



Parman Place along Glenway Street



View from site looking up Wyota Avenue



View of Residential up Glenway Street from site



View of Residential up Glenway Street from site

13002.00

Existing Site Context

the GLEN - Patrick Properties

Scale: NTS

February 9, 2015 - Landmarks Commission Submittal

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View along Monroe Street from the West



View along Monroe Street from the East



Parman Place at Glenway Street and Monroe Street



Arbor House to the east of property along Monroe Street



Apartments along Monroe Street east of Arbor House

13002.00

Existing Site Context

the GLEN - Patrick Properties

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Existing Office Area within original building



Existing Office Area within original building



Mechanical room within original building



Existing Area within the building addition



Corridor to building addition



Restroom within original building

13002.00

Existing Building Interior Photos

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Adjacent Site / Monroe Street Elevation Along West Tree Line



Adjacent Site / Monroe Street Elevation



Existing Tree Line Along East Edge of Project Site



Oblique View of Adjacent Site and West Edge Tree Line

13002.00

Existing Arbor House Annex and Plough Inn

the GLEN - Patrick Properties

Scale: NTS

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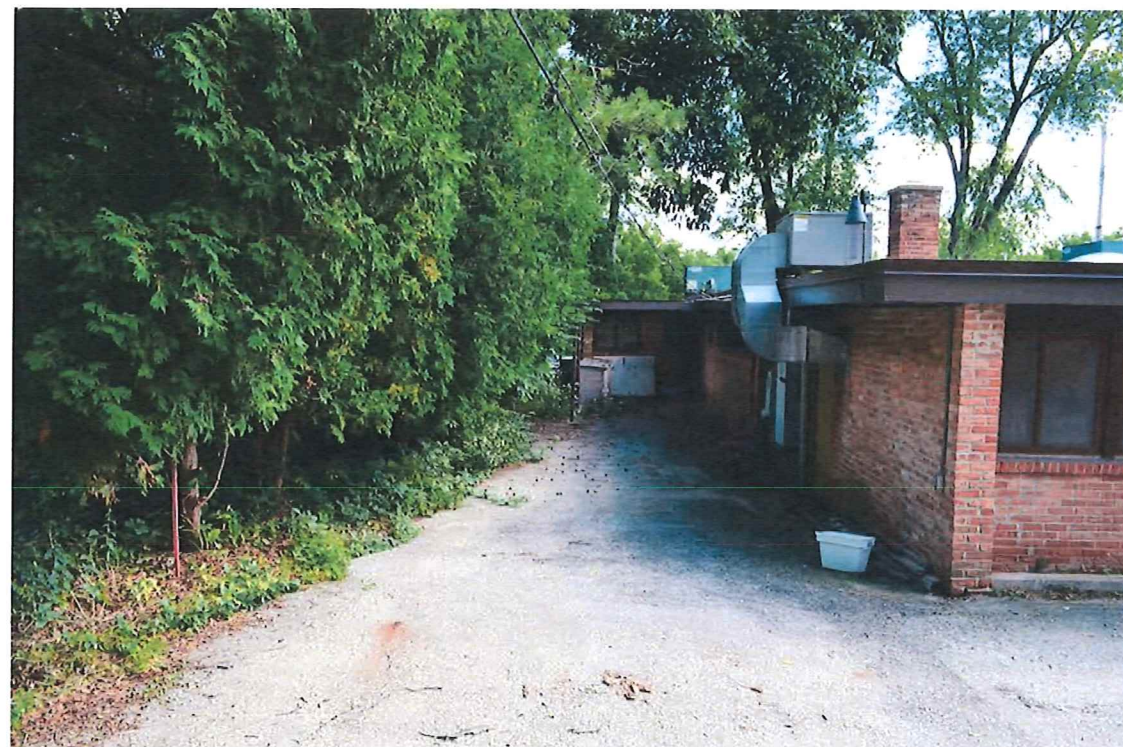
Existing Building along Glenway Street



Existing Building along Monroe Street



Existing Building parking accessed off of Glenway Street



Existing Building adjacent to Arbor House property

13002.00

Existing Building Exterior Photos

the GLEN - Patrick Properties

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the GLEN - by Patrick Properties

3414 Monroe Street, Madison, WI 53711

Plan Commission Submittal

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3414 Monroe Street
Madison, WI 53711
ph 608-709-1250

Structural Engineering:
ECHELON STRUCTURES, LLC
1521 Sunset Ct.
Middleton, WI 53562

Civil Engineering/Landscape Architecture:
SAA DESIGN GROUP, INC.
101 East Badger Rd.
Madison, WI 53713

General Sheet

Civil / Landscape

Architectural

SAA Design Group
101 E Badger Road
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G001 Title Sheet
V100 Existing Conditions Survey

C200 Demolition & Erosion
Control Plan
C300 Site Plan
C400 Site Grading Plan
C500 Site Utility Plan
C600 Landscape Plan
C700 Details
C701 Details
C702 Details
C703 Details
C800 Fire Access Plan

A100 Overall Floor Plans -
Lower and Grade
A101 Overall Floor Plans -
Second and Third
A102 Overall Floor Plans -
Fourth and Roof
A200 Building Elevations
A201 Building Elevations and
Window Layout
11x17 Rendered Building Images
E001 Exterior Photometrics - Grade
and Second
E002 Exterior Photometrics - Third
and Fourth
8.5x11 Light Fixture Cutsheets

The Glen
by Patrick Properties
3414 Monroe Street
Madison, WI 53711

Project #: 13002.00

**Design Development
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Issued for:

No.	Description	Date
1	Plan Commission Submittal	3-4-2015

PROJECT LOCATION MAP



NOT FOR CONSTRUCTION

Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

Title Sheet

G001

Madison01 Project Folder 13002.00-the GLEN01 Drawings001_PlanCommissionSubmittal.dwg

Project Name: the Glen
Project #: 13002.00

Structural Engineering:
ECHELON STRUCTURES, LLC
1521 Sunset Ct.
Middleton, WI 53562

Civil Engineering/Landscape Architecture:
SAA DESIGN GROUP #2573
101 East Badger Rd.
Madison, WI 53713

The Glen
by Patrick Properties
3414 Monroe Street
Madison, WI 53711

Project #: 13002.00

Design Development
NOT FOR CONSTRUCTION

Issued for:

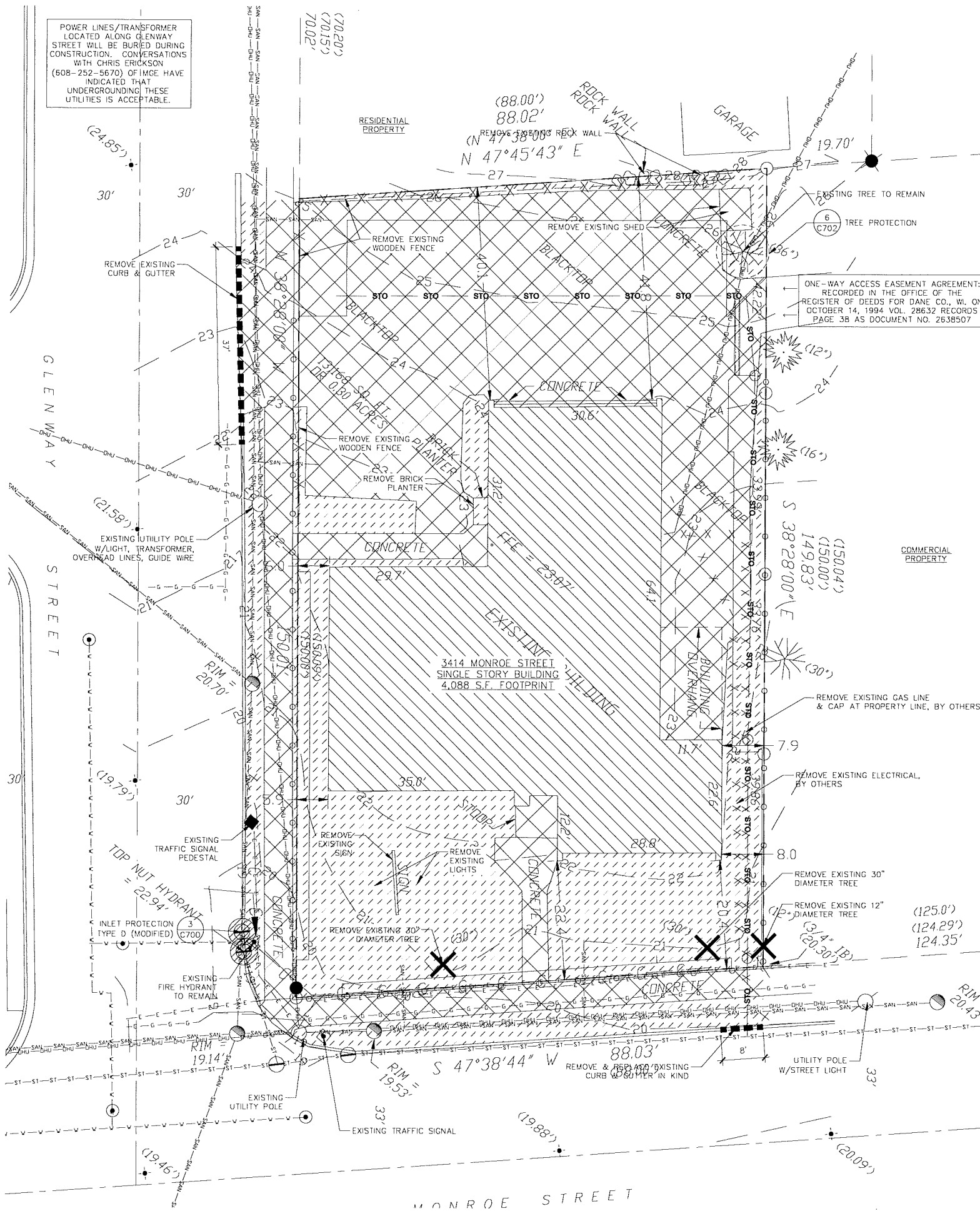
No.	Description	Date
1	Plan Commission Submittal	3-4-2015

This sheet by: SAA Design Group, Inc.

DEMOLITION & EROSION CONTROL PLAN

C200

Project Name: The Glen
Project #: 13002.00
SAA Project #: 2573



SITE DEMOLITION NOTES:

- ALL BUILDINGS, FOUNDATIONS, STRUCTURES AND ABOVE GROUND APPURTENANCES WITHIN THE PROPERTY LINE SHALL BE REMOVED AS A PART OF THE DEMOLITION WORK UNLESS OTHERWISE NOTED.
- SAWCUT EDGE OF PAVEMENT AND CURB TO BE REMOVED.
- REMOVE ANY EXISTING SITE ELEMENT THAT CONFLICTS WITH THE PROPOSED CONSTRUCTION INCLUDING, BUT NOT LIMITED TO SIGNS, WALLS, FENCING, LANDSCAPING, PAVEMENTS AND CURB AND GUTTER.
- PROTECT EXISTING UTILITIES DURING DEMOLITION & CONSTRUCTION.

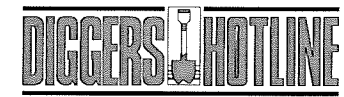
EROSION NOTES:

- ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED TO THE CITY FOR APPROVAL AND INDICATED ON THE PLAN.
- INSTALL TYPE D MODIFIED INLET PROTECTION AT ALL INLETS SHOWN ON THE PLANS. IF OTHER INLETS ARE FOUND WITHIN THE DRAINAGE AREA, THE CONTRACTOR SHALL PLACE INLET PROTECTION.
- CONSTRUCTION ACCESS TO THE SITE WILL ONLY BE FROM THE EXISTING ENTRY ON GLENWAY. CONTRACTOR SHALL ENSURE THAT ACCESS TO THE SITE AND NEARBY STREETS ARE CLEANED UP FROM DIRT AND TRACKED MUD AT THE END OF EACH DAY.
- CONTRACTOR SHALL POST A COPY OF THE COVERAGE UNDER WPDES GENERAL PERMIT APPROVAL AT A CONSPICUOUS LOCATION ON THE PROJECT SITE FOR AT LEAST FIVE DAYS PRIOR TO CONSTRUCTION, AND REMAINING AT LEAST FIVE DAYS AFTER CONSTRUCTION. CONTRACTOR MUST ALSO HAVE A COPY OF THE PERMIT AND APPROVED PLAN AVAILABLE AT THE PROJECT SITE AT ALL TIMES UNTIL THE PROJECT IS COMPLETE.
- CONTRACTOR SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE CITY OF MADISON STANDARD SPECIFICATIONS, WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSTRUCTION SITE TECHNICAL STANDARDS AND THE WISDOT EROSION CONTROL PRODUCT ACCEPTABILITY LISTS (PAL).
- ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE BUT NOT LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY. WRITTEN REPORTS WILL BE KEPT OF ALL EROSION AND SEDIMENT CONTROL INSPECTIONS AS REQUIRED BY THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR).
- SILT SOCK SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS PER DETAILS. SEDIMENT DEPOSITS WILL BE REMOVED FROM BEHIND THE SILT SOCK WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT SOCK WILL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL THE SITE IS PERMANENTLY STABILIZED. SITE STABILIZATION INVOLVING SEEDING WHICH IS NOT COMPLETED PRIOR TO SEPTEMBER 15 SHALL BE COMPLETED WITH DORMANT SEEDING BY NOVEMBER 1.
- EROSION CONTROL MEASURES MUST BE IN PLACE AT THE END OF EACH WORK DAY.
- ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. FLUSHING SHALL NOT BE ALLOWED.
- WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED OR HAVE BEEN TEMPORARILY SUSPENDED FOR MORE THAN SEVEN DAYS, OR WHEN FINAL GRADES ARE REACHED IN ANY PORTION OF THE SITE, STABILIZATION SHALL BE IMPLEMENTED WITHIN SEVEN DAYS. TEMPORARY STABILIZATION PRACTICES SUCH AS MULCH/TACKIFIER, EROSION MAT, OR WISDOT TYPE B SOIL STABILIZER SHALL BE APPLIED TO THE SOIL SURFACE WHEN THE SITE IS NOT READY FOR PERMANENT RESTORATION. WHEN STABILIZATION IS NOT POSSIBLE DUE TO SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE. THE CONTRACTOR SHALL USE BIODEGRADABLE CLASS I URBAN TYPE B EROSION MATTING ON ALL SWALE CENTERLINES AND SIDE SLOPES STEEPER THAN 4:1 (25%).
- STORM WATER AND GROUND WATER PUMPED FROM EXCAVATIONS AND/OR THE DEWATERING WELLS SHALL BE DISPOSED OF IN ACCORDANCE WITH THE WISCONSIN STATUTES. SEDIMENT BASINS, SEDIMENT TRAPS AND/OR THE USE OF POLYMERS TO CONTROL SEDIMENT SHALL BE UTILIZED AND MEET THE REQUIREMENTS OF THE WISCONSIN WDNR TECHNICAL STANDARDS.
- EROSION MAT SHALL CONSIST ENTIRELY OF BIODEGRADABLE COMPONENTS (NO PHOTOBIODEGRADABLE).
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- ALL DIMENSIONS SHOWN ARE TO DECIMAL FEET AND MEASURED TO EDGE OF PAVEMENT, UNLESS SPECIFIED OTHERWISE. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE OWNERS REPRESENTATIVE.
- PROVIDE TRAFFIC CONTROL DURING CONSTRUCTION AS REQUIRED TO MAINTAIN SAFE CONDITIONS FOR WORKERS AND THE PUBLIC.

AFTER SEPTEMBER 15TH, A COOL WEATHER SEEDING COVER CROP MUST BE APPLIED (I.E. OATS)
AFTER OCTOBER 15TH, A DORMANT SEEDING COVER CROP MUST BE APPLIED (I.E. WINTER WHEAT)
AFTER NOVEMBER 15TH, A DORMANT SEEDING MUST BE APPLIED WITH AN ACCEPTABLE SOIL STABILIZER. (POLYACRYLAMIDE)

ANTICIPATED CONSTRUCTION SCHEDULE:

- INSTALL EROSION CONTROL MEASURES AS DETAILED ON THE PLAN. SITEWORK MAY NOT COMMENCE UNTIL EROSION CONTROL MEASURES ARE IN PLACE.
- CONTRACTOR TO DEMOLISH AREA (BUILDINGS, CONCRETE, ASPHALT, UTILITIES ETC) AS PROPOSED, CLEAR & GRUB TREES AS NECESSARY.
- ABANDON SANITARY, GAS, ELECTRICAL AND WATER UTILITIES AS SHOWN.
- CONSTRUCT UTILITIES.
- CONSTRUCT NEW BUILDING.
- CONSTRUCT CONCRETE CURB & PAVEMENT.
- TOPSOIL, SEED AND MULCH/EROSION MAT ALL DISTURBED AREAS.
- REMOVE EROSION CONTROL ITEMS ONCE DISTURBED AREA IS 80% VEGETATED.



Dial 811 or (800) 242-8511
www.DiggersHotline.com

DIGGERS HOTLINE TICKET # 20134015794
BEFORE CONSTRUCTION CALL DIGGERS HOTLINE FOR EXACT LOCATION OF UNDERGROUND UTILITIES.

SYMBOL LEGEND:

- = SET 3/4"x24" REBAR WT 1.5 LB PER LIN FT
- = FOUND 1" PIPE
- = FOUND 3/4" PIPE
- = FOUND 3/4" REBAR
- * = GROUND LIGHT
- + = STREET/PARKING SIGN
- ⊕ = TRAFFIC LIGHTS
- ⊗ = STORM INLET/ GRATE INLET
- ⊙ = MAINHOLE
- ⊕ = FIRE HYDRANT
- ⊙ = POWERPOLE
- ⊕ = WATER VALVE
- ⊙ = UTILITY PEDESTAL
- ⊕ = UTILITY BOX
- ⊙ = UTILITY BASE VALVE
- ⊙ = ROCK WALL
- ⊙ = DECIDUOUS TREE (SIZE NOTED)
- ⊙ = CONIFEROUS TREE (SIZE NOTED)

LINE LEGEND:

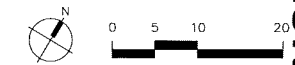
- SAN- = SANITARY SEWER
- ST- = STORM SEWER
- C- = UNDERGROUND COMMUNICATION
- W- = WATER MAIN
- T- = UNDERGROUND TELEPHONE
- E- = UNDERGROUND ELECTRIC
- G- = UNDERGROUND GAS MAIN
- X- = WOOD FENCE

DEMOLITION LEGEND:

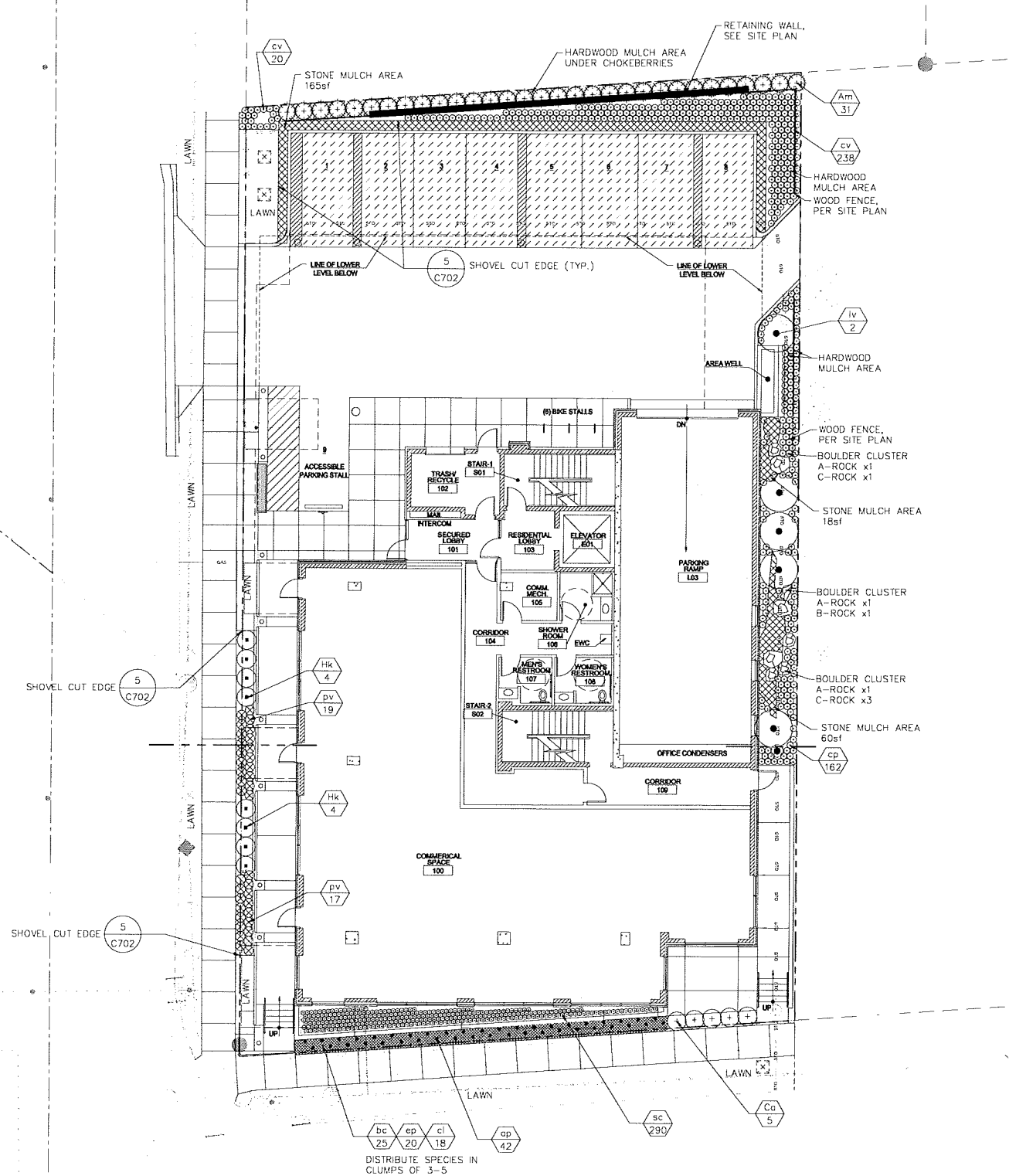
- ABANDON OR REMOVE UTILITY — X X X —
- REMOVE CURB — — — — —
- TREE REMOVAL X
- ASPHALT/CONCRETE REMOVAL [diagonal hatching]
- BUILDING REMOVAL [diagonal hatching]
- LANDSCAPING/LAWN REMOVAL [diagonal hatching]

EROSION CONTROL LEGEND:

- SILT SOCK [line with circles]
- TREE PROTECTION [circle with cross]
- INLET PROTECTION [circle with diagonal hatching]



NOT FOR CONSTRUCTION



LANDSCAPE POINTS		
DEVELOPED AREA REQUIREMENTS:		
DEVELOPED AREA (EXCLUDING BUILDING FOOTPRINT)	5,470 SF	
DEVELOPED AREA POINTS REQUIRED (8.321/300)x5	92 POINTS	
DEVELOPMENT FRONTAGE LANDSCAPING:		
NOT REQUIRED: BUILDING ABUTS SIDEWALK		
INTERIOR PARKING LOT LANDSCAPING:		
NOT REQUIRED: ALL PARKING IS COVERED		
FOUNDATION PLANTING LANDSCAPING:		
NOT REQUIRED: BUILDING ABUTS HARDSCAPE		
TOTAL LANDSCAPE POINTS REQUIRED	92 POINTS	
TOTAL LANDSCAPE POINTS PROVIDED	292 POINTS	
SITE STATISTICS		
SITE AREA	13,168sf	
EXISTING PERVIOUS SURFACES	3,594sf	
EXISTING IMPERVIOUS SURFACES	12,452sf	
EXISTING ISR	0.94	
PROPOSED PERVIOUS SURFACES:		
GREEN ROOF	2,170sf	
PERVIOUS PAVEMENT	1,317sf	
LANDSCAPE	1,520sf	
TOTAL	5,007sf	
PROPOSED IMPERVIOUS SURFACES	8,260sf	
PROPOSED ISR	0.63	
USABLE OPEN SPACE	NOT REQUIRED	

Symbol	Botanical name	Common Name	Size	Root	Quantity	Spacing
SHRUB						
Am	Aronia melanocarpa	Black Chokeberry	5 Gal.	Cont.	31	3'
Ca	Ceanothus americanus	New Jersey Tea	5 Gal.	Cont.	5	3'
Hk	Hypericum kalmianum	St. John's Wart	5 Gal.	Cont.	8	3'
Iv	Ilex verticillata	Winterberry	5 Gal.	Cont.	5	6'
PERENNIAL						
ap	Anemone patens	Posque flower	2"	Plug	42	As Shown
bc	Bouteloua curtipendula	Side Oats Grama	Quart	Cont.	25	12"
cl	Coreopsis lanceolata	Lance-leaf Coreopsis	Quart	Cont.	18	12"
cp	Carex pensylvanica	Pennsylvania Sedge	2"	Plug	162	12"
cv	Carex vulpinoidea	Fox Sedge	2"	Plug	258	12"
ep	Echinacea purpurea	Purple coneflower	Quart	Cont.	20	12"
pv	Panicum virgatum 'Shenandoah'	Shenandoah Switchgrass	1 Gal.	Cont.	36	18"
sc	Sisyrinchium campestre	Blue-eyed grass	Quart	Cont.	290	8"
TURF						
	WI DOT Seed Mix No. 40		lb	Seed	4.5	

- NOTES:
- BOULDER CLUSTER SCHEDULE
 A-ROCK: OUTCROPPING AQUA BLUE BOULDER SIZE RANGE MIN. 36"x36"x36" (WxHxL)
 B-ROCK: OUTCROPPING AQUA BLUE BOULDER SIZE RANGE MIN. 18"x18"x30" (WxHxL)
 C-ROCK: OUTCROPPING AQUA BLUE BOULDER SIZE RANGE MIN. 24"x30"x24" (WxHxL)
 - STONE MULCH AREA SHALL BE COMPRISED OF EAU CLAIRE RIVER STONE IN TWO DIFFERENT SIZES, REFER TO THE DETAIL FOR LAYING PATTERN.
 - COMPOSED LEAF MULCH SHALL BE USED IN ALL BIOSWALE AREAS.
 - DOUBLE SHREDDED HARDWOOD MULCH SHALL BE USED IN ALL AREAS OTHER THAN THE BIOSWALE AREA.
 - LAWN MIX SHALL BE IN ACCORDANCE WITH WI DOT MIX NO. 40; APPLIED AT 4LB/1,000 SF.

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 Madison, WI 53711
 ph 608-709-1250

Structural Engineering:
ECHELON STRUCTURES, LLC
 1521 Sunset Ct.
 Middleton, WI 53562

Civil Engineering/Landscape Architecture:
SAA DESIGN GROUP #2523
 101 East Badger Rd.
 Madison, WI 53713

The Glen
 by Patrick Properties
 3414 Monroe Street
 Madison, WI 53711

Project #: 13002.00

Design Development
NOT FOR CONSTRUCTION

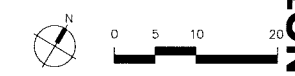
Issued for:

No.	Description	Date
1	Plan Commission Submittal	3-4-2015

This sheet by: SAA Design Group, Inc.

LANDSCAPE PLAN

C600



NOT FOR CONSTRUCTION

Project Name: The Glen
 Date: 12/15/14
 SAA Project #: 2573

Structural Engineering:

ECHELON STRUCTURES, LLC
1521 Sunset Ct.
Middleton, WI 53562

Civil Engineering/Landscape Architecture:

SAA DESIGN GROUP #23573
101 East Badger Rd.
Madison, WI 53713

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The Glen
by Patrick Properties
3414 Monroe Street
Madison, WI 53711

Project #: 13002.00

**Design Development
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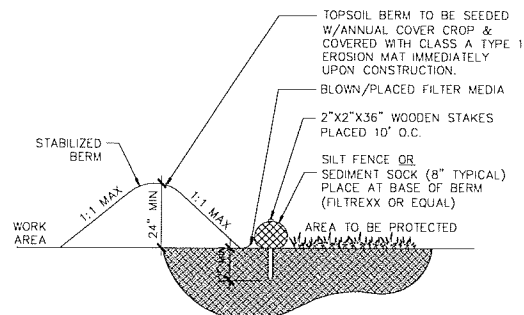
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1	Plan Commission Submittal	3-4-2015

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DETAILS

C700

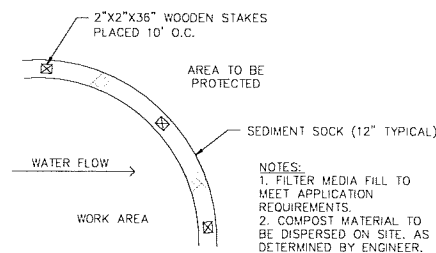
Project Name: The Glen
Project #: 13002.00
Sheet Project #: 2073



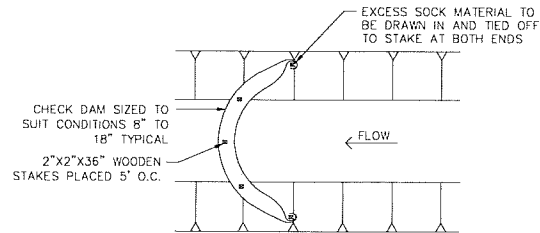
STABILIZED BERM NOTES:

1. SEDIMENT SHOULD BE REMOVED FROM BEHIND BERM ONCE THE ACCUMULATED HEIGHT HAS REACHED 1/2 THE HEIGHT OF THE BERM.
2. BERM SHALL BE DIRECT SEEDED AND STABILIZED AT THE TIME OF INSTALLATION.
3. STABILIZED BERM SHALL HAVE STONE OVERFLOW WEIRS PLACED IN LOCATIONS AS SPECIFIED IN THE PLANS. OVERFLOW WEIR SHALL BE A MINIMUM OF 4\"/>

SECTION - BERM & SILT FENCE OR SEDIMENT SOCK



PLAN

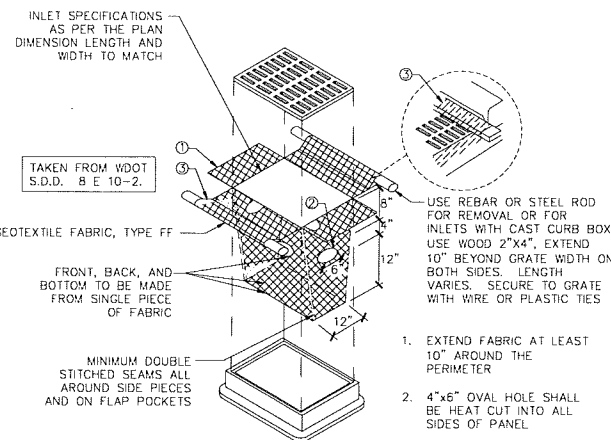


NOTES:

1. SEDIMENT SHOULD BE REMOVED FROM BEHIND CHECK DAM ONCE THE ACCUMULATED HEIGHT HAS REACHED 1/2 THE HEIGHT OF THE CHECK DAM.
2. CHECK DAM CAN BE DIRECT SEEDED AT THE TIME OF INSTALLATION.

1 SEDIMENT SOCK
C700

SCALE NTS



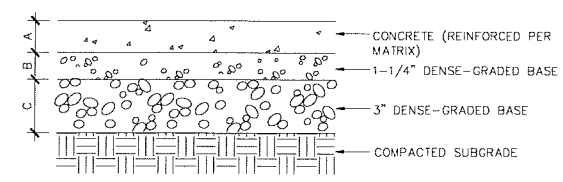
3 INLET PROTECTION
C700

SCALE NTS

PAVEMENT TYPE:	CONCRETE THICKNESS (A)	BASE THICKNESS (B)	SUBBASE THICKNESS (C)
TYPE 1 CONCR. PAVEMENT-PEDESTRIAN LOAD	5"	6"	COMPACTED
TYPE 2 CONCR. PAVEMENT-VEHICULAR LOAD	6" FIBER REINFORCED	4"	8"

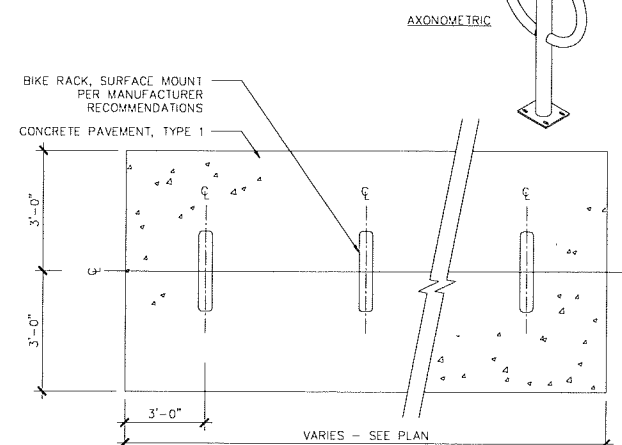
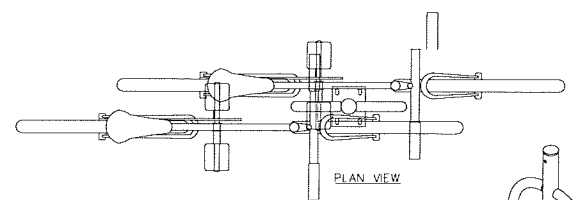
NOTES:

1. MEDIUM BROOM FINISH, PERPENDICULAR TO DIRECTION OF TRAVEL, UNLESS OTHERWISE STATED
2. PROVIDE EXPANSION JOINTS 30' ALL WAYS, MINIMUM OR AS NOTED ON PLANS
3. STANDARD COLOR CONCRETE.
4. VEHICULAR LOAD CONCRETE: LONGITUDINAL (EXPANSION) JOINTS SHALL HAVE 24" LONG #4 EPOXY COATED REBAR AT 39" O.C. AT A DEPTH OF 3 3/4" ± 1"
5. VEHICULAR LOAD CONCRETE: TRANSVERSE JOINTS SHALL HAVE 18" LONG, 1 1/2" DIA. EPOXY COATED, SMOOTH DOWEL BARS AT 72" O.C. AT 4" DEPTH.



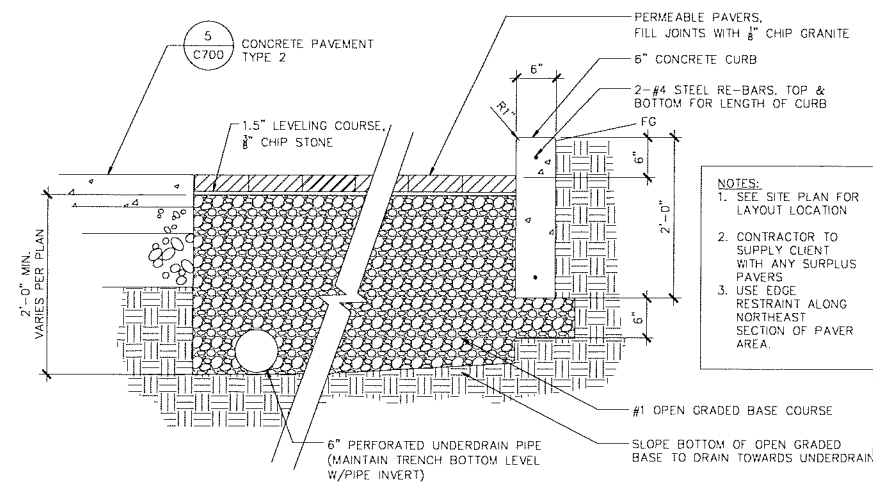
5 CONCRETE PAVEMENT
C700

SCALE 1"=1'-0"



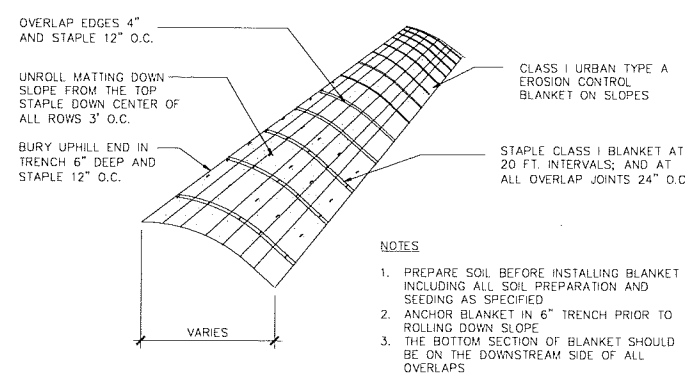
4 BIKE PARKING
C700

SCALE 1"=1'-0"



6 PERMEABLE PAVERS AT PARKING LOT
C700

SCALE 1"=1'-0"



NOTES:

1. PREPARE SOIL BEFORE INSTALLING BLANKET INCLUDING ALL SOIL PREPARATION AND SEEDING AS SPECIFIED
2. ANCHOR BLANKET IN 6" TRENCH PRIOR TO ROLLING DOWN SLOPE
3. THE BOTTOM SECTION OF BLANKET SHOULD BE ON THE DOWNSTREAM SIDE OF ALL OVERLAPS

2 EROSION CONTROL MAT
C700

SCALE NTS

NOT FOR CONSTRUCTION

Structural Engineering:

ECHELON STRUCTURES, LLC
1521 Sunset Ct.
Middleton, WI 53562

Civil Engineering/Landscape Architecture:

SAA DESIGN GROUP 42573
101 East Badger Rd.
Madison, WI 53713

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The Glen
by Patrick Properties
3414 Monroe Street
Madison, WI 53711

Project #: 13002.00

Design Development
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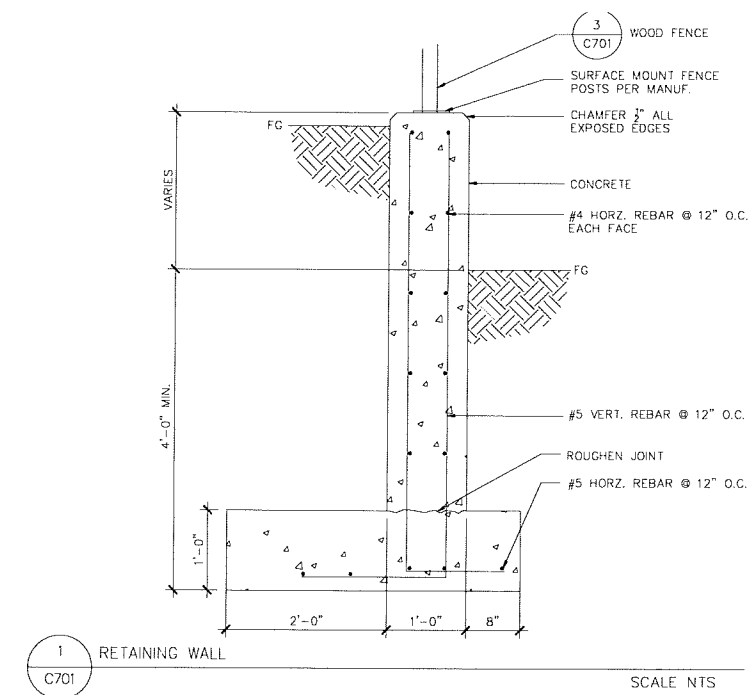
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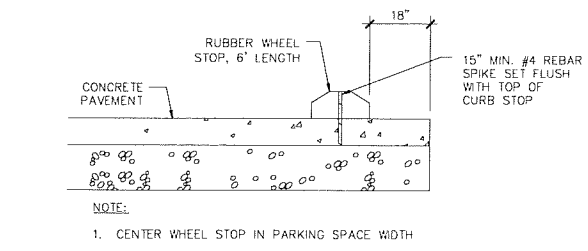
DETAILS

C701

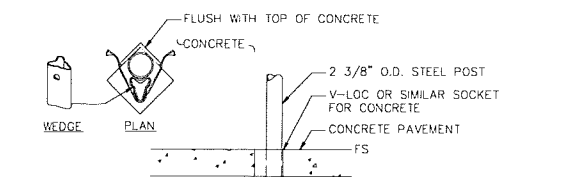
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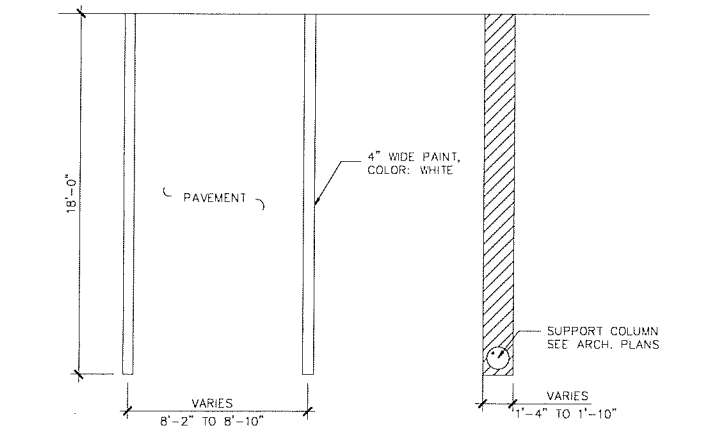
1 RETAINING WALL
C701
SCALE NTS



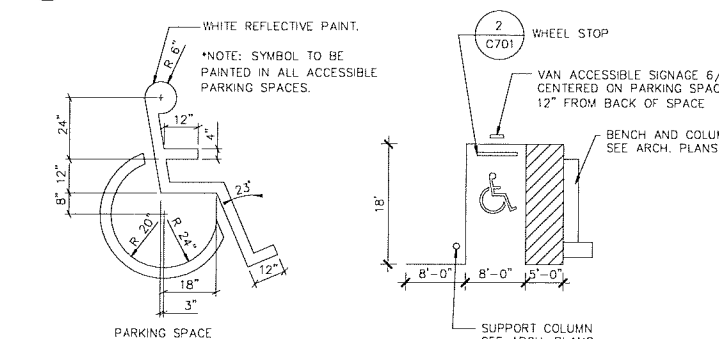
2 WHEEL STOP
C701
SCALE NTS



7 POLE INSTALL-CONCRETE
C701
SCALE: 1\"/>

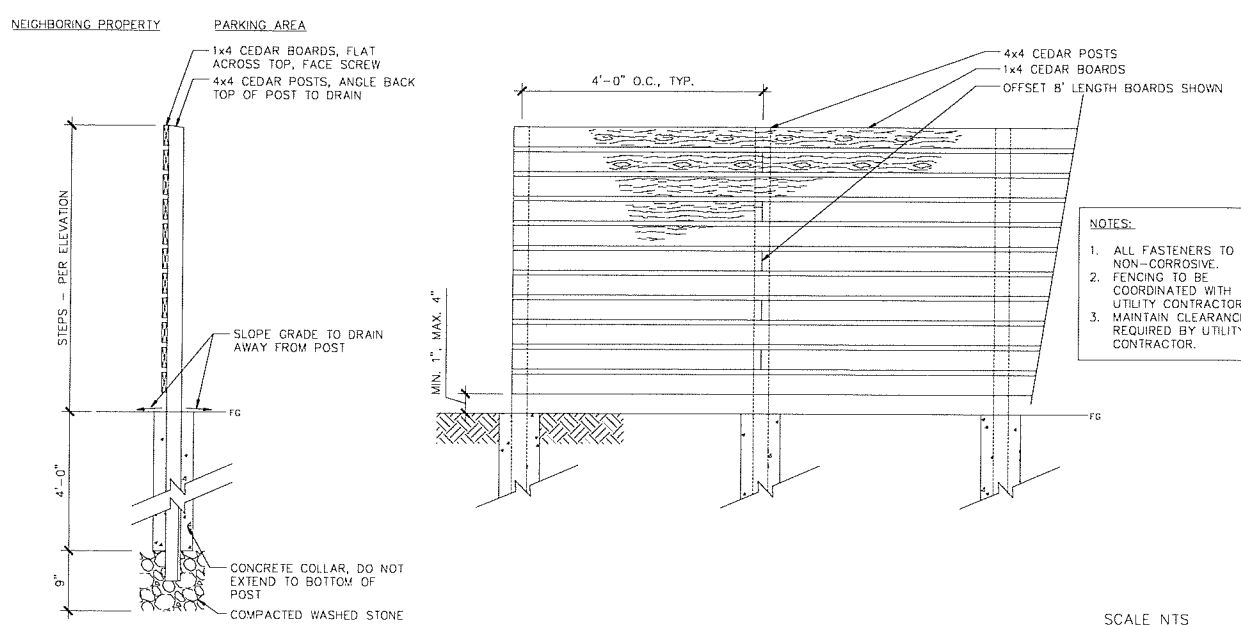


4 PARKING STRIPING
C701
SCALE NTS

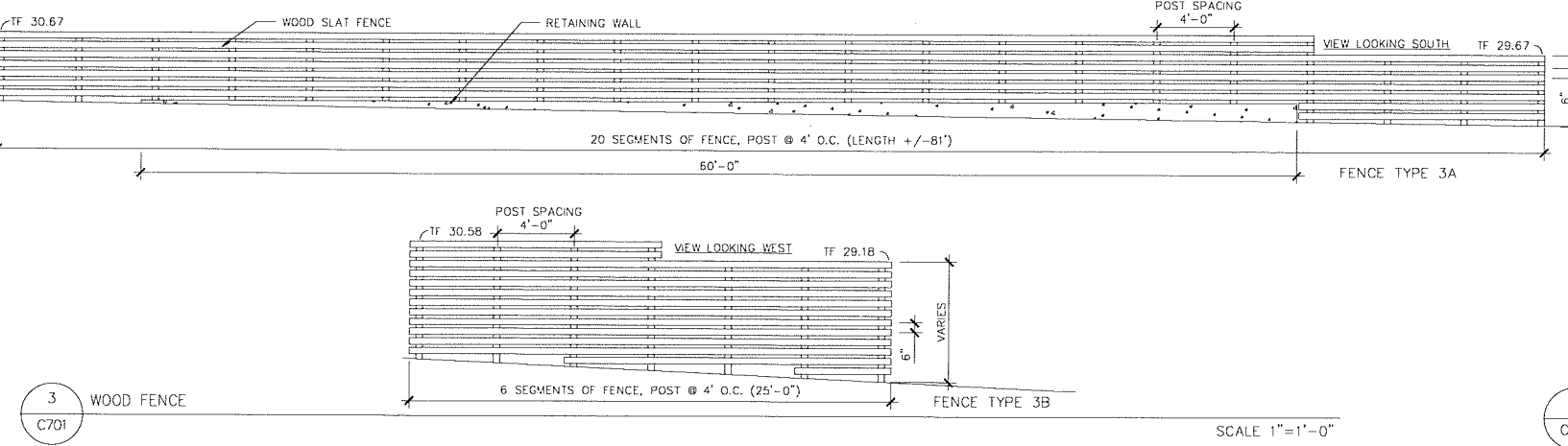


5 ADA PARKING AREA
C701
SCALE NTS

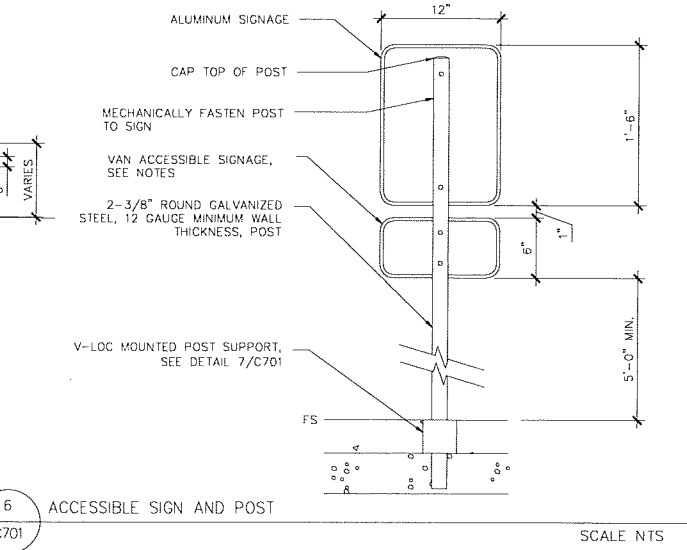
NOTES:
1. MOUNT SIGNAGE WITH ALUMINUM, VANDAL PROOF HARDWARE
2. ADA PARKING SIGN MUST BE A WHITE RECTANGLE WITH LONGER DIMENSION VERTICAL; HAVING A GREEN MESSAGE, AND A BLUE AND WHITE INTERNATIONAL SYMBOL OF ACCESSIBILITY. THE SIGN MAY BE EITHER REFLECTIVE OR NON-REFLECTIVE.
3. ADD "VAN ACCESSIBLE" SIGNAGE WHERE INDICATED ON PLANS.



3 WOOD FENCE
C701
SCALE 1\"/>

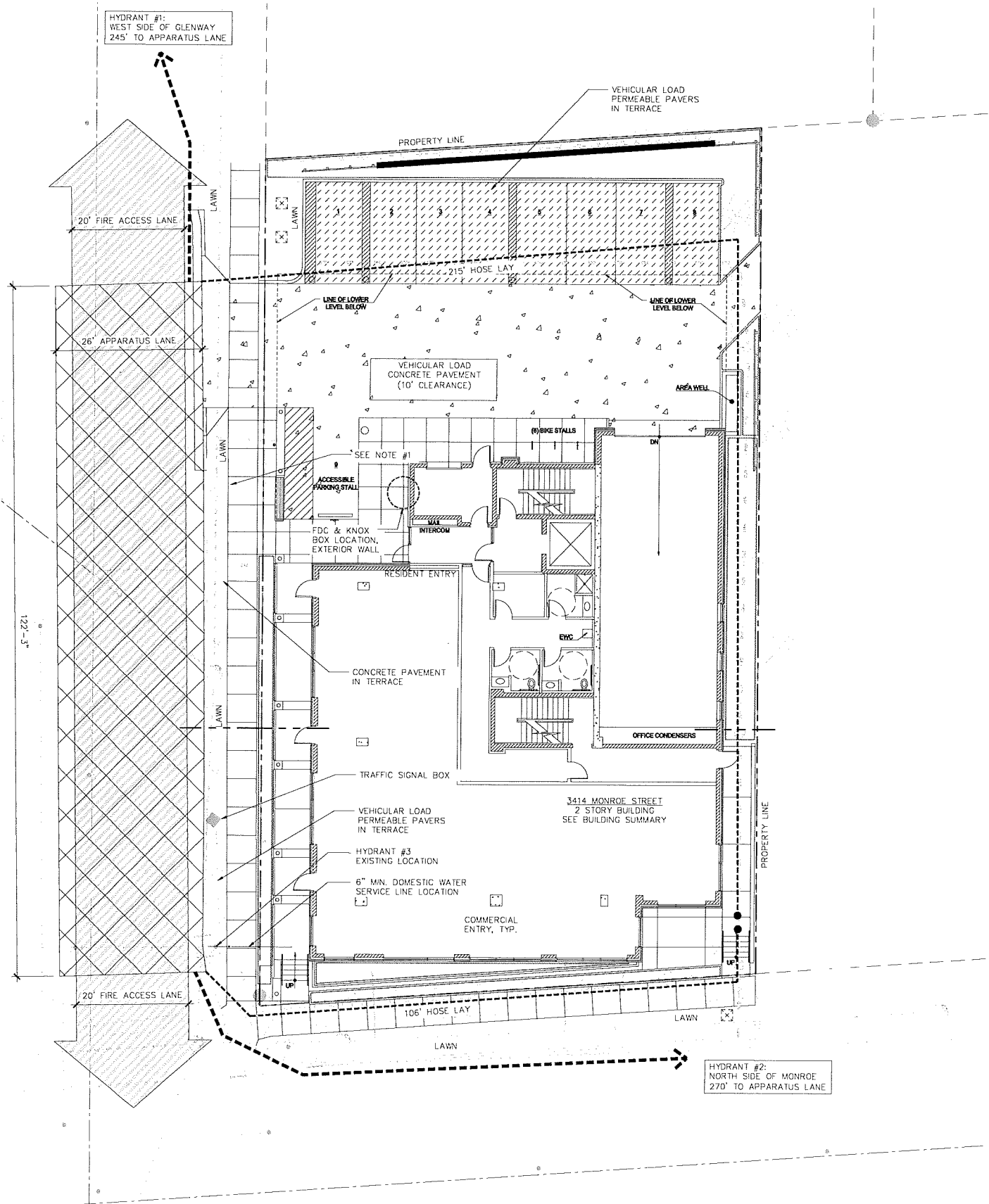


3 WOOD FENCE
C701
SCALE 1\"/>

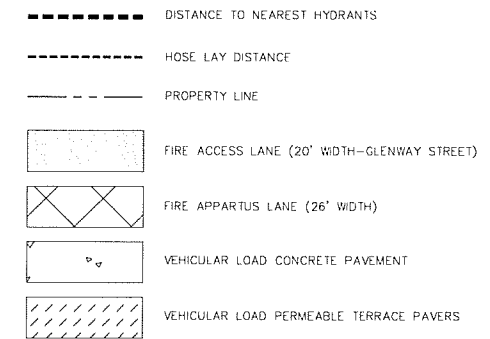


6 ACCESSIBLE SIGN AND POST
C701
SCALE NTS

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- NOTES:
1. CURRENTLY OVERHEAD POWER LINE ARE LOCATED ALONG THE EAST SIDE OF GLENWAY STREET. CONVERSATIONS WITH CHRIS ERICKSON (608-252-5670) OF MGE HAVE INDICATED THAT RELOCATION (UNDERGROUNDING) OF THESE UTILITIES IS ACCEPTABLE. THIS IS THE LAST STRETCH OF OVERHEAD TO BE DIPPED ALONG THIS SEGMENT. THERE WILL BE NO OVERHEAD POWER LINES ALONG GLENWAY STREET.
 2. ALL VEGETATION BETWEEN THE BUILDING AND FIRE LANE IS BELOW 36" IN HEIGHT.
 3. REFER TO THE SUBMITTED FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET FOR ADDITIONAL INFORMATION.
 4. THE FIRE LANE/APPARATUS LANE IS SLOPED AT 5% (GLENWAY STREET SLOPE)



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Project #: 13002.00

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FIRE ACCESS PLAN

C800



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SAA Project #: 2573

Structural Engineering:

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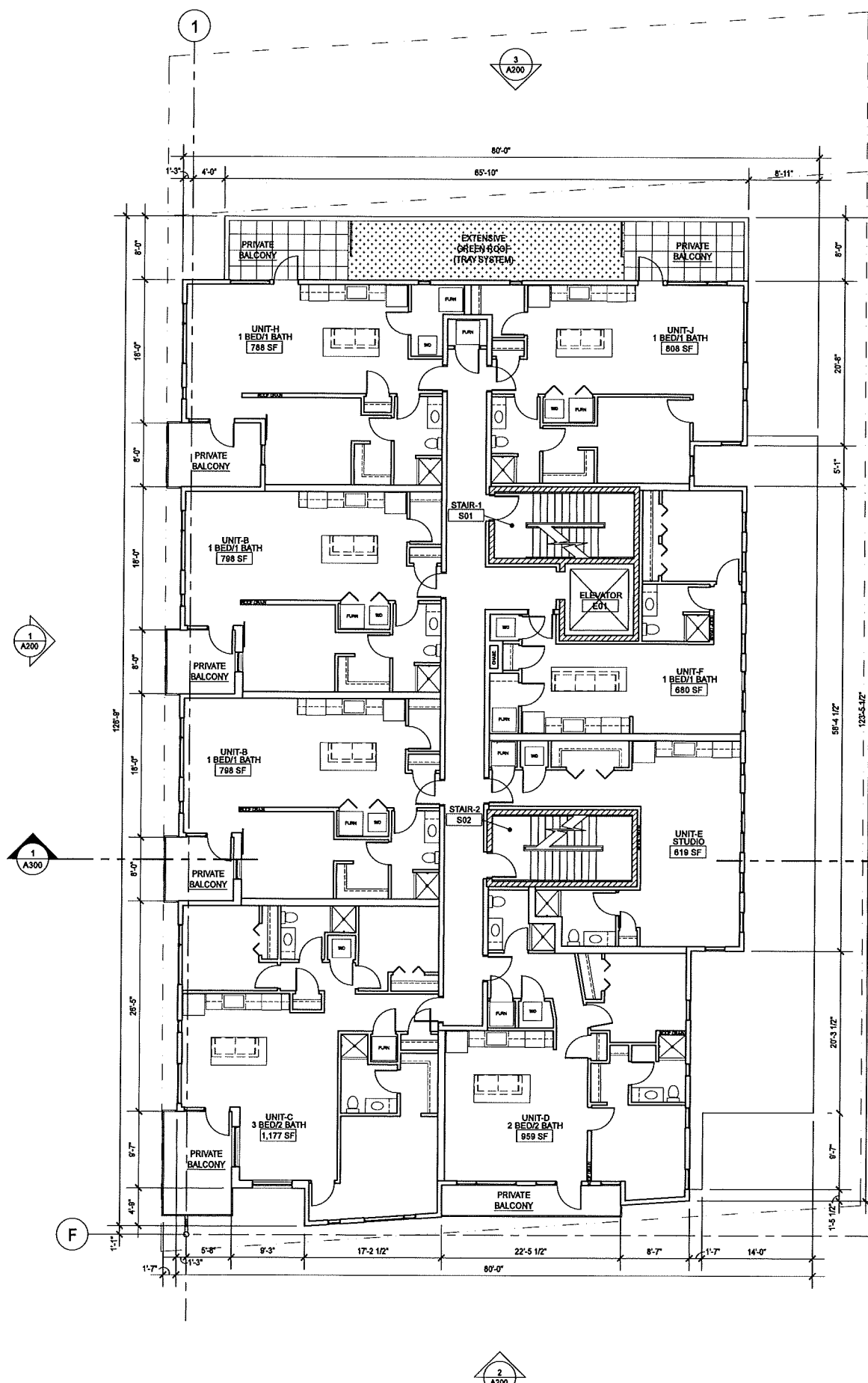
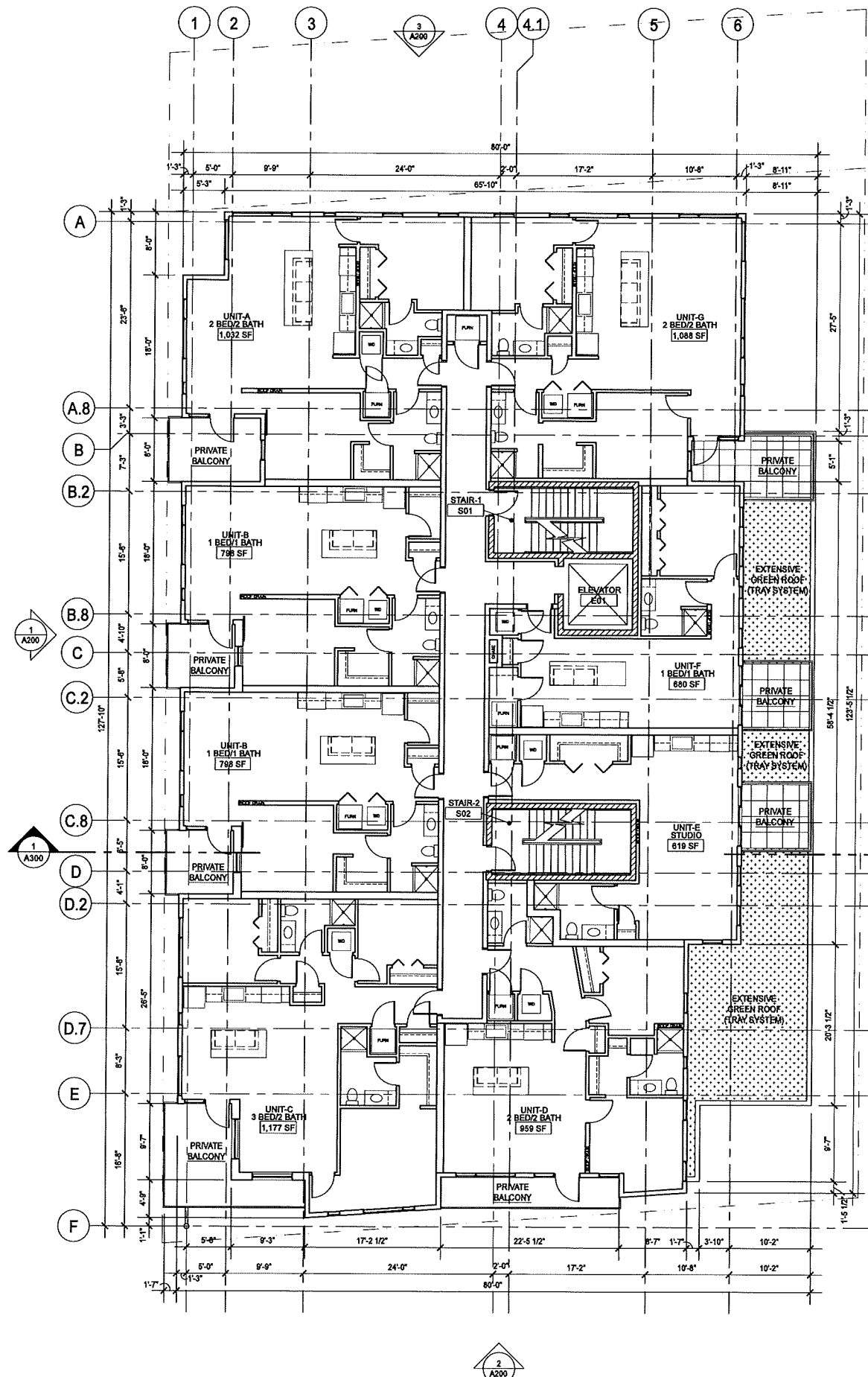
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Checked by: CaS4 Architecture

OVERALL FLOOR PLANS
- SECOND AND THIRD

A101

M:\Drawings\13002\02-04-15\GLEN\1 Drawing\A101_PlanCommission.dwg

Project Name: The Glen
Project #: 13002.00



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Project #: 13002.00

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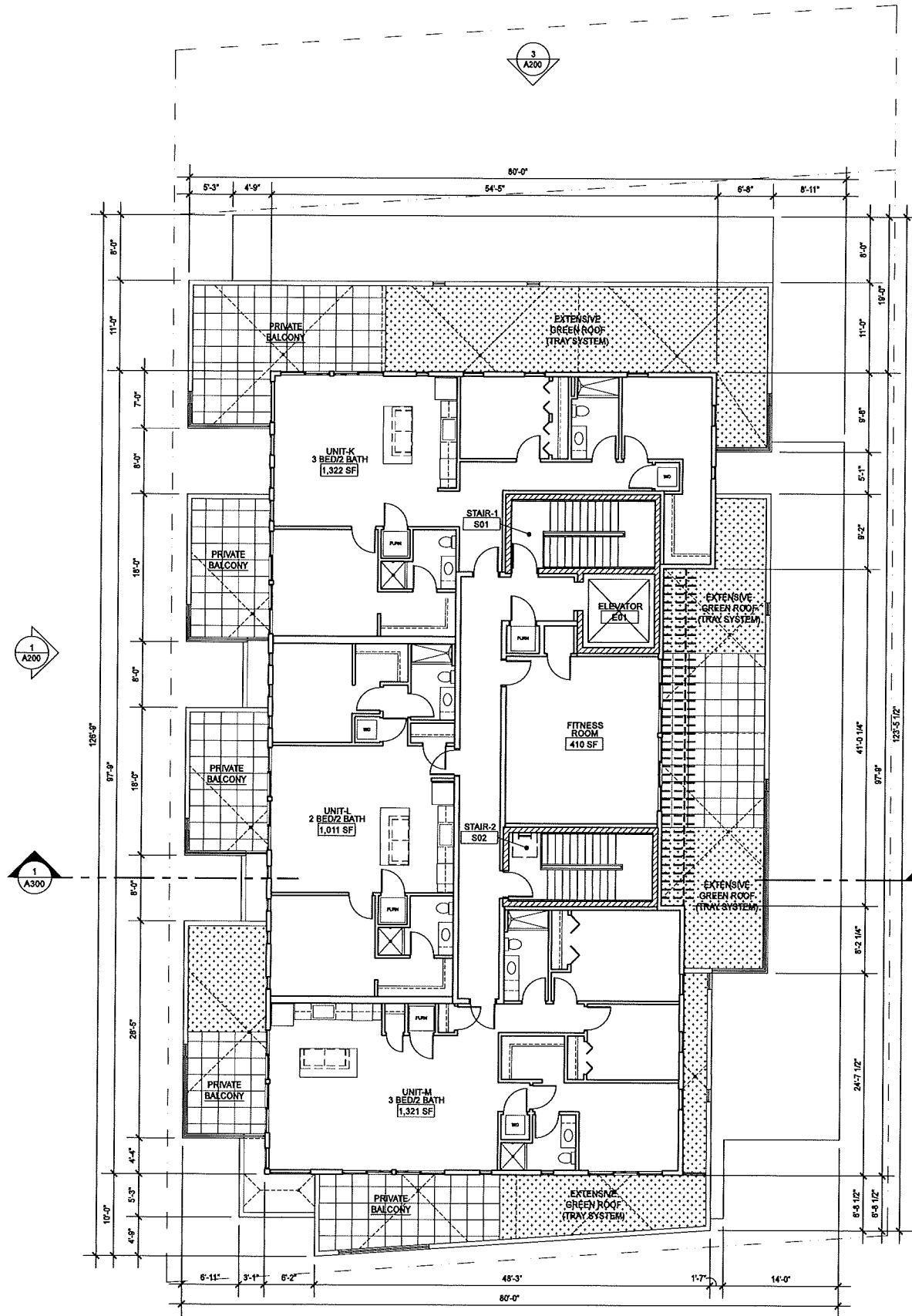
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Checked by: CaS4 Architecture

OVERALL FLOOR PLANS
- FOURTH AND ROOF

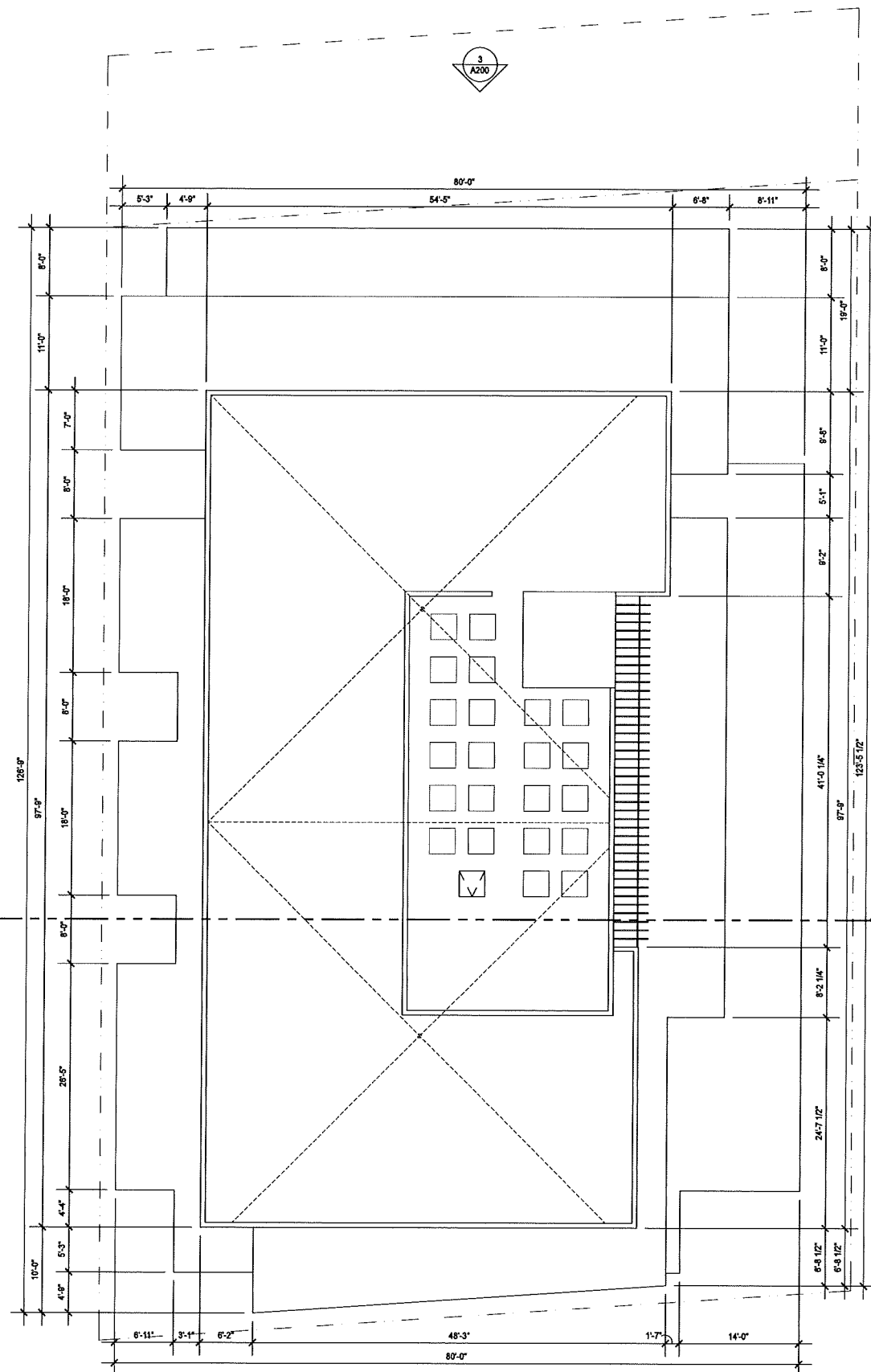
A102

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Project Name: the Glen
Project #: 13002.00



1 OVERALL FOURTH FLOOR PLAN
SCALE: 1/8"=1'-0"



2 OVERALL ROOF PLAN
SCALE: 1/8"=1'-0"

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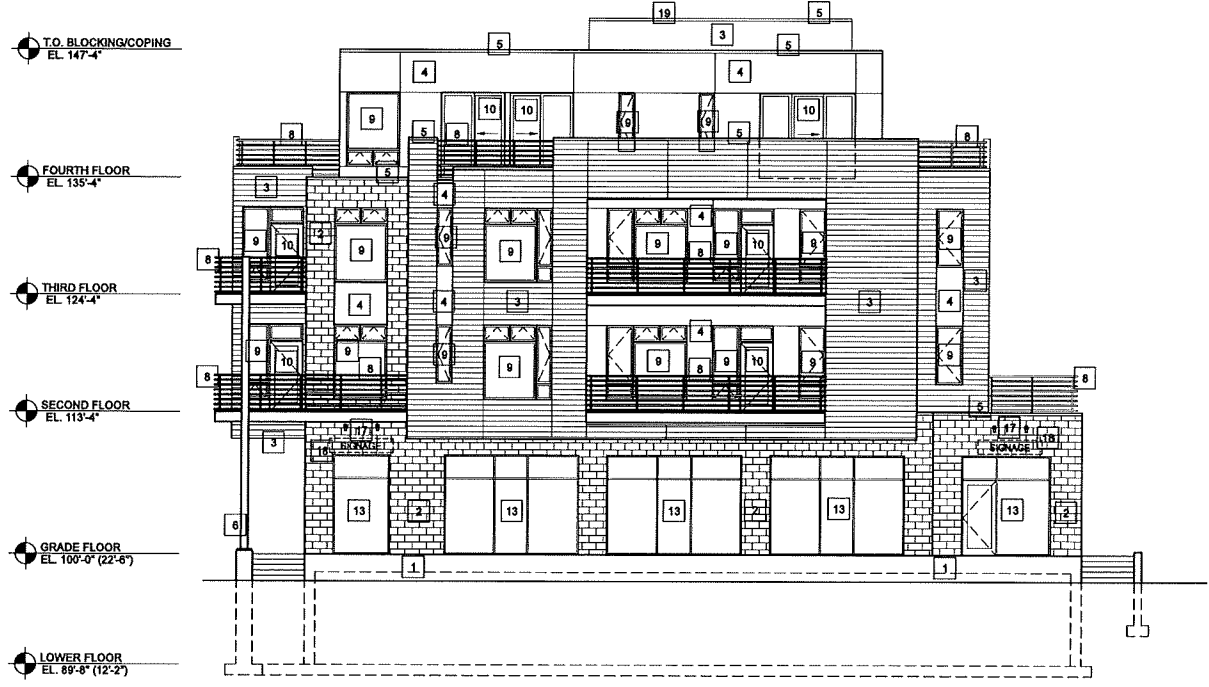
ELEVATION KEY NOTES:

- | | | |
|---|---|---|
| 1 CAST CONCRETE - SANDBLASTED NATURAL | 10 GLAD WOOD DOOR | 18 SIGNAGE LOCATION - RAISED ANODIZED ALUMINUM LETTER (1'-4" x 6' along Glenway, 20' h along Monroe). |
| 2 GROUND FACE MASONRY - DARK GRAY | 11 INSULATED METAL DOOR | 19 ROOFTOP MECHANICAL SCREEN WALL - SEE NOTE 3. |
| 3 6" T&G FIBER CEMENT SIDING - NAT. CEDAR COLOR | 12 INSULATED OVERHEAD DOOR | 20 WOOD BENCH ON CAST CONCRETE WALL |
| 4 NATURAL PLASTER - WARM WHITE | 13 CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLASS | |
| 5 PRE-FINISHED METAL COPING | 14 ALUMINUM LOUVER | |
| 6 GALVANIZED STEEL COLUMN | 15 CEDAR FENCE / PRIVACY SCREEN | |
| 7 GALVANIZED STEEL BEAM | 16 GALVANIZED STEEL ANGLE LIGHT SHIELD FOR LINEAR LED LIGHT ROPE | |
| 8 PRE-FINISHED ALUMINUM RAILING | 17 PRE-FINISHED LED SIGN LIGHT | |
| 9 FIBERGLASS WINDOW WITH INSULATED GLASS | | |

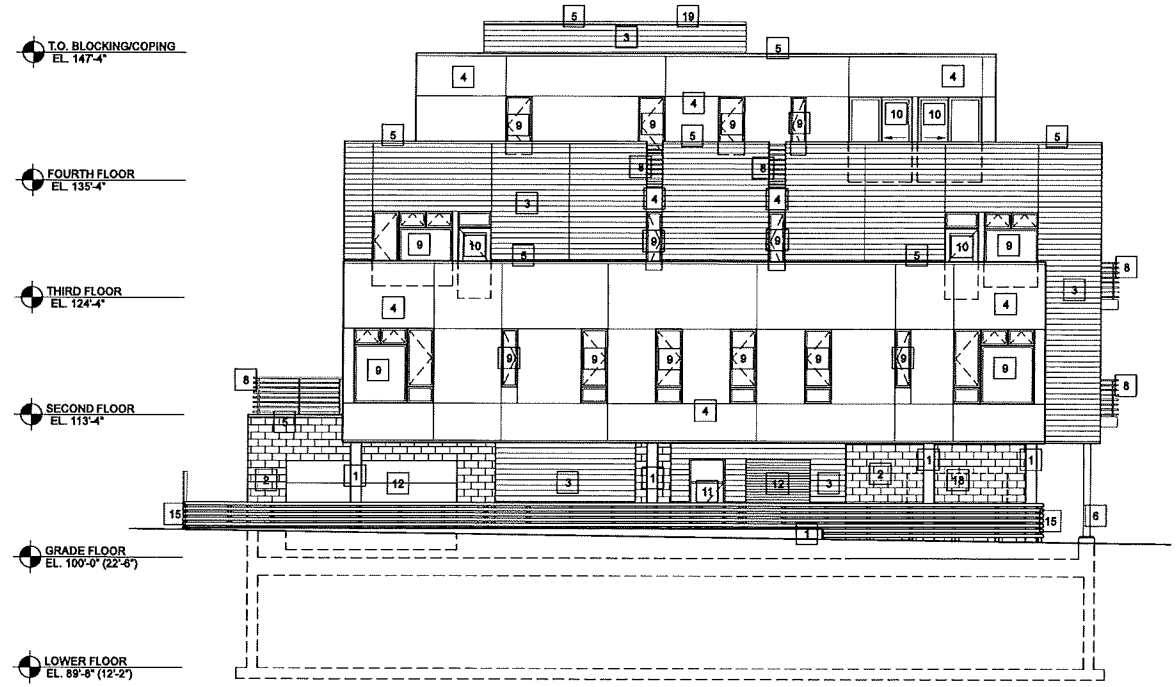
WINDOW & DOOR CALCULATIONS			
Monroe Street, First Floor Elevation (Primary Street Facade)		Window Area Calc. for Levels 2-4	
1) Length of Elevation	73.1 Feet	Side of Bldg	Wall Area
Length of Windows	51.7 Feet	South	2,205 709.00
Percent of Window Length	70.73%	West	3,980 1,183.00
Minimum Required % of Window Length	60.00%	East	4,044 873.25
2) Facade Area	974 SF	Percent of Window Area	48.59%
Area of Windows	483 SF	Minimum Required % of Window Area	40.00%
3) Total Length of Window	51.7 Feet	Length of Window w/20' Below 3' Above Grade	51.7 Feet
Length of Window w/20' Below 3' Above Grade	51.7 Feet	Percent of Window Length w/20' Below 3' A.G.	100.00%
Minimum Required % of Length	50.00%		



1 WEST ELEVATION
A200 SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION
A200 SCALE: 1/8"=1'-0"



3 NORTH ELEVATION
A200 SCALE: 1/8"=1'-0"

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BUILDING ELEVATIONS

A200

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ELEVATION KEY NOTES:

- | | | |
|---|---|--|
| 1 CAST CONCRETE - SANDBLASTED NATURAL | 10 GLAD WOOD DOOR | 18 SIGNAGE LOCATION - RAISED ANODIZED ALUMINUM LETTER
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| 8 PRE-FINISHED ALUMINUM RAILING | 17 PRE-FINISHED LED SIGN LIGHT | |
| 9 FIBERGLASS WINDOW WITH INSULATED GLASS | | |

- T.O. BLOCKING/COPING
EL. 147'-4"
- FOURTH FLOOR
EL. 138'-4"
- THIRD FLOOR
EL. 124'-4"
- SECOND FLOOR
EL. 113'-4"
- GRADE FLOOR
EL. 100'-0" (22'-8")
- LOWER FLOOR
EL. 89'-6" (12'-2")

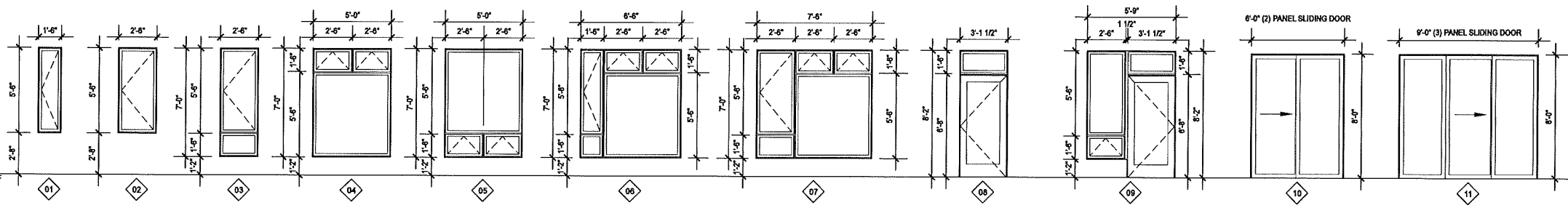


1 EAST ELEVATION
SCALE: 1/8"=1'-0"

NOTE REGARDING WINDOW ORIENTATION:
REFER TO ELEVATIONS FOR SWING AND
ORIENTATION OF WINDOW TYPES AS WELL
AS PULL DIRECTION OF SLIDING DOOR
SYSTEMS.

SECOND AND THIRD FLOOR ELEVATION
FOURTH FLOOR ELEVATION SET HEADS AT 8'-0" AFF

2 WINDOW AND DOOR LAYOUT
SCALE: 1/4"=1'-0"



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**BUILDING ELEVATIONS
AND WINDOW LAYOUT**

A201



Building along Glenway Street



Building from Glenway Street and Monroe Street



Building along Monroe Street



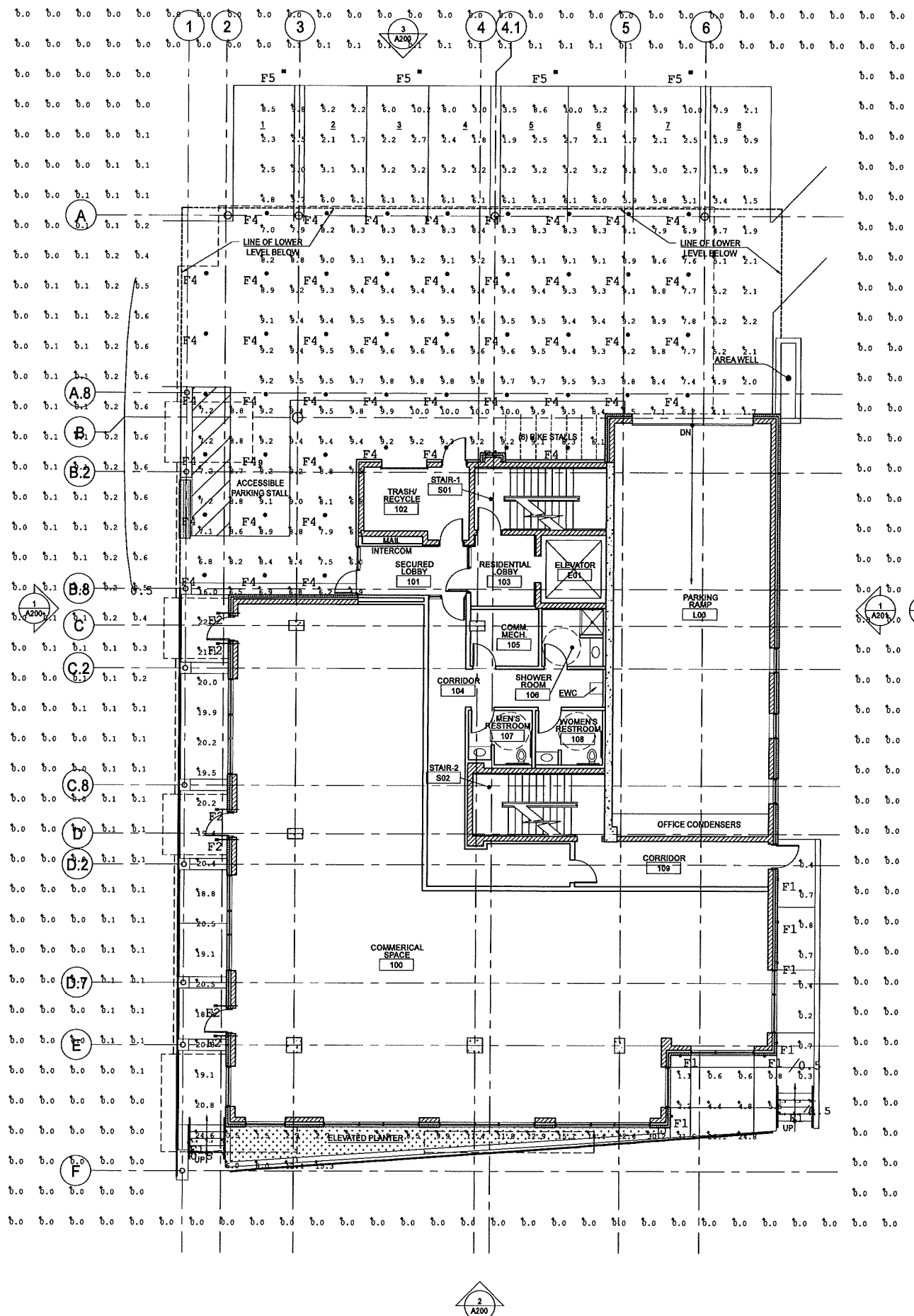
Building along Monroe Street

13002.00 **Building Images**
the GLEN - Patrick Properties
Scale: NTS

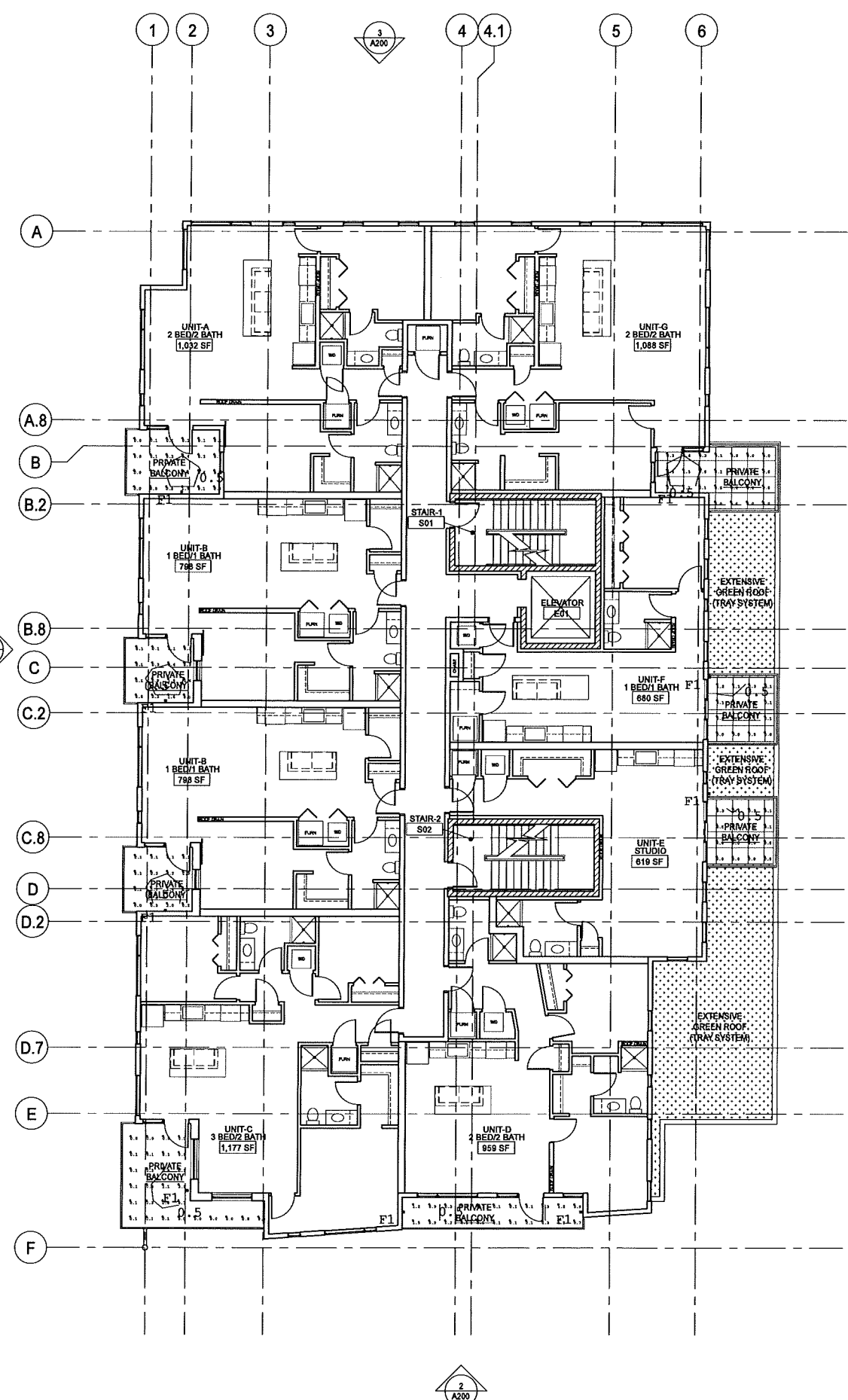
February 9, 2015 - Landmarks Commission Submittal

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1 GRADE FLOOR EXTERIOR PHOTOMETRICS PLAN
SCALE: 1/8"=1'-0"



2 SECOND FLOOR EXTERIOR PHOTOMETRICS PLAN
SCALE: 1/8"=1'-0"

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EXTERIOR
PHOTOMETRICS -
GRADE AND SECOND

E001

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November 17, Project Folder 13002.00 - The Glen 01 Drawings E001.dwg

Project Name: The Glen
Project #: 13002.00

