



HOVDEPROPERTIES

June 13, 2019

Legal Description – Land Use Application

**Project Name: "Bank House" Demolition
5781 Cottage Grove Road**

Legal Description of the Subject Property

The subject property is located within part of the Southwest $\frac{1}{4}$ of Section 11, Township 7 North, Range 10 East, in Dane County, Wisconsin, further described as follows:

Commencing at the West $\frac{1}{4}$ corner of Section 11, thence North $87^{\circ}50'01''$ East for a distance of 985.61 feet, thence South $13^{\circ}28'30''$ East for a distance of 74.62 feet to the Point of Beginning, thence North $84^{\circ}46'32''$ East for a distance of 331.65 feet, thence South $00^{\circ}57'22''$ east for a distance of 129.55 feet, thence South $87^{\circ}50'01''$ West for a distance of 306.08 feet, thence North $13^{\circ}28'30''$ West for a distance of 114.05 feet back to the Point of Beginning.



DEMOLITION APPLICATION

"Bank House" – 5781 Cottage Grove Road

Supplemental Items

- 1) Prior to the filing of an application, the applicant or their agent is required to provide notification to the Demolition Listserv at least 30 days prior to filing their application.

Alder Michael Tierney has granted a waiver 30-day notification requirement, which is attached for reference.

- 2) A Demolition Site Plan showing the Existing conditions and clearly indicating what improvements are to be demolished, including buildings, existing private trees 8" or more in diameter, existing public trees, including size, locations, and driplines, sidewalks, driveways, streets, alleys, curb and gutter, etc. If there is no future use proposed, show how the site will be left in the interim.

The demolition site plan is attached.

- 3) A minimum of five (5) photos of the exterior and five (5) interior of the building, sufficient to represent the building being demolished.

Photos of the building interior and exterior are provided within the attached Home Inspection Report, prepared by Sterling Home Inspections LLC.

- 4) Approval of a Reuse and Recycling Plan by the City's Recycling Coordinator is required prior to issuance of permits, pursuant to Section 28.185(7)(a)(5), MGO.

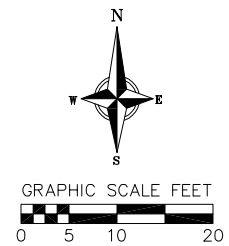
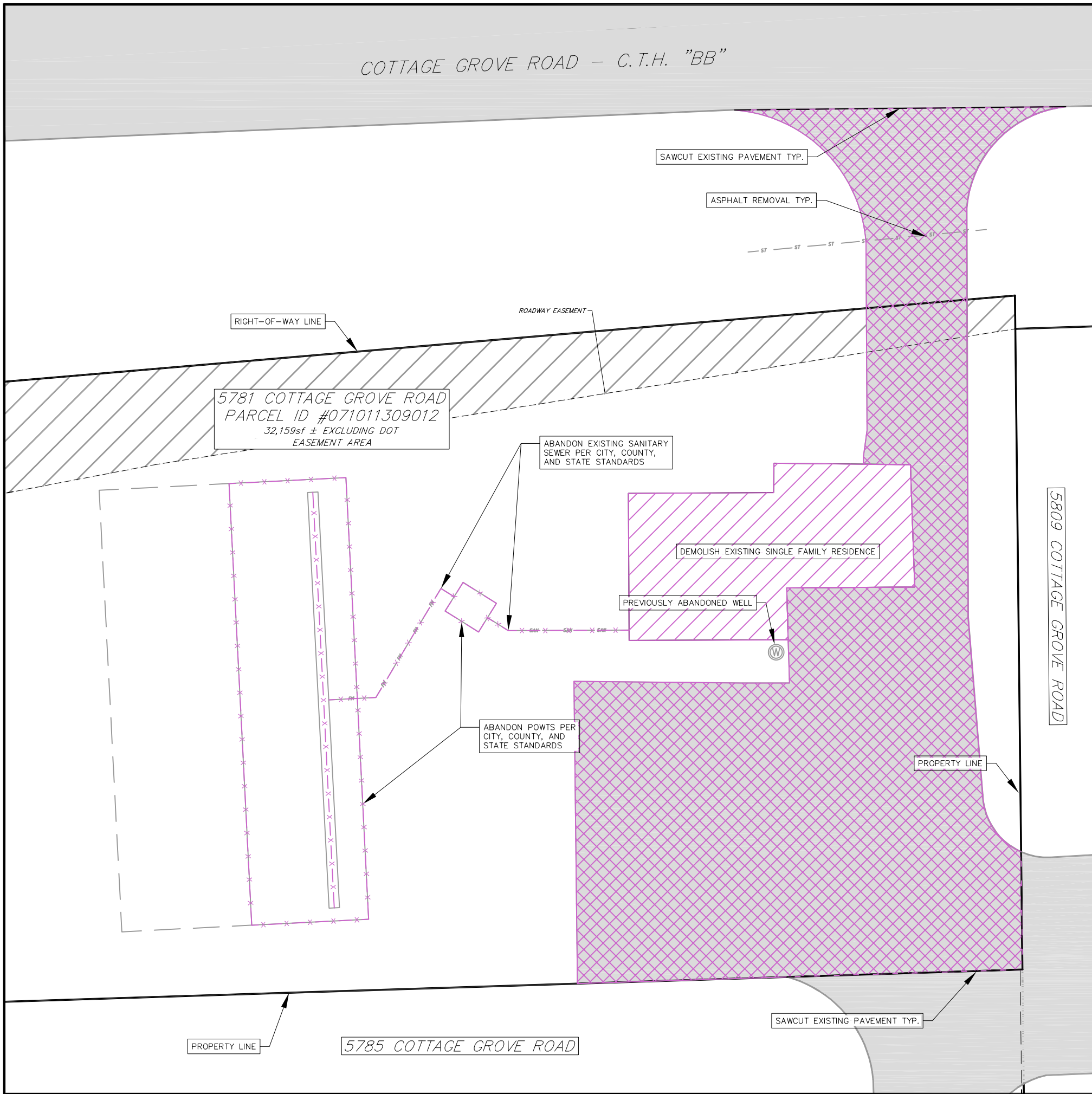
The applicant shall submit a Reuse & Recycling Plan for the City's consideration upon Plan Commission approval and will not commence with demolition activities until the City issues all required approvals/permits.

- 5) For applications where building relocations are proposed, the applicant shall provide a proposed relocation route including information regarding any street trees proposed for trimming and/or removal (to be evaluated by the City Forester).

N/A – No building relocations are proposed.

- 6) The applicant may provide a written report of a licensed architect or engineer describing the condition of the building.

The Home Inspection Report, prepared by Sterling Home Inspections LLC, is attached.



DEMOLITION PLAN LEGEND

| | |
|--|---------------------------|
| | ASPHALT REMOVAL |
| | BUILDING REMOVAL |
| | SAWCUT |
| | UTILITY STRUCTURE REMOVAL |
| | UTILITY LINE REMOVAL |

- NOTES:
1. THE OBJECTS SHOWN AS EXISTING ON THIS PLAN ARE BASED ON INFORMATION OBTAINED FROM OTHERS AND HAVE NOT BEEN FIELD VERIFIED.
 2. CITY FORESTER SHALL BE CONTACTED PRIOR TO REMOVAL OF TREES IN PUBLIC RIGHT-OF-WAY

| NO. | DATE | REVISIONS | |
|-----|------|-----------|-----|
| | | REMARKS | NO. |
| | | | |
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SCALE: AS SHOWN

DATE: 06/05/2019

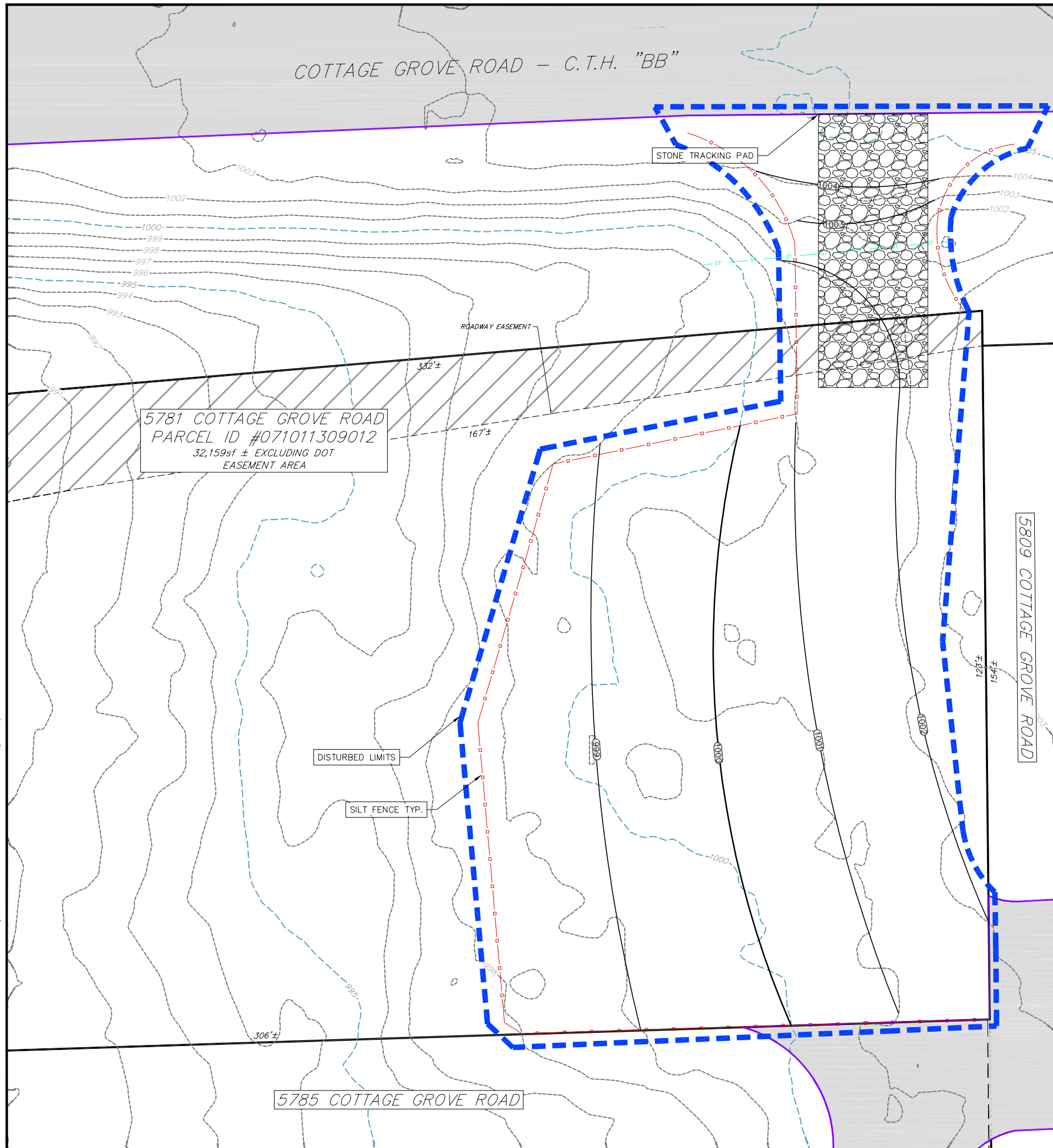
DRAFTER: NJOH

CHECKED: JDOY

PROJECT NO.: 190138

SHEET: 1 OF 2

DWG. NO.:



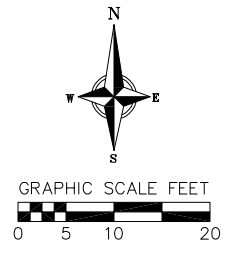
GRADING LEGEND

- 820--- EXISTING MAJOR CONTOURS
- 818--- EXISTING MINOR CONTOURS
- 620--- PROPOSED MAJOR CONTOURS
- 618--- PROPOSED MINOR CONTOURS
- SILT FENCE/SOCK
- DISTURBED LIMITS
- [Pattern] TRACKING PAD

THE OBJECTS SHOWN AS EXISTING ON THIS PLAN ARE BASED ON INFORMATION OBTAINED FROM OTHERS AND HAVE NOT BEEN FIELD VERIFIED

- SEEDING RATES:**
- TEMPORARY:**
- USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
 - USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.
- PERMANENT:**
- USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

- CONSTRUCTION SEQUENCE:**
- INSTALL SILT FENCE AND TRACKING PAD
 - ABANDON POWTS AND WELL
 - DEMOLISH BUILDING AND ASPHALT SURFACES
 - GRADE LOT
 - SEED AND RESTORE LOT AND REMOVE EROSION CONTROL MEASURES



- FERTILIZING RATES:**
- TEMPORARY AND PERMANENT:**
USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.
- MULCHING RATES:**
- TEMPORARY AND PERMANENT:**
USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

EROSION CONTROL MEASURES

- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
- INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE SITE ENTRANCE TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
- CHANNELIZED RUNOFF:** FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
- STABILIZED DISTURBED GROUND:** ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
- SITE DE-WATERING:** WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
- DISTURBED AREAS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
- SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
- SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY.
- ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF MADISON.
- THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

vierbicher
planners | engineers | advisors
Phone: (800) 261-3898

Grading and Erosion Control Plan
5781 Cottage Grove Road
City of Madison
Dane County, Wisconsin

| NO. | DATE | REVISIONS | |
|-----|------|-----------|--|
| | | REMARKS | |
| | | | |
| | | | |

SCALE: AS SHOWN

DATE: 06/05/2019

DRAFTER: NUOH

CHECKED: JDOY

PROJECT NO.: 190138

SHEET: 2 OF 2

DWG. NO.:



Home Inspection Report



5781 Cottage Grove Rd, Madison, WI 53718

Inspection Date:

Wednesday, February 13, 2019

Prepared For:

Hovde Properties

Prepared By:

Sterling Home Inspections LLC

4422 American Way

Cottage Grove, WI 53527

6082091927

Pat@Silverstonellc.com

Report Number:

1902-5781-1

Inspector:

Patrick Ceithamer

License/Certification #:

2806-106

Inspector Signature:

Report Summary

Items Not Operating

None apparent

Major Concerns

None apparent

Potential Safety Hazards

- Hose bib(s) not equipped with anti-siphon devices, possible cross connection can occur with anti-siphon device, recommend installing
- Cabinets are directly above range. Potential safety hazard. Recommend a 30" clearance per code
- outlets in 1st floor bath have open ground
- outlets in 1st floor bath are not GFCI protected
- Steps not all equal height, potential safety/trip hazard. Use with caution. Recommend repair
- Recommend adding CO Detectors on each level. Recommend installing below knee level.
- Smoke Detectors missing though-out house. Recommend smoke detector on each level and in each bedroom. Per local code
- Electrical panel has double tapping present on several breakers recommend a licensed electrician repair.

Deferred Cost Items

Roof that is 15+ years.
Water heater that is 15+ years.

Defective Items

- Roof was in poor condition and will need repair and/or replacement soon.
- Chimney Brick face is popping off - recommend a qualified contractor evaluate and repair
- Chimney has Missing/loose mortar in the brick joints - recommend tuckpointing
- Recommend installing rain cap/spark arrestor on Chimney
- Gutters were incorrectly pitched, with standing water, recommend repair
- Insides of gutters are full of debris recommend cleaning
- Recommend adding downspout extensions to discharge away from the house. 5-6' extensions recommended.
- Siding had some damage under north side door and at end of beam at west end of gable , recommend repairing/replacing damaged sections
- Soffit has some damaged panels under canopy Recommend repair
- Light fixtures in soffit are falling out or severely rusted. Appear to not work. Recommend repair
- Kitchen Countertops are damaged recommend repair
- walls in living room have damage, Recommend repair
- Window in first floor bedroom has missing glass. Recommend repair.
- walls are damaged in first floor bedroom. Recommend repair.
- broken glass in window in first floor bedroom
- Window in first floor bath is caulked / painted shut.
- risers are missing on basement steps
- Foundation has signs of Efflorescence. Recommend keeping water away from foundation wall on exterior.
- Panel was full and may need to be upgraded for future needs.
- Handy man wiring present - recommend a licensed electrician evaluate, repair and replace as necessary.

Report Summary

Defective Items

- Horizontal crack present in north west corner with water stains coming from it. Recommend further evaluation
- Walls are pitting, recommend further evaluation.

Items To Monitor

None Apparent

Maintenance Items Needing Attention

- recommend removing old fuel storage tank

Report Overview

Scope of Inspection

All components designated for inspection in the ASHI Standards of Practice are inspected, except as may be noted in the "Limitations of Inspection" sections within this report. It is the goal of the inspection to put a home buyer in a better position to make a buying decision. Not all improvements will be identified during this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind. Please refer to the pre-inspection contract for a full explanation of the scope of the inspection.

Visual Inspection Only

Main Entrance Faces

North

State Of Occupancy

Home is occupied. This is a limited review of many areas of the home. Efforts were made to inspect as much as possible. However, due to the presents of personal items, many areas are not visible or accessible. Furniture, cloths and other personal items are not moved for the inspection.

Weather Conditions

Cloudy
Windy
Cold
Snow covered

Recent Rain

No

Ground Cover

Snow

Receipt/Invoice

Sterling Home Inspections LLC
4422 American Way
Cottage Grove, WI 53527
6082091927

Date: Wed. Feb. 13, 2019 9:00
Inspected By: Patrick Ceithamer

Client: Hovde Properties

Property Address
5781 Cottage Grove Rd
Madison, WI 53718

Inspection Number: 1902-5781-1
Payment Method:

| Inspection | Fee |
|-------------------|-----------------|
| Home Inspection | \$400.00 |
| Total | \$400.00 |

Roof

General

Visibility None All Partial Limited By: Heavy snow cover
Inspected From Roof Ladder at eaves Ground With Binoculars

Style of Roof

Type Gable Hip Mansard Shed Flat Other: .
Pitch Low Medium Steep Flat
Roof #1 Type:Asphalt
 Layers:Unknown
 Age:10-15+
 Location:Main Part of house area
 Porch roof
Roof #2 None
 Type:
 Layers:
 Age:
 Location:
Roof #3 None
 Type:
 Layers:
 Age:
 Location:

Comments

Ventilation System

None N/A
Type Soffit Ridge Gable Roof Turbine Powered Other: .
Comments

Flashing

Material Not Visible Galv/Alum Asphalt Copper Foam Rubber Lead Other: .
Condition Not Visible Satisfactory Marginal Poor Rusted Missing
 Separated from chimney/roof Recommend Sealing Other: .
Comments

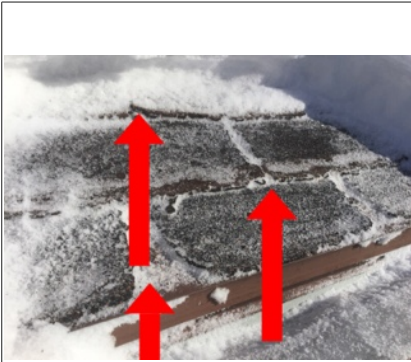
Valleys

N/A
Material Not Visible Galv/Alum Asphalt Lead Copper Other: .
Condition Not Visible Satisfactory Marginal Poor Holes Rusted Recommend Sealing
Comments

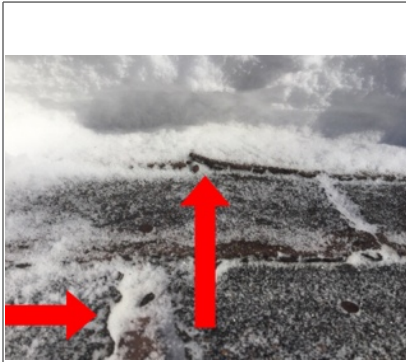
Condition of Roof Coverings

Roof #1 Satisfactory Marginal **Poor** Curling Cracking Ponding Burn Spots
 Broken/Loose Tiles/Shingles Nail popping Granules missing Alligating Blistering
 Missing Tabs/Shingles/Tiles Moss buildup Exposed felt Cupping
 Incomplete/Improper Nailing Recommend roofer evaluate Evidence of Leakage
Roof #2 N/A Satisfactory Marginal Poor Curling Cracking Ponding Burn Spots
 Broken/Loose Tiles/Shingles Nail popping Granules missing Alligating Blistering
 Missing Tabs/Shingles/Tiles Moss buildup Exposed felt Cupping
 Incomplete/Improper Nailing Recommend roofer evaluate Evidence of Leakage
Roof #3 N/A Satisfactory Marginal Poor Curling Cracking Ponding Burn Spots
 Broken/Loose Tiles/Shingles Nail popping Granules missing Alligating Blistering
 Missing Tabs/Shingles/Tiles Moss buildup Exposed felt Cupping
 Incomplete/Improper Nailing Recommend roofer evaluate Evidence of Leakage
Comments - Roof was in poor condition and will need repair and/or replacement soon.

Photos



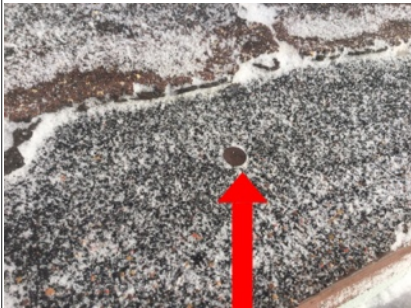
Shingles have broken corners, missing granulars and cracking. Recommend replacing soon



Shingles are curling. Recommend replacing roof soon



Shingles have broken corners, missing granulars and cracking. Recommend replacing soon



Face nailing present in many areas of roof. Recommend repair



Face nailing present

Skylights

- N/A Not Visible
- Cracked/Broken Satisfactory Marginal Poor

Condition
Comments

Plumbing Vents

- Not Visible Not Present
- Satisfactory Marginal Poor

Condition
Comments
Photos



Grounds

Service Walks

None Not Visible
Material Concrete Flagstone Gravel Brick Other: _____
Condition Satisfactory Marginal Poor Trip hazard Typical cracks Pitched towards home
 Settling cracks Public sidewalk needs repair
Comments

Driveway/Parking

None Not Visible
Material Concrete Asphalt Gravel/Dirt Brick Other: _____
Condition Satisfactory Marginal Poor Settling Cracks Typical cracks Pitched towards home
 Trip hazard Fill cracks and seal
Comments Limited visibility due to heavy snow cover

Porch

None Not Visible
Condition Satisfactory Marginal Poor Railing/Balusters recommended
Support Pier Concrete Wood Other: _____
Floor Satisfactory Marginal Poor Safety Hazard
Comments

Stoops/Steps

None
Material Concrete Wood Other: _____ Railing/Balusters recommended
Condition Satisfactory Marginal Poor Safety Hazard Uneven risers Rotted/Damaged
 Cracked Settled
Comments Limited visibility due to snow cover
Photos



Patio

None
Material Concrete Flagstone Kool-Deck Brick Other: _____
Condition Satisfactory Marginal Poor Settling cracks Trip hazard
 Pitched towards home (see remarks) Drainage provided Typical cracks
Comments

Deck/Balcony

None Not Visible
Material Wood Metal Composite Railing/Balusters recommended
Condition Satisfactory Marginal Poor Wood in contact with soil
Finish Treated Painted/Stained Other: _____ Safety Hazard Improper attachment to house
 Railing loose Not Applicable
Comments

Grounds

Deck/Patio/Porch Covers

- None
- Condition** Satisfactory Marginal Poor Posts/Supports need Repair Earth to wood contact
- Moisture/Insect damage
- Recommend** Metal Straps/Bolts/Nails/Flashing Improper attachment to house None
- Comments**

Fence/Wall

- Not evaluated None
- Type** Brick Block Wood Metal Chain Link Rusted Vinyl
- Condition** Satisfactory Marginal Poor Typical cracks Loose Blocks/Caps
- Gate** N/A Satisfactory Marginal Poor Planks missing/damaged Operable: Yes No
- Comments** Gate was frozen shut

Landscaping affecting foundation

- N/A
- Negative Grade** East West North South Satisfactory Recommend additional backfill
- Recommend window wells/covers Trim back trees/shrubberies
- Wood in contact with/improper clearance to soil
- Comments** Not visible due to snow cover

Retaining wall

- None
- Material** Brick Concrete Concrete block Railroad ties Timbers Boulders Other
- Condition** Satisfactory Marginal Poor Safety Hazard Leaning/cracked/bowed
- Drainage holes recommended
- Comments**

Hose bibs

- N/A
- Condition** Satisfactory Marginal Poor No anti-siphon valve Recommend Anti-siphon valve
- Water Not Turned On
- Operable** Yes No Not Tested Not On
- Comments** - Hose bib(s) not equipped with anti-siphon devices, possible cross connection can occur with anti-siphon device, recommend installing

Photos



Exterior

Chimney(s)

 None

Location(s) Middle of Roof

Viewed From Roof Ladder at eaves Ground (Inspection Limited) With Binoculars

Rain Cap/Spark Arrestor Yes No Recommended

Chase Brick Stone Metal Blocks Framed

Evidence of Holes in metal Cracked chimney cap Loose mortar joints Flaking Loose brick Rust
 No apparent defects

Flue Tile Metal Unlined Not Visible

Evidence of Scaling Cracks Creosote Not evaluated Have flue(s) cleaned and re-evaluated

 Recommend Cricket/Saddle/Flashing No apparent defects

Condition Satisfactory Marginal Poor Recommend Repair

Comments - Chimney Brick face is popping off - recommend a qualified contractor evaluate and repair
 - Chimney has Missing/loose mortar in the brick joints - recommend tuckpointing
 - Recommend installing rain cap/spark arrestor on Chimney

Photos



- loose brick, missing spark
arrestor / rain cap

Gutters/Scuppers/Eavestrough

 None

Condition Satisfactory Marginal Poor Rusting Downspouts needed Recommend repair/replace
 Needs to be cleaned

Material Copper Vinyl/Plastic Galvanized/Aluminum Other:

Leaking Corners Joints Hole in main run No apparent leaks

Attachment Loose Missing spikes Improperly sloped Satisfactory

Extension needed North South East West N/A

Comments - Gutters were incorrectly pitched, with standing water, recommend repair
 - Insides of gutters are full of debris recommend cleaning
 - Recommend adding downspout extensions to discharge away from the house. 5-6' extensions recommended.

Photos



Siding

Material

- Stone Slate Block/Brick Fiberboard Fiber-cement Stucco EIFS* Not Inspected
- Asphalt Wood Metal/Vinyl Other: Typical cracks Peeling paint Monitor Wood rot
- Loose/Missing/Holes

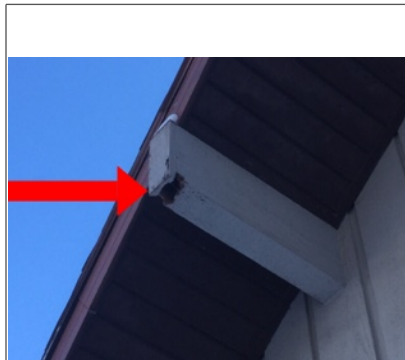
Condition
Comments

- Satisfactory Marginal Poor Recommend repair/painting
- Siding had some damage under north side door and at end of beam at west end of gable , recommend repairing/replacing damaged sections

Photos



- Siding had some damage under north side door and at end of beam at west end of gable , recommend repairing/replacing damaged sections



- Siding had some damage under north side door and at end of beam at west end of gable , recommend repairing/replacing damaged sections

Trim

Material

- Wood Fiberboard Aluminum/Steel Vinyl Stucco Recommend repair/painting
- Damaged wood Other:

Condition

- Satisfactory Marginal Poor

Exterior

Soffit

Material None Wood Fiberboard Aluminum/Steel Vinyl Stucco Recommend repair/painting
 Damaged wood Other: _____

Condition Satisfactory Marginal Poor

Comments
 - Soffit has some damaged panels under canopy Recommend repair
 - Light fixtures in soffit are falling out or severely rusted. Appear to not work. Recommend repair

Photos



- Soffit has some damaged panels under canopy Recommend repair
 - Light fixtures in soffit are falling out or severely rusted. Appear to not work. Recommend repair



- Light fixtures in soffit are falling out or severely rusted. Appear to not work. Recommend repair



- Light fixtures in soffit are falling out or severely rusted. Appear to not work. Recommend repair

Fascia

Material None Wood Fiberboard Aluminum/Steel Vinyl Stucco Recommend repair/painting
 Damaged wood Other: _____

Condition Satisfactory Marginal Poor

Comments

Flashing

Material None Wood Fiberboard Aluminum/Steel Vinyl Stucco Recommend repair/painting
 Damaged wood Other: _____

Condition Satisfactory Marginal Poor

Comments

Caulking

Condition None Satisfactory Marginal Poor
 Recommend around windows/doors/masonry ledges/corners/utility penetrations

Comments

Windows/Screens

Condition Satisfactory Marginal Poor Wood rot Recommend repair/painting
 Recommend repair/replace damaged screens Failed/fogged insulated glass

Material Wood Metal Vinyl Aluminum/Vinyl clad

Screens Torn Bent Not installed Satisfactory

Comments - screens appear to be missing

Storms Windows

None Not installed

Exterior

Storms Windows cont.

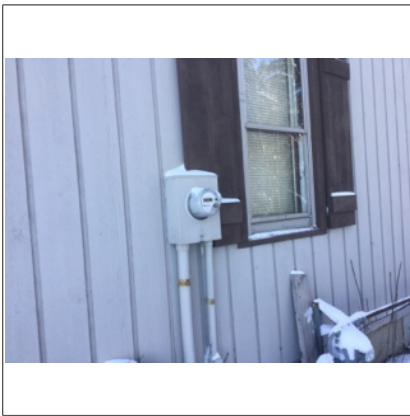
Condition Satisfactory Broken/cracked Wood rot Recommend repair/painting
Material Wood Clad comb. Wood/Metal comb. Metal
Putty Satisfactory Needed N/A
Comments

Slab-On-Grade/Foundation

Foundation Wall Concrete block Poured concrete Post-Tensioned concrete Not Visible Other: .
Condition Satisfactory Marginal Monitor Have Evaluated Not Evaluated
Concrete Slab N/A Not Visible Satisfactory Marginal Monitor Have Evaluated
Comments

Service Entry

Location Underground Overhead
Condition Satisfactory Marginal Poor Weather head/mast needs repair Overhead wires too low
Exterior receptacles Yes No Operable: Yes No Condition: Satisfactory Marginal Poor
GFCI present Yes No Operable: Yes No Safety Hazard Reverse polarity Open ground(s)
 Recommend GFCI Receptacles
Comments
Photos



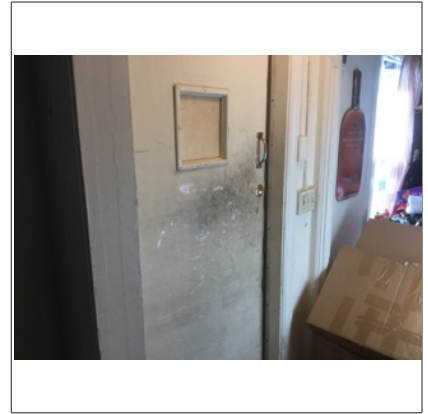
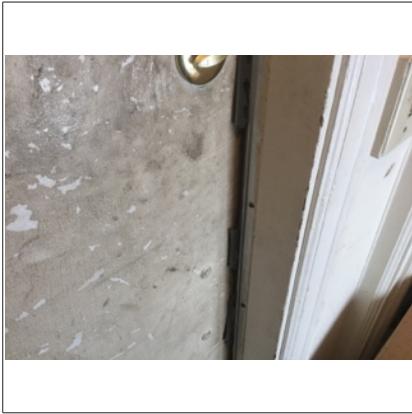
Building(s) Exterior Wall Construction

Type Not Visible Framed Masonry Other: .
Condition Not Visible Satisfactory Marginal Poor
Comments

Exterior Doors

Main Entrance N/A Weatherstripping: Satisfactory Marginal Poor Missing Replace Door condition:
 Satisfactory Marginal Poor
Patio N/A Weatherstripping: Satisfactory Marginal Poor Missing Replace Door condition:
 Satisfactory Marginal Poor
Rear door N/A Weatherstripping: Satisfactory Marginal Poor Missing Replace Door condition:
 Satisfactory Marginal Poor
Other door N/A Weatherstripping: Satisfactory Marginal Poor Missing Replace Door condition:
 Satisfactory Marginal Poor
Comments

Photos



Exterior A/C - Heat pump #1

Unit #1 N/A
 Location: Exterior of home
 Brand: Goodman
 Model #: Unknown
 Serial #: unknown
 Approximate Age: 5-10+

Condition Satisfactory Marginal Poor Cabinet/housing rusted

Energy source Electric Gas Other: _____

Unit type Air cooled Water cooled Geothermal Heat pump

Outside Disconnect Yes No Maximum fuse/breaker rating (amps): _____ Fuses/Breakers installed (amps): _____
 Improperly sized fuses/breakers

Level Yes No Recommend re-level unit

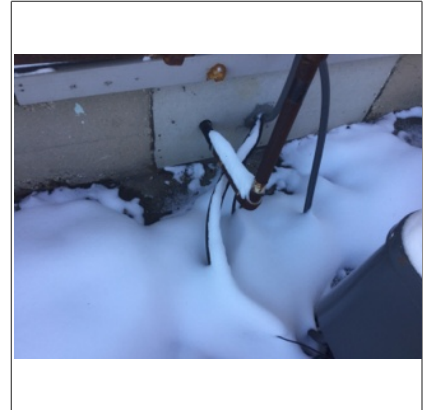
Condenser Fins Damaged Need cleaning Damaged base/pad Damaged Refrigerant Line Satisfactory

Insulation Yes No Replace

Improper Clearance (air flow) Yes No

Comments

Photos



Exterior A/C - Heat pump #2

Unit #2 N/A
 Location:
 Brand:
 Model #:
 Serial #:
 Approx. Age:

Energy source Electric Gas Other: _____

Unit type Air cooled Water cooled Geothermal Heat pump

Outside Disconnect Yes No Maximum fuse/breaker rating (amps): _____ Fuses/Breakers installed (amps): _____
 Improperly sized fuses/breakers

Level Yes No Recommend re-level unit

Exterior

Exterior A/C - Heat pump #2 cont.

Condenser Fins Damaged Need cleaning Damaged base/pad Damaged Refrigerant Line Satisfactory

Insulation Yes No Replace

Condition Satisfactory Marginal Poor Cabinet/housing rusted

Improper Clearance (air flow) Yes No

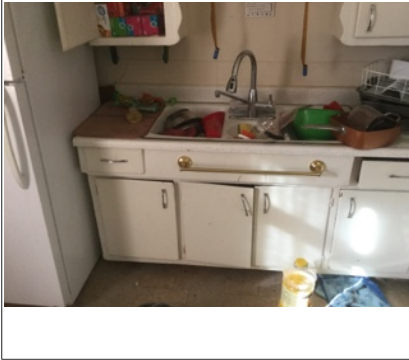
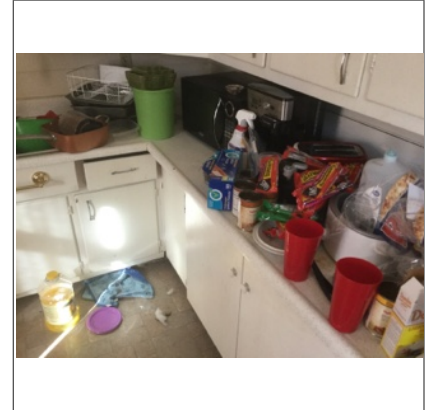
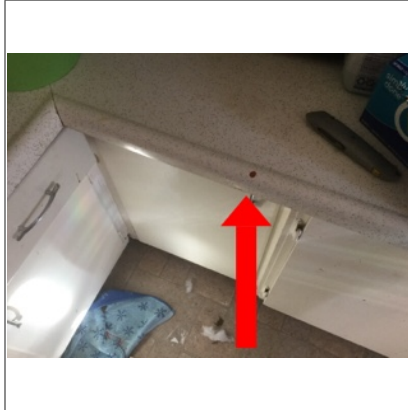
Comments

Kitchen

Countertops

Condition Satisfactory Marginal Recommend repair/caulking
Comments - Kitchen Countertops are damaged recommend repair

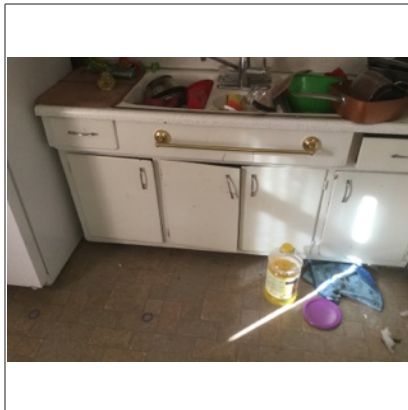
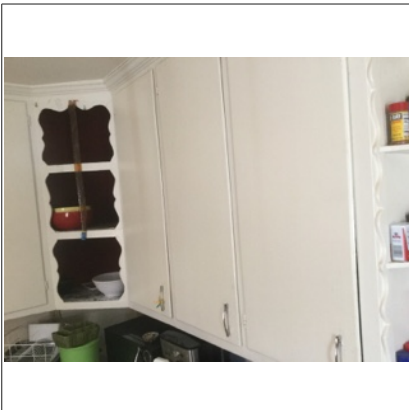
Photos



Cabinets

Condition Satisfactory Marginal Recommend repair/adjustment
Comments Cabinets have normal wear.

Photos



Plumbing

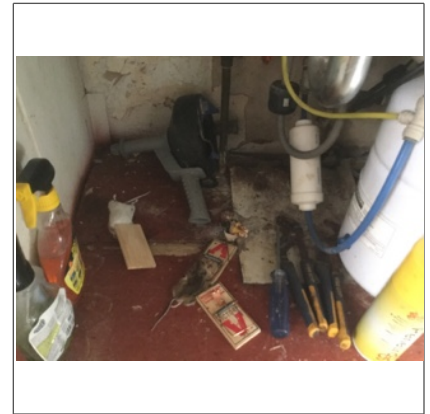
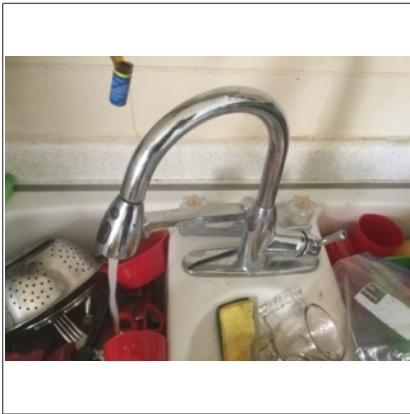
Faucet Leaks Yes No
Pipes leak/corroded Yes No
Sink/Faucet Satisfactory Corroded Chipped Cracked Recommend repair
Functional drainage Satisfactory Marginal Poor
Functional flow Satisfactory Marginal Poor

Kitchen

Plumbing cont.

Comments Drain lines had no visible leaks or signs of backup at the time of inspection.

Photos

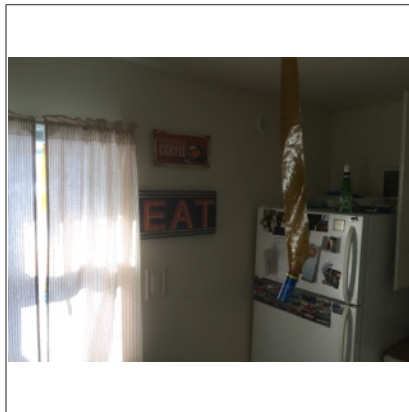


Walls & Ceiling

Condition Satisfactory Marginal Poor Typical cracks Moisture stains

Comments

Photos



Heating/Cooling Source

Yes No

Comments

Floor

Condition Satisfactory Marginal Poor Sloping Squeaks

Comments

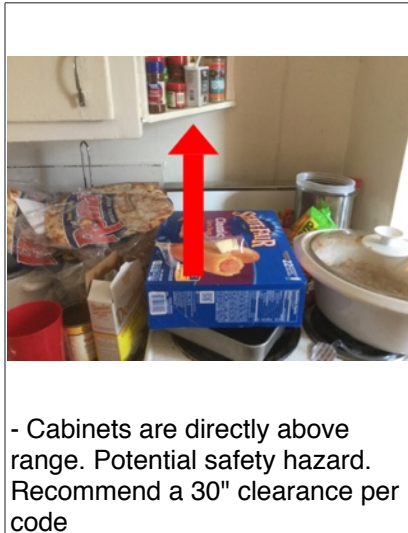
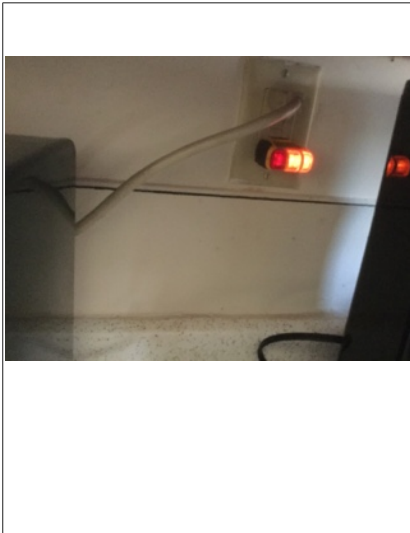
Photos



Appliances

- Disposal** N/A Not tested Operable: Yes No
- Oven** N/A Not tested Operable: Yes No
- Range** N/A Not tested Operable: Yes No
- Dishwasher** N/A Not tested Operable: Yes No
- Trash Compactor** N/A Not tested Operable: Yes No
- Exhaust fan** N/A Not tested Operable: Yes No
- Refrigerator** N/A Not tested Operable: Yes No
- Microwave** N/A Not tested Operable: Yes No
- Other** : Operable: Yes No
- Dishwasher airgap** Yes No
- Dishwasher drain line looped** Yes No
- Receptacles present** Yes No Operable: Yes No
- GFCI** Yes No Operable: Yes No Recommend GFCI Receptacles: Yes No
- Potential Safety Hazard(s)
- Open ground/Reverse polarity:** Yes No Potential Safety Hazard
- Comments** - Cabinets are directly above range. Potential safety hazard. Recommend a 30" clearance per code

Photos



- Cabinets are directly above range. Potential safety hazard. Recommend a 30" clearance per code

Dining Room

Dining Room

Location First floor

Walls & Ceiling Satisfactory Marginal Poor Typical cracks Damage

Moisture stains Yes No

Where:

Floor Satisfactory Marginal Poor Squeaks Slopes Tripping hazard

Ceiling fan None Satisfactory Marginal Poor Recommend repair/replace

Electrical Switches: Yes No Operable Receptacles: Yes No Operable
Open ground/Reverse polarity: Yes No Safety hazard Cover plates missing

Heating source present Yes No Holes: Doors Walls Ceilings

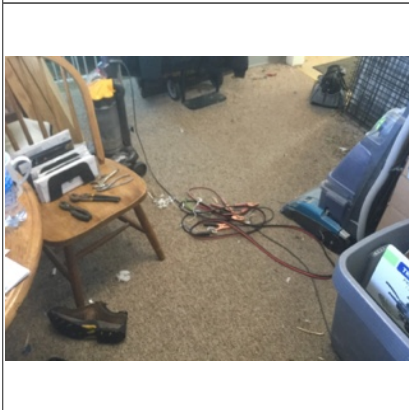
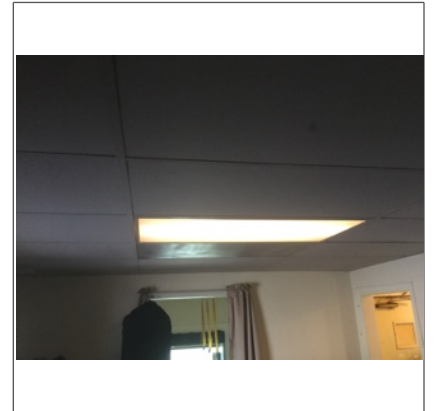
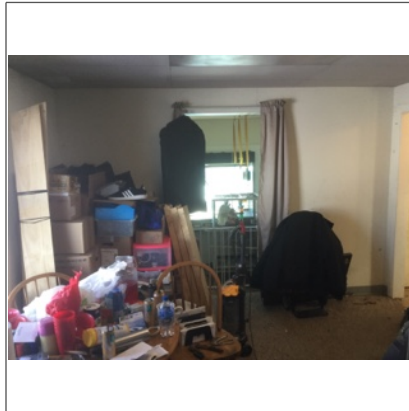
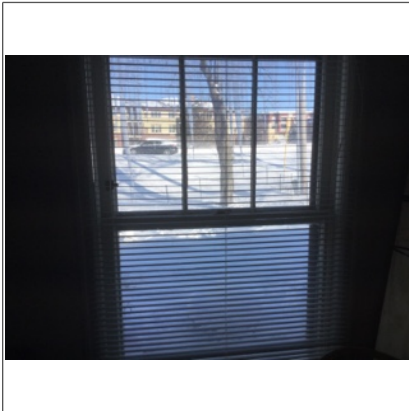
Bedroom Egress restricted N/A Yes No

Doors None Satisfactory Marginal Poor Cracked glass Broken/Missing hardware

Windows None Satisfactory Marginal Poor Cracked glass Evidence of leaking insulated glass
 Broken/Missing hardware

Comments

Photos



Living Room

Living Room

Location First floor

Walls & Ceiling Satisfactory Marginal Poor Typical cracks Damage

Moisture stains Yes No

Where:

Floor Satisfactory Marginal Poor Squeaks Slopes Tripping hazard

Ceiling fan None Satisfactory Marginal Poor Recommend repair/replace

Electrical Switches: Yes No Operable Receptacles: Yes No Operable

Open ground/Reverse polarity: Yes No Safety hazard Cover plates missing

Heating source present Yes No Holes: Doors Walls Ceilings

Bedroom Egress restricted N/A Yes No

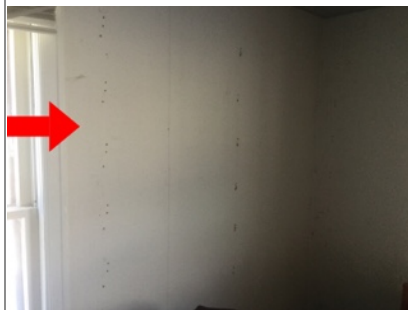
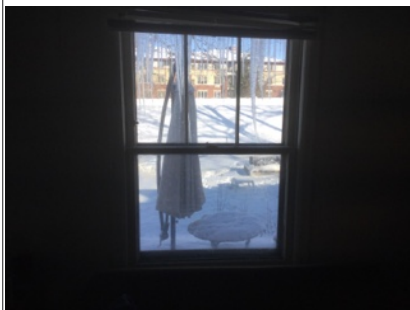
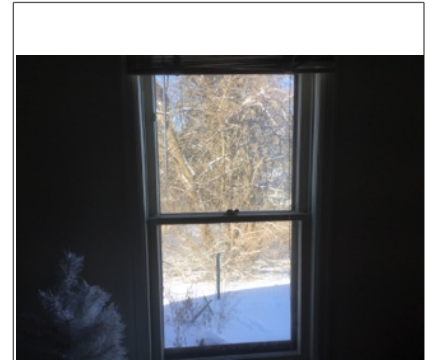
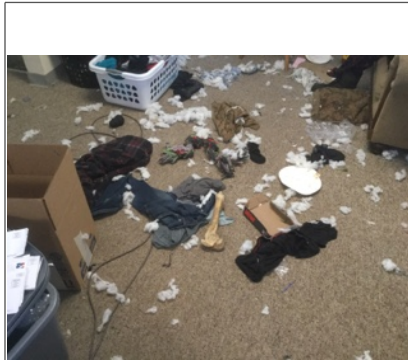
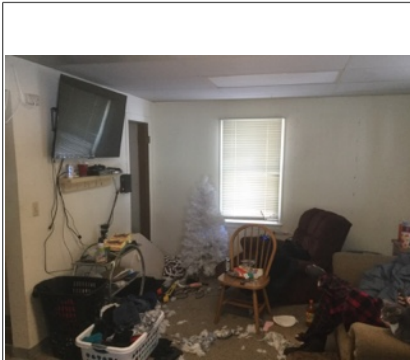
Doors None Satisfactory Marginal Poor Cracked glass Broken/Missing hardware

Windows None Satisfactory Marginal Poor Cracked glass Evidence of leaking insulated glass

Broken/Missing hardware

Comments - walls in living room have damage, Recommend repair

Photos



- walls in living room have damage, Recommend repair

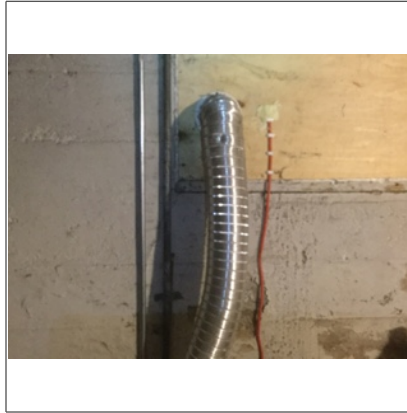
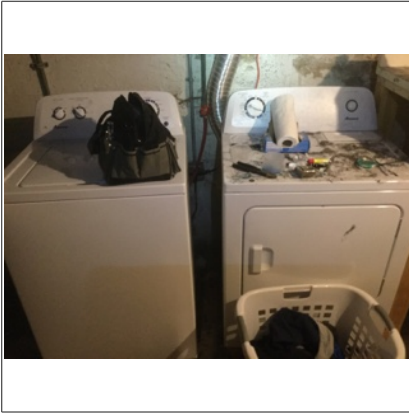
Laundry Room

Laundry

- Laundry sink** N/A Present
Faucet leaks Yes No N/A
Pipes leak Yes No Not Visible N/A
Cross connections Yes No Potential Safety Hazard N/A
Heat source present Yes No
Dryer vented N/A Wall Ceiling Floor Not vented Plastic dryer vent not recommended
 Not vented to exterior Recommend repair Safety hazard
Electrical Open ground/reverse polarity: Yes No Safety hazard
GFCI present Yes No Operable: Yes No Recommend GFCI Receptacles
Appliances Washer Dryer Water heater Furnace/Boiler
Washer hook-up lines/valves Satisfactory Leaking Corroded Not Visible
Gas shut-off valve N/A Yes No Cap Needed Safety hazard Not Visible

Comments

Photos



Bathroom

Bath

Location First floor bath

Sinks Faucet leaks: Yes No Pipes leak: Yes No

Tubs N/A Faucet leaks: Yes No Pipes leak: Yes No Not Visible

Showers N/A Faucet leaks: Yes No Pipes leak: Yes No Not Visible

Toilet Bowl loose: Yes No Operable: Yes No Cracked bowl Toilet leaks

Whirlpool Yes No Operable: Yes No Not tested No access door GFCI: Yes No
 GFCI Recommended

Shower/Tub area Ceramic/Plastic Fiberglass Masonite Other: Condition: Satisfactory Marginal
 Poor Rotted Caulk/Grouting needed: Yes No
 Where:
 N/A

Drainage Satisfactory Marginal Poor

Water flow Satisfactory Marginal Poor

Moisture stains present Yes No Walls Ceilings Cabinetry

Doors Satisfactory Marginal Poor

Window None Satisfactory Marginal Poor

Receptacles present Yes No Operable: Yes No

GFCI Yes No Operable: Yes No Recommend GFCI

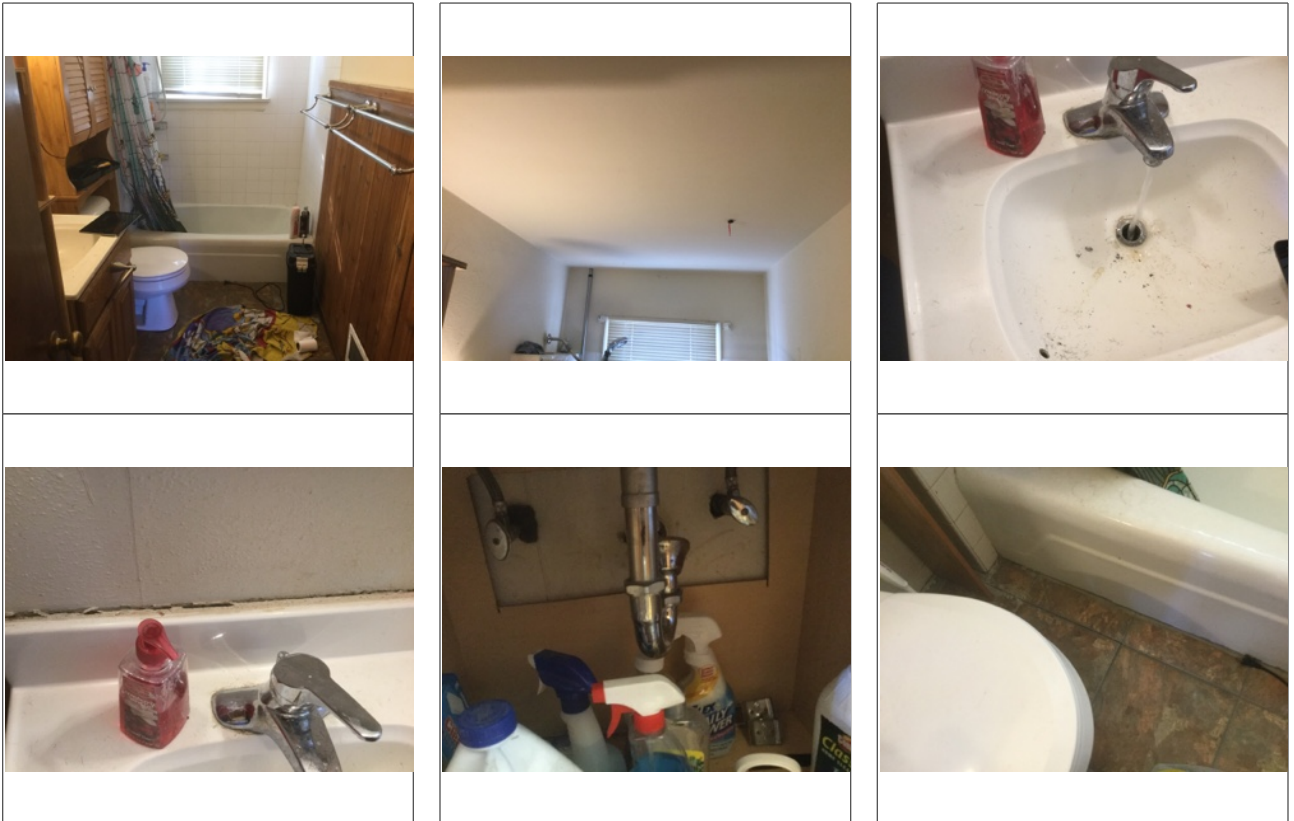
Open ground/Reverse polarity Yes No Potential Safety Hazard

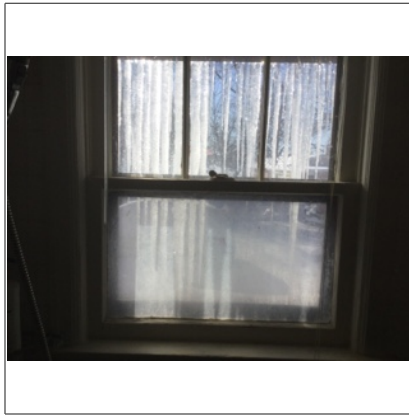
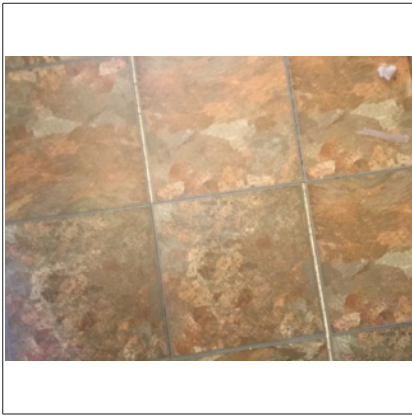
Heat source present Yes No

Exhaust fan Yes No Operable: Yes No Noisy

Comments
 - outlets in 1st floor bath have open ground
 - outlets in 1st floor bath are not GFCI protected
 - Window in first floor bath is caulked / painted shut.

Photos





Room (1)

Room

Location Second floor

Type MASTER BEDROOM

Walls & Ceiling Satisfactory Marginal Poor Typical cracks Damage

Moisture stains Yes No

Where:

Floor Satisfactory Marginal Poor Squeaks Slopes Tripping hazard

Ceiling fan None Satisfactory Marginal Poor Recommend repair/replace

Electrical Switches: Yes No Operable Receptacles: Yes No Operable
Open ground/Reverse polarity: Yes No Safety hazard Cover plates missing

Heating source present Yes No Holes: Doors Walls Ceilings

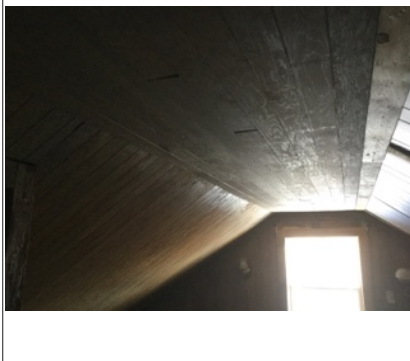
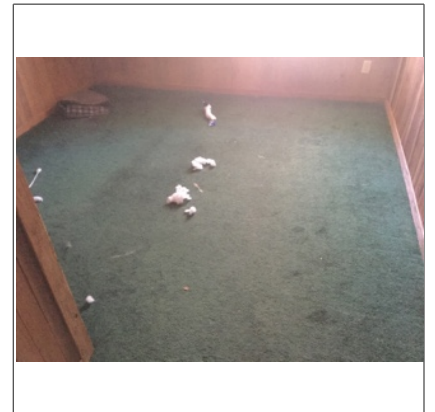
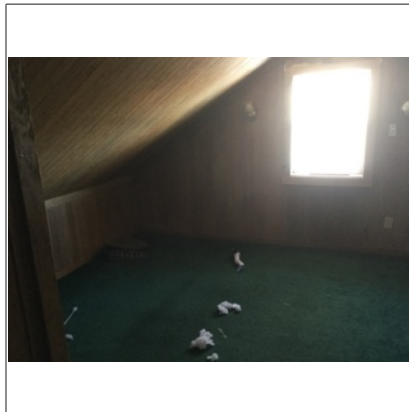
Bedroom Egress restricted N/A Yes No

Doors None Satisfactory Marginal Poor Cracked glass Broken/Missing hardware

Windows None Satisfactory Marginal Poor Cracked glass Evidence of leaking insulated glass
 Broken/Missing hardware

Comments

Photos



Room (2)

Room

Location First floor

Type BEDROOM

Walls & Ceiling Satisfactory Marginal Poor Typical cracks Damage

Moisture stains Yes No

Where:

Floor Satisfactory Marginal Poor Squeaks Slopes Tripping hazard

Ceiling fan None Satisfactory Marginal Poor Recommend repair/replace

Electrical Switches: Yes No Operable Receptacles: Yes No Operable
Open ground/Reverse polarity: Yes No Safety hazard Cover plates missing

Heating source present Yes No Holes: Doors Walls Ceilings

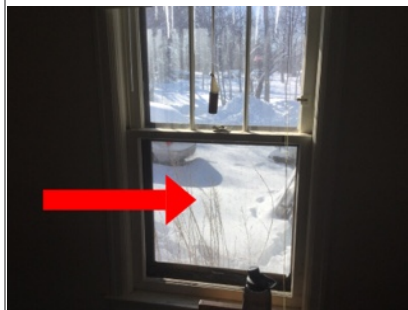
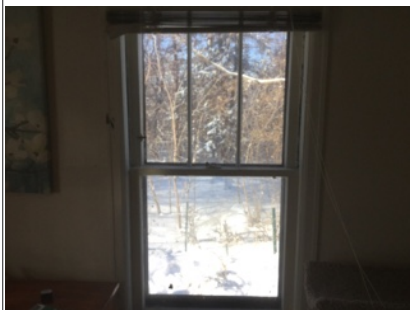
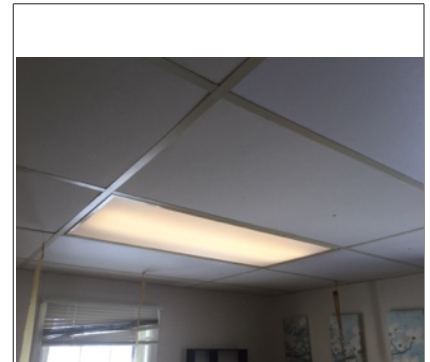
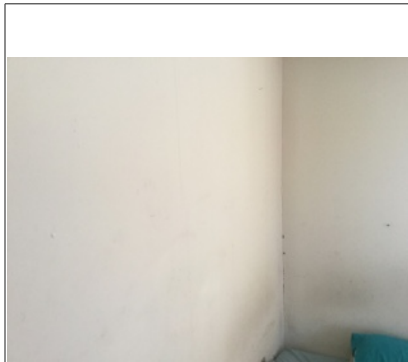
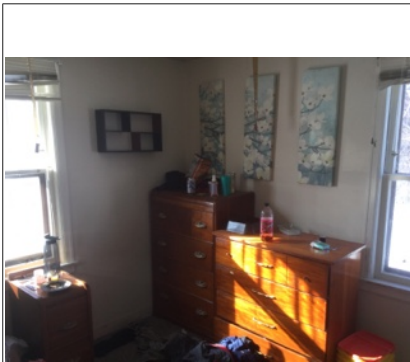
Bedroom Egress restricted N/A Yes No

Doors None Satisfactory Marginal Poor Cracked glass Broken/Missing hardware

Windows None Satisfactory Marginal Poor Cracked glass Evidence of leaking insulated glass
 Broken/Missing hardware

Comments
 - Window in first floor bedroom has missing glass. Recommend repair.
 - walls are damaged in first floor bedroom. Recommend repair.
 - door rubs hard on carpet in first floor bedroom. Recommend repair
 - broken glass in window in first floor bedroom

Photos



- glass is missing



Crack in wall



Crack in wall.



Interior

Fireplace 1

None

Location(s)

Type Gas Wood Solid fuel burning stove Electric Ventless

Material Masonry Metal (pre-fabricated) Metal insert Cast Iron

Miscellaneous Blower built-in Operable: Yes No Damper operable: Yes No
 Open joints or cracks in firebrick/panels should be sealed Fireplace doors need repair

Damper modified for gas operation N/A Yes No Damper missing

Hearth extension adequate Yes No

Mantel N/A Secure Loose Recommend repair/replace

Physical condition Satisfactory Marginal Poor Recommend having flue cleaned and re-examined
 Not evaluated

Comments

Fireplace 2

None

Location(s)

Type Gas Wood Solid fuel burning stove Electric Ventless

Material Masonry Metal (pre-fabricated) Metal insert Cast Iron

Miscellaneous Blower built-in Operable: Yes No Damper operable: Yes No
 Open joints or cracks in firebrick/panels should be sealed Fireplace doors need repair

Damper modified for gas operation N/A Yes No Damper missing

Hearth extension adequate Yes No

Mantel N/A Secure Loose Recommend repair/replace

Physical condition Satisfactory Marginal Poor Recommend having flue cleaned and re-examined
 Not evaluated

Comments

Stairs/Steps/Balconies

None

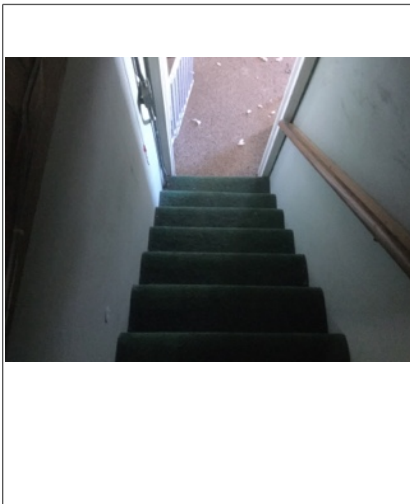
Condition Satisfactory Marginal Poor Loose/Missing

Handrail Satisfactory Marginal Poor Safety hazard Hand Rail/Railing/Balusters recommended

Risers/Treads Satisfactory Marginal Poor Risers/Treads uneven Trip hazard

Comments - Steps not all equal height, potential safety/trip hazard. Use with caution. Recommend repair

Photos



Smoke/Carbon Monoxide detectors

Smoke Detector Present Not Present Operable: Yes No Not tested Recommend additional
 Safety Hazard

Interior

Smoke/Carbon Monoxide detectors cont.

CO Detector Present Not Present Operable: Yes No Not tested Recommend additional
 Safety Hazard

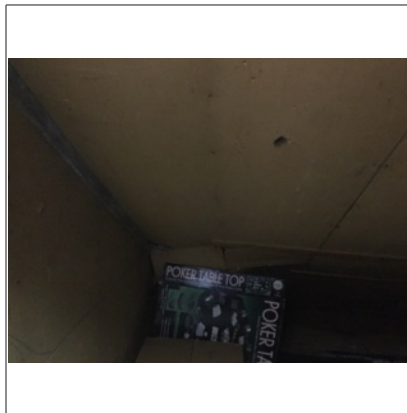
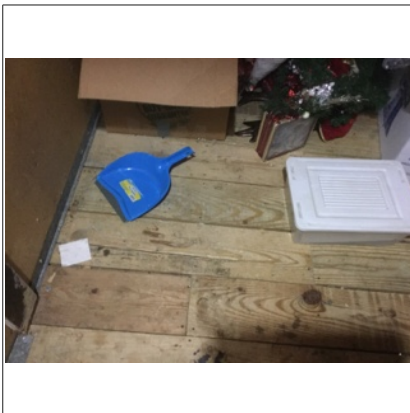
Comments
 - Recommend adding CO Detectors on each level. Recommend installing below knee level.
 - Smoke Detectors missing though-out house. Recommend smoke detector on each level and in each bedroom. Per local code

Attic/Structure/Framing/Insulation

N/A
Access Stairs Pulldown Scuttlehole/Hatch No Access Other: .
Inspected from Access panel In the attic Other
Location Hallway Bedroom Closet Garage Other
 Access limited by:
Flooring Complete Partial None
Insulation Fiberglass Batts Loose Cellulose Foam Other Vermiculite Rock wool
 Depth: Damaged Displaced Missing Compressed Recommend additional insulation
Installed in Rafters/Trusses Walls Between ceiling joists Underside of roof deck Not Visible
Vapor barriers Kraft/foil faced Plastic sheeting Not Visible Improperly installed
Ventilation Ventilation appears adequate Recommend additional ventilation Recommend baffles at eaves
Fans exhausted to Attic: Yes No Recommend repair Outside: Yes No Not Visible
HVAC Duct N/A Satisfactory Damaged Split Disconnected Leaking Repair/Replace
 Recommend Insulation
Chimney chase N/A Satisfactory Needs repair Not Visible
Structural problems observed Yes No Recommend repair Recommend structural engineer
Roof structure Rafters Trusses Wood Metal Collar ties Purlins Knee wall Not Visible Other:
Ceiling joists Wood Metal Not Visible
Sheathing Plywood OSB Planking Rotted Stained Delaminated
Evidence of condensation Yes No
Evidence of moisture Yes No
Evidence of leaking Yes No
Firewall between units N/A Yes No Needs repair/sealing
Electrical No apparent defects Open junction box(es) Handyman wiring
 Knob and tube covered with insulation Safety Hazard

Comments

Photos



Basement

Stairs

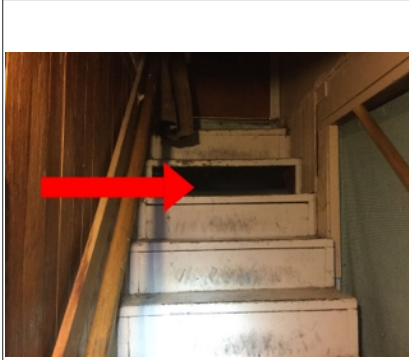
Condition Satisfactory **Marginal** Poor Typical wear and tear Need repair Risers Uneven
 Safety Hazard

Handrail Yes No Condition: Satisfactory Loose Handrail/Railing/Balusters recommended

Headway over stairs **Satisfactory** Low clearance Safety hazard

Comments - risers are missing on basement steps

Photos



Risers are missing on basement steps

Foundation

Condition Satisfactory **Marginal** Have evaluated Monitor Not Elevated

Material ICF Brick Concrete block Stone Masonry Poured concrete wood

Horizontal cracks None North South East West

Step cracks None North South East West

Vertical cracks None North South East West

Covered walls None North South East West

Movement apparent None North South East West

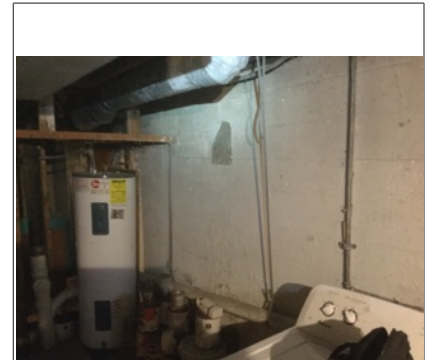
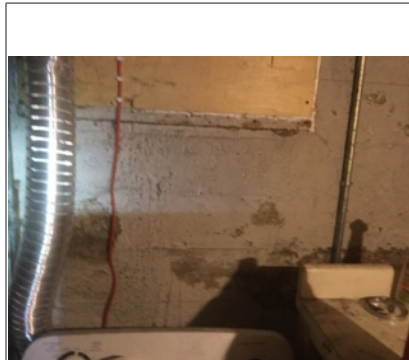
Indication of moisture Yes No Fresh Old stains

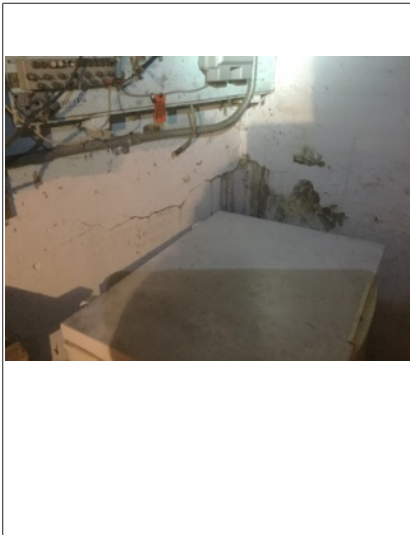
Comments - Foundation has signs of Efflorescence. Recommend keeping water away from foundation wall on exterior.
 - Horizontal crack present in north west corner with water stains coming from it. Recommend further evaluation
 - Walls are pitting, recommend further evaluation.

Photos



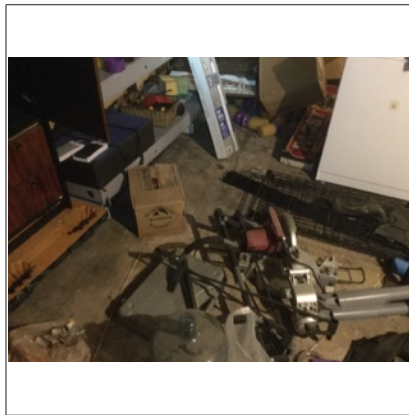
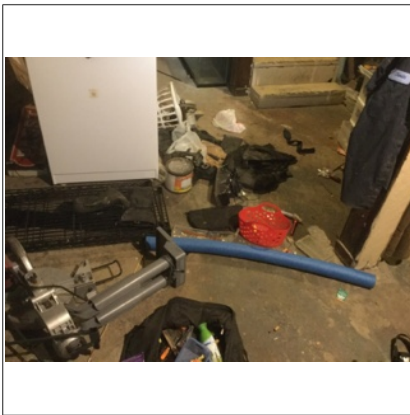
- Foundation has signs of Efflorescence. Recommend keeping water away from foundation wall on exterior.





Floor

Material Concrete Dirt/Gravel Not Visible Other:
Condition Satisfactory Marginal Poor Typical cracks Not Visible
Comments
Photos



Seismic bolts

N/A None visible
Condition Appear satisfactory Recommend evaluation
Comments

Drainage

Sump pump Yes No Working Not working Needs cleaning Pump not tested
Floor drains Yes Not Visible Drains not tested
Comments

Photos**Girders/Beams**

Not Visible
 Satisfactory Marginal Poor Stained/Rusted
 Steel Wood Concrete LVL Not Visible
Comments

Columns

Not Visible
 Satisfactory Marginal Poor Stained/Rusted
 Steel Wood Concrete Block Not Visible
Comments
Photos

**Joists**

Not Visible
 Satisfactory Marginal Poor
 Wood Steel Truss Not Visible 2x8 2x10 2x12 Engineered I-Type
 Sagging/altered joists
Comments

Photos



Subfloor

Condition Not Visible
Comments Satisfactory Marginal Poor Indication of moisture stains/rotting

Plumbing

Water service

Main shut-off location In the basement

Water entry piping Not Visible Copper/Galv. PVC Plastic CPVC Plastic Polybutylene Plastic
 PEX Plastic Lead Polyethylene

Lead other than solder joints Yes No Unknown Service entry

Visible water distribution piping Copper Galvanized PVC Plastic CPVC Plastic Polybutylene Plastic
 PEX Plastic Other: .

Condition Satisfactory Marginal Poor

Flow Satisfactory Marginal Poor Water pressure over 80 psi Recommend plumber evaluate
 Recommend pressure regulator

Pipes Supply/Drain Corroded Leaking Valves broken/missing Dissimilar metal Cross connection: Yes
 No Safety Hazard Recommend repair Recommend a dielectric union Satisfactory

Drain/Waste/Vent pipe Copper Cast iron Galvanized PVC ABS Brass

Condition Satisfactory Marginal Poor

Support/Insulation N/A

Type:

Traps proper P-Type Yes No P-traps recommended

Drainage Satisfactory Marginal Poor

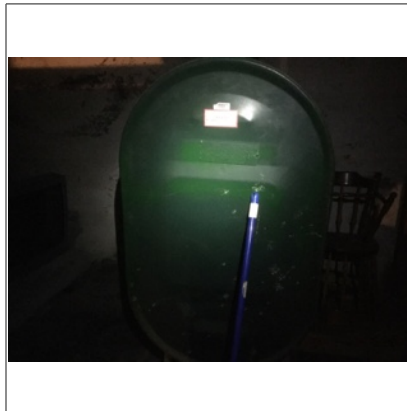
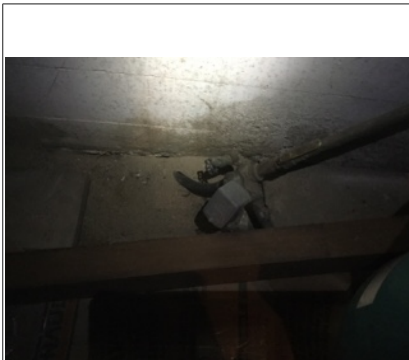
Interior fuel storage system N/A Yes No Leaking: Yes No

Fuel line N/A Copper Brass Black iron Stainless steel CSST Not Visible Galvanized
 Recommend CSST be properly bonded

Condition N/A Satisfactory Marginal Poor Recommend plumber evaluate

Comments - recommend removing old fuel storage tank

Photos



Main fuel shut-off location

N/A

Location On the side exterior wall

Comments

Plumbing

Well pump

 N/A

Type Submersible In basement Well house Well pit Shared well

Pressure gauge operable Yes No Well pressure: Not Visible

Comments

Sanitary/Grinder pump

 N/A Operable: Yes No

Sealed Crock Sealed crock: Yes No

Check Valve Check valve: Yes No

Shut-off Valve Shut-off valve: Yes No

Vented Yes No

Comments

Water heater #1

 N/A

General Brand Name: Rheem

Serial #: see pic

Capacity: 40

Approx. age: 15-20+

Type Gas Electric Oil LP Other:

Combustion air venting present Yes No N/A

Seismic restraints needed Yes No N/A

Relief valve Yes No Extension proper: Yes No Missing Recommend repair Improper material

Vent pipe N/A Satisfactory Pitch proper Improper Rusted Recommend repair

Condition Satisfactory Marginal Poor

Comments

Photos



Water heater #2

General Brand Name:

Serial #:

Capacity:

Approx. age:

 N/A

Type Gas Electric Oil LP Other:

Combustion air venting present Yes No N/A

Seismic restraints needed Yes No N/A

Relief valve Yes No Extension proper: Yes No Missing Recommend repair Improper material

Vent pipe N/A Satisfactory Pitch proper Improper Rusted Recommend repair

Condition Satisfactory Marginal Poor

Comments

Plumbing

Water softener

None

Loop installed Yes No

Plumbing hooked up Yes No

Plumbing leaking Yes No

Comments

Heating System

Heating system

Unit #1 Brand name:Gaurdian
 Approx. age:Unknown
 Unknown Model #: unknown Serial #: unknown Satisfactory Marginal Poor
 Recommended HVAC technician examine None

Unit #2 None
 Brand name:
 Approx. age:
 Unknown
 Model #:
 Serial #: Satisfactory Marginal Poor Recommended HVAC technician examine

Energy source Gas LP Oil Electric Solid fuel

Warm air system Belt drive Direct drive Gravity Central system Floor/wall furnace

Heat exchanger N/A Sealed Not Visible Visual w/mirror Flame distortion Rusted
 Carbon/soot buildup

Carbon monoxide N/A Detected at plenum Detected at register Not tested
 Tester:SENSORCON

Combustion air venting present N/A Yes No

Controls Disconnect: Yes No Normal operating and safety controls observed Gas shut off valve: Yes
 No

Distribution Metal duct Insulated flex duct Cold air returns Duct board Asbestos-like wrap
 Safety Hazard

Flue piping N/A Satisfactory Rusted Improper slope Safety hazard Recommend repair/replace

Filter Standard Electrostatic Satisfactory Needs cleaning/replacement Missing
 Electronic (not tested)

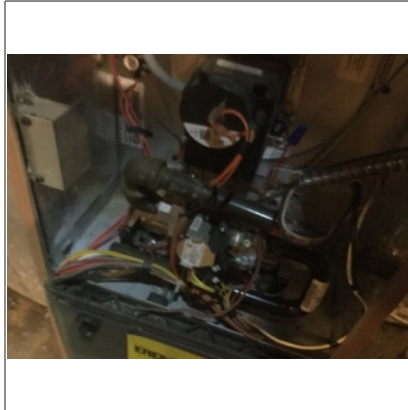
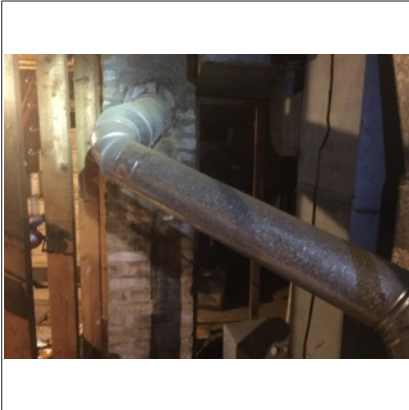
When turned on by thermostat Fired Did not fire Proper operation: Yes No Not tested

Heat pump N/A Supplemental electric Supplemental gas

Sub-slab ducts N/A Satisfactory Marginal Poor Water/Sand Observed: Yes No

System not operated due to N/A Exterior temperature Other: .

Photos



Boiler system

N/A

General Brand name:
 Approx. age:
 Model #:
 Serial #:

Energy source Gas LP Oil Electric Solid fuel

Distribution Hot water Baseboard Steam Radiator Radiant floor

Circulator Pump Gravity Multiple zones

Controls Temp/pressure gauge exist: Yes No Operable: Yes No

Oil fired units Disconnect: Yes No

Heating System

Boiler system cont.

Combustion air venting present Yes No N/A

Relief valve Yes No Missing Extension proper: Yes No Recommend repair/replace

Operated When turned on by thermostat: Fired Did not fire

Operation Satisfactory: Yes No Recommend HVAC technician examine before closing

Comments

Other systems

N/A

Type Electric baseboard Radiant ceiling cable Gas space heater Solid fuel burning stove

Proper operation Yes No

System condition Satisfactory Marginal Poor Recommend HVAC Technician Examine

Comments

Electric/Cooling System

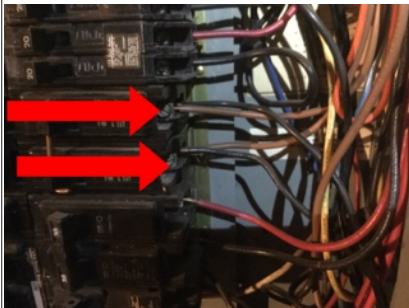
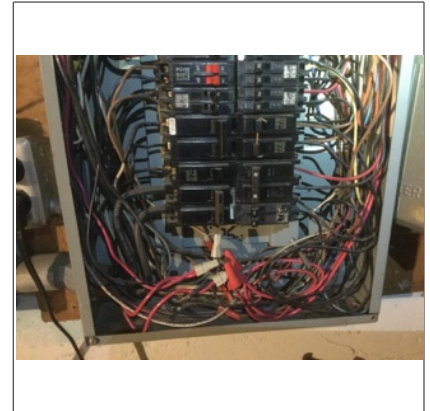
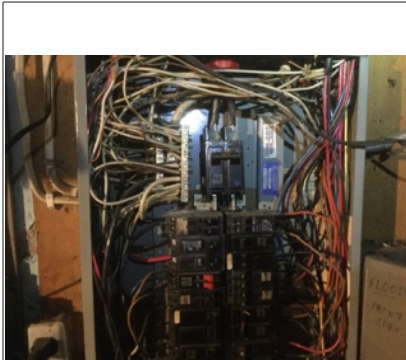
Main panel

Location Basement
Condition Satisfactory Poor
Adequate Clearance to Panel Yes No
Amperage/Voltage Unknown 60a 100a 150a 200a 400a 120v/240v
Breakers/Fuses Breakers Fuses
Appears grounded Yes No Not Visible
GFCI breaker Yes No Operable: Yes No
AFCI breaker Yes No Operable: Yes No Not Tested
Main wire Copper Aluminum Not Visible Double tapping of the main wire Condition: Satisfactory
 Marginal Poor
Branch wire condition Satisfactory Poor Recommend electrician evaluate/repair Romex BX cable
 Conduit Knob/Tube Double tapping Wires undersized/oversized breaker/fuse
 Panel not accessible Not evaluated
 Reason:

Branch wire Copper Aluminum Solid Branch Aluminum Wiring Not Visible Safety Hazard
Comments

- Electrical panel has double tapping present on several breakers recommend a licensed electrician repair.
- Panel was full and may need to be upgraded for future needs.
- Handy man wiring present - recommend a licensed electrician evaluate, repair and replace as necessary.

Photos



- Electrical panel has double tapping present on several breakers recommend a licensed electrician repair.

- Electrical panel has double tapping present on several breakers recommend a licensed electrician repair.

Sub panel(s)

None apparent

Electric/Cooling System

Sub panel(s) cont.

Location(s) Location 1:
Location 2:
Location 3:

Evaluation Panel not accessible Not evaluated
Reason:
 Recommend separating/isolating neutrals Recommend electrician repair/evaluate box
 Satisfactory

Branch wire Copper Aluminum Safety hazard Neutral/ground separated: Yes No Neutral isolated:
 Yes No

Condition Satisfactory Marginal Poor

Comments

Evaporator Coil Section Unit #1

General N/A
 Central system Wall unit
Location:SEALED
Age:Unknown
Serial #:

Evaporator coil Satisfactory Not Visible Needs cleaning Damaged

Refrigerant lines Leak/Oil present Damage Insulation missing Satisfactory

Condensate line/drain To exterior To pump Floor drain Other: .

Secondary condensate line/drain Present: Yes No Needed: Yes No Primary pan appears clogged
 Recommend technician evaluate

Condition Satisfactory Marginal Poor Recommend HVAC technician examine/clean/service
 Not operated due to exterior temperature

Comments

Evaporator Coil Section Unit #2

General N/A
 Central system Wall unit
Location:
Age:
Serial #:

Evaporator coil Satisfactory Not Visible Needs cleaning Damaged

Refrigerant lines Leak/Oil present Damage Insulation missing Satisfactory
 Recommend/Replace damaged/missing insulation

Condensate line/drain To exterior To pump Floor drain Other: .

Secondary condensate line/drain Present: Yes No Needed: Yes No Primary pan appears clogged
 Recommend technician evaluate

Condition Satisfactory Marginal Poor Recommend HVAC technician examine/clean/service
 Not operated due to exterior temperature

Comments