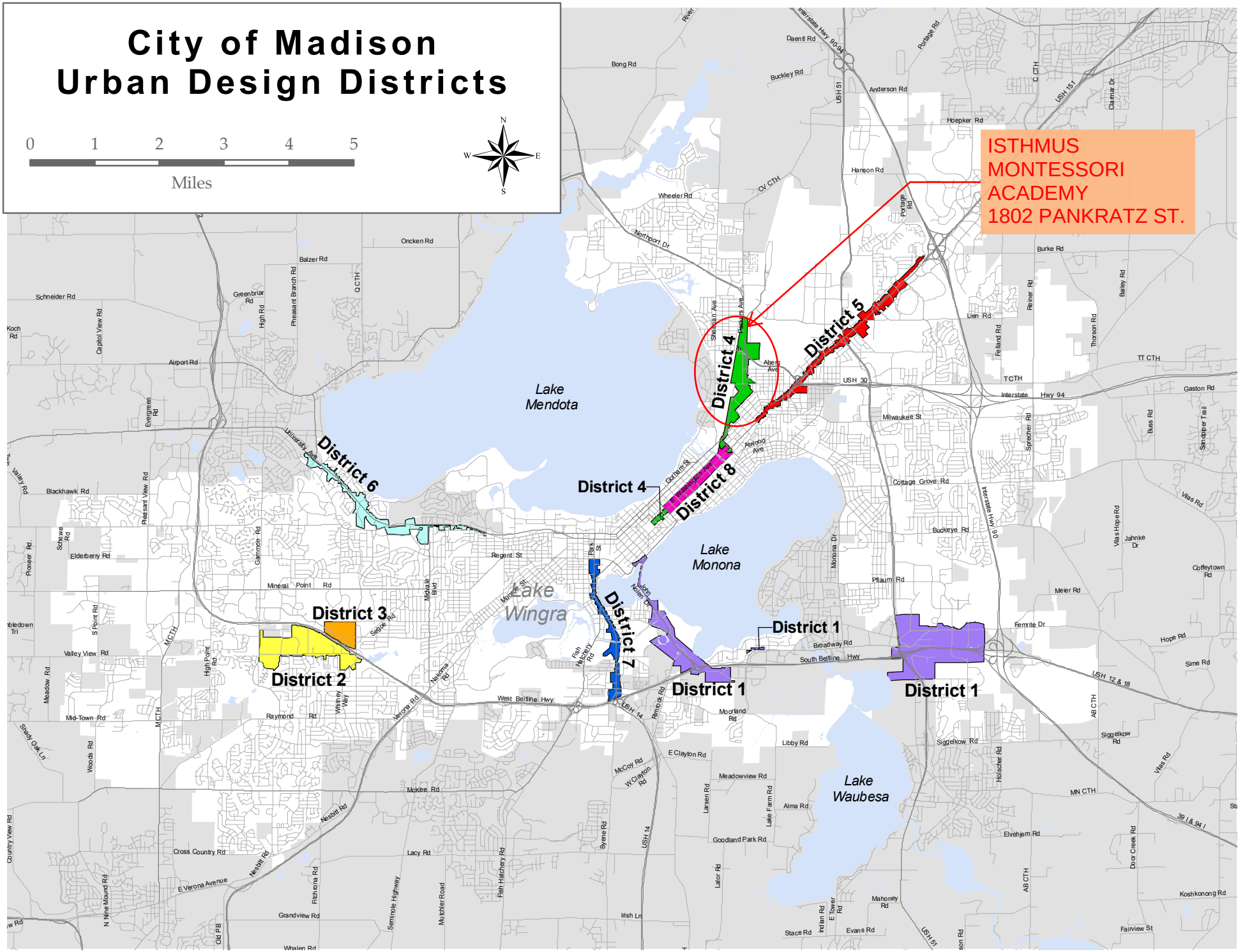
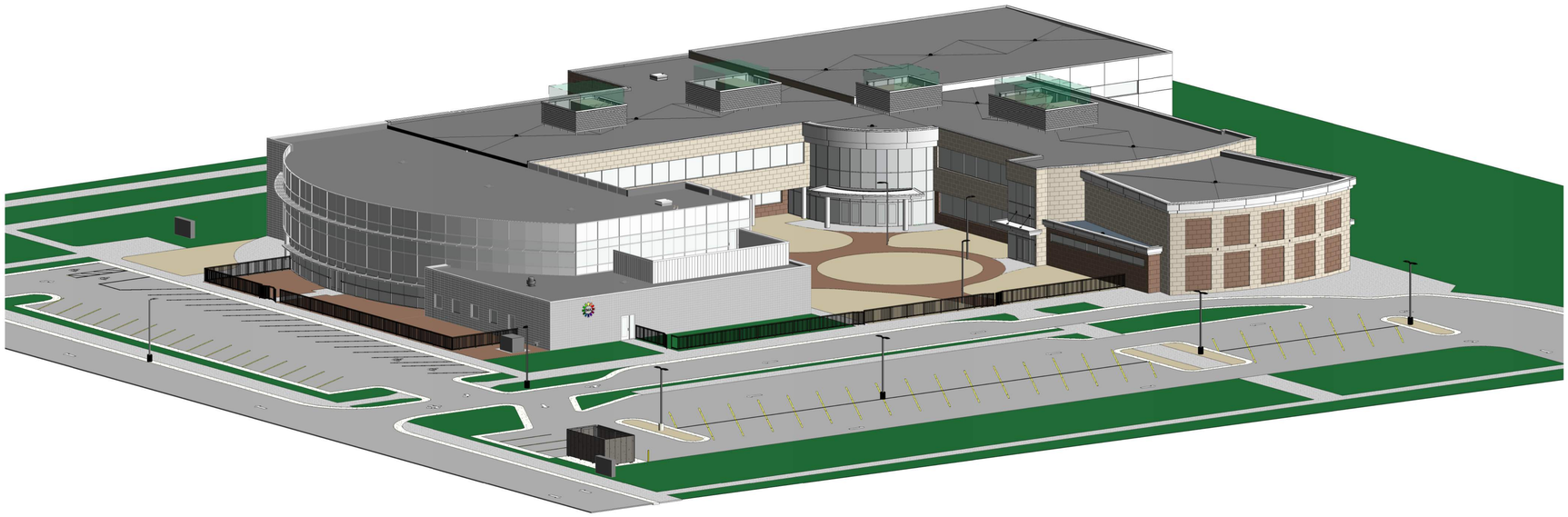
City of Madison
Urban Design Districts

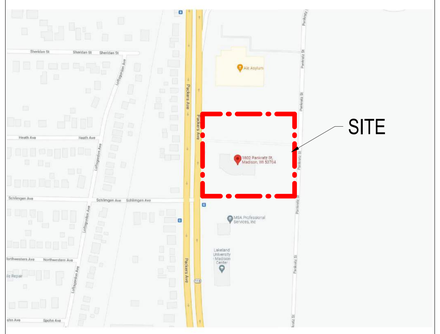


City of Madison Department of Planning & Community & Economic Development, Planning Unit, January 2011, slm

ISTHMUS MONTESSORI ACADEMY



SITE LOCATION MAP



1802 PANKRATZ
STREET, MADISON, WI

PROJECT DIRECTORY

DESIGN-BUILDER
ICONICA, INC.
901 DEMING WAY
MADISON, WISCONSIN 53717
PHONE: (608) 664-3500
FAX : (608) 664-3535

OWNER
ISTHMUS MONTESSORI ACADEMY
1802 PANKRATZ STREET
MADISON, WI 53704

CIVIL ENGINEER
MSA PROFESSIONAL SERVICES, INC.
1702 PANKRATZ STREET
MADISON, WI 53704
PHONE: (608) 242-7779

LANDSCAPE DESIGNER
MSA PROFESSIONAL SERVICES, INC.
1702 PANKRATZ STREET
MADISON, WI 537704
PHONE: (608) 242-7779

BUILDING CODE

1. Building Regulations: 2015 IEBC with WI Amendments - LEVEL 2 ALTERATION
   ICC / ANSI A117.1 - 2009

2. Use Group/Occupancy: Educational Group E - School (305.1)
   Educational Group E - Daycare (305.2)
   Business Group B - Administrative Offices (304.1)

3. Non-Separated Occupancies: (508.3)

4. Type of Construction: Type II-B (602.2)

5. Protection of Elements: As determined by tabular values (Table 601 & Table 602)

(Group E / Type II-B)	
Structural frame	0 hr
Ext. bearing wall	0 hr where X ≥ 30' (all locations)
Int. bearing walls	0 hr
Ext. non-bearing walls	0 hr where X ≥ 30' (all locations)
Int. non-bearing walls	0 hr
Floor construction	0 hr
Roof construction	0 hr

6. Allowable Height & Area: As determined / allowed by tabular values:
   Group E is most restrictive use type
   Type of construction is II-B
   Building is Fully Sprinklered, Two stories

   75' max. height (Table 504.3)
   3 Stories max. (Table 504.4)
   43,400 sf max. w/o modifications (Table 506.2)

   Actual building information:
   Height = 28'-6"
   2 Stories above grade plane
   First Floor:
   Existing = 14,466 sf
   Addition = 27,432 sf
   TOTAL = 41,898 sf

   Second Floor:
   Existing = 9,939 sf
   Addition = 17,003 sf
   TOTAL = 26,942 sf

8. Sprinkler system: NFPA 13 - (903.3.1.1) and as required by Local Ordinance

9. Fire Extinguishers:
   Type: 2A (General Building) - existing to remain
   Distance to Extinguisher: 75'
   Floor Area / Extinguisher: 11,250 sq. ft.
   Minimum Rating: Class B
   Type: K (Kitchen Area) - existing to remain
   Distance to Extinguisher: 30'

10. Number of Occupants: As determined by tabular values (Table 1004.1.2)
    See Code Plan for calculations by room / area

11. Exiting:
    Exit width = 0.3 inches per person at stairways (1005.3.1)
    Exit width = 0.2 inches per person at other egress components (1005.3.2)
    Accessible means of egress provided per (1009.1)
    Spaces with one exit or exit access doorway (Table 1006.2.1) - Group E = 49 mac. occupant load / room
    75' Maximum common path of egress travel (Table 1006.2.1)
    Minimum number of exits = 2 (Table 1006.3.1)
    Exit access doorway configuration (1007.1.1)
    Exit signs provided as required (1013)
    44" min at corridors (Table 1020.2)
    Corridors not required to be rated (Table 1020.1) - Group E
    32" min. clear at exit doors
    50' Maximum dead end corridor (1020.4, Exception #2)
    250' Maximum exit access travel distance (Table 1017.2) - Group E fully sprinklered

12. Accessibility: Provided per IBC Chapter 11 and ICC A117

13. Plumbing: 500' maximum travel distance to toilet facilities. (See Code sheet on A011 for detailed info).

14. Parking: (76) parking stalls (72 standard, 4 accessible)
    (Table 1106.1) - (3) Accessible stalls are required. (4) are provided.
    (1106.5) - (1) Van Accessible stall is required. (1) is provided.

15. Marking Identification: Fire Walls, Fire Barriers, Fire Partitions, Smoke Barriers and Smoke Partitions shall be permanently identified with stenciling (703.6) except in areas where gypsum board ceilings are provided.
    1. Located in concealed floor, floor/ceiling or attic spaces.
    2. at intervals not exceeding 30' measured horizontally.
    3. Letters to be not less than 0.5" in height.

BID PACKAGES

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General		
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	A012	SECOND FLOOR CODE PLAN
Civil & Landscaping		
•	C100	EXISTING SITE & REMOVALS PLAN - EAST
•	C101	EXISTING SITE & REMOVALS PLAN - WEST
•	C102	PROPOSED SITE LAYOUT - EAST
•	C103	PROPOSED SITE LAYOUT - WEST
•	C104	PROPOSED SITE DIMENSIONS - EAST
•	C105	PROPOSED SITE DIMENSIONS - WEST
•	C106	GRADING PLAN - EAST
•	C107	GRADING PLAN - WEST
•	C108	UTILITY PLAN - EAST
•	C109	UTILITY PLAN - WEST
•	C110	EROSION CONTROL PLAN - EAST
•	C111	EROSION CONTROL PLAN - WEST
•	C112	LANDSCAPE PLAN - EAST
•	C113	LANDSCAPE PLAN - WEST
•	C114	FIRE ACCESS PLAN
•	C200	UTILITY SERVICE DETAILS
•	C201	STORM SEWER & POND DETAILS
•	C202	EROSION CONTROL DETAILS
•	C203	STREET DETAILS
•	C204	MISCELLANEOUS DETAILS
•	C205	MISCELLANEOUS DETAILS
•	C206	CURB RAMP GRADING DETAILS
•	C207	CURB RAMP GRADING DETAILS
•	C208	VEHICLE TURNING MOVEMENT DETAIL
Demolition		
	AD201	FIRST FLOOR PLAN DEMOLITION
	AD202	SECOND FLOOR PLAN DEMOLITION
14-Presentation		
	Z401	NORTHWEST PERSPECTIVE
Architectural		
	A001	ABBREVIATIONS, SYMBOLS AND NOTES
•	A101	SITE PLAN DETAILS
•	A201	OVERALL FIRST FLOOR PLAN
	A201A	FIRST FLOOR PLAN - AREA A
	A201B	FIRST FLOOR PLAN - AREA B
•	A202	OVERALL SECOND FLOOR PLAN
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•	A207	ROOF PLAN
•	A301	BUILDING ELEVATIONS
•	A301A	BUILDING ELEVATIONS
•	A302	BUILDING ELEVATIONS
•	A302A	BUILDING ELEVATIONS
•	A303	EXISTING BUILDING PHOTOS
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SHEET INDEX

UDC / PLAN COMMISSION #1	SHEET #	SHEET TITLE
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•	A401	BUILDING SECTIONS
	A410	WALL SECTIONS
	A500	PLAN DETAILS
	A510	SECTION DETAILS
	A520	EXTERIOR DOOR DETAILS
	A521	WINDOW DETAILS
	A530	MISC DETAILS
	A540	ROOF DETAILS
	A550	FLASHING DETAILS AND SCHEDULE
	A609	ENLARGED SECOND FLOOR PLAN
	A610	ENLARGED STAIR PLANS
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	A700	WALL TYPES
	A710	DOOR AND HARDWARE SCHEDULES
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	A801B	FIRST FLOOR REFLECTED CEILING PLAN - AREA B
	A801C	FIRST FLOOR REFLECTED CEILING PLAN - AREA C
	A802B	SECOND FLOOR REFLECTED CEILING PLAN AREA-B
	A802E	SECOND FLOOR REFLECTED CEILING PLAN AREA-E
Interior		
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	I701	FINISH SCHEDULES
Plumbing		
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	P200B	FIRST FLOOR AREA B UNDERFLOOR PLUMBING
	P201A	FIRST FLOOR AREA A PLUMBING
	P201B	FIRST FLOOR AREA B PLUMBING
	P501	PLUMBING TYPICAL DETAILS
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	P902	AREA B PLUMBING DWV RISERS
	P911	AREA A PLUMBING SUPPLY RISERS
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	E100P	SITE PHOTOMETRICS
	E201AP	FIRST FLOOR AREA A POWER
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	E201BL	FIRST FLOOR AREA B LIGHTING
	E201BP	FIRST FLOOR AREA B POWER
	E501	ELECTRICAL DETAILS
	E701	ELECTRICAL SCHEDULES

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ISTHMUS MONTESSORI ACADEMY
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MADISON, WI 53704

ISSUE DATES:

Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22

Sheet Title
COVER SHEET

Project Number: 20210400

Sheet Number
G001

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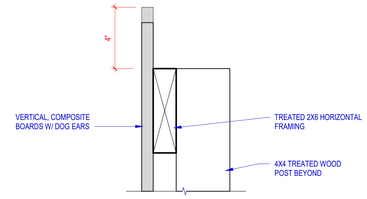
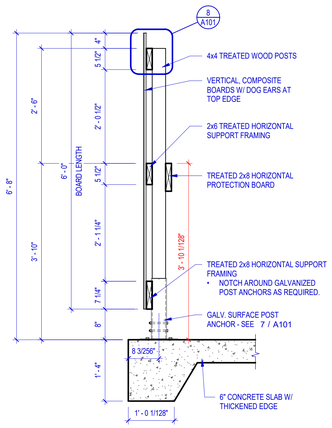
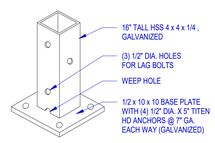


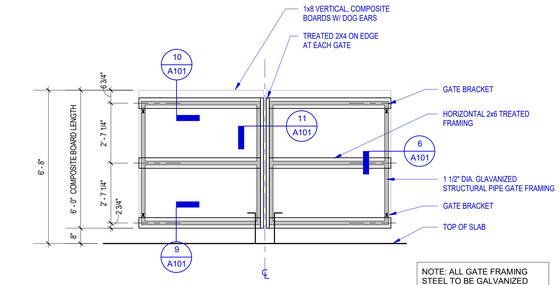
8 A101 DUMPSTER ENCLOSURE - CAP DETAIL
3" = 1'-0"



4 A101 SECTION @ DUMPSTER ENCLOSURE
3/4" = 1'-0"

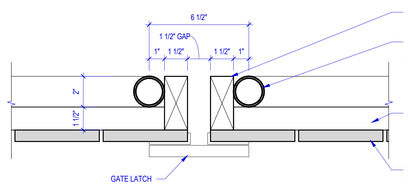


7 A101 DUMPSTER ENCLOSURE - POST BRACKET
1/4" = 1'-0"

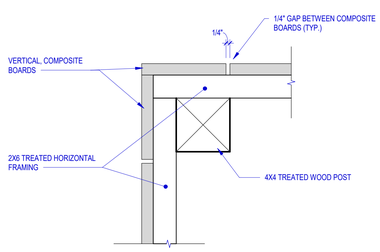


NOTE: ALL GATE FRAMING STEEL TO BE GALVANIZED

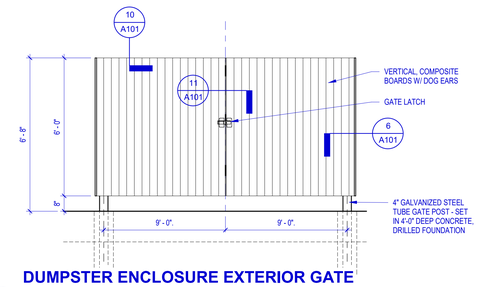
3 A101 DUMPSTER ENCLOSURE INTERIOR GATE ELEVATION
3/8" = 1'-0"



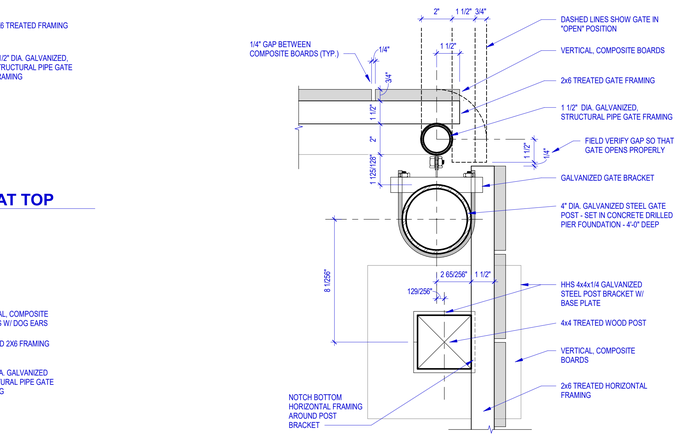
11 A101 DUMPSTER ENCLOSURE - LATCH DETAIL
3" = 1'-0"



5 A101 CORNER POST DETAIL
3" = 1'-0"

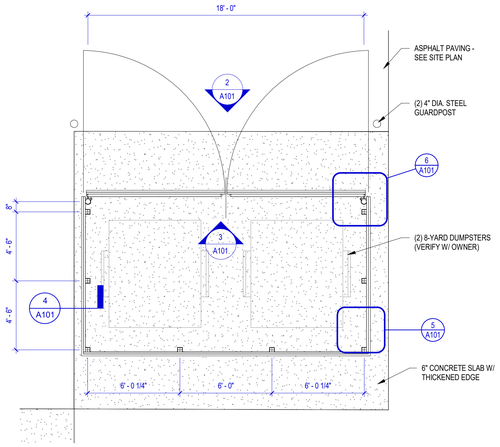


2 A101 DUMPSTER ENCLOSURE EXTERIOR GATE ELEVATION
3/8" = 1'-0"



10 A101 GATE FRAMING DETAIL AT TOP
3" = 1'-0"

6 A101 DUMPSTER ENCLOSURE - GATE POST DETAIL
3" = 1'-0"



1 A101 DUMPSTER ENCLOSURE PLAN
1/4" = 1'-0"

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MADISON, WI 53704

ISSUE DATES:

Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22

Sheet Title
SITE PLAN DETAILS

Project Number: 20210400
Sheet Number
A101

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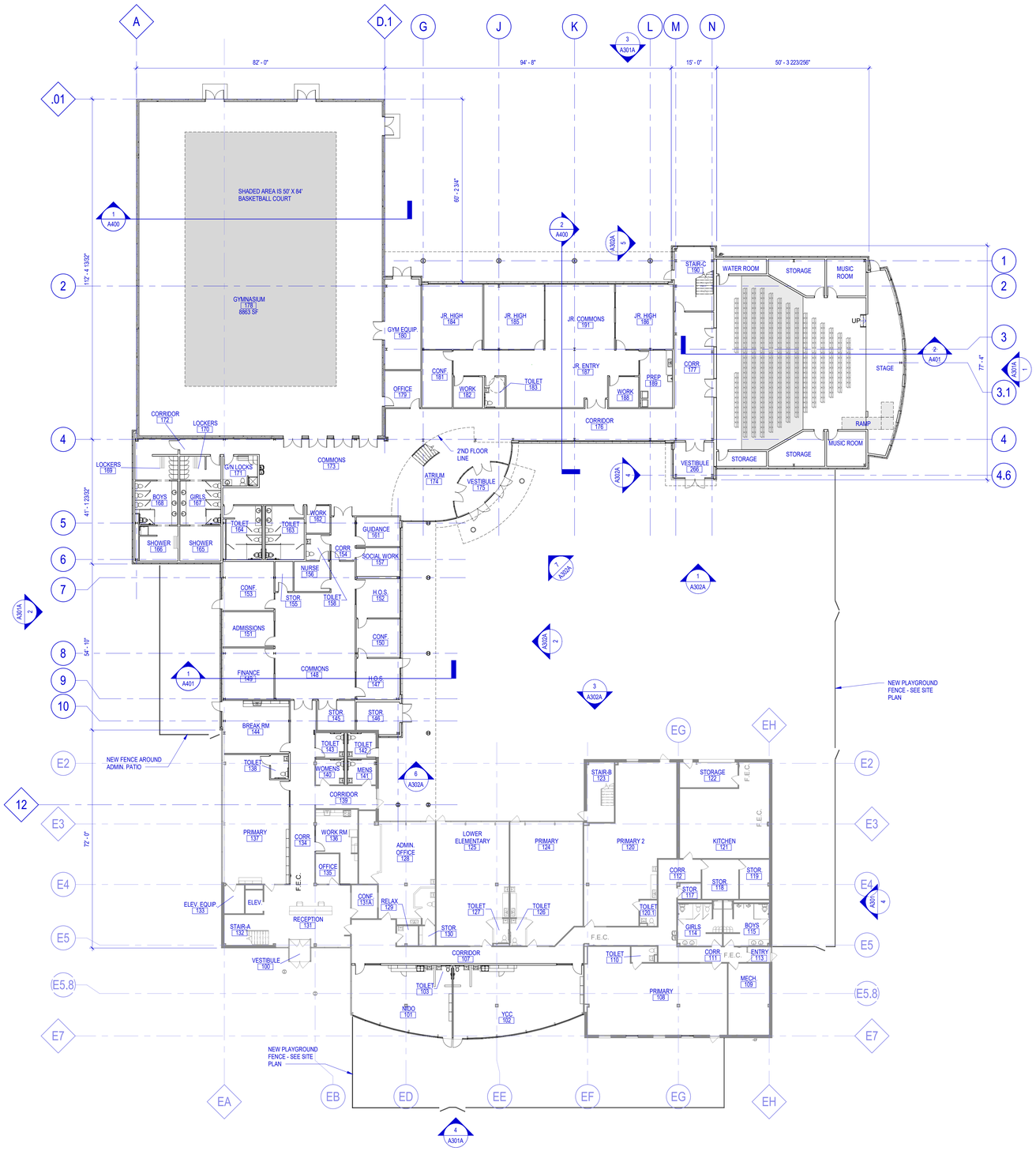


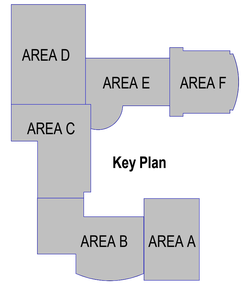
PLAN NORTH

N 1 A201

OVERALL FIRST FLOOR PLAN

1/16" = 1'-0"

0' 16' 32'



Key Plan

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MADISON, WI 53704

ISSUE DATES:

Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22

Sheet Title
OVERALL FIRST FLOOR PLAN

Project Number: 20210400
Sheet Number
A201

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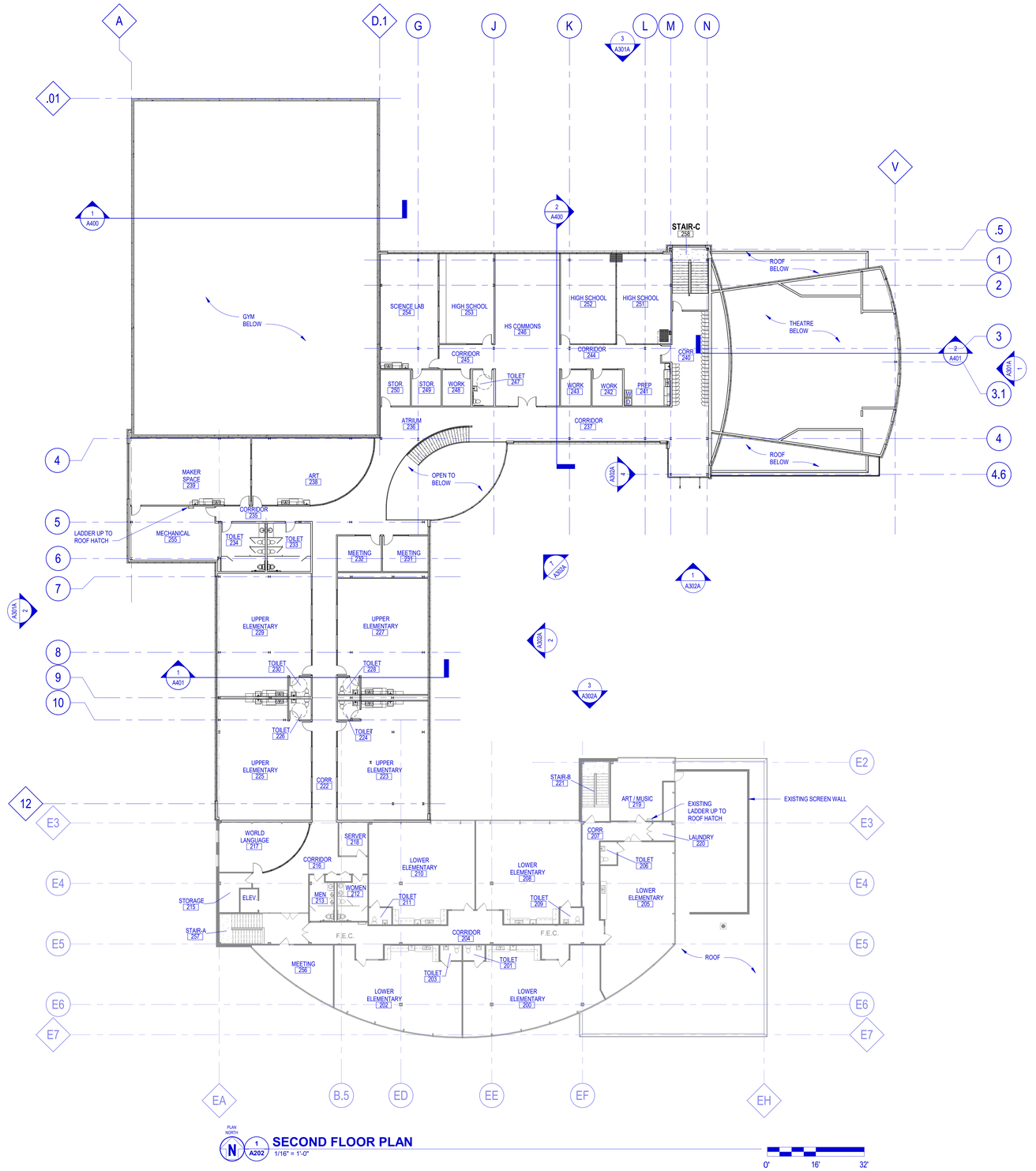


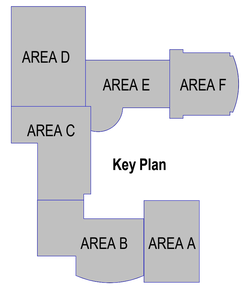
PLAN NORTH

N 1 A202

SECOND FLOOR PLAN

1/16" = 1'-0"

0' 16' 32'



Key Plan

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1802 PANKRATZ STREET
MADISON, WI 53704

ISSUE DATES:

Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22

Sheet Title
OVERALL SECOND FLOOR PLAN

Project Number: 20210400

Sheet Number
A202

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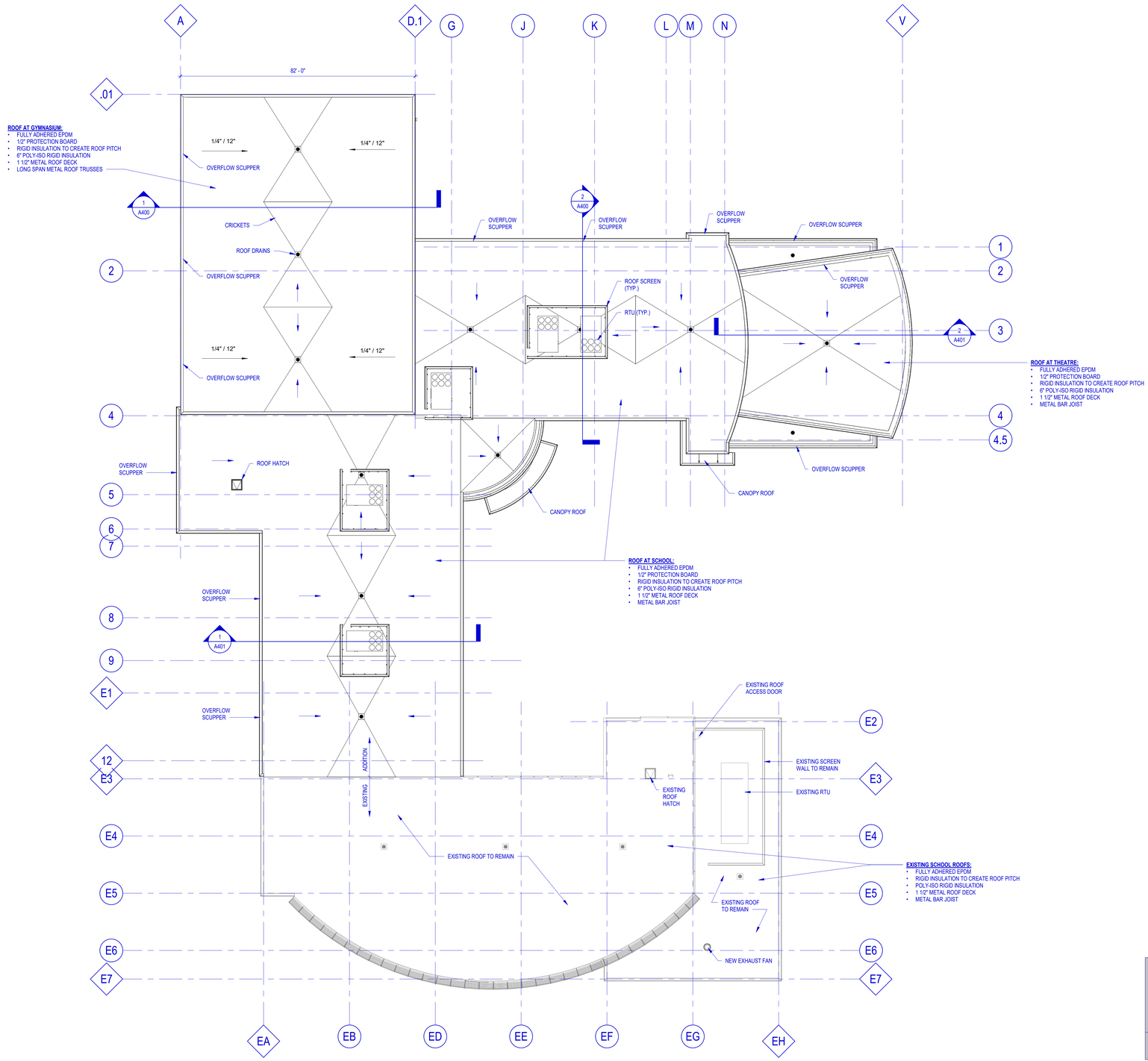


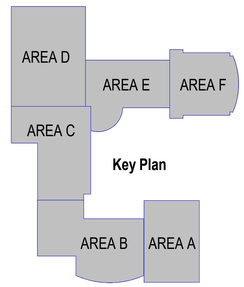
PLAN NORTH

N 1 A207

ROOF PLAN

1/16" = 1'-0"

0' 16' 32'



Key Plan

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iconicacreates.com

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1802 PANKRATZ STREET
MADISON, WI 53704

ISSUE DATES:

Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22

Sheet Title
ROOF PLAN

Project Number: 20210400
Sheet Number
A207

3/11/2022 1:33:33 PM

EXTERIOR MATERIAL LEGEND

CMV1

CONCRETE MASONRY VENEER
MANUF: BUECHEL STONE CORP.
PRODUCT: HONEY STONES - LIMESTONE 12"x24" PANELS
FINISH: *SILVERDALE*
URL: https://buechelstone.com/product/silverdale-panels/

CMV2

CONCRETE MASONRY VENEER
MANUF: COUNTY MATERIALS
PRODUCT: HERITAGE COLLECTION - SMOOTH NF 4"x8"x16" FULL VENEER
FINISH: *COFFEE*
URL: https://www.countymaterials.com/en/products/masonry/heritage-collection-designer-concrete-brick#gsc.tab=0

CMP

STEEL CORRUGATED METAL PANEL (RTU SCREENING)
MANUF: *CMG*
PRODUCT: *ULTRA - RIB WALL PANEL*
FINISH: *MATCH PREFINISHED CHAMPAIGN FLASHING COLOR*

PWP

PRECAST INSULATED CONCRETE WALL PANEL
MANUF: *TBD*
FINISH: *EXPOSED AGGREGATE CONCRETE (TAN)*

ACM1

ALUMINUM COMPOSITE MATERIAL PANEL
MANUF: ALPOLIC
FINISH: *CMR CHAMPAGNE (MATCH EXISTING ACM PANELS)*

EXTERIOR DOOR PAINT COLORS:

SHERWIN WILLIAMS - SW XXXX
(EXTERIOR HOLLOW METAL DOORS - MATCH PRECAST PANEL AT GYMNASIUM)

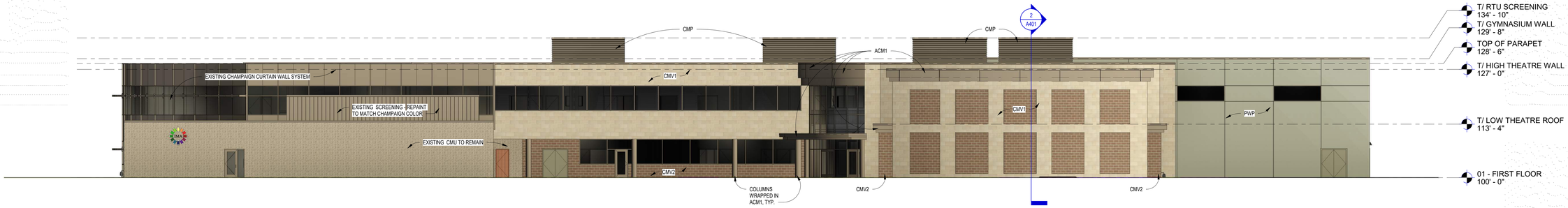
WALL PARAPET PREFINISHED METAL COPING:
MATCH EXISTING CHAMPAIGN CURTAIN WALL SYSTEM

CURTAIN WALL GLAZING:
1" GREY INSULATED LOW-E TEMPERED (TO MATCH EXISTING)
1/4" GREY TEMPERED OUTBOARD LITE
1/2" AIR SPACE
1/4" CLEAR TEMPERED SOLARBAN 60 LOW-E (#3) INBOARD LITE

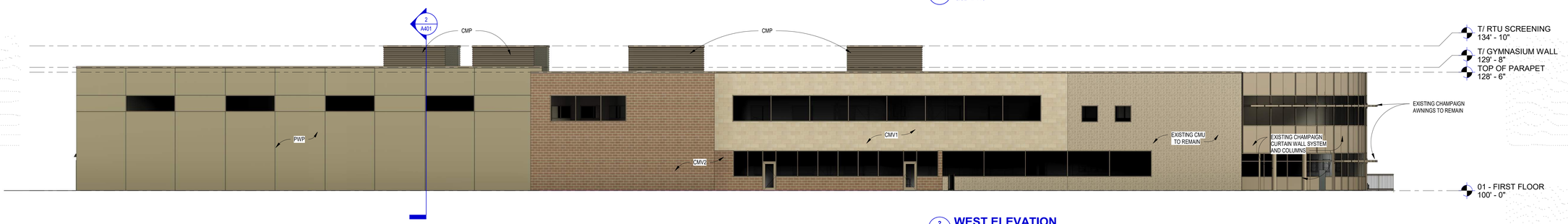
FENCING: Aluminum Commercial Grade
MANUF: Alumi-Guard Commercial
PRODUCT: Ascot 3-Rail Design
COLOR: Black

NOTES:

ALL FENCING NOT SHOWN IN ELEVATIONS FOR CLARITY. SEE SITE PLAN AND PERSPECTIVE VIEWS

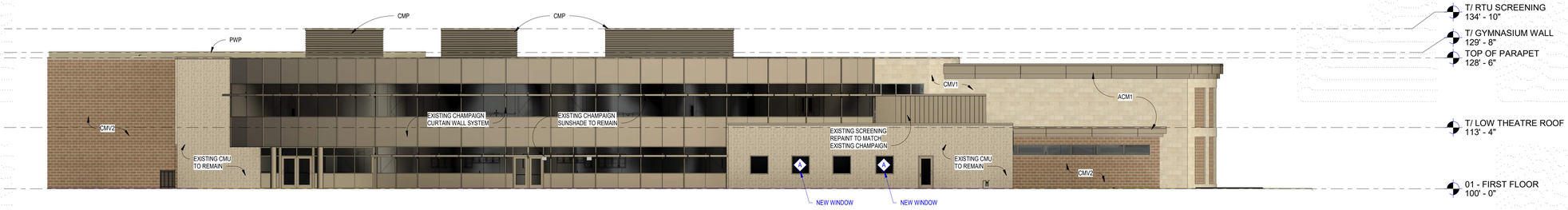


4 A301 EAST ELEVATION
3/32" = 1'-0"



2 A301 WEST ELEVATION
3/32" = 1'-0"

3 A301 NORTH ELEVATION
3/32" = 1'-0"



1 A301 SOUTH ELEVATION
3/32" = 1'-0"

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MADISON, WI 53704

ISSUE DATES:

Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22

Sheet Title
BUILDING ELEVATIONS

Project Number: 20210400

Sheet Number
A301

3/10/2022 12:17:51 PM

EXTERIOR MATERIAL LEGEND

CMV1

CONCRETE MASONRY VENEER
MANUF: BUECHEL STONE CORP.
PRODUCT: HONEY STONES - LIMESTONE 12"x24" PANELS
FINISH: *SILVERDALE*
URL: https://buechelstone.com/product/silverdale-panels/

CMV2

CONCRETE MASONRY VENEER
MANUF: COUNTY MATERIALS
PRODUCT: HERITAGE COLLECTION - SMOOTH NF 4"x8"x16" FULL VENEER
FINISH: *COFFEE*
URL: https://www.countymaterials.com/en/products/masonry/heritage-collection-designer-concrete-brick#gsc.tab=0

CMP

STEEL, CORRUGATED METAL PANEL (RTU SCREENING)
MANUF: *CMG*
PRODUCT: *ULTRA - RIB WALL PANEL*
FINISH: *MATCH PREFINISHED CHAMPAIGN FLASHING COLOR*

PWP

PRECAST INSULATED CONCRETE WALL PANEL
MANUF: *TBD*
FINISH: *EXPOSED AGGREGATE CONCRETE (TAN)*

ACM1

ALUMINUM COMPOSITE MATERIAL PANEL
MANUF: ALPOLIC
FINISH: *CMR CHAMPAGNE (MATCH EXISTING ACM PANELS)*

EXTERIOR DOOR PAINT COLORS:

SHERWIN WILLIAMS - SW XXXX
(EXTERIOR HOLLOW METAL DOORS - MATCH PRECAST PANEL AT GYMNASIUM)

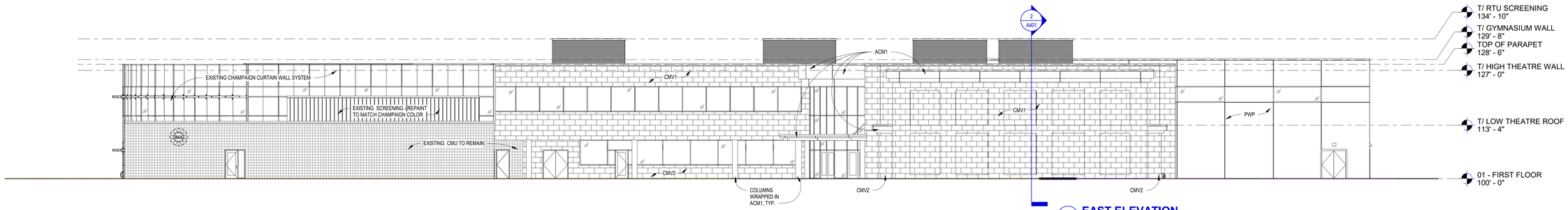
WALL PARAPET PREFINISHED METAL COPING:
MATCH EXISTING CHAMPAIGN CURTAIN WALL SYSTEM

CURTAIN WALL GLAZING:
1" GREY INSULATED LOW-E TEMPERED (TO MATCH EXISTING)
1/4" GREY TEMPERED OUTBOARD LITE
1/2" AIR SPACE
1/4" CLEAR TEMPERED SOLARBAN 60 LOW-E (#3) INBOARD LITE

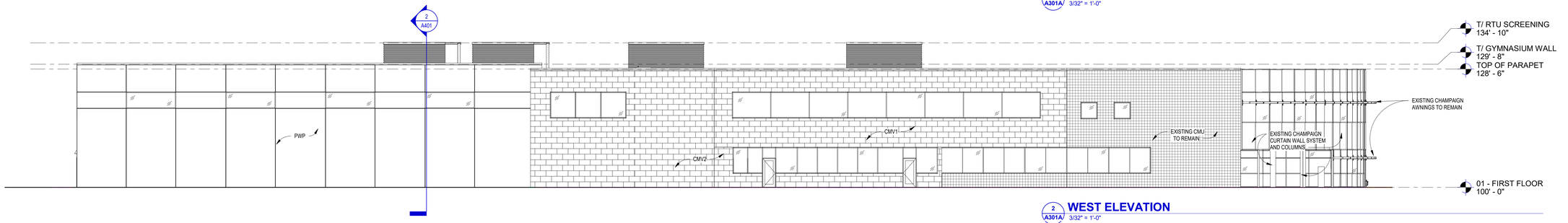
FENCING: Aluminum Commercial Grade
MANUF: Alumi-Guard Commercial
PRODUCT: Ascot 3-Rail Design
COLOR: Black

NOTES:

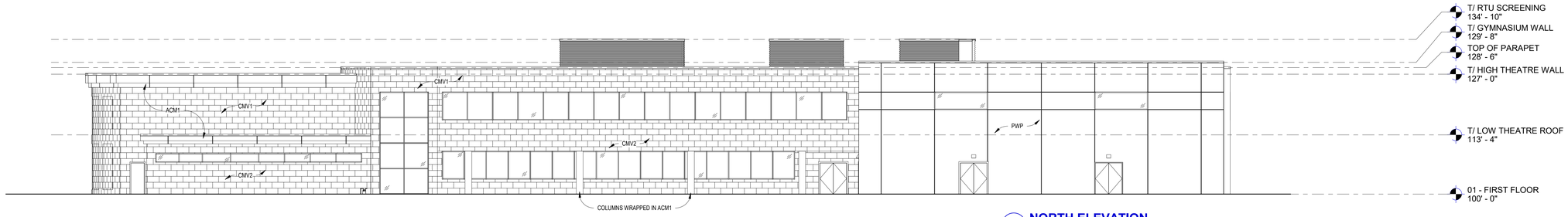
ALL FENCING NOT SHOWN IN ELEVATIONS FOR CLARITY, SEE SITE PLAN AND PERSPECTIVE VIEWS



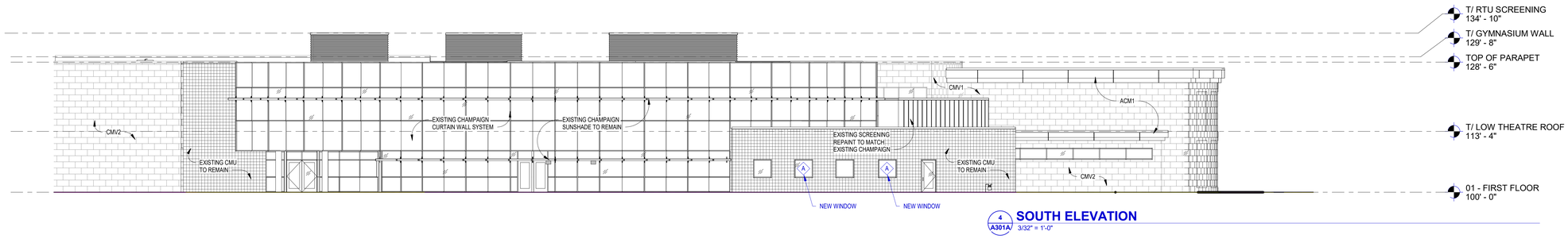
1 A301A **EAST ELEVATION**
3/32" = 1'-0"



2 A301A **WEST ELEVATION**
3/32" = 1'-0"



3 A301A **NORTH ELEVATION**
3/32" = 1'-0"



4 A301A **SOUTH ELEVATION**
3/32" = 1'-0"

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1802 PANKRATZ STREET, MADISON, WI

ISTHMUS MONTESSORI ACADEMY
1802 PANKRATZ STREET
MADISON, WI 53704

ISSUE DATES:

Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22

Sheet Title
BUILDING ELEVATIONS

Project Number: 20210400
Sheet Number
A301A

3/10/2022 1:09:52 PM

EXTERIOR MATERIAL LEGEND

CMV1

CONCRETE MASONRY VENEER
MANUF: BUECHEL STONE CORP.
PRODUCT: HONEY STONES - LIMESTONE 12"x24" PANELS
FINISH: *SILVERDALE*
URL: https://buechelstone.com/product/silverdale-panels/

CMV2

CONCRETE MASONRY VENEER
MANUF: COUNTY MATERIALS
PRODUCT: HERITAGE COLLECTION - SMOOTH NF 4"x8"x16" FULL VENEER
FINISH: *COFFEE*
URL: https://www.countymaterials.com/en/products/masonry/heritage-collection-designer-concrete-brick#gsc.tab=0

CMP

STEEL CORRUGATED METAL PANEL (RTU SCREENING)
MANUF: *CMC*
PRODUCT: *ULTRA - RIB WALL PANEL*
FINISH: *MATCH PREFINISHED CHAMPAIGN FLASHING COLOR*

PWP

PRECAST INSULATED CONCRETE WALL PANEL
MANUF: TBD
FINISH: *EXPOSED AGGREGATE CONCRETE (TAN)*

ACM1

ALUMINUM COMPOSITE MATERIAL PANEL
MANUF: ALPOLIC
FINISH: *CMR CHAMPAGNE (MATCH EXISTING ACM PANELS)*

EXTERIOR DOOR PAINT COLORS:

SHERWIN WILLIAMS - SW XXXX
(EXTERIOR HOLLOW METAL DOORS - MATCH PRECAST PANEL AT GYMNASIUM)

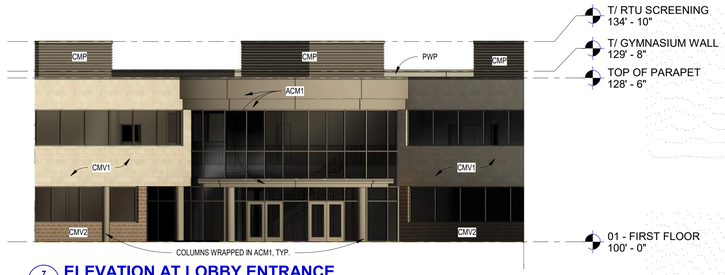
WALL PARAPET PREFINISHED METAL COPING:
MATCH EXISTING CHAMPAIGN CURTAIN WALL SYSTEM

CURTAIN WALL GLAZING:
1" GREY INSULATED LOW-E TEMPERED (TO MATCH EXISTING)
1/4" GREY TEMPERED OUTBOARD LITE
1/2" AIR SPACE
1/4" CLEAR TEMPERED SOLARBAN 60 LOW-E (#3) INBOARD LITE

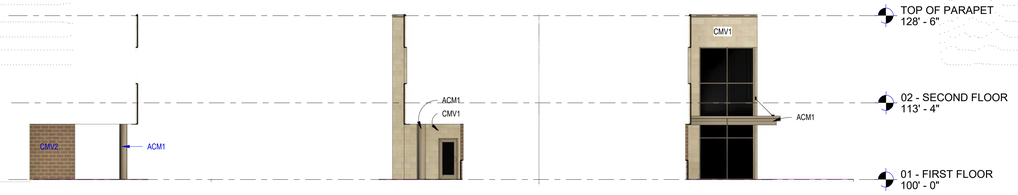
FENCING: Aluminum Commercial Grade
MANUF: Alumi-Guard Commercial
PRODUCT: Ascot 3-Rail Design
COLOR: Black

NOTES:

ALL FENCING NOT SHOWN IN ELEVATIONS FOR CLARITY, SEE SITE PLAN AND PERSPECTIVE VIEWS



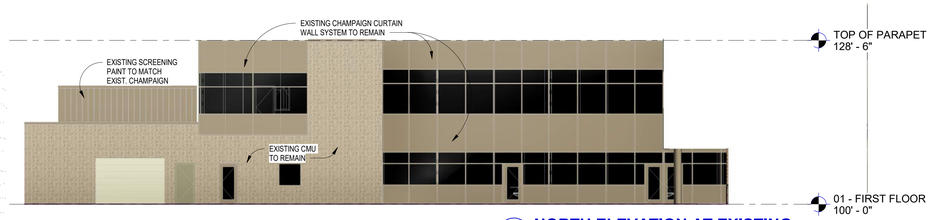
7 A302 **ELEVATION AT LOBBY ENTRANCE**
3/32" = 1'-0"



6 A302 **SOUTH ELEVATION AT INSET 1**
3/32" = 1'-0"

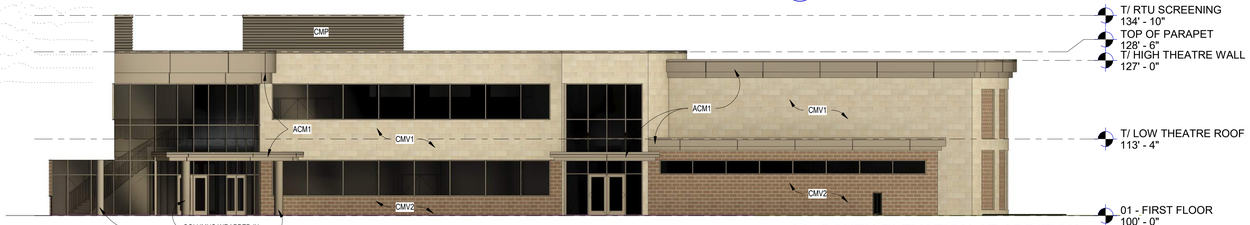
5 A302 **WEST ELEVATION AT INSET 2**
3/32" = 1'-0"

4 A302 **WEST ELEVATION AT INSET 1**
3/32" = 1'-0"



3 A302 **NORTH ELEVATION AT EXISTING**
3/32" = 1'-0"

2 A302 **EAST ELEVATION AT ADDITION**
3/32" = 1'-0"



1 A302 **SOUTH ELEVATION AT ADDITION**
3/32" = 1'-0"

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MADISON, WI 53704

ISSUE DATES:

Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22

Sheet Title
BUILDING ELEVATIONS

Project Number: 20210400
Sheet Number
A302

3/10/2022 12:27:54 PM

EXTERIOR MATERIAL LEGEND

CMV1

CONCRETE MASONRY VENEER
MANUF: BUECHEL STONE CORP.
PRODUCT: HONEY STONES - LIMESTONE 12"x24" PANELS
FINISH: *SILVERDALE*
URL: https://buechelstone.com/product/silverdale-panels/

CMV2

CONCRETE MASONRY VENEER
MANUF: COUNTY MATERIALS
PRODUCT: HERITAGE COLLECTION - SMOOTH NF 4"x8"x16" FULL VENEER
FINISH: *COFFEE*
URL: https://www.countymaterials.com/en/products/masonry/heritage-collection-designer-concrete-brick#gsc.tab=0

CMP

STEEL CORRUGATED METAL PANEL (RTU SCREENING)
MANUF: *CMG*
PRODUCT: *ULTRA - RIB WALL PANEL*
FINISH: *MATCH PREFINISHED CHAMPAIGN FLASHING COLOR*

PWP

PRECAST INSULATED CONCRETE WALL PANEL
MANUF: *TBD*
FINISH: *EXPOSED AGGREGATE CONCRETE (TAN)*

ACM1

ALUMINUM COMPOSITE MATERIAL PANEL
MANUF: ALPOLIC
FINISH: *CMR CHAMPAGNE (MATCH EXISTING ACM PANELS)*

EXTERIOR DOOR PAINT COLORS:

SHERWIN WILLIAMS - SW XXXX
(EXTERIOR HOLLOW METAL DOORS - MATCH PRECAST PANEL AT GYMNASIUM)

WALL PARAPET PREFINISHED METAL COPING:
MATCH EXISTING CHAMPAIGN CURTAIN WALL SYSTEM

CURTAIN WALL GLAZING:
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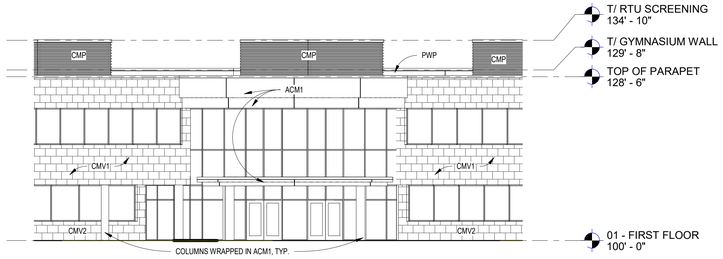
1/4" GREY TEMPERED OUTBOARD LITE
1/2" AIR SPACE
1/4" CLEAR TEMPERED SOLARBAN 60 LOW-E (#3) INBOARD LITE

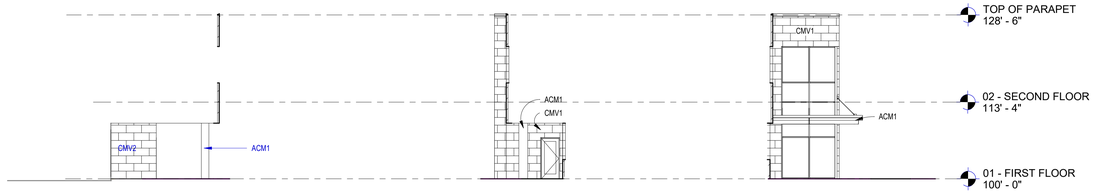
FENCING: Aluminum Commercial Grade
MANUF: Alumi-Guard Commercial
PRODUCT: Ascot 3-Rail Design
COLOR: Black

NOTES:

ALL FENCING NOT SHOWN IN ELEVATIONS FOR CLARITY, SEE SITE PLAN AND PERSPECTIVE VIEWS



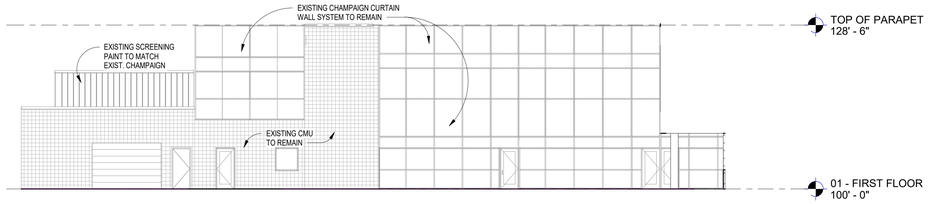
7 A302A **ELEVATION AT LOBBY ENTRANCE A302A**
3/32" = 1'-0"



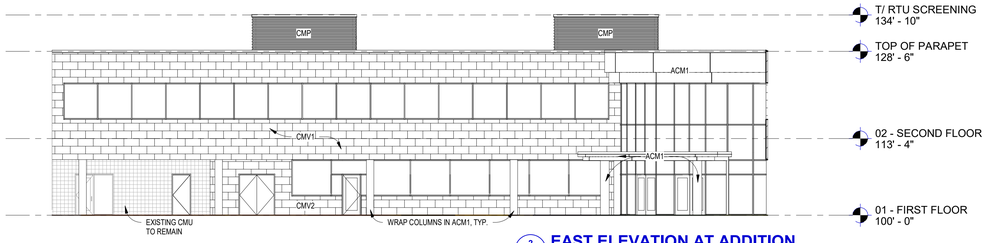
5 A302A **SOUTH ELEVATION AT INSET 1**
3/32" = 1'-0"

6 A302A **WEST ELEVATION AT INSET 2**
3/32" = 1'-0"

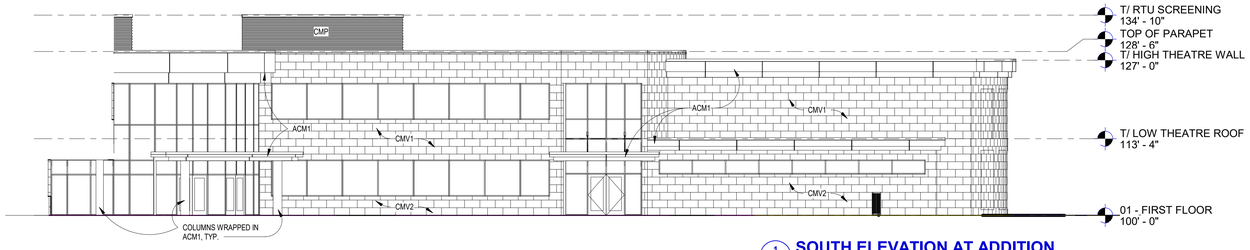
4 A302A **WEST ELEVATION AT INSET 1**
3/32" = 1'-0"



3 A302A **NORTH ELEVATION AT EXISTING**
3/32" = 1'-0"



2 A302A **EAST ELEVATION AT ADDITION**
3/32" = 1'-0"



1 A302A **SOUTH ELEVATION AT ADDITION**
3/32" = 1'-0"

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1802 PANKRATZ STREET
MADISON, WI 53704

ISSUE DATES:

Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22

Sheet Title
BUILDING ELEVATIONS

Project Number: 20210400
Sheet Number
A302A

3/10/2022 1:11:14 PM

NORTH

EXISTING BUILDING / SITE

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MADISON, WI 53704

ISSUE DATES:

Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22

Sheet Title
EXISTING BUILDING PHOTOS

Project Number: 20210400
Sheet Number
A303

3/10/2022 11:34:52 AM

1 A304 **NORTH WEST VIEW FROM PANKRATZ ST.**
12" = 1'-0"

2 A304 **SOUTH EAST VIEW FROM PACKERS AVE.**
12" = 1'-0"

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ISSUE DATES:

Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22

Sheet Title
PERSPECTIVES

Project Number: 20210400

Sheet Number
A304

3/10/2022 2:07:22 PM

1 A305 **NORTH WEST AERIAL VIEW**
12" = 1'-0"

2 A305 **SOUTH WEST AERIAL VIEW**
12" = 1'-0"

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1802 PANKRATZ STREET
MADISON, WI 53704

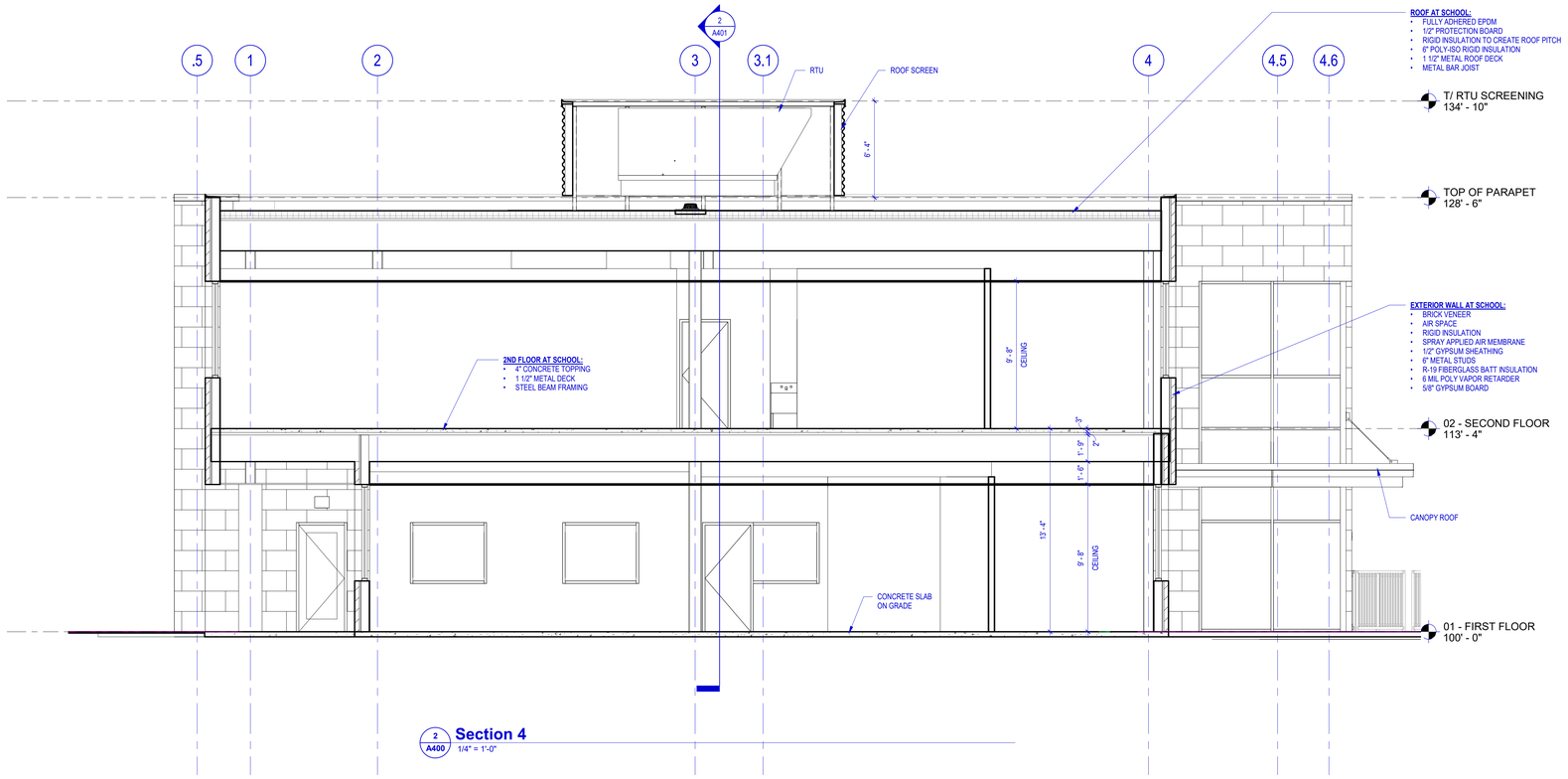
ISSUE DATES:

Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22

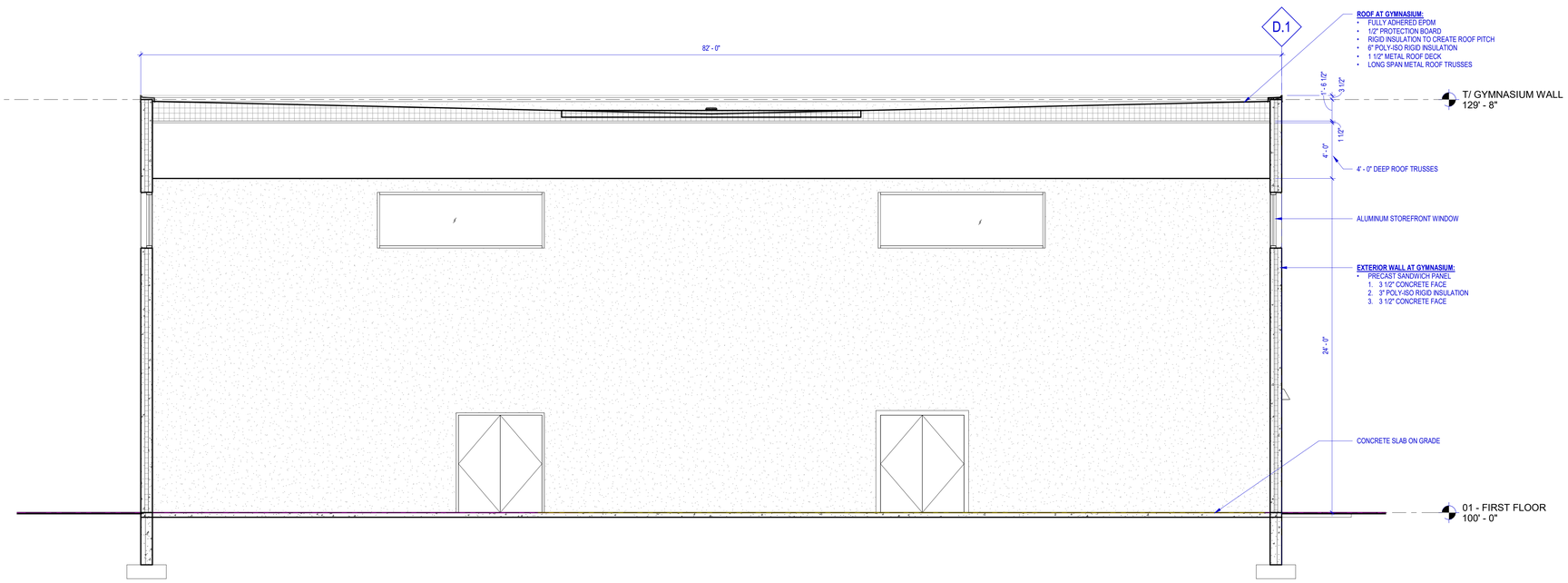
Sheet Title
PERSPECTIVES

Project Number: 20210400
Sheet Number
A305

3/10/2022 2:06:24 PM



2 A400 **Section 4**
1/4" = 1'-0"



1 A400 **SECTION THROUGH GYMNASIUM**
1/4" = 1'-0"

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MADISON, WI 53704

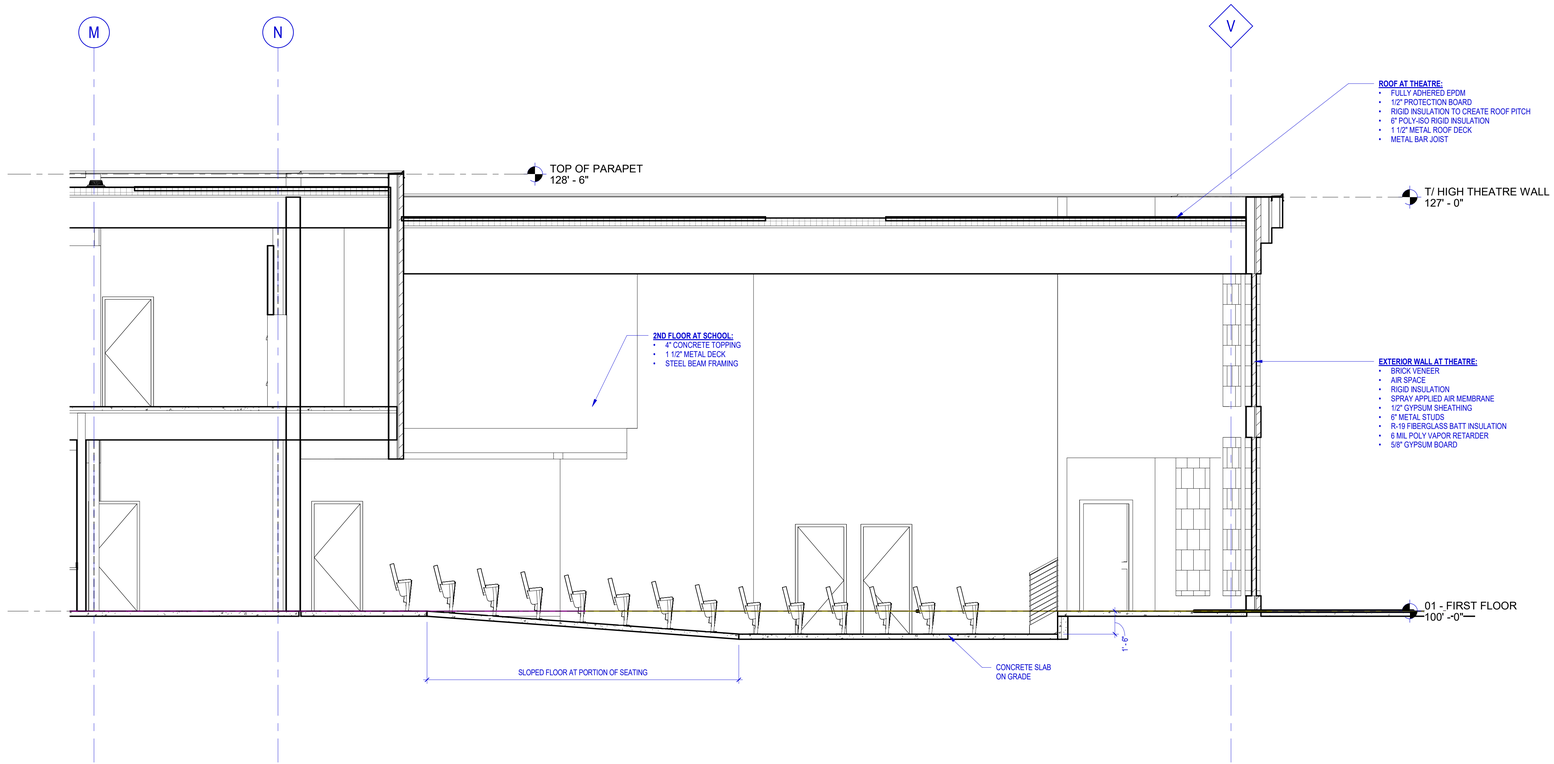
ISSUE DATES:

Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22

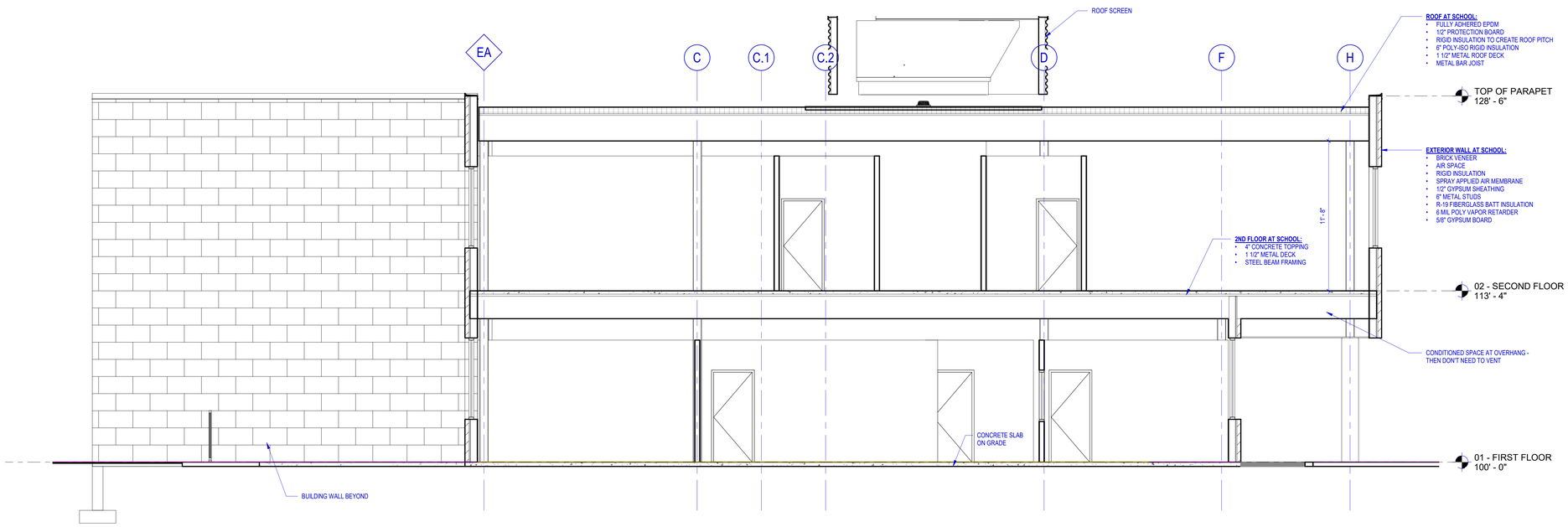
Sheet Title
BUILDING SECTIONS

Project Number: 20210400
Sheet Number
A400

3/10/2022 3:26:25 PM



2 A401 **BUILDING SECTION AT THEATRE**
1/4" = 1'-0"



1 A401 **BUILDING SECTION AT ADDITION 2**
1/4" = 1'-0"

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MADISON, WI 53704

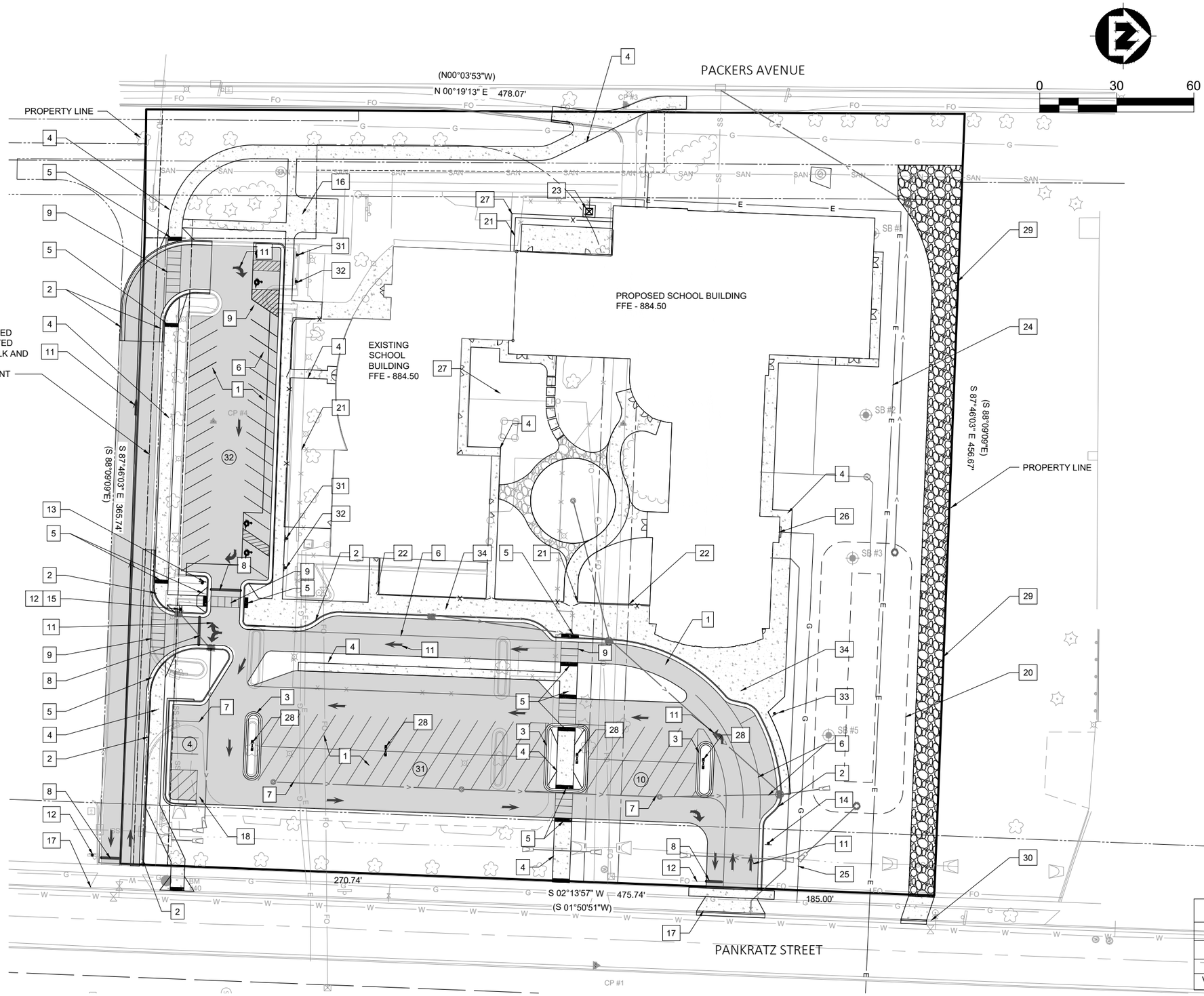
ISSUE DATES:

Issue	Description	Date
UDC	UDC / PLAN COMMISSION	03-14-22

Sheet Title
BUILDING SECTIONS

Project Number: 20210400
Sheet Number
A401

3/10/2022 3:27:08 PM



LEGEND

1. ASPHALT PARKING LOT/DRIVEWAY
2. CONCRETE CURB AND GUTTER, 30-INCH
3. CONCRETE CURB AND GUTTER, 24 INCH
4. CONCRETE SIDEWALK, 5-INCH
5. DETECTABLE WARNING FIELD
6. PAVEMENT MARKING, EPOXY, 4" YELLOW
7. PAVEMENT MARKING, EPOXY, 6" WHITE
8. PAVEMENT MARKING, EPOXY, STOP BAR, 18" WHITE
9. PAVEMENT MARKINGS, EPOXY, LADDER CROSSWALK, 24" WHITE
10. PAVEMENT MARKING, EPOXY, ACCESSIBLE PARKING SYMBOL, YELLOW
11. PAVEMENT MARKING, EPOXY, ARROW SYMBOL (VARIOUS), YELLOW
12. SIGN, STOP
13. SIGN, YIELD
14. SIGN, BUSES ONLY
15. SIGN, DO NOT ENTER
16. BICYCLE RACK PAD, 20' X 19'. SEE SPACING DETAIL.
17. CONCRETE DRIVEWAY, 6-INCH
18. DUMPSTER ENCLOSURE, 16' X 20'. SEE ARCHITECTURE PLANS FOR ENCLOSURE DETAILS.
19. NOT USED
20. STORM WATER / BIOFILTRATION LOCATIONS
21. FENCE
22. FENCE GATE
23. ELECTRIC TRANSFORMER AND CONCRETE PAD
24. PROPOSED ELECTRIC SERVICE
25. NATURAL GAS SERVICE
26. NATURAL GAS METER
27. LANDSCAPING
28. PARKING LOT POLE LIGHT
29. SANITARY SEWER EASEMENT ACCESS ROAD, SEE TYPICAL SECTION
30. PROFILE CUT EXISTING CURB AND GUTTER FOR EASEMENT ACCESS ROAD
31. ACCESSIBLE PARKING SIGN
32. ACCESSIBLE PARKING SIGN W/ VAN LOADING PLAQUE
33. SIGN, FIRE LANE, NO PARKING
34. FIRE LANE, CONCRETE SIDEWALK, 7-INCH THICK

PARKING SUMMARY	
TOTAL PARKING	76 SPACES
STANDARD PARKING	72 SPACES
ACCESSIBLE PARKING	2 SPACES
VAN ACCESSIBLE PARKING	2 SPACES

LAND USE SUMMARY	
TOTAL AREA	4.91 ACRES
EXISTING BUILDING	0.32 ACRES
PROPOSED BUILDING	0.63 ACRES
ASPHALT PAVEMENT	1.13 ACRES
CONCRETE PAVEMENT	0.46 ACRES
LANDSCAPING	0.25 ACRES
STORM WATER POND	0.17 ACRES
GRASS	1.95 ACRES

		NO.	DATE	REVISION	BY
PROJECT DATE: .	DRAWN BY: LPS	.	.	.	.
	DESIGNED BY: BJK	.	.	.	.
	CHECKED BY: Init	.	.	.	.

PLOT DATE: 3/15/2022 2:13 PM, G:\21\21586\21586000\CADD\Construction Documents\21586000 Overall Proposed Site Plan.dwg

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1230 South Boulevard, Baraboo WI 53913
(608) 356-2771 www.msa-ps.com

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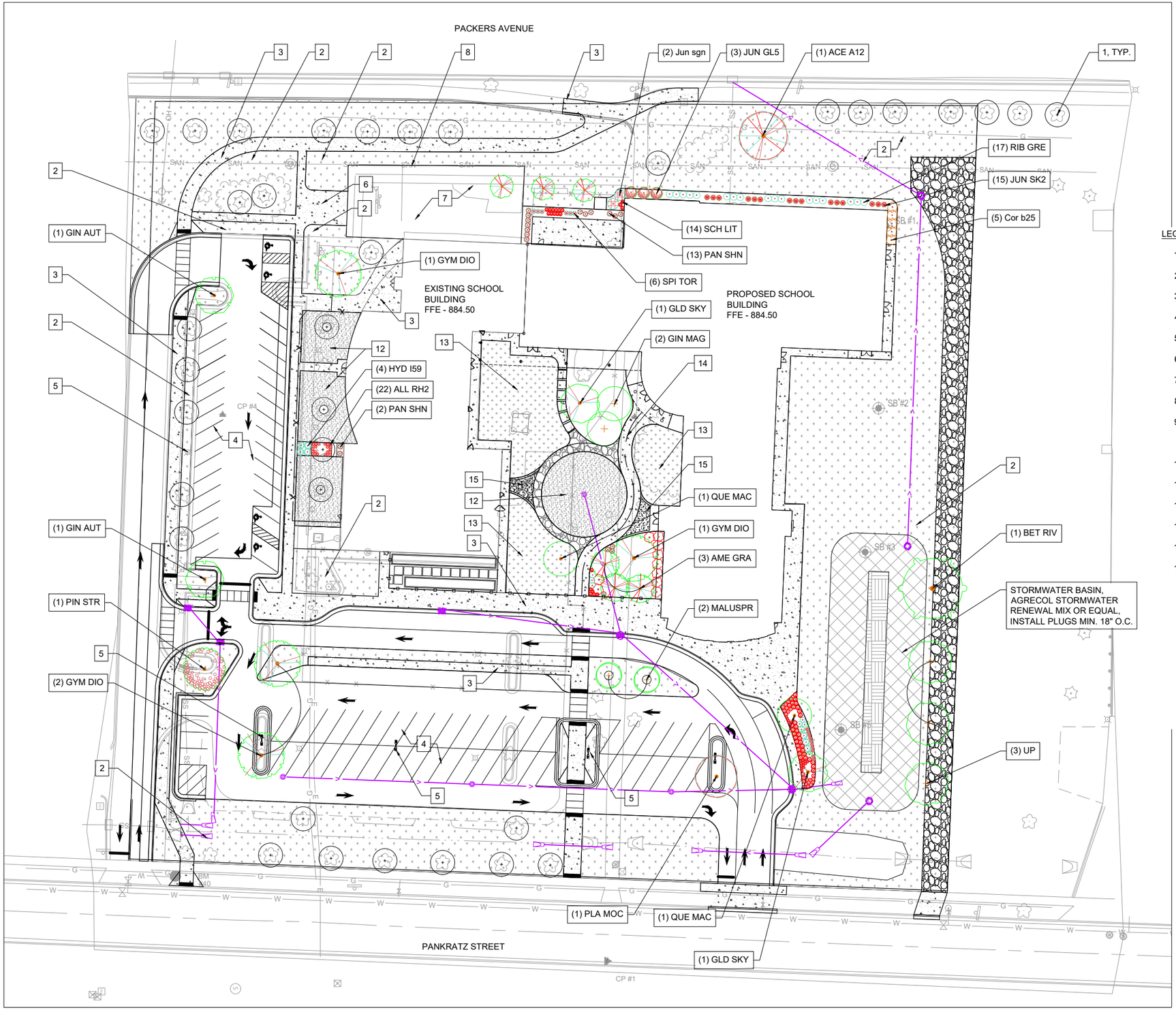
MADISON, WISCONSIN

EXHIBIT - PROPOSED SITE PLAN - OVERALL

PROJECT NO. 21586000
SHEET C300



LEGEND

1. EXISTING TREE, TO REMAIN
2. LAWN
3. CONCRETE SIDEWALK
4. ASPHALT PAVEMENT
5. LAMP POLE
6. BIKE RACKS
7. GARDEN
8. FENCE
9. DUMPSTER ENCLOSURE, 16' X 20'. SEE ARCHITECTURE PLANS FOR ENCLOSURE DETAILS.
10. STORM WATER / BIOFILTRATION LOCATIONS
11. ELECTRIC TRANSFORMER AND CONCRETE PAD
12. PLAY SURFACING (UNITARY)
13. PLAY SURFACING (MULCH/GRAVEL)
14. STAMPED CONCRETE
15. CRUSHED GRAVEL

NO.	DATE	REVISION	BY

PROJECT DATE: .
DRAWN BY: LPS
DESIGNED BY: BJK
CHECKED BY: Init

PLOT DATE: 3/15/2022 2:13 PM, G:\21\21586\21586000\CADD\Construction Documents\21586000 Landscaping Plan.dwg

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1230 South Boulevard, Baraboo WI 53913
(608) 356-2771 www.msa-ps.com

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ISTHMUS MONTESSORI ACADEMY
MADISON, WISCONSIN

EXHIBIT - LANDSCAPING PLAN - OVERALL

PROJECT NO. 21586000
SHEET C301

0 20 40

EXISTING SCHOOL BUILDING
FFE - 884.50

PROPOSED SCHOOL BUILDING
FFE - 884.50

TC-881.64
EOP-881.22

TC-882.05
EOP-881.63

TC-882.00
EOP-881.58

30" REJECT CURB
TC-884.07
EOP-883.49

30" REJECT CURB
TC-883.68
EOP-883.10

30" REJECT CURB
TC-884.07
EOP-883.49

TC-881.51
EOP-881.09

30" REJECT CURB
TC-883.05
EOP-882.47

30" REJECT CURB
TC-883.18
EOP-882.60

30 IN. ROLLOVER
TIE IN-883.40
EOP-883.36

30 IN. ROLLOVER
TIE IN-883.22
EOP-883.17

30 IN. ROLLOVER
TIE IN-883.08
EOP-883.03

30 IN. ROLLOVER
TIE IN-883.07
EOP-883.02

30 IN. ROLLOVER
TIE IN-882.39
EOP-882.35

30 IN. ROLLOVER
TIE IN-884.21
EOP-884.17

30 IN. ROLLOVER
TIE IN-884.33
EOP-884.29

30 IN. ROLLOVER
TIE IN-884.00
EOP-883.96

30 IN. ROLLOVER
TIE IN-884.40
EOP-884.36

30 IN. ROLLOVER
TIE IN-883.89
EOP-883.84

30 IN. ROLLOVER
TIE IN-883.85
EOP-883.80

30 IN. ROLLOVER
TIE IN-883.29
EOP-883.24

EOC-882.60
EOC-884.42
EOC-883.39
EOC-884.46
EOC-883.47
EOC-884.62
EOC-882.90
EOC-884.30
EOP-883.67
EOC-883.94
EOC-883.85
EOC-884.28
EOC-884.61
EOC-884.30
EOP-883.29
EOP-882.85
EOC-884.55
EOC-884.46
EOP-884.00
EOP-884.18
EOC-883.87
EOC-883.36
EOC-881.16
EOC-880.90
EOC-880.60
TC-880.52
EOP-880.10
TC-880.63
EOP-880.21
EOC-881.06
EOC-880.67
TC-880.88
EOP-880.46

PROP. RETAINING WALL
TOP = 884.09
BOT. = 883.50

PROP. RETAINING WALL
TOP = 884.09
BOT. = 882.60

PROP. RETAINING WALL
TOP = 884.09
BOT. = 882.24

PROP. RETAINING WALL
TOP =883.92
BOT. = 883.50

24" REJECT CURB
TC-883.52
EOP-882.98

24" REJECT CURB
TC-883.06
EOP-882.52

24" REJECT CURB
TC-884.21
EOP-883.67

24" REJECT CURB
TC-884.10
EOP-883.56

24" REJECT CURB
TC-884.08
EOP-883.54

24" REJECT CURB
TC-883.47
EOP-882.93

24" REJECT CURB
TC-883.40
EOP-882.86

24" REJECT CURB
TC-883.93
EOP-883.39

LOW POINT
RIM-882.50

LOW POINT
RIM-882.55

LOW POINT
RIM-882.55

30" REJECT CURB
TC-883.83
EOP-883.25

30" REJECT CURB
TC-884.07
EOP-883.49

EOP-883.00
EOP-883.40
EOP-883.46
EOP-883.15
EOP-883.47
EOP-882.45

TC-883.26
EOP-882.84

TC-883.08
EOP-882.66

SB #3
SB #5

PANKRATZ STREET

		NO.	DATE	REVISION	BY
PROJECT DATE: .	DRAWN BY: LPS	.	.	.	.
	DESIGNED BY: BJK	.	.	.	.
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MADISON, WISCONSIN

GRADING PLAN - EAST

PROJECT NO. 21586000
SHEET C106

0 20 40

EXISTING RETAINING WALL
TOP OF WALL = 880.25
BOT. OF WALL = 879.85

TAPER EXISTING RETAINING WALL
TOP OF WALL = 880.15
BOT. OF WALL = 879.90

PACKERS AVENUE

EXISTING SCHOOL BUILDING
FFE - 884.50

PROPOSED SCHOOL BUILDING
FFE - 884.50

SB #1

SB #2

CP #4

EOC-879.61
EOC-879.84
EOC-880.63
EOC-880.97
EOC-881.26
EOC-881.93
EOC-881.88
EOC-880.30
EOC-880.42
EOC-881.11
EOC-880.81
EOC-882.77
EOC-882.87
EOC-882.05
EOC-882.00
EOC-881.38
EOC-882.82
EOC-882.90
EOC-883.53
EOC-883.41
EOC-883.39
EOC-883.69
EOC-883.43
EOC-883.60
EOC-883.68
EOC-883.76
EOC-883.59
EOC-884.50
EOC-883.56
EOC-883.55
EOC-884.50
EOC-883.06
EOC-883.19
EOC-884.42
EOC-884.42
EOC-884.43
EOC-884.42
EOC-884.06
EOC-884.06
EOC-884.06
EOC-884.42
EOC-884.42
EOC-883.47
EOC-883.31
EOC-884.39

30" REJECT CURB
TC-883.81
EOP-883.23

30" REJECT CURB
TC-883.90
EOP-883.32

30" REJECT CURB
TC-883.48
EOP-882.90

30" REJECT CURB
TC-883.91
EOP-883.33

30" REJECT CURB
TC-883.51
EOP-882.93

TC-883.27
EOP-882.85

30" REJECT CURB
TC-883.15
EOP-882.57

TC-883.00
EOP-882.58

1.1% 1.5% 1.3% 1.5% 3.8% 1.6% 0.8% 1.5% 0.5% 1.5% 1.4% 0.9% 1.2% 2.0%

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MADISON, WISCONSIN

GRADING PLAN - WEST

PROJECT NO. 21586000

SHEET C107

SITE UTILITY CONTRACTOR TO BRING WATER SERVICE WITHIN 5-FEET OF BUILDING, TERMINATE WITH MJ PLUG/CAP. PLUMBING CONTRACTOR TO MAKE FINAL WATER SERVICE CONNECTION. SEE PLUMBING PLANS FOR LOCATION.

0 20 40

90 LF - 8" PVC STORM SEWER @ 1.04%

81 L.F. - 12 IN. CLASS IV RCP @ -0.21%

7 LF - 6" D.I.W.M. (BEND - BEND)
12 LF - 6" D.I.W.M. (BEND - BUILDING)
2 - 6" W.M. BENDS

SB #3

OL #1 STORM MH (36 IN) W/ GRATE
RIM = 881.00
IE = 877.00 (10" W)
I.E. = 879.50

175 LF - 6" D.I.W.M. (BEND - BEND)

STORM INLET, 2' X 3' 1.1
TOC = 881.97
IE = 879.30 (12" NE)

24 L.F. - 12 IN. CLASS IV RCP @ -1.20%

STORM INLET, 2' X 3' 1.0
TOC = 883.54
IE = 879.02 (12" SW)

STORM INLET, 2' X 3' 2.3
TOC = 882.45
IE = 879.70 (12" N)

STORM MH (48 IN)
W/ 2' X 3' INLET CASTING 2.1
TOC = 884.01
IE = 879.49 (12" NE)

102 L.F. - 12 IN. CLASS IV RCP @ -0.21%

2.0 STORM MH (48 IN)
W/ 2' X 3' INLET CASTING
RIM = 883.29
IE = 879.22 (12" S)
IE = 879.22 (12" SW)
IE = 879.22 (15" N)

SB #5

27 L.F. - 15 IN. CLASS IV RCP @ -0.21%

103 L.F. - 15 IN. CLASS IV RCP @ -1.22%

2.6 CATCH BASIN (24 IN)
W/ HEAVY DUTY GRATE
RIM = 882.52
IE = 879.81 (12" N)

2.5 CATCH BASIN (24 IN)
W/ HEAVY DUTY GRATE
RIM = 882.57
IE = 879.59 (12" N)
IE = 879.59 (12" S)

2.4 CATCH BASIN (24 IN)
W/ HEAVY DUTY GRATE
RIM = 882.57
IE = 879.36 (12" N)
IE = 879.36 (12" S)

2 L.F. - 12 IN. CLASS IV RCP @ -0.20%

EW #8 15" FLARED END SECTION
IE = 879.16 (15" S)

OL #2 STORM MH (36 IN) W/ GRATE
RIM = 883.00
IE = 879.75 (18" SE)

109 L.F. - 12 IN. CLASS IV RCP @ -0.20%

114 L.F. - 12 IN. CLASS IV RCP @ -0.20%

69 L.F. - 12 IN. CLASS IV RCP @ -0.20%

18" FLARED END SECTION EW #4
IE = 878.68 (18" N)

EW #5 18" FLARED END SECTION
IE = 878.91 (18" S)

47 L.F. - 18 IN. CLASS IV RCP @ -0.49%

45 L.F. - 18 IN. PVC @ -0.58%

EW #3 15" FLARED END SECTION
IE = 877.76 (15" W)

EW #2 18" FLARED END SECTION
IE = 877.76 (18" S)

EW #1 18" FLARED END SECTION
IE = 877.76 (18" S)

18" FLARED END SECTION EW #6
IE = 879.99 (18" N)

EW #9 18" FLARED END SECTION
IE = 879.49 (18" NW)

EXSTING 18" RCP CULVERT
I.E. = 880.16 (18" S)
I.E. = 880.24 (18" N)

EW #7 18" FLARED END SECTION
IE = 880.07 (18" S)

EXTEND EXSTING 18" RCP CULVERTS
I.E. = 877.55 (18" NW)
I.E. = 877.57 (18" NE)

TWO (2)
19 L.F. - 18 IN. CLASS IV RCP @ -0.55%

PANKRATZ STREET

67 L.F. - 18 IN. CLASS IV RCP @ -0.12%

5 LF - 6" D.I.W.M. (VALVE - BEND)
28 LF - 6" D.I.W.M. (BEND - BEND)
2 - 6" W.M. BENDS
1 - CONNECT TO EXISTING VALVE

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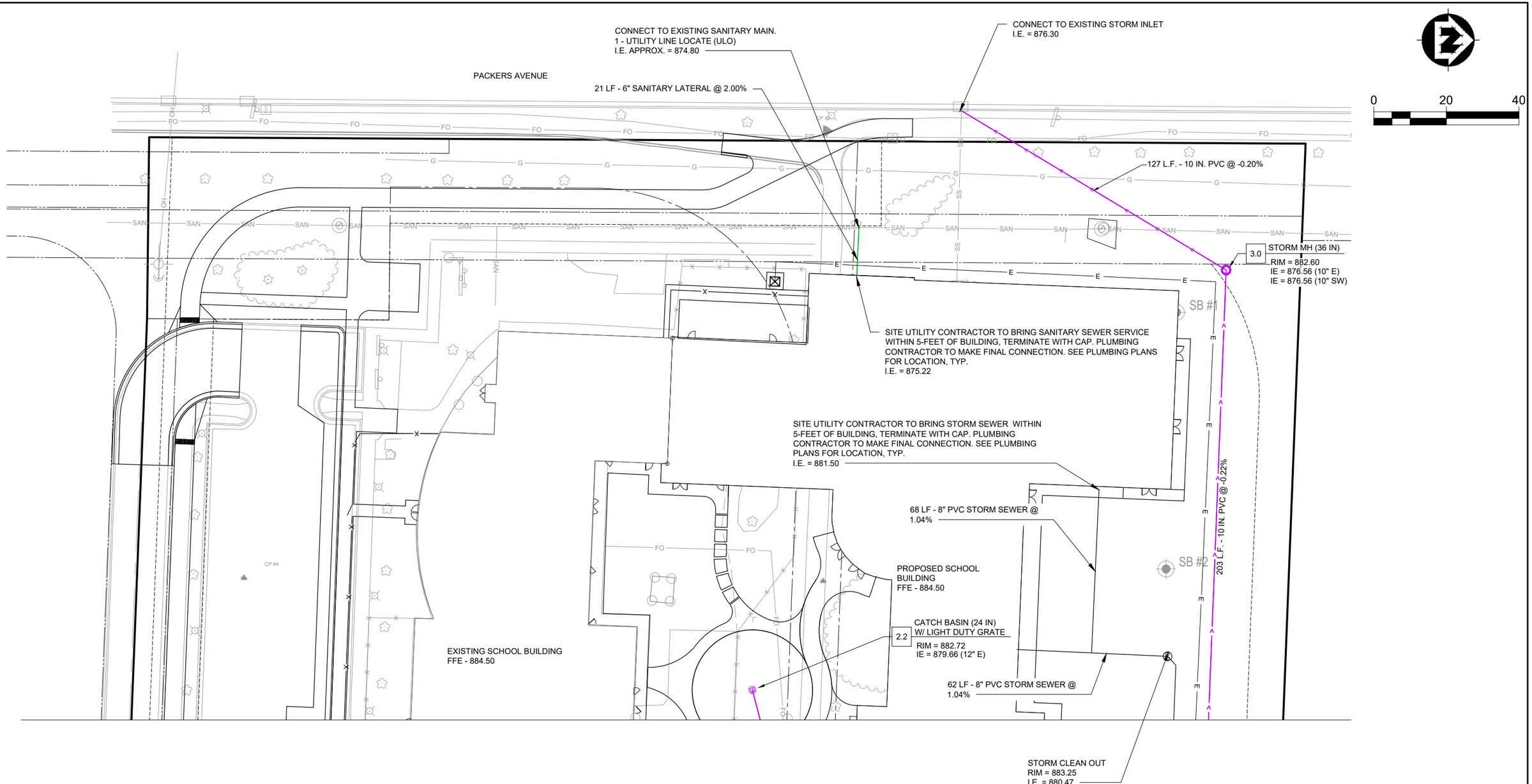
MADISON, WISCONSIN

UTILITY PLAN - EAST

PROJECT NO. 21586000
SHEET C108



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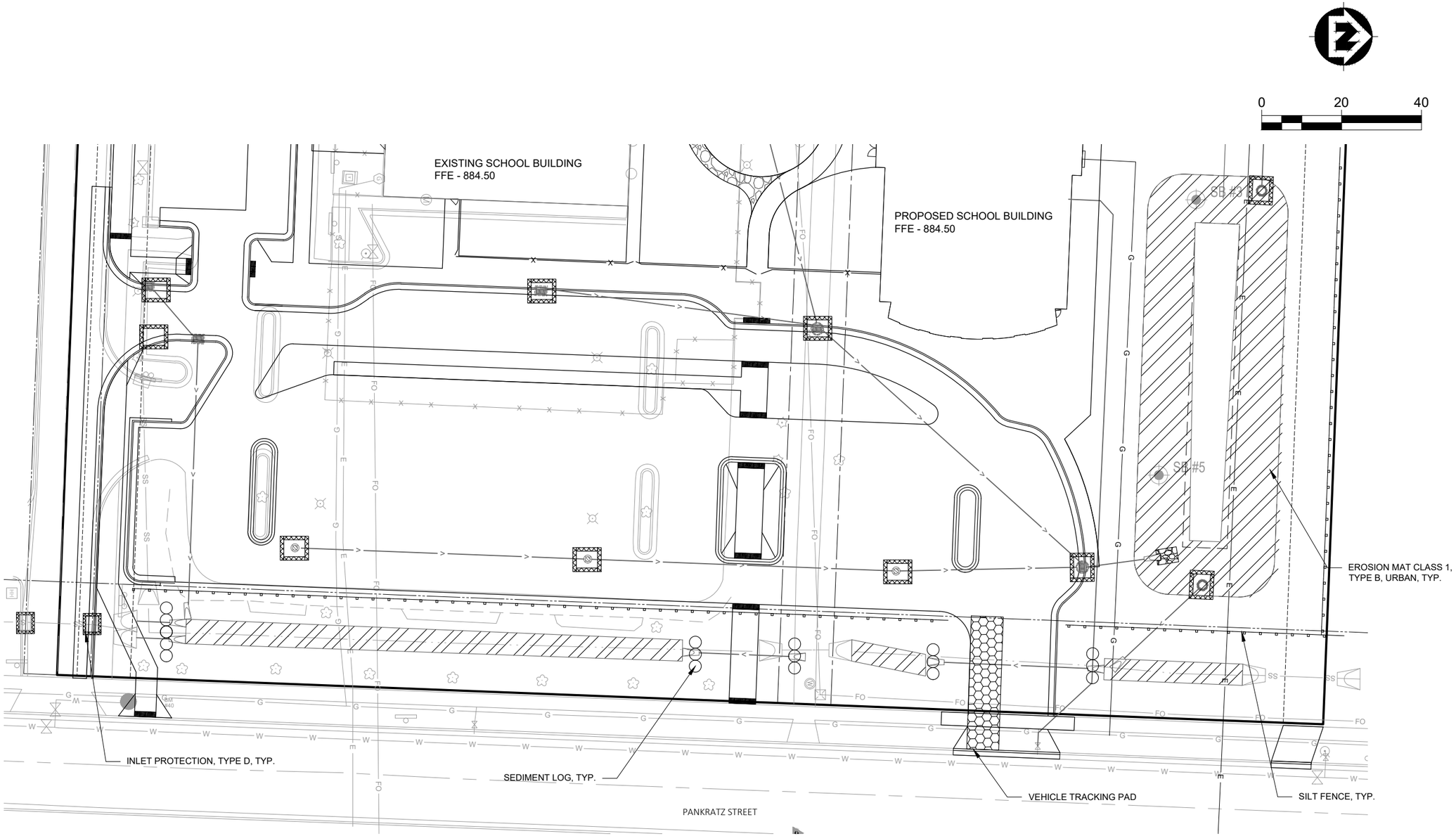
UTILITY PLAN - WEST

PROJECT NO. 21586000
SHEET C109



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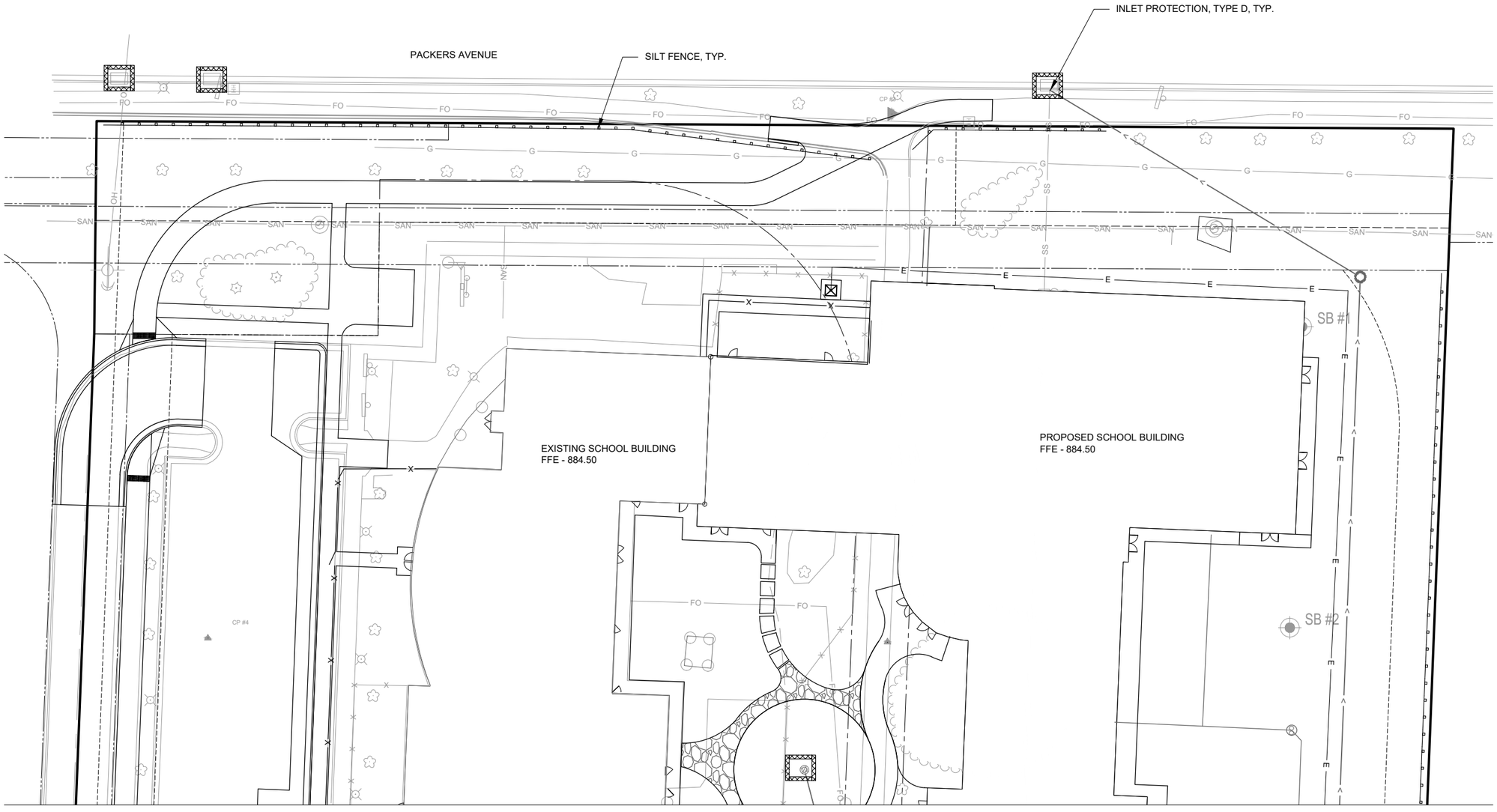
EROSION CONTROL PLAN - EAST

PROJECT NO. 21586000
SHEET C110



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	DESIGNED BY:	BJK	.	.	.	.
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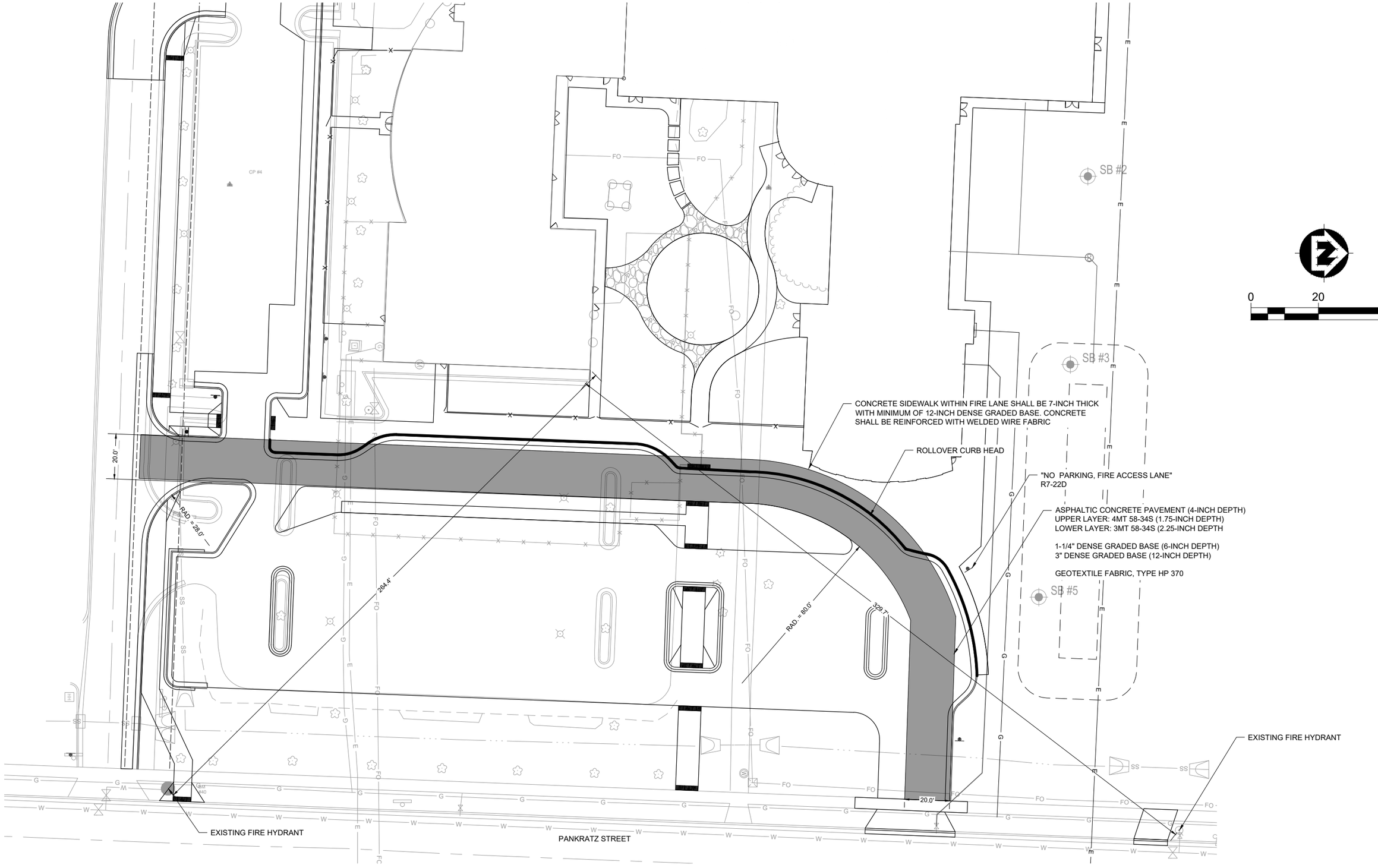
EROSION CONTROL PLAN - WEST

PROJECT NO. 21586000

SHEET C111



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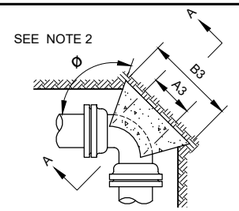
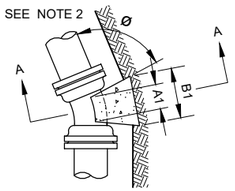
FIRE ACCESS PLAN

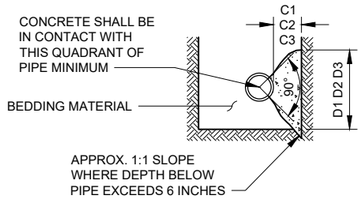
PROJECT NO. 21586000
SHEET C114



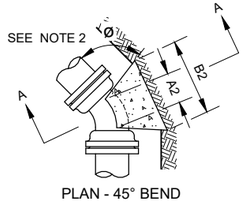
PLAN - 90° BEND



PLAN - 22 ½° BEND



SECTION A-A

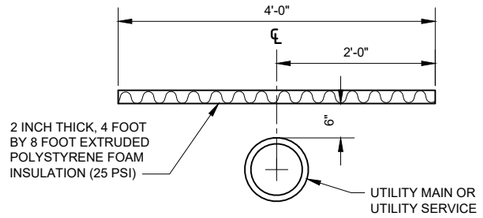


PLAN - 45° BEND

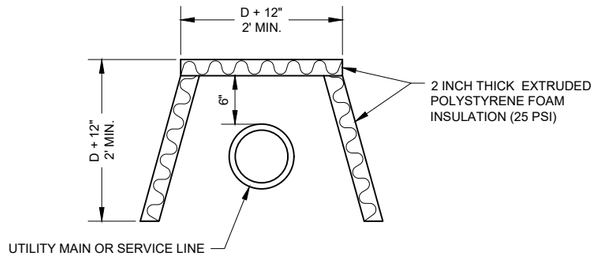
NOTES:
1. DIMENSIONS IN TABLE ARE BASED ON A WATER PRESSURE OF 150 P.S.I. AND AN EARTH RESISTANCE OF 2 TONS PER SQ. FT. INFORM THE ENGINEER IF PRESSURES EXCEED 150 PSI, OR ON-SITE SOIL DOES NOT MEET THIS CONDITION.
2. DIMENSION C1 C2 C3 SHOULD BE LARGE ENOUGH TO MAKE ANGLE Ø EQUAL TO OR LARGER THAN 45°.
3. DIMENSION A1 A2 A3 SHOULD BE AS LARGE AS POSSIBLE WITHOUT INTERFERING WITH THE MECHANICAL JOINT.
4. BUTTRESS TO BE POURED AGAINST FIRM UNDISTURBED SOIL, OR DISTURBED SOIL COMPACTED TO 95% OF MODIFIED PROCTOR DENSITY, ASTM D1557.
5. ALL BUTTRESSED FITTINGS SHALL BE WRAPPED IN POLYETHYLENE.
6. CONCRETE SHALL HAVE A MINIMUM 7-DAY COMPRESSIVE STRENGTH OF 2000 PSI.
7. IN ADDITION TO BUTTRESS, ALL JOINTS SURROUNDING BENDS SHALL BE RESTRAINED WITH WEDGE ACTION RESTRAINING GLANDS.

BUTTRESS DIMENSIONS						
PIPE SIZE	22 ½° BENDS		45° BENDS		90° BENDS	
	B1	D1	B2	D2	B3	D3
6"	1'-0"	1'-0"	1'-0"	1'-0"	1'-4"	1'-2"
8"	1'-0"	1'-0"	1'-4"	1'-2"	1'-10"	1'-6"
10"	1'-2"	1'-2"	1'-7"	1'-7"	2'-3"	1'-10"
12"	1'-4"	1'-4"	1'-10"	1'-10"	2'-8"	2'-3"
16"	1'-10"	1'-8"	2'-6"	2'-4"	3'-10"	2'-10"
20"	2'-4"	2'-0"	3'-3"	2'-10"	5'-0"	3'-4"
24"	2'-10"	2'-4"	4'-0"	3'-3"	6'-4"	3'-10"

BUTTRESS FOR BENDS DETAIL
NO SCALE



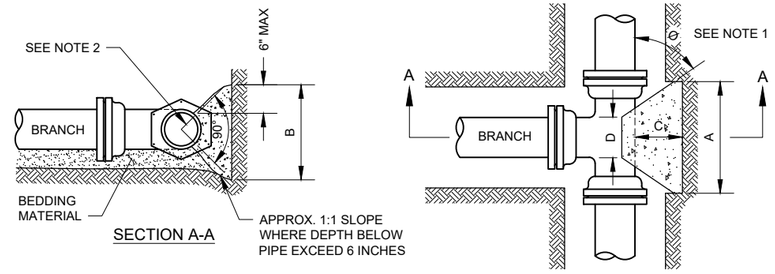
STANDARD INSTALLATION



SIDE PROTECTION INSTALLATION

GENERAL NOTES:
1. THE SIDE PROTECTION INSTALLATION SHALL BE USED WHERE FROST WILL PENETRATE BELOW THE PIPE INVERT.

PIPE INSULATION DETAIL
NO SCALE

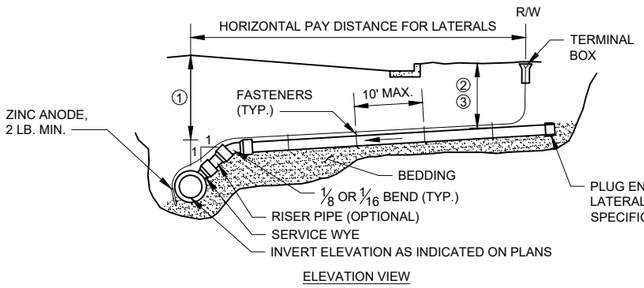


NOTES:
1. DIMENSION 'C' SHOULD BE LARGE ENOUGH TO MAKE ANGLE Ø GREATER THAN OR EQUAL TO 45°.
2. CONCRETE SHOULD BEAR ON THIS QUADRANT OF PIPE AT A MINIMUM.
3. DIMENSION 'D' SHOULD BE AS LARGE AS POSSIBLE BUT CONCRETE SHOULD NOT INTERFERE WITH MECHANICAL JOINTS.
4. BUTTRESS DIMENSIONS ARE BASED ON A SOIL RESISTANCE OF TWO TONS PER SQ. FT. AND A WATER PRESSURE OF 150 PSI. INFORM THE ENGINEER IF ON-SITE SOIL DOES NOT MEET THIS CONDITION OR PRESSURES EXCEED 150 PSI.
5. BUTTRESS TO BE PLACED AGAINST FIRM UNDISTURBED SOIL, OR DISTURBED SOIL COMPACTED TO 95%% OF MODIFIED PROCTOR DENSITY, ASTM D1557.
6. CONCRETE SHALL HAVE A MINIMUM 7-DAY COMPRESSIVE STRENGTH OF 2000 PSI.
7. ALL POURED BUTTRESSED FITTINGS SHALL BE WRAPPED IN POLYETHYLENE.
8. IN ADDITION TO BUTTRESSES, ALL JOINTS SURROUNDING TEES SHALL BE RESTRAINED WITH WEDGE ACTION RESTRAINING GLANDS.

BUTTRESS DIMENSIONS				
DIA.	A	B	C	D
6"	1'-3"	1'-0"	SEE NOTE NO. 1	SEE NOTE NO. 3
8"	1'-6"	1'-4"		
10"	1'-10"	1'-8"		
12"	2'-3"	2'-0"		
16"	3'-2"	2'-6"		
20"	4'-0"	3'-0"		
24"	5'-3"	3'-4"		

DIA. = BRANCH DIAMETER

BUTTRESS FOR TEES DETAIL
NO SCALE

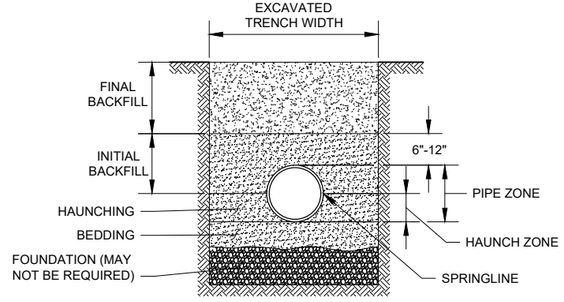


ELEVATION VIEW

NOTES FOR LATERAL INSTALLATION:
1. MINIMUM DEPTH OF COVER UNDER ROADWAY = 7 FEET.
2. MINIMUM DEPTH OF COVER UNDER GRASS AREAS = 5 1/2 FEET.
3. MINIMUM DEPTH OF COVER UNDER GRASS AREAS WITH FROST PROTECTION = 3 FEET 6 INCHES.
4. LATERAL SLOPES SHALL BE 1/8 INCH PER FOOT MINIMUM AND 1/2 INCH PER FOOT MAXIMUM.

NOTES FOR TRACER WIRE INSTALLATION:
1. THE TRACER WIRE SHALL REMAIN CONTINUOUS TO THE GREATEST EXTENT POSSIBLE.
2. NO. 12 GAUGE GREEN INSULATED COPPER TRACER WIRE SHALL BE INSTALLED WITH THE NON-CONDUCTIVE SERVICE. PIPE TRACER WIRE TERMINAL BOXES SHALL BE INSTALLED DIRECTLY ABOVE THE SEWER MAIN OR AS DETERMINED BY THE ENGINEER OR OWNER. TRACER WIRE INSTALLATION REQUIRES ACCESS POINTS AT LEAST EVERY 300 FEET.
3. TRACER WIRE SHALL BE RESTRAINED BY CABLE-TIES, TAPE, OR BY NON-CORRESIVE FASTENER APPROVED BY THE OWNER, INSTALLED EVERY 10 FEET ALONG SERVICE. DO NOT WRAP TRACER WIRE AROUND THE PIPE.
4. TRACER WIRE SHALL RUN FROM THE WYE AND TERMINATED IN A FLUSH MOUNTED TERMINAL BOX WITH A CAST IRON LOCKABLE TOP. SPLICES IN TRACER WIRE SHOULD BE MADE WITH SPLIT BOLT OR COMPRESSION-TYPE CONNECTORS. WIRE NUTS SHALL NOT BE USED. A WATER-PROOF CONNECTION IS NECESSARY TO PREVENT CORROSION. TERMINAL BOX SHALL BE VALVCO, OR APPROVED EQUAL.

SANITARY SEWER LATERAL DETAIL
NO SCALE



GENERAL NOTES:
1. DETAILS OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO ASTM D2321.
2. CLASS II EMBEDMENT MATERIAL SHALL BE CLEAN, COARSE-GRAINED SOILS WITH LITTLE TO NO FINES. NO PARTICLES LARGER THAN 1 1/2 -INCHES SHALL BE USED IN THE PIPE EMBEDMENT.
3. WHERE HYDRAULIC GRADIENT EXISTS USE A WELL-GRADED MIXTURE TO MINIMIZE MIGRATION OF FINES FROM ADJACENT SOIL.
4. CLASS II MATERIAL IS SUITABLE AS A FOUNDATION AND FOR REPLACING OVER- EXCAVATED AND UNSTABLE TRENCH BOTTOM. INSTALL AND COMPACT IN 6-INCH MAXIMUM LAYERS.
5. INSTALL AND COMPACT BEDDING IN 6-INCH MAXIMUM LAYERS. LEVEL FINAL GRADE BY HAND. MINIMUM DEPTH 4 INCH (6 INCH IN ROCK CUTS.)
6. INSTALL AND COMPACT HAUNCHING IN 6-INCH MAXIMUM LAYERS. WORK IN AROUND PIPE BY HAND TO PROVIDE UNIFORM SUPPORT.
7. INSTALL AND COMPACT INITIAL BACKFILL TO A MINIMUM OF 6 INCH ABOVE PIPE CROWN.
8. EMBEDMENT COMPACTION:

   MINIMUM DENSITY 85% STANDARD PROCTOR. USE HAND TAMPERS OR VIBRATORY COMPACTORS.

10. EMBEDMENT INCLUDES BEDDING, HAUNCHING, AND INITIAL BACKFILL.

CLASS II - FLEXIBLE PIPE EMBEDMENT DETAIL
NO SCALE

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PROJECT DATE: .	DRAWN BY:	LPS	.	.	.	.
	DESIGNED BY:	BJK	.	.	.	.
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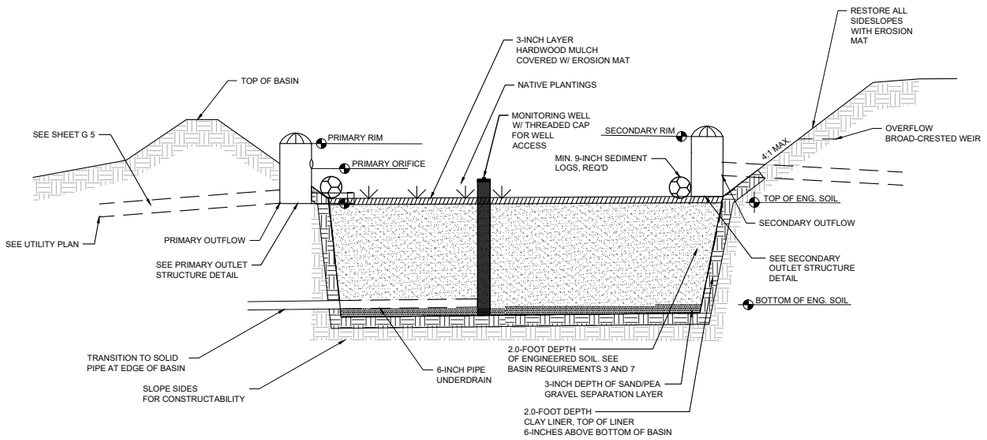
UTILITY SERVICE DETAILS

PROJECT NO. 21586000
SHEET C200



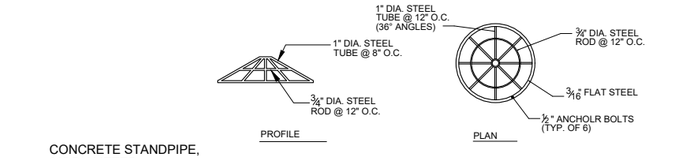
ELEVATION TABLE

FEATURE	ELEVATION
TOP OF BASIN	883.50
BROAD-CRESTED WEIR	883.25
TOP OF ENG. SOIL	879.00
BOTTOM OF ENG. SOIL	877.00
PRIMARY RIM	881.00
PRIMARY INFLOW (10")	878.00
PRIMARY OUTFLOW (10")	877.00
PRIMARY ORIFICE (6")	879.05
SECONDARY RIM	883.00
SECONDARY INFLOW (18")	879.50
SECONDARY OUTFLOW (18")	879.50

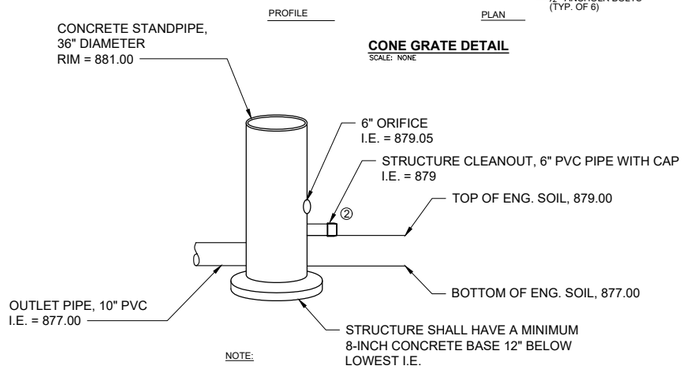
1 BIO-INFILTRATION BASIN DETAIL
NTS

BIOFILTRATION BASINS CONSTRUCTION REQUIREMENTS

1. PRIOR TO EXCAVATING OF THE BIOFILTRATION BASINS, ALL UPSTREAM AREAS SHALL BE RESTORED, 70% OF THE TURF SEED GERMINATED, AND ALL HARD SURFACE AREAS PAVED.
2. AFTER ALL UPSTREAM AREAS ARE STABILIZED PER THE REQUIREMENTS ABOVE, THE BASINS SHALL BE EXCAVATED TO ELEVATIONS AS SHOWN. A 3-INCH LAYER OF CLEAN SAND OR PEA GRAVEL, AND A 2.0-FOOT LAYER OF ENGINEERED SOIL SHALL BE PLACED. TWO 6-INCH DIAMETER OBSERVATION WELLS SHALL BE INSTALLED TO THE BOTTOM OF THE NO. 2 CLEAR STONE. THE OBSERVATION WELL SHALL BE SET ON A FLAT, SMOOTH, 1' X 1' PIECE OF TREATED WOOD OR SOLID BLOCK. THE WELL SHALL BE PERFORATED AND HAVE A SCREW CAP AT THE SURFACE FOR ACCESS WITH A 2" BY 2" TOP NUT. CONTRACTOR SHALL FABRICATE AND SUPPLY THE OWNER WITH A TOOL TO OPEN THE WELL.
3. THE ENGINEERED SOIL SHALL BE COMPOSED OF 70%-80% SAND/GRANULAR FILL AND 20%-30% COMPOST CONFORMING TO WDNR CPS S100. PLEASE NOTE, THE SAND/COMPOST COMPOSITION FOR THIS PROJECT IS SLIGHTLY CHANGED TO ACCOMMODATE THE NATIVE PLANTINGS.
4. THE BIOFILTRATION BASINS SHALL BE EXCAVATED WITH ONLY WIDE-TRACKED CONSTRUCTION EQUIPMENT. ACTIVITY WITHIN THE BASINS SHALL BE MINIMIZED PRIOR TO EXCAVATION AND ELIMINATED AFTER EXCAVATION TO CONTROL UNNECESSARY COMPACTION OF SOILS.
5. AFTER INITIAL EXCAVATION AND FINAL GRADING, THE BIOFILTRATION BASINS SHALL BE SECURED SO NO OTHER CONSTRUCTION EQUIPMENT USES THE AREA.
6. PLANTINGS - THE BIOFILTRATION BASINS SHALL BE RESTORED WITH THE FOLLOWING BULB PLANTINGS AT AN APPROXIMATE SPACING OF 18-INCHES ON CENTER:
   650-675 EA. - COMMON OAK SEDGE, 240-260 EA. LAVENDER ANISE HYSSOP, 160-180 EA. LITTLE BLUE STEM, 400-425 EA. BLACK EYED SUSAN.
   CONTRACTOR SHALL SUBMIT PROPOSED PLANT LAYOUT TO OWNER AND ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
7. THE SIDE SLOPES OF THE BASINS SHALL BE SEEDED WITH A TURF LAWN MIX.
8. CONTRACTOR SHALL WEED THE BIOFILTRATION BASINS ONCE AFTER PLANTS HAVE BEEN INSTALLED. THIS WEEDING SHALL OCCUR ONE MONTH AFTER PLANT INSTALLATION, BY SEPTEMBER 15 (YEAR 1) OR BY JUNE 15 (YEAR 2).
9. AFTER THE BULBS ARE PLANTED, COVER THE BOTTOM AND SIDES OF THE BASIN WITH CLASS I, TYPE A EROSION MAT.
10. CONTRACTOR SHALL WATER THE BIOFILTRATION BASINS WEEKLY THRU THE FIRST GROWING SEASON UNTIL THE PLANTS ARE ESTABLISHED. WATERING IS ONLY REQUIRED IF THE EQUIVALENT OF 0.50" OF RAIN DOES NOT FALL AT THE SITE WEEKLY.
11. REFER TO WIDNR CONSERVATION PRACTICE STANDARD: BIORETENTION FOR INFILTRATION (1004) FOR MAINTENANCE REQUIREMENTS ON THE BIORETENTION AREA.

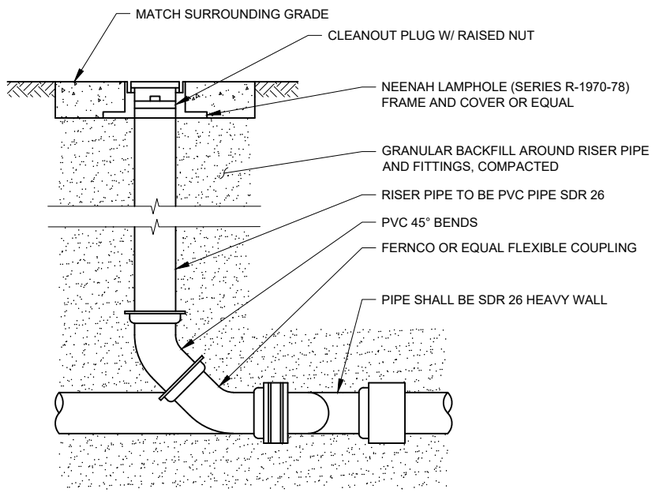


CONE GRATE DETAIL
SCALE: NONE

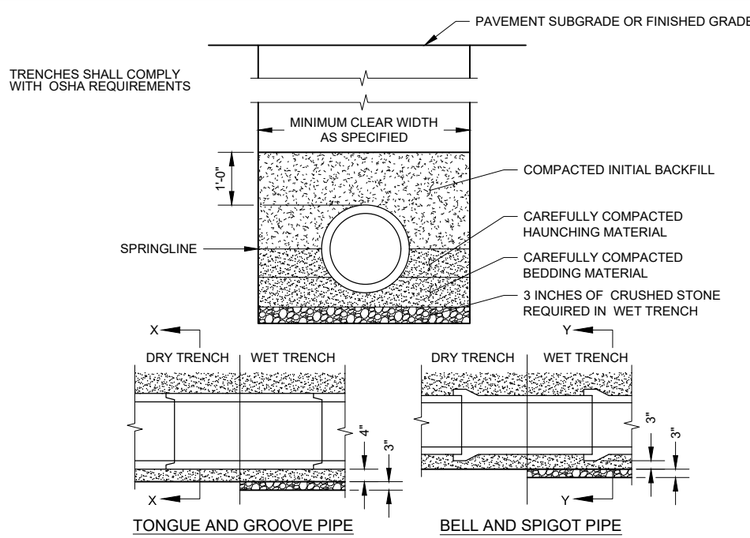


NOTE:
1. THE GRATE FOR THIS OUTLET STRUCTURE SHALL BE EITHER A NEENAH HIGH CAPACITY GRATE OR CONE GRATE AS DETAILED ABOVE. SEE PLAN FOR EXACT ELEVATIONS AND I.E.
2. INSTALL A 6" PVC PIPE AT THE TOP OF ENG. SOIL. PIPE TO BE CAPPED AND ONLY REMOVED FOR MAINTENANCE. APPROX. 3 FEET IN LENGTH.

2 PRIMARY OUTLET STRUCTURE DETAIL
NTS



STORM SEWER CLEANOUT
NO SCALE

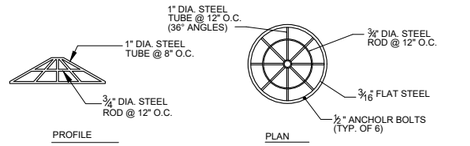


TONGUE AND GROOVE PIPE

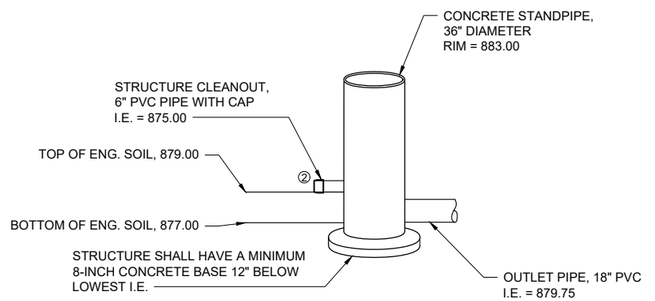
BELL AND SPIGOT PIPE

GENERAL NOTES:
1. BEDDING AND HAUNCHING MATERIAL SHALL BE WELL-GRADED 3/4 TO 1/4 INCH CRUSHED STONE OR OTHER NON-COHESIVE MATERIAL NOT SUBJECT TO MIGRATION AND FREE OF DEBRIS, ORGANIC MATERIAL, AND LARGE STONES.
2. BEDDING MATERIAL TO BE PLACED BEFORE SETTING PIPE, 4 INCH MINIMUM UNDER BARREL WITH 3 INCH MINIMUM UNDER BELL.
3. INITIAL BACKFILL SHALL BE DENSELY COMPACTED, NON-COHESIVE FINELY DIVIDED MATERIAL FREE OF DEBRIS, ORGANIC MATERIAL, AND LARGE STONES.
4. IN ROCK OR OTHER UNCOMPRESSIBLE MATERIALS, THE TRENCH SHALL BE OVEREXCAVATED A MINIMUM OF 6-INCHES AND REFILLED WITH GRANULAR MATERIAL.

CLASS "B" EMBEDMENT FOR RIGID PIPE DETAIL
NO SCALE



CONE GRATE DETAIL
SCALE: NONE



NOTE:
1. THE GRATE FOR THIS OUTLET STRUCTURE SHALL BE EITHER A NEENAH HIGH CAPACITY GRATE OR CONE GRATE AS DETAILED ABOVE. SEE PLAN FOR EXACT ELEVATIONS AND I.E.
2. INSTALL A 6" PVC PIPE AT THE TOP OF ENG. SOIL. PIPE TO BE CAPPED AND ONLY REMOVED FOR MAINTENANCE. APPROX. 3 FEET IN LENGTH.

2 SECONDARY OUTLET STRUCTURE DETAIL
NTS

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PROJECT DATE: .	DRAWN BY: LPS	.	.	.	.
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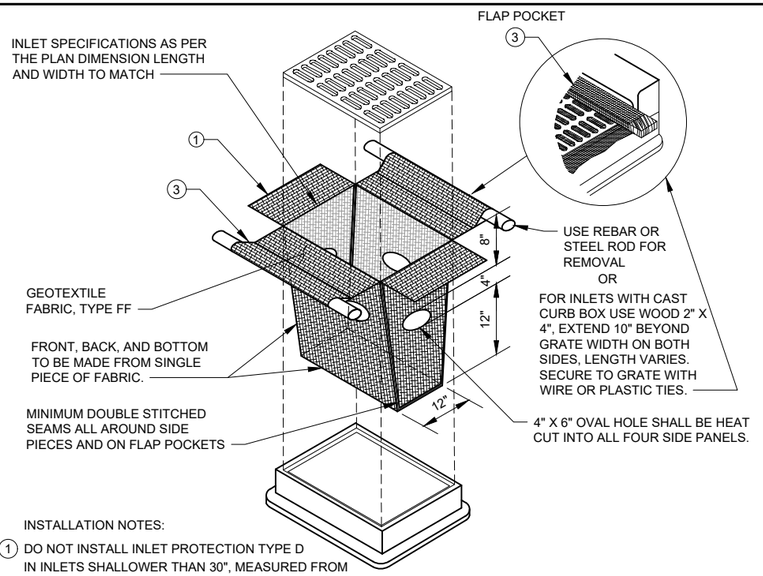
MADISON, WISCONSIN

STORM SEWER & POND DETAILS

PROJECT NO. 21586000
SHEET C201

CONSTRUCTION SITE
EROSION CONTROL REQUIREMENTS

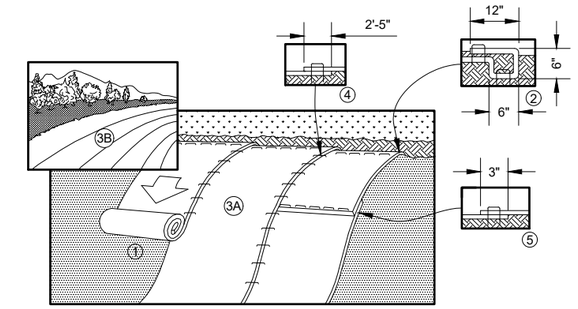
1. SECTION NR216.46 OF WISCONSIN STATE ADMINISTRATIVE CODE IDENTIFIES REQUIREMENTS FOR CONSTRUCTION SITE AND POST-CONSTRUCTION EROSION CONTROL. IT IS THE INTENT OF THESE PLANS TO SATISFY THESE REQUIREMENTS. THE METHODS AND STRUCTURES USED TO CONTROL EROSION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL IMPLEMENT AN APPROPRIATE MEANS OF CONTROLLING EROSION DURING SITE OPERATION AND UNTIL THE VEGETATION IS RE-ESTABLISHED. ADJUSTMENTS TO THE CONTROL SYSTEM SHALL BE MADE AS REQUIRED.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE WISCONSIN DNR'S CONSERVATION PRACTICE STANDARDS. THESE STANDARDS ARE PERIODICALLY UPDATED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND REFERENCE THE MOST RECENTLY RELEASED STANDARD.
3. THIS INFORMATION IS ONLY ONE PART OF THE OVERALL EROSION CONTROL REQUIREMENTS. ADDITIONAL REQUIREMENTS MAY ALSO BE SHOWN ON THE CONTRACT DRAWINGS AND IN THE ACCOMPANYING SPECIFICATIONS.
4. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE OWNER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
5. THE AREA OF EROSIVE LAND EXPOSED TO THE ELEMENTS BY GRUBBING, EXCAVATION, TRENCHING, BORROW AND FILL OPERATIONS AT ANY ONE TIME SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE. FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING. ALL DISTURBED AREAS SHALL BE TREATED WITH PERMANENT STABILIZATION MEASURES WITHIN 3 WORKING DAYS OF FINAL GRADING.
6. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF THE TIME 0.5 INCHES OF RAIN HAS OCCURRED. ALL NECESSARY REPAIR AND MAINTENANCE WILL BE DONE AT THIS INSPECTION TIME.
7. ALL EROSION CONTROL DEVICES AND/OR STRUCTURES SHALL BE PROPERLY INSTALLED PRIOR TO CLEARING AND GRUBBING OPERATIONS WITHIN THEIR RESPECTIVE DRAINAGE AREAS. THESE SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS RE-ESTABLISHED.
8. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY INSTALLED PRIOR TO ANY SOIL DISTURBANCE.
9. ANY SLOPES STEEPER THAN 3H:1V SHALL BE STAKED WITH EROSION CONTROL FABRIC UNLESS INDICATED ON THE PLAN.
10. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
11. WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCH, OR A TACKING AGENT MAY BE REQUIRED TO PROTECT NEARBY RESIDENCES AND WATER RESOURCES.
12. CHANNELIZED RUNOFF ENTERING THE PROJECT SITE FROM ADJOINING LANDS SHALL BE DIVERTED THROUGH NATURALLY OR ARTIFICIALLY EROSION-RESISTANT CONVEYANCES. IF CHANNELIZED RUNOFF CANNOT BE DIVERTED, SITE BEST MANAGEMENT PRACTICES MUST ACCOUNT FOR THE ADDITIONAL FLOW RATES AND EROSION POTENTIAL THAT SUCH RUNOFF PRESENTS.
13. THE CONTRACTOR SHALL TAKE ALL POSSIBLE PRECAUTIONS TO PREVENT SOILS FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEPT AND/OR SCRAPED (NOT FLUSHED) PERIODICALLY TO REMOVE SOIL, DIRT, AND/OR DUST.
14. EROSION CONTROLS SHALL BE INSTALLED ON THE DOWNSTREAM SIDE OF TEMPORARY STOCKPILES. ANY SOIL STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING. ALL STOCK PILES SHALL BE PLACED AT LEAST 75 FEET FROM STREAMS OR WETLANDS.
15. ADDITIONAL EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.) SHALL INCLUDE THE FOLLOWING:
    a. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
    b. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
    c. DISCHARGE OF TRENCH WATER OR DEWATERING EFFLUENT MUST BE PROPERLY TREATED TO REMOVE SEDIMENT IN ACCORDANCE WITH THE WDNR CONSERVATION PRACTICE STANDARD 1061 - DEWATERING OR A SUBSEQUENT WDNR DEWATERING STANDARD PRIOR TO DISCHARGE INTO A STORM SEWER, DITCH, DRAINAGEWAY, OR WETLAND OR LAKE.
16. ALL DRAINAGE CULVERTS, STORM DRAIN INLETS, MANHOLES, OR ANY OTHER EXISTING STRUCTURES THAT COULD BE DAMAGED BY SEDIMENTATION SHALL BE PROTECTED ACCORDING TO THE VARIOUS METHODS PROVIDED IN THE PRINTED CONSERVATION PRACTICE STANDARDS.
17. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
18. THE FIRST SIX WEEKS AFTER INITIAL STABILIZATION, ALL NEWLY SEEDED AND MULCHED AREAS SHALL WATERED WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
19. WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY BMP'S SUCH AS SILT FENCES, STRAW BALES, AND SEDIMENT TRAPS SHALL BE REMOVED AND THESE AREAS STABILIZED.
20. ALL TEMPORARY BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED.
21. ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITH SEED AND MULCH UNLESS OTHERWISE SPECIFIED. A MINIMUM OF FOUR INCHES OF TOPSOIL SHALL BE APPLIED TO ALL AREAS TO BE SEEDED OR SODDED.



INSTALLATION NOTES:

1. DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
2. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
3. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

INLET PROTECTION, TYPE D
NO SCALE
CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT A CURB BOX AS PER NOTE



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" (5 CM-12.5 CM) OVERLAP DEPENDING ON BLANKET TYPE.
5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE BLANKET WIDTH.

NOTE:
*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

EROSION CONTROL BLANKET DETAIL
NO SCALE

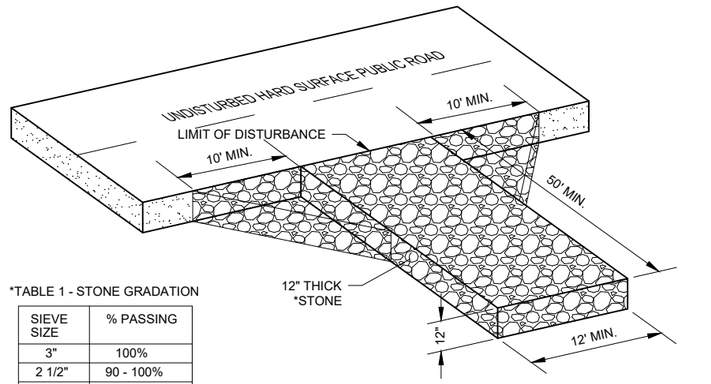


*TABLE 1 - STONE GRADATION

SIEVE SIZE	% PASSING
3"	100%
2 1/2"	90 - 100%
1 1/2"	25 - 60%
3/4"	0 - 20%
3/8"	0 - 5%

NOTES:
1. TRACKING PAD WIDTH SHALL BE AT LEAST THE FULL WIDTH OF HTE EGRESS POINT OR 12' WIDE MINIMUM.
2. TRACKING PAD LENGTH SHALL BE 50' FOR CONSTRUCTION SITES, 30' FOR SINGLE FAMILY RESIDENTIAL, OR AS SPECIFIED IN THE CONTRACT DOCUMENTS. LENGTH OF TRACKING PAD MAY NEED TO BE INCREASE OR ADDITIONAL SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED BY THE CONTRACTOR IS SEDIMENT TRACK-OUT OCCURS.
3. GEOTEXTILE FABRIC TYPE R SHALL BE INSTALLED BETWEEN THE STONE AND SUBGRADE ON SITES WHERE HIGH GROUND WATER IS OBSERVED.
4. CONTRACTOR SHALL CLEAN STREET/ROADWAY ADJACENT TO ALL CONSTRUCTION ACCESS POINTS AT THE END OF EACH WORKDAY OR MORE FREQUENTLY IF REQUESTED.

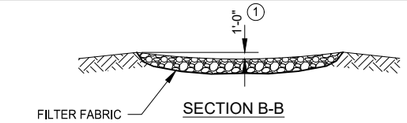
STONE TRACKING PAD
NO SCALE

TABLE OF QUANTITIES
RIPRAP AT RCP OUTLETS

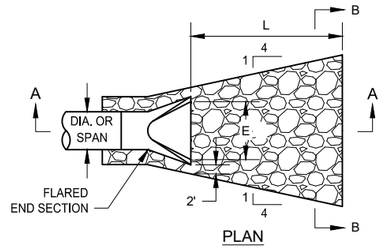
DIA. OF ROUND PIPE (IN.)	L (FT.)	12" DEPTH RIPRAP (CU.YDS.)	18" DEPTH RIPRAP (CU.YDS.)	24" DEPTH RIPRAP (CU.YDS.)
12	8	2.8	4.1	5.5
15	8	2.9	4.4	5.8
18	10	3.9	5.9	7.8
21	10	4.2	6.3	8.4
24	12	5.5	8.3	11.0
27	12	5.8	8.7	11.6
30	14	7.3	10.9	14.5
36	16	9.2	13.8	18.3
42	18	10.9	16.3	21.7
48	20	12.9	19.4	25.8

TABLE OF QUANTITIES
RIPRAP AT HERCP OUTLETS
OR BOXES OF EQUIVALENT SPAN WIDTH

SPAN OF HERCP (IN.)	L (FT.)	LIGHT d50=6" 12" DEPTH RIPRAP (CU.YDS.)	MEDIUM d50=9" 18" DEPTH RIPRAP (CU.YDS.)	HEAVY d50=12" 24" DEPTH RIPRAP (CU.YDS.)
22	10	3.9	5.9	7.8
30	12	5.5	8.2	10.9
38	14	7.2	10.8	14.3
45	16	9.2	13.7	18.3
53	18	10.9	16.3	21.7
60	20	12.7	19.0	25.4



SECTION B-B



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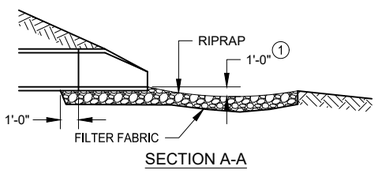

SECTION A-A

NOTES:

PIPE SIZES LARGER THAN THOSE SHOWN REQUIRE A SPECIAL DESIGN.

LIGHT RIPRAP SHALL BE UNDERLAIN WITH TYPE R FABRIC. MEDIUM AND HEAVY SHALL BE UNDERLAIN W/ TYPE HR FABRIC.

1 FOR PIPES GREATER THAN OR EQUAL TO 30" USE 1.5'.

RIP RAP AT OUTLETS
NO SCALE

		NO.	DATE	REVISION	BY
PROJECT DATE: .	DRAWN BY: LPS	.	.	.	.
	DESIGNED BY: BJK	.	.	.	.
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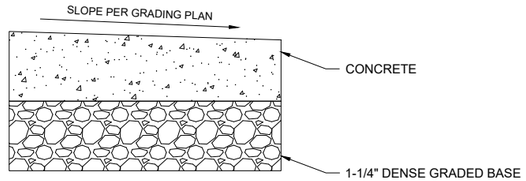
MADISON, WISCONSIN

EROSION CONTROL DETAILS

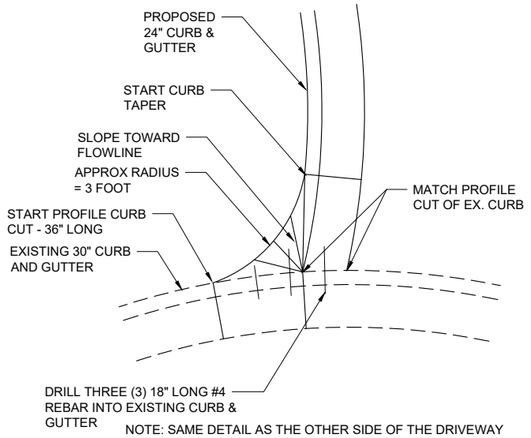
PROJECT NO. 21586000
SHEET C202



GENERAL NOTES:
1. CONCRETE SIDEWALK SHALL BE 5-INCH THICK WITH A MINIMUM OF 5-INCH OF DENSE GRADED BASE.
2. CONCRETE FOR DUMPSTER PAD SHALL BE 7-INCH THICK WITH A MINIMUM OF 8-INCH OF DENSE GRADED BASE. CONCRETE SHALL ALSO BE REINFORCED WITH WELDED WIRE FABRIC.
3. CONCRETE FOR SIDEWALK FIRE LANE SHALL BE 7-INCH THICK WITH A MINIMUM OF 12-INCH DENSE GRADED BASE. CONCRETE SHALL ALSO BE REINFORCED WITH WELDED WIRE FABRIC.
4. SLOPE FOR CONCRETE SIDEWALK SHALL NOT EXCEED 2% CROSS SLOPE.

CONCRETE SIDEWALK TYPICAL SECTION

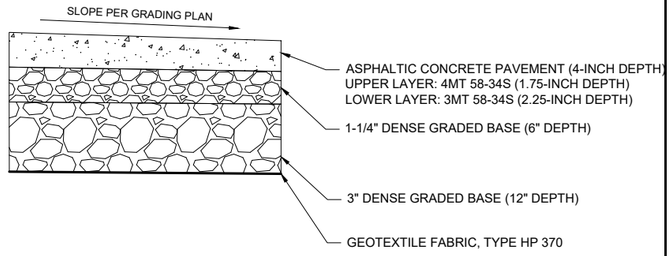
NOT TO SCALE



NOTE: SAME DETAIL AS THE OTHER SIDE OF THE DRIVEWAY

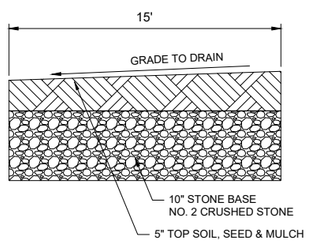
CURB CONNECTION DETAIL

NO SCALE



ASPHALTIC CONCRETE PAVEMENT TYPICAL SECTION

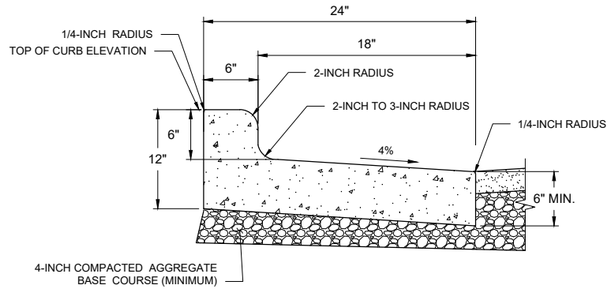
NOT TO SCALE



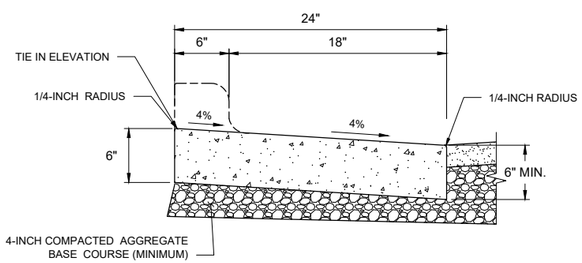
GENERAL NOTES:
1. SUBGRADE SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS.
2. SIDE SLOPES SHALL BE TOPSOILED, SEEDED, & MULCHED ON ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS.

SANITARY SEWER EASEMENT ACCESS TYPICAL SECTION

NOT TO SCALE



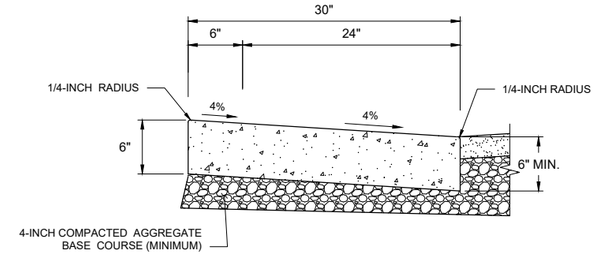
STANDARD SECTION



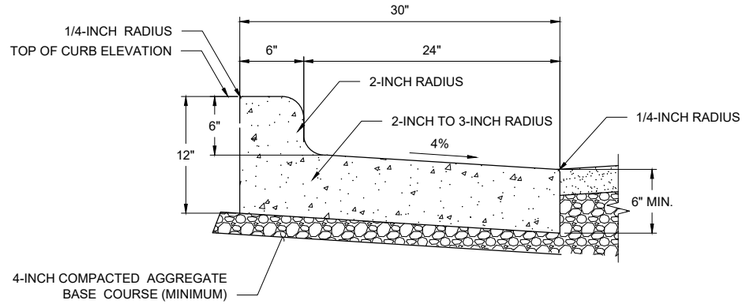
ROLLOVER SECTION

24" CURB AND GUTTER, REJECT DETAIL

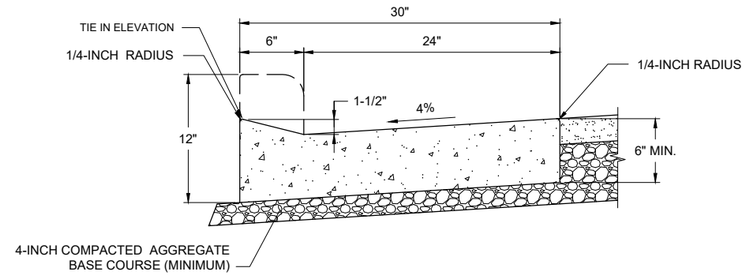
NO SCALE



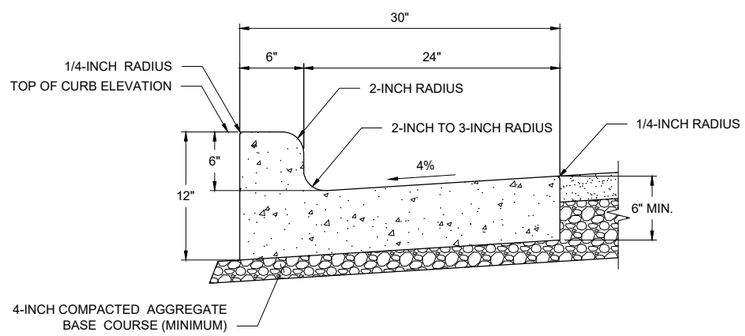
REJECT, ROLLOVER SECTION



REJECT SECTION



STANDARD, ROLLOVER SECTION



STANDARD SECTION

TYPE L CURB AND GUTTER DETAIL

NO SCALE

		NO.	DATE	REVISION	BY
PROJECT DATE: .	DRAWN BY: LPS	.	.	.	.
	DESIGNED BY: BJK	.	.	.	.
	CHECKED BY: Init	.	.	.	.

PLOT DATE: 3/11/2022 1:10 PM, G:\21\21586\21586000\CADD\Construction Documents\21586000 Details.dwg

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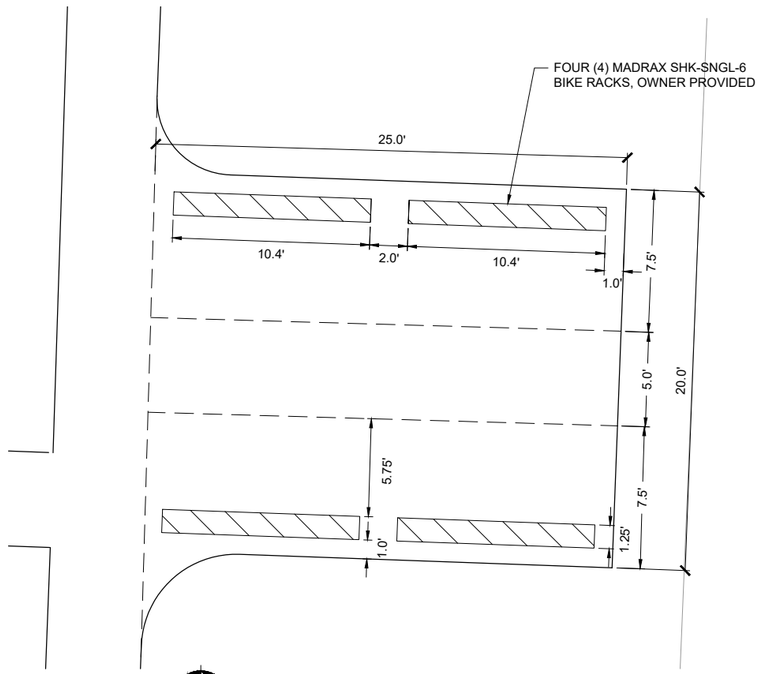
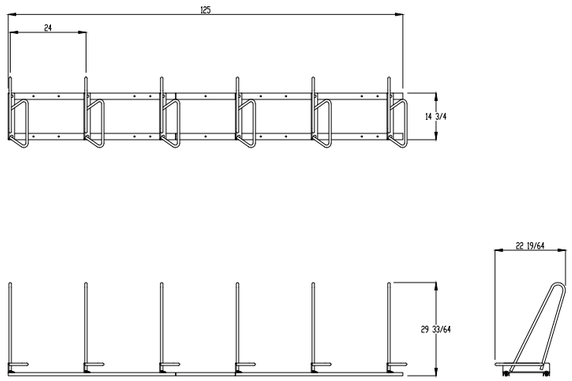
MADISON, WISCONSIN

STREET DETAILS

PROJECT NO. 21586000
SHEET C203

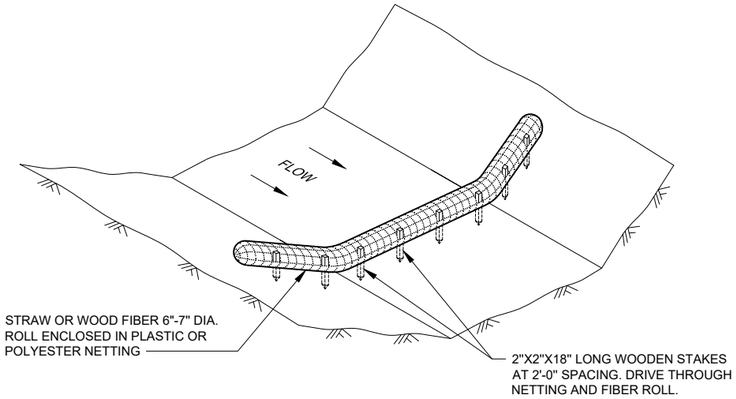


BIKE PARKING PAD SPACING DETAIL
1" = 4'

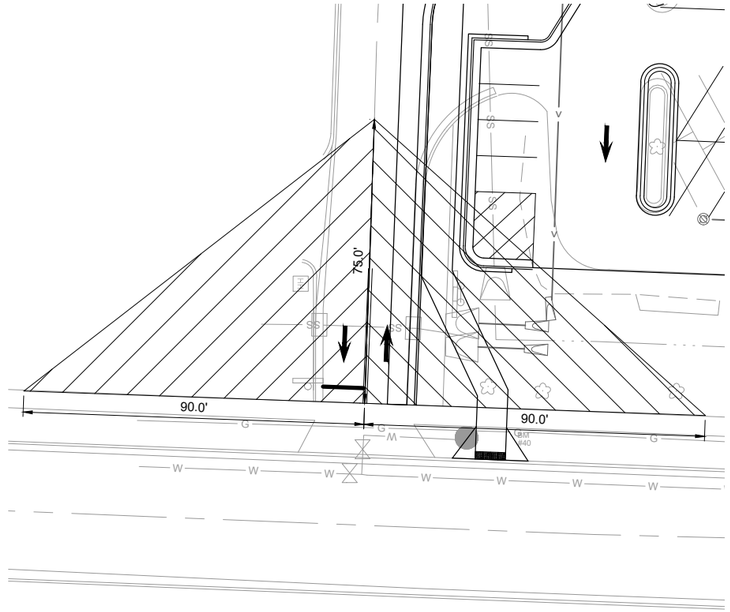


GENERAL NOTES:
1. BIKE RACK SHALL BE MADRAX SHK-SNG-6, OWNER PROVIDED.
2. TOTAL OF FOUR (4) BIKE RACKS REQUIRED

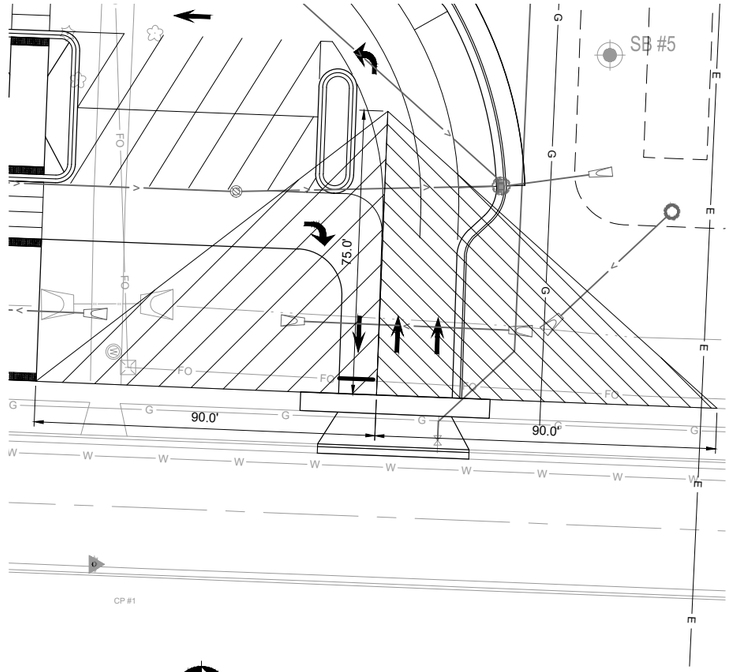
BIKE RACK DIMENSIONING DETAIL
NO SCALE



SEDIMENT LOG DETAIL
NO SCALE



SOUTH DRIVEWAY VISION TRIANGLES DETAIL
1" = 20'



NORTH DRIVEWAY VISION TRIANGLES DETAIL
1" = 20'

		NO.	DATE	REVISION	BY
PROJECT DATE: .	DRAWN BY: LPS	.	.	.	.
	DESIGNED BY: BJK	.	.	.	.
	CHECKED BY: Init	.	.	.	.

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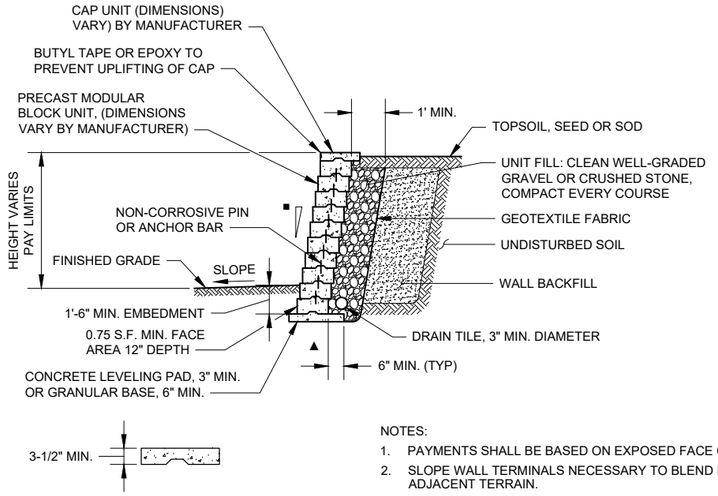
MADISON, WISCONSIN

MISCELLANEOUS DETAILS

PROJECT NO. 21586000
SHEET C204



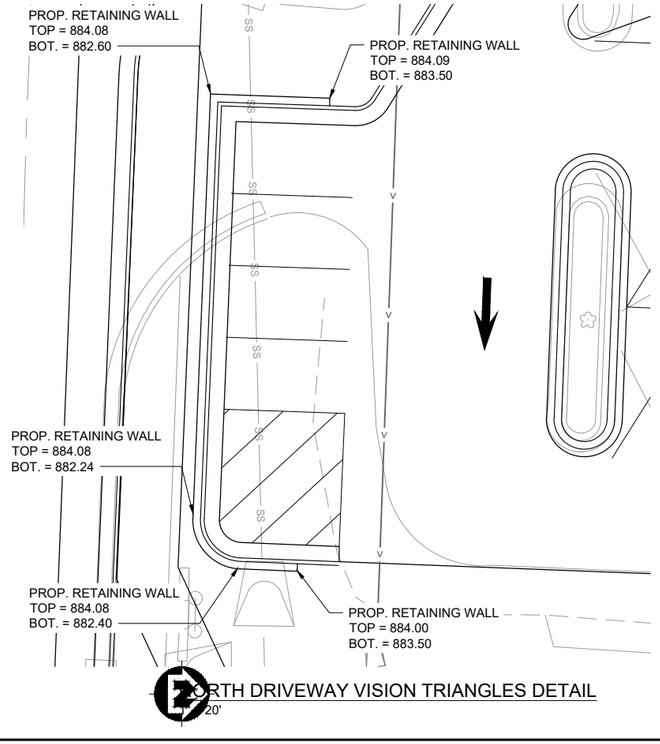
NOTES:
1. PAYMENTS SHALL BE BASED ON EXPOSED FACE ONLY.
2. SLOPE WALL TERMINALS NECESSARY TO BLEND INTO ADJACENT TERRAIN.

■ SETBACK VARIES BY MANUFACTURER MAXIMUM FRONT FACE SLOPE FROM VERTICAL IS 1 HORIZONTAL TO 4 VERTICAL

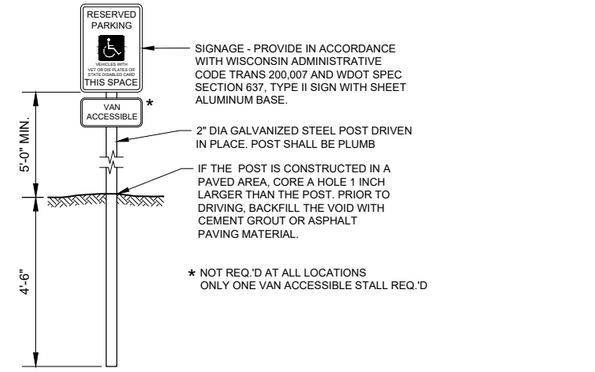
▲ BASE SOIL PARAMETERS: SEE GEOTECHNICAL REPORT INCLUDED IN PROJECT MANUAL.

TABLE OF EXTERNAL STABILITY SAFETY FACTORS	
SLIDING	≥ 1.5
OVERTURNING	≥ 2.0
GEOGRID LONG TERM STRENGTH	≥ 1.5
GEOGRID CONNECTION STRENGTH	≥ 1.5
GLOBAL ROTATION	≥ 1.3
BEARING CAPACITY	≥ 2.0

SEGMENTAL RETAINING WALL DETAIL
NO SCALE



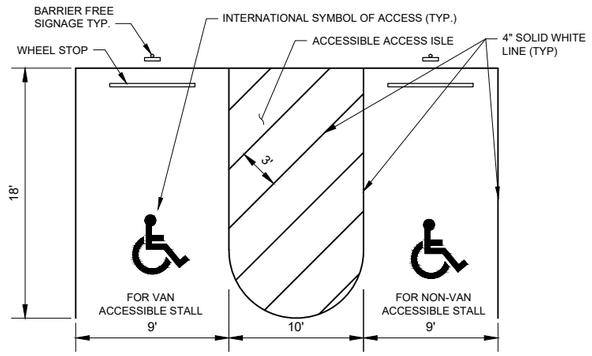
NORTH DRIVEWAY VISION TRIANGLES DETAIL
1" = 20'



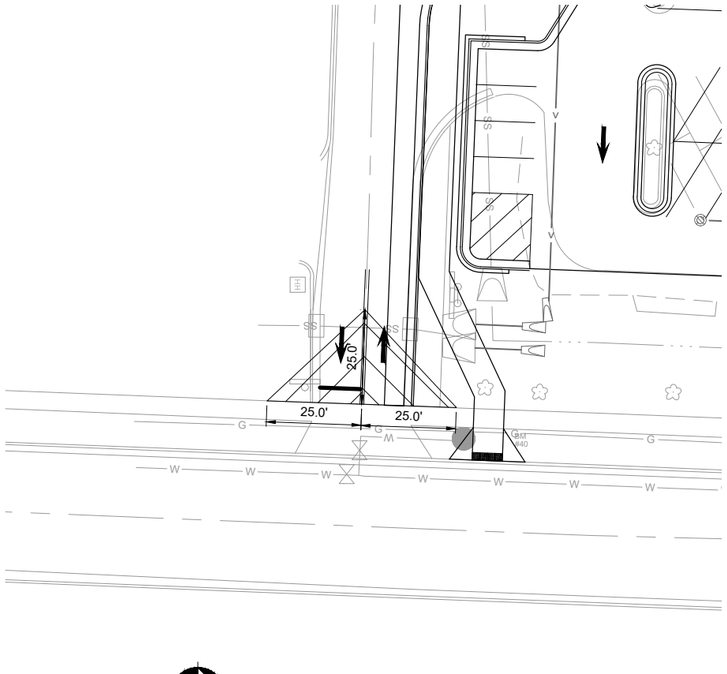
BARRIER FREE SIGNAGE
NO SCALE

GENERAL NOTES:
1. DETAILS OF INSTALLATION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE SPECIFICATIONS.
2. A DETAILED DRAWING OF THE DISABLED PARKING SYMBOL IS ILLUSTRATED IN THE "STANDARD HIGHWAY SIGNS MANUAL" BY THE FEDERAL HIGHWAY ADMINISTRATION.
3. WDOT SPEC. MEANS THE STATE OF WISCONSIN STANDARD SPECIFICATION FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, AS AMENDED BY THE MOST CURRENT INTERIM SUPPLEMENTAL SPECIFICATION.
4. PROVIDE DISABLED PARKING STALLS AT LOCATIONS SHOWN ON THE DRAWINGS. STALL AND ACCESS ISLE DIMENSIONS SHALL BE AS SHOWN ON THE DETAIL UNLESS INDICATED OTHERWISE ON THE DRAWING.
5. PROVIDE A DISABLED SYMBOL AND BARRIER FREE SIGNAGE FOR EACH STALL SHOWN ON THE DRAWING.
6. PROVIDE WHEEL STOPS WHEN SHOWN ON THE DRAWINGS.
7. THE MAXIMUM SURFACE SLOPE, ACROSS STALLS OR ACCESSIBLE ROUTES, IN ANY DIRECTION, SHALL BE 2%.

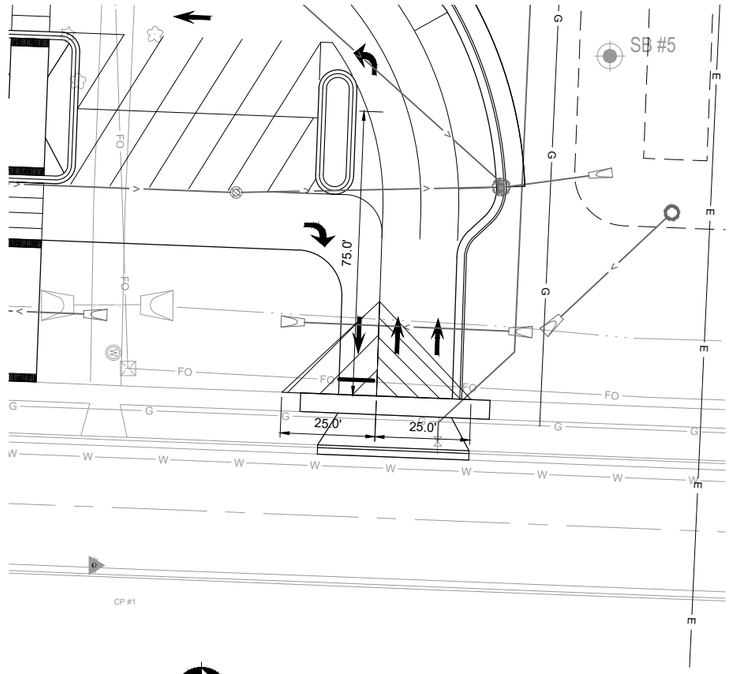
INTERNATIONAL SYMBOL OF ACCESS
NO SCALE



ACCESSIBLE PARKING STALL
NO SCALE



SOUTH DRIVEWAY VISION TRIANGLES DETAIL
1" = 20'



NORTH DRIVEWAY VISION TRIANGLES DETAIL
1" = 20'

NO.	DATE	REVISION	BY
.	.	.	.

PROJECT DATE: .
DRAWN BY: LPS
DESIGNED BY: BJK
CHECKED BY: Init

PLOT DATE: 3/11/2022 1:10 PM, G:\21\21586\21586000\CADD\Construction Documents\21586000 Details.dwg

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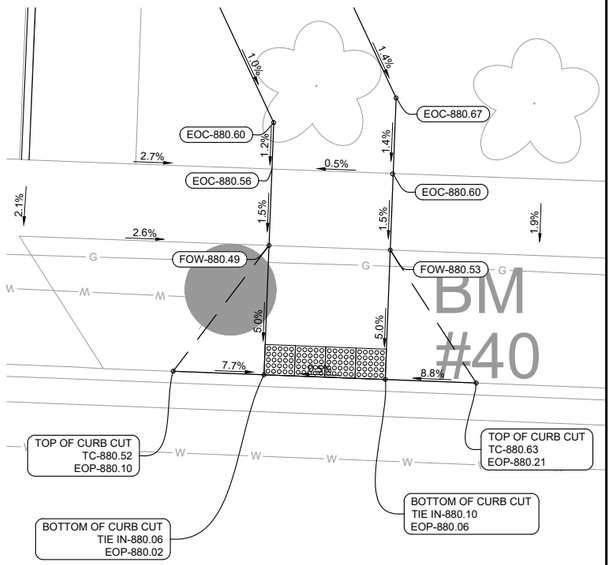
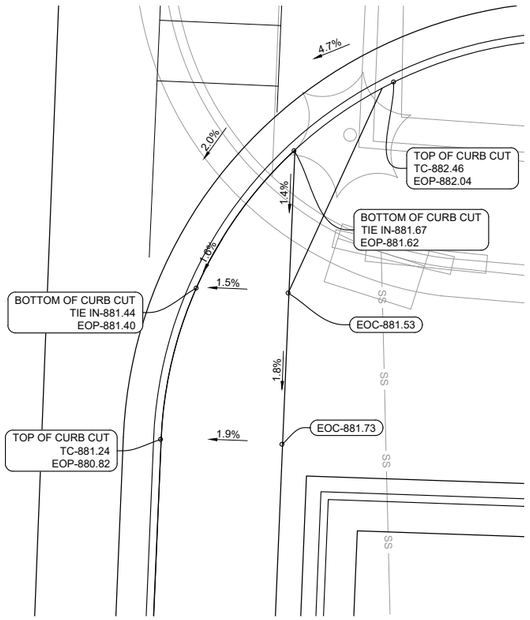
MADISON, WISCONSIN

MISCELLANEOUS DETAILS

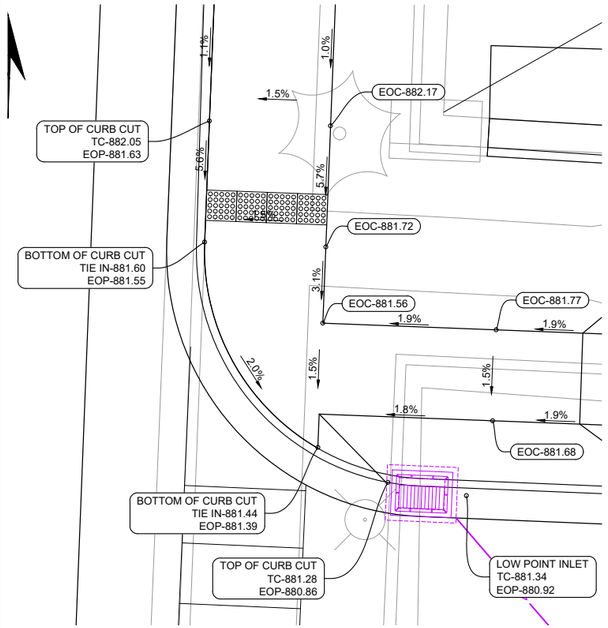
PROJECT NO. 21586000
SHEET C205



CURB RAMP #1 DETAIL
1" = 5'



CURB RAMP #2 DETAIL
1" = 5'



CURB RAMP #3 DETAIL
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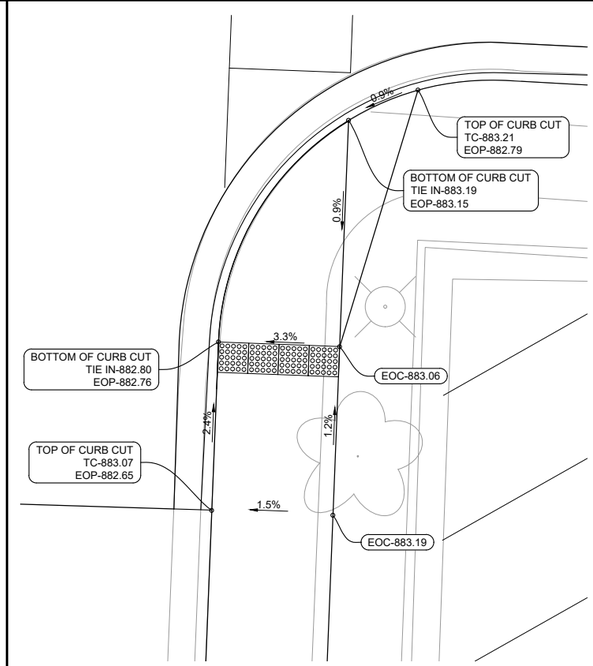

CURB RAMP #4 DETAIL
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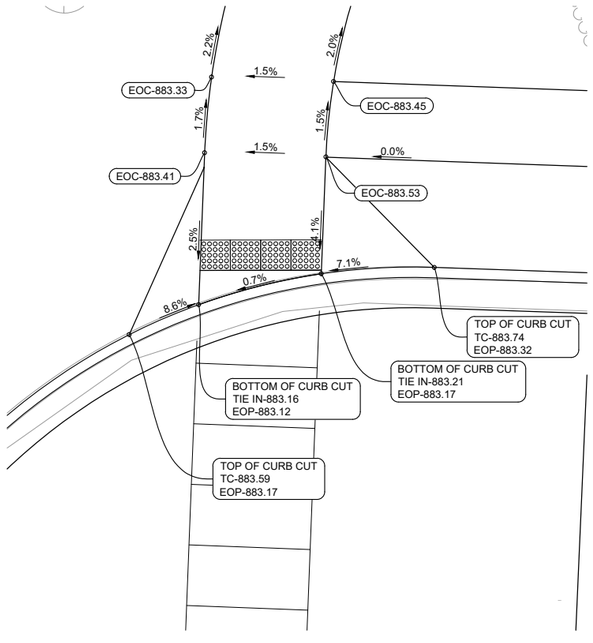
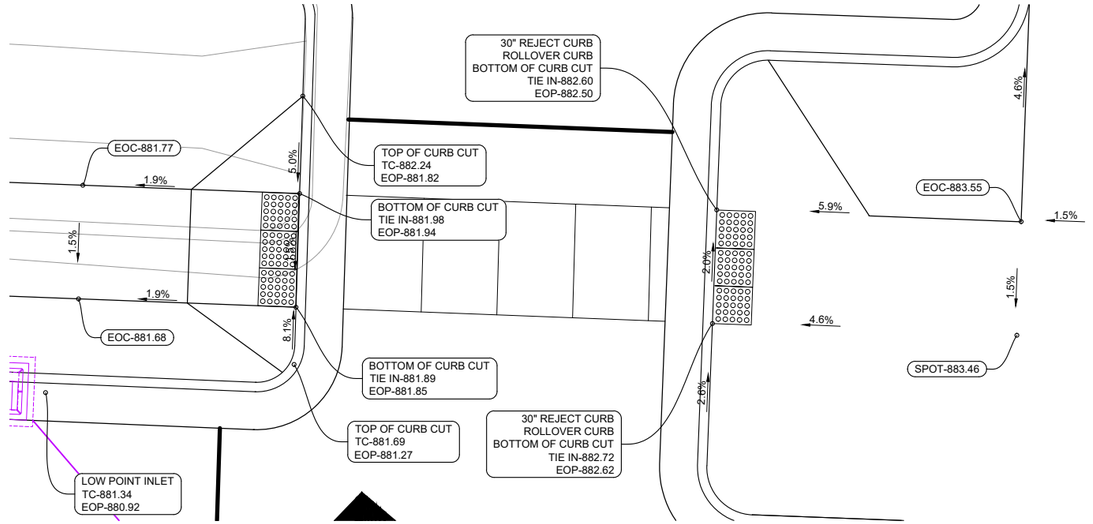
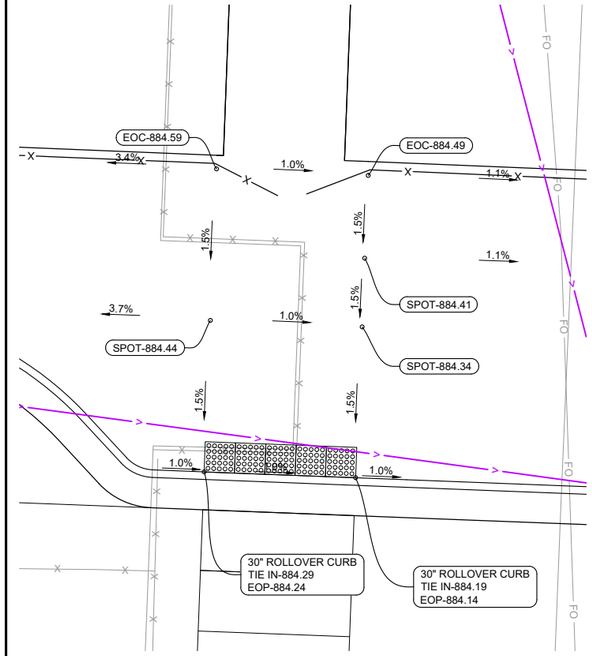


CURB RAMP #5 DETAIL
1" = 5'



CURB RAMP #6 DETAIL
1" = 5'



CURB RAMP #7 DETAIL
1" = 5'

		NO.	DATE	REVISION	BY
PROJECT DATE: .	DRAWN BY: LPS	.	.	.	.
	DESIGNED BY: BJK	.	.	.	.
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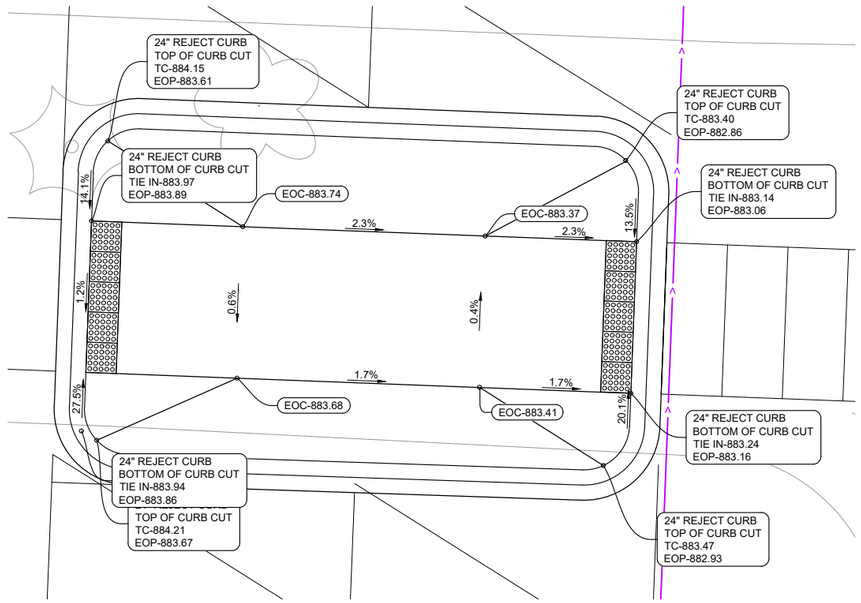
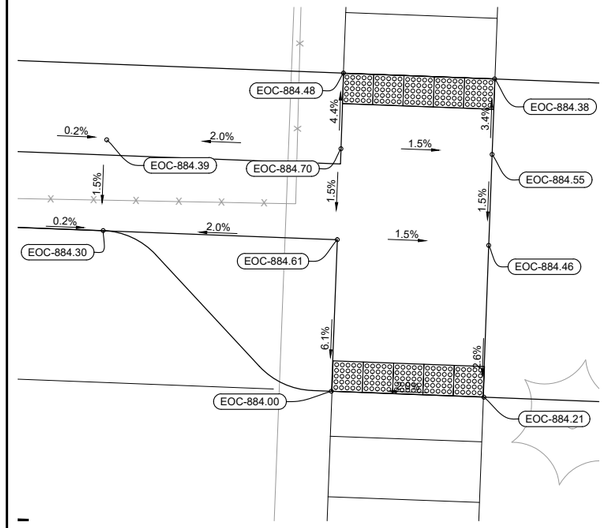
CURB RAMP GRADING DETAILS

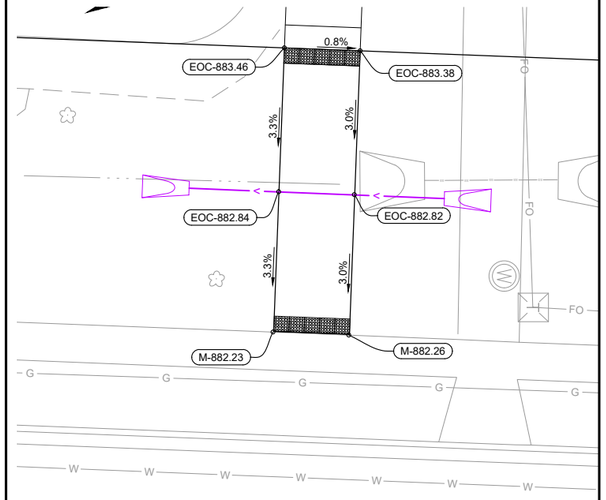
PROJECT NO. 21586000
SHEET C206



CURB RAMP #8 DETAIL
1" = 5'



CURB RAMP #9 DETAIL
1" = 5'



CURB RAMP #10 DETAIL
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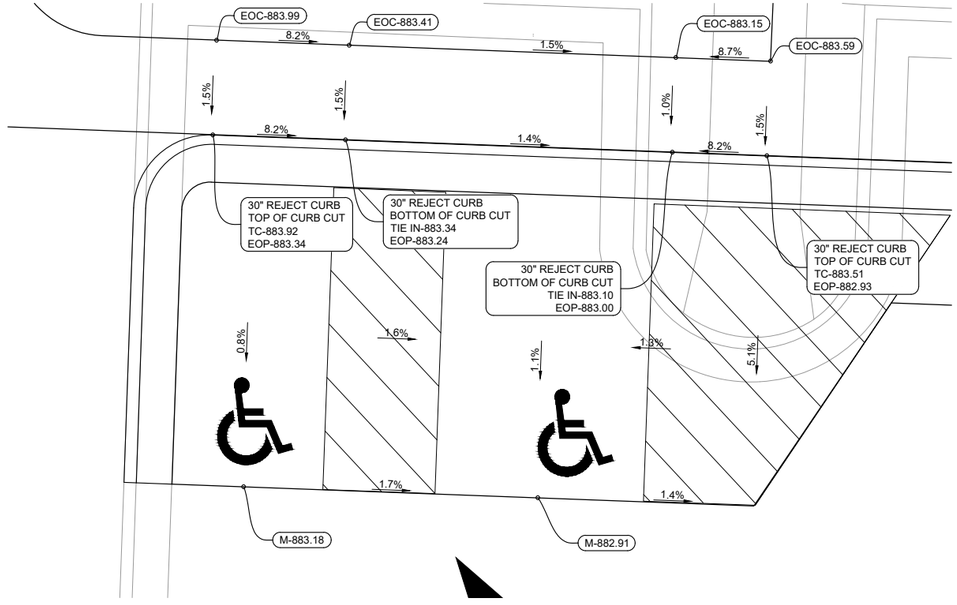
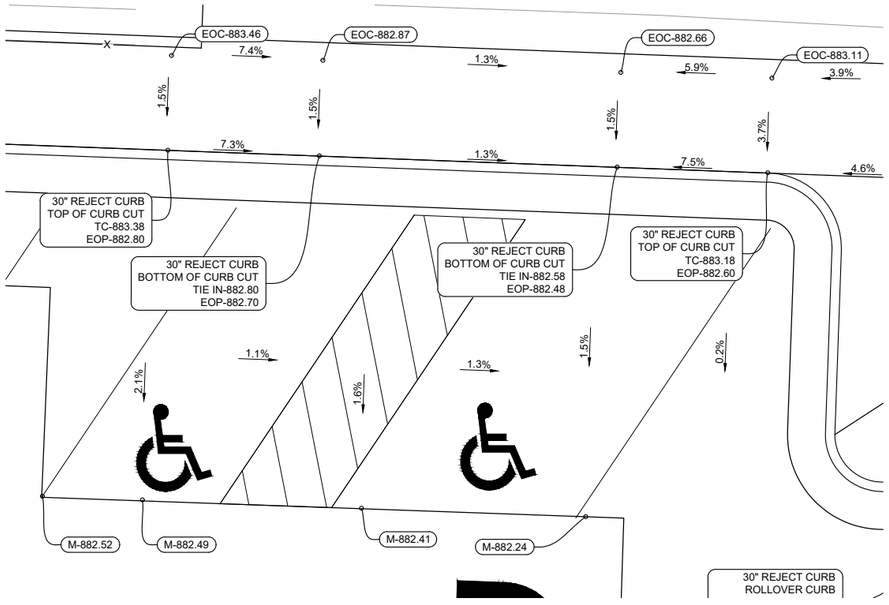


ACCESSIBLE PARKING #1 DETAIL
1" = 4'



ACCESSIBLE PARKING #1 DETAIL
1" = 4'

		NO.	DATE	REVISION	BY
PROJECT DATE: .	DRAWN BY: LPS	.	.	.	.
	DESIGNED BY: BJK	.	.	.	.
	CHECKED BY: Init	.	.	.	.

PLOT DATE: 3/11/2022 1:11 PM, G:\21\21586\21586000\CADD\Construction Documents\21586000 Curb Ramp Details.dwg

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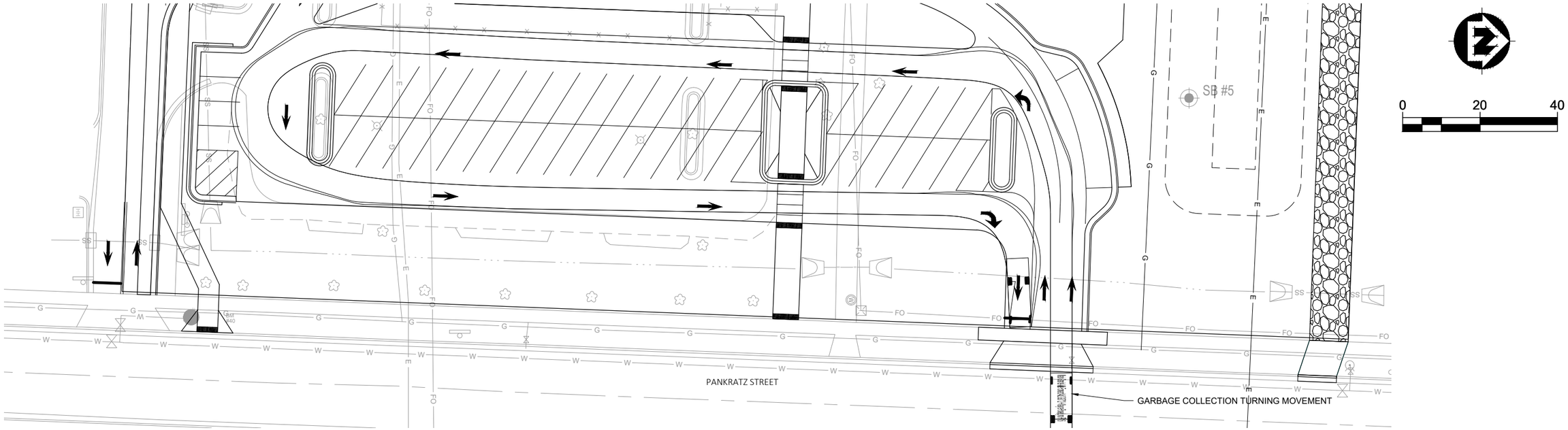
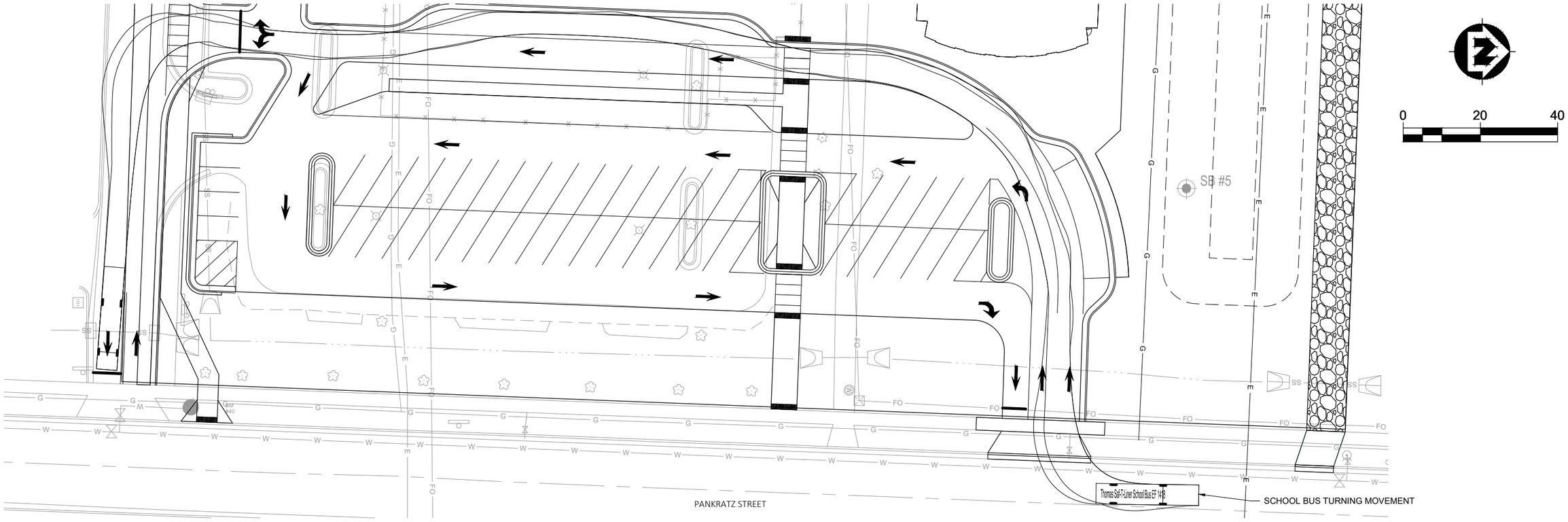
MADISON, WISCONSIN

CURB RAMP GRADING DETAILS

PROJECT NO. 21586000
SHEET C207





		NO.	DATE	REVISION	BY
PROJECT DATE: .	DRAWN BY: LPS	.	.	.	.
	DESIGNED BY: BJK	.	.	.	.
	CHECKED BY: Init	.	.	.	.

PLOT DATE: 3/11/2022 1:12 PM, G:\21\21586\21586000\CADD\C3D\21586000 Design - Turning Movements.dwg

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VEHICLE TURNING MOVEMENT DETAIL

PROJECT NO. 21586000
SHEET C208

City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506
Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: *fire@cityofmadison.com*

Project Address:
Contact Name & Phone #:

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system?	● Yes	☐ No	☐ N/A
If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall?	☐ Yes	☐ No	● N/A
If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	☐ Yes	● No	☐ N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs?	● Yes	☐ No	☐ N/A
a) Is the fire lane a minimum unobstructed width of at least 20-feet?	● Yes	☐ No	☐ N/A
b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet?	● Yes	☐ No	☐ N/A
c) Is the minimum inside turning radius of the fire lane at least 28-feet?	● Yes	☐ No	☐ N/A
d) Is the grade of the fire lane not more than a slope of 8%?	● Yes	☐ No	☐ N/A
e) Is the fire lane posted as fire lane? (Provide detail of signage.)	● Yes	☐ No	☐ N/A
f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.)	● Yes	☐ No	☐ N/A
g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	● Yes	☐ No	☐ N/A
3. Is the fire lane obstructed by security gates or barricades? If yes:	☐ Yes	● No	☐ N/A
a) Is the gate a minimum of 20-feet clear opening?	☐ Yes	☐ No	● N/A
b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	☐ Yes	☐ No	● N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet?	☐ Yes	● No	☐ N/A
If yes, does the area for turning around fire apparatus comply with IFC D103?	☐ Yes	● No	☐ N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	☐ Yes	● No	☐ N/A
6. Is any part of the building greater than 30-feet above the grade plane?	☐ Yes	● No	☐ N/A
If yes, answer the following questions:			
a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter?	☐ Yes	☐ No	● N/A
b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building?	☐ Yes	☐ No	● N/A
c) Are there any overhead power or utility lines located across the aerial apparatus fire lane?	☐ Yes	☐ No	● N/A
d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species)	☐ Yes	☐ No	● N/A
e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?	☐ Yes	☐ No	● N/A
f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	☐ Yes	☐ No	● N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants?	● Yes	☐ No	☐ N/A
Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.			
a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants?	☐ Yes	● No	☐ N/A
b) Is there at least 40' between a hydrant and the building?	● Yes	☐ No	☐ N/A
c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane?	● Yes	☐ No	☐ N/A
d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb?	☐ Yes	☐ No	● N/A
e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	● Yes	☐ No	☐ N/A
Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.			

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.

The Commercial & Industrial Collection

Beauty.

Durability.

Functionality.

Security.

ALUMI-GUARD®

Protecting what you love

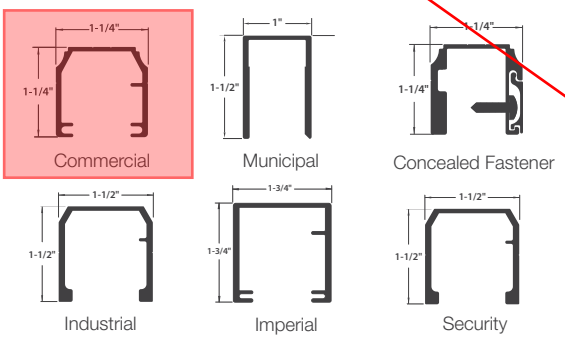
ASCOT
3 RAIL

BLACK

5 Quick Steps to Design Your Fence

Grade Size	#1
Style of Fence	#2
Color Choice	#3
Post Size	#4
Fence Options	#5

Grade Choices



Steps #1 & #4 The Commercial & Industrial Grades

The Commercial & Industrial Collection by Alumi-Guard offers six alternatives for you to consider regarding the individual rail and picket dimensions of your fencing system. Choose the option that meets your budget and priorities.

Commercial — The Alumi-Guard Commercial, Concealed Fastener and Municipal panels have an elegant appearance with superior performance, providing protection for any outdoor space.

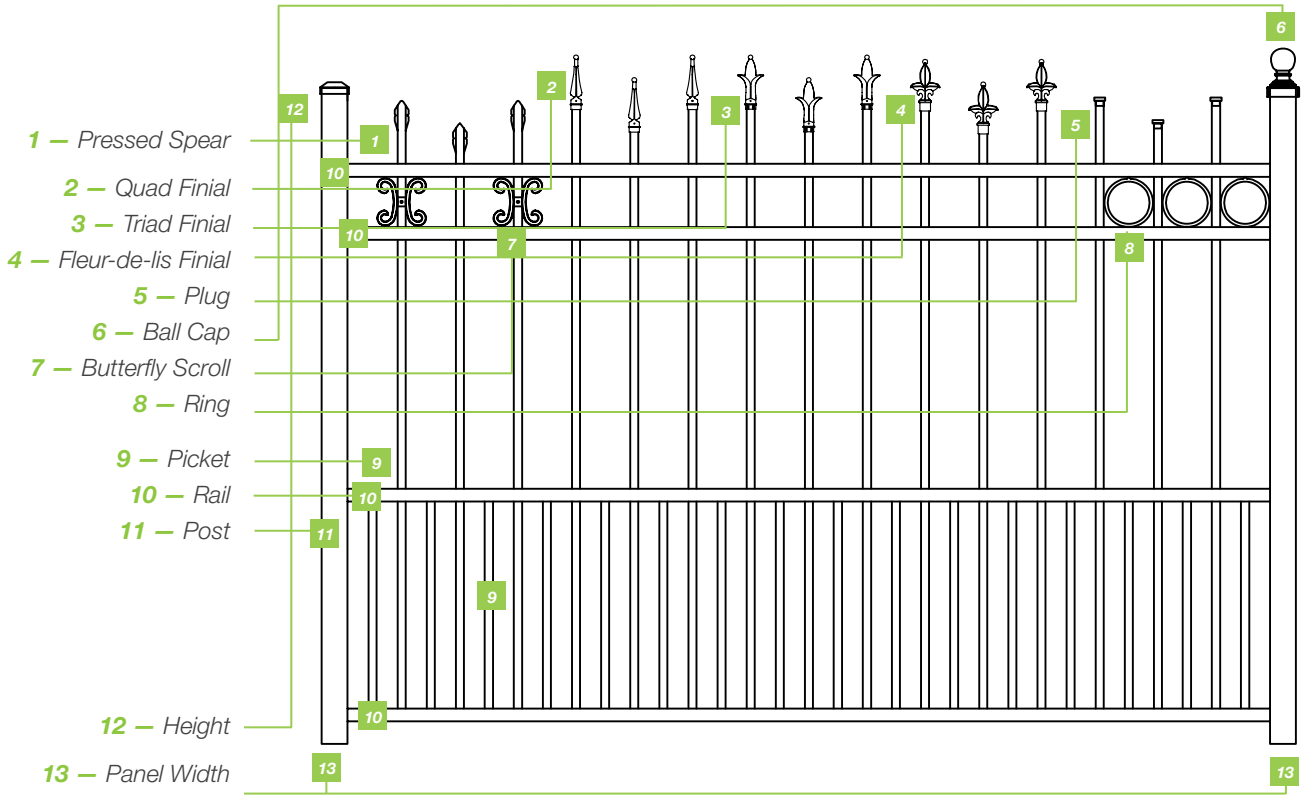
- Commercial and Concealed — 1¼" x 1¼" rail
- ~~Municipal — 1½" x 1" rail~~
- 3/4" picket and ~~2"~~ or 2½" posts
- Commercial 6' wide sections
- Municipal and Concealed Fastener 6' and 8' wide sections

Industrial — The Alumi-Guard Industrial, Imperial and Security grade panels provide additional strength and protection. Imperial rails are available with the security grade pickets when additional strength is needed.

- Industrial and Security 1½" x 1½" rail
- Imperial 1¾" x 1¾" rail
- 1" x 1" picket and 2½" posts or 3" posts
- 6' and 8' wide sections with Industrial, Imperial and Security grades

NEED GATES. NEED TO VERIFY HARDWARE W/ OWNER

Step #5 Fence Options

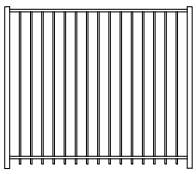


#2 — #3 Fencing Collection Styles & Colors

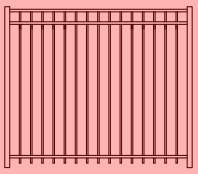
Colors may vary in catalog. Please refer to color chips for actual color.

Flat Top Ascot • Canterbury • Fairmount

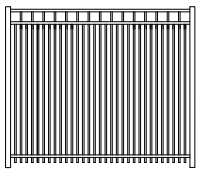
Ascot 2 Rail



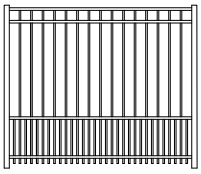
Ascot 3 Rail



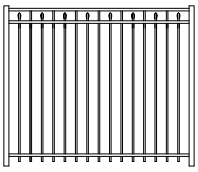
Ascot Royale



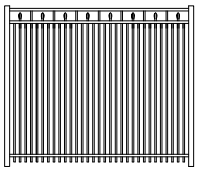
Ascot Puppy Picket



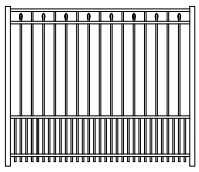
Canterbury



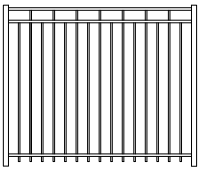
Canterbury Royale



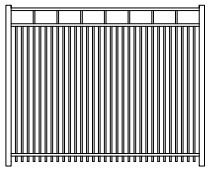
Canterbury Puppy Picket



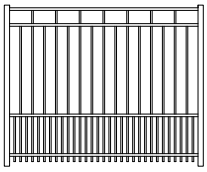
Fairmount



Fairmount Royale

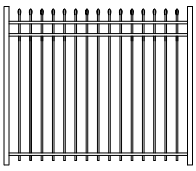


Fairmount Puppy Picket

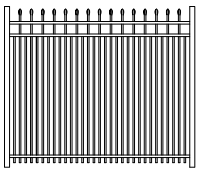


Pressed Spear Belmont • Hamilton

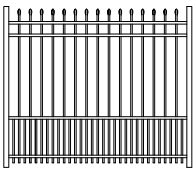
Belmont



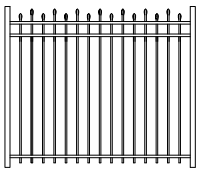
Belmont Royale



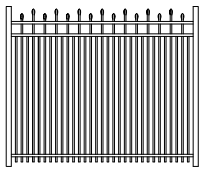
Belmont Puppy Picket



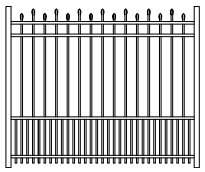
Hamilton



Hamilton Royale

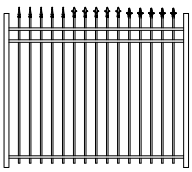


Hamilton Puppy Picket

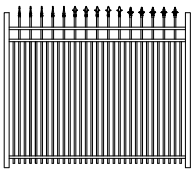


Premier Victoria • Newcastle I • Newcastle II

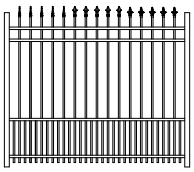
Victoria



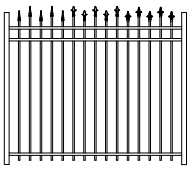
Victoria Royale



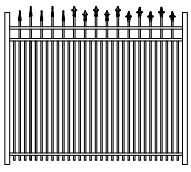
Victoria Puppy Picket



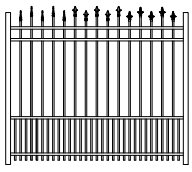
Victoria Staggered



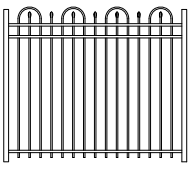
Victoria Staggered Royale



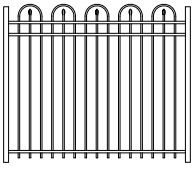
Victoria Staggered Puppy Picket



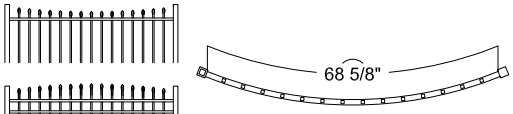
Newcastle I



Newcastle II



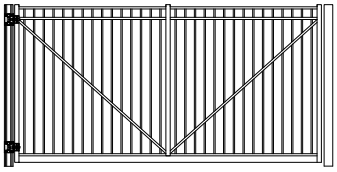
*Newcastle I and Newcastle II are available in Residential/Squire Grade Only



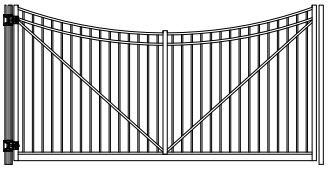
Available panel sizes and colors vary by style. Not all heights and colors available in all styles. For information about pool fence, see your local dealer. Please contact an Alumi-Guard dealer or representative for full product list or visit Alumi-Guard.com for more information.

Estate Gates Swing Gates • Cantilever Gates

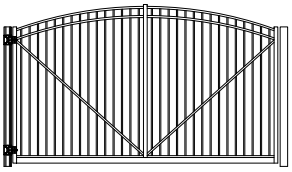
Swing Arch 1



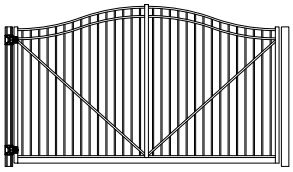
Swing Arch 2



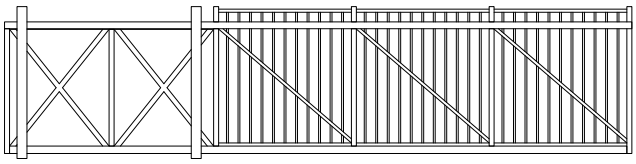
Swing Arch 3



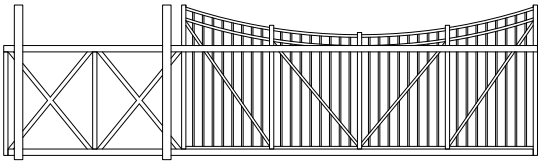
Swing Arch 4



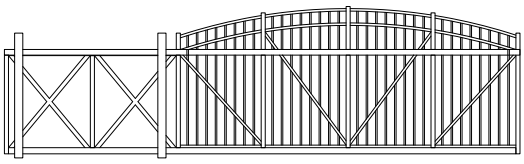
Cantilever Arch 1



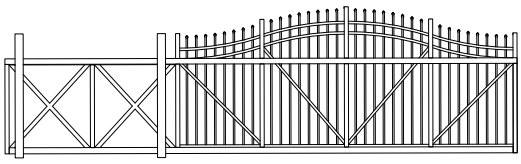
Cantilever Arch 2



Cantilever Arch 3

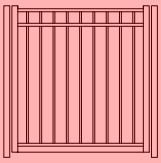


Cantilever Arch 4



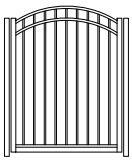
Walk Gates

Arch 1



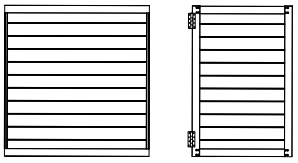
Arch 2

Arch 3

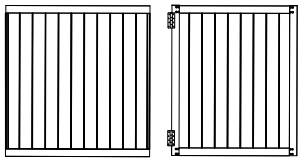


Mélange

Horizontal Panel

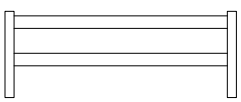


Vertical Panel

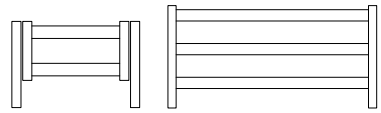


Chariot Post & Rail

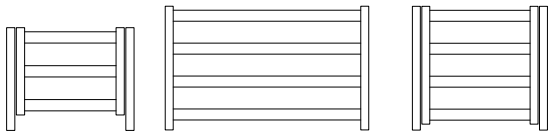
2 Rail Panel/Gate



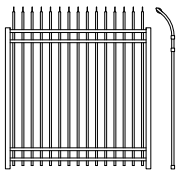
Rail 3 Rail Panel/Gate



4 Rail Panel/Gate

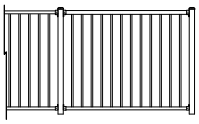


Security

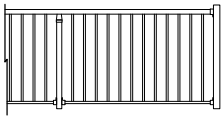


Guardrail/Handrail

Post/Panel Railing



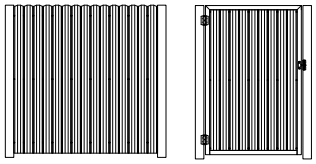
Continuous Top Cap Railing



- Pre-Built Panels Available Post/Panel or Continuous
- Boxed Kits only Available Post/Panel
- Colors: Matte Black, Matte Bronze and White

Fortress

Board on Board



Shadowbox