

# URBAN DESIGN COMMISSION APPLICATION



City of Madison  
Planning Division  
Madison Municipal Building, Suite 017  
215 Martin Luther King, Jr. Blvd.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



FOR OFFICE USE ONLY:  
Paid \_\_\_\_\_ Receipt # \_\_\_\_\_  
Date received \_\_\_\_\_  
Received by \_\_\_\_\_  
Aldermanic District \_\_\_\_\_  
Zoning District \_\_\_\_\_  
Urban Design District \_\_\_\_\_  
Submittal reviewed by \_\_\_\_\_  
Legistar # \_\_\_\_\_

Complete all sections of this application, including the desired meeting date and the action requested.

*If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.*

### 1. Project Information

Address: 5402 Mineral Point Road  
Title: Whitney Way Apartments

### 2. Application Type (check all that apply) and Requested Date

UDC meeting date requested April 24, 2019  
 New development       Alteration to an existing or previously-approved development  
 Informational       Initial approval       Final approval

### 3. Project Type

- Project in an Urban Design District
- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

- Signage**
- Comprehensive Design Review (CDR)
  - Signage Variance (i.e. modification of signage height, area, and setback)

**Other**  
 Please specify  
Referral from Plan Commission Staff

### 4. Applicant, Agent, and Property Owner Information

**Applicant name** Steve Harms      **Company** Tri-North Builders  
**Street address** 2625 Research Park Drive      **City/State/Zip** Fitchburg, Wisconsin 53711  
**Telephone** 608-271-8717      **Email** sharms@tri-north.com

**Project contact person** same as above      **Company** \_\_\_\_\_  
**Street address** \_\_\_\_\_      **City/State/Zip** \_\_\_\_\_  
**Telephone** \_\_\_\_\_      **Email** \_\_\_\_\_

**Property owner (if not applicant)** Whitney Point Properties LLC  
**Street address** 5402 Mineral Point Road      **City/State/Zip** Madison, Wisconsin 53705  
**Telephone** 608-274-4141      **Email** akessenich@dlevanscompany.com

**5. Required Submittal Materials**

- Application Form**
- Letter of Intent**
  - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
  - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development plans** (Refer to checklist on Page 4 for plan details)
- Filing fee**
- Electronic Submittal\***

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

*\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to [udcapplications@cityofmadison.com](mailto:udcapplications@cityofmadison.com). The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

**6. Applicant Declarations**

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with \_\_\_\_\_ on \_\_\_\_\_.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Steve Harms / Tri-North Builders Relationship to property Consultant  
 Authorizing signature of property owner *Andrew H. Kerwin* Date 4-9-2019

**7. Application Filing Fees**

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(b) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex



January 23, 2019

Matt Tucker  
Zoning Administrator  
City of Madison Zoning  
215 Martin Luther King Jr. Blvd.  
Madison, WI 53709

Re: 5402 Mineral Point Rd and 330, 340 S Whitney Way  
(the property is currently a condominium)  
Re-Zoning request, Certified Survey Map, and Conditional Use Application for multi-family use and development adjacent to a park

Dear Mr. Tucker:

Our application is enclosed for:

Rezoning the proposed Lot Conditional Use Application for redevelopment of the site with demolition of 2 office structures for construction of multi-family apartments. Specifically we are requesting:

1. Rezoning from Suburban Employment to Commercial Corridor – Transitional
  2. We are requesting conditional use for
    - A multi-family 48 unit (more than 24 units) building (three (3) story) plus one level of underground/underbuilding parking; Continued use of an existing office at 340 S. Whitney Way to remain
    - Development adjacent to a park (Garner Park).
    - Requirement for non-residential area and façade. Due to its location on the site, entire first floor will be residential and support. No “non-residential” areas are in the new building. Non-residential uses existing in the building to remain. The building end faces Mineral Point Rd. and has a facade greater than 40’. No portion of the ground floor façade has non-residential area other than the common area on first floor.
  3. Certified Survey Map revision to remove the condominium plats and form 2 lots. The Existing 340 S Whitney Way structure will have its own lot and parking. The remainder of the site will be the new apartment structure and its parking and open space.
- This is a project for up to 48 units of multi-family apartments (for market rate rents). There will be (20) 2 bedroom 2 bath units and (25) 1 bedroom unit, and 3 studios.

**Project Team:**

Tri-North is the design-builder and team leader.

Architect: Dimension IV Architects  
Civil Engineer: Point of Beginning Civil Engineering  
Landscape Architect: Paul Skidmore

**Existing Buildings:**

The current structures were built in 1976 (5401 Mineral Pt. Rd) 1979 (330 S Whitney Way) & 2004 (340 S Whitney Way). 340 S Whitney Way will remain in its current configuration. The buildings 330 & 5402 are



**BUILD SMART.**

structurally sound but are in need of numerous maintenance & repair tasks and upgrades both interior and exterior including roofs and siding repairs. See attached condition report and photos.

340 S Whitney Way was built in 2004 for medical tenants with precast columns, beams, & floor, wood truss roof, masonry exterior. Current tenants have 8 years remaining on their leases. The intent is to leave this building for the foreseeable future.

**Schedule:**

City approval process and final design now through April of 2019

Construction: May 2019 to April 2020

**Proposed Building Concept:**

The housing will be built 3 stories of wood construction on top of one concrete parking level. The parking will be entered on grade at the north end and will be underground at the south end along Mineral Point Rd. The first floor along along Mineral Point Rd will have a main entry and office. Amenities will be provided on the first floor, parking level and in the adjacent office structure. The Basement will house heated parking, mechanical equipment, indoor bicycle storage, bicycle repair, pet grooming and rentable personal storage.

**Traffic:**

The owner had a traffic study conducted. Trips were observed at various times on different days of the week.

The results are:

1. The existing average trips per day in and out of site equals 237
2. With the apartments replacing the offices the total trips per day is anticipated to be 134

It is important to maintain both the Whitney Way and Mineral Point entrances since they both are right turn in and out only (no left turns). There is some confusion currently with visitors to the offices not understanding how to approach from the south and west resulting U-turns at Whitney & South Hill. These U-turns will be reduced greatly when residents learn how to approach their homes. Some concern over use of South Hill north of the park may make traffic humps advisable in the future.

**Development Statistics:**

**330 S Whitney Way**

The existing footprint on the site is 6,892 GSF.

Total GSF is 16,000 SF (3 levels)

**340 S Whitney Way (Building to remain)**

The existing footprint on the site is 5,487 GSF.

Total GSF is 10,974 SF. (2 levels)

**5402 Mineral Point Rd**

The existing footprint on the site is 2,714 GSF.

Total GSF is 7,878 SF. (3 levels)

Current zoning: Suburban Employment

**Re-Zoning is requested for CCT**

Allowed development height: 5 stories.



**BUILD SMART.**

	CURRENT (applies to 340)	PROPOSED
Zoning	Suburban Employment	Commercial Corridor - Transitional
Office Uses	Permitted	Varies-Permitted
Multi-Family	Conditional Use	Conditional Use
Lot Area	2,000SF/Unit	750SF/Unit
Front Yd Set back	<25'	Varies – Max. 25'
Side Yard	15', 20% of Hght	10'
Rear	30'	On Corner – 10'
Lot Coverage	75%	85%
Usable Open Space	400SF/Unit	160SF-1BR / 320SF/2BR+
Parking Req	No Min. in SE-Office recommended 1/400SF @ 10,974SF = 27	Min. 1/ DU = 48 Max. 2.5/DU - 120
Parking Provided	32	89

**Bicycle parking:**

1/BR = 48 + (1/10DU guest) = 5 TOTAL Bicycle Parking = 53  
 Long Term – 90% = 48. Short Term = 5. (located at front entry area)

Ground Mounted Stalls Interior =		23
Wall Mounted/Vertical stalls (interior). 53 X .25 =	14	
Covered Stalls – Exterior =		11

**Useable Open Space Required**

1BR-St = @160/ X 28 =	4,480 SF
2BR+ = @320/X20 =	6,400 SF
Total	10,880 SF

Lot area = 51,213 SF  
 Building =15,690 SF  
 For complete area stats, see site plan

**Land Value: assessed land value is**

330 S. Whitney Way – Land- \$135,000 Building - \$765,000 Total- \$900,000  
 5402 S. Whitney Way. Land- \$135,000 Building - \$295,000 Total- \$430,000

Existing 340 Building - Land- \$135,000 Building - \$685,000 Total- \$820,000

Estimated Project Cost (and new assessed value) is \$10.0M

Construction Jobs: We estimate 40 jobs will be created during the project's construction and 2.25 full time equivalent jobs permanently created.



**BUILD SMART.**

There is no public subsidy requested.

Sincerely:

A handwritten signature in black ink that reads 'Steve Harms'.

Steve Harms, AIA, LEED BD+C

Tri-North Builders, Agent for Whitney Properties, LLC.



**UNDERGROUND UTILITIES**

THESE RECORD DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY OTHERS. THE SURVEYOR AND ARCHITECT WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE BEEN INCORPORATED INTO THIS DOCUMENT AS A RESULT.

SOME UTILITIES HAVE BEEN LOCATED BY MAPS PROVIDED BY OTHERS - LOCATIONS ARE APPROXIMATE.

PRIVATE UTILITIES MAY EXIST BUT ARE NOT SHOWN ON MAP.

FIELD VERIFY SANITARY AND STORM SEWER PIPE SIZE AND LOCATION.

UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE BASED IN PART ON MARKINGS BY DIGGERS HOTLINE. (TICKET #20184702480 & #20185002285)

NOTE: CONTACTED USIC TO INQUIRE ABOUT NO COMMUNICATION MARKINGS AT THE TIME OF SURVEY. THEY STATED THE SITE IS CLEAR OF COMMUNICATION MARKINGS. WE THEN POINTED OUT THAT THERE WERE ABOVE GROUND UTILITY STRUCTURES OBSERVED SUCH AS PEDESTALS. USIC STATED THAT THE LOCATOR WOULD CONTACT US TO VERIFY THIS. NO RETURN CALLS FROM SAID LOCATOR.

**BENCH MARK**

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

**BENCHMARK #1**  
BURY BOLT ON HYDRANT, LOCATED IN THE SOUTHEAST CORNER OF MINERAL POINT ROAD AND WHITNEY WAY. ELEVATION = 989.21

**BENCHMARK #2**  
BURY BOLT ON HYDRANT, LOCATED ON THE SOUTH SIDE OF MINERAL POINT ROAD AND BEING APPROXIMATELY 450 FEET WEST OF WHITNEY WAY. ELEVATION = 1012.58

**BENCHMARK #3**  
BURY BOLT ON HYDRANT, LOCATED ON THE NORTH SIDE OF MINERAL POINT ROAD AND BEING APPROXIMATELY 300 FEET WEST OF WHITNEY WAY. ELEVATION = 1002.70

**BENCHMARK #4**  
ARROW BOLT ON HYDRANT, LOCATED ON THE WEST SIDE OF WHITNEY WAY AND BEING APPROXIMATELY 50 FEET NORTH OF NORTHEAST DRIVE ENTRANCE. ELEVATION = 987.94

**SURVEYOR'S CERTIFICATE**

THAT I HAVE MADE SUCH SURVEY BY THE DIRECTION OF TRI-NORTH BUILDERS AND DO FURTHER CERTIFY THAT THE PROPERTY SHOWN AND DESCRIBED HEREON WAS SURVEYED AND MAPPED UNDER MY DIRECTION ACCORDING TO CHAPTER A-17 OF WISCONSIN ADMINISTRATIVE CODE, MINIMUM STANDARDS FOR PROPERTY SURVEYS. THAT SUCH SURVEY IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LANDS SURVEYED TO THE BEST OF MY KNOWLEDGE AND BELIEF.

I FURTHER HEREBY CERTIFY THAT THIS IS A TRUE AND CORRECT COPY OF A TOPOGRAPHICAL SURVEY AS DONE UNDER MY DIRECTION ON NOVEMBER 26-27, 2018.

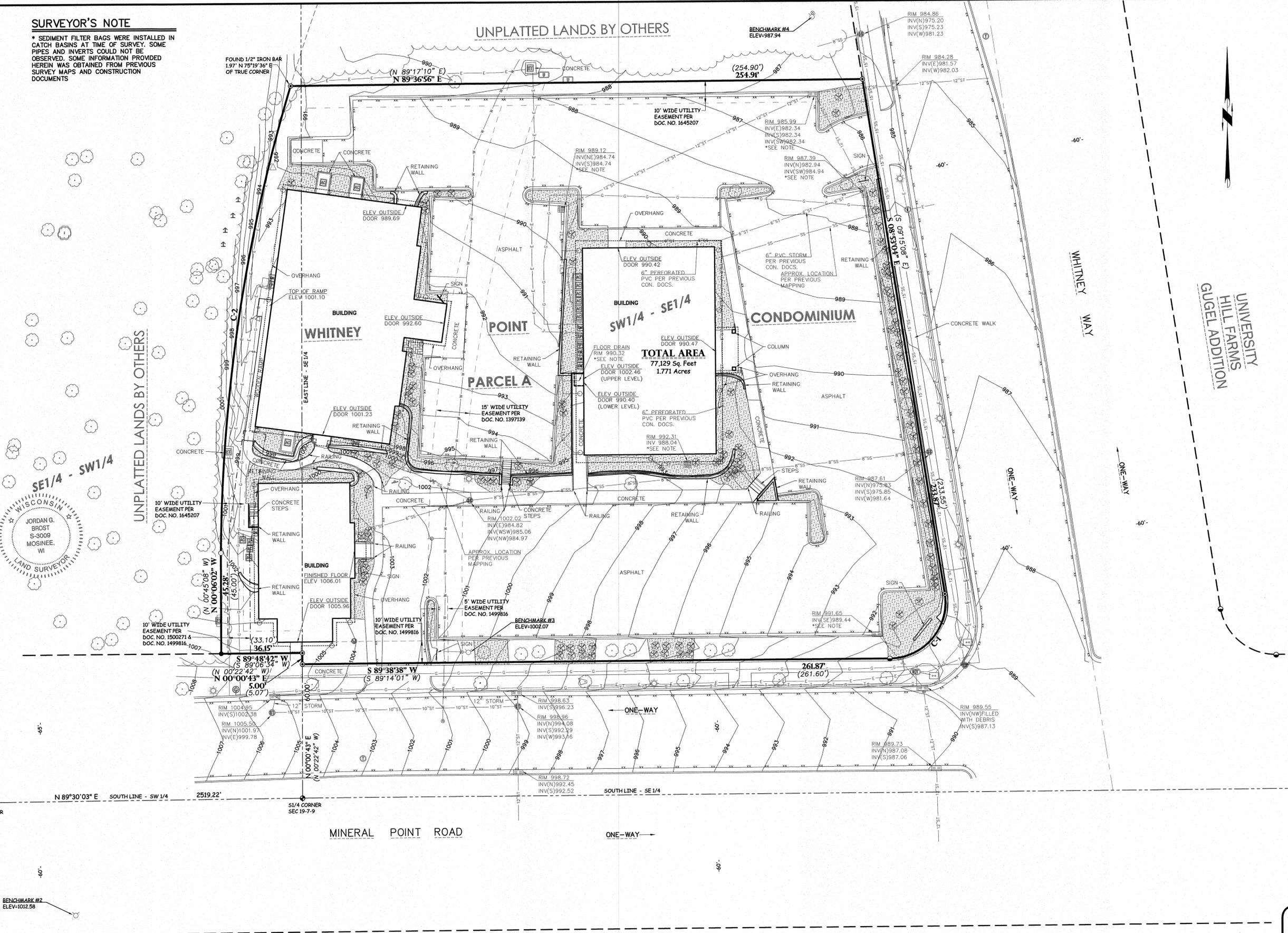
DATED THIS 3<sup>RD</sup> DAY OF JANUARY, 2019

JORDAN G. BROST  
PROFESSIONAL LAND SURVEYOR NO. 3009

**SURVEYOR'S NOTE**

\* SEDIMENT FILTER BAGS WERE INSTALLED IN CATCH BASINS AT TIME OF SURVEY. SOME PIPES AND INVERTS COULD NOT BE OBSERVED. SOME INFORMATION PROVIDED HEREIN WAS OBTAINED FROM PREVIOUS SURVEY MAPS AND CONSTRUCTION DOCUMENTS

**UNPLATTED LANDS BY OTHERS**



**SURVEY LEGEND**

These standard symbols will be found in the drawing:

- SANITARY SEWER
- STORM SEWER
- BURIED ELECTRIC
- BURIED GAS
- WATERMAIN
- EDGE OF BITUMINOUS
- CONTOUR LINE
- RECTANGULAR CATCH BASIN
- SQUARE CATCH BASIN
- STORM MANHOLE
- SANITARY MANHOLE
- WATER VALVE
- HYDRANT
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- ELECTRIC PANEL
- LIGHTPOLE
- GAS METER
- GAS VALVE
- TELEPHONE MANHOLE
- UTILITY VAULT
- TELEPHONE PEDESTAL
- VENT PIPE
- AIR CONDITIONING UNIT
- SIGN
- ROOF DRAIN
- BIRD HOUSE
- BUSH/SHRUB
- TREE
- LANDSCAPE AREA
- BRICK AREA
- 
- 
- 
- 
- 
- 

**CURVE DATA TABLE**

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C-1	42.98' (42.89')	25.00'	98°30'22\"	S 40°21'56\" W (S 40°01'26\" W)	37.88' (37.82')
C-2	212.76' (212.71')	751.68'	16°13'02\"	N 08°34'13\" E (N 07°22'09\" E)	212.05' (212.00')

**BASIS OF BEARINGS**

THE SOUTH LINE OF THE SOUTHWEST 1/4 OF SECTION 19, TOWNSHIP 19 NORTH, RANGE 7 EAST, BEARS N 89°30'03\" E AS REFERENCED TO THE DANE COUNTY COORDINATE SYSTEM, NAD83 (2011).

**DESCRIPTION**

BEING ALL OF PARCEL A OF WHITNEY POINT CONDOMINIUM, LOCATED IN PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 AND IN PART OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4, ALL IN SECTION 19, TOWNSHIP 7 NORTH, RANGE 9 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

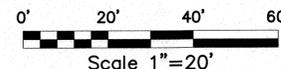
**CLIENT**

TRI-NORTH BUILDERS  
2625 RESEARCH PARK DRIVE  
FITCHBURG, WI 53711-4908

**OWNER**

WHITNEY POINT PROPERTIES LLC  
5402 MINERAL POINT ROAD  
MADISON, WI 53705

SUBJECT TO (IF ANY) COVENANTS, CONDITIONS, RESTRICTIONS, RIGHT-OF-WAYS AND EASEMENTS OF RECORD.



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REVISIONS

R/L	DATE
1-2-19	

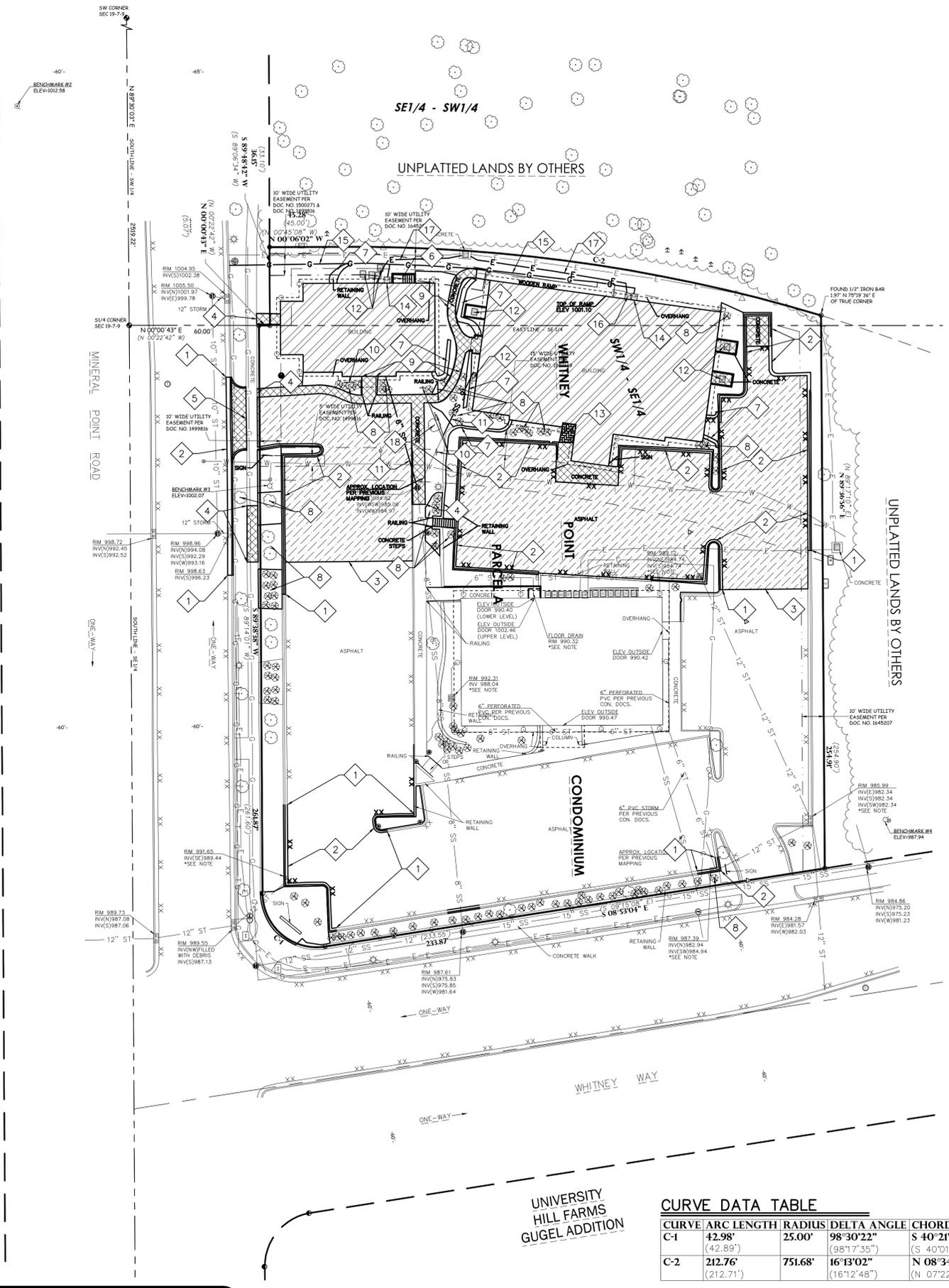
CHECKED: JORDAN G. BROST  
DRAWN: TRAVIS PLATICO  
DATE: 12-9-18  
PROJECT NO. 18.503

**TOPOGRAPHIC SURVEY**

**TRI-NORTH BUILDERS  
WHITNEY POINT APARTMENTS  
CITY OF MADISON  
DANE COUNTY, WISCONSIN**

Civil Engineering  
Land Surveying  
Landscape Architecture  
5709 Windy Drive, Suite D  
Stevens Point, WI 54482  
715.344.9999 (Pn) 715.344.9922 (FX)

**POB** Point of Beginning  
**TOPO**



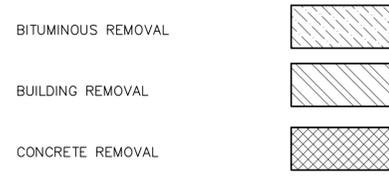
**GENERAL NOTES:**

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER EXCEPT FOR THOSE ITEMS NOTED TO BE SALVAGED, WHICH SHOULD BE TURNED OVER TO THE OWNER.
- INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES FOR PERIMETER PROTECTION PRIOR TO THE START OF DEMOLITION/CONSTRUCTION, IN ACCORDANCE WITH THE LOCAL AND STATE GOVERNING AUTHORITIES.
- ALL BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
- COORDINATE WITH THE OWNER AND LOCAL UTILITY COMPANIES TO LOCATE ANY EXISTING UTILITIES ON SITE PRIOR TO THE START OF WORK.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- STRIP TOPSOIL WITHIN THE PROJECT LIMITS IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS.
- IF STRIPPED TOPSOIL IS STOCKPILED ON SITE, SILT FENCE SHALL BE INSTALLED AROUND THE BASE OF THE STOCKPILE TO PREVENT SEDIMENT TRANSPORT.
- PRIOR TO PERFORMING WORK WITHIN PUBLIC RIGHT OF WAYS, NOTIFY AND COORDINATE WORK WITH THE LOCAL MUNICIPALITY.
- MAINTAIN TRAFFIC CIRCULATION TO ALL RETAIL AND COMMERCIAL BUILDINGS SHOWN ON THIS DOCUMENT. COORDINATE ALL WORK WITH SAID BUSINESSES.

**KEYNOTES:**

- 1 SAWCUT EXISTING CONCRETE CURB & GUTTER
- 2 REMOVE EXISTING CONCRETE CURB & GUTTER
- 3 SAWCUT EXISTING BITUMINOUS PAVEMENT
- 4 SAWCUT EXISTING CONCRETE WALK
- 5 SAWCUT EXISTING CONCRETE DRIVE APRON
- 6 REMOVE EXISTING CONCRETE STEPS
- 7 REMOVE EXISTING RETAINING WALL
- 8 REMOVE EXISTING SHRUB/LANDSCAPING
- 9 REMOVE EXISTING RAILING
- 10 REMOVE EXISTING SIGN
- 11 REMOVE EXISTING SANITARY SEWER
- 12 REMOVE EXISTING A/C UNIT
- 13 REMOVE EXISTING PAVING BLOCKS
- 14 REMOVE EXISTING GAS METER (COORDINATE WITH GAS COMPANY)
- 15 REMOVE EXISTING GAS LINE (COORDINATE WITH GAS COMPANY)
- 16 REMOVE EXISTING ELECTRICAL PANEL (COORDINATE WITH ELECTRIC COMPANY)
- 17 REMOVE EXISTING ELECTRICAL LINE (COORDINATE WITH ELECTRIC COMPANY)
- 18 CLEAR AND GRUB EXISTING TREE

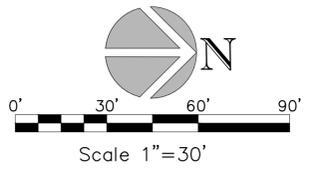
**DEMOLITION HATCH PATTERNS:**



**CURVE DATA TABLE**

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C-1	42.98' (42.89')	25.00'	98°30'22" (98°17'35")	S 40°21'56" W (S 40°01'26" W)	37.88' (37.82')
C-2	212.76' (212.71')	751.68'	16°13'02" (16°12'48")	N 08°34'13" E (N 07°22'09" E)	212.05' (212.00')

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REVISIONS

CHECKED:	ACG
DRAWN:	JHB
DATE:	2/5/19
PROJECT NO.:	18.141

**DEMOLITION PLAN**

**TRI-NORTH BUILDERS  
WHITNEY POINT APARTMENTS  
CITY OF MADISON  
DANE COUNTY, WISCONSIN**

Civil Engineering  
Land Surveying  
Landscape Architecture  
5709 Windy Drive, Suite D  
Stevens Point, WI 54482  
715.344.9999(Fax) 715.344.9922(Fax)



**C1.0**

LAYOUT PLAN

TRI-NORTH BUILDERS  
 WHITNEY POINT APARTMENTS  
 CITY OF MADISON  
 DANE COUNTY, WISCONSIN

Civil Engineering  
 Land Surveying  
 Landscape Architecture  
 5709 Windy Drive, Suite D  
 Stevens Point, WI 54482  
 715.344.9999 [P] 715.344.9922 [F]



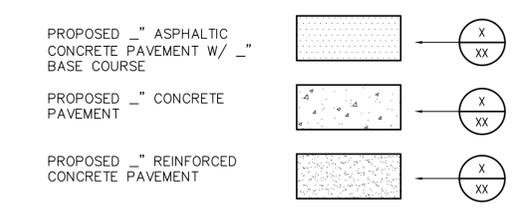
**GENERAL NOTES:**

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- ALL REQUIRED EROSION CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
- SEE SHEET FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
- PRIOR TO THE START OF WORK VERIFY WITH THE LOCAL AUTHORITIES THAT ALL REQUIRED PERMITS HAVE BEEN ACQUIRED.
- COORDINATE CONSTRUCTION IN THE RIGHT OF WAY WITH THE LOCAL AUTHORITIES.
- PROVIDE PROPER BARRICADES, SIGNS AND TRAFFIC CONTROL TO MAINTAIN THRU TRAFFIC ALONG ADJACENT STREETS IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS.
- SIDEWALK JOINTS TO BE AS INDICATED OR AS APPROVED BY CONSTRUCTION MANAGER.
- ALL SAWCUTS SHALL BE AT AN EXISTING JOINT IN THE CURB AND PAVEMENT.
- ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDED/FERTILIZED/CRIMP HAY MULCHED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

**KEYNOTES:**

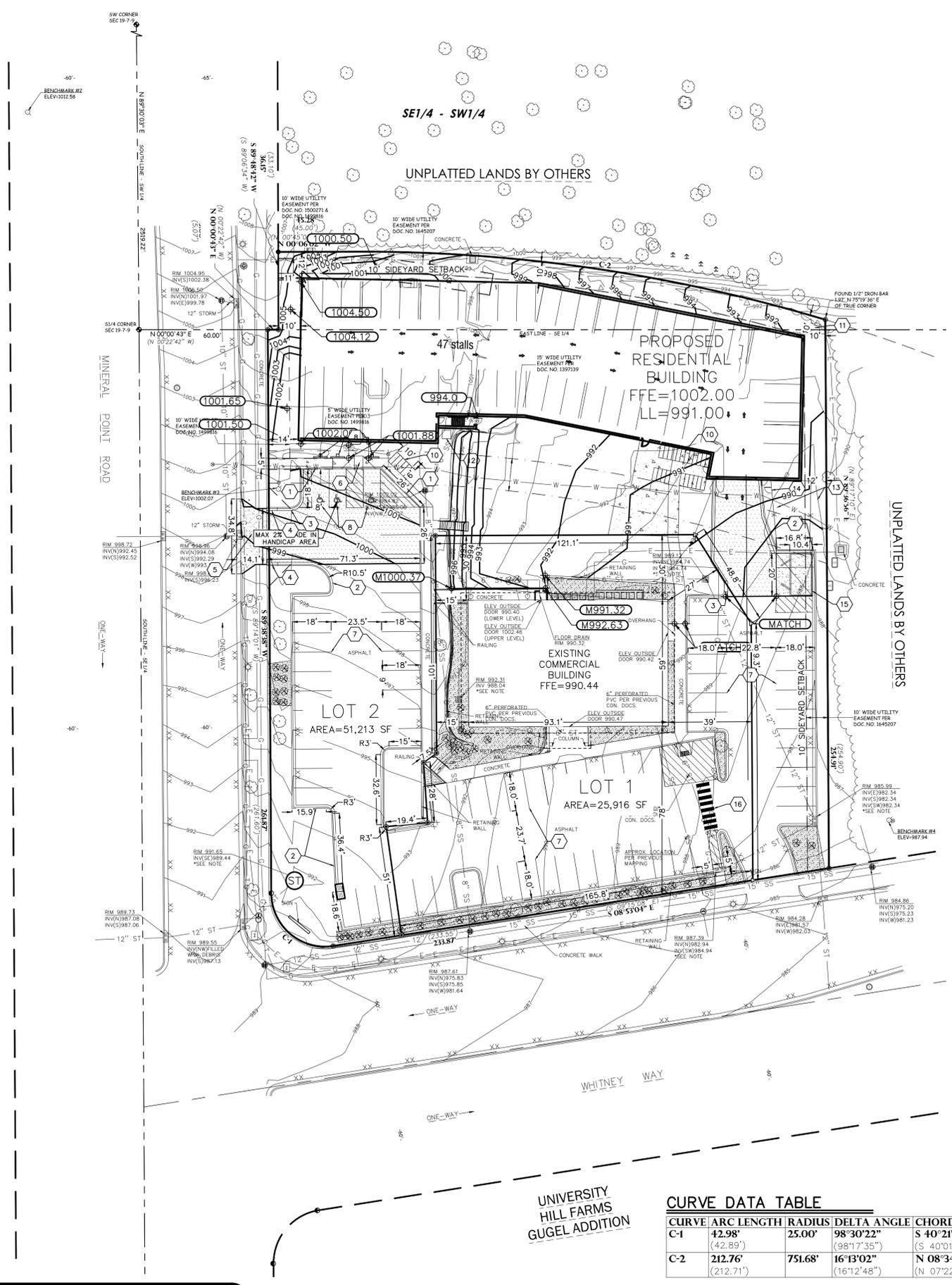
- THICKENED EDGE WALK
- 18" CONCRETE CURB & GUTTER
- 18" CONCRETE CURB & GUTTER (REJECT)
- 6" CURB TAPER SECTION
- CONCRETE DRIVE APRON PER MADISON REQ'S
- HANDI-CAP RAMP
- PARKING LOT STRIPING
- HANDICAP PARKING STALL
- HANDICAP PARKING SIGN
- 2'x6' BIKE STALL (VERIFY RACK STYLE WITH OWNER/ARCH)
- CONCRETE TRANSFORMER PAD
- CONCRETE CONDENSER PAD
- 6' CHAIN LINK FENCE
- 4' WIDE CHAIN LINK MAN-GATE
- DUMPSTER ENCLOSURE (TO MATCH BUILDING SIDING, SEE ARCH PLANS)
- STRIPED CROSSWALK

**PAVEMENT HATCH PATTERNS:**



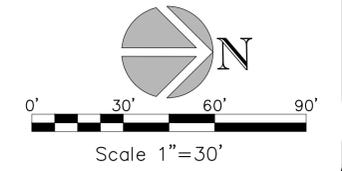
**SITE PARKING RE-CAP**

**OFF-STREET PARKING-PROPOSED**  
 74 TOTAL PARKING STALLS PROPOSED  
 -3 HANDICAP STALLS  
 -71 STANDARD STALLS



**CURVE DATA TABLE**

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C-1	42.98' (42.89')	25.00'	98°30'22" (98°17'35")	S 40°21'56" W (S 40°01'26" W)	37.88' (37.82')
C-2	212.76' (212.71')	751.68'	16°13'02" (16°12'48")	N 08°34'13" E (N 07°22'09" E)	212.05' (212.00')



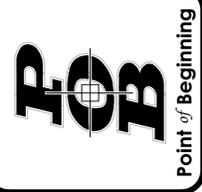
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REVISIONS	
1	3/5/2019
CHECKED:	ACG
DRAWN:	JHB
DATE:	2/5/19
PROJECT NO.:	18.141

**PRELIMINARY GRADING PLAN**

**TRI-NORTH BUILDERS  
WHITNEY POINT APARTMENTS  
CITY OF MADISON  
DANE COUNTY, WISCONSIN**

Civil Engineering  
Land Surveying  
Landscape Architecture  
5709 Windy Drive, Suite D  
Stevens Point, WI 54482  
715.344.9999 [P] 715.344.9922 [F]



Point of Beginning

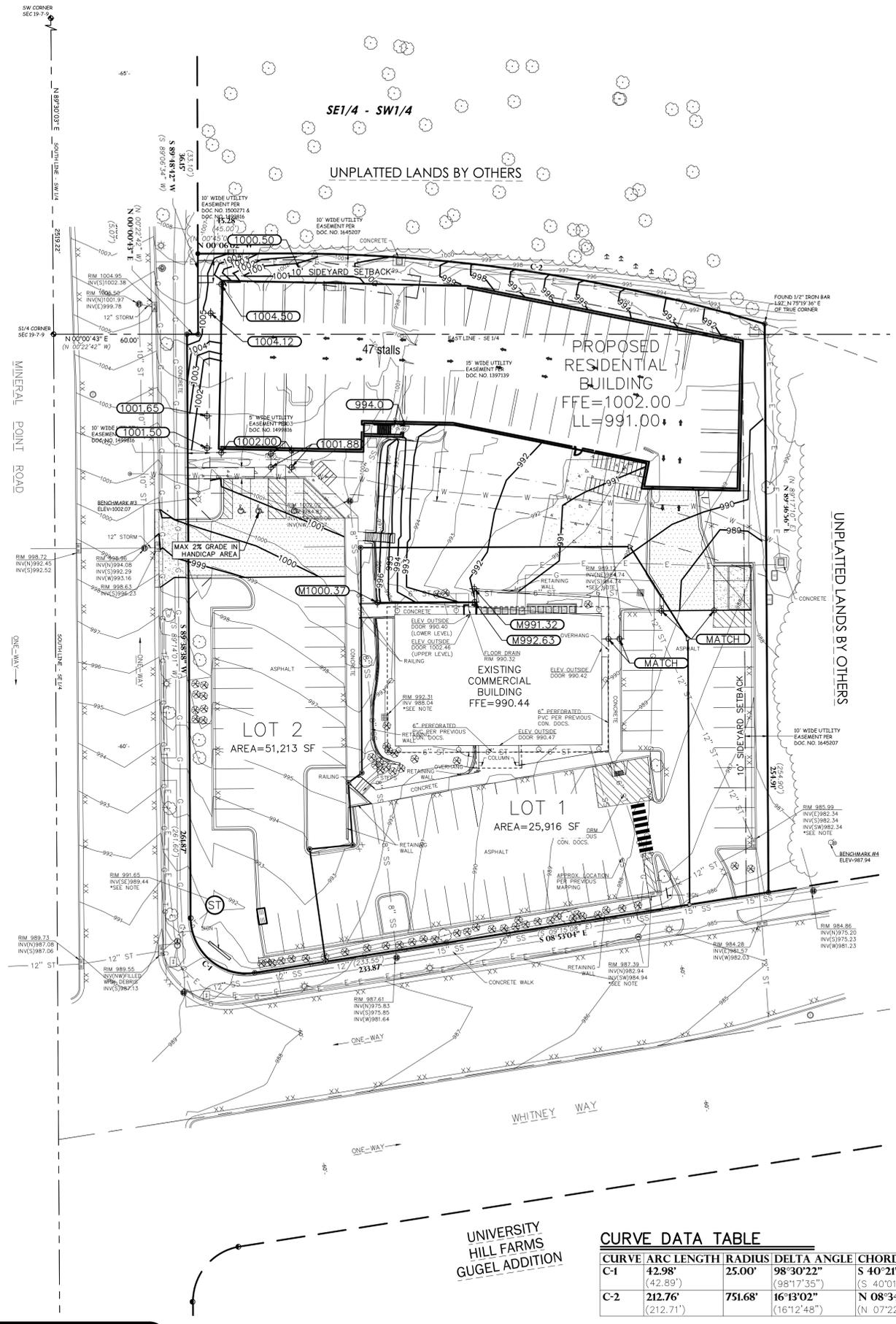
**C3.0**

**GENERAL NOTES:**

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- THE PROPOSED SITE PLAN FINISH FLOOR ELEVATION OF \_\_\_\_\_ EQUALS THE PROPOSED BUILDING ARCHITECTURAL FINISH FLOOR ELEVATION OF 100.00'.
- GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES IN ACCORDANCE WITH LOCAL AUTHORITIES AND THE DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
- 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LAWN AREAS AND 12" SHALL BE PROVIDED IN ALL PLANTING BED AREAS.
- SEE SHEET \_\_\_\_\_ FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- COORDINATE ALL EARTHWORK ACTIVITIES WITH THE RESPECTIVE TRADES RESPONSIBLE FOR THE INSTALLATION OF GAS, CABLE, TELEPHONE AND ELECTRICAL (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE).
- PROVIDE RIP RAP AT PROPOSED CULVERT ENDWALL STRUCTURES TO PREVENT WASHOUT AND EROSION.
- RIP RAP SHALL HAVE WisDOT TYPE HR FILTER FABRIC PLACED BENEATH.
- EXCESS TOPSOIL SHALL BE REMOVED FROM SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER. COORDINATE WITH OWNER FOR LOCATION OF STOCKPILE IF THE OWNER CHOOSES TO SALVAGE EXCESS TOPSOIL FOR FUTURE USE. SILT FENCE SHALL BE PLACED AROUND STOCKPILE.
- THE ENGINEERED SOIL SHALL NOT BE PLACED IN THE BIORETENTION AREAS UNTIL THE SURROUNDING DRAINAGE AREA HAS BEEN FULLY STABILIZED. ALL CONSTRUCTION SITE SEDIMENT SHALL BE REMOVED FROM THE SUBGRADE OF THE BIORETENTION AREA PRIOR TO PLACEMENT OF THE ENGINEERED SOIL.
- TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
- THE LOCAL MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL HAVE HIS TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING. THE LOCAL MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES IF NEEDED.
- GRADES AT BUILDING EDGE SHALL BE 6" BELOW FINISHED FLOOR ELEVATION EXCEPT AT DOOR WAY ENTRANCES OR UNLESS OTHERWISE NOTED.

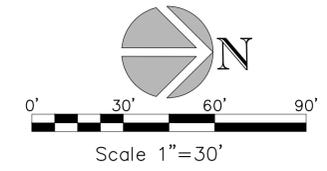
**GRADING LEGEND:**

EXISTING CONTOUR	———— 712 ————
PROPOSED CONTOUR	———— 712 ————
PROPOSED SPOT ELEVATION	⊕ 692.26
PROPOSED ENDWALL INVERT ELEVATION	⊕ INV=892.05
PROPOSED RIM ELEVATION	⊕ RIM=893.56
PROPOSED TOP OF CURB ELEVATION	⊕ TC=893.56
PROPOSED FLOW LINE ELEVATION	⊕ FL=893.56

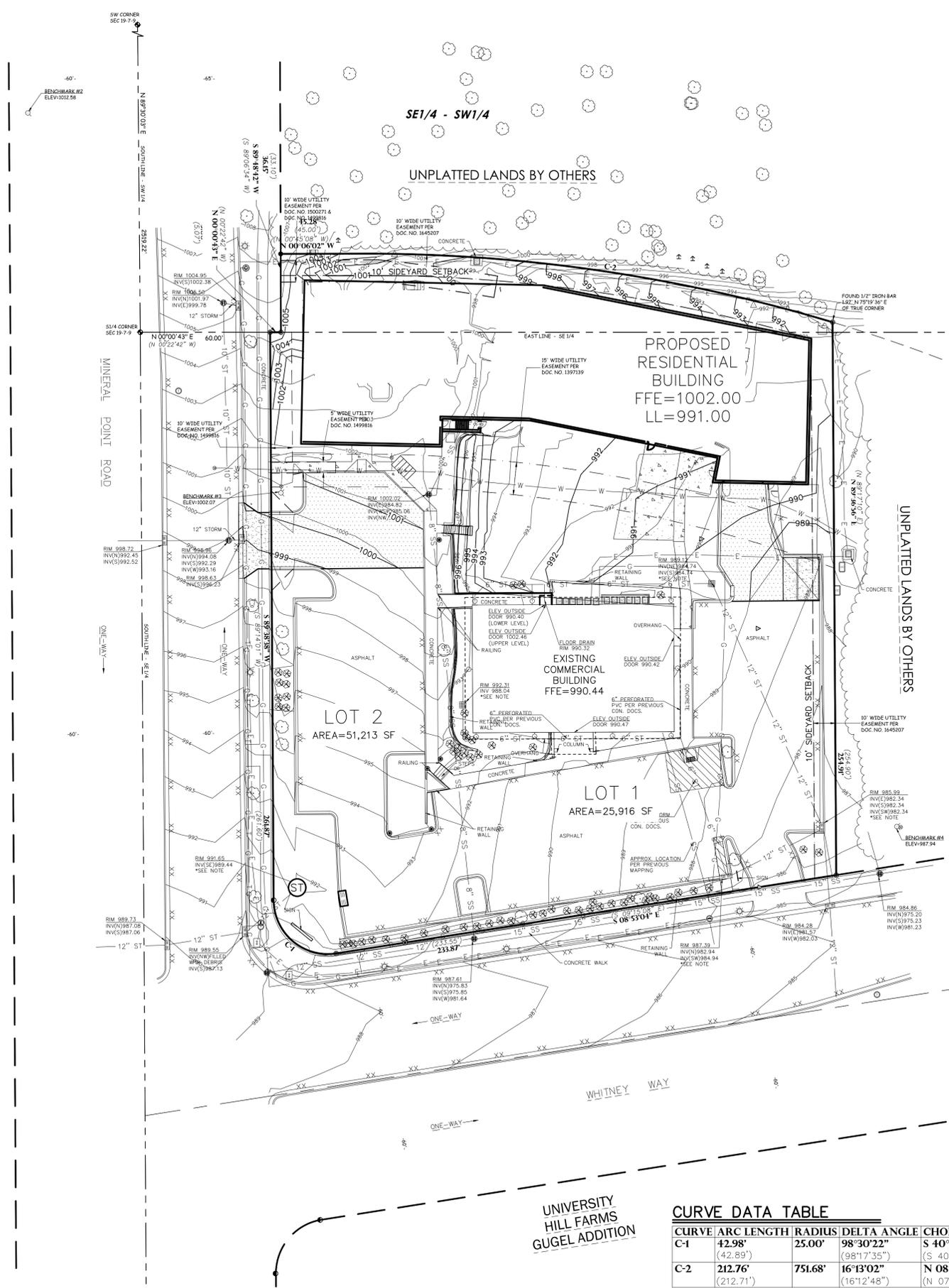


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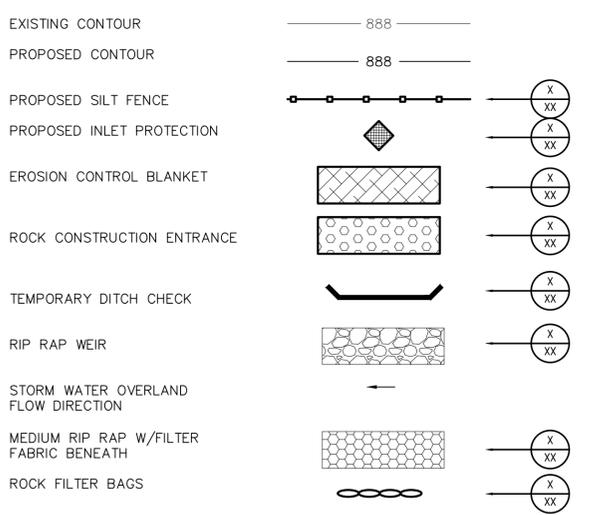
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**GENERAL NOTES:**

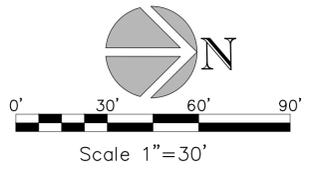
- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- NOTIFY THE LOCAL MUNICIPALITY AT LEAST 2 WORKING DAYS PRIOR TO THE START OF SOIL DISTURBING ACTIVITIES.
- INSTALL ALL TEMPORARY EROSION CONTROL ELEMENTS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE AS TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME. MAINTAIN EXISTING VEGETATION AS LONG AS POSSIBLE.
- CRUSHED ROCK DRIVES FOR SEDIMENT TRACKING UTILIZING 3" CRUSHED ROCK SHALL BE MAINTAINED AT ALL CONSTRUCTION ENTRANCES TO THE SITE. THE ROCK DRIVE SHALL BE A MINIMUM OF 12" THICK AND BE A MINIMUM OF 50 FEET IN LENGTH BY THE WIDTH OF THE DRIVEWAY.
- OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES, INCLUDING SOIL TRACKED BY CONSTRUCTION TRAFFIC, SHALL AT A MINIMUM BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR OTHER DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED IMMEDIATELY. FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM ADJACENT STREETS BY THE USE OF MECHANICAL OR MANUAL SWEEPING OPERATIONS ONCE A WEEK AT A MINIMUM AND BEFORE IMMINENT RAIN EVENTS. DISTURBED GROUND OUTSIDE OF THE EVERYDAY CONSTRUCTION AREAS, INCLUDING SOIL STOCKPILES, THAT IS LEFT INACTIVE FOR MORE THAN 7 DAYS SHALL BE TEMPORARILY STABILIZED BY SEEDING/MULCHING OR OTHER APPROVED METHODS.
- WASTE MATERIAL THAT IS GENERATED ON THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO RUN INTO RECEIVING WATERS.
- EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF EACH WORK DAY.
- INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE A WEEK AND AFTER ANY RAINFALL OF 0.5" OR MORE. MAKE NEEDED REPAIRS AND DOCUMENT ALL ACTIVITIES AS PER THE REQUIREMENTS OF THE NOTICE OF INTENT SUBMITTED BY THE PROJECT CIVIL ENGINEER.
- ALL TEMPORARY EROSION CONTROL ELEMENTS SHALL REMAIN IN PLACE UNTIL A SUFFICIENT GROWTH OF VEGETATION IS ESTABLISHED AND THEN BE REMOVED AS PART OF THE BASE BID.
- IF SEDIMENT LADEN WATER NEEDS TO BE REMOVED FROM THE SITE, FILTER BAGS OR SCREENING SHALL BE USED IN ACCORDANCE WITH WDNr TECHNICAL STANDARD 1061 TO PREVENT SEDIMENT DISCHARGE TO THE MAXIMUM EXTENT PRACTICABLE.
- PROVIDE RIP RAP AT PROPOSED CULVERT ENDWALL STRUCTURES TO PREVENT WASHOUT AND EROSION.
- RIP RAP SHALL HAVE WisDOT TYPE HR FILTER FABRIC PLACED BENEATH.
- IF BARE SOIL IS EXPOSED DURING THE WINTER MONTHS, STABILIZATION BY MULCHING OR ANIONIC POLYACRYLAMIDE SHALL OCCUR PRIOR TO SNOW OR FROZEN GROUND.
- SILT FENCE SHALL BE INSTALLED AROUND THE TOPSOIL STOCKPILE.
- SILT FENCE SHALL BE INSTALLED AROUND THE BIORETENTION AREA IMMEDIATELY FOLLOWING INSTALLATION OF THE ENGINEERED SOIL TO PROTECT IT FROM SILT CONTAMINATION.
- THE ENGINEERED SOIL SHALL NOT BE PLACED IN THE BIORETENTION AREAS UNTIL THE SURROUNDING DRAINAGE AREA HAS BEEN FULLY STABILIZED. ALL CONSTRUCTION SITE SEDIMENT SHALL BE REMOVED FROM THE SUBGRADE OF THE BIORETENTION AREA PRIOR TO PLACEMENT OF THE ENGINEERED SOIL.
- THE CONTRACTOR SHALL PERFORM INSPECTIONS AND MONITORING OF EROSION CONTROL PRACTICES IN ACCORDANCE WITH THE WDNr "CONSTRUCTION SITE INSPECTION REPORT" FORM 3400-187. THIS FORM CAN BE FOUND IN THE CONSTRUCTION SPECIFICATIONS.

**EROSION CONTROL LEGEND:**



**EROSION CONTROL SEQUENCING**

- INSTALL PERIMETER EROSION CONTROL
- EXCAVATE A TEMPORARY SEDIMENT TRAP AT THE PROPOSED BIO-RETENTION AREA IN ACCORDANCE WITH DNR TECHNICAL STANDARD 1063
  - SEDIMENT TRAP BOTTOM BASIN ELEVATION SHALL BE \_\_\_\_\_
  - INSTALL STONE OUTLET/OVERFLOW WEIR PER GRADING PLAN DETAIL \_\_\_\_\_
  - EXCAVATE SWALES NORTH AND EAST FROM THE BASIN TO DIRECT AND MAXIMIZE STORMWATER RUNOFF TO THIS BASIN DURING CONSTRUCTION
- BEGIN DEMOLITION
- BEGIN ROUGH GRADING AND UTILITY INSTALLATION
- DURING GRADING ACTIVITIES EXISTING GRASS AND VEGETATION, TO BE REMOVED, SHALL REMAIN IN PLACE FOR AS LONG AS POSSIBLE, TO AVOID SEDIMENT TRANSPORT.
- TEMPORARY STABILIZATION ACTIVITY SHALL COMMENCE WHEN LAND DISTURBING CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
- FINAL STABILIZATION ACTIVITY SHALL COMMENCE WHEN LAND DISTURBING ACTIVITIES CEASE AND FINAL GRADE HAS BEEN REACHED ON ANY PORTION OF THE SITE.
- PER GENERAL NOTE #20, THE SEDIMENT TRAP SHALL BE RECONSTRUCTED INTO THE PROPOSED BIO-RETENTION AREA AFTER THE SURROUNDING AREA HAS BEEN FULLY STABILIZED.
  - ANY CONSTRUCTION SITE SEDIMENT BUILD UP SHALL BE REMOVED FROM THE PROPOSED BIO-RETENTION BASIN BEFORE EXCAVATION TO THE FINAL DEPTH AND INSTALLATION OF THE ENGINEERED SOIL.
- IF DISTURBED AREAS MUST BE LEFT OVER WINTER, AN ANIONIC POLYACRYLAMIDE SHALL BE APPLIED TO ALL DISTURBED AREAS PRIOR TO GROUND FREEZE. SEE SPECIFICATIONS FOR DETAILS.



REVISIONS

1	3/5/2019
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CHECKED: ACG  
DRAWN: JHB  
DATE: 2/5/19  
PROJECT NO. 18.141

**EROSION CONTROL PLAN**

**TRI-NORTH BUILDERS  
WHITNEY POINT APARTMENTS  
CITY OF MADISON  
DANE COUNTY, WISCONSIN**

Civil Engineering  
Land Surveying  
Landscape Architecture  
5709 Windy Drive, Suite D  
Stevens Point, WI 54482  
715.344.9999 [P] 715.344.9922 [F]

**POB** Point of Beginning

**C4.0**

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**UTILITY PLAN**

**TRI-NORTH BUILDERS  
WHITNEY POINT APARTMENTS  
CITY OF MADISON  
DANE COUNTY, WISCONSIN**

Civil Engineering  
Land Surveying  
Landscape Architecture  
5709 Windy Drive, Suite D  
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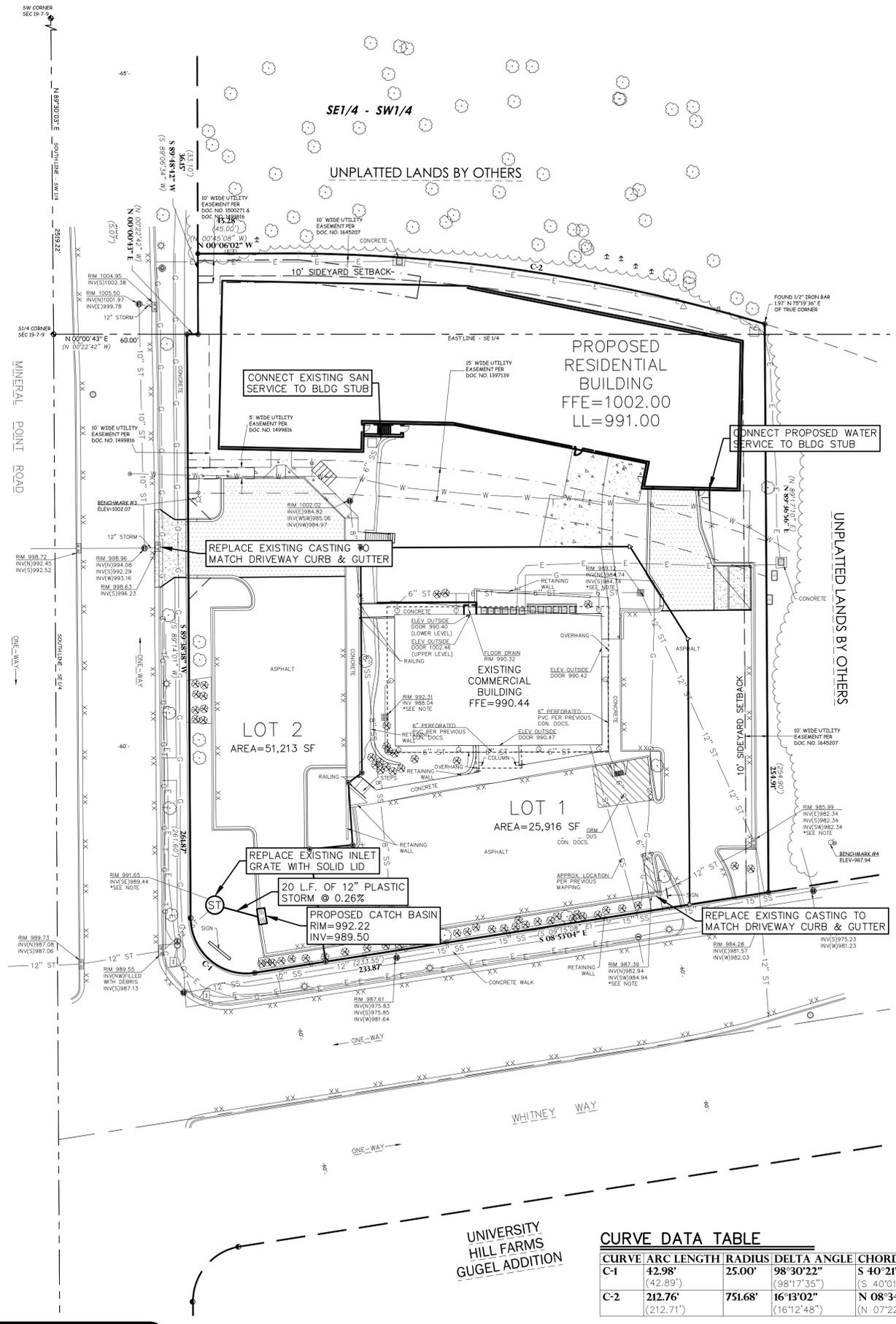
**C5.0**

**GENERAL NOTES:**

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- GRADE, LINE, AND LEVEL SHALL BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR.
- VERIFY EXACT SANITARY SEWER/WATER LATERAL CONNECTION LOCATIONS AND SIZES WITH THE BUILDING MECHANICAL/PLUMBING PLANS.
- COORDINATE ALL UTILITY WORK WITH THE RESPECTIVE TRADES RESPONSIBLE FOR THE INSTALLATION OF GAS, CABLE, TELEPHONE AND ELECTRICAL (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE).
- COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAY WITH THE LOCAL MUNICIPALITY.
- TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
- THE PROPOSED WATER MAIN/LATERAL SHALL HAVE A MINIMUM COVER OF 7'-6" FROM TOP OF PIPE TO PROPOSED FINISHED GRADES, SEE SHEET \_\_\_\_\_ FOR PROPOSED GRADES.
- THE MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY AND PRIOR TO CONNECTING SANITARY SEWER AND WATER LATERALS TO THE PUBLIC MAINS. THE CONTRACTOR SHALL HAVE A TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING. THE MUNICIPALITY SHALL OPERATE EXISTING WATER VALVES, IF NEEDED.
- CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, INSTALLATION AND PERMITTING OF THE WELL.
- FIELD VERIFY INVERT ELEVATION OF THE SANITARY SEWER AND WATER PUBLIC MAIN AT THE LOCATION OF THE SERVICE LATERAL CONNECTIONS, PRIOR TO CONNECTING THE LATERALS TO THE PUBLIC MAIN.
- PROVIDE RIP RAP AT PROPOSED CULVERT ENDWALL STRUCTURES TO PREVENT WASHOUT AND EROSION.
- RIP RAP SHALL HAVE WisDOT TYPE HR FILTER FABRIC PLACED BENEATH.

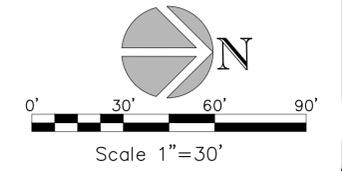
**UTILITY LEGEND:**

- PROPOSED STORM SEWER  X"ST
- PROPOSED STORM SEWER MANHOLE
- PROPOSED CURB BOX INLET



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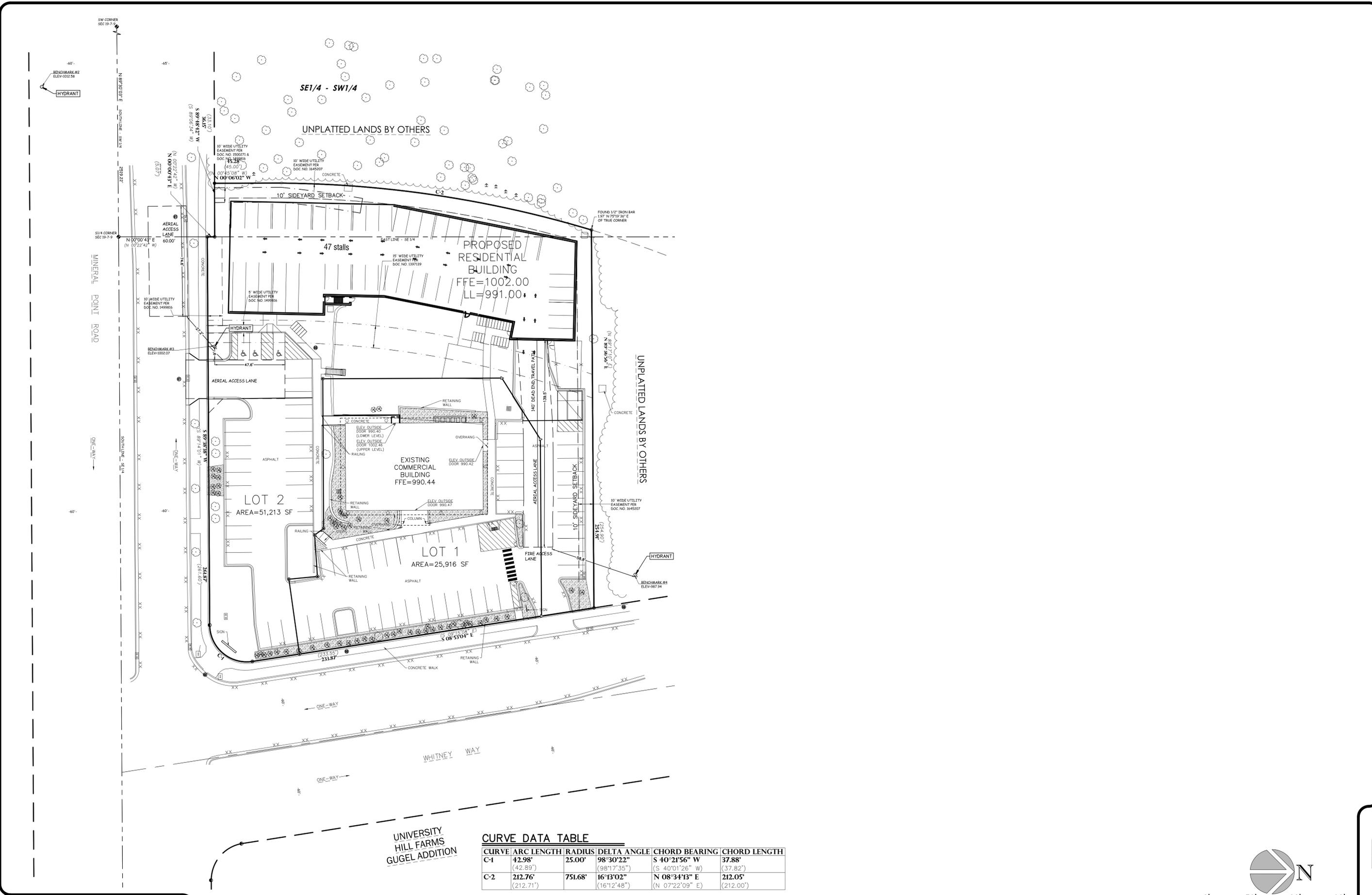
**FIRE ACCESS PLAN**

**TRI-NORTH BUILDERS  
WHITNEY POINT APARTMENTS  
CITY OF MADISON  
DANE COUNTY, WISCONSIN**

Civil Engineering  
Land Surveying  
Landscape Architecture  
5709 Windy Drive, Suite D  
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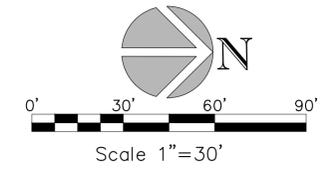


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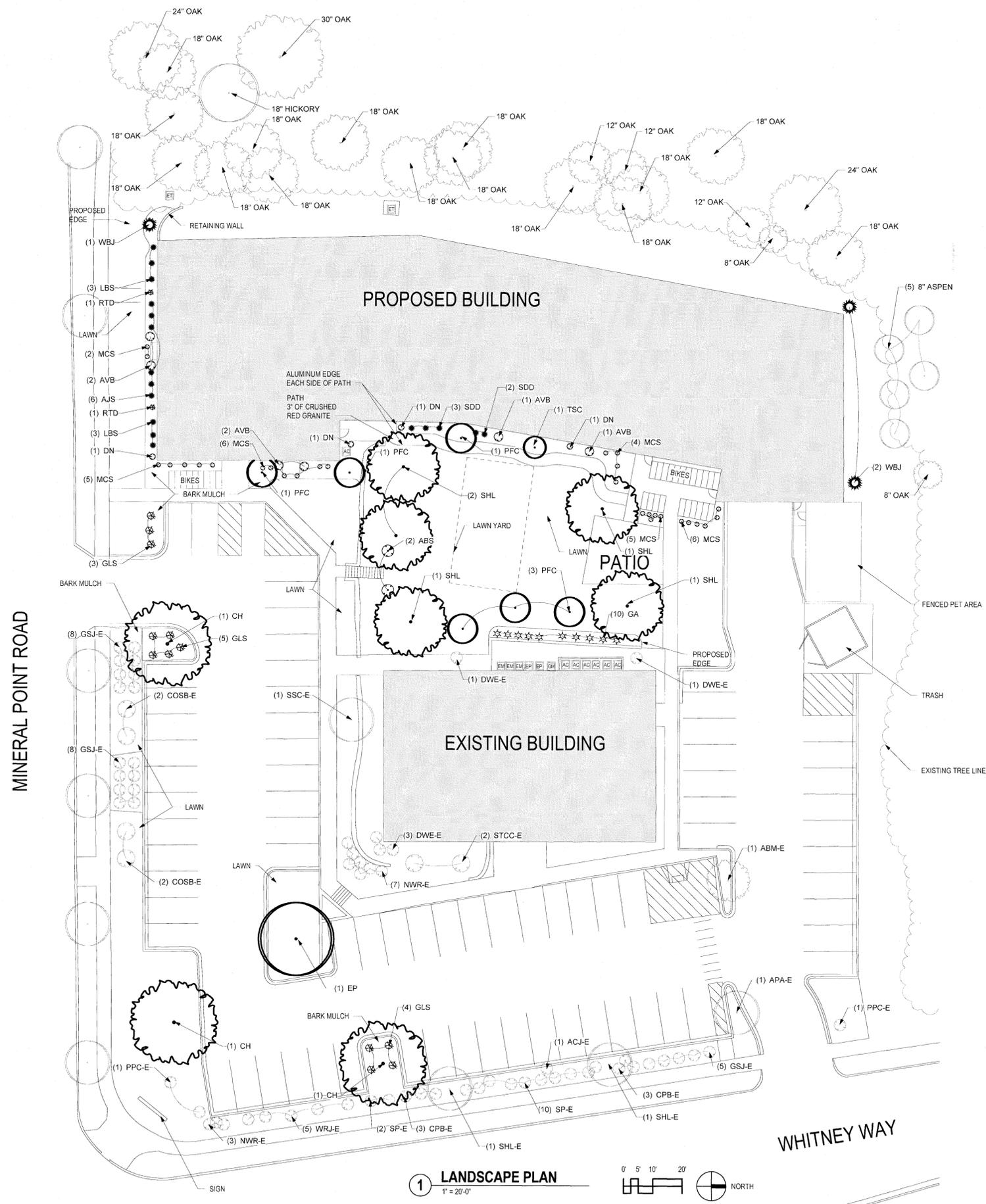
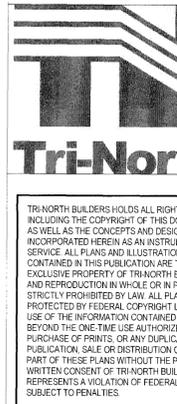


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1 LANDSCAPE PLAN  
1" = 20'-0"

**PLANT LIST**

KEY	SIZE	QUANTITY	COMMON NAME	BOTANICAL NAME	ROOT
<b>CANOPY TREES</b>					
CH	2 1/2"	3	COMMON HACKBERRY	CELTIS OCCIDENTALIS	BB
EP	2 1/2"	1	EXCLAMATION PLANETREE	PLATANUS	BB
SHL	2 1/2"	5	SKYLINE HONEYLOCUST	GLEDITSIA TRICANTHOS	BB
<b>DECIDUOUS SHRUBS</b>					
ABS	4"	2	A B SERVICEBERRY	AMELANCHIER GRANDIFLORA 'A B'	BB
AVB	36"	6	ARROWOOD VIBURNUM	VIBURNUM DENTATUM	POT
DN	24"	4	DIABLO NINEBARK	PHYSCARPUS	POT
GLS	18"	12	GRO LOW SUMAC	RHUS AROMATICA	POT
MCS	18"	28	MAGIC CARPET SPIREA	SPIREA JAPONICA 'MAGIC CARPET'	POT
RTD	24"	2	BAILEY'S RED DOGWOOD	CORNUS	POT
<b>EVERGREEN SHRUBS</b>					
GA	3"	10	GLOBE ARBORVITAE	THUJA OCCIDENTALIS 'WOODWARD'	BB
WBJ	5"	3	WICHITA BLUE JUNIPER	THUJA	BB
<b>ORNAMENTAL TREES</b>					
PFC	2"	6	PRAIRIE FIRE CRAB	MALUS 'PRAIRIE FIRE'	BB
TSC	2"	1	TINA SARGENT CRAB	TINA MALUS SARGENTII 'TINA'	BB
<b>PERENNIALS</b>					
AJS	1 G	6	AUTUMN JOY SEDUM		CON
LBS	1 G	6	LITTLE BLUESTEM GRASS		CON
SDD	1 G	5	STELLA DE ORO DAY LILY		CON

- NOTES:
- Lawn areas to receive a minimum of 4" of topsoil, starter fertilizer, and # 1 locally grown bluegrass sod.
  - Foundation planting beds to be mulched with shredded hardwood bark spread to a depth of 3".
  - Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch spread to a depth of 3".
  - Designated planting beds to be separated from lawn areas with 5" black vinyl bed edging.
  - Owner will be responsible for maintenance after completion and acceptance.

**EXISTING PLANT LIST**

KEY	SIZE	QUANTITY	COMMON NAME	ROOT
<b>CANOPY TREES</b>				
ABM-E	12" +	1	AUTUMN BLAZE MAPLE	EX
APA-E	12" +	1	AUTUMN PURPLE WHITE ASH	EX
SHL-E	12" +	2	SKYLINE HONEYLOCUST	EX
<b>DECIDUOUS SHRUBS</b>				
CPB-E	24" +	6	CRIMSON PYGMY BARBERRY	EX
DWE-E	48" +	5	DWARF WINGED EUONYMUS	EX
NWR-E	24" +	10	NEARLY WILD ROSE	EX
SP-E	24" +	12	SNOW MOUND SPIREA	EX
<b>EVERGREEN SHRUBS</b>				
ACJ-E	24" +	1	ANDORRA COMPACT JUNIPER	EX
GSJ-E	24" +	21	GREEN SARGENT JUNIPER	EX
WRJ-E	24" +	5	WEBBER JUNIPER	EX
<b>ORNAMENTAL TREES</b>				
COSB-E	6" +	4	COLE SERVICEBERRY	EX
PPC-E	6" +	3	PINK PRINCESS CRABAPPLE	EX
SSC-E	6" +	1	SPRING SNOW CRABAPPLE	EX
STCC-E	6" +	2	SARGENT CRABAPPLE	EX

LANDSCAPE WORKSHEET		Whitney Point
<b>Landscape Points Required</b>		
Developed Area =	20,945 SF	
Landscape Points: 20,945 / 300 x 5 =	349 points	
<b>Total Landscape Points Required</b>		
349 points		
<b>Landscape Points Supplied</b>		
Existing canopy trees - 4 @ 35 =	140 points	
Proposed canopy trees - 9 @ 35 =	315 points	
Existing evergreen trees - 0 @ 35 =	0 points	
Proposed evergreen trees - 0 @ 35 =	0 points	
Existing ornamental trees - 10 @ 15 =	150 points	
Proposed ornamental trees - 4 @ 15 =	60 points	
Existing upright evergreen shrubs - 0 @ 10 =	0 points	
Proposed upright evergreen shrubs - 0 @ 10 =	0 points	
Existing deciduous shrubs - 37 @ 3 =	111 points	
Proposed deciduous shrubs - 37 @ 3 =	111 points	
Existing evergreen shrubs - 29 @ 4 =	116 points	
Proposed evergreen shrubs - 15 @ 4 =	60 points	
Existing perennials & grasses 0 @ 2 =	0 points	
Proposed perennials & grasses 34 @ 2 =	68 points	
<b>Total landscape points supplied =</b>	<b>1,229 points</b>	
<b>Lot Frontage Landscape Required</b>		
(Section 28.14(2)(5) Development Frontage Landscaping)		
*One (1) over-story deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) over-story deciduous tree.*		
<b>Mineral Point Road/Whitney Way =</b>		
560 LF		
Over story trees required 560/30 = 18.6		
Shrubs required (560/30) x 5 = 26.6		
Over story trees supplied	19 trees	
Ornamental/Evergreen trees supplied	93 shrubs	
Shrubs supplied	14 trees	
	10 trees	
	90 shrubs	

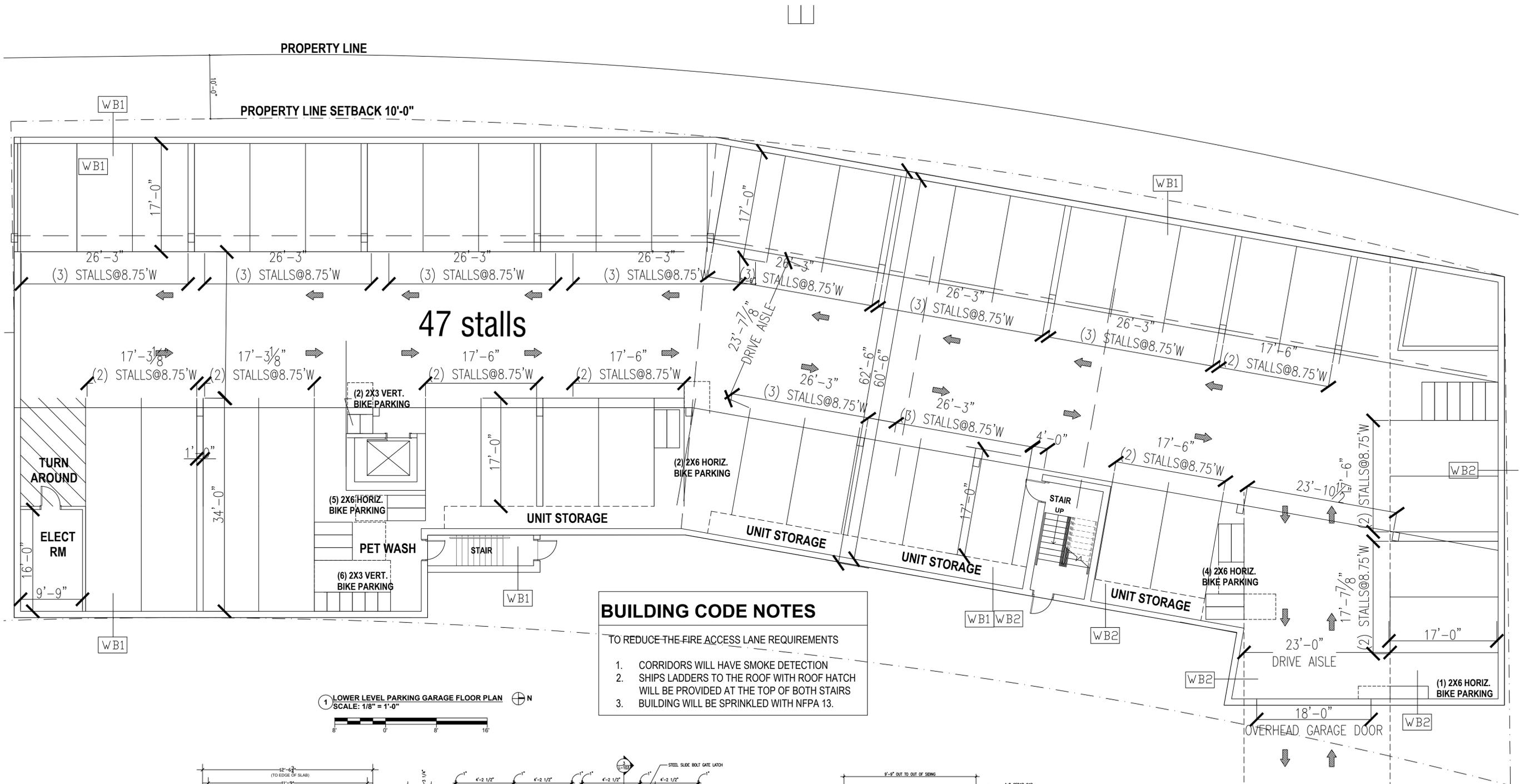


PROJECT:  
WHITNEY POINT APARTMENTS  
5402 S. WHITNEY WAY  
MADISON, WI 53705

TITLE:  
LANDSCAPE PLAN

DRAWN BY: TMT  
PROJECT NO. 18001-025  
CHECKED BY:  
DATE: 03/05/19

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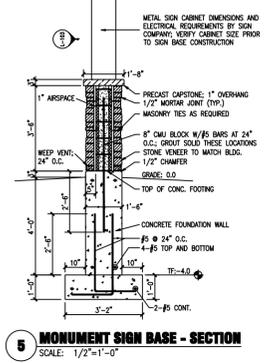
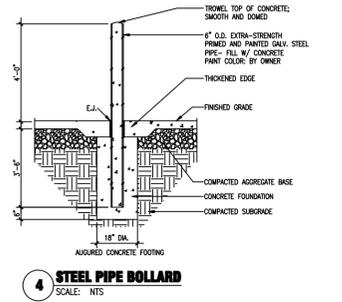
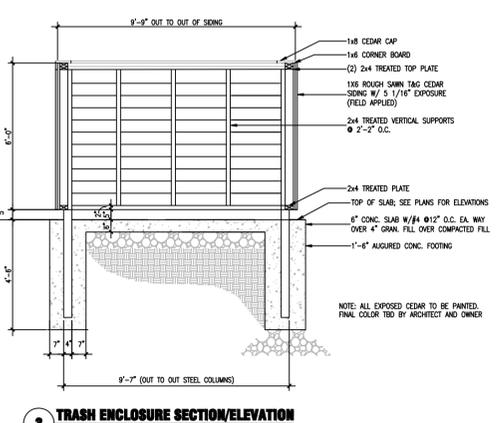
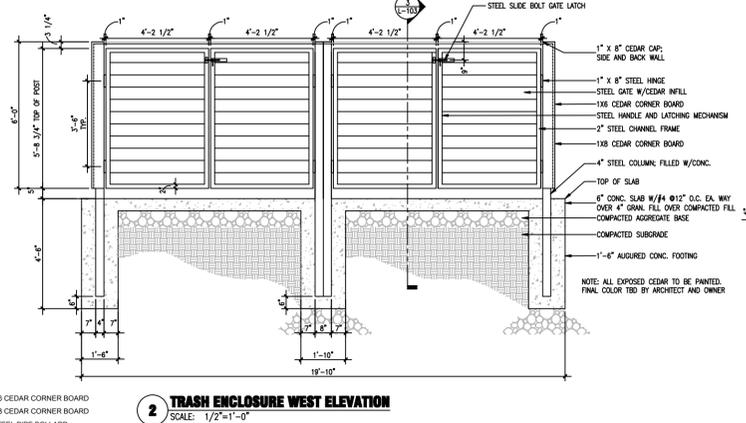
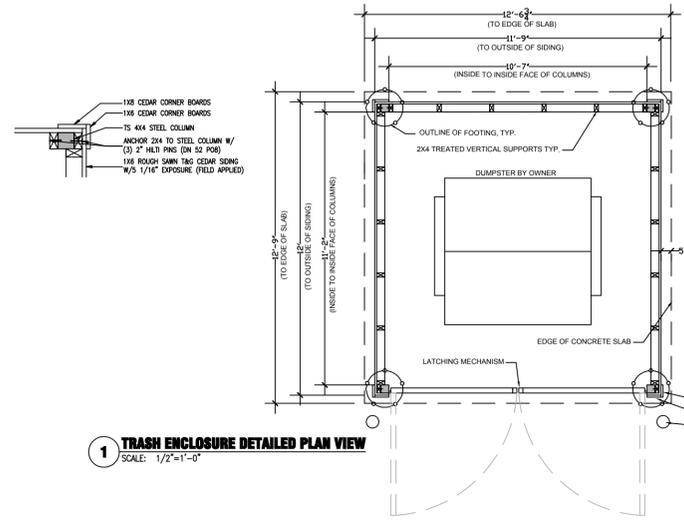


**BUILDING CODE NOTES**

TO REDUCE THE FIRE ACCESS LANE REQUIREMENTS

1. CORRIDORS WILL HAVE SMOKE DETECTION
2. SHIPS LADDERS TO THE ROOF WITH ROOF HATCH WILL BE PROVIDED AT THE TOP OF BOTH STAIRS
3. BUILDING WILL BE SPRINKLED WITH NFPA 13.

**1 LOWER LEVEL PARKING GARAGE FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
N

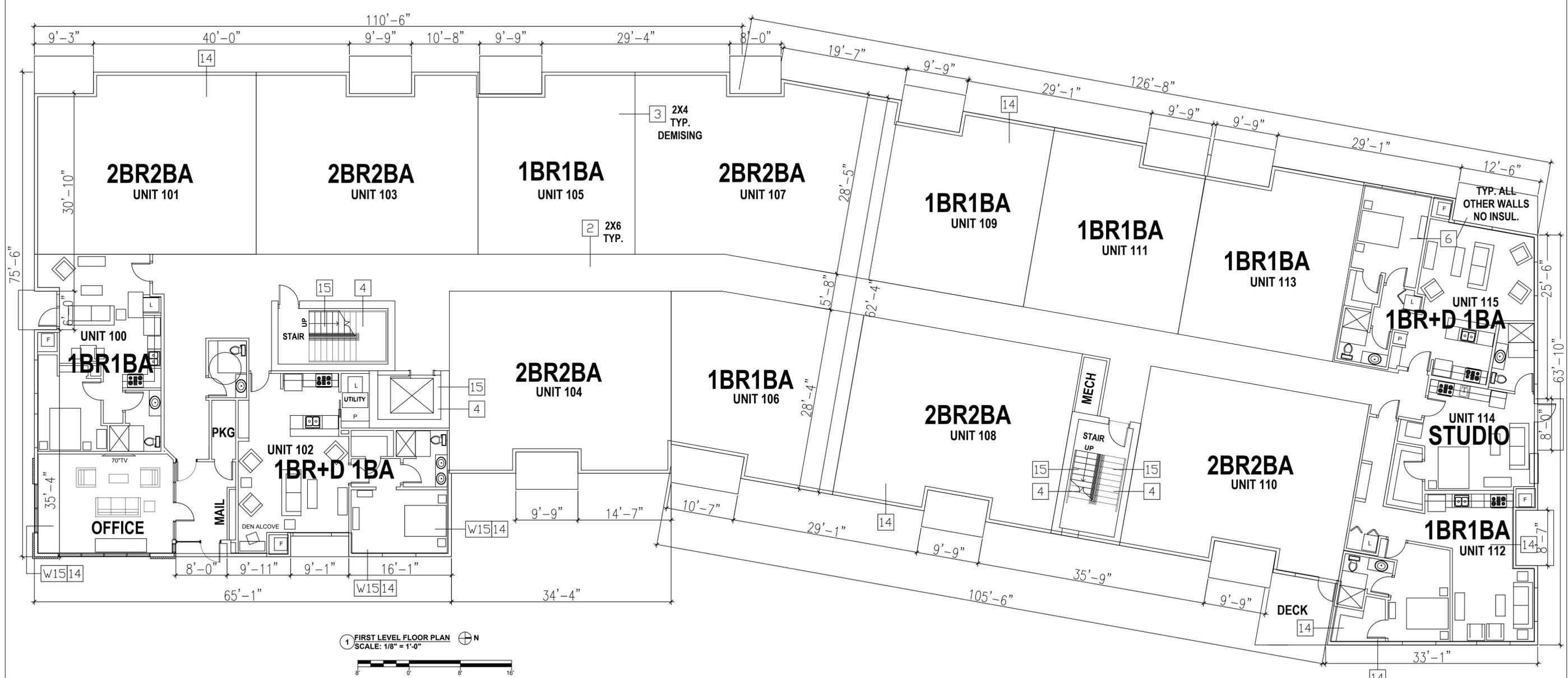


PROJECT:  
WHITNEY POINT APARTMENTS  
5402 S. WHITNEY WAY  
MADISON, WI 53705

TITLE:  
**LOWER LEVEL PARKING GARAGE FLOOR PLAN**

DRAWN BY: TMT  
PROJECT NO: 18001-025  
CHECKED BY: SH  
DATE: 02/05/2019

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1 FIRST LEVEL FLOOR PLAN  
SCALE: 1/8" = 1'-0"

**BUILDING CODE NOTES**

TO REDUCE THE FIRE ACCESS LANE REQUIREMENTS

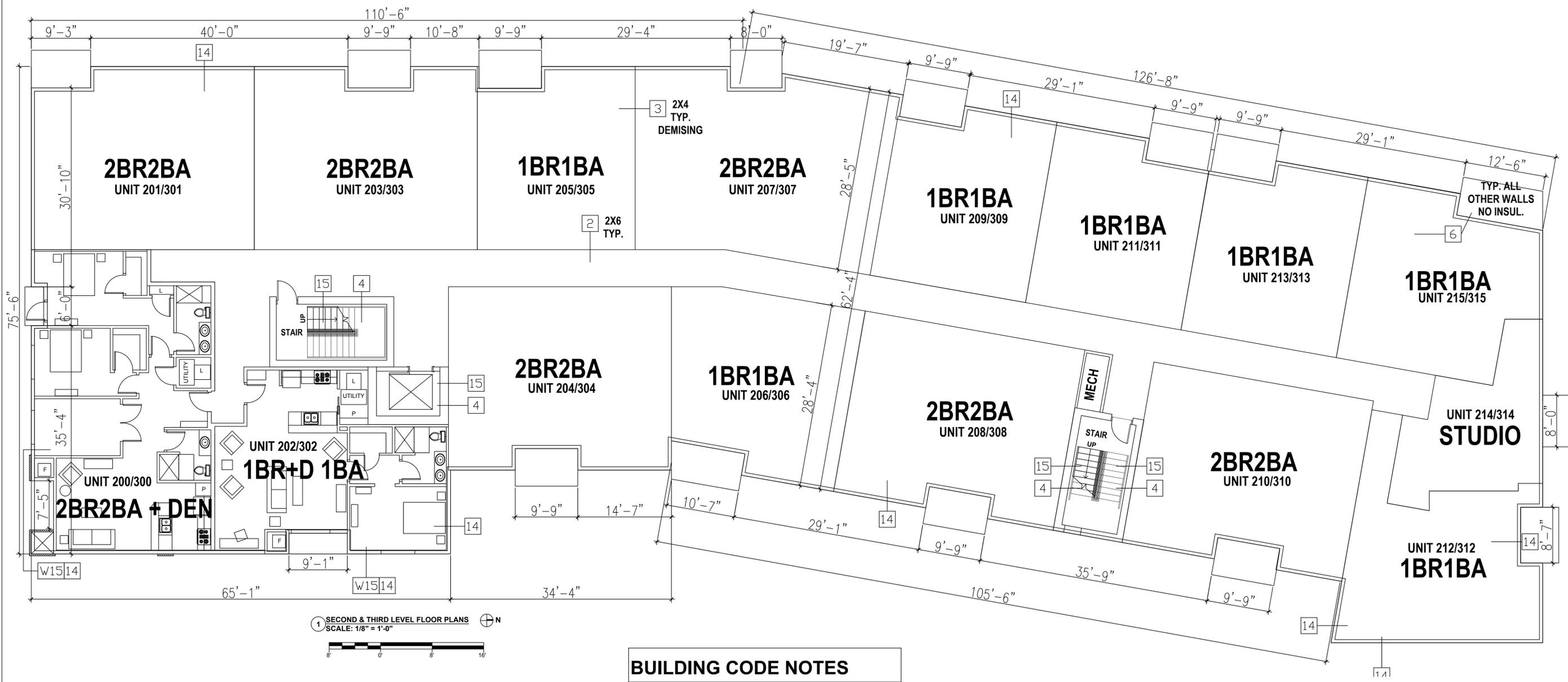
1. CORRIDORS WILL HAVE SMOKE DETECTION
2. SHIPS LADDERS TO THE ROOF WITH ROOF HATCH WILL BE PROVIDED AT THE TOP OF BOTH STAIRS
3. BUILDING WILL BE SPRINKLED WITH NFPA 13.

PROJECT:  
WHITNEY POINT APARTMENTS  
5402 S. WHITNEY WAY  
MADISON, WI 53705

TITLE:  
FIRST LEVEL  
FLOOR PLAN

DRAWN BY: TMT    CHECKED BY: SH  
PROJECT NO: 18001-025    DATE: 02/05/2019

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1 SECOND & THIRD LEVEL FLOOR PLANS  
SCALE: 1/8" = 1'-0"

**BUILDING CODE NOTES**

TO REDUCE THE FIRE ACCESS LANE REQUIREMENTS

1. CORRIDORS WILL HAVE SMOKE DETECTION
2. SHIPS LADDERS TO THE ROOF WITH ROOF HATCH WILL BE PROVIDED AT THE TOP OF BOTH STAIRS
3. BUILDING WILL BE SPRINKLED WITH NFPA 13.

PROJECT:  
WHITNEY POINT APARTMENTS  
5402 S. WHITNEY WAY  
MADISON, WI 53705

TITLE:  
SECOND & THIRD LEVEL  
FLOOR PLANS

DRAWN BY: TMT      CHECKED BY: SH  
PROJECT NO: 18001-025      DATE: 02/05/2019



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PROJECT:  
WHITNEY POINT APARTMENTS  
5402 S. WHITNEY WAY  
MADISON, WI 53705

TITLE:  
EXTERIOR ELEVATIONS

DRAWN BY: TMT      CHECKED BY: SH  
PROJECT NO: 18001-025      DATE: 02/05/2019



1 EAST EXTERIOR ELEVATION  
SCALE: 3/32"=1'-0"



2 NORTH EXTERIOR ELEVATION  
SCALE: 3/32"=1'-0"



3 SOUTH EXTERIOR ELEVATION  
SCALE: 3/32"=1'-0"



4 WEST EXTERIOR ELEVATION  
SCALE: 3/32"=1'-0"

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PROJECT:  
WHITNEY POINT APARTMENTS  
5402 S. WHITNEY WAY  
MADISON, WI 53705

TITLE:  
EXTERIOR ELEVATIONS

DRAWN BY: TMT      CHECKED BY: SH  
PROJECT NO: 18001-025      DATE: 02/05/2019



1 EAST EXTERIOR ELEVATION  
SCALE: 3/32"=1'-0"



2 NORTH EXTERIOR ELEVATION  
SCALE: 3/32"=1'-0"



3 SOUTH EXTERIOR ELEVATION  
SCALE: 3/32"=1'-0"



4 WEST EXTERIOR ELEVATION  
SCALE: 3/32"=1'-0"

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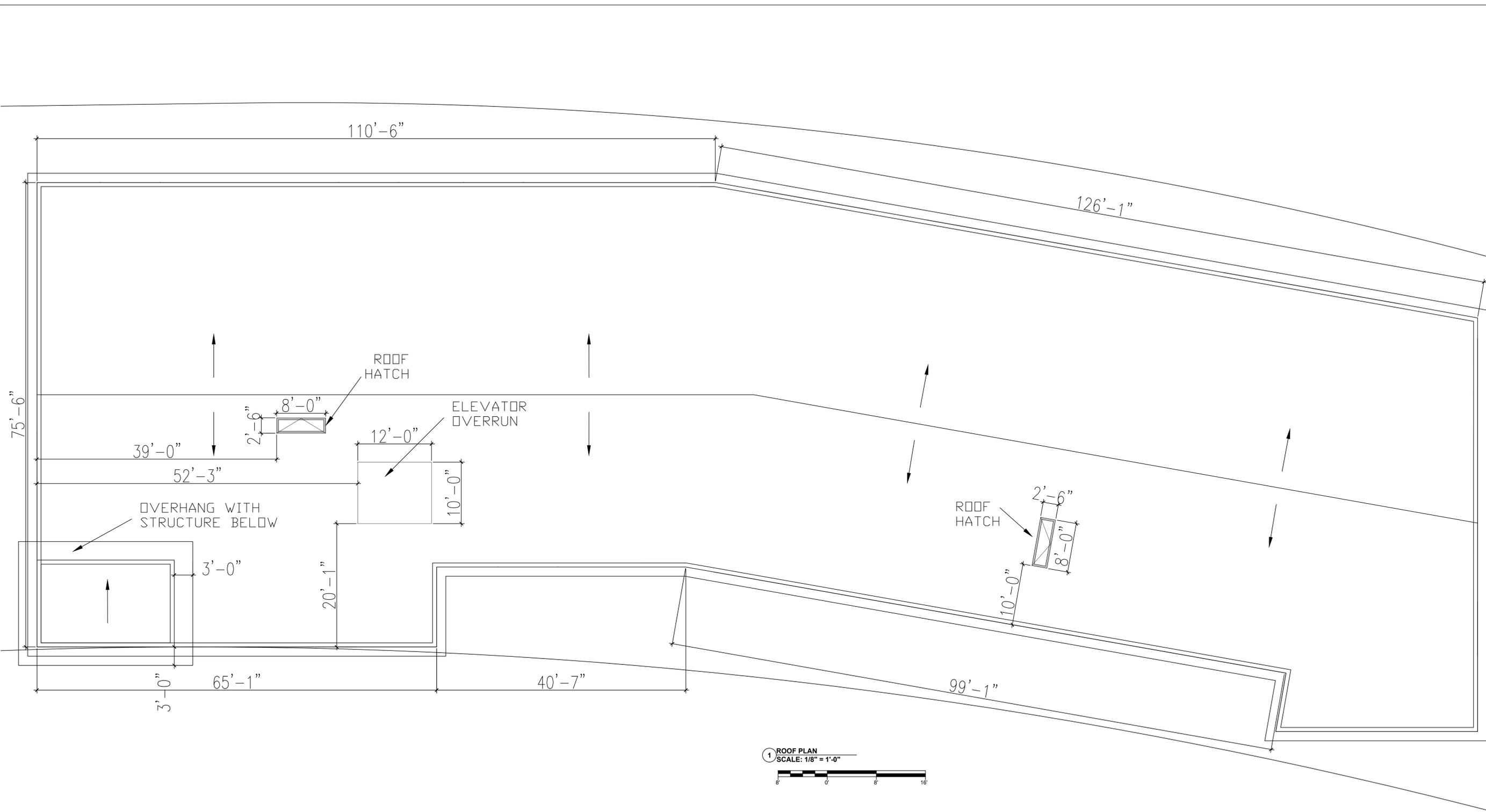
PROJECT:  
WHITNEY POINT APARTMENTS  
5402 S. WHITNEY WAY  
MADISON, WI 53705

TITLE:  
ENLARGED 3D  
RENDERINGS

DRAWN BY: TMT      CHECKED BY: SH  
PROJECT NO: 18001-025      DATE: 02/05/2019

**A-105A**

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1 ROOF PLAN  
SCALE: 1/8" = 1'-0"



**BUILDING CODE NOTES**

TO REDUCE THE FIRE ACCESS LANE REQUIREMENTS

1. CORRIDORS WILL HAVE SMOKE DETECTION
2. SHIPS LADDERS TO THE ROOF WITH ROOF HATCH WILL BE PROVIDED AT THE TOP OF BOTH STAIRS
3. BUILDING WILL BE SPRINKLED WITH NFPA 13.

PROJECT:  
WHITNEY POINT APARTMENTS  
5402 S. WHITNEY WAY  
MADISON, WI 53705

TITLE:  
**ROOF PLAN**

DRAWN BY: TMT      CHECKED BY: SH  
PROJECT NO: 18001-025      DATE: 02/05/2019

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PROJECT:  
WHITNEY POINT APARTMENTS  
5402 S. WHITNEY WAY  
MADISON, WI 53705

TITLE:  
EXTERIOR RENDERING

DRAWN BY: TMT	CHECKED BY: SH
PROJECT NO: 18001-025	DATE: 02/05/2019

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1 EXISTING BUILDING- 330 EAST ELEVATION IMAGE  
SCALE: NOT TO SCALE



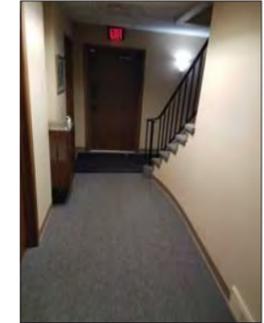
2 EXISTING BUILDING- 330 WEST ELEVATION IMAGE  
SCALE: NOT TO SCALE



4 EXISTING BUILDING- 330 SOUTH ELEVATION IMAGE  
SCALE: NOT TO SCALE



3 EXISTING BUILDING- 330 INTERIOR IMAGE  
SCALE: NOT TO SCALE



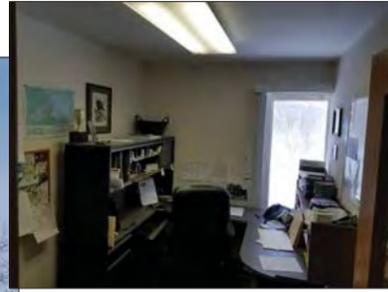
5 EXISTING BUILDING- 330 INTERIOR IMAGE  
SCALE: NOT TO SCALE



6 EXISTING BUILDING- 330 EAST IMAGE  
SCALE: NOT TO SCALE



7 EXISTING BUILDING- 5402 EAST ELEVATION IMAGE  
SCALE: NOT TO SCALE



8 EXISTING BUILDING- 5402 INTERIOR IMAGE  
SCALE: NOT TO SCALE



9 EXISTING BUILDING- 5402 INTERIOR IMAGE  
SCALE: NOT TO SCALE



10 EXISTING BUILDING- 5402 WEST ELEVATION IMAGE  
SCALE: NOT TO SCALE



11 EXISTING BUILDING- 340 EAST ELEVATION IMAGE  
SCALE: NOT TO SCALE



12 EXISTING BUILDING- 340 WEST ELEVATION  
SCALE: NOT TO SCALE



13 EXISTING BUILDING- 340 SOUTH ELEVATION IMAGE  
SCALE: NOT TO SCALE

PROJECT:  
WHITNEY POINT APARTMENTS  
5402 S. WHITNEY WAY  
MADISON, WI 53705

TITLE:  
EXISTING EXTERIOR  
BUILDING IMAGES

DRAWN BY: TMT | CHECKED BY: SH  
PROJECT NO: 18001-025 | DATE: 02/05/2019

WHITNEY POINT  
REDEVELOPMENT -  
POTENTIAL PHASE 2  
MAR 25, 2019 1"=30'

WHITNEY POINT PHASE 2						3/25/19	
	PARKING		COMMERCIAL	APARTMENTS			
	STALLS	SF	SF	UNITS	SF		
PARKING LEVEL -1	95	30,430	8,250				
PARKING LEVEL -2	62	26,830		8	8,200		
3rd FLOOR				24	25,100		
4th FLOOR				24	25,100		
5th FLOOR				24	25,100		
6th FLOOR				24	25,100		
ROOF TOP (STAIRS,ELEV,DECK,RAILS)						3,000	
TOTAL UNITS / SF	157	57,260	8,250	104	111,600		
ADD PHASE 1	48	15,690		48	46,080		
TOTAL BOTH PHASES	205	72,950	8,250	152	157,680		
LOT AREA	77,120	SF		85.9	UNITS/AC		
	1.77	ACRES					
COMP PLAN MAX				130	UNITS/AC		
				230 UNITS MAX			
OPEN SPACE:				REQ'D	ACTUAL		
TSS - PER UNIT			60	9,120	13,500		
MIXED USE CENTER			40	6,080	13,500		



20-24  
RETAIL  
STALLS

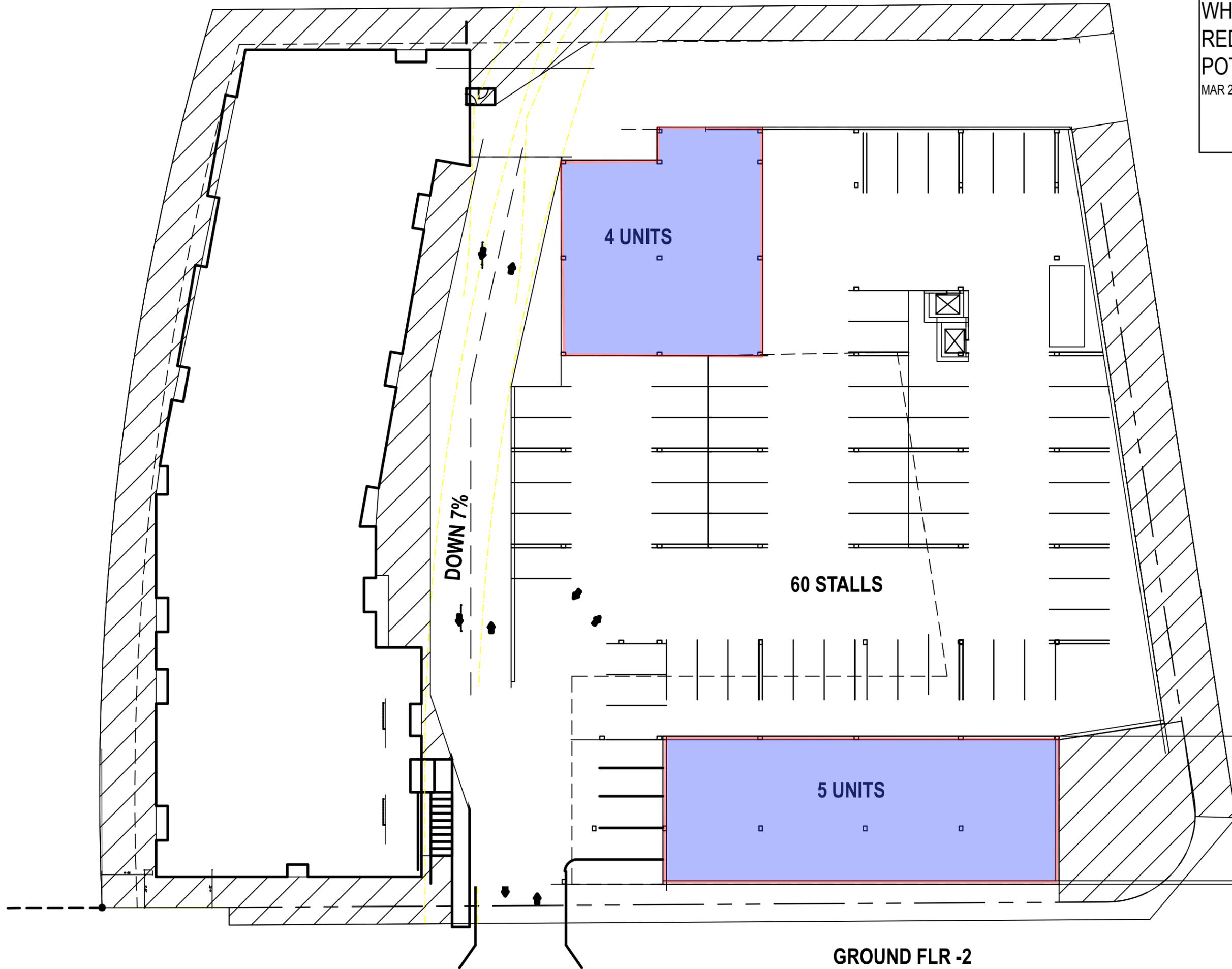
COMMERCIAL  
8,250SF

95 STALLS

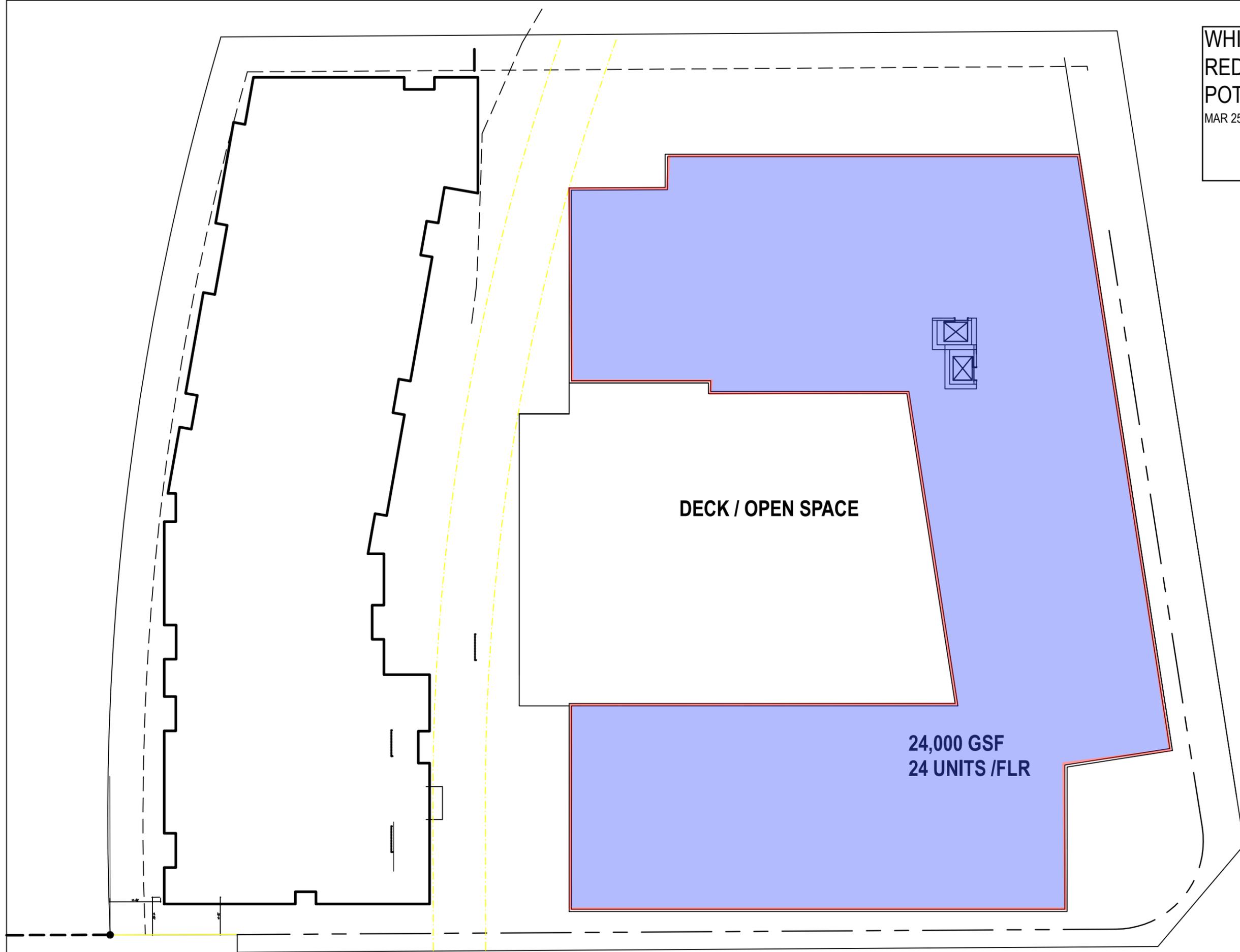
GROUND FLR -1

WHITNEY POINT  
REDEVELOPMENT -  
POTENTIAL PHASE 2

MAR 25, 2019 1"=30'



GROUND FLR -2



DECK / OPEN SPACE

24,000 GSF  
24 UNITS /FLR

FLRS 3-6