



City of Madison

Proposed Rezoning and Preliminary and Final Plat

Project Name
The Turn at Cherokee

Location
5204 North Sherman Avenue

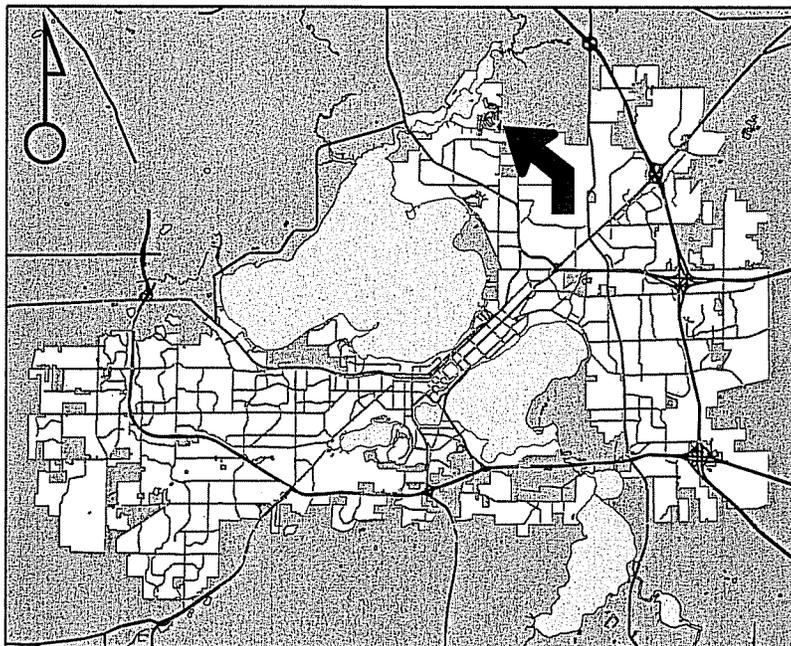
Applicant
Dennis Tiziani-Cherokee Park, Inc/
Scott Anderson-Snyder & Associates

From: Temp A To: SR-C3

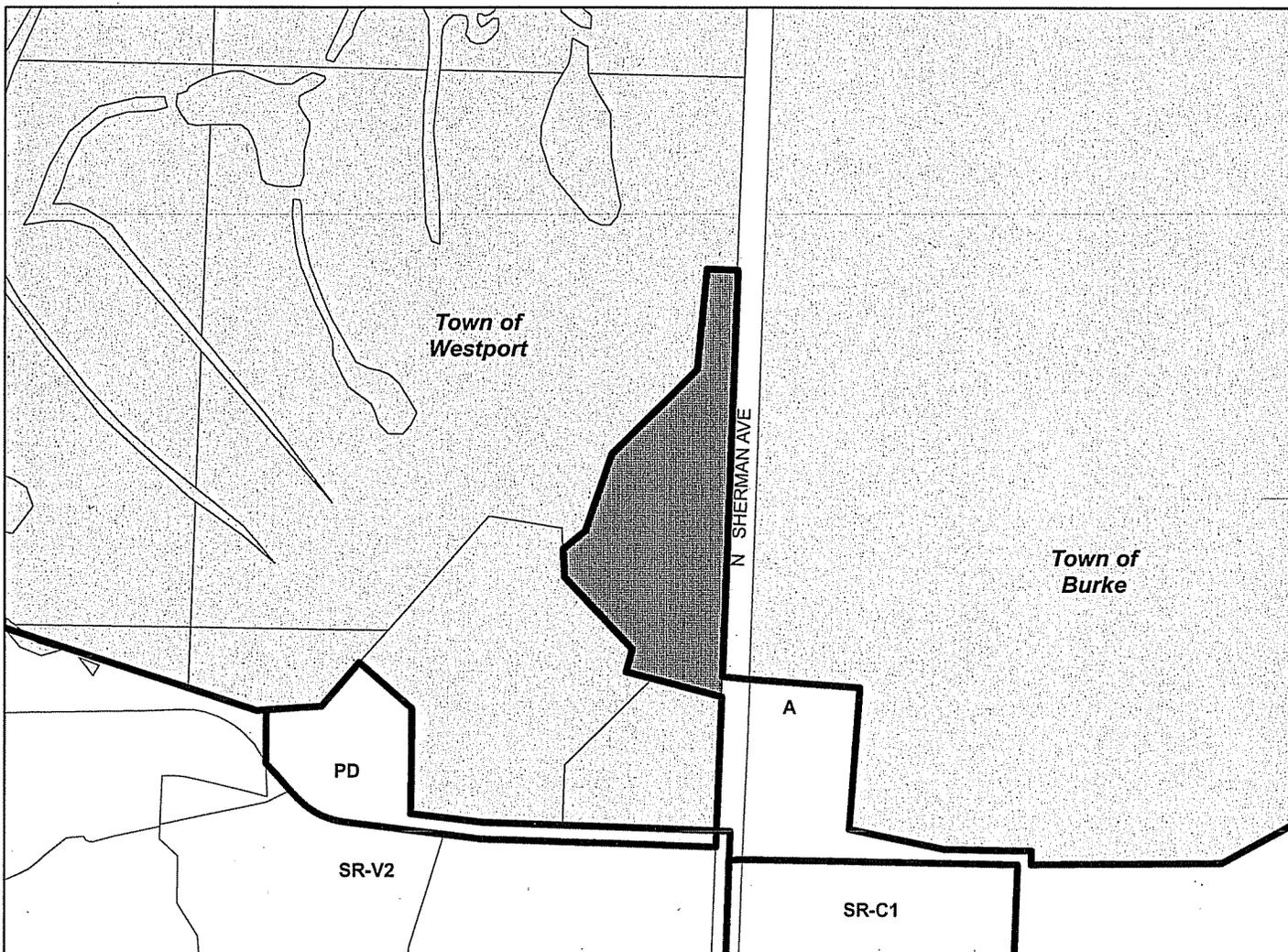
Proposed Use
Create 16 single-family lots and 2
outlots for stormwater management
and golf course use

Public Hearing Date
Plan Commission
08 February 2016

Common Council
23 February 2016



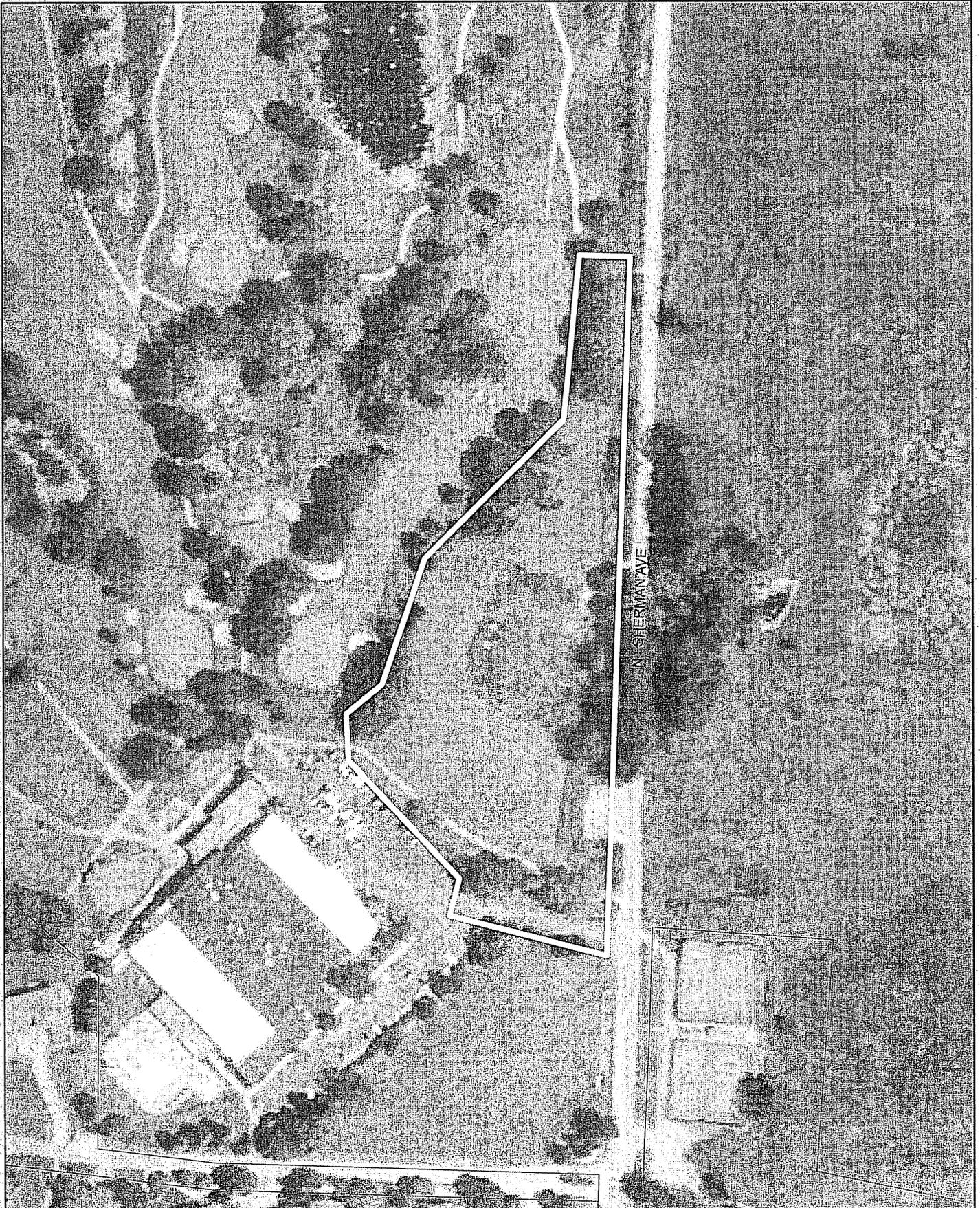
For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 01 February 2016

5-6





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:

Amt. Paid _____ Receipt No. _____

Date Received 12/9/15

Received By JK

Parcel No. 0809-244-4602-7

Aldermanic District 18-Rebecca Kumble

Zoning District A

Special Requirements OK

Review Required By:

Urban Design Commission Plan Commission

Common Council Other: _____

Form Effective: February 21, 2013

1. **Project Address:** 5204 N Sherman Ave, Madison, WI 53704
Project Title (if any): The Turn at Cherokee

2. **This is an application for (Check all that apply to your Land Use Application):**

- Zoning Map Amendment from** Temp Ag **to** SR-V2
- Major Amendment to Approved PD-GDP Zoning** **Major Amendment to Approved PD-SIP Zoning**
- Review of Alteration to Planned Development (By Plan Commission)**
- Conditional Use, or Major Alteration to an Approved Conditional Use**
- Demolition Permit**
- Other Requests:** _____

3. **Applicant, Agent & Property Owner Information:**

Applicant Name: Dennis Tiziani **Company:** Cherokee Park, Inc
Street Address: 5000 N Sherman Ave **City/State:** Madison, WI **Zip:** 53704
Telephone: (608) 886-3649 **Fax:** (608) 241-8909 **Email:** dtiziani@cherokeecountryclub.net

Project Contact Person: Craig Makela **Company:** Cherokee Park, Inc
Street Address: 5000 N Sherman Ave **City/State:** Madison, WI **Zip:** 53704
Telephone: (608) 444-0207 **Fax:** (608) 241-8909 **Email:** cmakela@cherokeecountryclub.net

Property Owner (if not applicant): _____
Street Address: _____ **City/State:** _____ **Zip:** _____

4. **Project Information:**

Provide a brief description of the project and all proposed uses of the site: Infill site for residential development including (16) fee simple lots and residential homes.

Development Schedule: Commencement Spring 2016 Completion Fall 2020

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

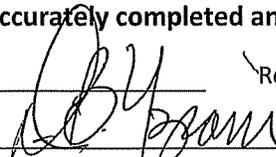
Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:
Rebecca Kemble, District 18. 10/23/2015 via Email

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Heather Stouder Date: 10/23/15 Zoning Staff: Pat Anderson Date: 2/4/15

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Dennis Tiziani Relationship to Property: Owner
Authorizing Signature of Property Owner  Date 12/9/2015 5

Parks, Timothy

From: Craig Makela [cmakela@cherokeecountryclub.net]
Sent: Tuesday, December 22, 2015 11:15 AM
To: Parks, Timothy; Tucker, Matthew
Cc: Ed Linville
Subject: The Turn at Cherokee

Tim-
Per our conversation this morning, we would like to change our request of zoning for The Turn from our proposed SR-V2 to your suggested SR-C3. We are still planning on fee simple single family homes in the development. We will work on a wider ROW (54') in anticipation of engineering's comments. I will touch base with Lori Zenchenko and Jeff Quamme about the street name, as well. Thank you for your time and help in this matter. Let me know if I should need to do anything further at this time.
Craig

Craig Makela
Construction Project Manager
Cherokee Park, Inc
5000 N Sherman Ave
Madison, WI 53704
cmakela@cherokeecountryclub.net
608-444-0207

Cherokee Park, Inc
5000 N Sherman Ave
Madison, WI 53704

December 8, 2015

Madison Plan Commission
215 Martin Luther King Blvd Rm LL-100
PO Box 2985
Madison, WI 53701-2985

Re: Letter of Intent
5204 N Sherman Ave
Rezoning Application
Subdivision Application

Owner: Cherokee Park, Inc
5000 N Sherman Ave
Madison, WI 53704
Contact: Dennis Tiziani
(608) 886-3649
dtiziani@cherokeecountryclub.net

Project Manager: Craig Makela
Cherokee Park, Inc
5000 N Sherman Ave
Madison, WI 53704
(608) 444-0207
cmakela@cherokeecountryclub.net

Site Engineer: Snyder and Associates
Scott Anderson, PE
5010 Voges Road
Madison, WI 53718
(608) 838-0444 Ext 238
sanderson@snyder-associates.com

Storm Water Mgt: Snyder and Associates
Scott Anderson, PE
5010 Voges Road
Madison, WI 53718
(608) 838-0444 Ext 238
sanderson@snyder-associates.com

Surveyor: Snyder and Associates
Scott Anderson, PE
5010 Voges Road
Madison, WI 53718
(608) 838-0444 Ext 238
sanderson@snyder-associates.com

Enclosed Submittals:

- Subdivision Application for Preliminary and Final Plat
- Land Use Application (SR-V2 Zoning Requested)
- Required Plans and Documents
- Associated Fees

Project Summary:

Cherokee Park, Inc (CPI) requests approvals for the development of approx 6.18 acres +/- located at 5204 N Sherman Ave, which will create (16) see simple lots and (2) outlots, which are to be retained by CPI. The (16) dwelling units average 1900-SF plus an average 600-SF garage. Lot coverage and useable open space calculations are included on enclosed site plans.

Development plans are consistent with the adopted Cherokee Special Area Plan. The project area has been annexed to the City of Madison from the Town of Westport earlier in 2015.

Existing Conditions and Uses:

The project area is currently zoned Temp Ag following annexation. A portion of the area lies within the environmental corridor. The City is processing CPI's request to have this property removed from the corridor via minor alteration. The project area lies within the CUSA, but is not currently served by any public utilities. The area is adjacent to Cherokee Golf Course, and has no specific current use.

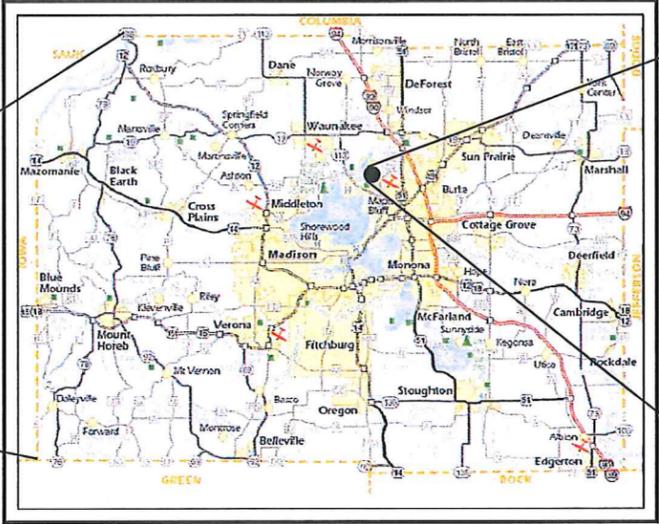
Development Schedule:

CPI intends to develop the entire site to include public utilities, streets, sidewalks, etc. in the spring of 2016, with individual lot/unit sales and home construction to begin immediately following. The City of Madison has allocated funds in the 2016 general budget to include the extension of water service to the development area. Current schedules indicate that this process shall take place in Spring 2016.

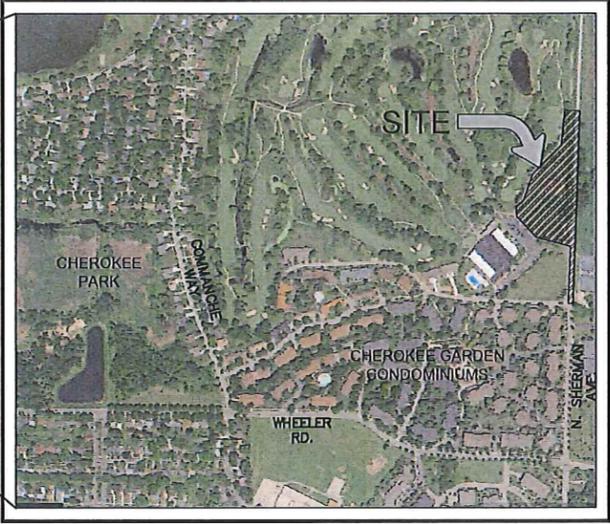
THE TURN PRELIMINARY CONSTRUCTION PLANS



REGIONAL MAP



DANE COUNTY
DANE COUNTY, WISCONSIN



SITE LOCATION MAP
CITY OF MADISON,
DANE COUNTY, WISCONSIN

SHEET #	SHEET TITLE
G1.0	TITLE SHEET
C1.0	EXISTING SITE PLAN
C2.0	PROPOSED SITE PLAN
C2.1	GRADING PLAN
C3.0	PLAN / PROFILE SHEET
C4.0	EROSION CONTROL DETAILS

BENCHMARK
TOP NUT OF HYDRANT @ NW CORNER OF
??? AND ???
ELEVATION = ???

CAUTION:
CERTAIN UNDERGROUND UTILITIES HAVE BEEN LOCATED ON
THE PLANS. THESE LOCATIONS SHALL NOT BE TAKEN AS
CONCLUSIVE. VERIFICATION TO THE SATISFACTION OF THE
CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER
SHOWN ON THE DRAWING OR NOT, SHALL BE ASSUMED AS A
CONDITION OF THE CONTRACT. FOR EXACT LOCATION
CONTACT DIGGERS HOTLINE 1-800-242-8511

TO OBTAIN LOCATION OF
PARTICIPANTS' UNDERGROUND
FACILITIES BEFORE YOU
DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

THE TURN
TITLE SHEET



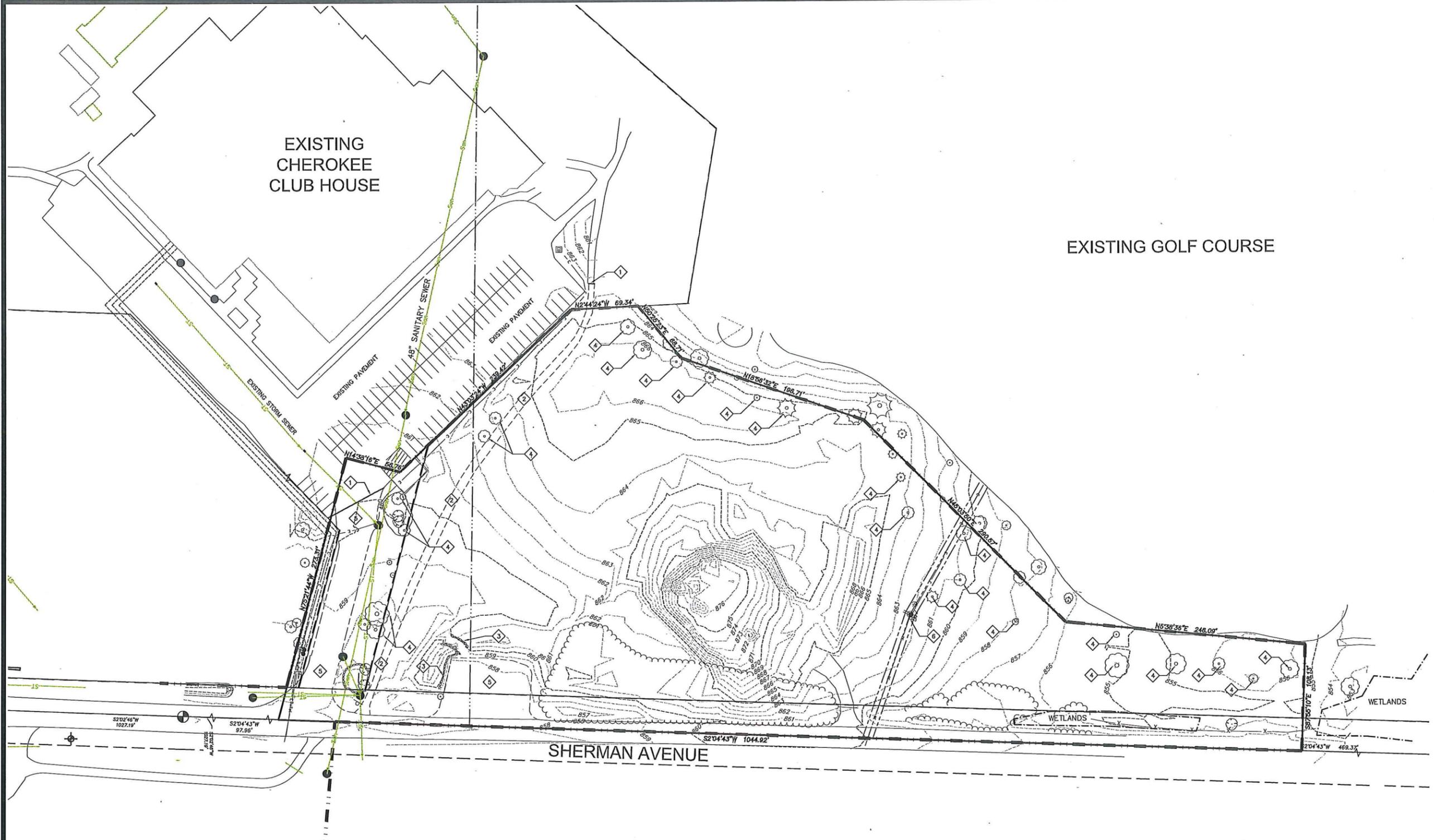
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SNYDER & ASSOCIATES, INC.

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

MADISON, WISCONSIN

MARK	REVISION	DATE	BY
Engineer: SMA	Checked By: LO	Date: 11-26-13	Field Bk
Technician: MW			Pg:
P:\PROJECTS\2013\13.0244.30\CAD-DESIGN\C101 Base Drawing.dwg			



MARK	REVISION	DATE BY
	Checked By: LO	Scale: NOTED
	Engineer: SJA	Date: 11-26-13
	Technician: MW	Field B/c: Pg:

THE TURN
 EXISTING SITE PLAN
 MADISON, WISCONSIN
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com
SNYDER & ASSOCIATES, INC.

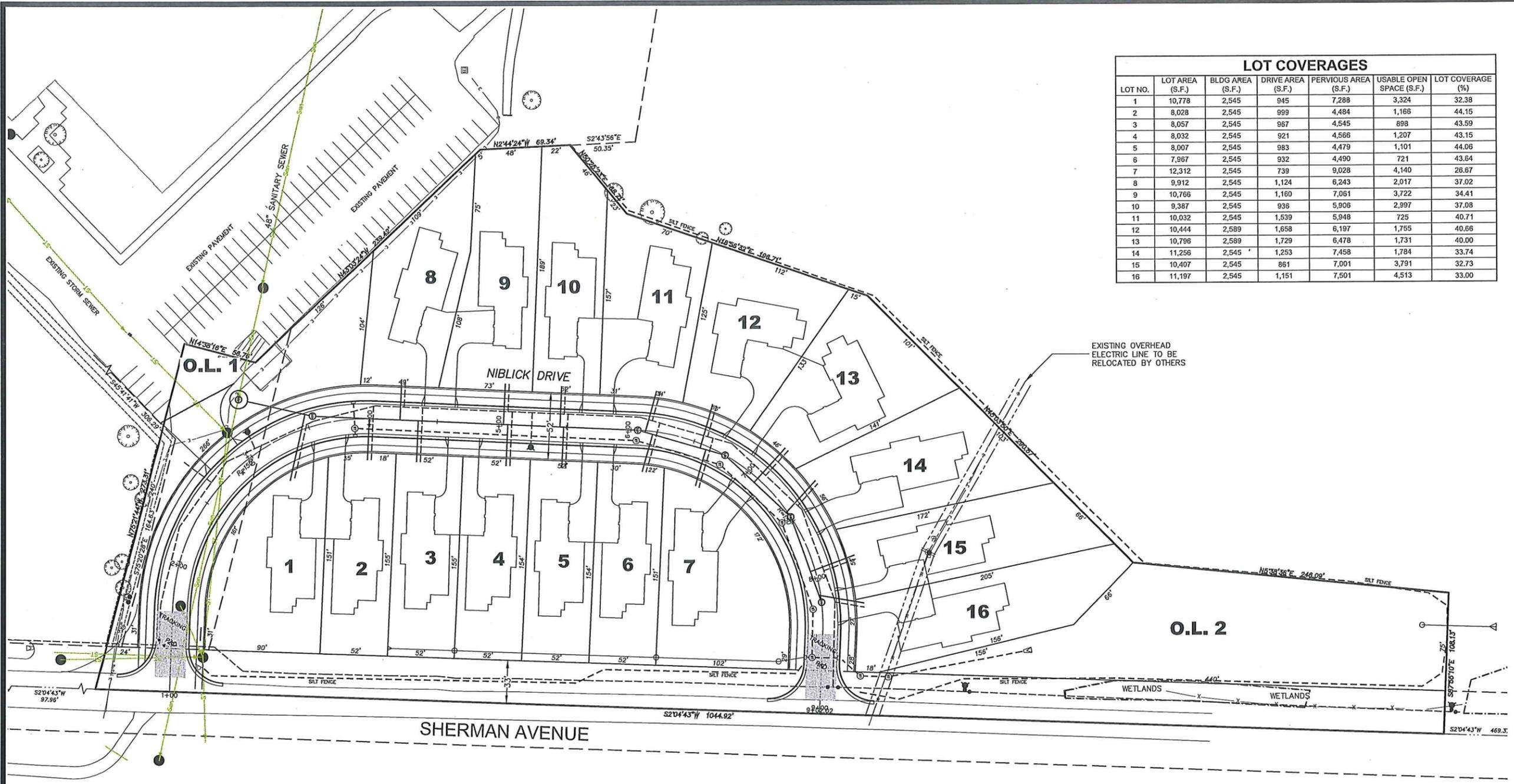
 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE

- PLAN KEY**
- ① SAW-CUT
 - ② REMOVE EXISTING ASPHALT CART PATH
 - ③ REMOVE EXISTING WALL
 - ④ REMOVE EXISTING TREE
 - ⑤ REMOVE EXISTING ASPHALT PAVEMENT AND BASE
 - ⑥ POWER POLE TO BE REMOVED BY OTHERS




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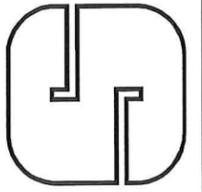
LOT COVERAGES						
LOT NO.	LOT AREA (S.F.)	BLDG AREA (S.F.)	DRIVE AREA (S.F.)	PERVIOUS AREA (S.F.)	USABLE OPEN SPACE (S.F.)	LOT COVERAGE (%)
1	10,778	2,545	945	7,288	3,324	32.38
2	8,028	2,545	999	4,484	1,166	44.15
3	8,057	2,545	967	4,545	898	43.59
4	8,032	2,545	921	4,566	1,207	43.15
5	8,007	2,545	983	4,479	1,101	44.06
6	7,967	2,545	932	4,490	721	43.64
7	12,312	2,545	739	9,028	4,140	26.67
8	9,912	2,545	1,124	6,243	2,017	37.02
9	10,766	2,545	1,160	7,061	3,722	34.41
10	9,387	2,545	938	5,906	2,997	37.08
11	10,032	2,545	1,539	5,948	725	40.71
12	10,444	2,589	1,658	6,197	1,755	40.66
13	10,798	2,589	1,729	6,478	1,731	40.00
14	11,256	2,545	1,253	7,458	1,784	33.74
15	10,407	2,545	861	7,001	3,791	32.73
16	11,197	2,545	1,151	7,501	4,513	33.00


 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
 WIS. STATUTE 182.0175 (1974)
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 NOTICE BEFORE YOU EXCAVATE



MARK	REVISION	DATE BY
Engineer: SJA	Checked By: LO	Scale: NOTED
Technician: MW	Date: 11-26-13	Field Bk: Pg:

THE TURN
 PROPOSED SITE AND EROSION CONTROL PLAN
 MADISON, WISCONSIN
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com


 C2.0

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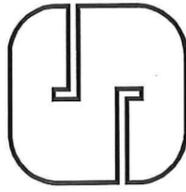



 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
 WS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE



MARK	REVISION	DATE BY
Engineer: SJA	Checked By: LO	Scale: NOTED
Technician: MW	Date: 11-26-13	Field Bk: Pg:

THE TURN
GRADING PLAN
 MADISON, WISCONSIN
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com



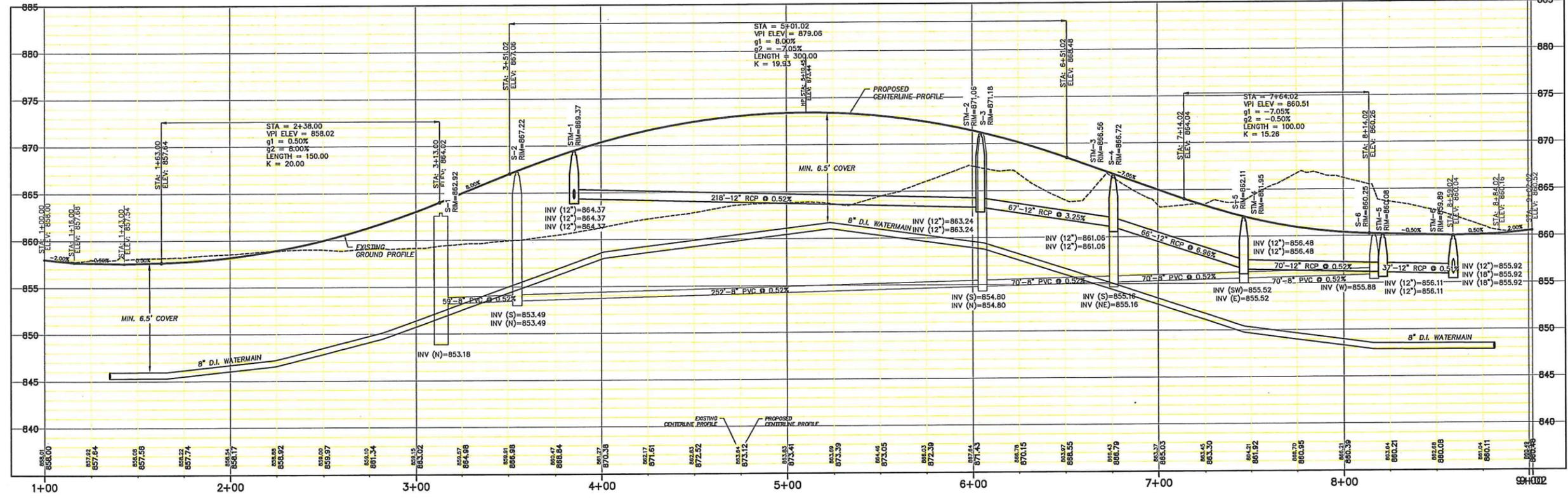
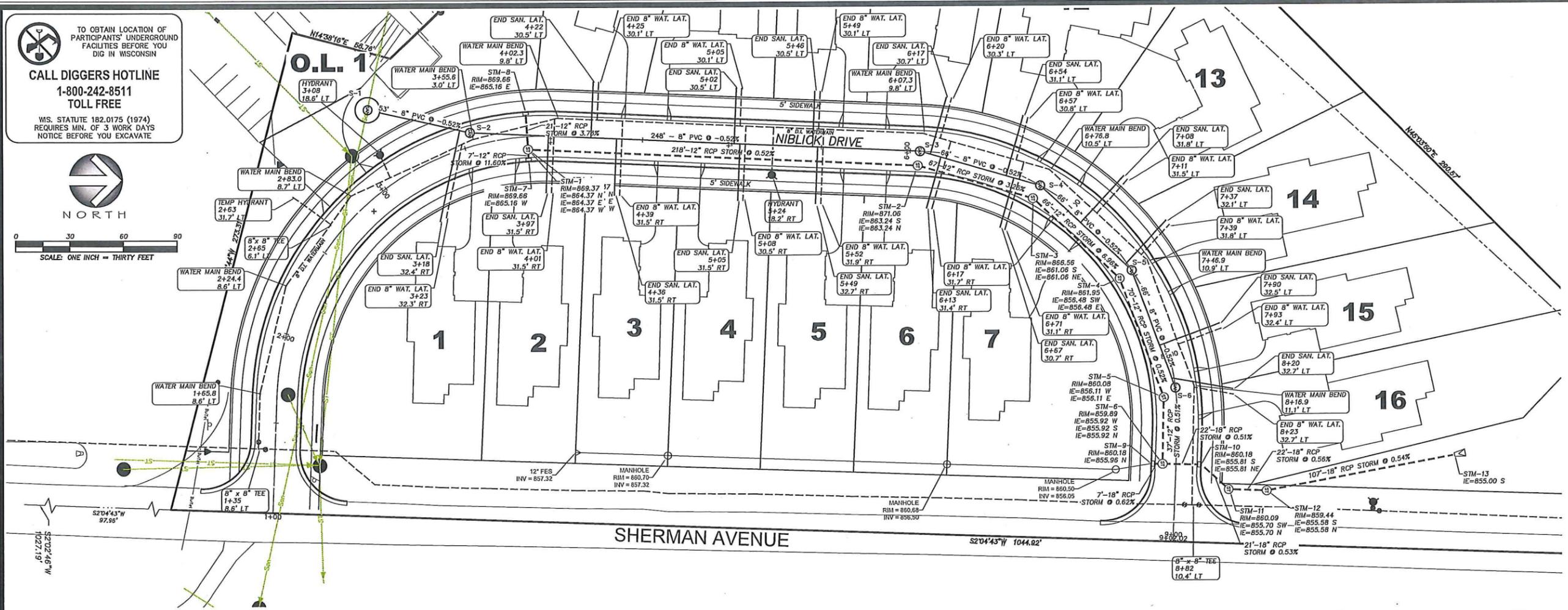
C2.1

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TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE



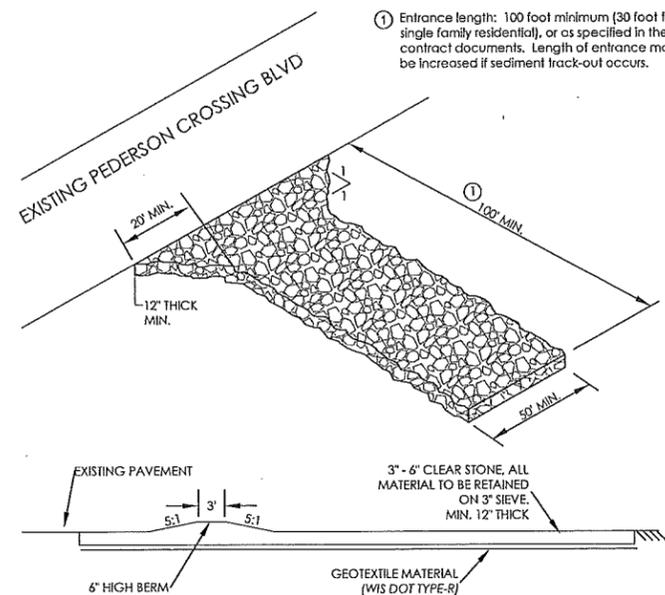
SCALE: ONE INCH = THIRTY FEET



THE TURN
 PLAN / PROFILE NIBLICK DRIVE
 MADISON, WISCONSIN
SNYDER & ASSOCIATES, INC.
 C 3.0

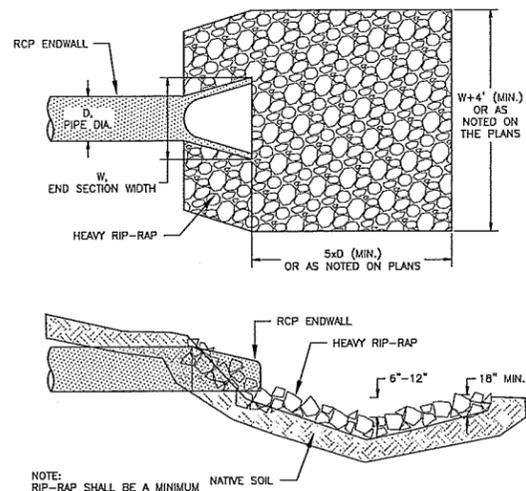
DATE BY	NOTED
REVISION	Scale: Field Bk.
Checked By: LO	Date: 11-26-13
Engineer: SIA	Technician: MW
MARK	

5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com
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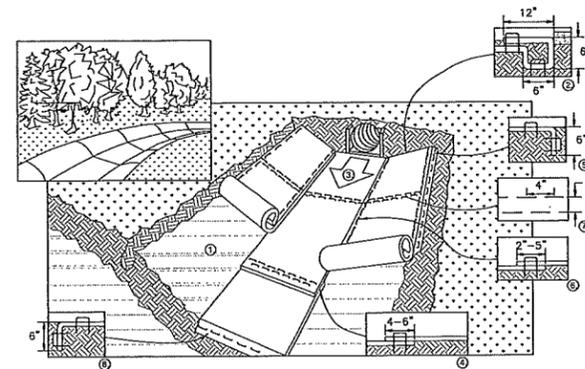
NOTE: MAINTAIN THE ROCK ENTRANCE TO PREVENT TRACKING ONTO PAVEMENT

ROCK ENTRANCE DETAIL



NOTE:
RIP-RAP SHALL BE A MINIMUM
OF 2 C.Y. PER ENDWALL.

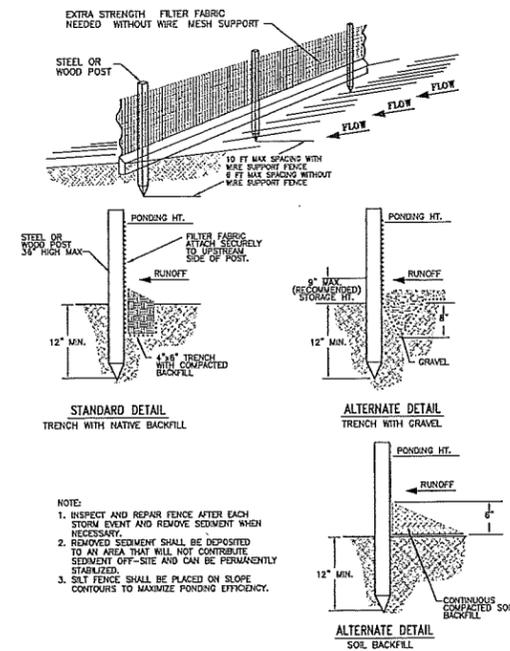
ENDWALL RIP-RAP DETAIL



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.
4. PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE BLANKETS.
5. FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPE MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
6. ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 4" AND STAPLED.
7. A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
8. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLES OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.

EROSION CONTROL MAT - CHANNEL INSTALLATION



NOTE:
1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
3. SILT FENCE SHALL BE PLACED ON SLOPE CONTIGUOUS TO MAXIMIZE PONDING EFFICIENCY.

SILT FENCE INSTALLATION DETAIL

 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WS. STATUTE 182.0175 (1974)
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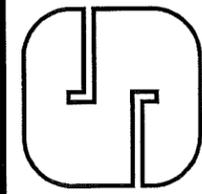
THE TURN

EROSION CONTROL DETAILS

MADISON, WISCONSIN

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

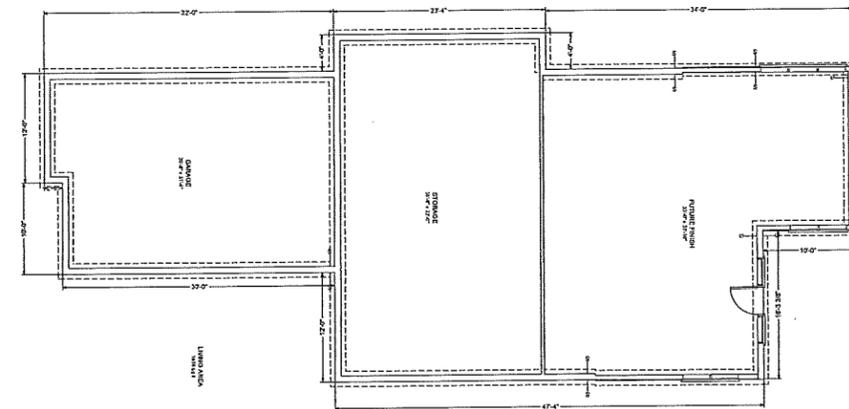
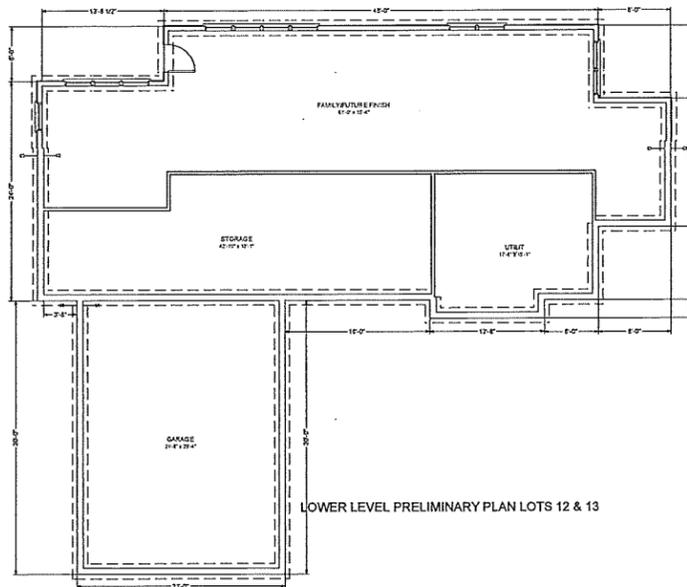
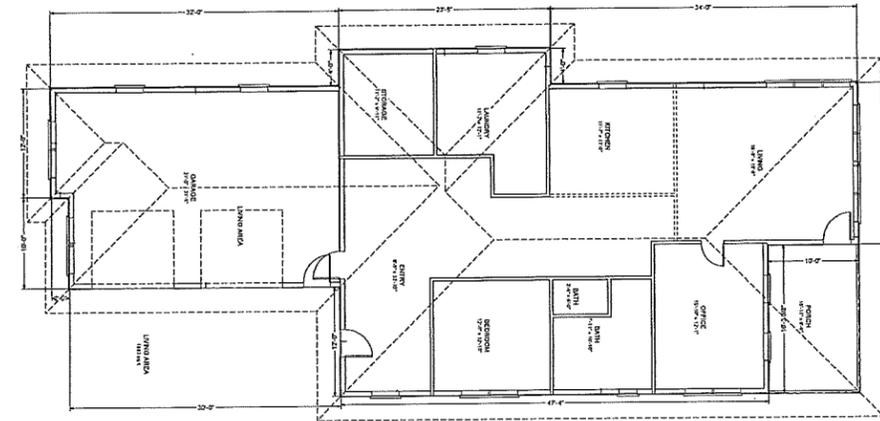
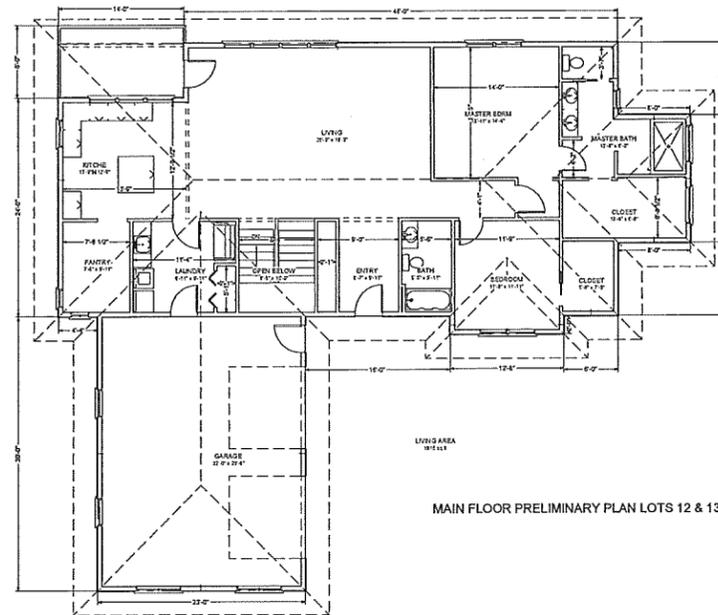
SNYDER & ASSOCIATES, INC.



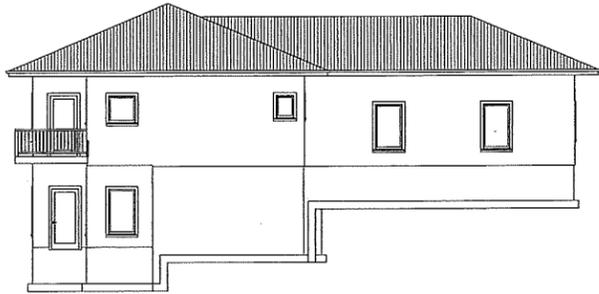
C4.0

MARK	REVISION	DATE BY
Engineer: SJA	Checked By: LO	Scale: NOTED
Technician: MW	Date: 11-26-13	Field Bk: Pjg

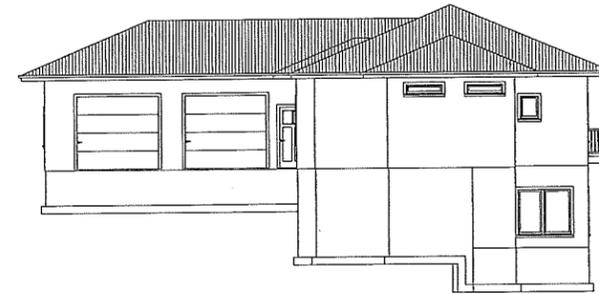
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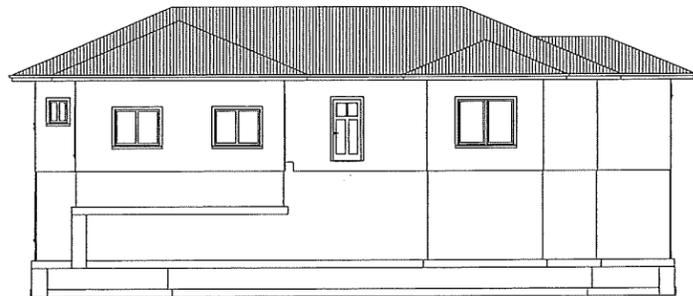
<h1>B1</h1>	THE TURN AT CHEROKEE	
	TYPICAL FLOOR PLANS	
	SCALE: 1/8"=1'	DATE: 12.8.15



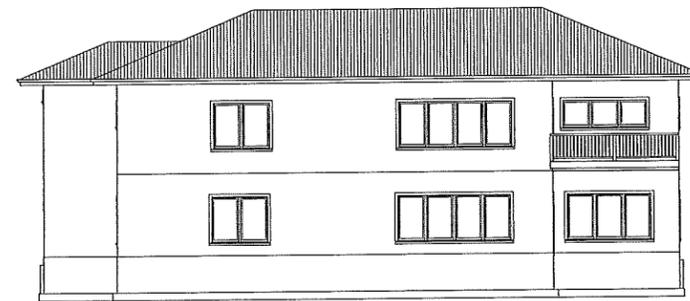
LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



ROAD (FRONT)
ELEVATION



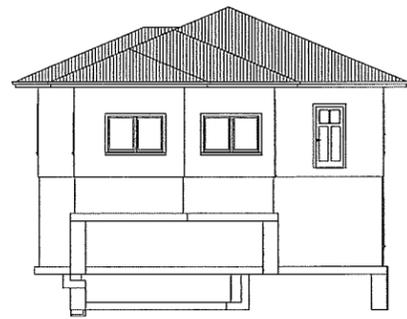
GOLF COURSE (REAR) ELEVATION

E1

THE TURN AT CHEROKEE

PLAN 'B' ELEVATIONS
LOTS 12 & 13

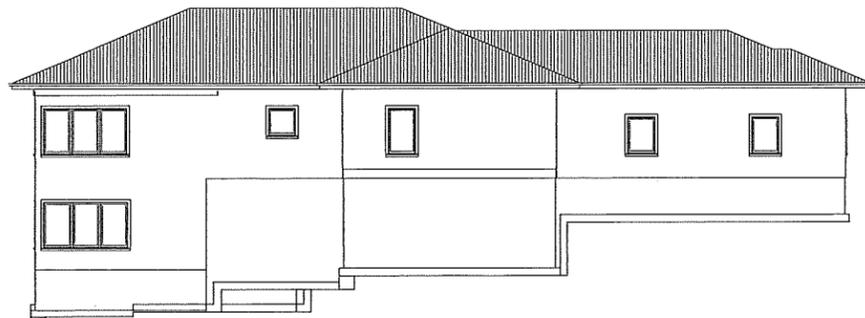
SCALE: 1/8"=1' DATE: 11/3/2015



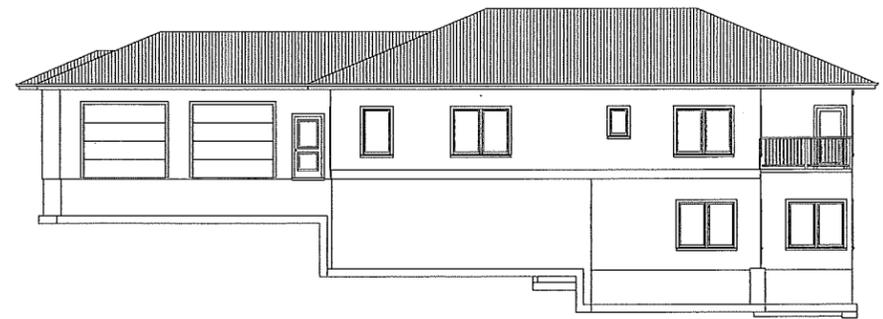
ROAD ELEVATION



GOLF COURSE ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

E2

THE TURN AT CHEROKEE

PLAN 'A' ELEVATIONS

Lots 1-11

SCALE: 1/8"=1'

DATE: 11/3/2015