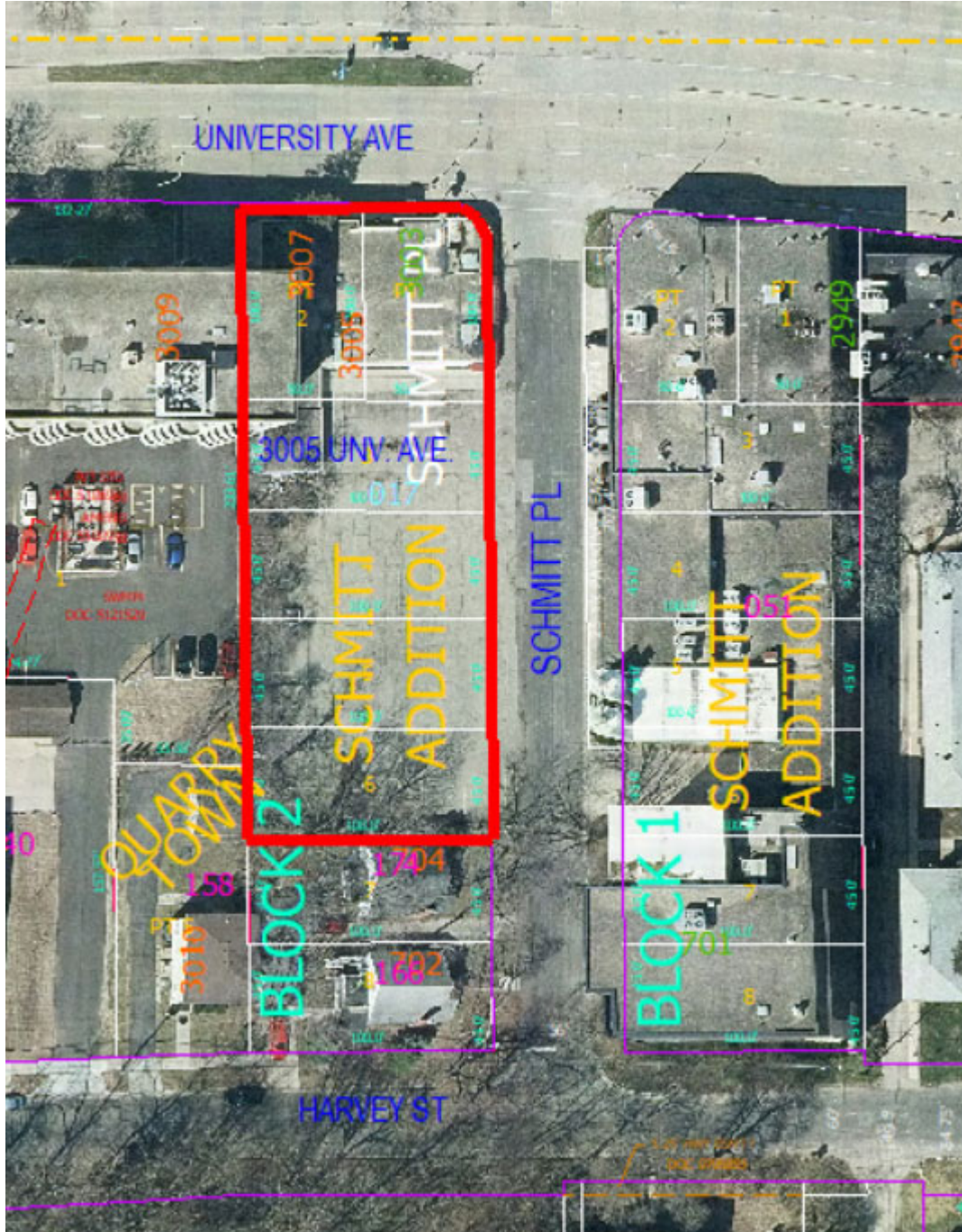


3005 University Avenue  
Contract 9187  
MUNIS 14202  
Developer: 3005 University Avenue, LLC



### **Summary of Improvements:**

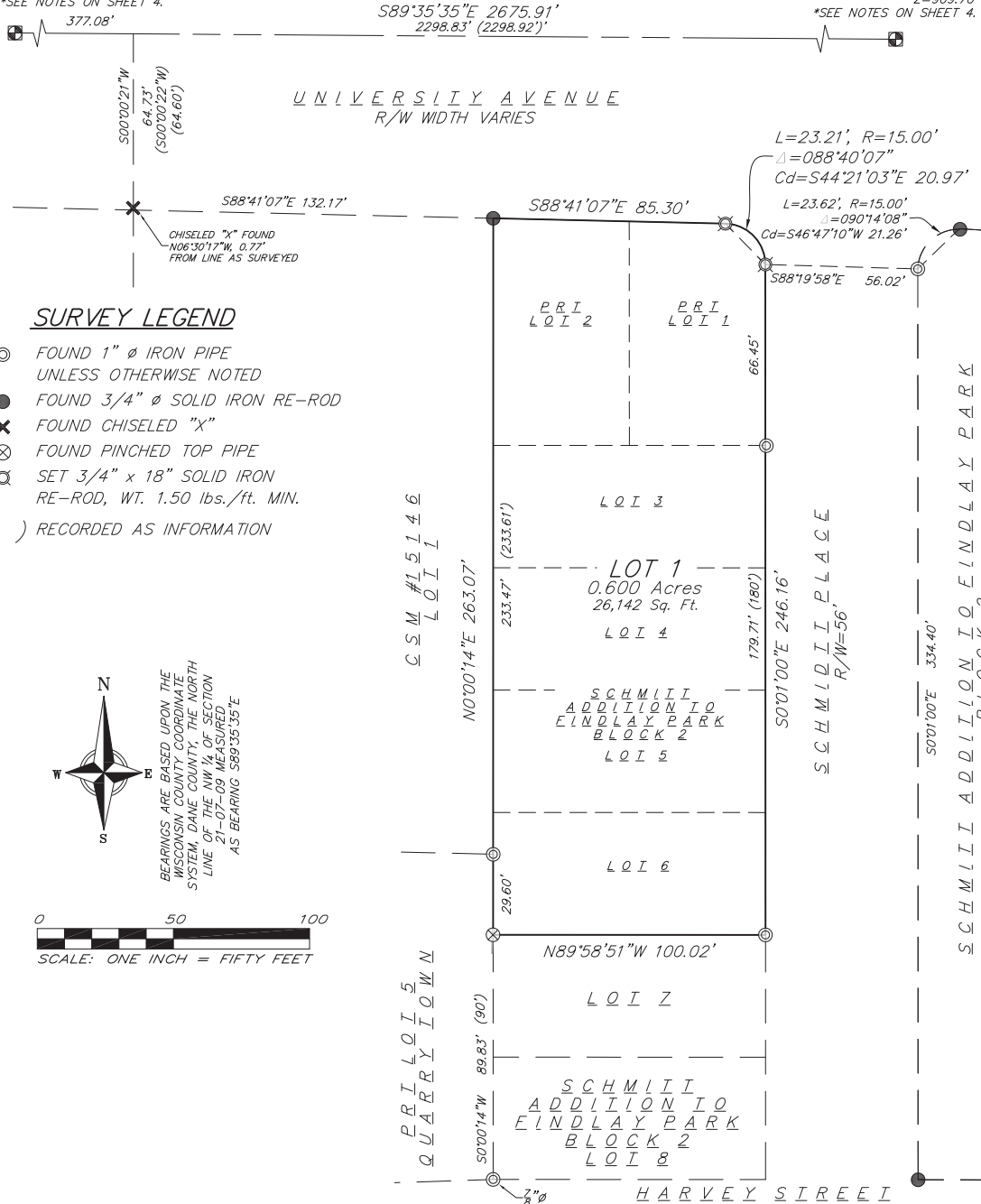
- Dedicate right of way or grant public sidewalk easement and construct 8-foot wide sidewalk, 6-foot terrace, and 1-foot buffer on University Avenue adjacent to the redevelopment. Coordinate with the City's University Avenue reconstruction project for 2022-2023.
- Dedicate right of way or grant public sidewalk easement resulting in a 32-foot wide street (face to face) for Schmitt Place. Construct 5-foot wide sidewalk, 8-foot terrace, 1-foot buffer strip, curb & gutter, and 4 feet of street pavement. All or a portion of these improvements may be constructed by the City's upcoming Schmitt Place reconstruction project and assessed to the developer.
- Construct public storm sewer across Schmitt Place to provide connection for private storm sewer needed to serve the redevelopment. This public storm sewer may be completed as part of the City's upcoming Schmitt Place reconstruction project and assessed to the developer.
- Private drive apron on Schmitt Place
- Private sanitary, storm, and water service laterals
- There are no existing street trees. New trees will be planted as part of the University Avenue and Schmitt Place reconstruction projects.

# CERTIFIED SURVEY MAP No. \_\_\_\_\_

LOTS 1, 2, 3, 4, 5, AND 6, BLOCK 2, SCHMITT ADDITION TO FINDLAY PARK, AS RECORDED IN VOLUME 7 OF PLATS, ON PAGE 37, AS DOCUMENT NUMBER 538259, DANE COUNTY REGISTRY, EXCEPT THOSE PORTIONS INCLUDED IN AWARD OF DAMAGES RECORDED IN VOLUME 221 OF RECORDS, PAGE 5, AS DOCUMENT NUMBER 1280353, DANE COUNTY REGISTRY, LOCATED IN THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER (NW 1/4 - NW 1/4) OF SECTION 21, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN

NW CORNER OF SEC. 21-07-09  
FOUND BRASS CAPPED MONUMENT  
WITH CUT "X" ON CAP OF RECORD  
MEASURED COORDS:  
N=483044.75; E=805250.55  
Z=879.22  
\*SEE NOTES ON SHEET 4.

N 1/4 CORNER OF SEC. 21-07-09  
FOUND BRASS CAPPED MONUMENT  
OF RECORD  
MEASURED COORDS:  
N=483025.64; E=807926.56  
Z=909.70  
\*SEE NOTES ON SHEET 4.



## SURVEY LEGEND

- ⊙ FOUND 1"  $\phi$  IRON PIPE UNLESS OTHERWISE NOTED
- FOUND 3/4"  $\phi$  SOLID IRON RE-ROD
- ✕ FOUND CHISELED "X"
- ⊗ FOUND PINCHED TOP PIPE
- ⊠ SET 3/4" x 18" SOLID IRON RE-ROD, WT. 1.50 lbs./ft. MIN.
- ( ) RECORDED AS INFORMATION

10 Jan 2022 - 8:27a M:\Flad Development\190018\_3005 University Avenue\CADD\190018\_CSM.dwg by: mmar

**PREPARED FOR:**  
FLAD DEVELOPMENT &  
INVESTMENT CORP.  
ATTN: JOHN FLAD  
3330 UNIVERSITY AVENUE  
SUITE 206  
MADISON, W 53705

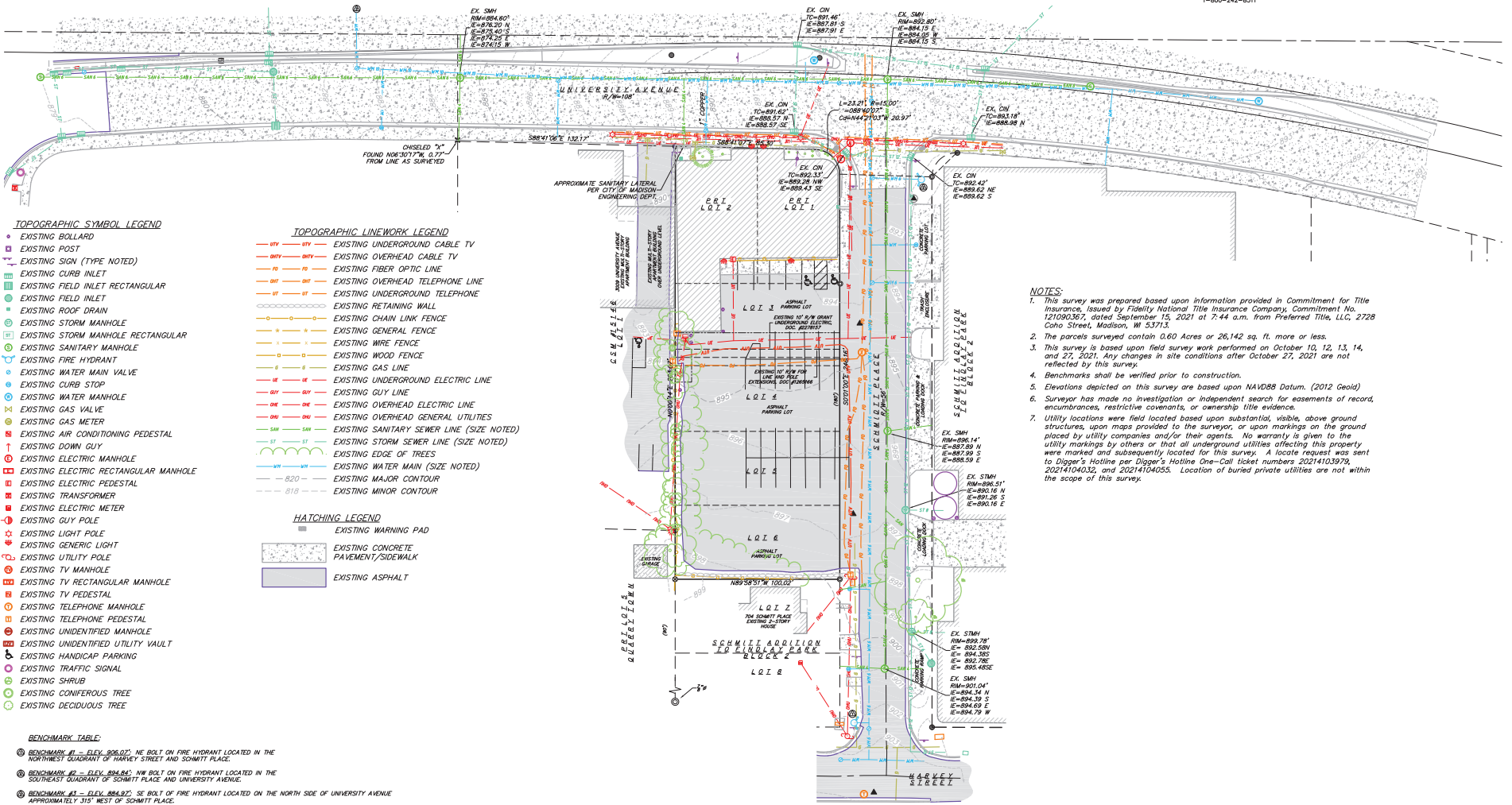
**PREPARED BY:**  
VIERBICHER ASSOCIATES, INC.  
BY: MICHAEL S. MARTY  
999 FOURIER DRIVE,  
SUITE 201  
MADISON, W 53717  
(608)-821-3955  
mmar@vierbicher.com

- SURVEY LEGEND**
- ⊙ BENCHMARK
  - ✕ FOUND CHISELED "X"
  - ⊙ FOUND 1" ⌀ IRON PIPE
  - ⊙ FOUND 2" ⌀ IRON PIPE
  - ⊙ FOUND 1 1/4" ⌀ IRON ROD
  - ⊙ FOUND 3/4" ⌀ IRON ROD



THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE  
1-800-242-8511



**TOPOGRAPHIC SYMBOL LEGEND**

- ⊙ EXISTING BOLLARD
- ⊙ EXISTING POST
- ⊙ EXISTING SIGN (TYPE NOTED)
- ⊙ EXISTING CURB INLET
- ⊙ EXISTING FIELD INLET RECTANGULAR
- ⊙ EXISTING FIELD INLET
- ⊙ EXISTING ROOF DRAIN
- ⊙ EXISTING STORM MANHOLE
- ⊙ EXISTING STORM MANHOLE RECTANGULAR
- ⊙ EXISTING SANITARY MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER MAIN VALVE
- ⊙ EXISTING CURB STOP
- ⊙ EXISTING WATER MANHOLE
- ⊙ EXISTING GAS VALVE
- ⊙ EXISTING GAS METER
- ⊙ EXISTING AIR CONDITIONING PEDESTAL
- ⊙ EXISTING DOWN GUY
- ⊙ EXISTING ELECTRIC MANHOLE
- ⊙ EXISTING ELECTRIC RECTANGULAR MANHOLE
- ⊙ EXISTING ELECTRIC PEDESTAL
- ⊙ EXISTING TRANSFORMER
- ⊙ EXISTING ELECTRIC METER
- ⊙ EXISTING TV MANHOLE
- ⊙ EXISTING TV RECTANGULAR MANHOLE
- ⊙ EXISTING TV PEDESTAL
- ⊙ EXISTING TELEPHONE MANHOLE
- ⊙ EXISTING TELEPHONE PEDESTAL
- ⊙ EXISTING UNIDENTIFIED MANHOLE
- ⊙ EXISTING UNIDENTIFIED UTILITY VAULT
- ⊙ EXISTING HANDICAP PARKING
- ⊙ EXISTING TRAFFIC SIGNAL
- ⊙ EXISTING SHRUB
- ⊙ EXISTING CONIFEROUS TREE
- ⊙ EXISTING DECIDUOUS TREE

**TOPOGRAPHIC LINEWORK LEGEND**

- UTY — EXISTING UNDERGROUND CABLE TV
- OUY — EXISTING OVERHEAD CABLE TV
- FO — EXISTING FIBER OPTIC LINE
- OT — EXISTING OVERHEAD TELEPHONE LINE
- UT — EXISTING UNDERGROUND TELEPHONE
- — EXISTING RETAINING WALL
- — EXISTING CHAIN LINK FENCE
- — EXISTING GENERAL FENCE
- — EXISTING WIRE FENCE
- — EXISTING WOOD FENCE
- — EXISTING GAS LINE
- — EXISTING UNDERGROUND ELECTRIC LINE
- — EXISTING GUY LINE
- — EXISTING OVERHEAD ELECTRIC LINE
- — EXISTING UNDERGROUND GENERAL UTILITIES
- — EXISTING SANITARY SEWER LINE (SIZE NOTED)
- — EXISTING STORM SEWER LINE (SIZE NOTED)
- — EXISTING EDGE OF TREES
- — EXISTING WATER MAIN (SIZE NOTED)
- — EXISTING MAJOR CONTOUR
- — EXISTING MINOR CONTOUR

**HATCHING LEGEND**

- ▨ EXISTING WARNING PAD
- ▨ EXISTING CONCRETE PAVEMENT/SIDEWALK
- ▨ EXISTING ASPHALT

**NOTES:**

1. This survey was prepared based upon information provided in Commitment for Title Insurance, issued by Fidelity National Title Insurance Company, Commitment No. 121090367, dated September 15, 2021 at 7:44 a.m. from Preferred Title, LLC, 2728 Calto Street, Madison, WI 53713.
2. The parcels surveyed contain 0.60 Acres or 26,142 sq. ft. more or less.
3. This survey is based upon field survey work performed on October 10, 12, 13, 14, and 27, 2021. Any changes in site conditions after October 27, 2021 are not reflected by this survey.
4. Benchmarks shall be verified prior to construction.
5. Elevations depicted on this survey are based upon NAVD88 Datum. (2012 Geoid)
6. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, or ownership title evidence.
7. Utility locations were field located based upon substantial, visible, above ground structures, upon maps provided to the surveyor, or upon markings on the ground placed by utility companies and/or their agents. No warranty is given to the utility markings by others or that all underground utilities affecting this property were marked and subsequently located for this survey. A locate request was sent to Digger's Hotline per Digger's Hotline One-Call ticket numbers 20214103979, 20214104032, and 20214104055. Location of buried private utilities are not within the scope of this survey.

**BENCHMARK TABLE:**

- ⊙ BENCHMARK #1 - ELEV. 806.02', NE BOLT ON FIRE HYDRANT LOCATED IN THE NORTHWEST QUADRANT OF HARVEY STREET AND SCHMITT PLACE.
- ⊙ BENCHMARK #2 - ELEV. 806.84', NW BOLT ON FIRE HYDRANT LOCATED IN THE SOUTHWEST QUADRANT OF SCHMITT PLACE AND UNIVERSITY AVENUE.
- ⊙ BENCHMARK #3 - ELEV. 806.92', SE BOLT OF FIRE HYDRANT LOCATED ON THE NORTH SIDE OF UNIVERSITY AVENUE APPROXIMATELY 315' WEST OF SCHMITT PLACE.

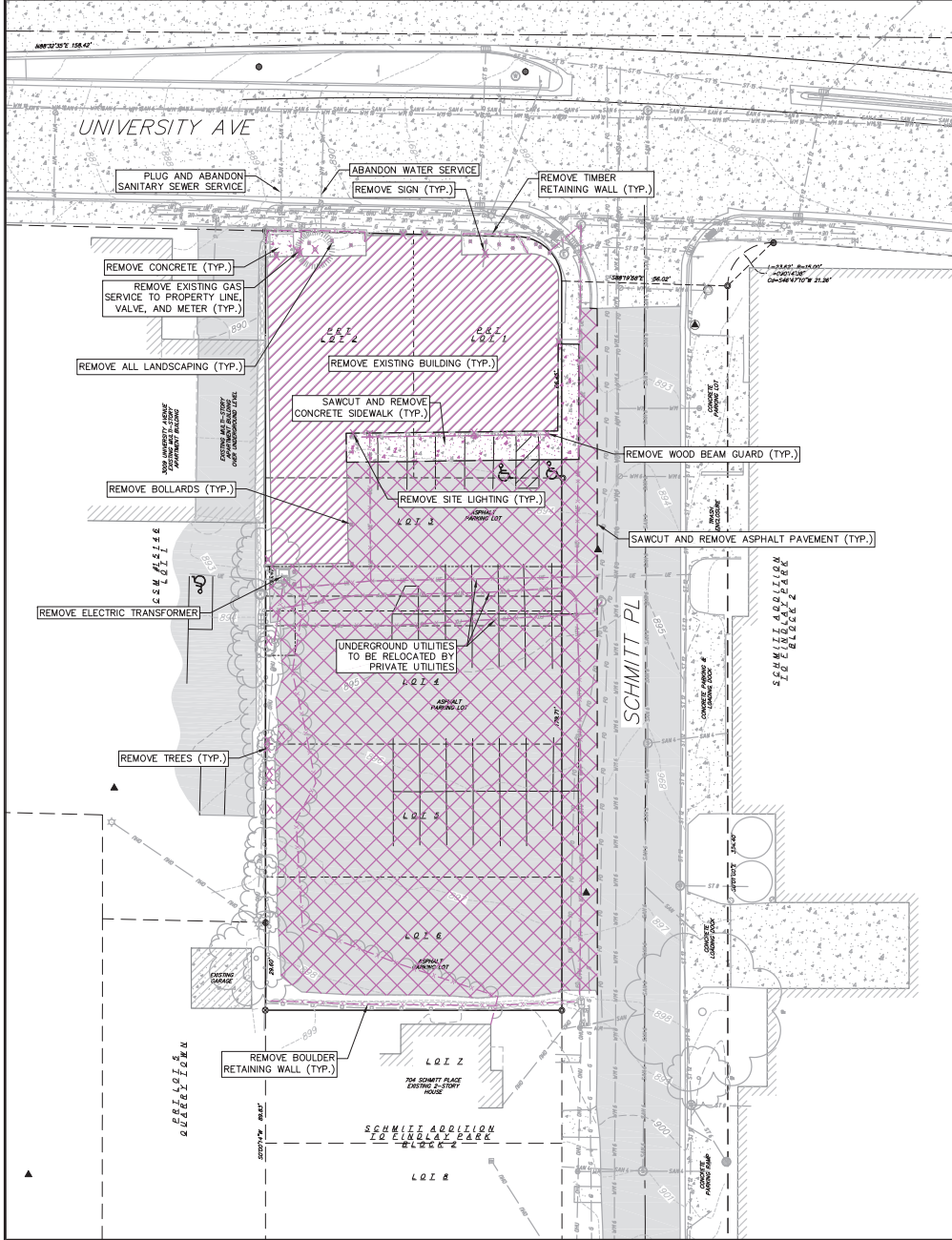


**Existing Conditions**  
3005 University Avenue  
City of Madison  
Dane County, Wisconsin

REV. NO.	DATE	REVISIONS	REMARKS

DATE: 04/29/2022  
DRAWN BY: ZDR  
CHECKED BY: JZM  
PROJECT NO.: 190018  
**C1.0**



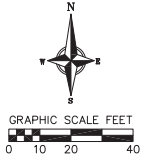


**DEMOLITION NOTES:**

1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
2. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
4. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
5. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
6. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
7. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
8. CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS AND RESTORING THE TERRACE WITH GRASS.
9. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
10. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.

**RIGHT-OF-WAY NOTES:**

1. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY AND ALL PUBLIC IMPROVEMENTS NECESSARY TO SERVE THE PROJECT ARE TO BE COMPLETED PER THE CITY/DEVELOPER AGREEMENT AND THE CITY ISSUED PLANS, PROJECT #XXXXX, CONTRACT #XXXX.
2. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPT'S.



**DEMOLITION PLAN LEGEND**

- CURB AND GUTTER REMOVAL
- ASPHALT REMOVAL
- CONCRETE REMOVAL
- BUILDING REMOVAL
- TREE REMOVAL
- SAWCUT
- UTILITY STRUCTURE REMOVAL
- UTILITY LINE REMOVAL

Dial 811 or (800) 242-8511  
www.DiggersHotline.com

THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

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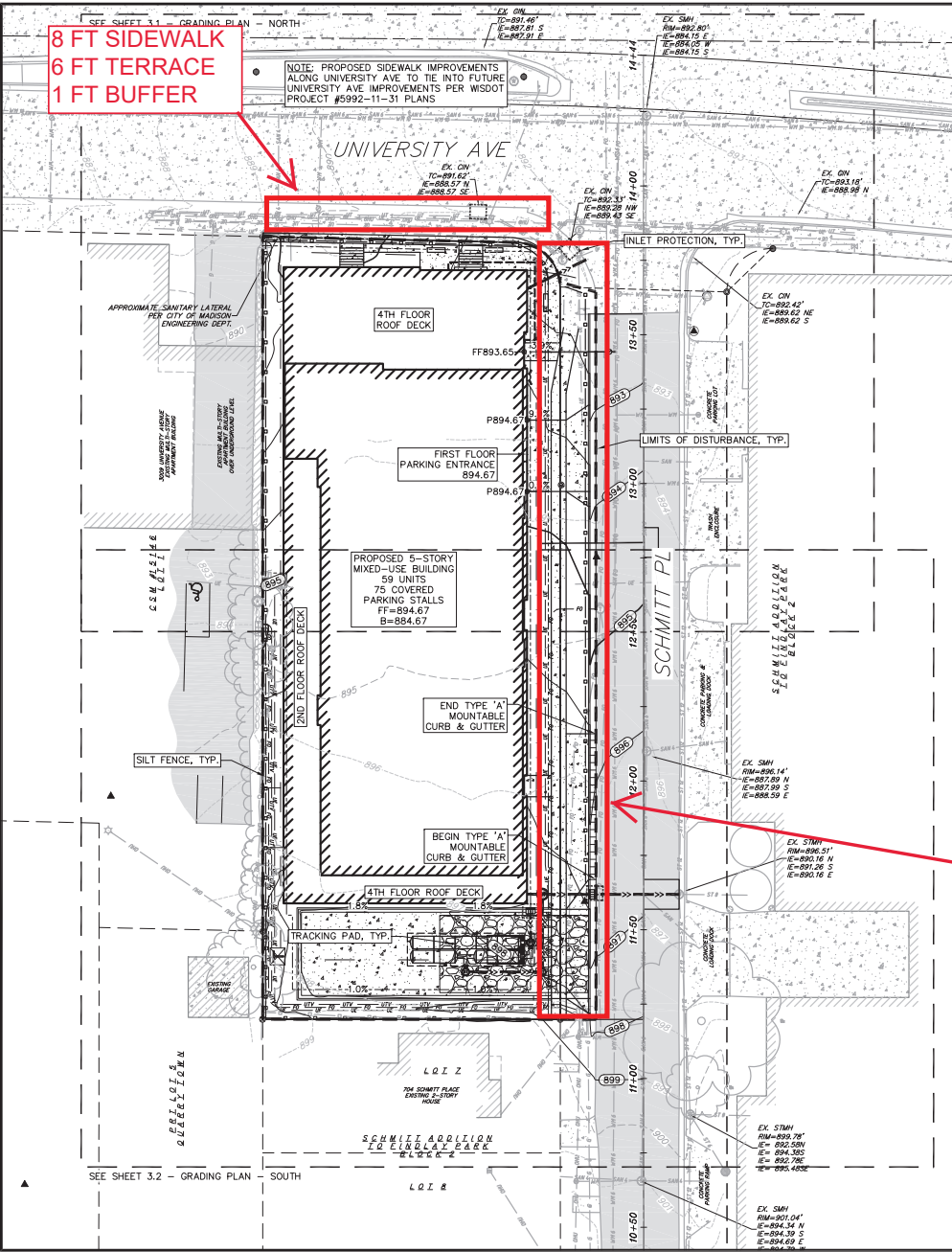


Demolition Plan  
3005 University Avenue  
City of Madison  
Dane County, Wisconsin

REV. NO.	DATE	REVISIONS	REMARKS

DATE: 04/29/2022  
DRAWN: ZDR  
CHECKED: JZAM  
PROJECT NO.: 190018

C2.0



GRADING NOTES:

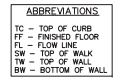
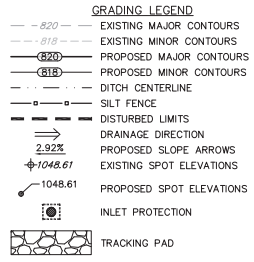
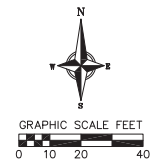
1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
2. ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
3. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
4. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
5. ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2.0% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 6.33% MAX SLOPE.
6. NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
7. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
8. EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
9. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.

EROSION CONTROL NOTES:

1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
2. INSTALL A 50'L X 20'W X 1.5'D TRACKING PAD AT THE SITE ENTRANCE. THE TRACKING PAD SHALL BE MAINTAINED/REPAIRED AS NECESSARY TO ACCOMMODATE CONSTRUCTION.
3. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR. ALL MAINTENANCE/REPAIR WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
4. INSTALL WISDOT TYPE D INLET PROTECTION IN EXISTING CURB INLETS AND WISDOT TYPE A IN FIELD INLETS.
5. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING.
6. THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEDED.

RIGHT-OF-WAY NOTES:

1. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY AND ALL PUBLIC IMPROVEMENTS NECESSARY TO SERVE THE PROJECT ARE TO BE COMPLETED PER THE CITY/DEVELOPER AGREEMENT AND THE CITY ISSUED PLANS, PROJECT #XXXXX, CONTRACT #XXXX.
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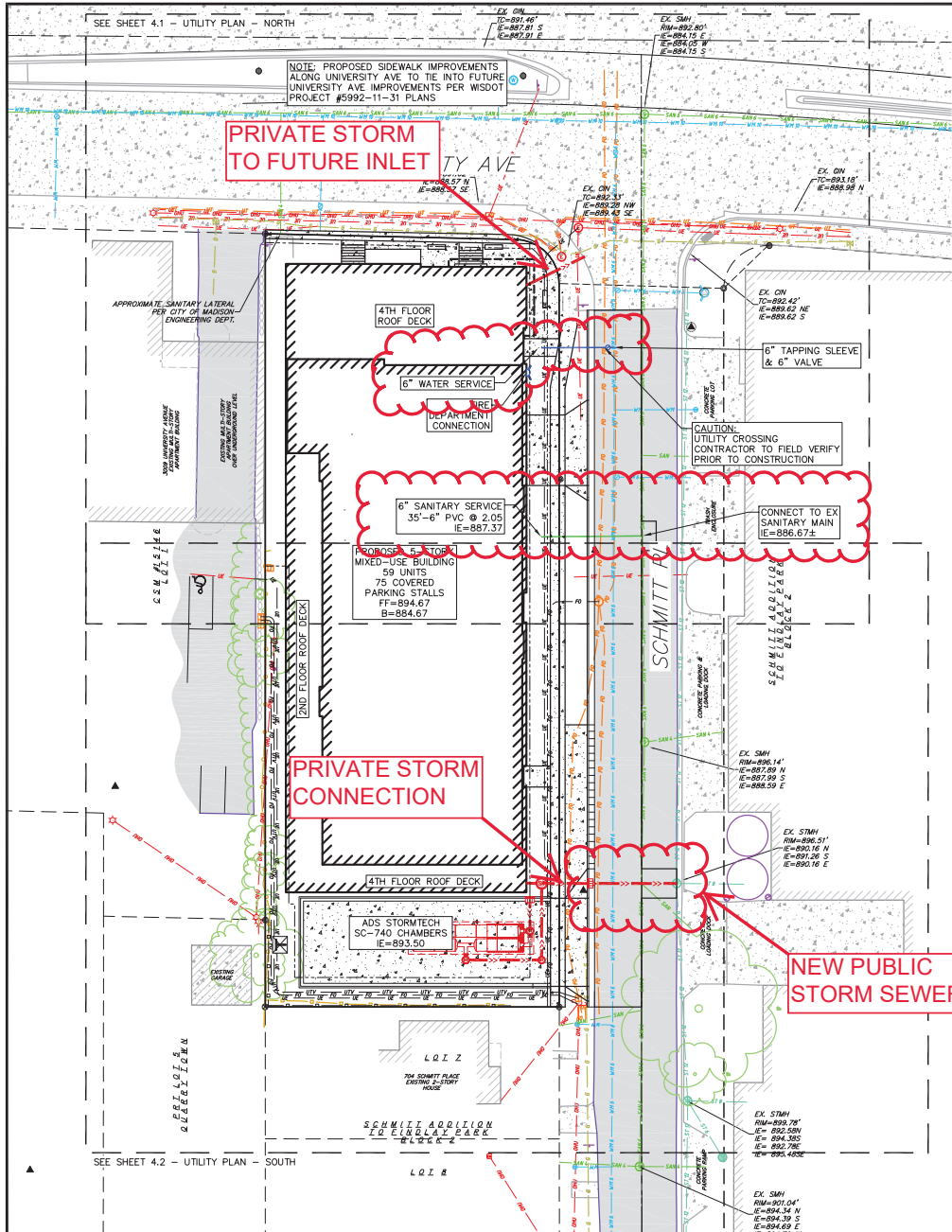


**5 FT SIDEWALK  
8 FT TERRACE  
1 FT BUFFER  
CURB & GUTTER  
4FT PAVEMENT**

NO.	DATE	REVISIONS	REMARKS

DATE: 04/29/2022  
DRAWN BY: ZDRE  
CHECKED BY: JZAM

PROJECT NO.: 190018  
**C3.0**



TOPOGRAPHIC SYMBOL LEGEND		TOPOGRAPHIC LINework LEGEND	
•	EXISTING BOLLARD	---OVY---OVY	EXISTING UNDERGROUND CABLE TV
•	EXISTING POST	---OVY---OVY	EXISTING OVERHEAD CABLE TV
•	EXISTING SIGN (TYPE NOTED)	---	EXISTING FIBER OPTIC LINE
•	EXISTING CURB INLET	---	EXISTING OVERHEAD TELEPHONE LINE
•	EXISTING FIELD INLET RECTANGULAR	---	EXISTING UNDERGROUND TELEPHONE
•	EXISTING FIELD INLET	---	EXISTING RETAINING WALL
•	EXISTING ROOF DRAIN	---	EXISTING CHAIN LINK FENCE
•	EXISTING STORM MANHOLE	---	EXISTING GENERAL FENCE
•	EXISTING STORM MANHOLE RECTANGULAR	---	EXISTING WIRE FENCE
•	EXISTING SANITARY MANHOLE	---	EXISTING WOOD FENCE
•	EXISTING FIRE HYDRANT	---	EXISTING GAS LINE
•	EXISTING WATER MAIN VALVE	---	EXISTING UNDERGROUND ELECTRIC LINE
•	EXISTING CURB STOP	---	EXISTING GUY LINE
•	EXISTING WATER MANHOLE	---	EXISTING OVERHEAD ELECTRIC LINE
•	EXISTING GAS VALVE	---	EXISTING OVERHEAD SEWER UTILITIES
•	EXISTING GAS METER	---	EXISTING SANITARY GENERAL LINE (SIZE NOTED)
•	EXISTING AIR CONDITIONING PEDESTAL	---	EXISTING STORM SEWER LINE (SIZE NOTED)
•	EXISTING DOWN GUY	---	EXISTING WATER MAIN (SIZE NOTED)
•	EXISTING ELECTRIC MANHOLE	---	
•	EXISTING ELECTRIC RECTANGULAR MANHOLE	---	
•	EXISTING ELECTRIC PEDESTAL	---	
•	EXISTING TRANSFORMER	---	
•	EXISTING ELECTRIC METER	---	
•	EXISTING GUY POLE	---	
•	EXISTING LIGHT POLE	---	
•	EXISTING GENERIC LIGHT	---	
•	EXISTING UTILITY POLE	---	
•	EXISTING TV MANHOLE	---	
•	EXISTING TV RECTANGULAR MANHOLE	---	
•	EXISTING TV PEDESTAL	---	
•	EXISTING TELEPHONE MANHOLE	---	
•	EXISTING TELEPHONE PEDESTAL	---	
•	EXISTING UNIDENTIFIED MANHOLE	---	
•	EXISTING UNIDENTIFIED UTILITY VAULT	---	
•	EXISTING HANDICAP PARKING	---	
•	EXISTING TRAFFIC SIGNAL	---	
•	EXISTING SHRUB	---	
•	EXISTING CONIFEROUS TREE	---	
•	EXISTING DECIDUOUS TREE	---	
PROPOSED UTILITY LEGEND			
---	STORM SEWER PIPE	---	SANITARY SEWER LATERAL PIPE
•	STORM SEWER MANHOLE	---	SANITARY SEWER CLEANOUT
•	STORM SEWER CURB INLET	---	WATER SERVICE LATERAL PIPE
•	STORM SEWER FIELD INLET	---	FIRE HYDRANT
•	ROOF DRAIN CLEANOUT	---	WATER VALVE
---	PROPOSED PIPE INSULATION	---	
---	GAS MAIN	---	
---	ELECTRIC SERVICE	---	
ABBREVIATIONS			
SMH	STORM MANHOLE		
FI	FIELD INLET		
CI	CURB INLET		
CS	CATCH BASIN		
EX	EXISTING		
SMH	SANITARY MANHOLE		

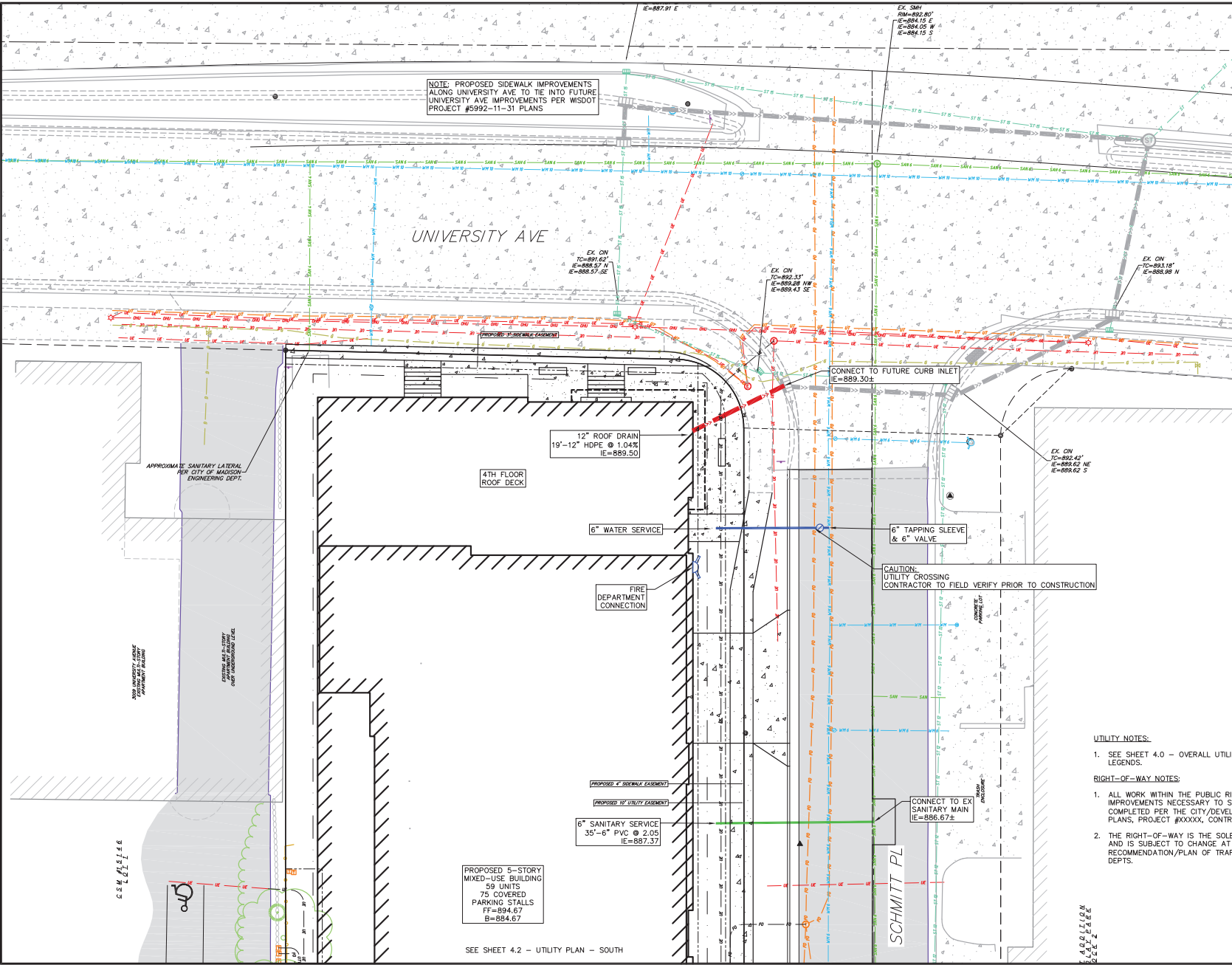
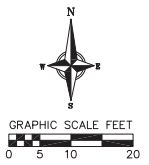


- #### UTILITY NOTES:
- CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
  - CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
  - SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
  - CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
  - IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
  - A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
  - PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
  - STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
  - UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
  - PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
  - PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
  - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).
- EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b).
  - NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
  - SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
  - CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES
  - CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
  - SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 21. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 26.
  - CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
  - ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
- #### RIGHT-OF-WAY NOTES:
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY AND ALL PUBLIC IMPROVEMENTS NECESSARY TO SERVE THE PROJECT ARE TO BE COMPLETED PER THE CITY/DEVELOPER AGREEMENT AND THE CITY ISSUED PLANS, PROJECT #XXXX, CONTRACT #XXXX.
  - THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.

NO.	DATE	REVISIONS	REMARKS



NOTE: PROPOSED SIDEWALK IMPROVEMENTS ALONG UNIVERSITY AVE TO TIE INTO FUTURE UNIVERSITY AVE IMPROVEMENTS PER WISDOT PROJECT #5992-11-31 PLANS



APPROXIMATE SANITARY LATERAL FOR CITY OF MADISON ENGINEERING DEPT.

4TH FLOOR ROOF DECK

12" ROOF DRAIN  
19'-12" HDPE @ 1.04%  
IE=889.50

6" WATER SERVICE

FIRE DEPARTMENT CONNECTION

6" TAPPING SLEEVE & 6" VALVE

CAUTION: UTILITY CROSSING CONTRACTOR TO FIELD VERIFY PRIOR TO CONSTRUCTION

PROPOSED 4" SIDEWALK EASEMENT

PROPOSED 10' UTILITY EASEMENT

6" SANITARY SERVICE  
35'-6" PVC @ 2.05  
IE=887.37

PROPOSED 5-STORY MIXED-USE BUILDING  
59 UNITS  
75 COVERED PARKING STALLS  
FF=894.67  
B=884.67

CONNECT TO FUTURE CURB INLET  
IE=889.30±

CONNECT TO EX SANITARY MAIN  
IE=886.67±

SCHMITT PL

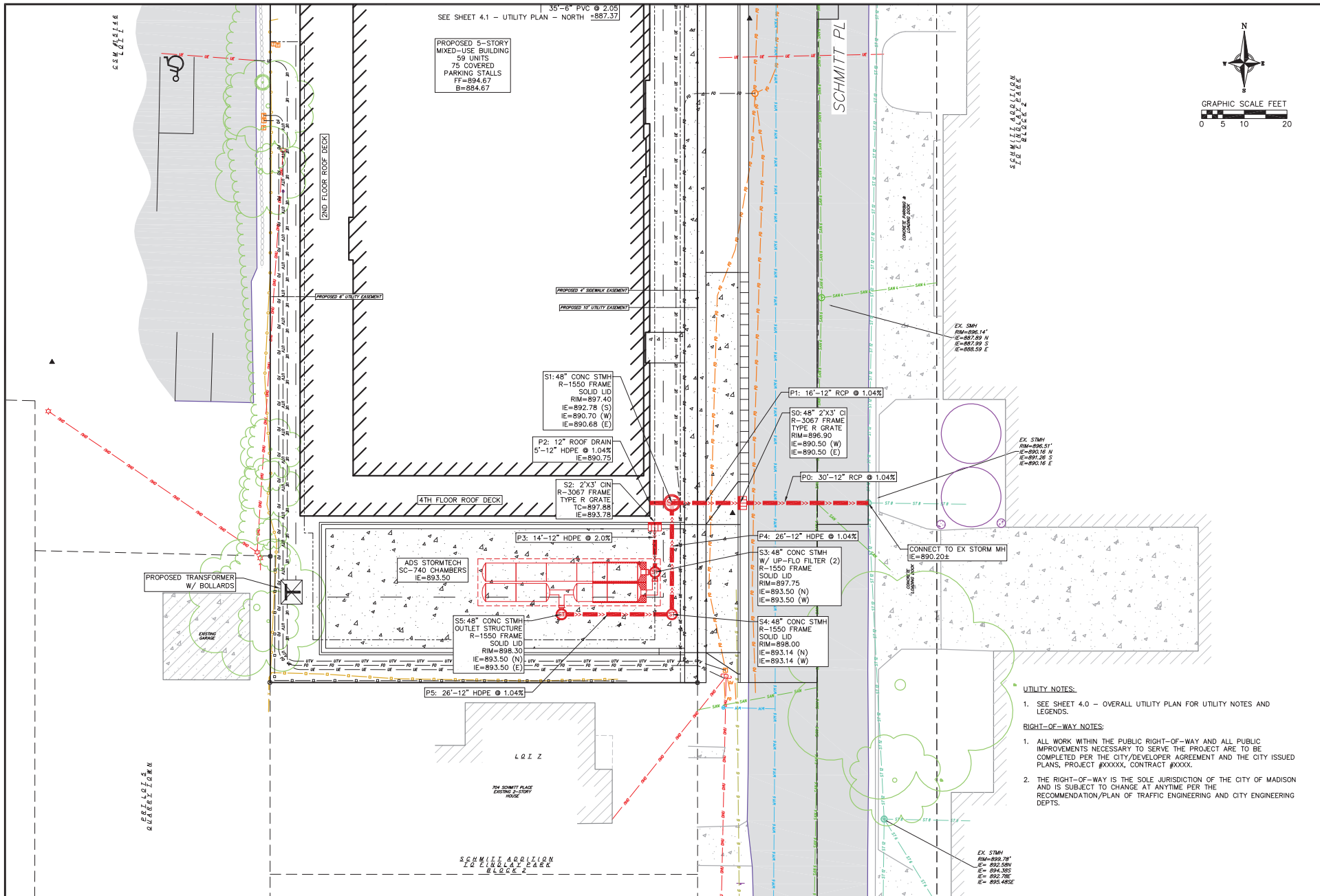
- UTILITY NOTES:**
- SEE SHEET 4.0 - OVERALL UTILITY PLAN FOR UTILITY NOTES AND LEGENDS.
- RIGHT-OF-WAY NOTES:**
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY AND ALL PUBLIC IMPROVEMENTS NECESSARY TO SERVE THE PROJECT ARE TO BE COMPLETED PER THE CITY/DEVELOPER AGREEMENT AND THE CITY ISSUED PLANS, PROJECT #XXXXX, CONTRACT #XXXX.
  - THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.

SEE SHEET 4.2 - UTILITY PLAN - SOUTH

NO.	DATE	REVISIONS	REMARKS

DATE: 04/29/2022  
 DRAFTER: ZDR  
 CHECKED: JZAM  
 PROJECT NO.: 190018  
**C4.1**





- UTILITY NOTES:**
- SEE SHEET 4.0 - OVERALL UTILITY PLAN FOR UTILITY NOTES AND LEGENDS.
- RIGHT-OF-WAY NOTES:**
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY AND ALL PUBLIC IMPROVEMENTS NECESSARY TO SERVE THE PROJECT ARE TO BE COMPLETED PER THE CITY/DEVELOPER AGREEMENT AND THE CITY ISSUED PLANS, PROJECT #XXXXX, CONTRACT #XXXX.
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**Utility Plan - South**  
3005 University Avenue  
City of Madison  
Dane County, Wisconsin

NO.	DATE	REVISIONS	REMARKS

DATE: 04/29/2022  
DRAWER: ZDRR  
CHECKED: JZAM  
PROJECT NO.: 190018  
**C4.2**