

APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL

AGENDA ITEM # _____

Project # _____

DATE SUBMITTED: <u>11.29.06</u>	Action Requested
UDC MEETING DATE: <u>12.6.06</u>	<input type="checkbox"/> Informational Presentation
	<input checked="" type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 110 S. HENRY ST.

ALDERMANIC DISTRICT: 4

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:

MENTER RETIREMENT SERVICES
333 W. MAIN ST.
MADISON, WI 53703

SGN + A
1190 W. DRUID HILLS DR. #T-05
ATLANTA, GA 30329

CONTACT PERSON: BRUCE SIMONSON

Address: 1190 W. DRUID HILLS DR.
ATLANTA, GA 30329

Phone: 404-634-4466 x102

Fax: 404-634-4433

E-mail address: psimonson@sgnp/usa.com

TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee required)
- Other _____

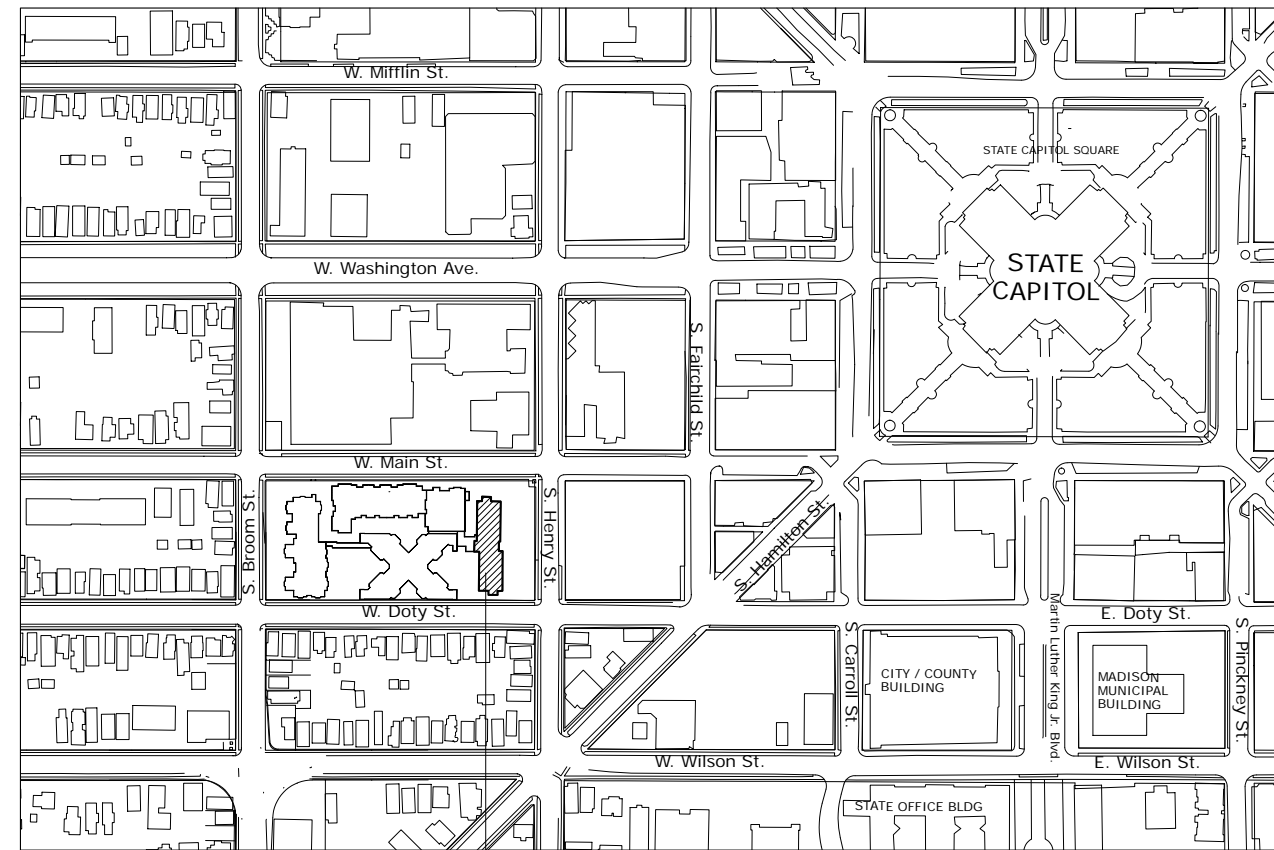
*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

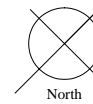
Meriter Heights Renovations

Madison, Wisconsin

29 November 2006



Project Site



Location Map

Owner • Developer

Meriter Retirement Services, LLC
333 West Main Street
Madison, Wisconsin 53703

Architects • Planners

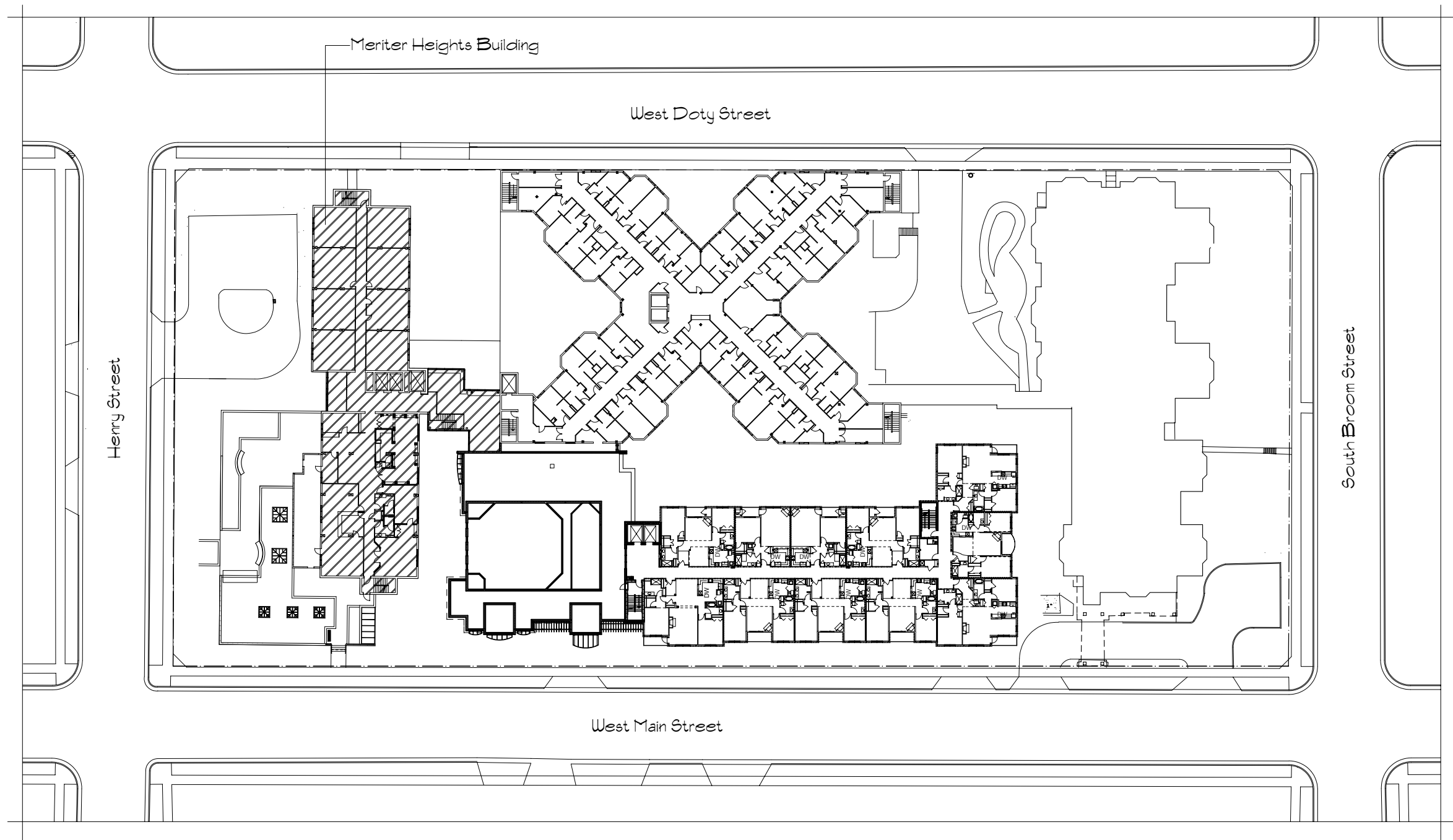
SIMONSON GERMANY NONEMAKER + ASSOCIATES, INC.
1190 West Druid Hills Drive, Suite T-65
Atlanta, Georgia 30329
Telephone (404) 634-4466

Interior Architecture

BROWHOUSE
202 W. Gorham Street
Madison, WI 53703

MEP & Structural Engineers

ARNOLD & O'SHERIDAN
1111 Deming Way, Suite 200
Madison, WI 53717

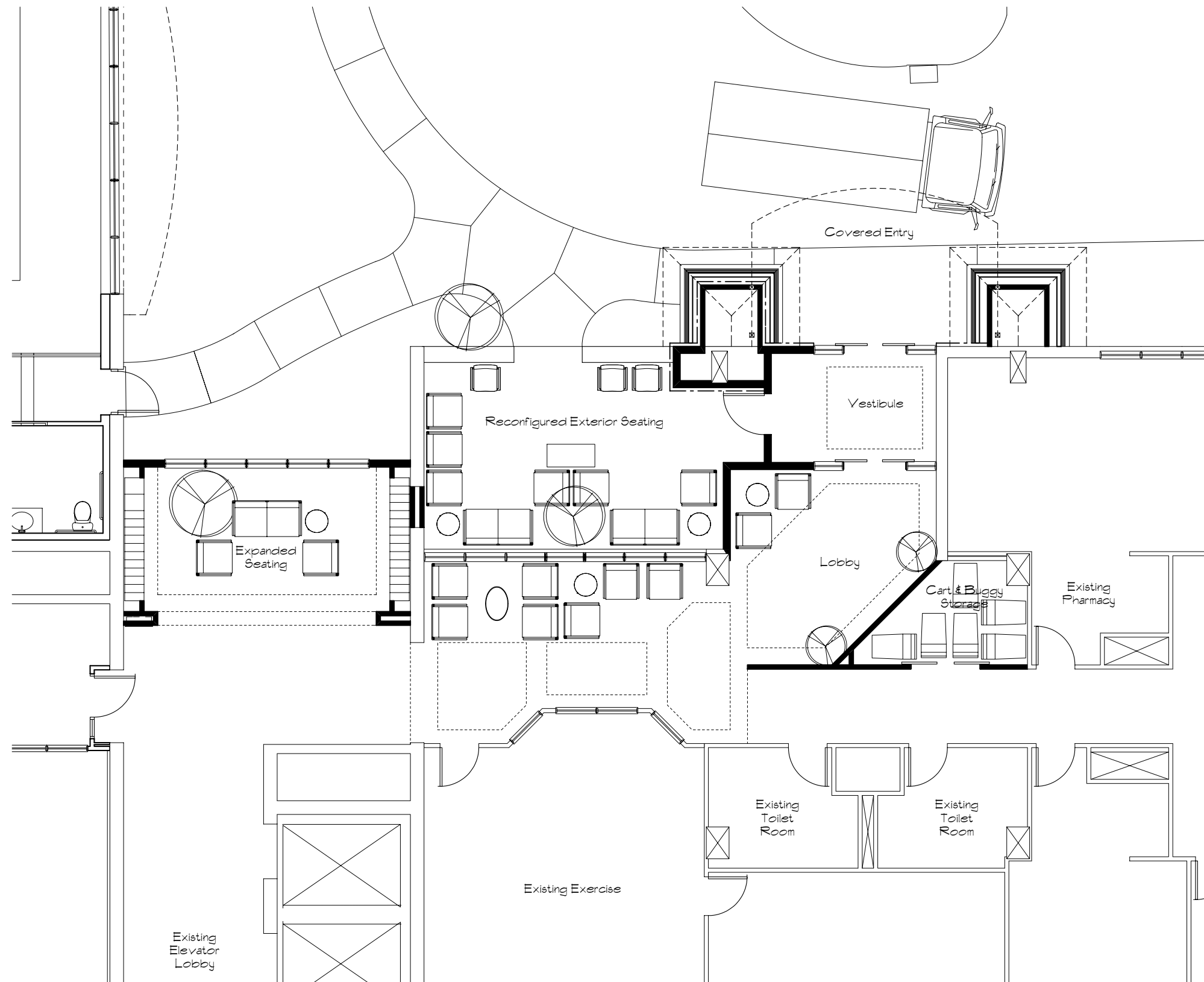


Architectural Site Plan

Scale: 1" = 30'-0"

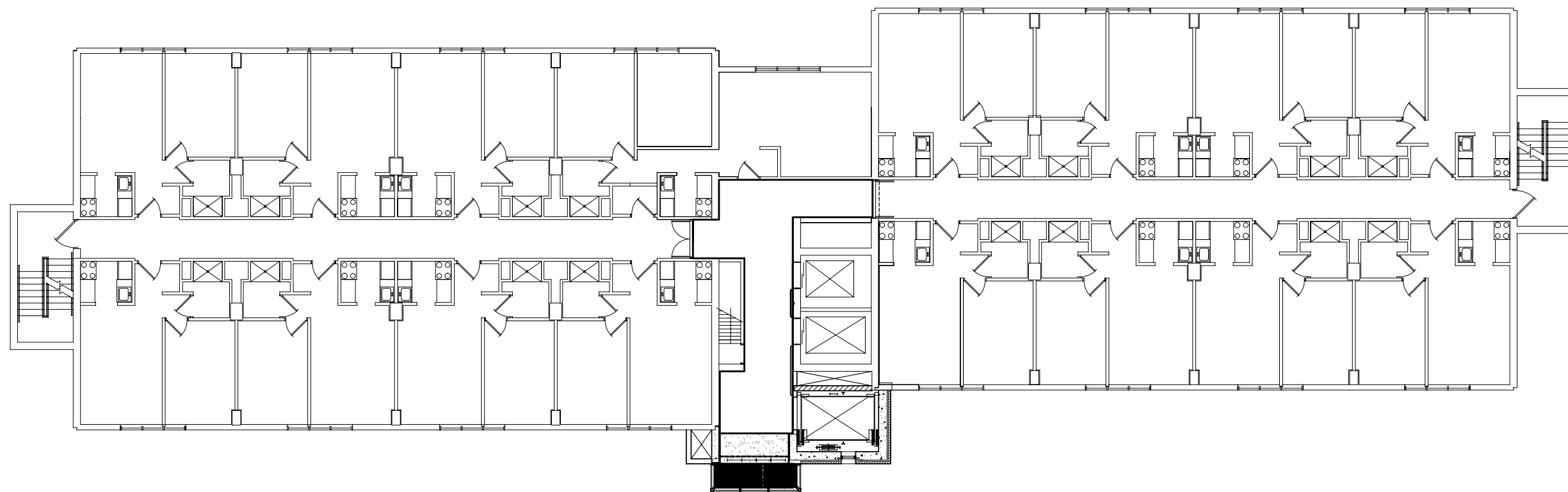
Meriter Heights Renovation

Madison, Wisconsin



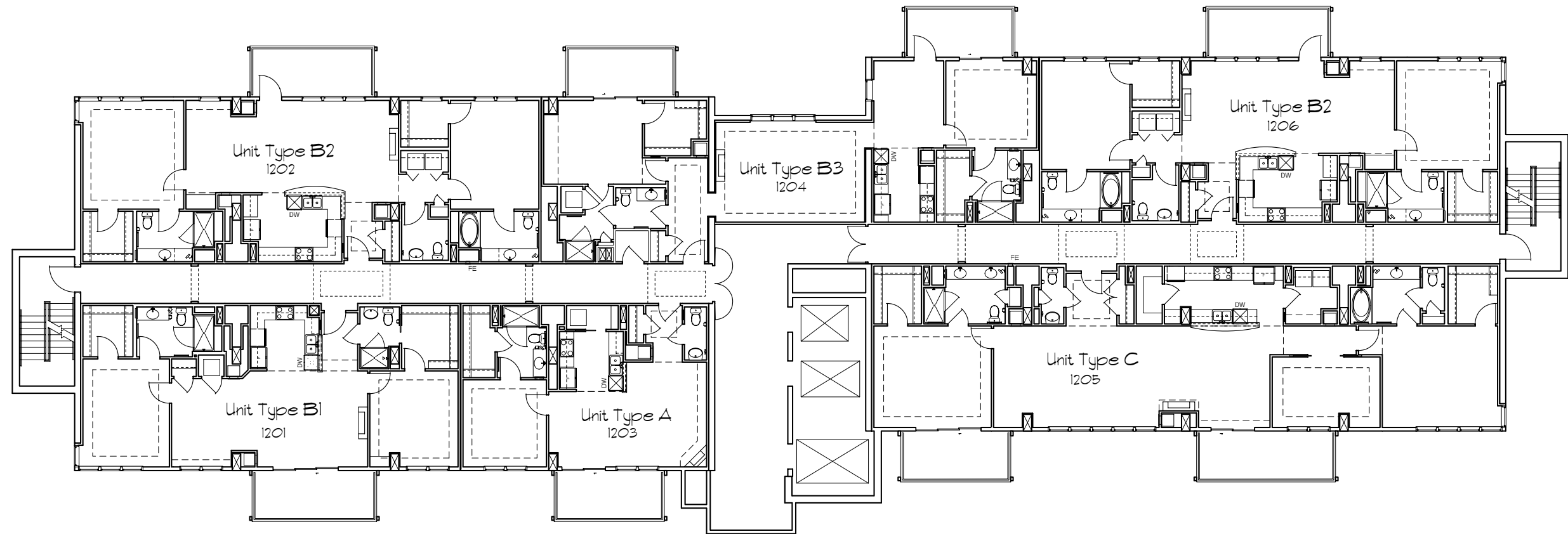
Renovated Henry Street Lobby Plan

Scale: 1/8" = 1'-0"



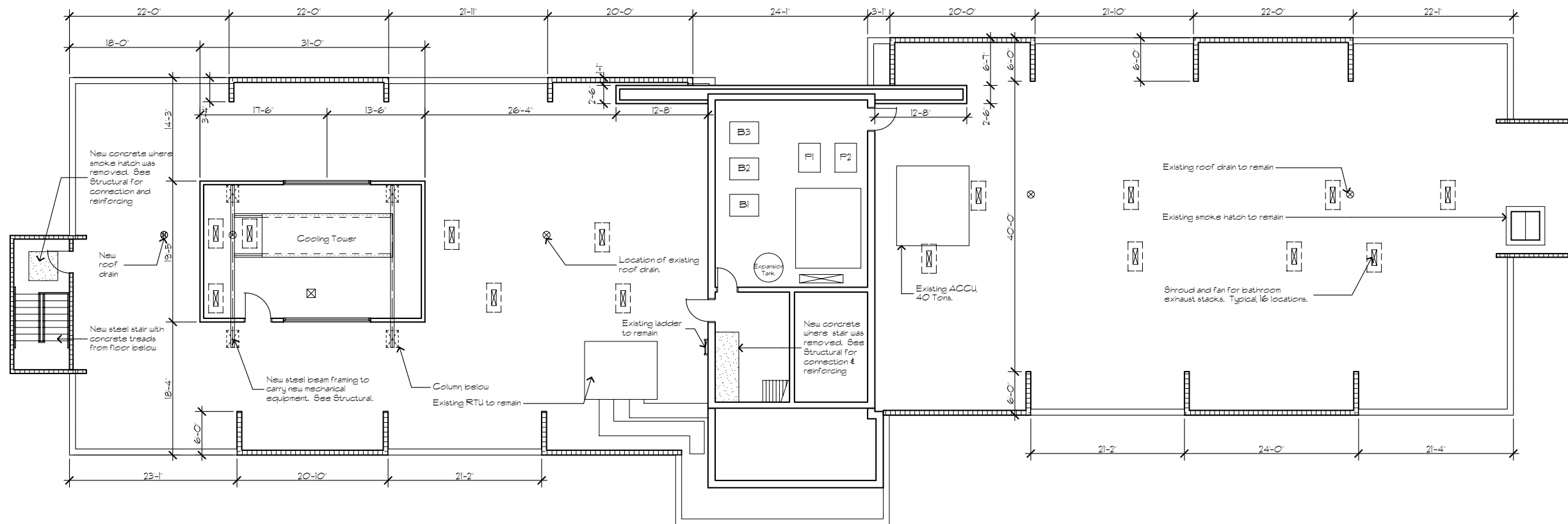
Existing Residential Level

Scale: 1/8" = 1'-0"



Proposed Renovations-Levels 13,14 & 15

Scale: 1/8" = 1'-0"



Penthouse/Roof Plan

Scale: 1/8" = 1'-0"

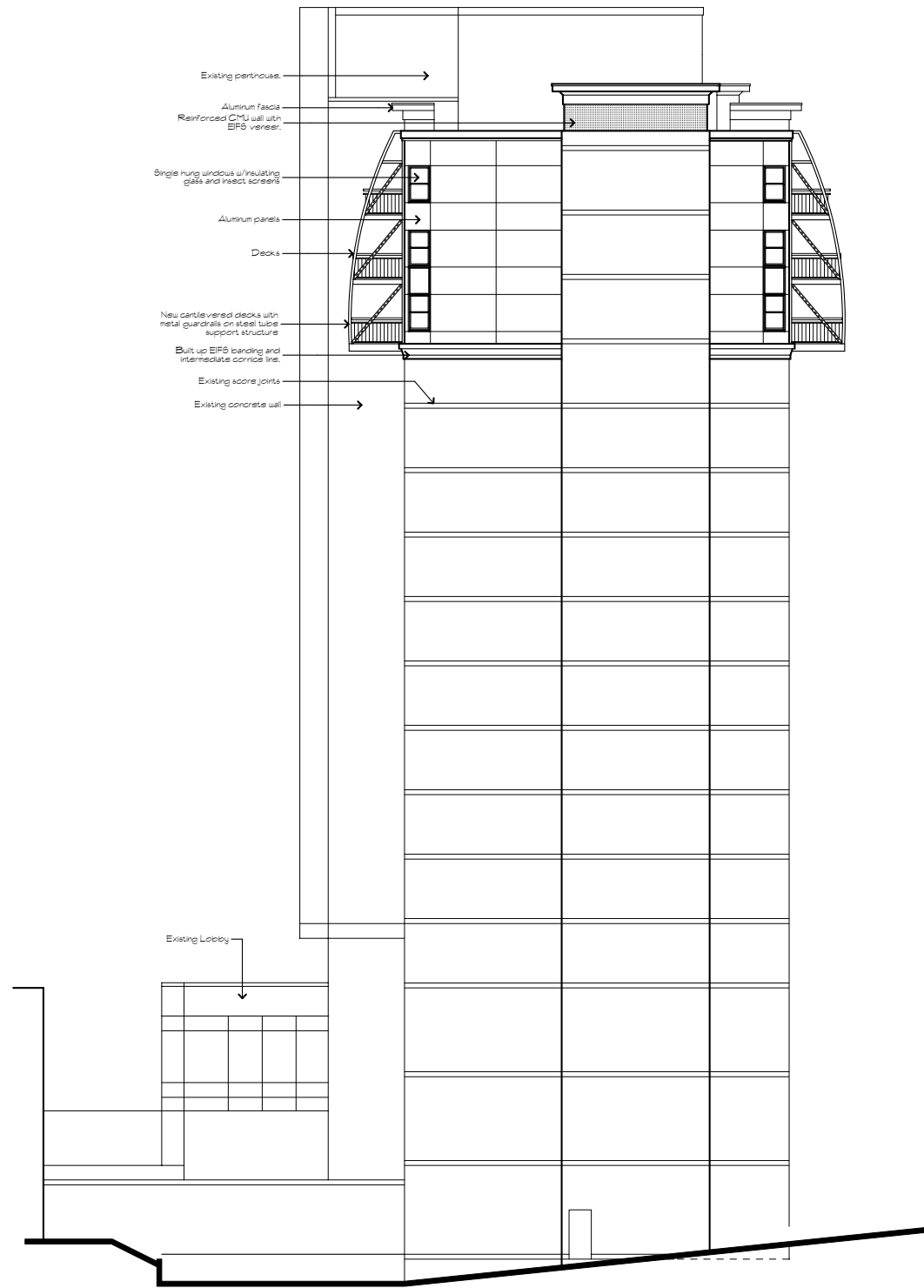


Henry Street Elevation

Scale: 3/32" = 1'-0"

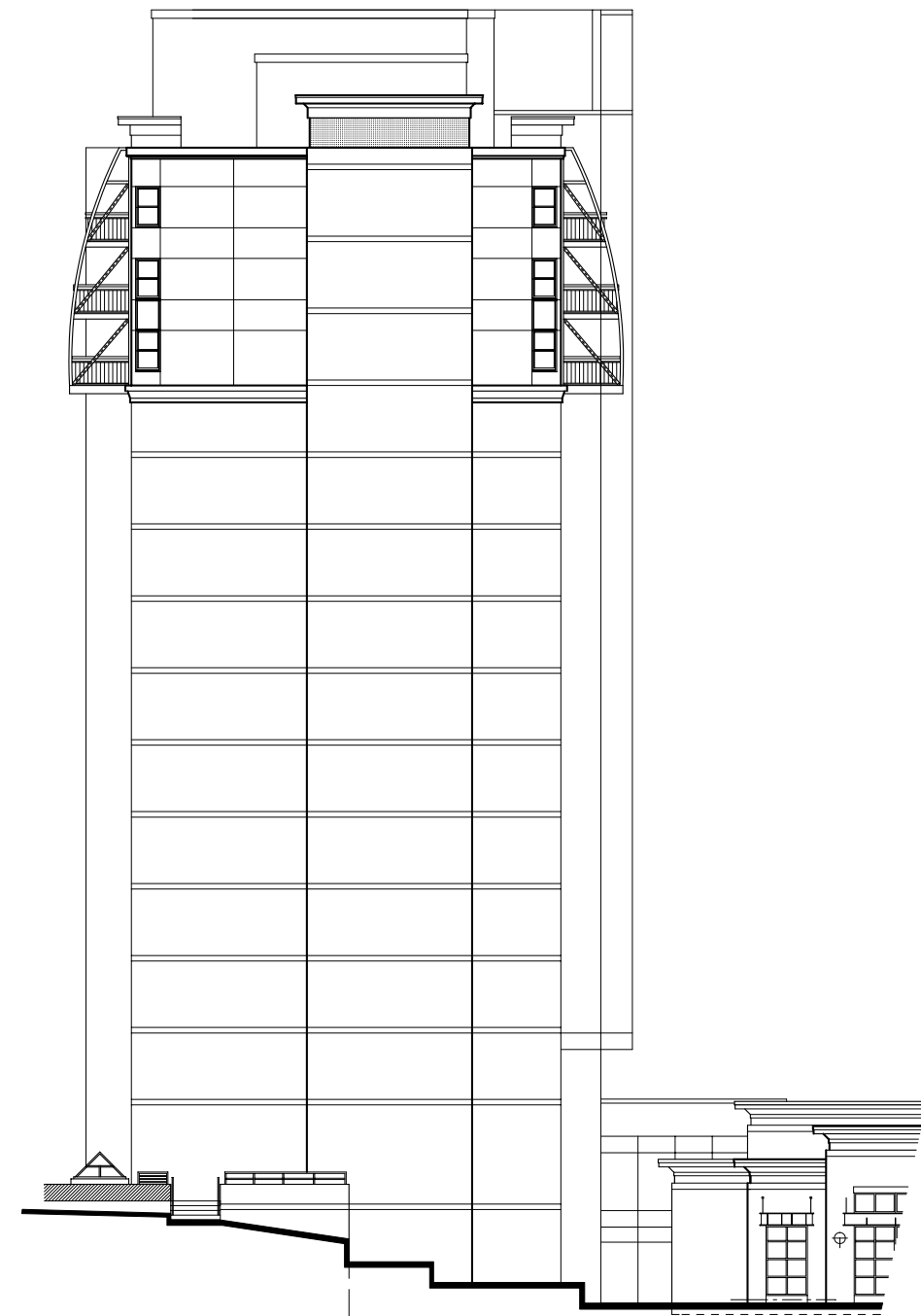
Meriter Heights Renovation

Madison, Wisconsin



Doty Street Elevation

Scale: 3/32" = 1'-0"



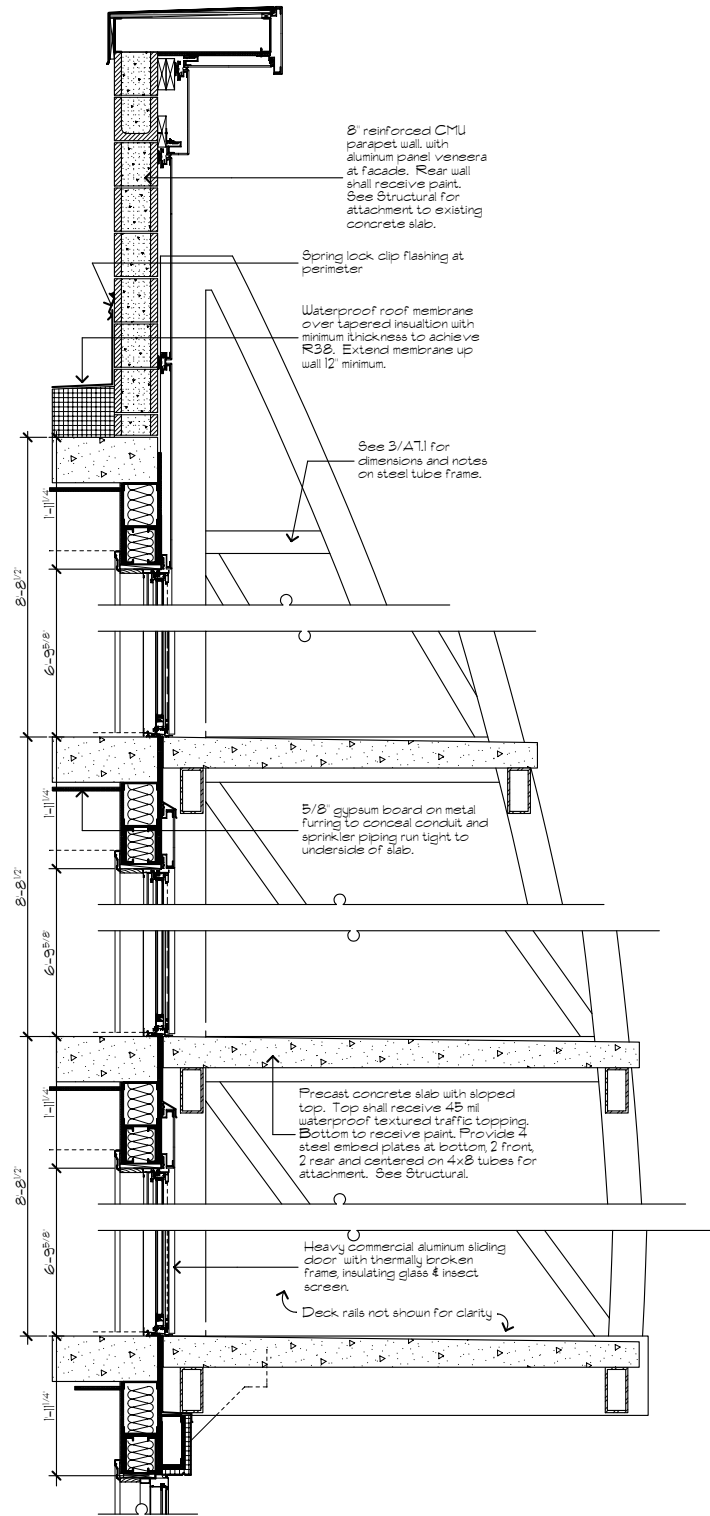
West Main Street Elevation

Scale: 3/32" = 1'-0"



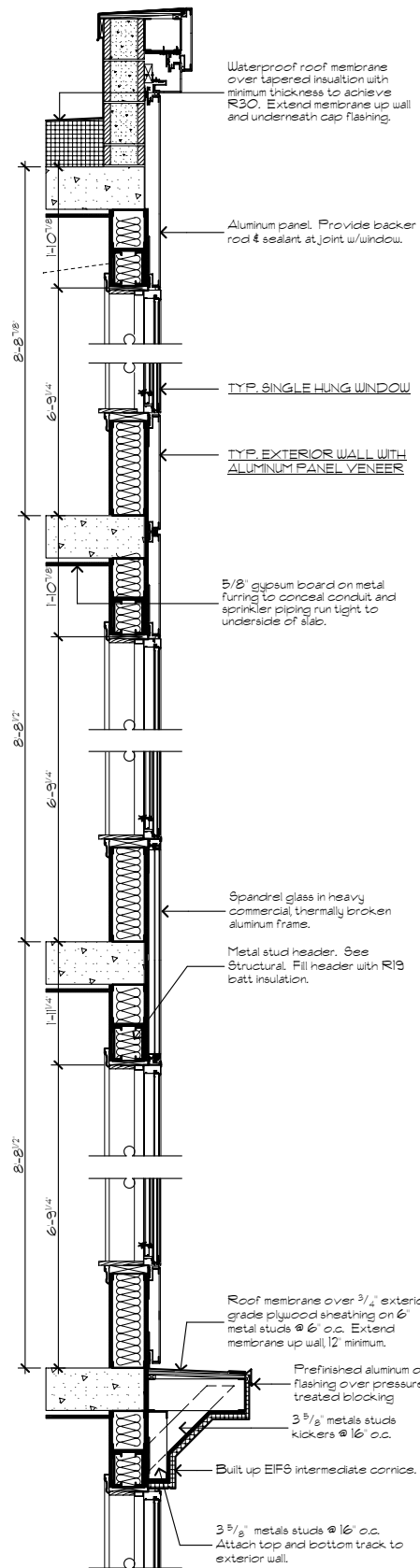
Courtyard Elevation

Scale: 3/32" = 1'-0"



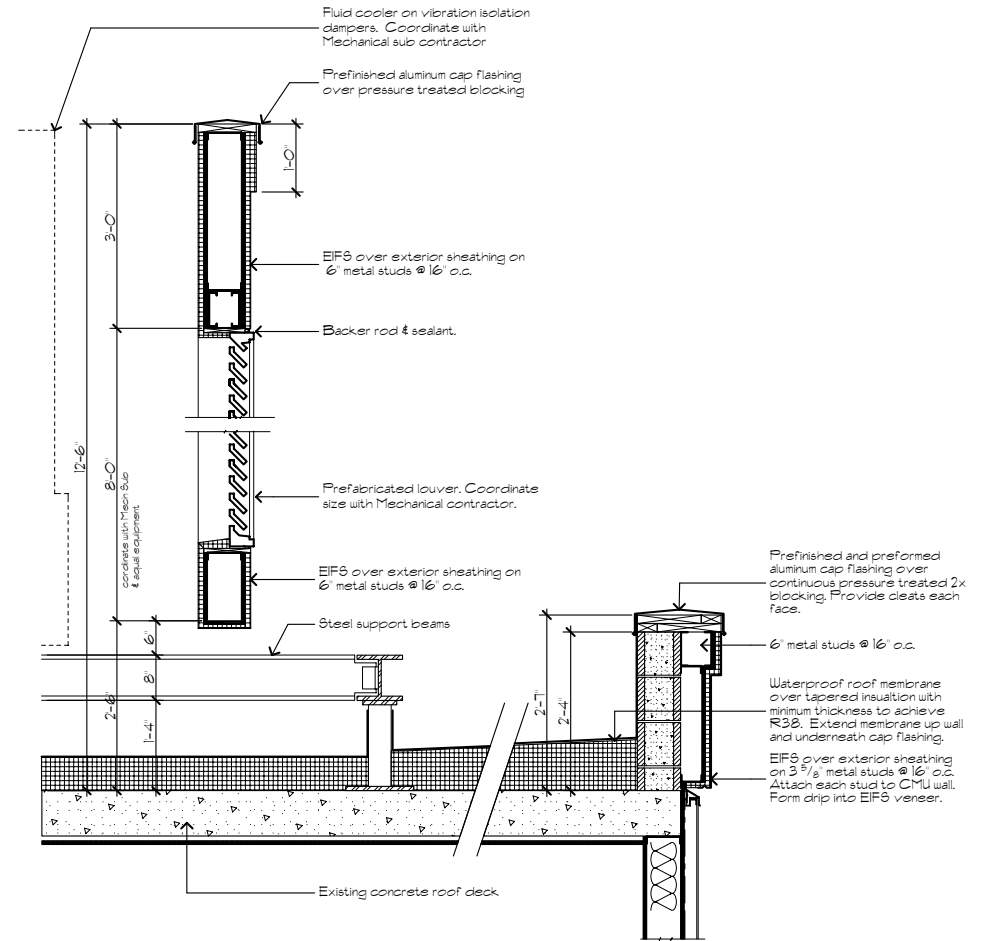
Wall Section at Decks

Scale: 3/4" = 1'-0"



Wall Section at Windows

Scale: 3/4" = 1'-0"



Wall Section at Mechanical Screen

Scale: 3/4" = 1'-0"



Existing Condition



Proposed Revisions