


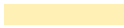







## Proposed Land Use Classifications

The proposed land use changes are minimal and are concentrated at intersections and at development area opportunities. Many areas along the corridor remain consistent with the 2005 City of Madison Comprehensive Plan.

Proposed corridor land uses include:

<i>Employment:</i>	
<i>Industrial:</i>	
<i>General Commercial:</i>	
<i>Low-Density Residential:</i>	
<i>Medium-Density Residential:</i>	
<i>Park and Open Space:</i>	
<i>Community Mixed-Use (CMU)</i>	
<i>Neighborhood Mixed-Use (NMU)</i>	

The Blue asterisk denotes a conceptual locations for:  
*Transit Oriented Development (TOD)* 

A TOD encourages compact, urban development, high-quality design, and a mix of land uses that supports multi-modal transit.

## Proposed Land Use Changes

More detail about these proposed changes and land use guidelines can be found in the more specific Garden, Grid, and Gateway Development Areas sections.

- ① **From General Commercial to Community Mixed-Use (CMU):** This area should emphasize employment and commercial uses, with limited residential on upper floors only.
- ② **From General Commercial to Community Mixed-Use (CMU):** These areas should transition residential uses back into the neighborhood and support a gateway neighborhood entrance that includes commercial uses.
- ③ **From General Commercial to Open Space with adjacent Neighborhood Mixed-Use (NMU):** These land uses should change only upon completion of the Hob Street connection to the frontage road. Until this connection is realized, the area should remain General Commercial.
- ④ **Mixed-Use Business District:** These areas should have similar characteristics as the CMU areas to the north, but without the residential component. Employment and Employment Services should mix with the General Commercial Uses in this area; Improved retail and service uses can create a gateway and support adjacent employment uses. This area should provide a gateway into the industrial and BioAg districts to the East.

- ⑤ **Limited Inclusion of Residential and Institutional Uses:** Due to the relative proximity to a small number of existing residential and commercial properties, the establishment of limited Medium Residential, institutional, or similar uses may be considered in the area recommended for industrial located along the Stoughton frontage Road, generally south of Milwaukee Street and north of Robertson Road. Any such non-industrial uses would need to be identified in a detailed land use proposal and would be subject to all applicable land use approvals.



Proposed Land Use Changes