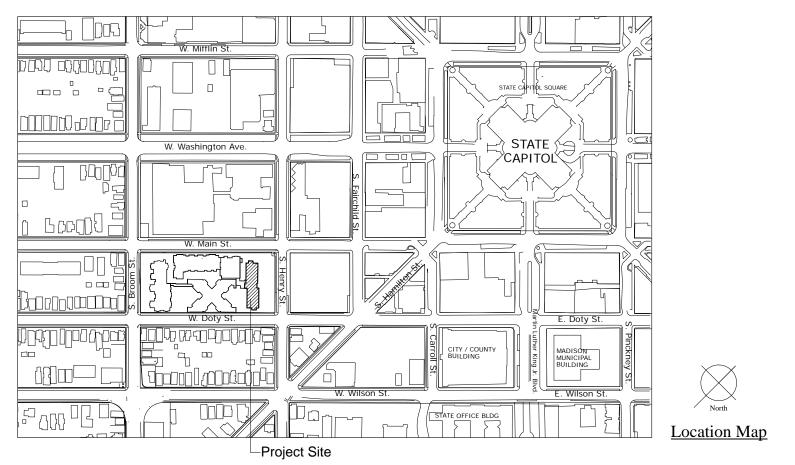
APPLICATION FOR URBAN DESIGN COMMISSION REVIEW AND APPROVAL	AGENDA ITEM # Project #
DATE SUBMITTED: $11.29.06$ UDC MEETING DATE: $12.6.06$	Action Requested Informational Presentation Initial Approval and/or Recommendation Final Approval and/or Recommendation
PROJECT ADDRESS: <u>110 S. HENRY ST.</u> ALDERMANIC DISTRICT: <u>4</u> OWNER/DEVELOPER (Partners and/or Principals) <u>MER/TER RETIREMENT SERVICES</u> ARCHITECT/DESIGNER/OR AGENT: <u>SGN + A</u> <u>190 W. DRVID HIUS DR. #T-US</u> <u>MAD ISON, WI 53703</u> <u>ATLANTA, GA 30329</u> CONTACT PERSON: <u>BRICE SIMONSON</u> Address: <u>1190 W. DRVID HIUS DR</u> <u>ATLANTA, GA 30329</u> Phone: <u>404-634-4466</u> ×102 Fax: <u>404-634-4433</u> E-mail address: <u>DSIMONSON</u> <u>G</u> SGNP/USG.COM	
TYPE OF PROJECT: (See Section A for:) Planned Unit Development (PUD) General Development Plan (GDP) Specific Implementation Plan (SIP) Planned Community Development (PCD) General Development Plan (GDP) Specific Implementation Plan (SIP) Planned Residential Development (PRD) New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee) School, Public Building or Space (Fee may be required) New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft. Planned Commercial Site (See Section B for:) New Construction or Exterior Remodeling in C4 District (Fee required) (See Section C for:) R.P.S.M. Parking Variance (Fee required)	
<pre>(See Section D for:) Comprehensive Design Review* (Fee required) Street Graphics Variance* (Fee required) Other *Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)</pre>	

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

Meriter Heights Renovations

29 November 2006



Madison, Wisconsin

Owner • Developer

Meriter Retirement Services, LLC 333 West Main Street Madison, Wisconsin 53703

Architects • Planners

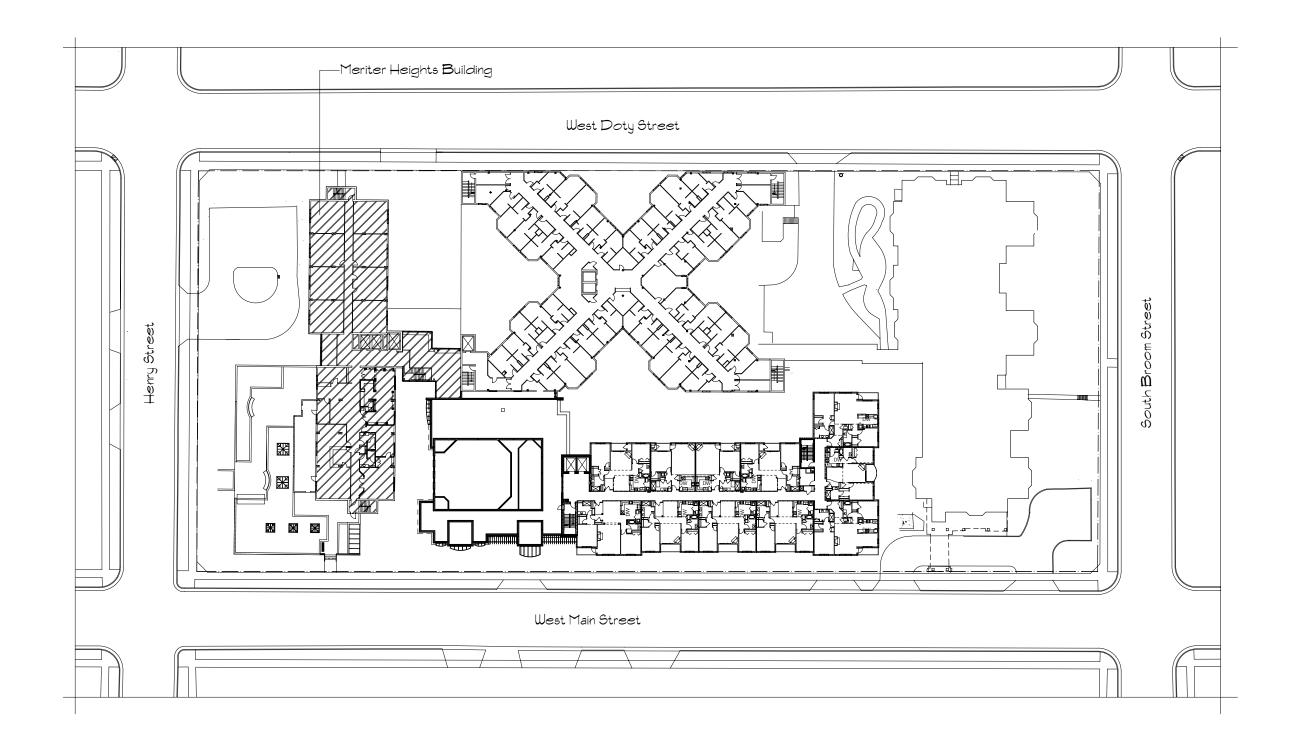
SIMONSON GERMANY NONEMAKER + ASSOCIATES, INC. 1190 West Druid Hills Drive, Suite T-65 Atlanta, Georgia 30329 Telephone (404) 634-4466

Interior Architecture

BROWNHOUSE 202 W. Gorham Street Madison, WI 53703

MEP & Structural Engineers

ARNOLD & O'SHERIDAN 1111 Deming Way, Suite 200 Madison, WI 53717



Architectural Site Plan Scale: 1" = 30'-0"

Meriter Heights Renovation Madison, Wisconsin

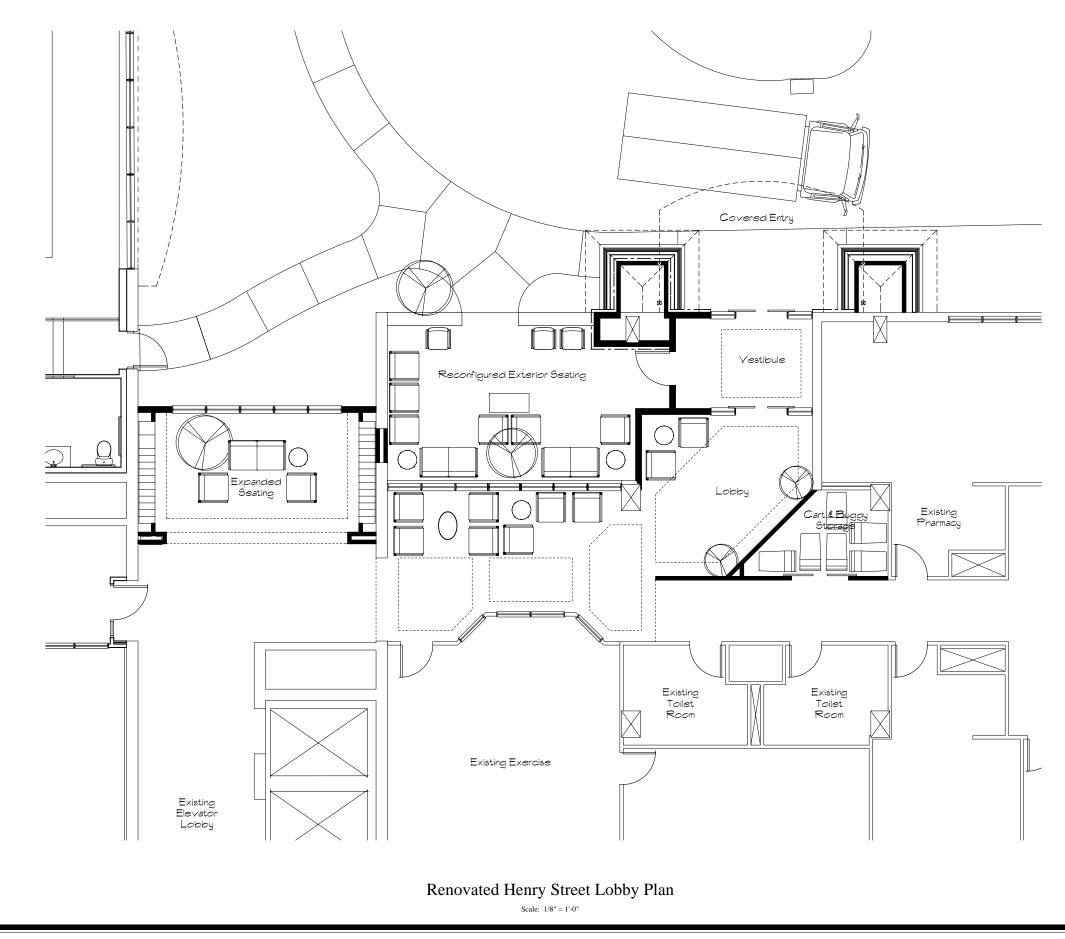
Meriter Retirement Services, Inc.

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November 29, 2006

SGN+A Simonson Germany Nonemaker + Associates Planning Architecture Landscape Architec





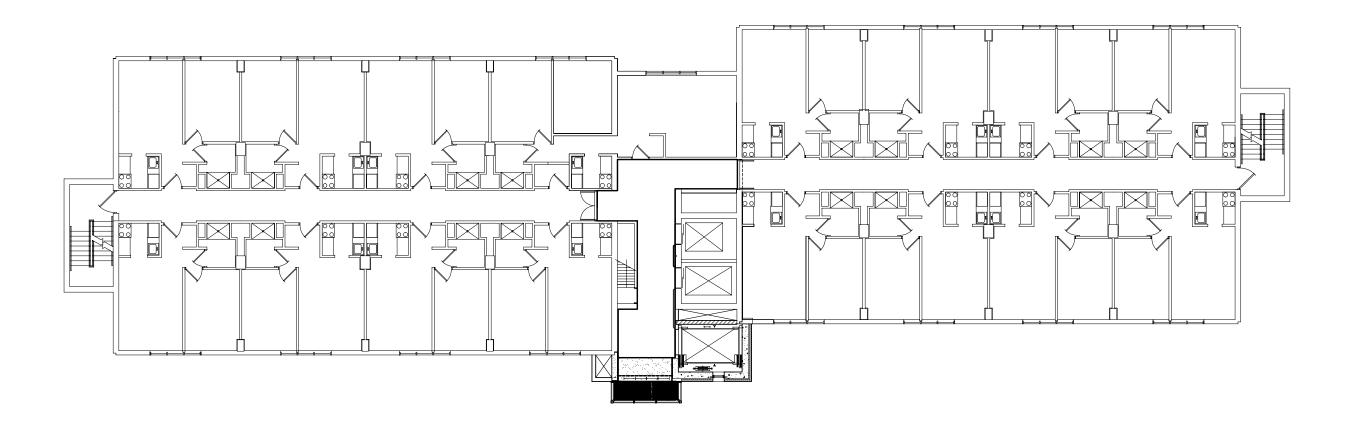
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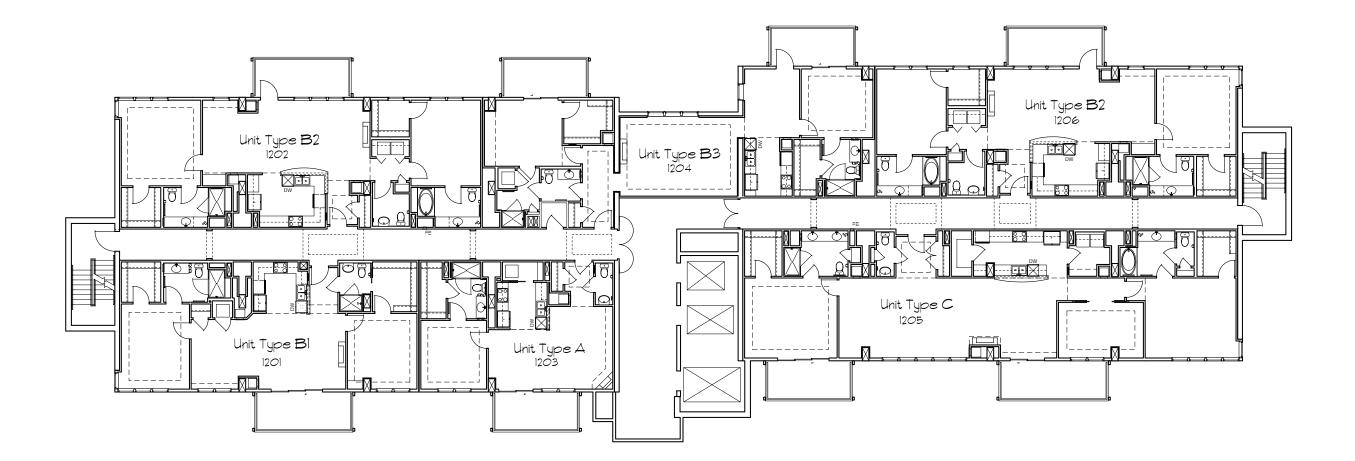
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Existing Residential Level _{Scale: 1/8" = 1'-0"}

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November 29, 2006

SGN+A



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Proposed Renovations-Levels 13,14 & 15

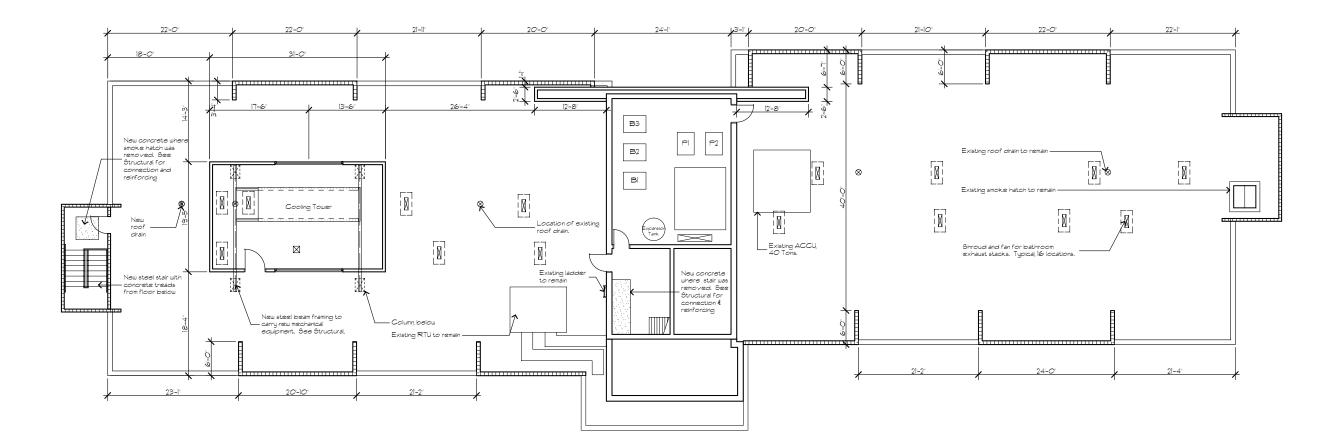
Scale: 1/8" = 1'-0"

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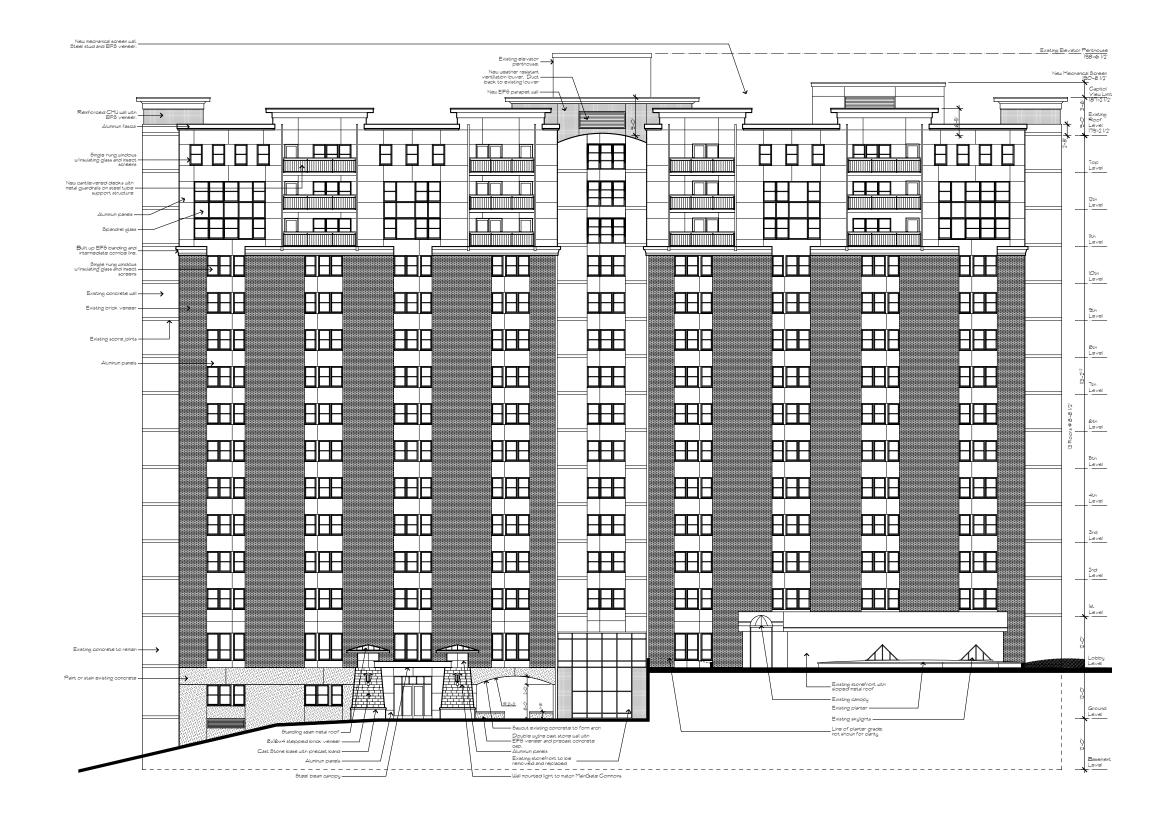
Penthouse/Roof Plan Scale: 1/8" = 1'-0"

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Henry Street Elevation Scale: 3/32" = 1'-0"

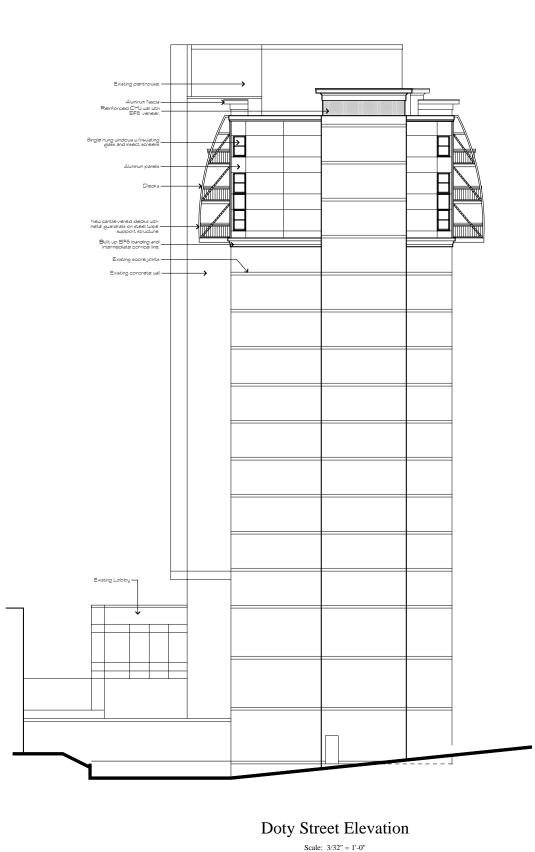
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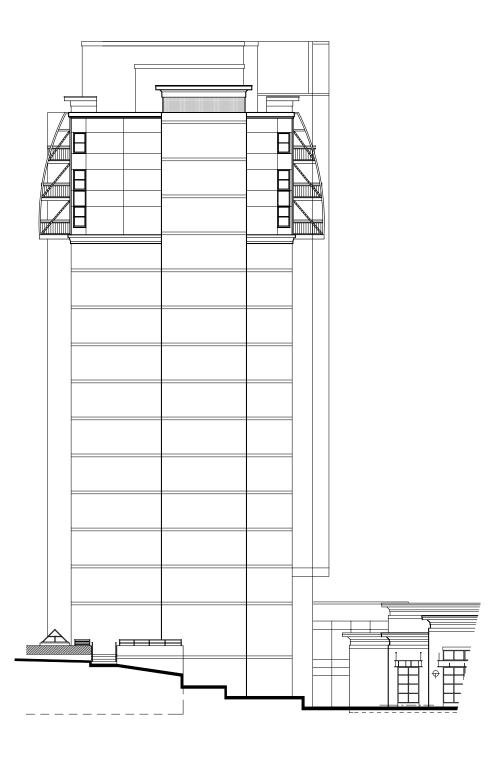
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Wests Main Street Elevation Scale: 3/32" = 1'-0"

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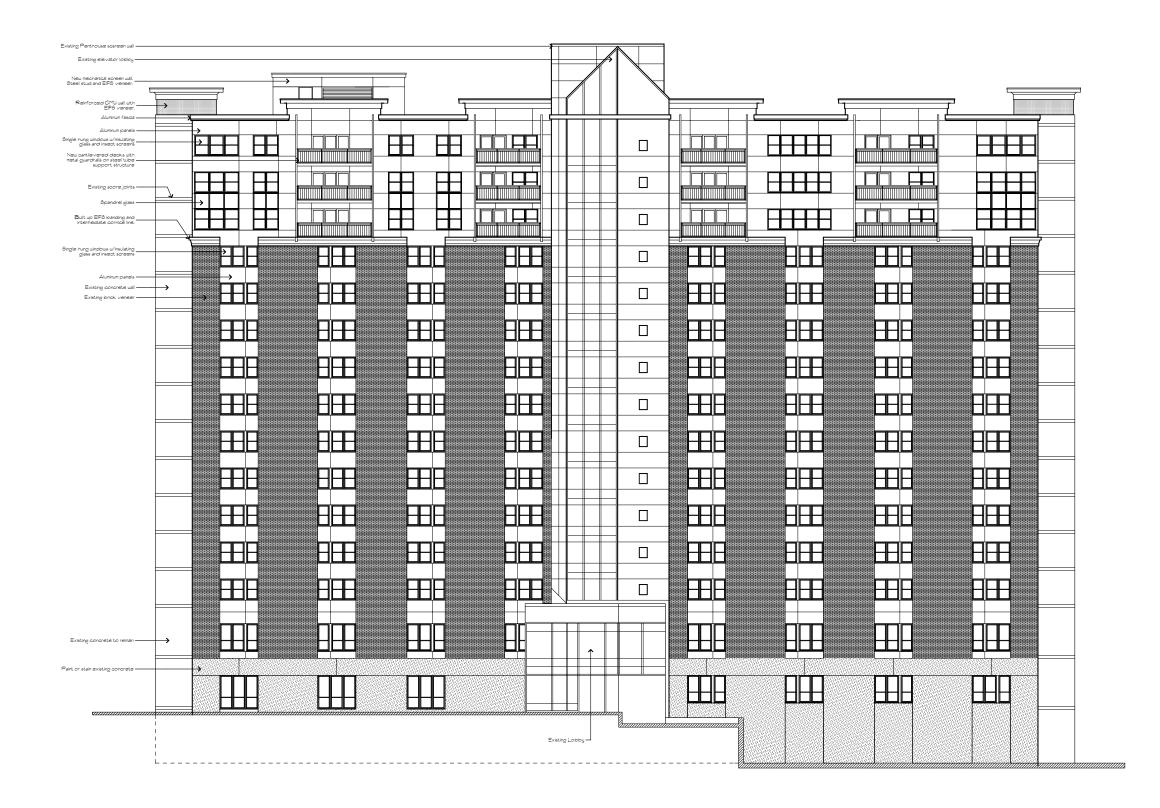
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Courtyard Elevation Scale: 3/32" = 1'-0"

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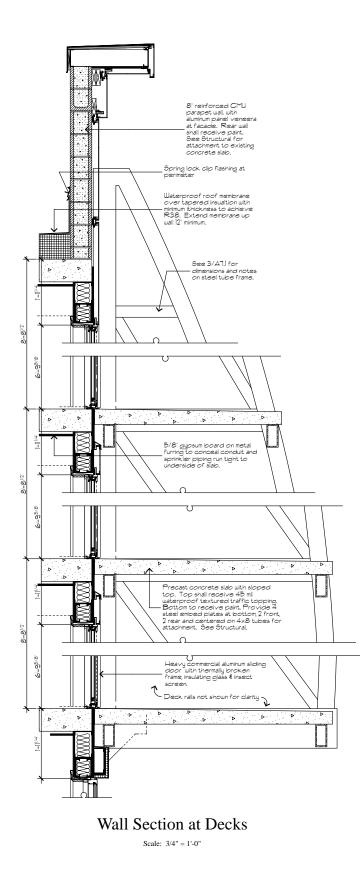
Meriter Retirement Services, Inc.

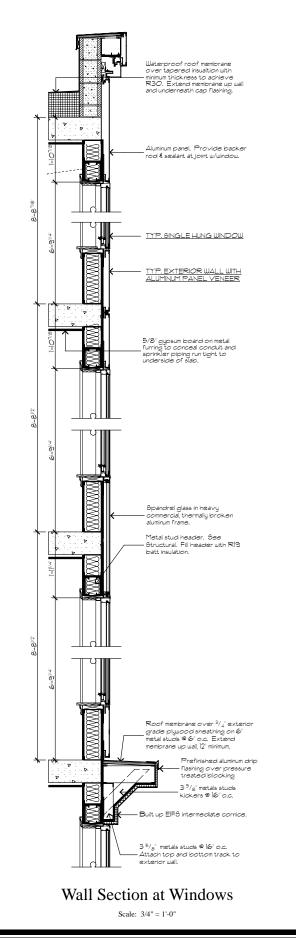
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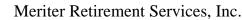
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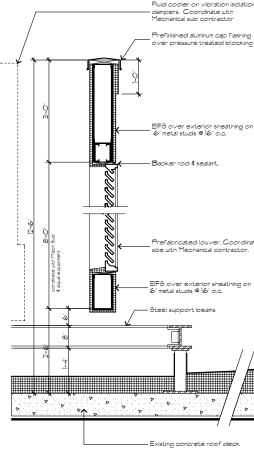




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Wall Section at Mechanical Screen

Scale: 3/4" = 1'-0"

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EIFS over exterior sheathing on 3 ⁵/g^{*} metal studs @ 16^{**} o.c. Attach each stud to CMU wall. Form drip into EIFS veneer.

Waterproof roof membrane over tapered insualtion with — minimum thickness to achieve R38. Extend membrane up wall and underneath cap flashing.

- 6" metal studs @ 16" o.c.

Prefinished and preformed aluminum cap flashing over - continuous pressure treated 2x blocking, Provide cleats each face.

Prefabricated louver. Coordinate size with Mechanical contractor.

EIFS over exterior sheathing on 6" metal studs @ 16" o.c. - Steel support beams 7.00 Þ Þ. P – Existing concrete roof deck

Prefinished aluminum cap flashing over pressure treated blocking

Fluid cooler on vibration isolation - dampers. Coordinate with Mechanical sub contractor



Existing Condition



Proposed Revisions

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