of the properties at Grandview Commons. For more details refer to the last two pages of this letter. A letter from the principal developer of Grandview Commons in support of this change is attached here as well.

The additional 16 units would not adversely impact any of the building/lot parameters like: building mass, footprint, floor/area ratio, number of parking stalls. They'll remain identical with a 3 story, 38 unit building with all 2BR apartments or any other combination of certain number of 2BR apartments + equal number of 1&3BR units (e.g. (20) 2BR + (9) 1BR + (9) 3BR).

Fusion Apartments and The View will be managed as one property with shared amenities.

Exterior building materials comprise of utility brick veneer and composite wood panels & lap siding. The building has been designed to transition in massing and architectural image from the adjoining three story apartment building to the west to the five story apartment building to the east.

Legal Description:

LOTS 441 AND 442 GRANDVIEW COMMONS.
RECORDED IN VOLUME 58-005A OF PLATS ON
PAGES 19-33 AS DOCUMENT NUMBER 3583911,
DANE COUNTY REGISTRY, LOCATED IN THE SE1/4
OF THE NW1/4 OF SECTION 11, T7N, R10E, CITY OF
MADISON, DANE COUNTY, WISCONSIN.
CONTAINING 113,125 SQUARE FEET (2.60 ACRES).

Development Data:

Site Data:

Lot Area	60,050 SF
Impervious area	34,560 SF
Lot Area/D.U.	1112.04 SF/unit
Density	39.13 units/acre
Lot Coverage	57.3%
Usable Open Space	21,106 S.F.S

Vehicle Parking:

Surface Parking Stalls	32
Underground Parking Stalls	49
<u>Accessible Parking Stalls</u>	<u>(2)</u>
Total Parking Stalls	81

Bicycle Parking:

Surface Bicycle Stalls	6
<u>Garage Bicycle Stalls</u>	<u>53</u>
Total Bicycle Stalls	59

Building Area: S.F.

Basement	17,157
First Floor	16,632
Second Floor	16,714
<u>Third Floor</u>	<u>16,714</u>
Total	67,217

Building Height: Three Stories (~ 41.33' A.E.G.)

Dwelling Unit Mix:

Studio	10
<u>One Bedroom</u>	<u>44</u>
Total	54

Construction Schedule:

It is anticipated that the new construction phase will commence 03/01/2014 and be completed 11/30/2016.

Thank you for your time and consideration of our project.

Sincerely,



Ulian Kissiov, ARCHITECT



**VERIDIAN
HOMES**

November 24, 2015

To Whom It May Concern:

This letter is in reference to 841 Jupiter Drive and the proposed 'Fusion Apartments' project. The total units proposed for this project has been increased from the original allocation in the General Development Plan. We have been asked to verify our support of this change.

As Developer and Declarant of Grandview Commons we are aware that the total unit count proposed for this project is 54 units. We are in support of this change.

Thank you,

David Simon
President of Operations

**Grandview Commons Neighborhood Unit Mix Breakdown as it
 Relates to the Addition of the Proposed *Fusion Apartment
 Community***

Please see the current neighborhood unit mix as shown below in *Exhibit A*. We feel market equilibrium is about 65/35 - meaning it is comprised of 65% smaller units from studios to one bedrooms, and 35% larger units of two bedrooms. The proposed unit mix for Fusion helps to move toward a better balance for what we determine to be good for long term stabilization of the properties and neighborhood as a whole (shown in *Exhibit B*). The current market demand is also emphasizing smaller units as millennials emerge into the rental market. Additionally, Fusion and The View properties will be sister properties. They will share amenities slotted for both buildings, such as fitness room and community room, so we can provide better opportunities and experiences for our residents. As you can see in *Exhibit C* and *Exhibit D*, they will be two different properties by entity but we will manage them as basically one property, and the unit sizes we are creating at Fusion make the two properties a perfect match for one another and gets us to our desired market equilibrium split of about 65/35.

Exhibit A: Current Neighborhood Unit Mix

Style	Unit Counts	Unit Mix Percentage
Studio	56	13.00%
One Bedroom	180	41.76%
Two Bedroom	195	45.24%
TOTALS	431	100.00%

Exhibit B: Future Neighborhood Unit Mix with Fusion Apartments

Style	Unit Counts	Unit Mix Percentage
Studio	65	13.40%
One Bedroom	225	46.39%
Two Bedroom	195	40.21%
TOTALS	485	100.00%

The View and Fusion Apartments Combined

Exhibit C: Unit Mix of The View Apartments

Style	Unit Counts	Unit Mix Percentage
Studio	0	0.00%
One Bedroom	36	43.90%
Two Bedroom	46	56.10%
TOTALS	82	100.00%

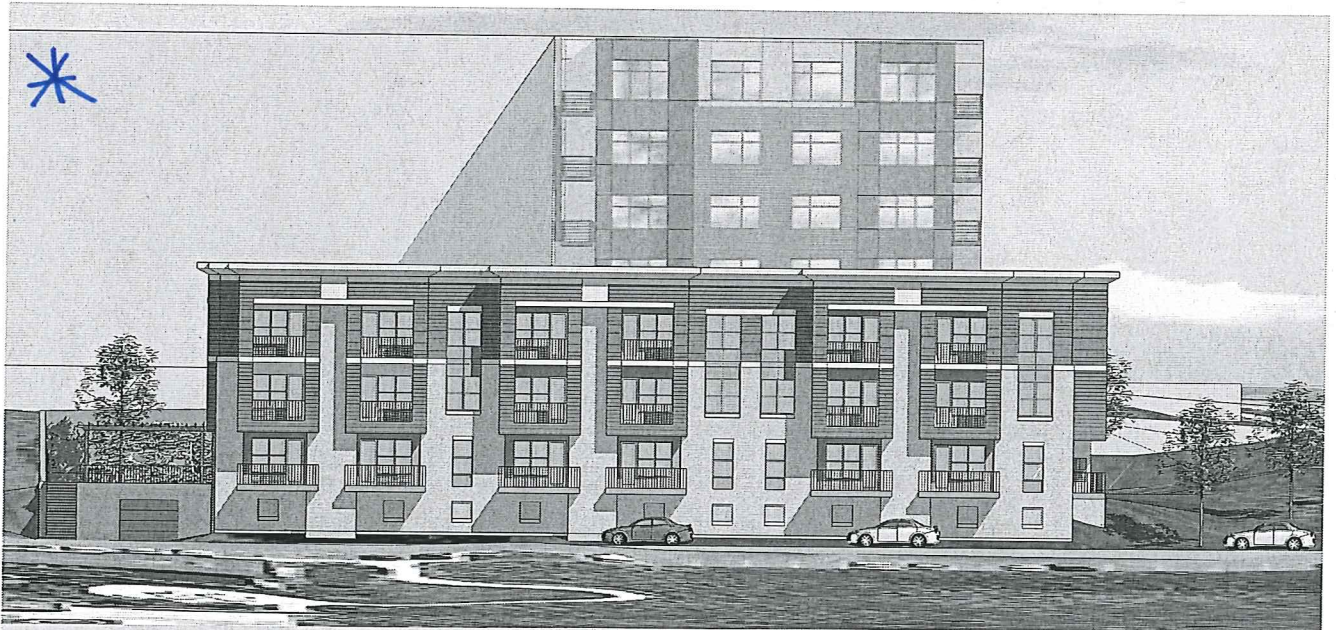
Exhibit D: Unit Mix of Both The View and Fusion Apartments Combined

Style	Unit Counts	Unit Mix Percentage
Studio	9	6.62%
One Bedroom	81	59.56%
Two Bedroom	46	33.82%
TOTALS	136	100.00%

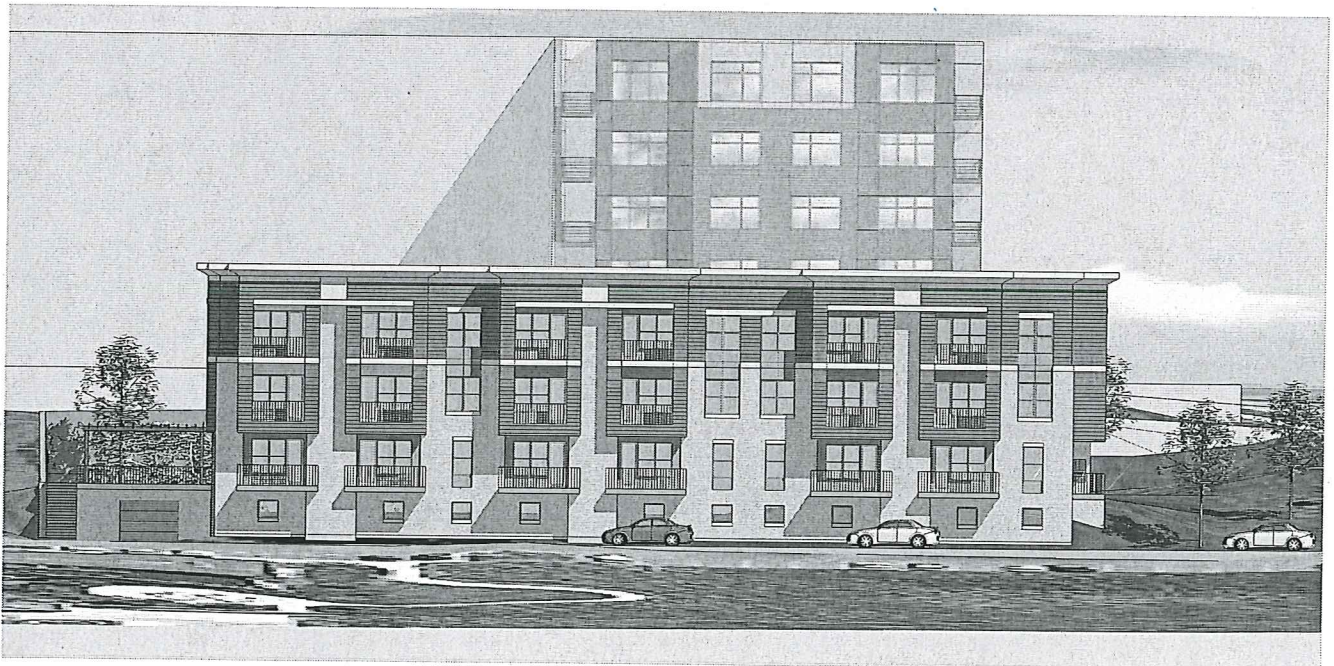
APPLICANT'S WEST
WALL ARTICULATION
OPTIONS

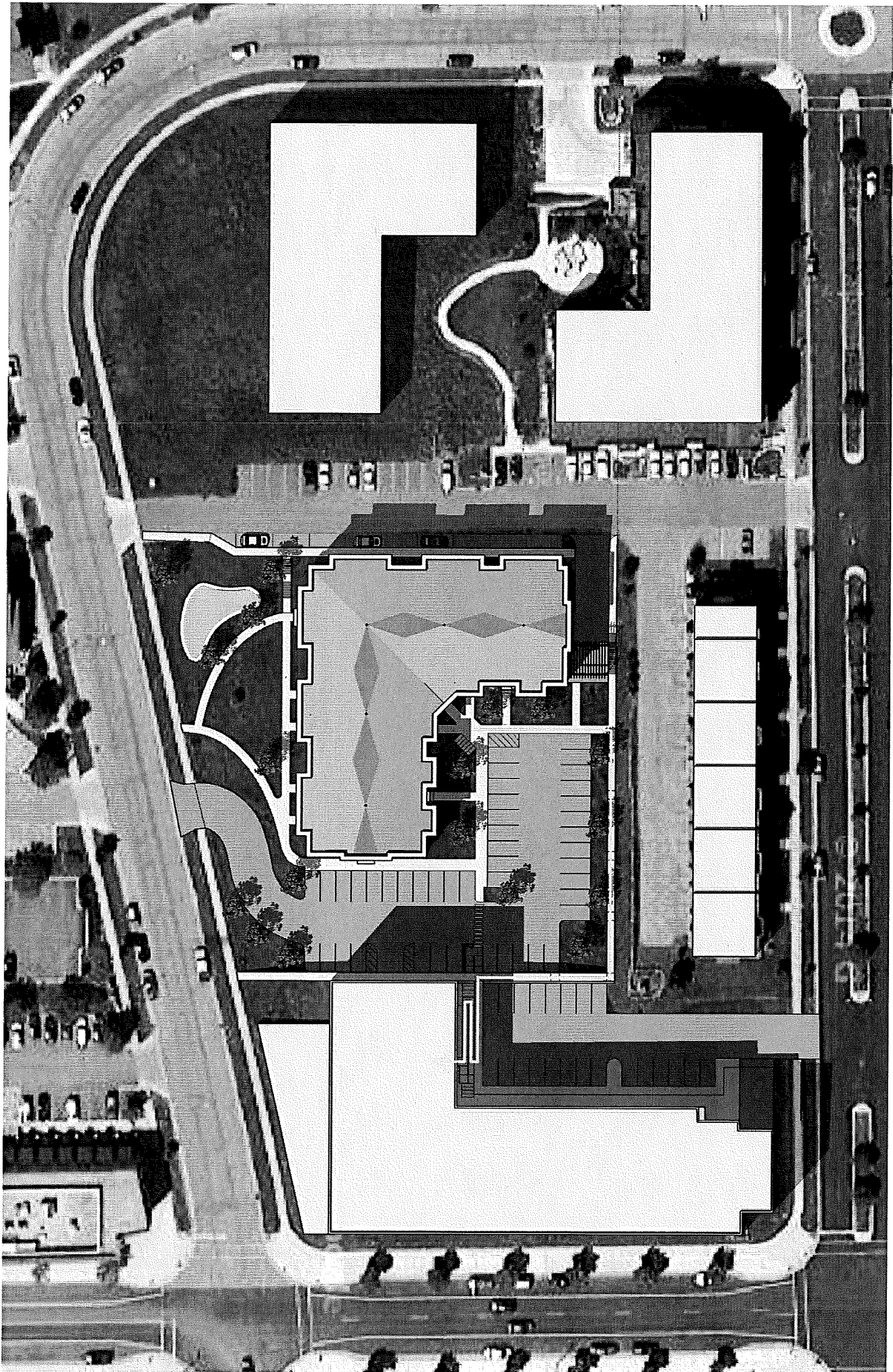


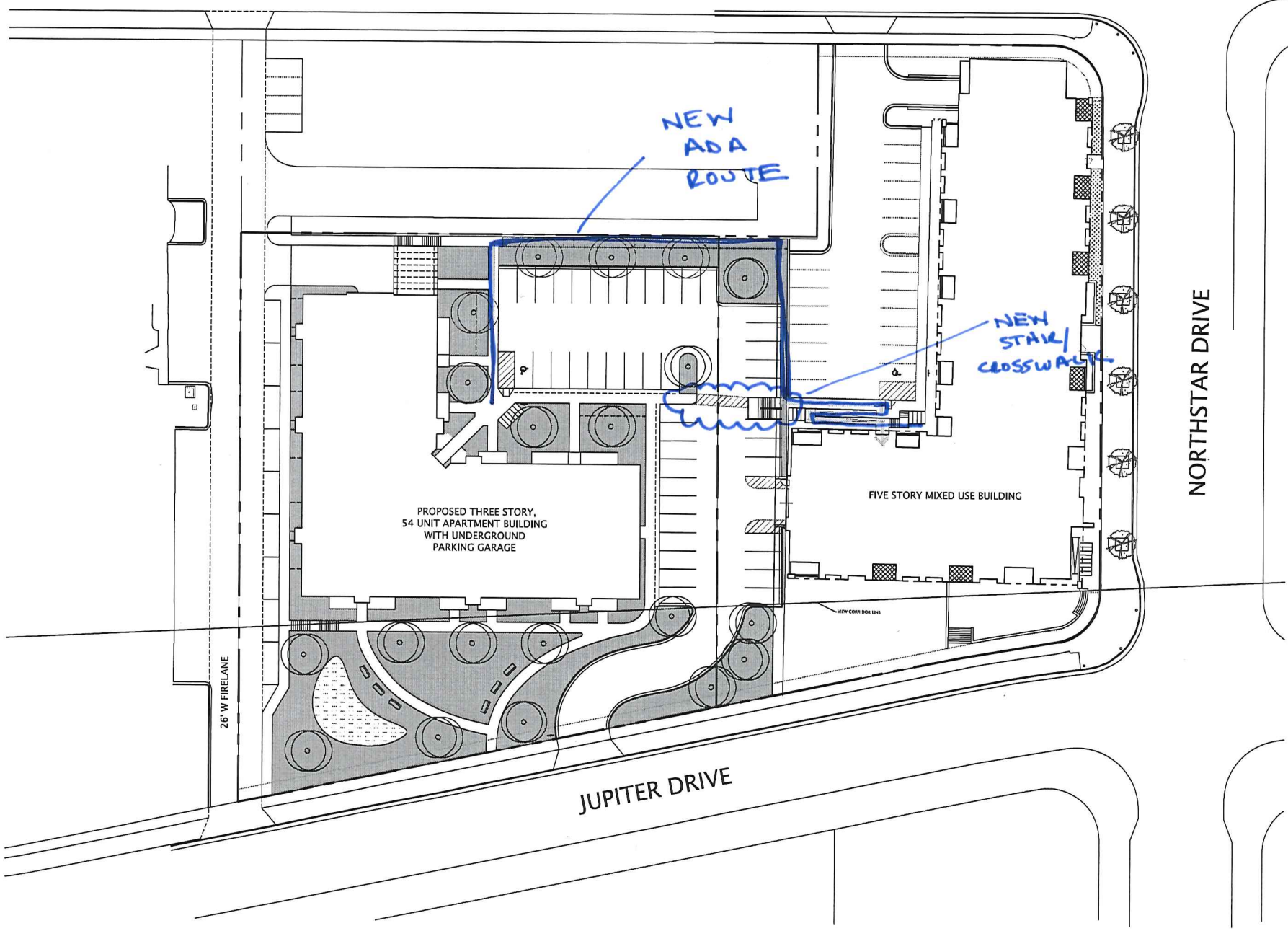
PROPOSED (IN PACKET)



RECOMMENDED BY UDC







NEW
ADA
ROUTE

NEW
STAIR/
CROSSWALK

PROPOSED THREE STORY,
54 UNIT APARTMENT BUILDING
WITH UNDERGROUND
PARKING GARAGE

FIVE STORY MIXED USE BUILDING

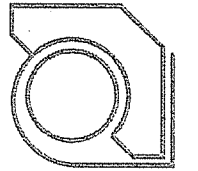
26' W FIRELANE

JUPITER DRIVE

NORTHSTAR DRIVE

VIEW CORRIDOR LINE





PROJECT:

FUSION APARTMENTS

841 JUPITER DRIVE, GRANDVIEW COMMONS, MADISON, WI

OWNER:

FUSION APARTMENTS, LLC

6417 ODANA RD
MADISON, WISCONSIN 53719
CONTACT: DAN SCHMIDT
PHONE: 608-285-8680
FAX: 608-255-3387
email: dans@rentfmi.com

ARCHITECT:

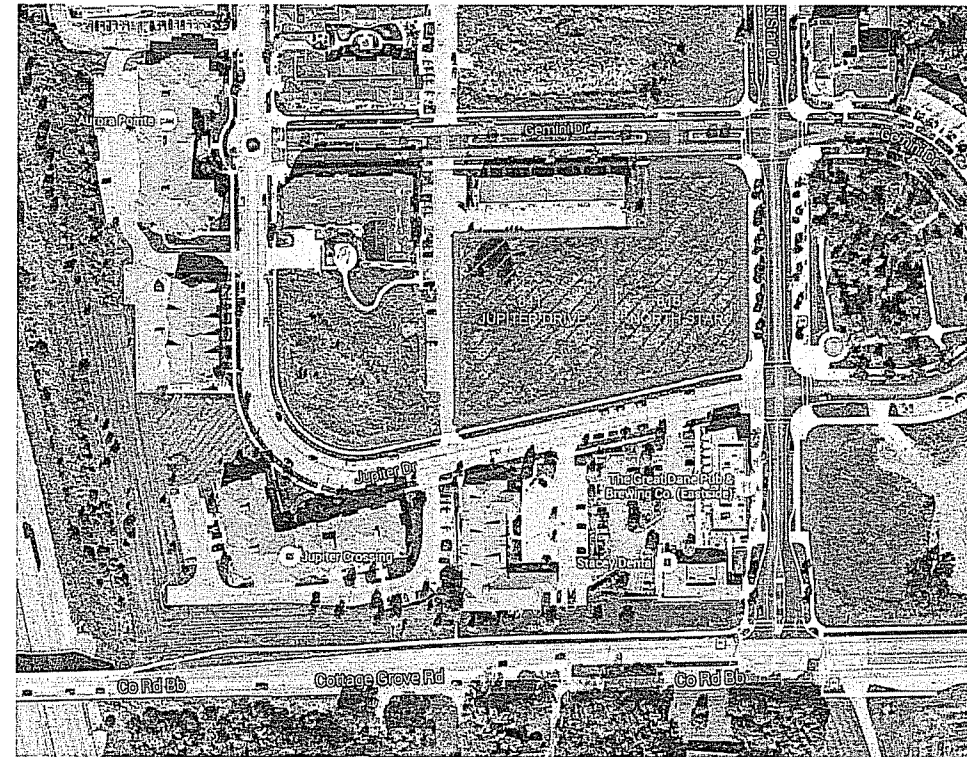
ULIAN KISSIOV

476 PRESIDENTIAL LANE
MADISON, WISCONSIN 53711
PHONE: 608-320-3151
email: ukissiov@charter.net

CIVIL ENGINEER, SURVEYOR, LANDSCAPE ARCHITECT:

D'ONOFRIO KOTTKE & ASSOC., INC.

7530 WESTWARD WAY
MADISON, WISCONSIN 53717
CONTACT: DAN DAY
PHONE: 608-833-7530
email: dday@donofrio.cc



LOCATION MAP
NO SCALE



SHEET INDEX

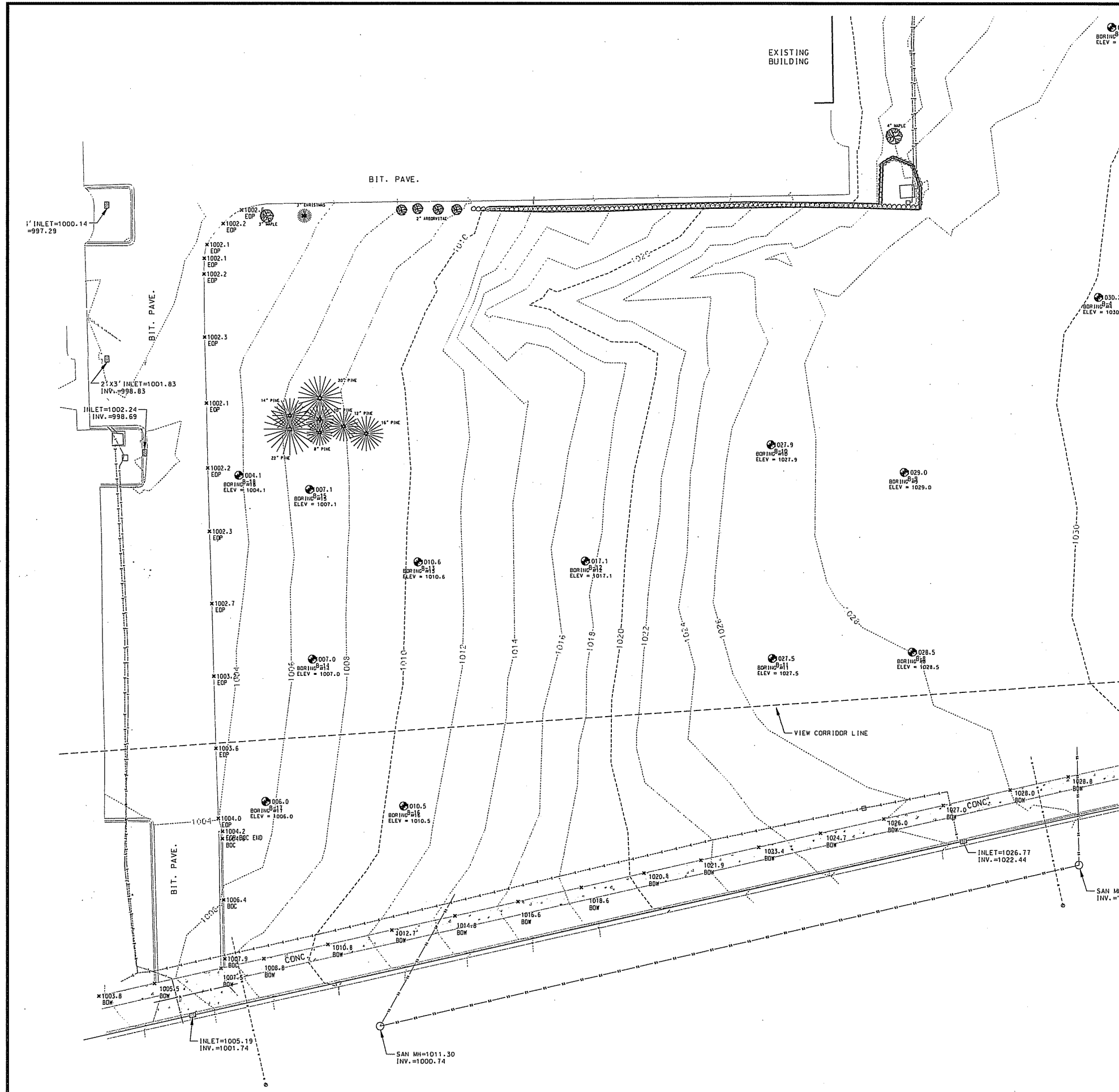
- T TITLE SHEET
- C-100 EXISTING CONDITIONS
- C-101 OVERALL SITE PLAN (FUSION APTS+THE VIEW)
- C-102 SITE PLAN (FUSION APTS)
- C-103 GRADING PLAN & EROSION CONTROL PLAN
- C-104 UTILITY PLAN
- C-105 DETAILS
- C-106 FIRE ACCESS PLAN
- L-100 LANDSCAPE PLAN
- 1 OF 1 LIGHTING PLAN
- A-0 PARKING GARAGE PLAN
- A-1 FIRST FLOOR PLAN
- A-2 SECOND/THIRD FLOOR PLAN
- A-3 EXTERIOR ELEVATIONS
- A-4 EXTERIOR ELEVATIONS
- A-6 TRELLIS DETAILS

BUILDING AREA: 841 JUPITER DR.

FLOOR	SQ.F.
BASEMENT	17,157
FIRST FLOOR	16,632
SECOND FLOOR	16,714
THIRD FLOOR	16,714
TOTAL	67,217

OCTOBER 21, 2015
REV. DEC. 08, 2015

T



LEGEND

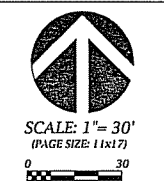
	UNDERGROUND ELECTRIC
	SANITARY SEWER
	WATER MAIN
	GAS MAIN
	UNDERGROUND TELECOMMUNICATION LINE
	ELECTRIC TRANSFORMER
	TELEPHONE PEDESTAL
	MANHOLE
	CATCH BASIN/INLET
	LIGHT POLE
	VALVE
	TREE
	BOULDER RETAINING WALL
	CONC. CURB
	EXIST. CONTOUR
	FOUND 3/4" RDW REBAR
	FOUND 1 1/4" RDW REBAR

D'ONOFRI KOTTKE AND ASSOCIATES, INC.
 7530 Westward Way, Madison, WI 53717
 Phone: 608.833.7550 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

EXISTING CONDITIONS

FUSION APARTMENTS & THE VIEW

CITY OF MADISON, DANE COUNTY, WI

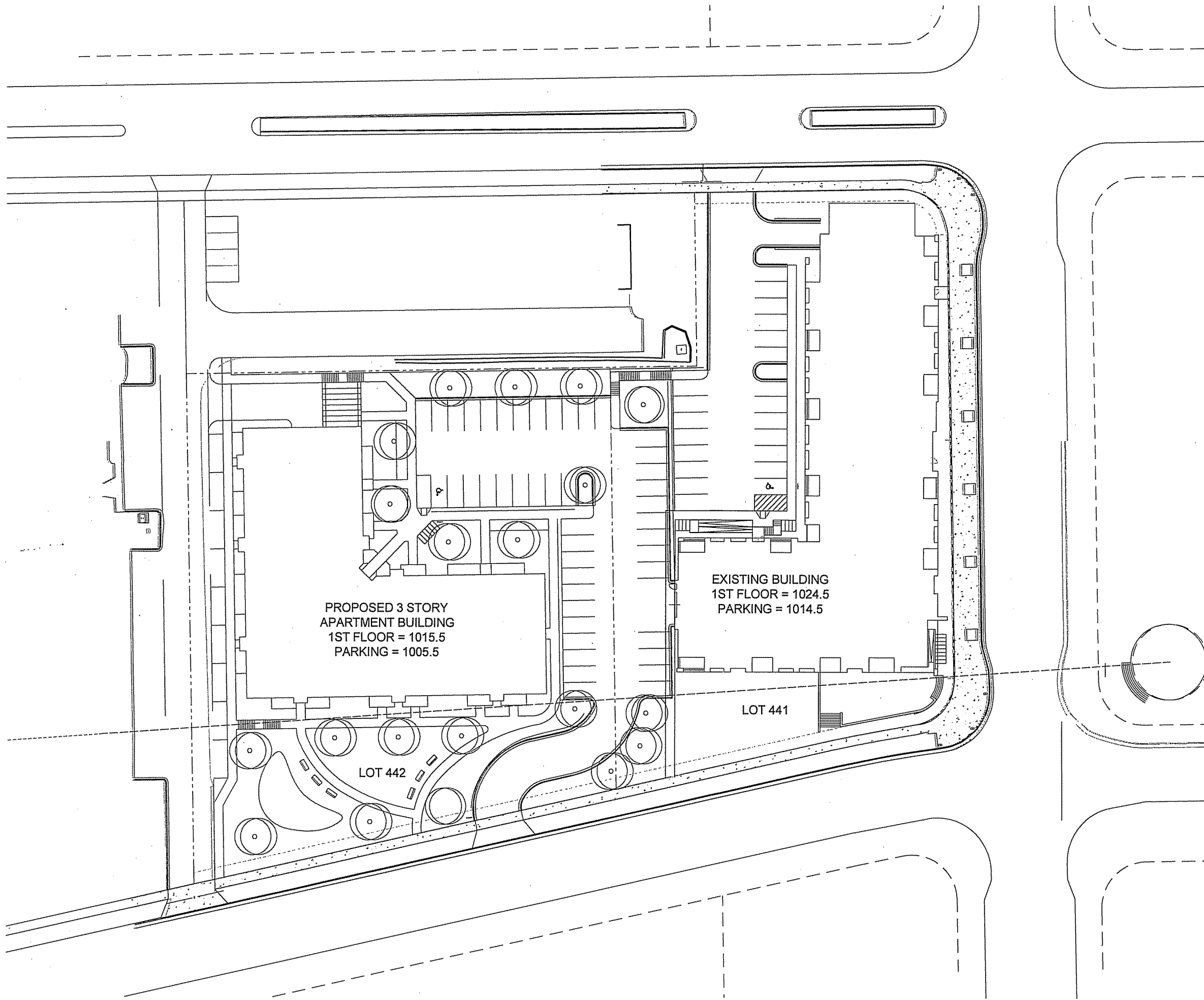


DATE: 11-30-15
 REVISED: 12-08-15

DRAWN BY: KWB

FN: 15-03-104

Sheet Number:
C-100



LEGEND

- PROPERTY LINE
- ==== 18" CONCRETE CURB & GUTTER
- PROPOSED BUILDING
- ▬ PROPOSED RETAINING WALL

GENERAL NOTES

1. ALL SITE WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY
4. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION
6. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED
7. PARCELS SUBJECT TO JOINT DRIVEWAY, PEDESTRIAN ACCESS, AND CROSS PARKING AGREEMENT.
8. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION

PROPOSED 3 STORY
APARTMENT BUILDING
1ST FLOOR = 1015.5
PARKING = 1005.5

EXISTING BUILDING
1ST FLOOR = 1024.5
PARKING = 1014.5

LOT 441

LOT 442

SITE PLAN INFORMATION BLOCK - FUSION BUILDING LOT 442	
PROJECT AREA	60,050 SF
BUILDING AREA	17,157 SF
TOTAL IMPERVIOUS	34,415 SF
NUMBER OF PROPOSED SURFACE PARKING STALLS	32
NUMBER OF PROPOSED UNDERGROUND PARKING STALLS	49
NUMBER OF ACCESSIBLE STALLS	2
TOTAL NUMBER OF STALLS	81
NUMBER OF SURFACE BICYCLE STALLS	6
NUMBER OF UNDERGROUND BICYCLE STALLS	53
TOTAL NUMBER OF BICYCLE STALLS	59
LOT COVERAGE	57.3%
USABLE OPEN SPACE	21,106 SF

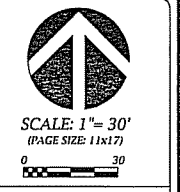
SITE PLAN INFORMATION BLOCK - THE VIEW BUILDING LOT 441	
PROJECT AREA	53,075 SF
BUILDING AREA	23,500 SF
TOTAL IMPERVIOUS	43,450 SF
NUMBER OF PROPOSED SURFACE PARKING STALLS	34
NUMBER OF PROPOSED UNDERGROUND PARKING STALLS	104
NUMBER OF ACCESSIBLE STALLS	3
TOTAL NUMBER OF STALLS	138
NUMBER OF SURFACE BICYCLE STALLS	16
NUMBER OF UNDERGROUND BICYCLE STALLS	120
TOTAL NUMBER OF BICYCLE STALLS	136
LOT COVERAGE	81.2%
USABLE OPEN SPACE	10,250 SF

LEGAL DESCRIPTION

LOTS 441 AND 442 GRANDVIEW COMMONS. RECORDED IN VOLUME 58-005A OF PLATS ON PAGES 19-33 AS DOCUMENT NUMBER 3583911, DANE COUNTY REGISTRY, LOCATED IN THE SE 1/4 OF THE NW 1/4 OF SECTION 11, T7N, R10E, CITY OF MADISON, DANE COUNTY, WISCONSIN, CONTAINING 113,125 SQUARE FEET (2.60 ACRES).

D'ONOFRIO KOTTHE AND ASSOCIATES, INC.
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YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

OVERALL SITE PLAN
FUSION APARTMENTS & THE VIEW
CITY OF MADISON, DANE COUNTY, WI



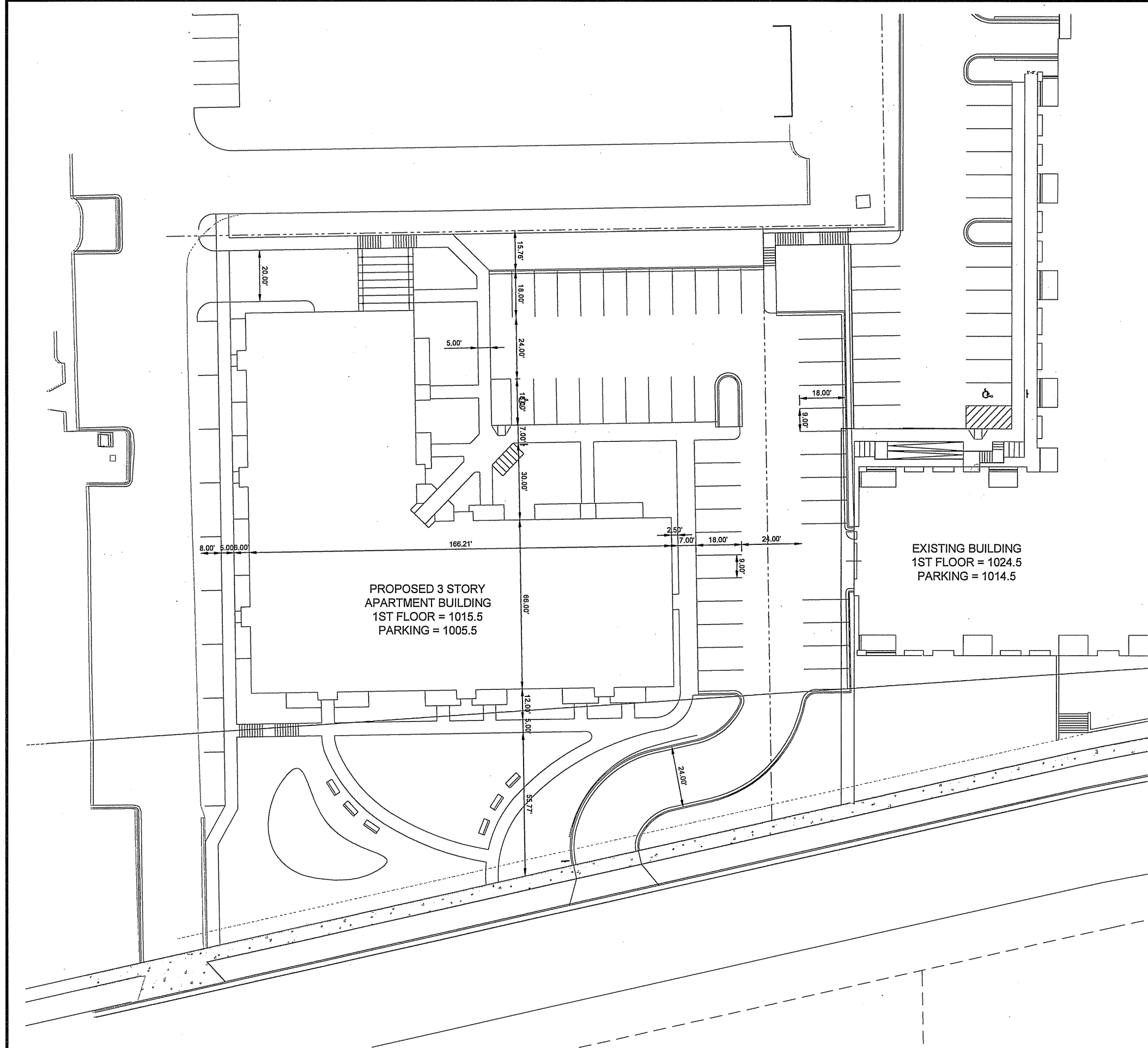
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Sheet Number:
C-101



LEGEND

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- ==== 18" CONCRETE CURB & GUTTER
- PROPOSED BUILDING
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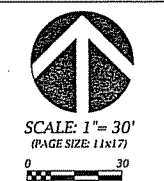
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SITE PLAN
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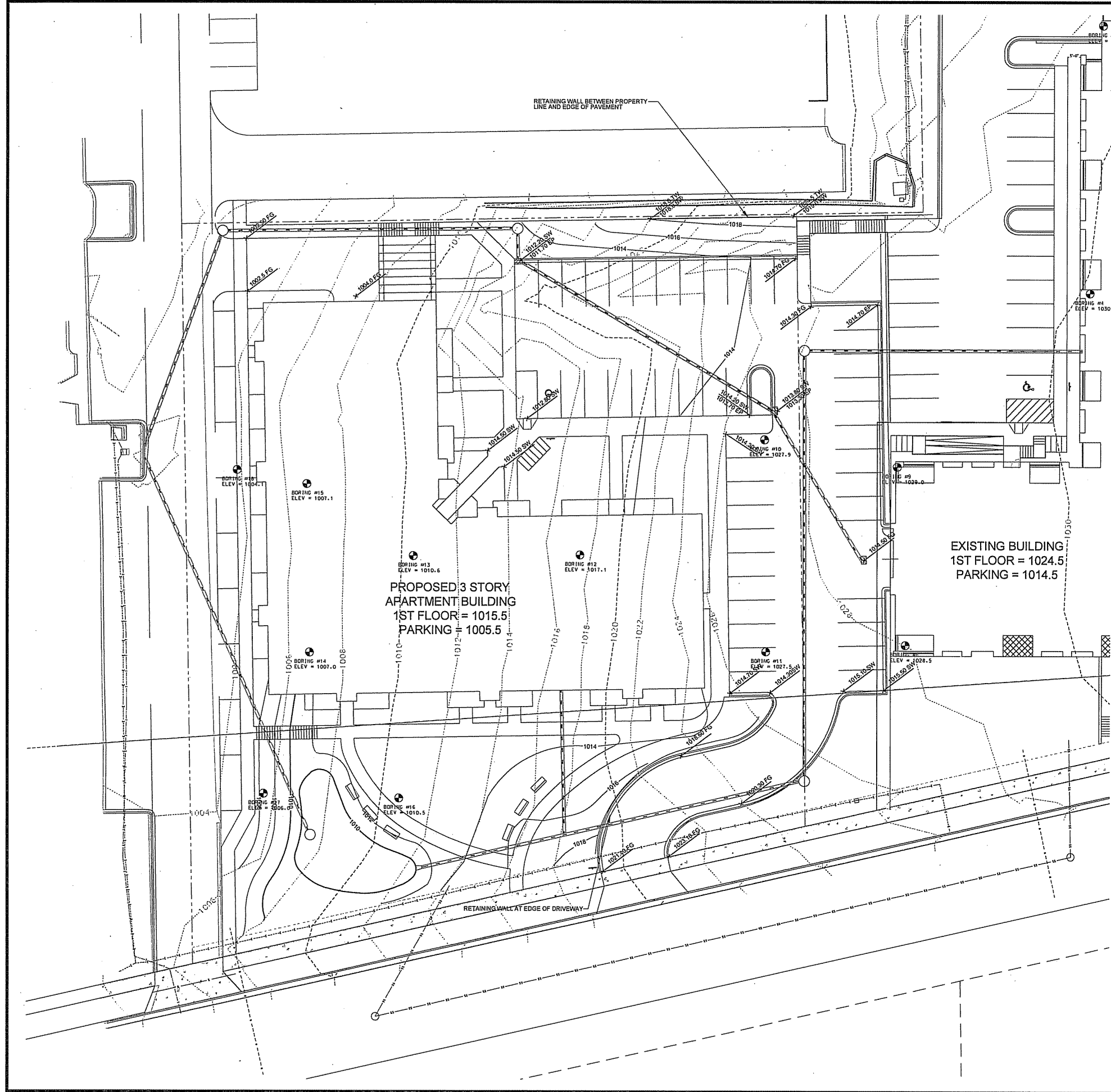


DATE: 11-30-15
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FN: 15-03-104

Sheet Number:
C-102



LEGEND

- PROPOSED CONTOUR
- EXISTING CONTOUR
- FLOW ARROW
- SPOT ELEVATION
EP - EDGE OF PAVEMENT
FFE - FINISHED FLOOR ELEVATION
TC - TOP OF CURB
TW - TOP OF WALL (GROUND ELEVATION)
BW - BOTTOM OF WALL (GROUND ELEVATION)
HP - HIGHPOINT
- SILT FENCE/SILT SOCK
- PROPOSED RETAINING WALL

GRADING AND EROSION CONTROL NOTES:

1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DNR TECHNICAL STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
3. EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS. IF DETERMINED NECESSARY DURING CONSTRUCTION THE COUNTY OR TOWN WILL REQUIRE ADDITIONAL MEASURES TO BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
4. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
5. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
6. NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE
7. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER
8. INSTALL INLET PROTECTION IN ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS
9. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1
10. SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING.
11. ALL INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT PUBLIC THOROUGHFARES SHALL BE CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
12. ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 DAYS SHALL BE STABILIZED WITH TEMPORARY STABILIZATION METHODS SUCH AS TEMPORARY SEEDING, SOIL TREATMENT, EROSION MATTING, OR MULCH
13. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
14. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
15. AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL FERTILIZER, SEED AND MULCH. SEE MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1000 SQFT ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 1 1/2 POUNDS PER 1000 SQFT SHALL BE ADDED TO THE MIXTURE. FERTILIZER SHALL BE PLACED PER A SOIL TEST. SEE LANDSCAPE PLAN FOR A MORE DETAILED PLANTING PLAN AND LANDSCAPE DETAILS.
16. DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDNR STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.

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GRADING PLAN
FUSION APARTMENTS & THE VIEW

CITY OF MADISON, DANE COUNTY, WI



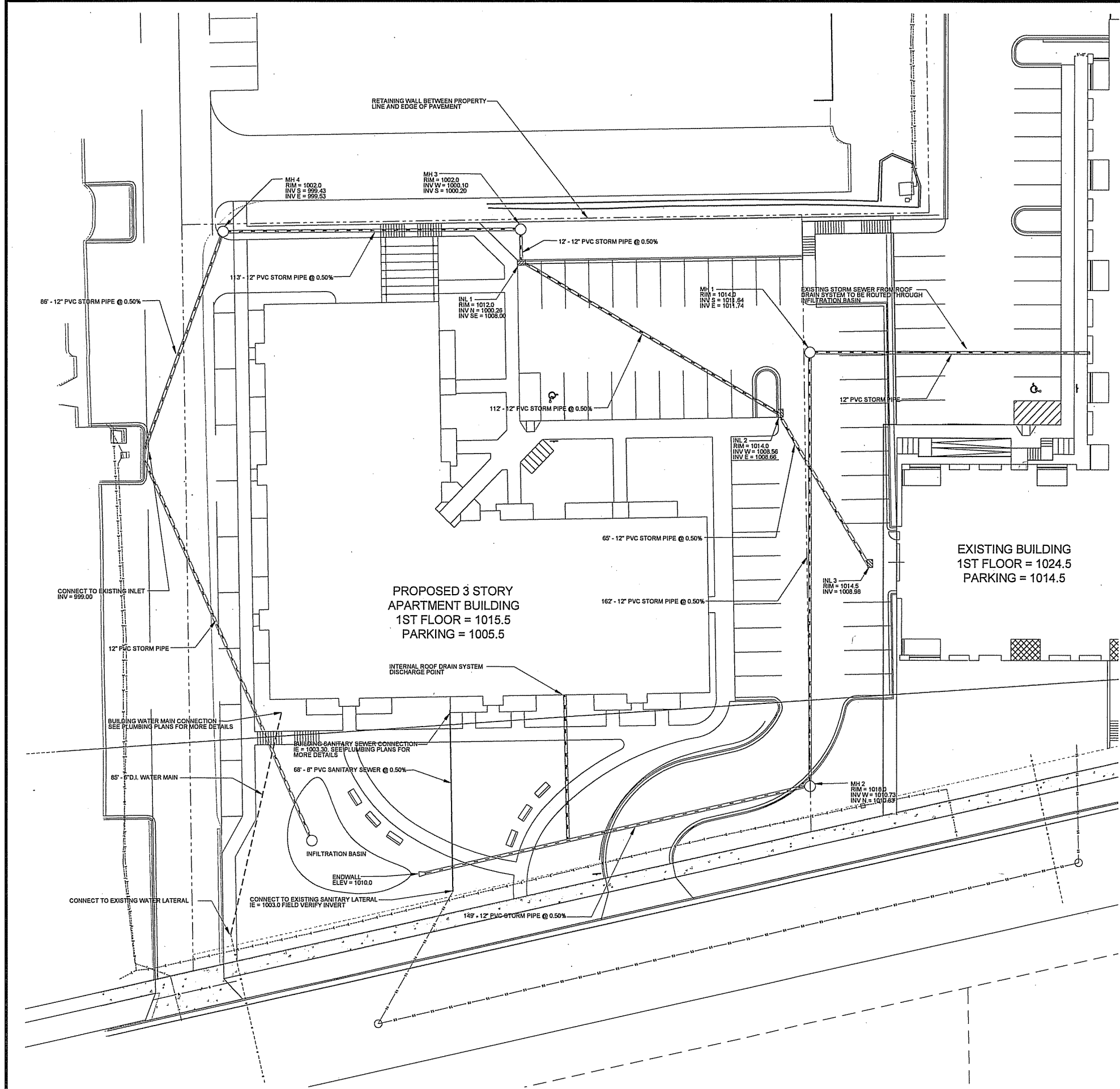
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C-103



LEGEND

- PROPERTY LINE
- ===== 18" CONCRETE CURB & GUTTER
- PROPOSED BUILDING
- ===== PROPOSED RETAINING WALL
- PROPOSED STORM SEWER

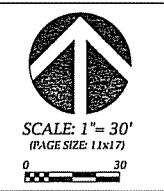
SITE UTILITY NOTES

1. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. PROTECTION OF EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY.
2. ALL SITE UTILITY WORK SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
3. CONTRACTOR TO COORDINATE ELECTRIC, GAS, PHONE & CABLE INSTALLATION WITH THE RESPECTIVE UTILITY COMPANIES.
4. UTILITY CONTRACTOR SHALL VERIFY EXISTING UNDERGROUND UTILITY GRADES AND NOTIFY THE PROJECT SUPERINTENDENT IF A CONFLICT ARISES WITH THE INSTALLATION OF NEW UTILITIES.
5. ALL 2X3 INLETS TO BE 2' X 3' INLET BOXES WITH NEENAH R-3067 COMBINATION INLET FRAME, GRATE, CURB BOX WITH TYPE C LID
6. ALL STORM MANHOLES TO BE 48" DIAMETER MANHOLE WITH NEENAH R-2501 INLET FRAME, GRATE WITH TYPE G LID UNLESS NOTED AS SOLID LID ON PLAN
7. ALL ROOF DRAIN STORM PIPES TO BE 6" PVC @ 1.0% AND ROOF DRAIN SYSTEM INLETS TO BE PVC FIELD DRAIN / CLEANOUTS.

UTILITY PLAN

FUSION APARTMENTS & THE VIEW

CITY OF MADISON, DANE COUNTY, WI

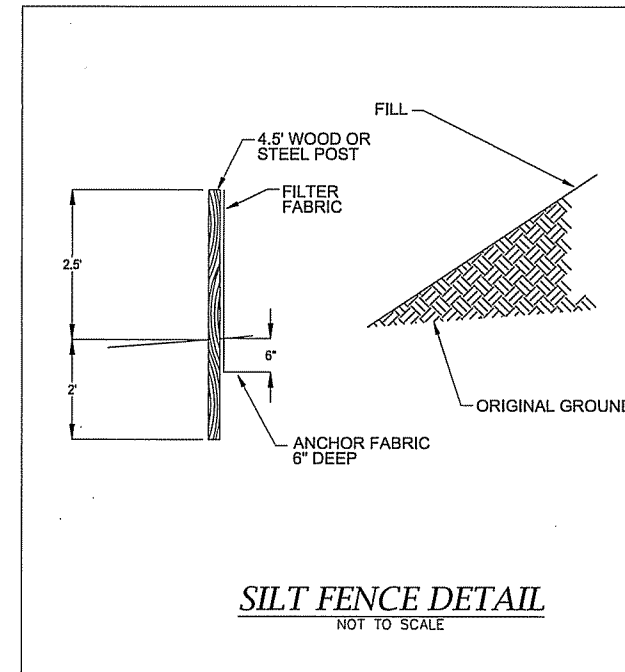
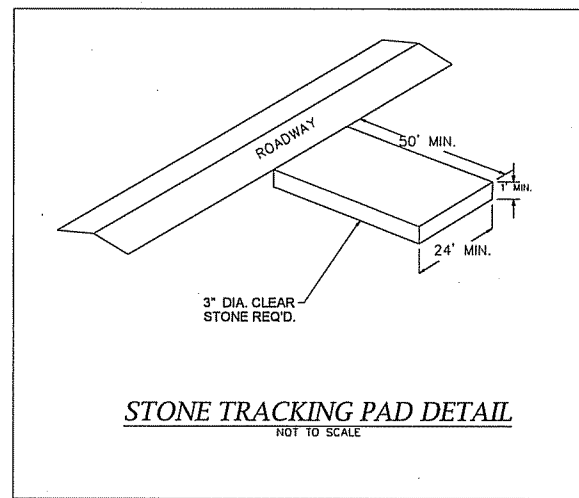
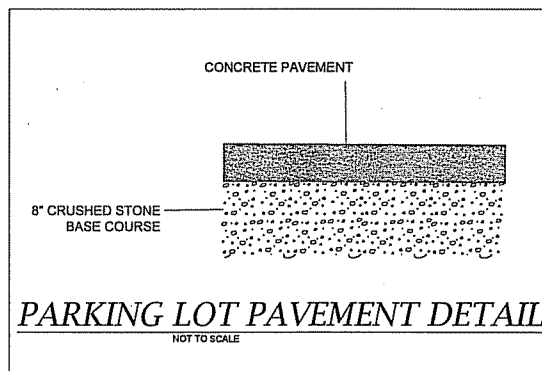
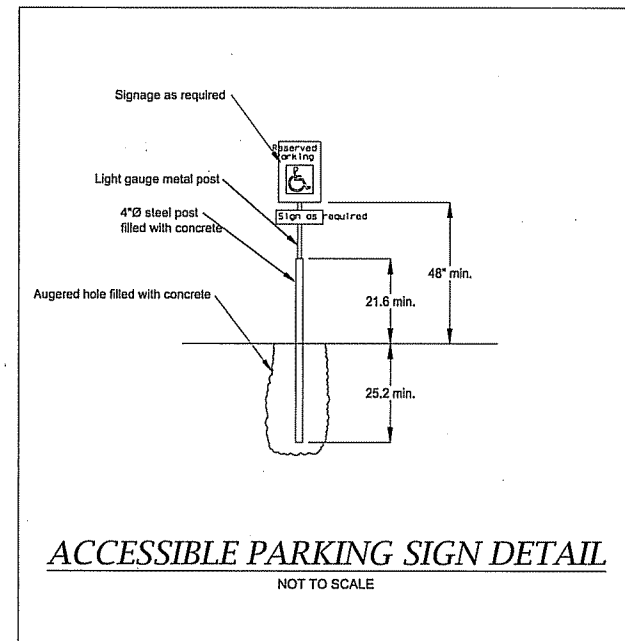
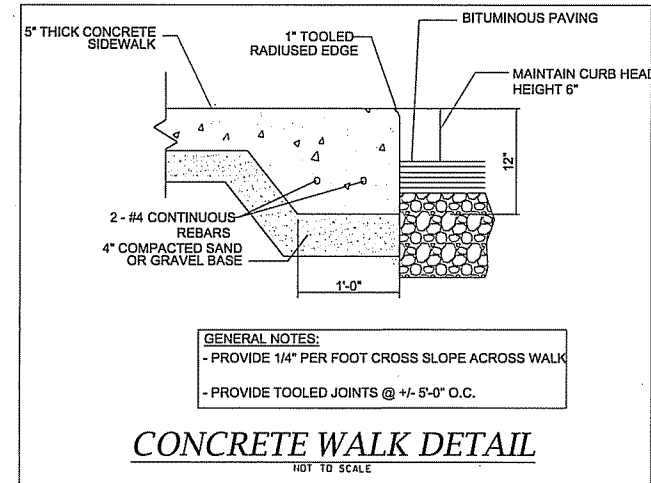
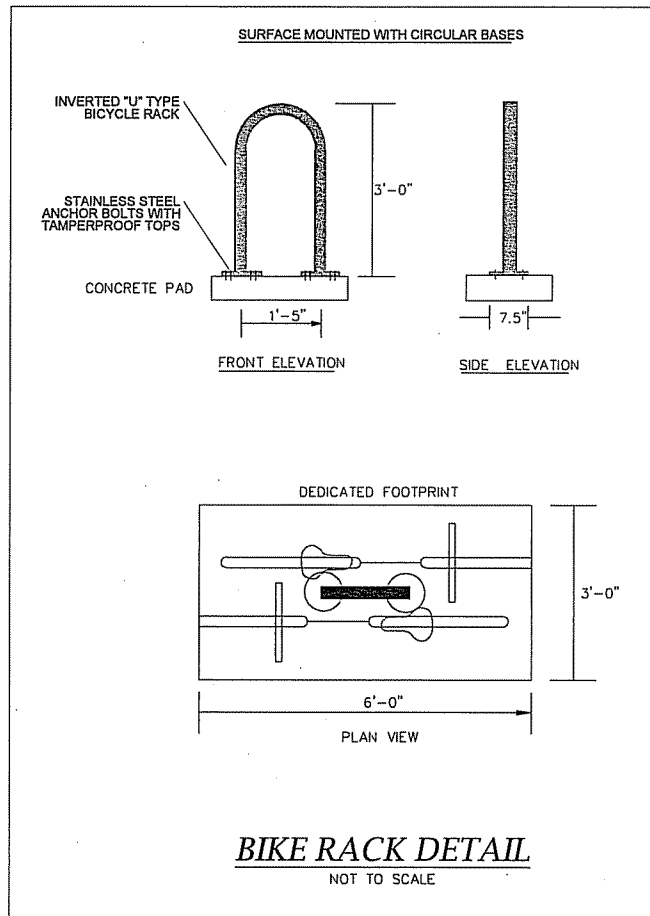
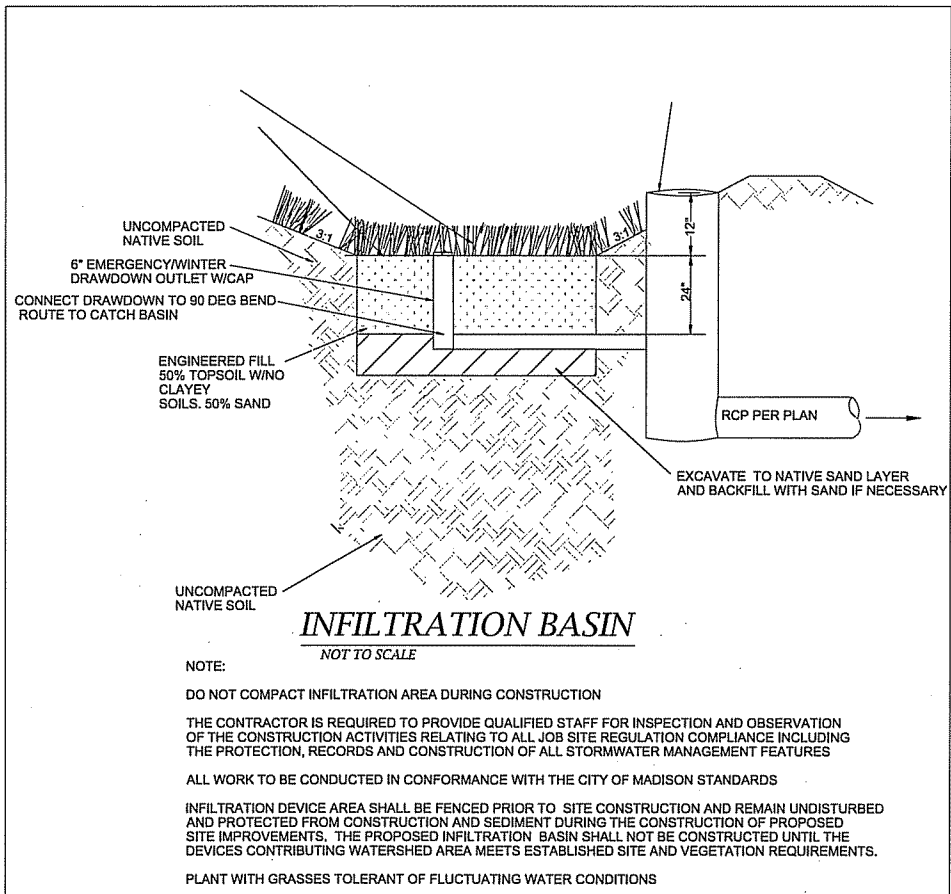


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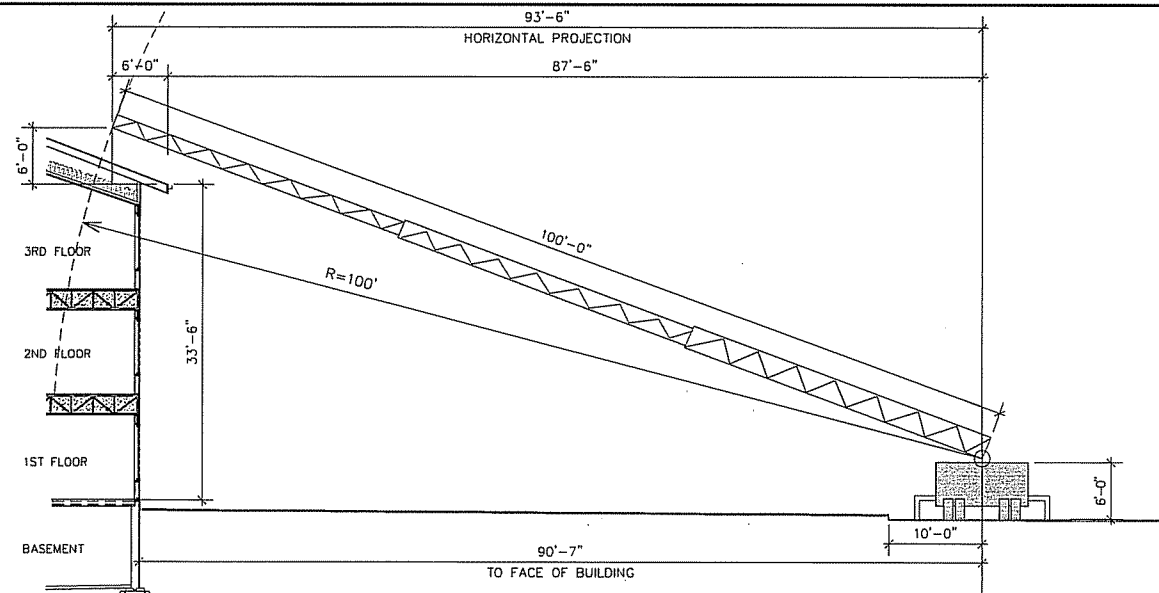
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DETAILS
FUSION APARTMENTS & THE VIEW
 CITY OF MADISON, DANE COUNTY, WI

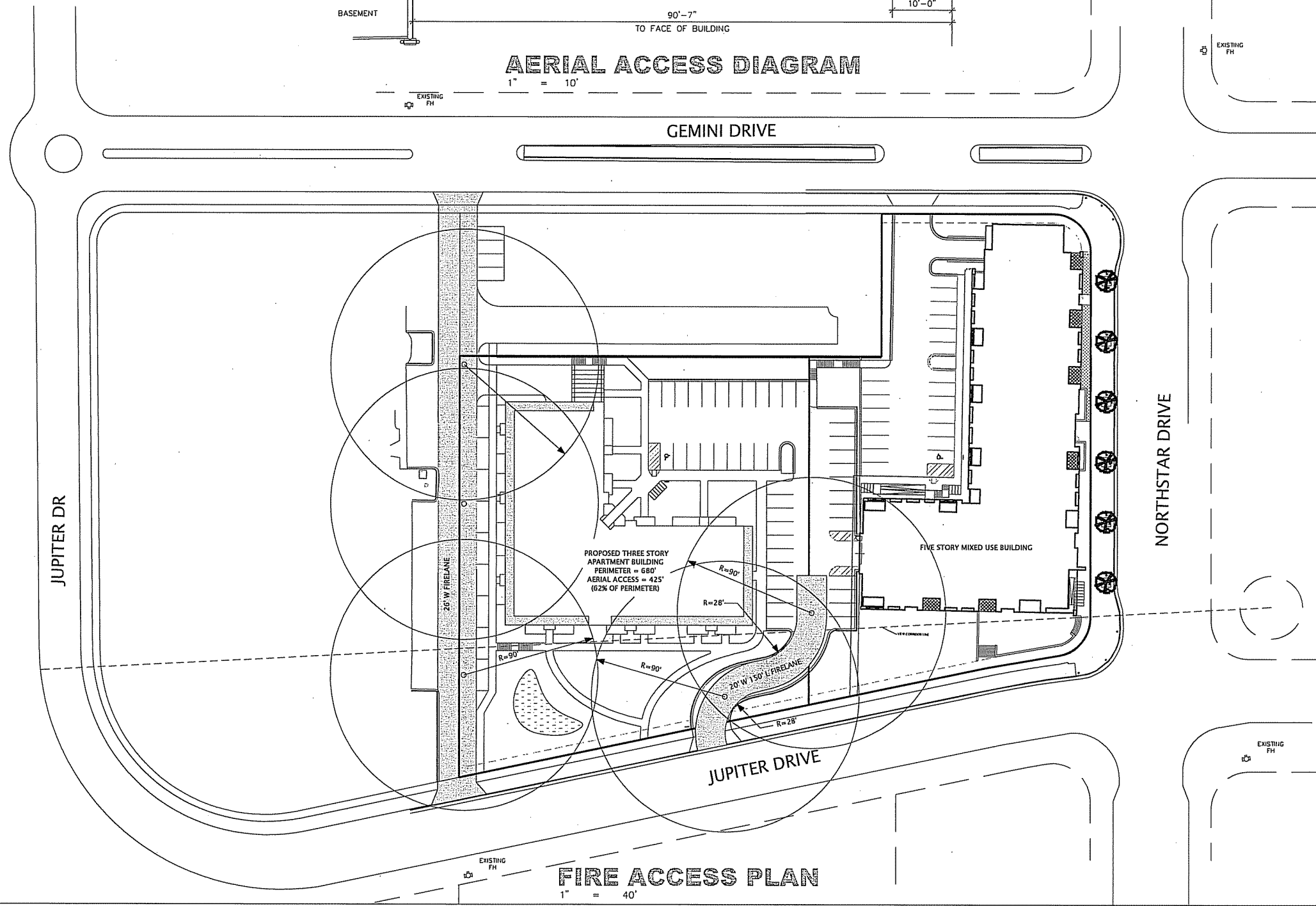
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AERIAL ACCESS DIAGRAM
1" = 10'



FIRE ACCESS PLAN
1" = 40'

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FIRE ACCESS PLAN

FUSION APARTMENTS & THE VIEW

CITY OF MADISON, DANE COUNTY, WI



SCALE: 1" = 30'
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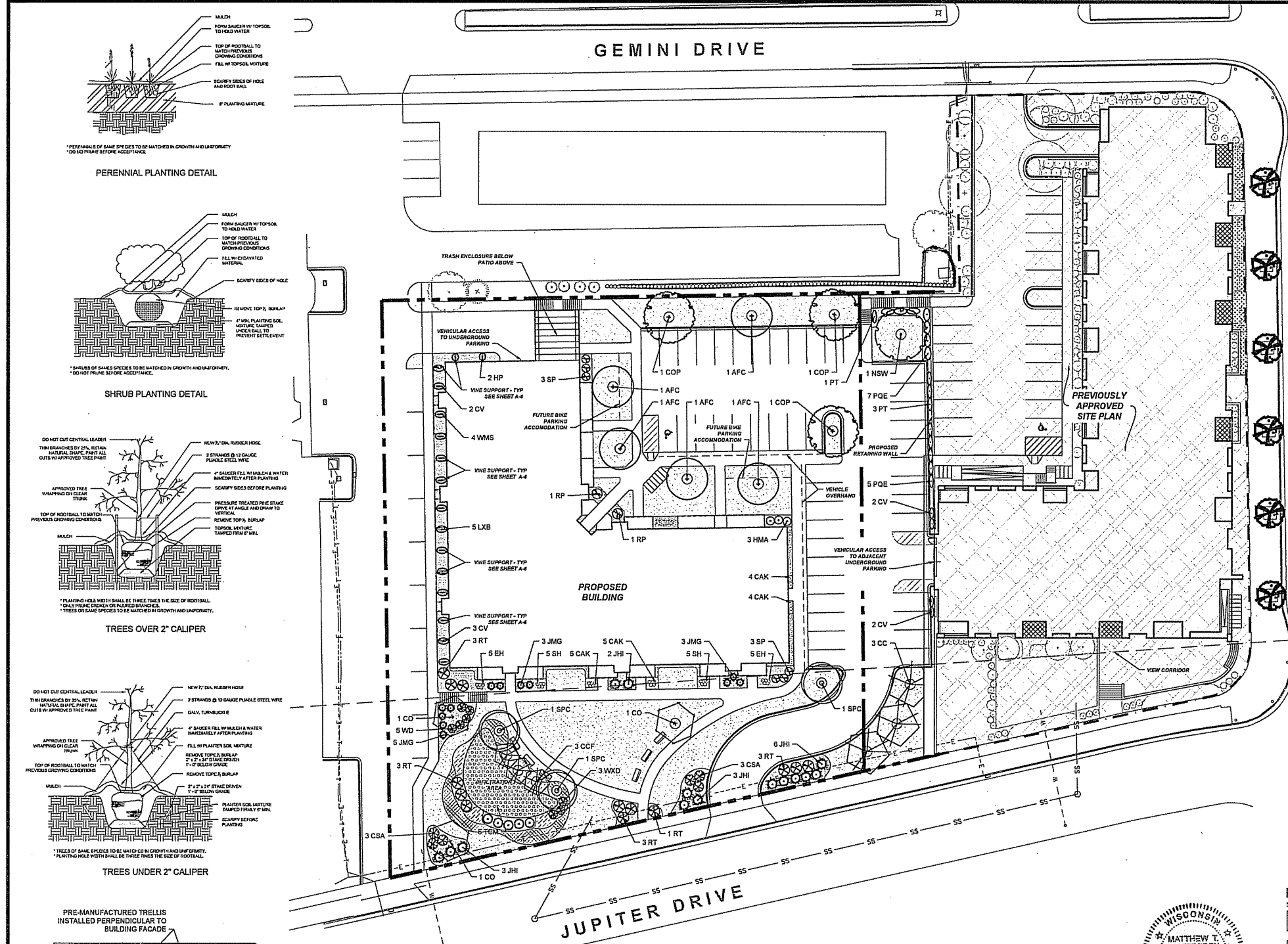
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LANDSCAPE REQUIREMENTS SUMMARY

DEVELOPED AREA REQUIREMENT:
 GROSS DEVELOPED AREA = 56,507 SQ FT
 BUILDING FOOTPRINTS = 18,159 SQ FT
 NET DEVELOPED AREA = 38,348 SQ FT (6.97 ACRE)
 REQUIREMENT = 5 POINTS / 300 SQ FT OF DEVELOPED AREA
 TOTAL POINTS REQUIRED = 640 POINTS
 POINTS PROVIDED = 1,219 POINTS

STREET FRONTAGE REQUIREMENT:
 1 OVERSTORY TREE OR 2 EVERGREEN & 5 SHRUB PER 30 LF

JUPITER DRIVE FRONTAGE = 273 FT
 PLANTS REQUIRED = 9 OVERSTORY TREES OR
 18 EVERGREEN / ORNAMENTAL TREES
 45 SHRUBS
 PLANTS PROVIDED = 9 OVERSTORY TREES
 3 ORNAMENTAL TREES
 46 SHRUBS

PARKING LOT LANDSCAPING REQUIREMENT:
 1 OVERSTORY TREE OR 2 ORNAMENTAL TREES PER 160 SQ FT OF REQUIRED AREA

TOTAL PARKING LOT AREA = 22,848 SQ FT
 REQUIRED LANDSCAPED AREA = 1,828 SQ FT (8% TOTAL PARKING LOT AREA)

LANDSCAPED AREA PROVIDED = 2,000 SQ FT

OVERSTORY TREES REQUIRED = 12 OVERSTORY TREES

OVERSTORY TREES PROVIDED = 12 OVERSTORY TREES

SITE LANDSCAPE PLAN - GENERAL NOTES

- CONTACT DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
- ALL PLANTING BEDS SHALL CONTAIN A 3" DEPTH OF SHREDDED HARDWOOD CONTAINED BY LANDSCAPE EDGING.
- PLANTING BEDS & TREES WITHIN LAWN AREAS SHALL BE CONTAINED BY A BLACK VINYL EDGING.
- PLANTING BEDS & TREES LOW-GROWING MEADOW AREAS SHALL BE CONTAINED BY A 4" DEEP MACHINE TRENCHED EDGE.
- ALL TREES NOT CONTAINED IN A PLANTING BED SHALL HAVE A 9" DIAMETER CIRCLE OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING.
- ALL AREAS ADJACENT TO THE BUILDING FOUNDATION THAT ARE NOT TO RECEIVE PLANTS SHALL BE CONTAINED BY A 18" WIDE MAINTENANCE STRIP CONSISTING OF A 3" LAYER OF MISSISSIPPI 1" WASHED STONE AS FURNISHED BY MADISON BLOCK & STONE.
- ALL WASHED STONE SHALL BE PLACED ON FILTER FABRIC & CONTAINED WITH BLACK VINYL EDGING.
- WASHED STONE AREAS SHALL BE SEPARATED FROM BARK MULCH AREAS WITH BLACK VINYL EDGING.
- ALL LAWN, NATIVE GRASS, & PLANTING AREAS SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TOPSOIL.
- INFILTRATION PLANT MIX SHALL BE RAINWATER RENEWAL GARDEN FOR SUNNY SITES AS PROVIDED BY AGRECOL (WWW.AGRECOL.COM) - INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- LAWN SEED SHALL BE MADISON PARKS SEED MIX AS MANUFACTURED BY LACROSSE SEED, LLC (WWW.LACROSSESEED.COM) - INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- LOW MAINTENANCE FESCUE SEED SHALL BE CARE-FREE SEED MIX AS MANUFACTURED BY LACROSSE SEED, LLC (WWW.LACROSSESEED.COM) - INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- ALL SEED MIXES SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON ZONING ORDINANCE.

GROUND COVER LEGEND

- LAWN SEED
- LOW GROWING MEADOW FOR MEDIUM SOILS SEED MIX AS MANUFACTURED BY PRAIRIE NURSERY
- LOW MAINTENANCE FESCUE SEED MIX
- INFILTRATION PLANT MIX - 2" PLUGS ON 12" CENTERS
- BARK MULCH
- MISSISSIPPI 1" WASHED STONE AS FURNISHED BY MADISON BLOCK & STONE

PLANTING SCHEDULE

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	PTS PER PLANT	SUB-TOTAL	SIZE	ROOT COND	NOTES
OVERSTORY DECIDUOUS TREES								
AFC	Acer x freemantli 'Celzam'	Celebration Maple	5	35	175	2.5"	B&B	
CC	Carpinus caroliniana	Musclegwood	3	35	105	2.5"	B&B	
CO	Cotinus obovatus	Smoke Tree	6	35	210	2.5"	B&B	
COP	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	3	35	105	2.5"	B&B	
NSW	Nyssa sylvatica 'Wildfire'	Wildfire Sour Gum	1	35	35	2.5"	B&B	
SPC	Syringa pekinensis 'China Snow'	China Snow Pekin Lilac	3	35	105	2.5"	B&B	
ORNAMENTAL TREE								
CCF	Carpinus caroliniana 'Firespire'	Firespire Musclegwood	3	15	45	6" TALL	B&B	MULTI-STEM
DECIDUOUS SHRUB								
CSA	Cornus sericea 'Arctic Fire'	Arctic Fire Red Twig Dogwood	6	3	18	36" TALL	POT	
HMA	Hydrangea macrophylla 'All Summer Beauty'	All Summer Beauty Hydrangea	3	3	9	24" TALL	POT	
RT	Rhus typhina 'Baltique'	Tiger Eyes Sumac	13	3	39	24" TALL	POT	
SP	Syringa 'Pendula'	Bloomeriana Lilac	6	3	18	36" TALL	POT	
WD	Weigela 'Dark Horse'	Dark Horse Weigela	8	3	24	18" TALL	POT	
DECIDUOUS VINES								
CV	Clematis virginiana	Woodbine	9	3	27	24" TALL	POT	
HP	Hydrangea petiolaris	Climbing Hydrangea	2	3	6	24" TALL	POT	
LXB	Lonicera x brownii 'Dropmore Scarlett'	Dropmore Scarlett Honeysuckle	5	3	15	24" TALL	POT	
PT	Parthenocissus tricuspidata	Boston Ivy	9	3	27	24" TALL	POT	
POE	Parthenocissus quinquefolia var. engelmannii	Virginia Creeper	12	3	36	24" TALL	POT	
WMS	Wisteria macrocarpa 'Summer Cascade'	Summer Cascade Wisteria	4	3	12	24" TALL	POT	
EVERGREEN SHRUB								
JH	Juniperus horizontalis 'Icee Blue'	Icee Blue Juniper	14	4	56	3 GAL	POT	
JMG	Juniperus x media 'Sea of Gold'	Sea of Gold Juniper	12	4	48	3 GAL	POT	
RP	Rhododendron PJM	PJM Rhododendron	2	4	8	24" TALL	POT	
TCM	Taxus cuspidata 'Monlobo'	Emerald Spreader Yew	5	4	20	24" TALL	POT	
ORNAMENTAL GRASSES								
CAK	Calamagrostis x scutiflora 'Karl Foerster'	Feather Reed Grass	18	2	36	1 GAL	POT	
EH	Elymus hystrix	Bottle Brush Grass	10	2	20	1 GAL	POT	
SH	Sporobolus heterolepis	Prairie Dropseed	10	2	20	1 GAL	POT	
			TOTAL:	1219	POINTS			



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LANDSCAPE PLAN
FUSION APARTMENTS & THE VIEW
 CITY OF MADISON, DANE COUNTY, WI



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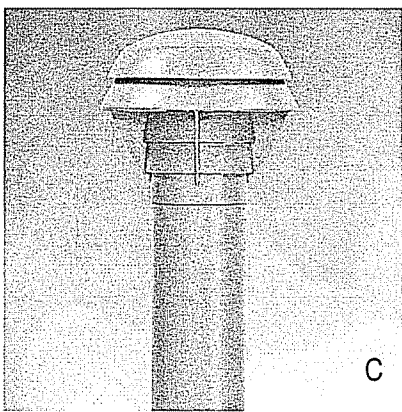
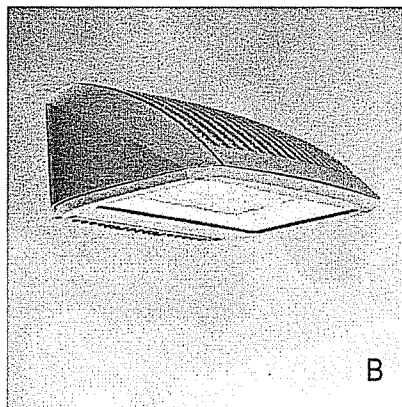
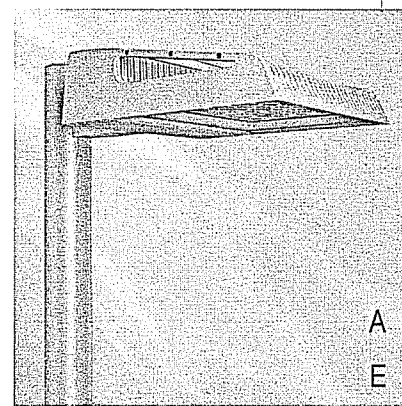
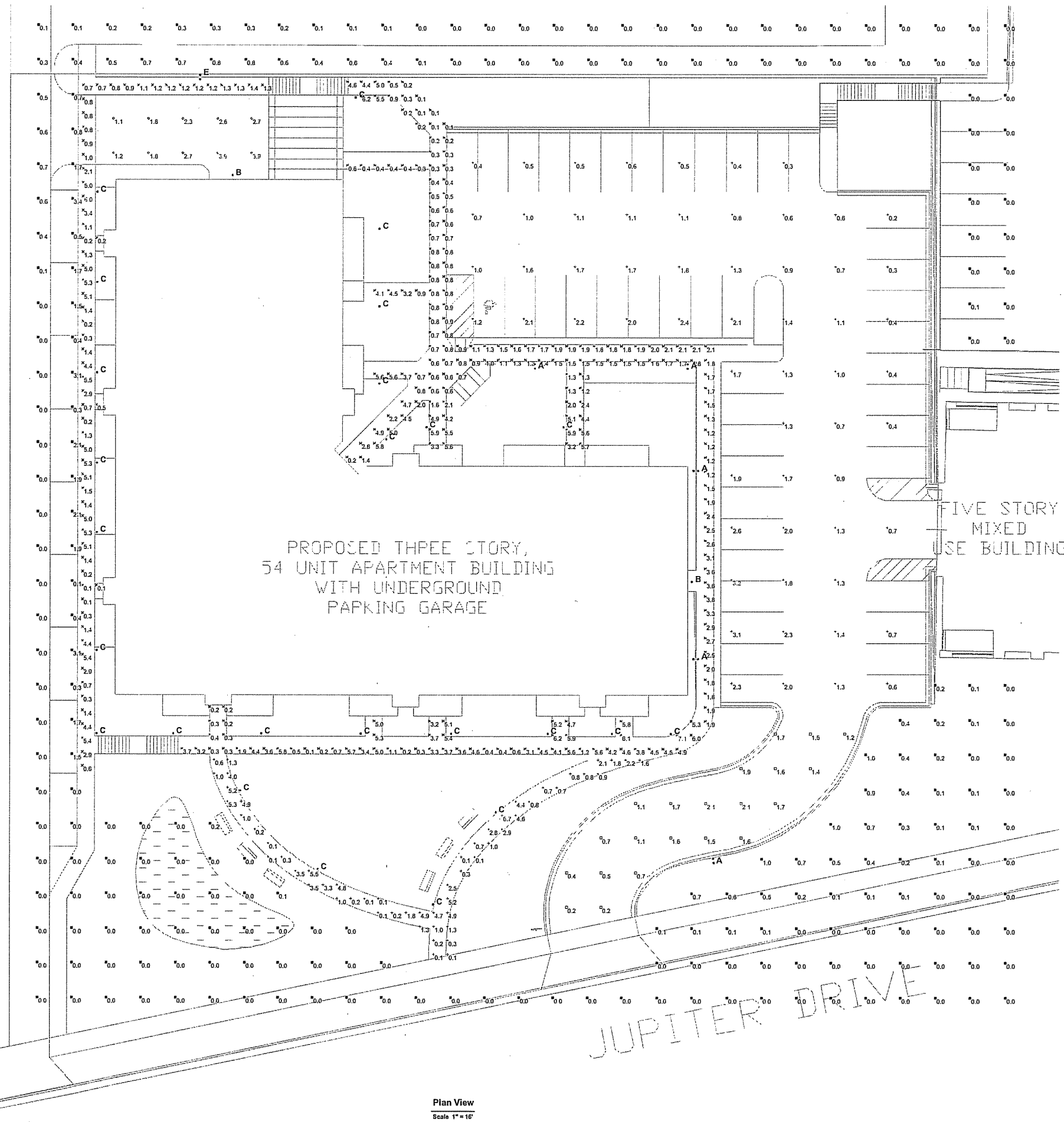
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Designer

Date
DEC 7 2015

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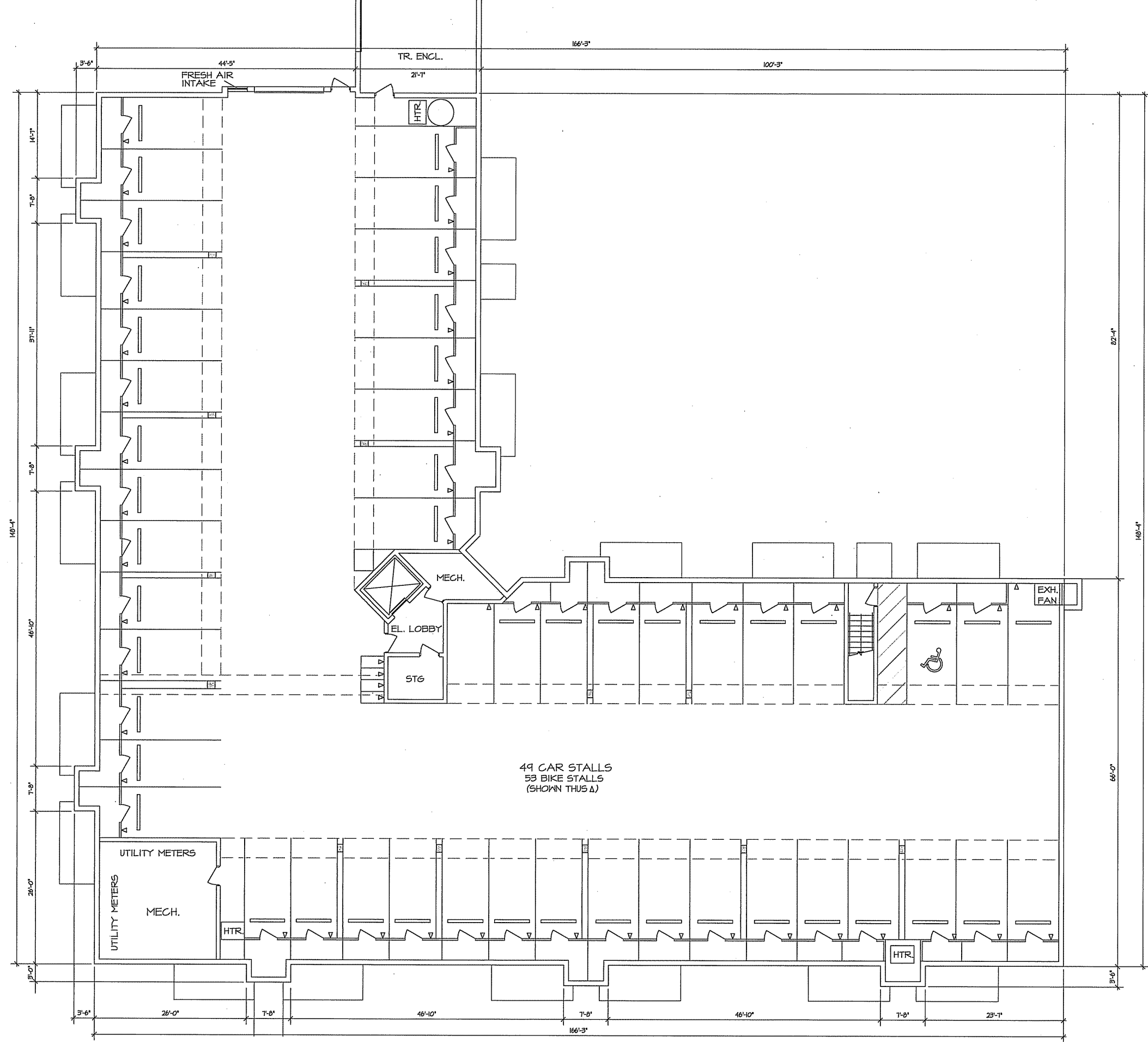


LUMINAIRE SCHEDULE

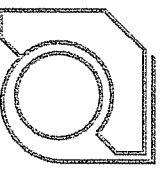
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○	B	2	121-4-26LA-NW	26
◻	C	25	BR840-CWL-NW-360-26-BLP	23.4
◻	E	1	ELA16-1-3-105LA-700-NW-VOLT-FINISH-HS POLE, POLE BASE 3' ABOVE GRADE	103.7

STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
AREA OUTSIDE OF PARKING AND SIDEWALK	■	0.2 fc	3.4 fc	0.0 fc	N/A	N/A
NORTH & WEST SIDEWALK	×	2.1 fc	6.0 fc	0.1 fc	60:1	21:0.1
NORTH DRIVE WAY	◇	2.4 fc	3.9 fc	1.1 fc	3.5:1	2.2:1
PARKING LOT	+	1.3 fc	3.2 fc	0.2 fc	16:0.1	6.5:1
SIDEWALK	✕	2.2 fc	7.1 fc	0.1 fc	71:0.1	22:0.1
SOUTH DRIVEWAY	□	1.3 fc	2.1 fc	0.2 fc	10.5:1	6.5:1
SOUTH SIDEWALK	+	2.0 fc	6.7 fc	0.1 fc	67:0.1	20:0.1



UNDERGROUND PARKING
 1/8" = 1'-0"

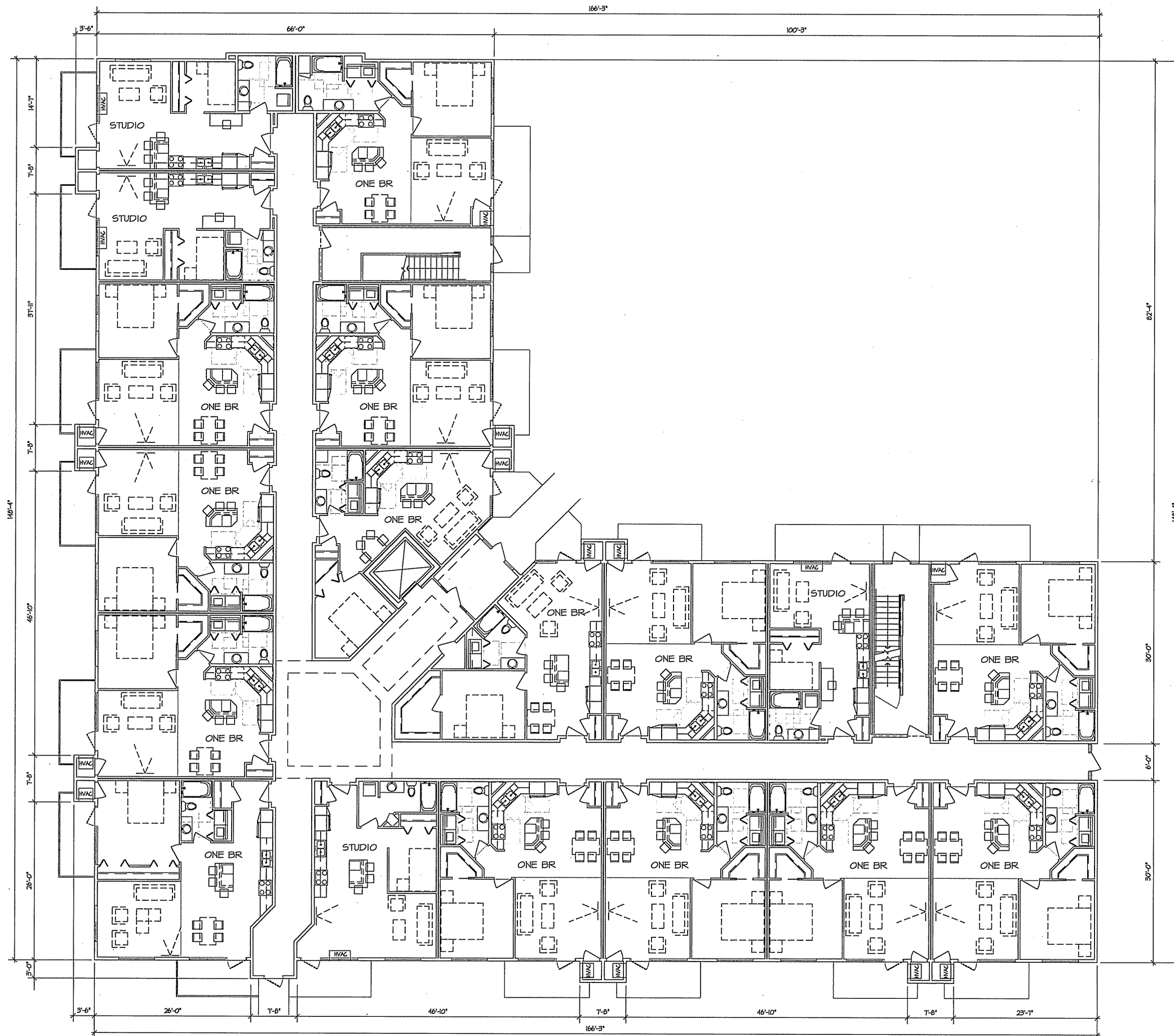


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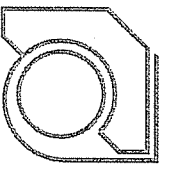
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FUSION APARTMENTS
 841 JUPITER DRIVE, GRANDVIEW COMMONS, MADISON, WI
CLIENT:
FUSION APARTMENTS, LLC
 6417 ODANA RD, MADISON, WI 53719

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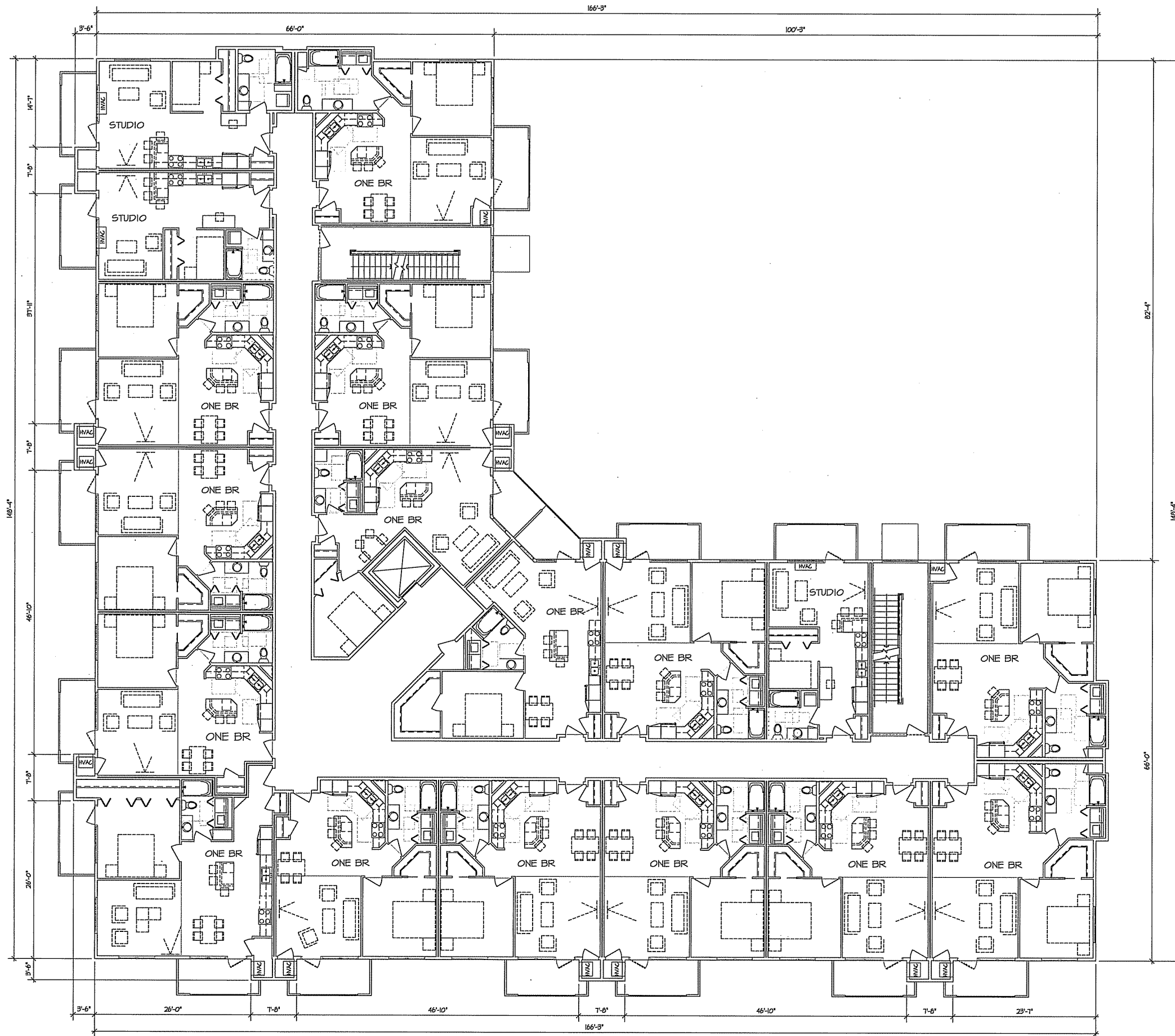
FIRST FLOOR PLAN
 1/8" = 1'-0"



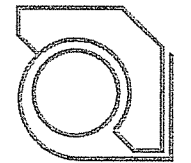
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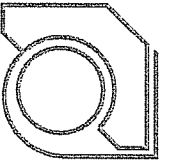
SECOND/THIRD FLOOR PLAN
 1/8" = 1'-0"



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EAST FACADE

UTILITY BRICK VENEER
 COMPOSITE WOOD SIDING
 PREFINISHED ALUMINUM RAILING
 VINYL WINDOWS



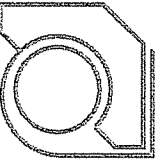
SOUTH FACADE

UTILITY BRICK VENEER
 COMPOSITE WOOD SIDING
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 VINYL WINDOWS

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EXTERIOR ELEVATIONS

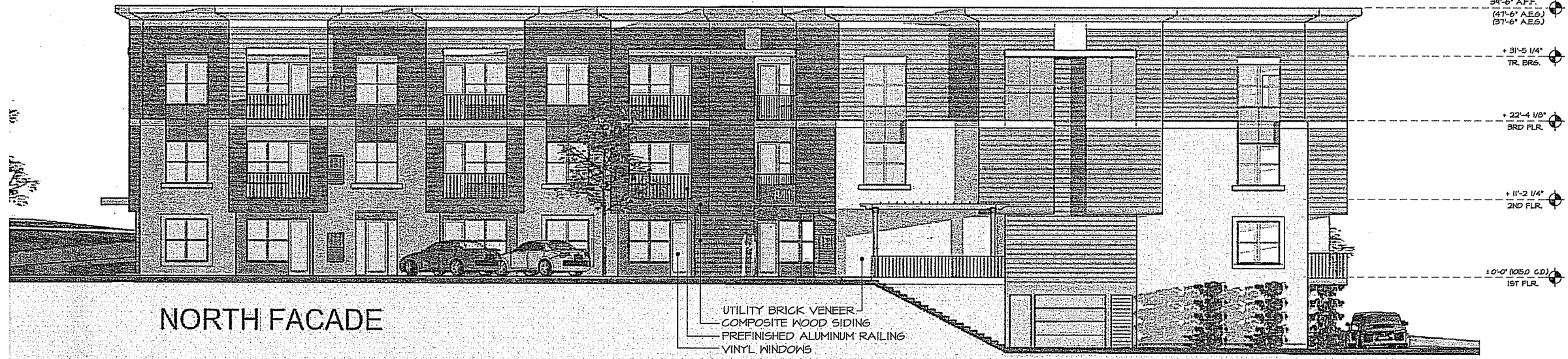


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WEST FACADE

UTILITY BRICK VENEER
 COMPOSITE WOOD SIDING
 PREFINISHED ALUMINUM RAILING
 VINYL WINDOWS



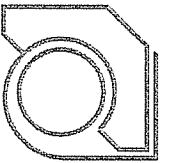
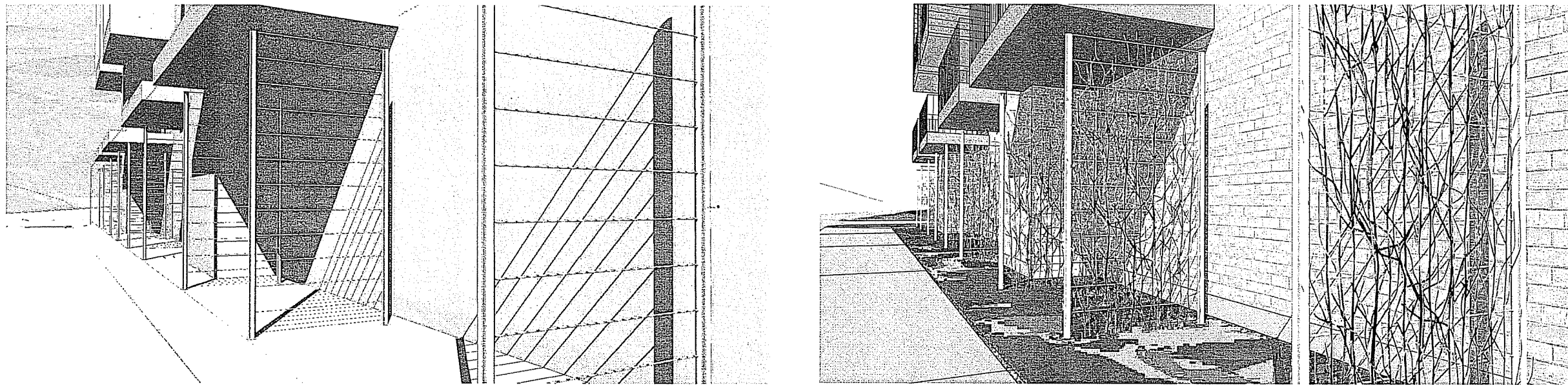
NORTH FACADE

UTILITY BRICK VENEER
 COMPOSITE WOOD SIDING
 PREFINISHED ALUMINUM RAILING
 VINYL WINDOWS

EXTERIOR ELEVATIONS

PROJECT: **FUSION APARTMENTS**
 841 JUPITER DRIVE, GRANDVIEW COMMONS, MADISON, WI
 CLIENT: **FUSION APARTMENTS, LLC**
 6417 ODANA RD, MADISON, WI 53719

PROJECT: 2015-04
 CAD FILE:
 DRAWN BY: U.K.
 DATE: 10/21/15
 REV: 12/08/15



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VINES ON STAINLESS STEEL TRELLIS