



SHEET INDEX - LAND USE SUBMITTAL	
G100	COVER
ASP - 001	SITE CONTEXT
ASP - 002	EXISTING SITE PLAN
ASP - 003	PRELIMINARY SITE PLAN
ASP - 004	USEABLE OPEN SPACE
ASP - 005	USEABLE OPEN SPACE
DP - 001	DEMOLITION PHOTOS - EXTERIOR
DP - 002	DEMOLITION PHOTOS - INTERIOR
C 1.0	EXISTING CONDITIONS
C 2.0	DEMOLITION PLAN
C 3.0	SITE PLAN
C 4.0	GRADING AND EROSION CONTROL PLAN
C 5.0	UTILITY PLAN
L 1.0	LANDSCAPING PLAN
EXH 1	FIRE ACCESS PLAN
SL - 1	SITE LIGHTING LAYOUT
A100	LOWER LEVEL ONE & LOWER LEVEL TWO PARKING PLANS
A101	GROUND FLOOR & SECOND FLOOR PLANS
A102	TYPICAL FLOOR & TOP FLOOR PLANS
A110	ROOF PLAN
A200	WEST AND EAST ELEVATIONS - COLOR
A201	NORTH AND SOUTH ELEVATIONS - COLOR
A202	COURTYARD NORTH & SOUTH ELEVATIONS - COLOR
A203	WEST AND EAST ELEVATIONS - BLACK/WHITE
A204	NORTH AND SOUTH ELEVATIONS - BLACK/WHITE
A205	COURTYARD NORTH & SOUTH ELEVATIONS - BLACK/WHITE
A210	PRELIMINARY RENDERINGS
A211	PRELIMINARY RENDERINGS
A212	PRELIMINARY RENDERINGS
A215	MATERIAL BOARD
A216	BIRD GLASS ELEVATIONS
A217	BIRD GLASS ELEVATIONS
A218	BIRD GLASS ELEVATIONS
A219	BIRD GLASS MATRIX



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YELLOWSTONE APARTMENTS

SITE CONTEXT

OCTOBER 02, 2023

ASP - 001



May 15, 2023

Municipalities

City

Ward Boundaries

Building Footprint

Parcels

1 foot Intervals

5 foot Intervals

1 foot Intervals

0 37.5 75 150 Feet



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ARCHITECTS

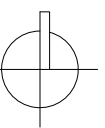
YELLOWSTONE APARTMENTS

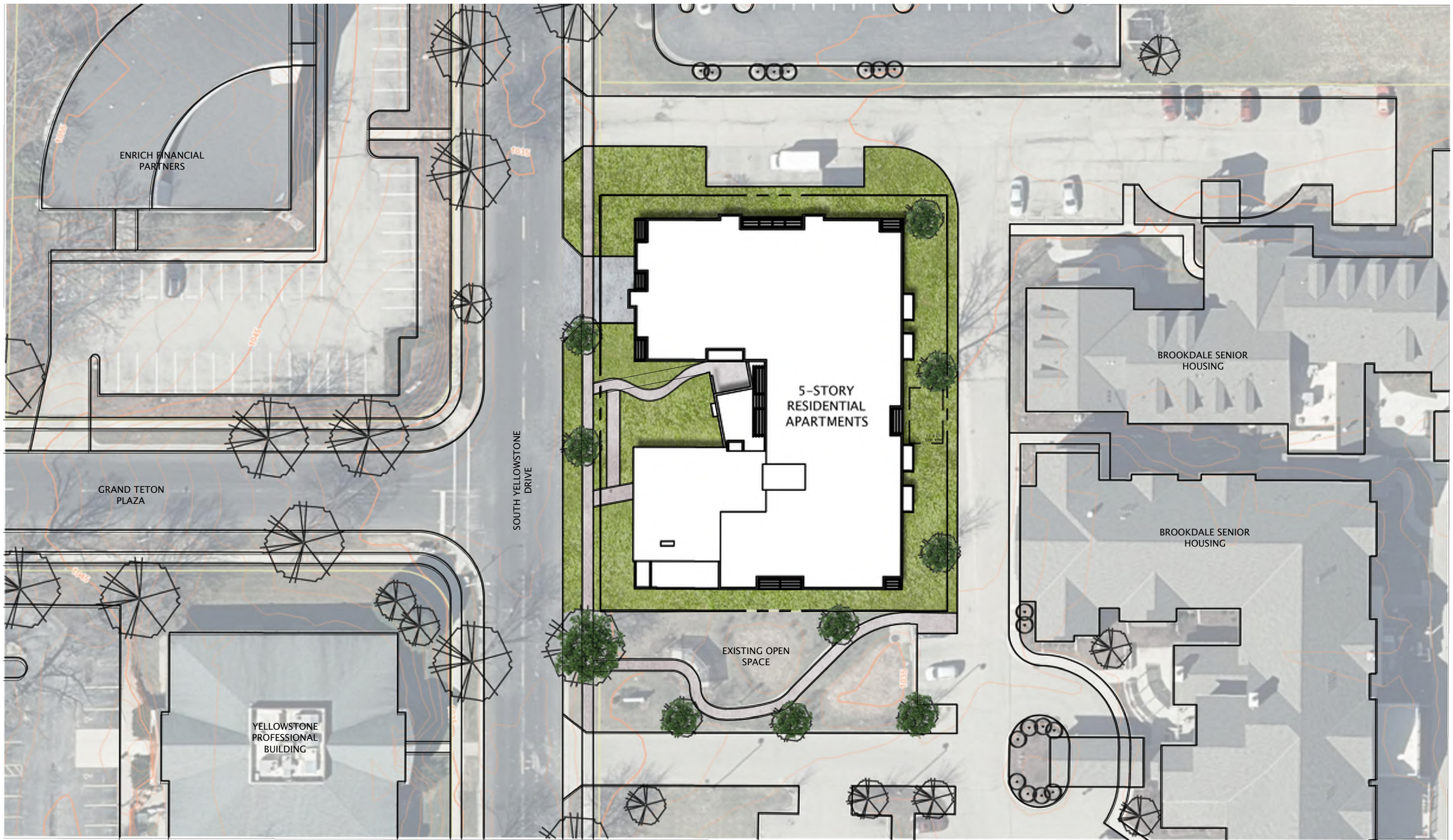
EXISTING SITE PLAN

OCTOBER 2, 2023

1"=100' @ 11x17

ASP-002





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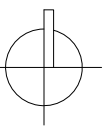
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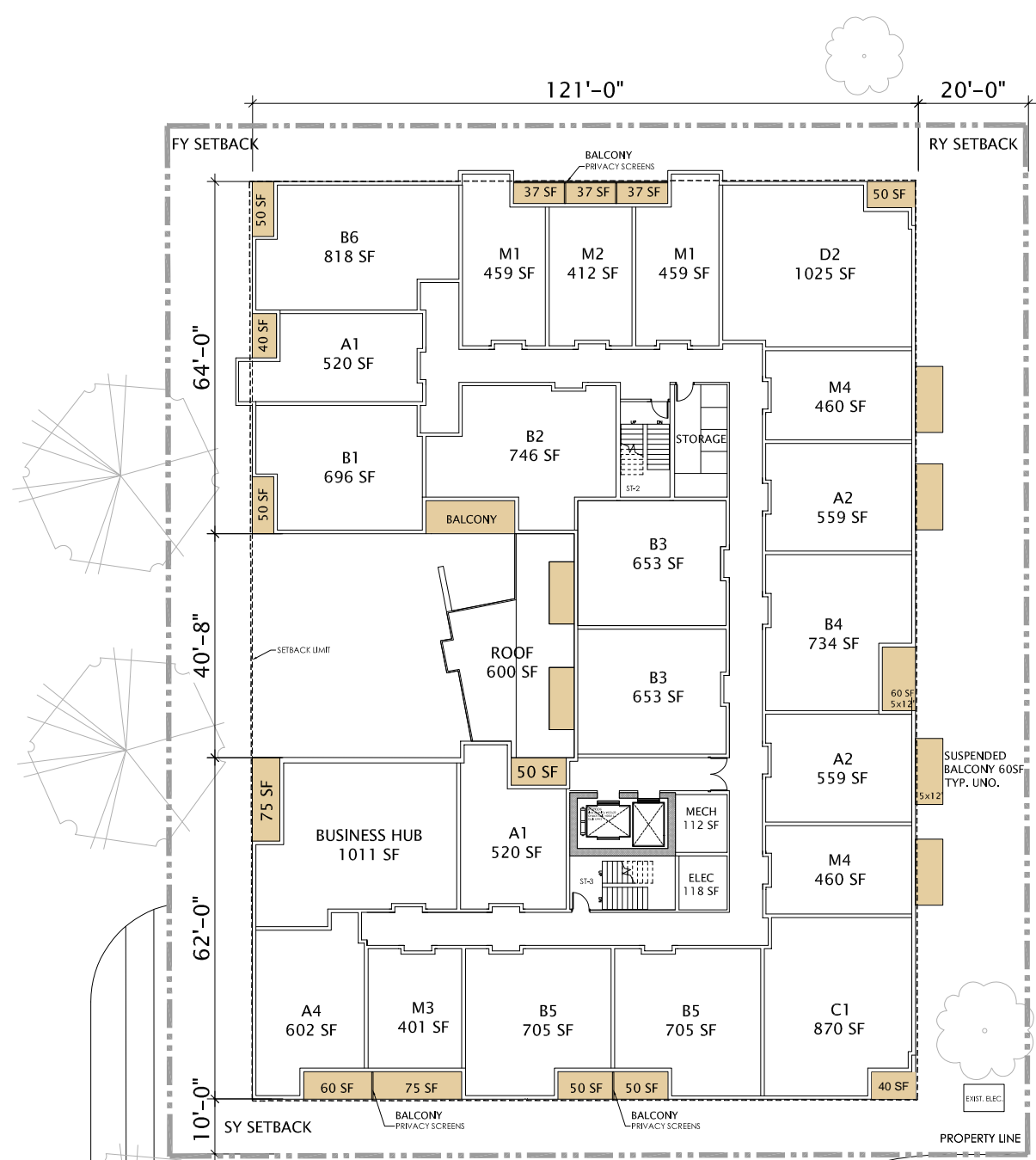
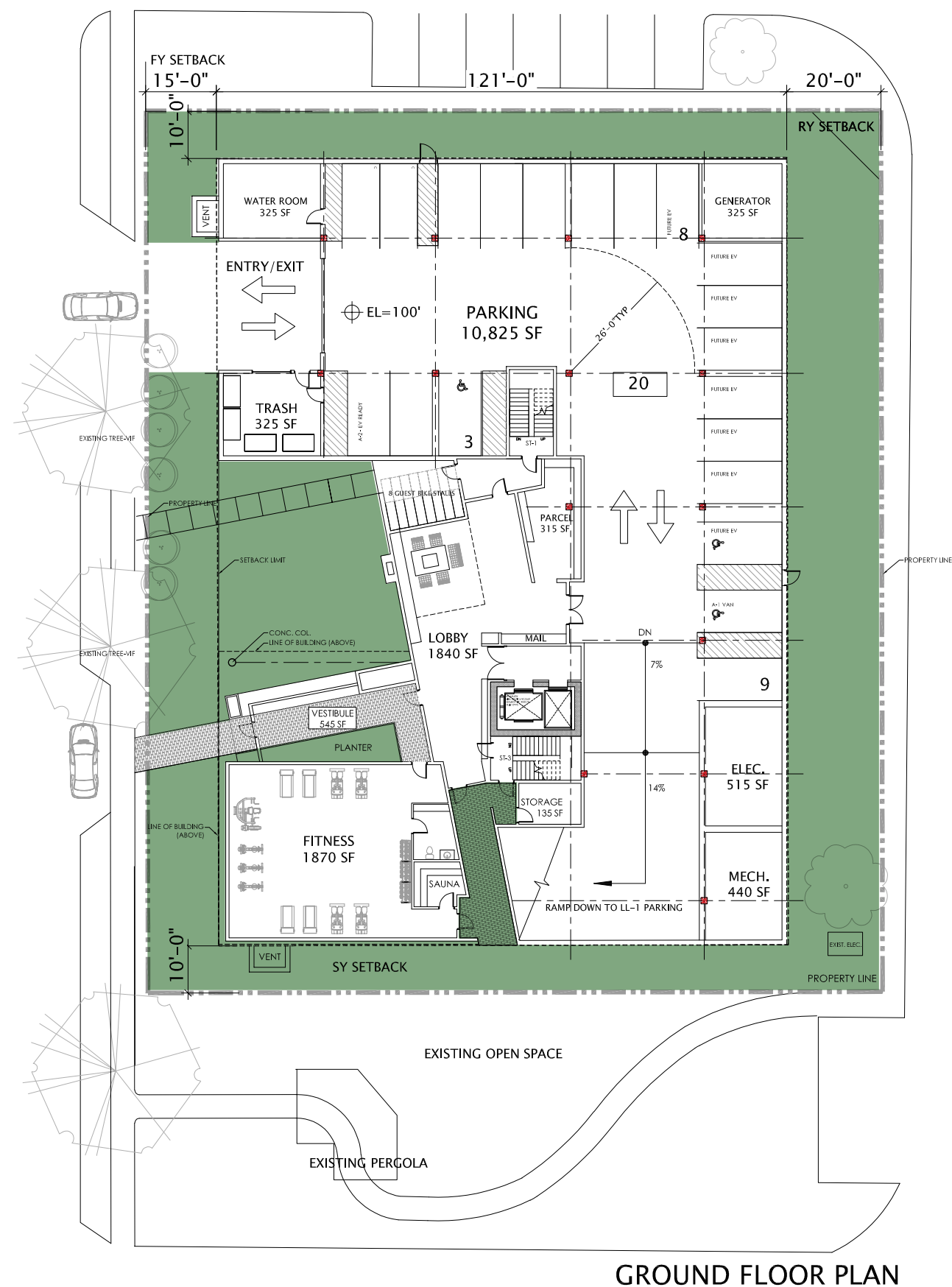
PRELIMINARY SITE PLAN

OCTOBER 2, 2023



1"=40' @ 11x17

ASP-003





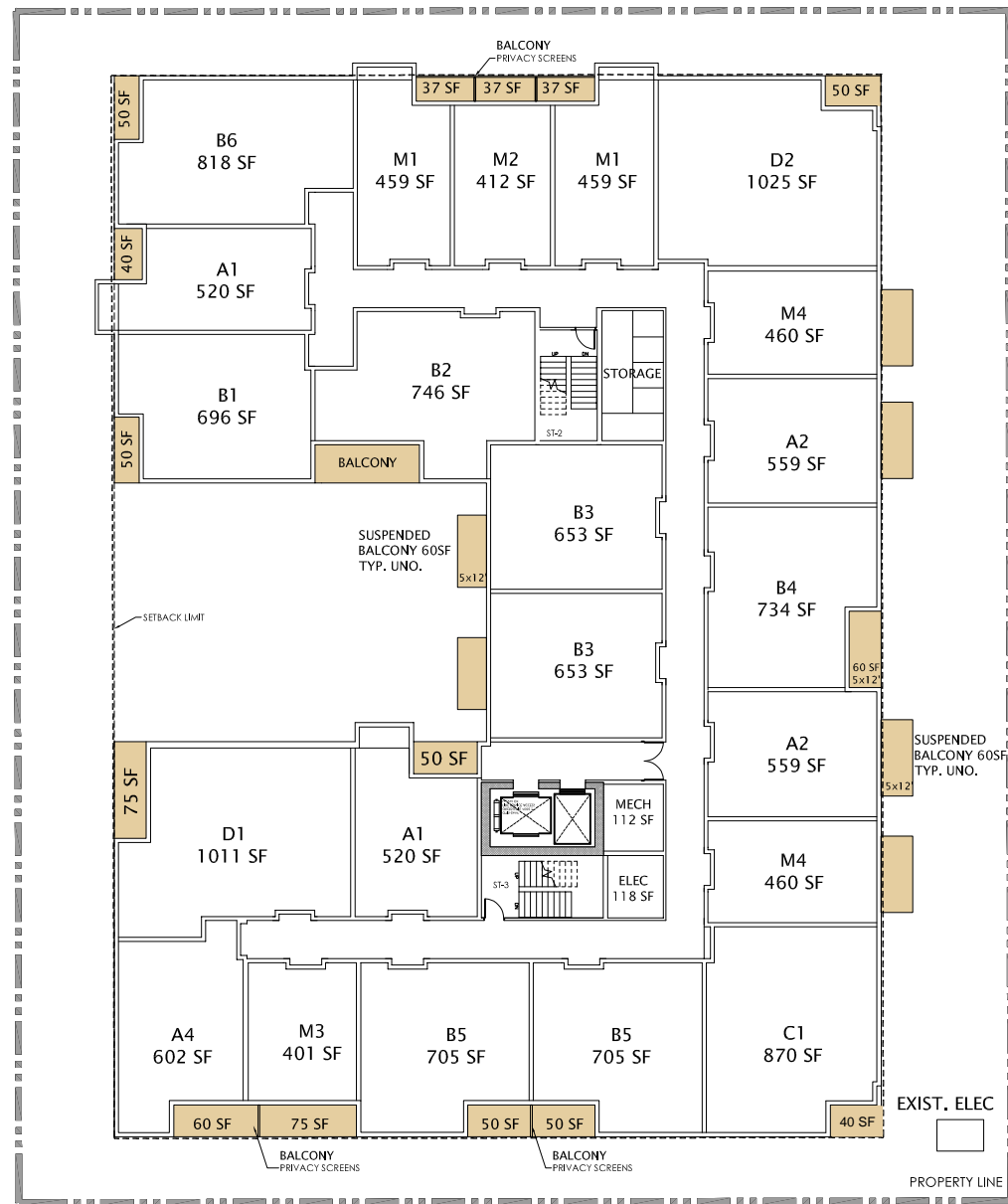
SECOND FLOOR PLAN

-  DENOTES USABLE OPEN AREA ON PLAN = 10,083 SF.
-  DENOTES USABLE OPEN AREA PRIVATE BALCONIES
2nd = 1,221 SF. + 3-5 (3,693 SF) TOTAL = 4,914 SF

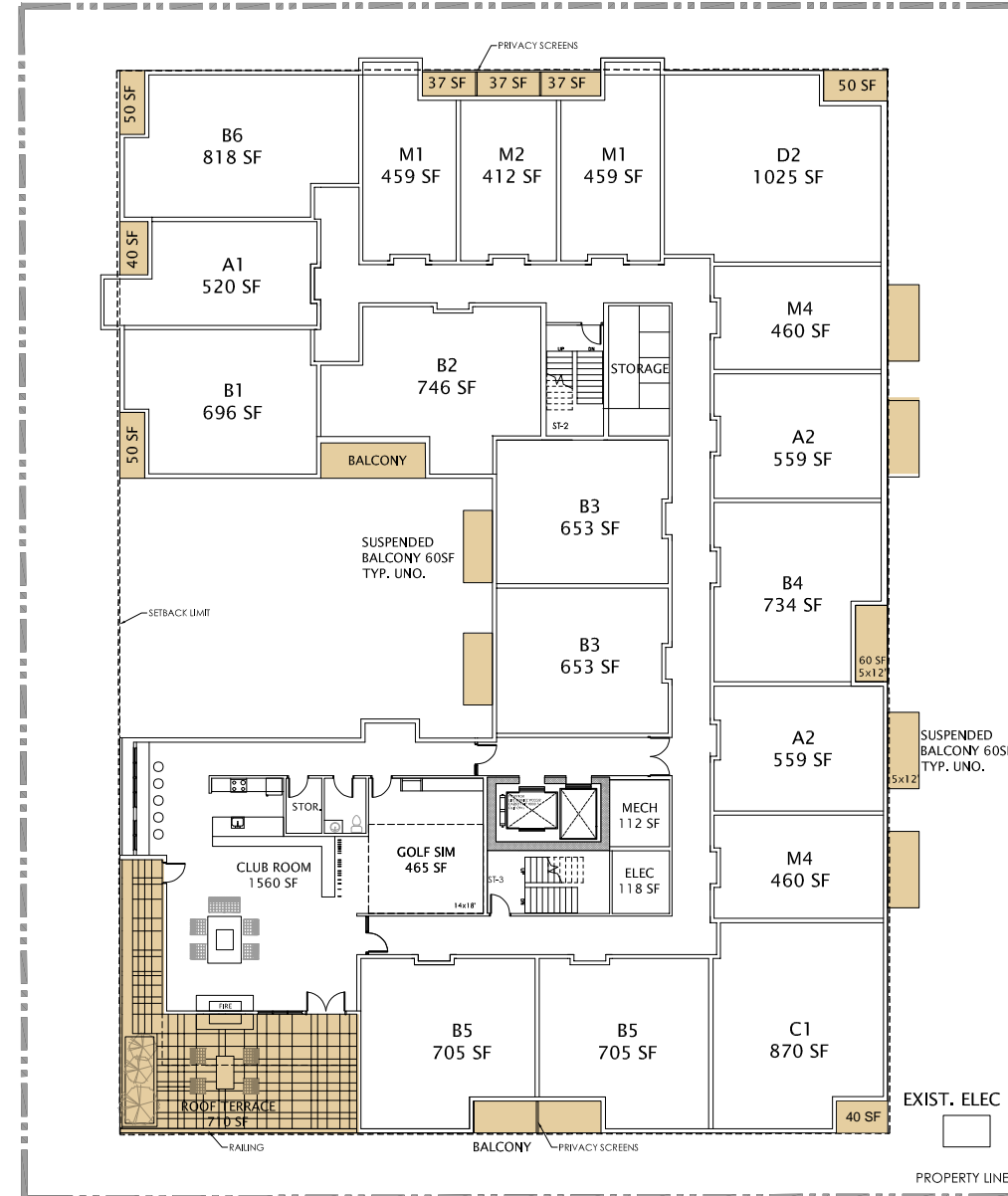
MINIMUM USABLE SPACE REQUIREMENT - SF/du (40/DU)
83 TOTAL DU x 40sf = 3,320. SF

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.



TYPICAL FLOOR PLAN

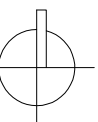


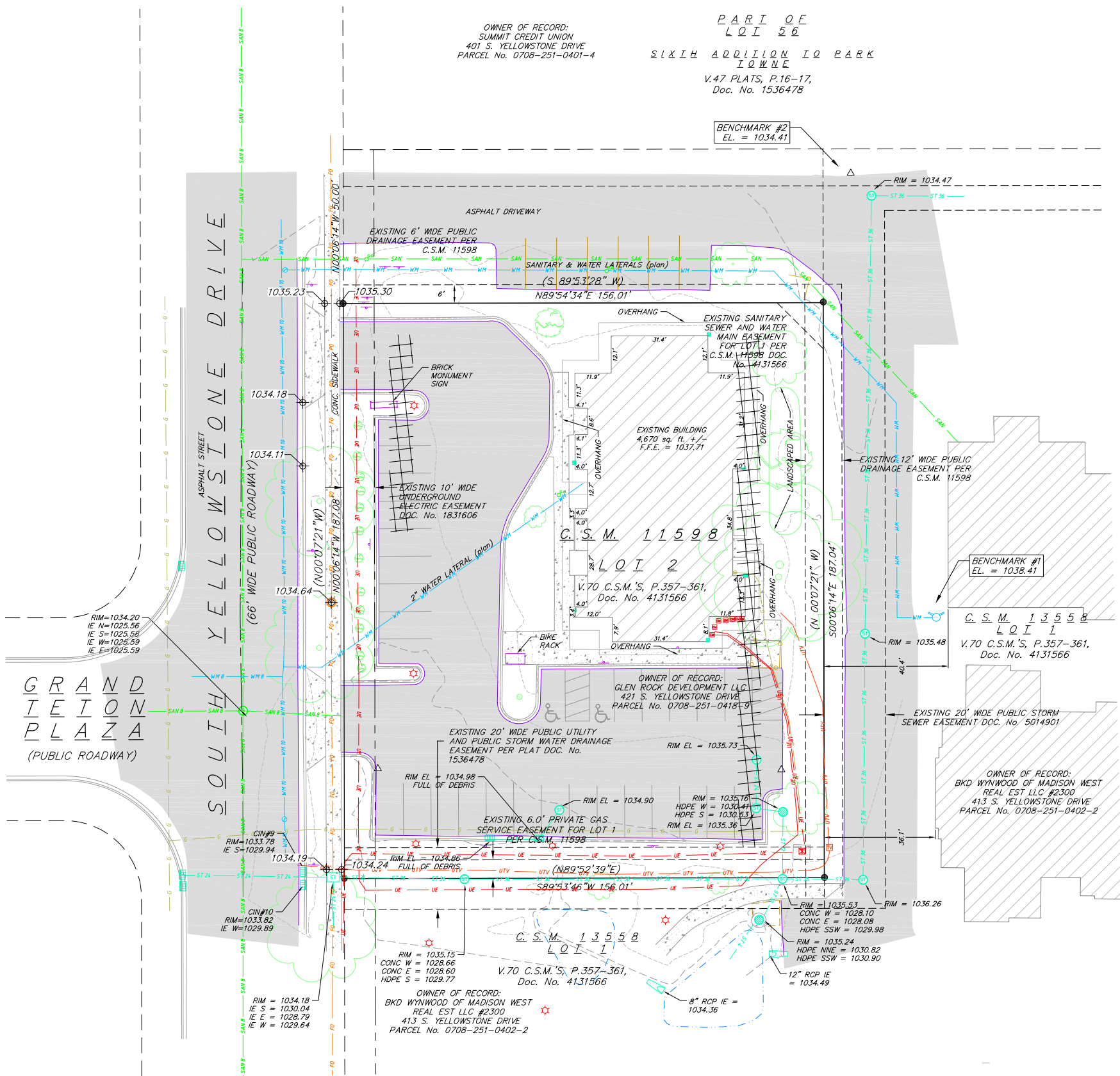
TOP FLOOR PLAN

DENOTES USABLE OPEN AREA PRIVATE
BALCONIES
3-4 = 2,242 SF. TOP = 1,451SF.

PROGRESS DOCUMENTS

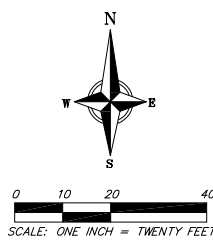
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SURVEYED FOR:
Walter Wayne Development
702 North High Point Road
Suite 200
Madison, WI 53717

SURVEYED BY:
Vierbicher Associates, Inc.
By: Baiba M. Rozite, PLS
600 W. Virginia St., Suite 601
Milwaukee, WI 53204
(262) 408-5564
broz@vierbicher.com



BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, WISCONSIN, THE EASTERLY RIGHT-OF-WAY LINE OF SOUTH YELLOWSTONE DRIVE MEASURED AS BEARING N00°06'14\"W

SURVEY LEGEND

FOUND 3/4" Ø IRON ROD
() INDICATES RECORDED AS

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING SIGN
- EXISTING CURB INLET
- EXISTING ENDWALL
- EXISTING FIELD INLET
- EXISTING STORM MANHOLE
- EXISTING SANITARY CLEANOUT
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING FIRE DEPT. CONNECTION
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- EXISTING TRANSFORMER
- EXISTING LIGHT POLE
- EXISTING TV PEDESTAL
- EXISTING HANDICAP PARKING

TOPOGRAPHIC LINE WORK LEGEND

- EXISTING UNDERGROUND CABLE TV
- EXISTING FIBER OPTIC LINE
- EXISTING UNDERGROUND TELEPHONE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING SANITARY SEWER LINE
- EXISTING STORM SEWER LINE
- EXISTING WATER MAIN
- EXISTING SPLIT-RAIL FENCE OR RAILING

- EXISTING CONCRETE
- EXISTING ASPHALT

BENCHMARK TABLE:

- BENCHMARK #1 - ELEV. 1038.13'; TOP NUT ON HYDRANT APPX. 36' EAST OF EAST PROPERTY LINE.
- BENCHMARK #2 - ELEV. 1034.41'; PK. NAIL SET APPX. 42' NORTH OF NORTHEAST LOT CORNER.

VERTICAL DATUM BASED ON NAVD88 GEOID18.

GENERAL SURVEY NOTES:

- Legal Description:**
Lot Two (2), Certified Survey Map No. 13558 recorded in the Office of the Register of Deeds for Dane County, Wisconsin, on August 8, 2013, in Volume 88 of Certified Survey Maps, page 268, as Document No. 5014901, located in the City of Madison, Dane County, Wisconsin.

EXISTING EASEMENTS are shown per Letter Report - 60 Year Search by Homestead Title Company, LLC, dated May 1, 2023. Parcel also subject to tree preservation restriction per plat of Sixth Addition to Park Towne, Doc. 1536478 and Declaration of Condition, Covenants and Restrictions for Maintenance of Stormwater Management Measures, recorded as Doc. 4159310 and corrected by Doc. 4507429.
- This survey is based upon field work performed on April 26, 2023. Any changes in site conditions after April 26, 2023 are not reflected by this survey.
- The total area of the parcel surveyed is 29,185 square feet 0.670 acres more or less.
- Address of Property: 421 S. Yellowstone Drive, Madison, WI
Parcel Number(s): 0708-251-0418-9
- Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that the current title search may disclose.
- No attempt has been made as a part of this survey to obtain or show data concerning size, depth, condition or capacity of any utility or municipal/public service facility. For information regarding these utilities or facilities contact the appropriate agencies.
- Total number of above-ground marked standard parking stalls = 30 (Underground parking stalls, if any, were not surveyed)
Total number of above-ground marked handicap parking stalls = 2
- Utility locations were field located based upon substantial, visible, above ground structures, upon maps provided to the surveyor, or upon markings on the ground placed by utility companies and/or their agents. No warranty is given to the utility markings by others or that all underground utilities affecting this property were marked and subsequently located for this survey. A locate request was sent to Digger's Hotline per Digger Hotline One-Call ticket numbers 20231621292 & 20231621294. Location of any buried private utilities is not within the scope of this survey. Source information from plans and markings will be combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response, in which case the surveyor shall note on the plat or map how this affected the surveyor's assessment of the location of the utilities. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary.
- Adjacent owner of record information noted on this survey including the addresses and parcel numbers were obtained from the Access Dane website on 05/01/2023.



THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE
1-800-242-8511

NOT FOR CONSTRUCTION

EXISTING CONDITIONS

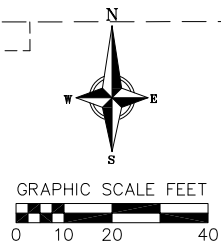
421 YELLOWSTONE DRIVE
CITY OF MADISON
DANE COUNTY, WISCONSIN

NO.	DATE	REVISIONS	NO.	DATE	REMARKS

DATE	10/02/2023
DRAFTER	DRAFTER
CHECKED	CHECKED
PROJECT NO.	230118

C1.0

PART OF
LOT 56
SIXTH ADDITION TO PARK
TOWNE



DEMOLITION PLAN LEGEND

- ✖

TRANSFORMER REMOVAL

✖

ELECTRIC METER REMOVAL

✖

GAS METER REMOVAL

✖

SANITARY CLEANOUT REMOVAL

✖

ROOF DRAIN REMOVAL

✖

CURB INLET REMOVAL

✖

FIELD INLET REMOVAL

✖

STORM MANHOLE REMOVAL

✖

SIGN REMOVAL

✖

LIGHT POLE REMOVAL

✖

BUSH REMOVAL

✖

TREE REMOVAL
- UNDERGROUND ELECTRIC REMOVAL

UNDERGROUND CATV REMOVAL

GAS UTILITY REMOVAL

WATER MAIN REMOVAL

STORM WATER PIPE REMOVAL

FENCE REMOVAL

MISCELLANEOUS REMOVAL

BUILDING REMOVAL

ASPHALT REMOVAL

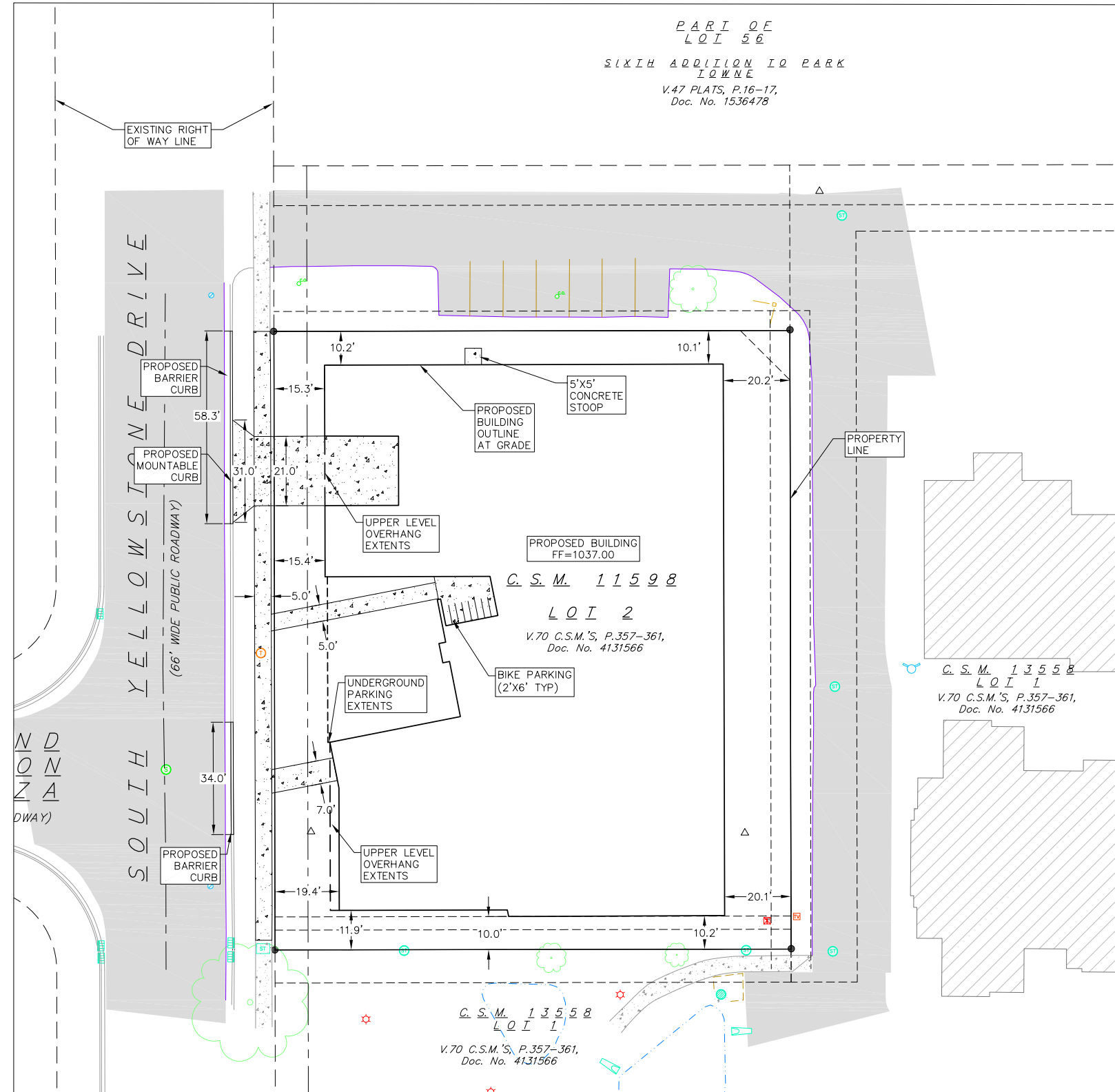
CONCRETE REMOVAL

CURB REMOVAL


DEMOLITION NOTES:

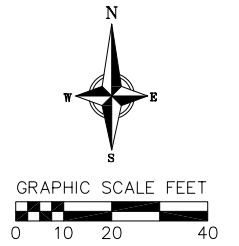
1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
2. CONTRACTOR SHALL HAVE A WATER TRUCK ON SITE DURING DEMOLITION AND WATER AREA AS NEEDED TO KEEP DUST DOWN.
3. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
4. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
5. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
6. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
7. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
8. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
9. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.

THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.



SITE PLAN LEGEND

- 



SITE PLAN NOTES:

1. CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
3. ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
4. CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
5. CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
6. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
7. NO VISUAL OBSTRUCTIONS ARE ALLOWED BETWEEN THE HEIGHTS OF 30 INCHES AND 10 FEET WITHIN THE VISION TRIANGLES.
8. CITY FORESTRY SHALL BE CONTACTED (608-266-4816) PRIOR TO INSTALLATION OF PARKWAY TREES TO VERIFY LOCATION, SPECIES, AND CONDITION.

THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

NOT FOR CONSTRUCTION

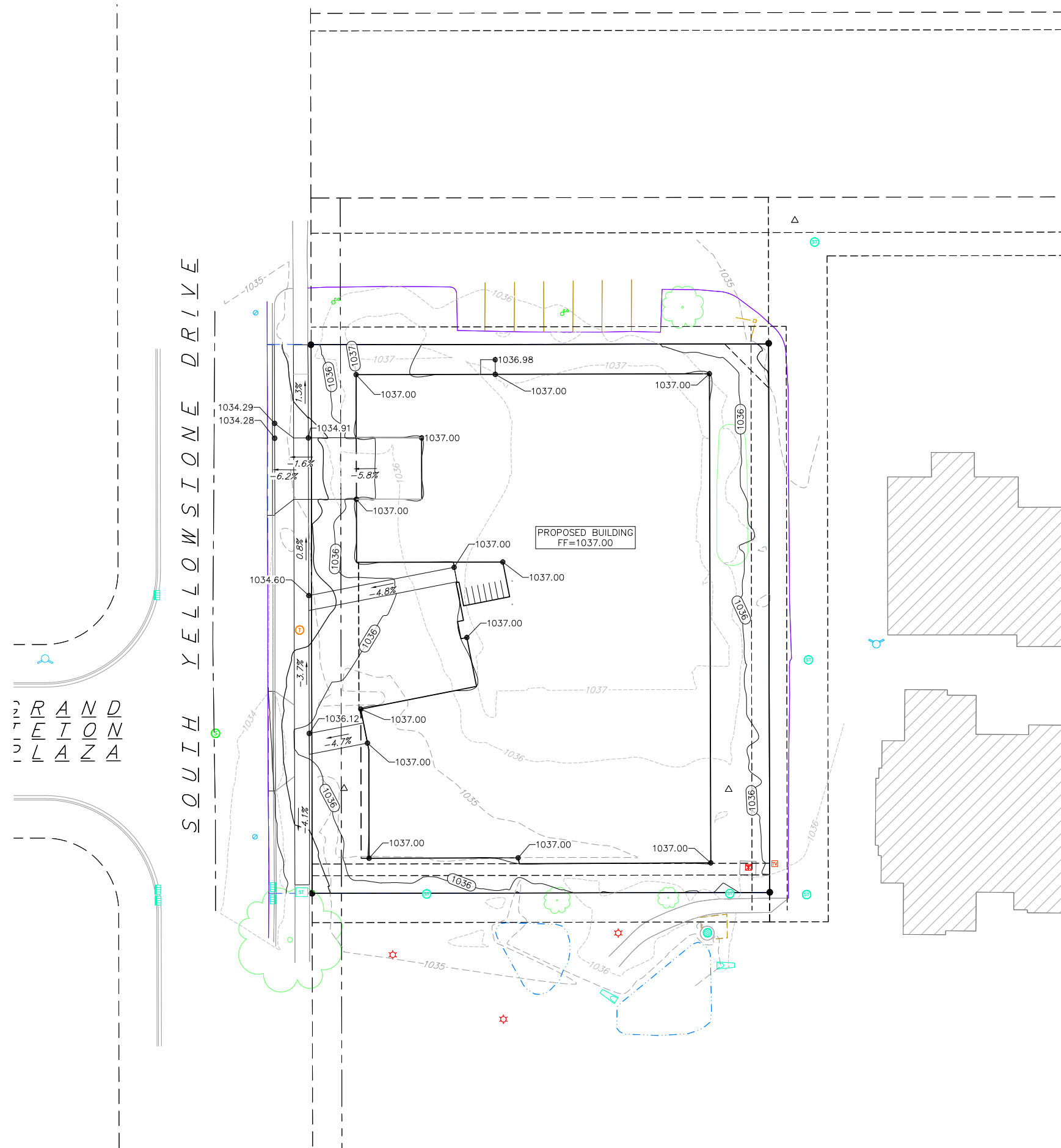























vierbicher
planners | engineers | advisors

SITE PLAN

421 YELLOWSTONE DRIVE
CITY OF MADISON
DANE COUNTY, WISCONSIN

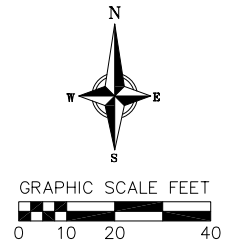
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- | | |
|---|-------------------------------|
|  | EXISTING MAJOR CONTOURS |
|  | EXISTING MINOR CONTOURS |
|  | PROPOSED MAJOR CONTOURS |
|  | PROPOSED MINOR CONTOURS |
|  | DITCH CENTERLINE |
|  | SILT FENCE |
|  | DISTURBED LIMITS |
|  | BERM |
|  | DRAINAGE DIRECTION |
|  | PROPOSED SLOPE ARROWS |
|  | EXISTING SPOT ELEVATIONS |
|  | PROPOSED SPOT ELEVATIONS |
|  | STONE WEEPER |
|  | VELOCITY CHECK |
|  | INLET PROTECTION |
|  | EROSION MAT CLASS I, TYPE A |
|  | EROSION MAT CLASS II, TYPE B |
|  | EROSION MAT CLASS III, TYPE C |
|  | EROSION MAT CLASS II, TYPE A |
|  | TRACKING PAD |
|  | RIP RAP |

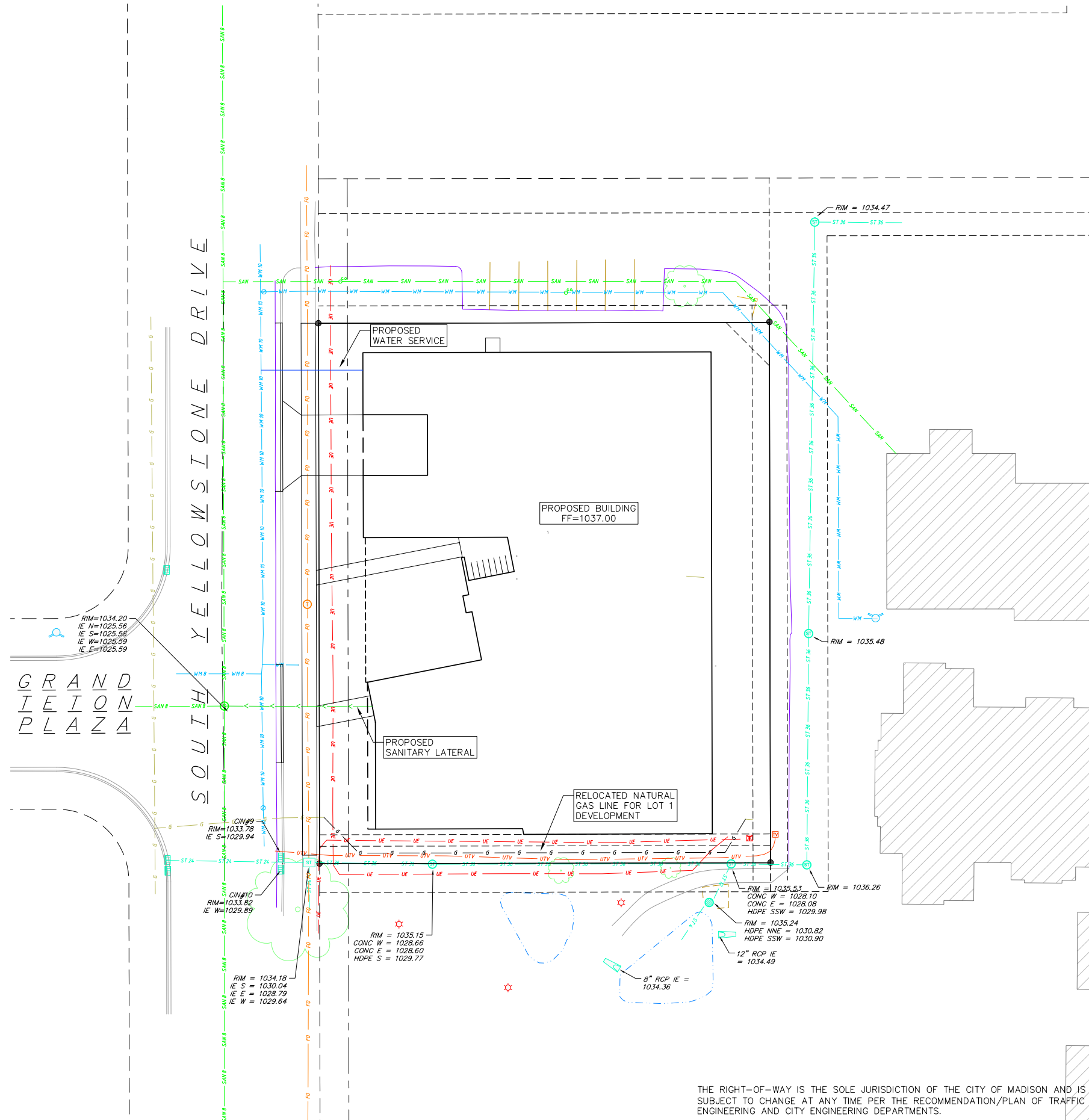
GRADING NOTES:

1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
2. ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
3. CROSS SLOPE OF SIDEWALKS SHALL BE 1.5% UNLESS OTHERWISE NOTED.
4. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
5. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
6. ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2.0% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
7. NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
8. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.



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NOT FOR CONSTRUCTION



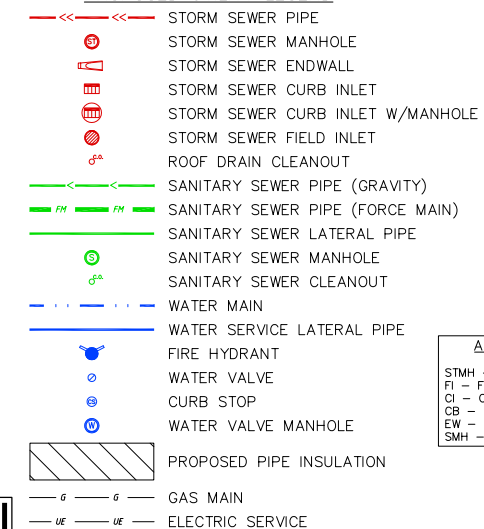
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NOT FOR CONSTRUCTION

UTILITY NOTES:

1. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
3. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
4. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
6. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
7. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
8. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
9. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
10. UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
11. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
12. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
13. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).
14. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b).
15. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
16. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
17. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
18. CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES
19. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
20. SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 26. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 35.
21. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
22. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
23. INSTALL 1 SHEET OF 4'x8'x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.

PROPOSED UTILITY LEGEND



ABBREVIATIONS

STMH - STORM MANHOLE
FI - FIELD INLET
CI - CURB INLET
CB - CATCH BASIN
EW - ENDWALL
SMH - SANITARY MANHOLE

UTILITY PLAN

421 YELLOWSTONE DRIVE
CITY OF MADISON
DANE COUNTY, WISCONSIN

REVISIONS			REVISIONS		
NO.	DATE	REMARKS	NO.	DATE	REMARKS

DATE	10/02/2023
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DRAFTER

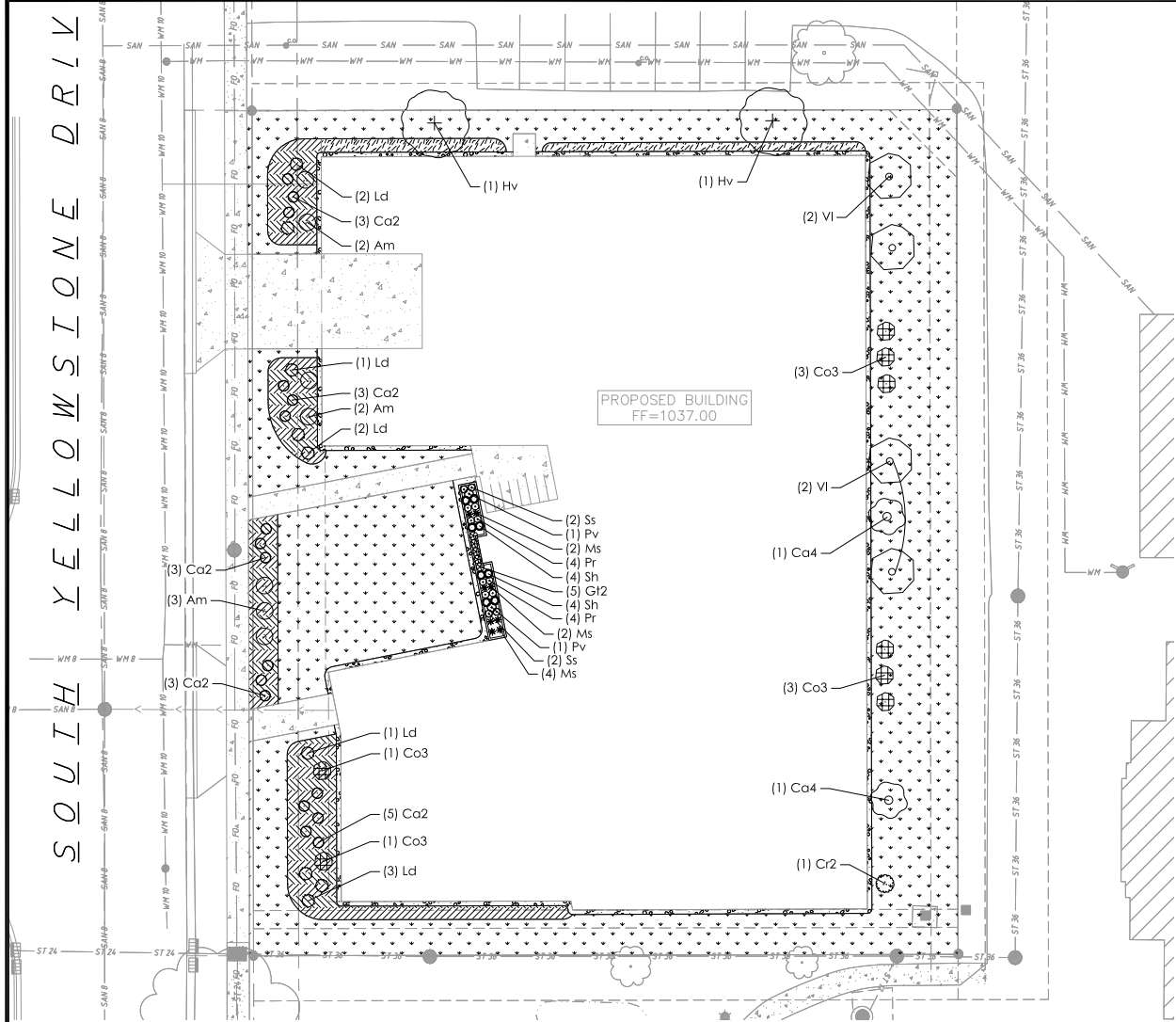
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PROJECT NO.	230118
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C5.0



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PLANT SCHEDULE

UNDERSTORY TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Hv	Hamamelis virginiana / Common Witch Hazel	B & B	5' ht.	2
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Am	Aronia melanocarpa / Black Chokeberry	Cont.	5 Gal.	7
Ca2	Ceanothus americanus / New Jersey Tea	Cont.	3 Gal.	17
Co3	Cephalanthus occidentalis / Buttonbush	Cont.	5 Gal.	8
Cr2	Cornus racemosa / Gray Dogwood	Cont.	5 Gal.	1
Ca4	Corylus americana / American Hazelnut	Cont.	5 Gal.	2
Ld	Lonicera diervilla / Honeysuckle	Cont.	3 Gal.	9
Vi	Viburnum lentago / Nannyberry	Cont.	5 Gal.	4
PERENNIALS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Gr2	Geum triflorum / Prairie Smoke	Cont.	1 Gal.	5
Ms	Matteuccia struthiopteris / Ostrich Fern	Cont.	1 Gal.	8
Pv	Panicum virgatum / Switch Grass	Cont.	1 Gal.	2
Pr	Polemonium reptans / Greek Valerian	Cont.	1 Gal.	8
Ss	Schizachyrium scoparium / Little Bluestem	Cont.	1 Gal.	4
Sh	Sporobolus heterolepis / Prairie Dropseed	Cont.	1 Gal.	8

CONCEPT PLANT SCHEDULE

	WASHED STONE	602 sf
	GC #1 Allium cernuum / Nodding Onion Anemone canadensis / Canadian Anemone Asclepias tuberosa / Butterfly Milkweed Carex bicknellii / Prairie Sedge Coreopsis palmata / Stiff Tickseed Dalea purpurea / Purple Prairie Clover Echinacea pallida / Pale Purple Coneflower Koeleria macrantha / Prairie Junegrass Liatris aspera / Rough Blazing Star Monarda punctata / Spotted Horsemint Rudbeckia hirta / Black-eyed Susan Schizachyrium scoparium / Little Bluestem Sporobolus heterolepis / Prairie Dropseed	1,313 sf 28 28 41 205 41 41 41 151 55 28 28 273 410
	TURF #1	8,192 sf
	GC #2 Anemone canadensis / Canadian Anemone Aquillegia canadensis / Eastern Columbine Carex rosea / Rosy Sedge Coreopsis palmata / Stiff Tickseed Geranium maculatum / Spotted Geranium Hydrophyllum virginianum / Virginia Waterleaf Phlox divaricata / Woodland Phlox Polemonium reptans / Greek Valerian	263 sf 9 14 110 55 28 9 20 33

PLANT MATERIAL NOTES:

- ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
- ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
- CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
- ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.
- EXACT LOCATIONS OF EACH PLANT ARE GIVEN IN PLAN. WHILE SLIGHT DEVIATIONS ARE ACCEPTABLE, OVERALL SCHEMATIC/ORIENTATION TO BE ADHERED TO AS ACCURATELY AS POSSIBLE.

SEEDING AND PLUG PLANTING NOTES:

- ALL UNLABELED DISTURBED AREAS TO BE SEEDED WITH 'MADISON PARKS' SEED MIX BY LA CROSSE SEED OR EQUIVALENT. ALL SEEDED AREAS ARE TO BE WATERED DAILY TO MAINTAIN ADEQUATE SOIL MOISTURE FOR PROPER GERMINATION. AFTER VIGOROUS GROWTH IS ESTABLISHED, APPLY $\frac{1}{2}$ " WATER TWICE WEEKLY UNTIL FINAL ACCEPTANCE. (PRIOR TO ROUTINE MAINTENANCE SCHEDULE ESTABLISHMENT, MOWING SHOULD OCCUR TO MAINTAIN A TURF HEIGHT OF 3"-6"). PRIOR TO SEEDING APPLY A MINIMUM OF 4" TOPSOIL TO ENTIRE AREA. FOLLOWING SEEDING APPLY A MULCH LAYER OF STRAW OR STRAW MAT.
- INSTALL AREAS DESIGNATED TURF #X AS 2" X 2" X 4", 2.25" X 2.25" X 5" OR 2.5" X 2.5" X 3.5" PLUGS AS SUPPLIED BY AGRECOL, MIDWEST GROUNDCOVERS, TAYLOR CREEK OR EQUAL. PLUGS TO BE INSTALLED 12" ON CENTER IN A TRIANGULAR GRID PATTERN. PRIOR TO PLANTING, APPLY A LAYER OF CARDBOARD OR EQUAL BIODEGRADABLE BARRIER AND 3" MULCH. WET AREA AND INSTALL PLANTS WITH 2 - 2 $\frac{1}{8}$ " DRILL BIT. PLANT SPECIES RANDOMLY THROUGHOUT SPECIFIED AREA, MAINTAINING A REPRESENTATIVE RATIO OF SPECIES RESPECTIVELY THROUGHOUT PLANTING.
- INSTALL RETENTION PLANTING AS 2" X 2" X 4" OR 2.25" X 2.25" X 5" DEEP PLUGS AS SUPPLIED BY AGRECOL, MIDWEST GROUNDCOVERS OR EQUAL. BIORETENTION PLUGS TO BE INSTALLED 12" ON CENTER IN A TRIANGULAR GRID PATTERN. PLANT SPECIES RANDOMLY THROUGHOUT SPECIFIED AREA, MAINTAINING SPECIFIED RATIO OF SPECIES THROUGHOUT PLANTING. APPLY $\frac{1}{2}$ " WATER DAILY FOR 3 WEEKS FOLLOWING INSTALLATION. FOLLOWING PLANTING, AREA TO BE SEEDED WITH 'TALLGRASS PRAIRIE FOR WET-MESIC SOILS' BY AGRECOL OR EQUAL, PER MANUFACTURER'S RECOMENDATIONS AND BROADCAST MULCHED WITH A LAYER OF WEED FREE STRAW MULCH. STRAW MULCH MUST ALLOW FOR SUFFICIENT AIR AND LIGHT PENETRATION.

LANDSCAPE MATERIAL NOTES:

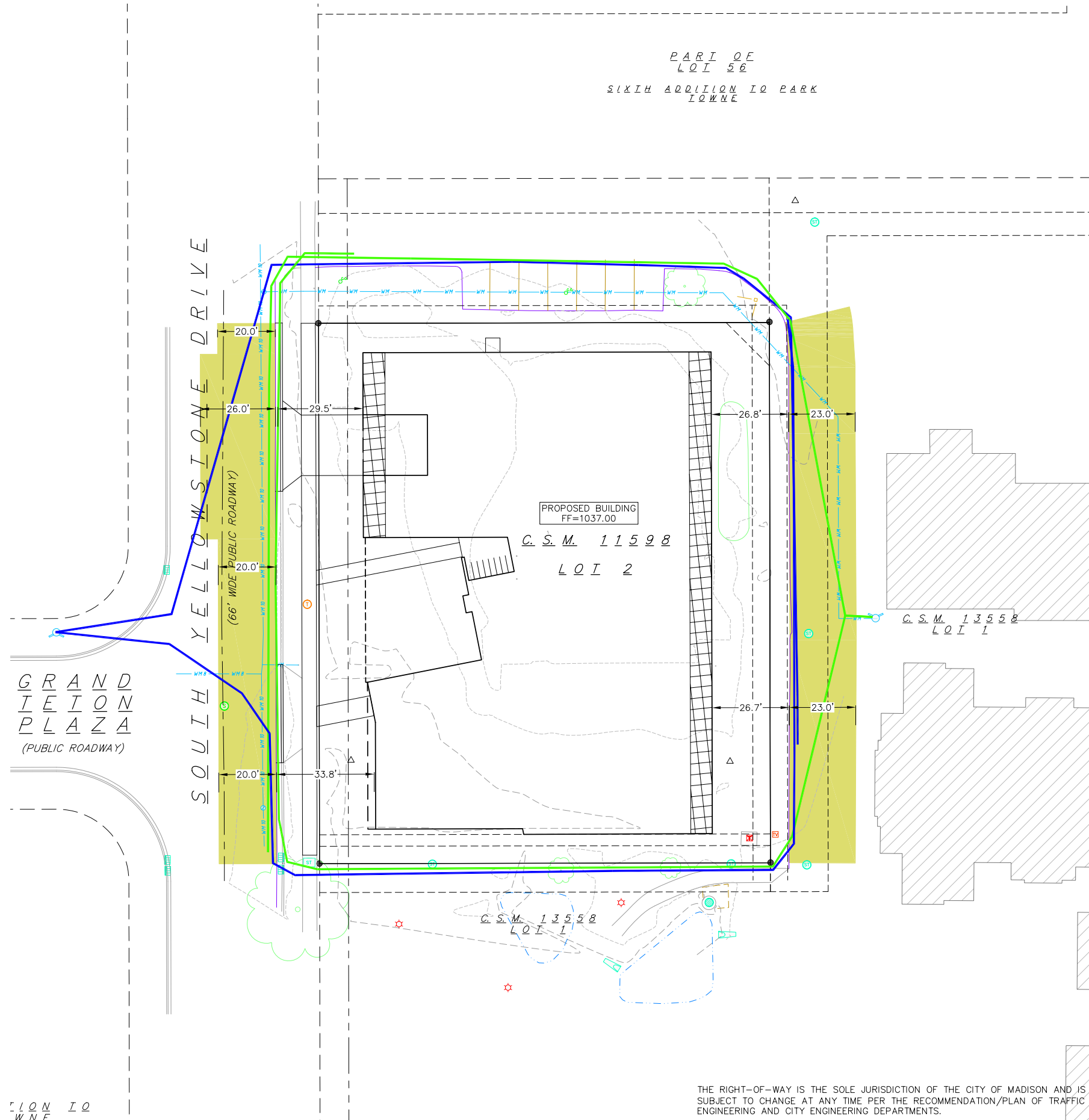
- CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION." PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEEDED/SODDED.
- SUBSOIL UNDER TURF AND PLANTING BEDS MUST BE FREE DRAINING AND LOOSE TO ALLOW ROOT PENETRATION AND DRAINAGE. LANDSCAPE CONTRACTOR SHOULD NOTIFY GENERAL CONTRACTOR IF SUBSURFACE COMPACTION IS UNFIT FOR PLANTING. LANDSCAPE CONTRACTOR IS NOT RESPONSIBLE FOR SUBSURFACE SOIL PREPARATION.
- LANDSCAPE BEDS TO BE MULCHED WITH UNDYED SHREDDED HARDWOOD BARK MULCH TO 3" DEPTH MIN.
- LANDSCAPE AREAS IDENTIFIED AS WASHED STONE ARE TO BE INSTALLED USING 1"-2". WASHED STONE TO A DEPTH OF 3" MINIMUM. LAY COMMERCIAL GRADE LANDSCAPE FABRIC BETWEEN GRADE AND STONE.
- LANDSCAPE BEDS AND STONE AREAS ARE SEPARATED WITH COMMERCIAL GRADE ALUMINUM LANDSCAPE EDGING, PERMALOC CLEANLINE $\frac{1}{8}$ "X4" OR EQUAL, COLOR BLACK ANODIZED.
- A SLOW RELEASE FERTILIZER AND MYCORRHIZAL INOCULATE SHOULD BE APPLIED TOPICALLY TO ALL WOODY MATERIAL AT TIME OF PLANTING PRIOR TO MULCH APPLICATION. APPLICATION RATES TO REFLECT MANUFACTURER SPECIFICATIONS.

GENERAL LANDSCAPE NOTES:

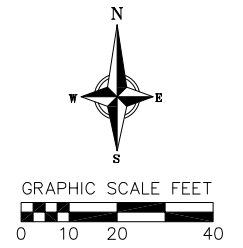
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY RIGHT OF WAY WORK.
- CONTRACTOR SHALL VERIFY ALL UTILITIES WITHIN SCOPE OF CONTRACT.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS AT SITE AND COMPLETE WORK PER SCHEDULE.
- CONTRACTOR SHALL CLEAN ALL PAVEMENT AREAS WITHIN SITE AFTER COMPLETION. CONTRACTOR SHALL CLEAN ANY AFFECTED PAVED AREAS OUTSIDE OF DISTURBANCE DELINEATION DAILY.

City of Madison Landscape Worksheet						
Address:	421 Yellowstone Dr	Date:	9.29.23			
Total Square Footage of Developed Area:	(Site Area) 29185	-	(Building Footprint at Grade) 17868	=	11317	sf
Total Landscape Points Required (<5 ac):	11,317	/ 300 =	38	x 5 =	189	
Landscape Points Required >5 ac:		/ 100 =	0	x 1 =	-	189
		Credits/ Existing Landscaping		New/ Proposed Landscaping		
Plant Type/ Element	Min. Size at Installation	Points	Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2.5" cal	35		0		0
Tall Evergreen Tree	5-6 feet tall	35		0		0
Ornamental tree	1.5" cal	15		0	2	30
Upright evergreen shrub	3-4 feet tall	10		0		0
Shrub, deciduous	#3 gallon	3		0	48	144
Shrub, evergreen	#3 gallon	4		0		0
Ornamental grasses/perennials	#1 gallon	2		0	35	70
Ornamental/decorative fencing or wall	n/a	4 per 10 LF		0		0
Existing significant specimen tree	Min. Size 2.5" cal.	14 per caliper inch.		0		0
Landscape Furniture for public seating and/or transit connections		5 points per "seat"		0		0
Sub Totals				0		244
			Total Points Provided:	244		






REVISIONS		REVISIONS			
NO.	DATE	REMARKS	NO.	DATE	REMARKS
DATE 10/02/2023					
DRAFTER EGOR					
CHECKED KJEN					
PROJECT NO. 230118					



THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

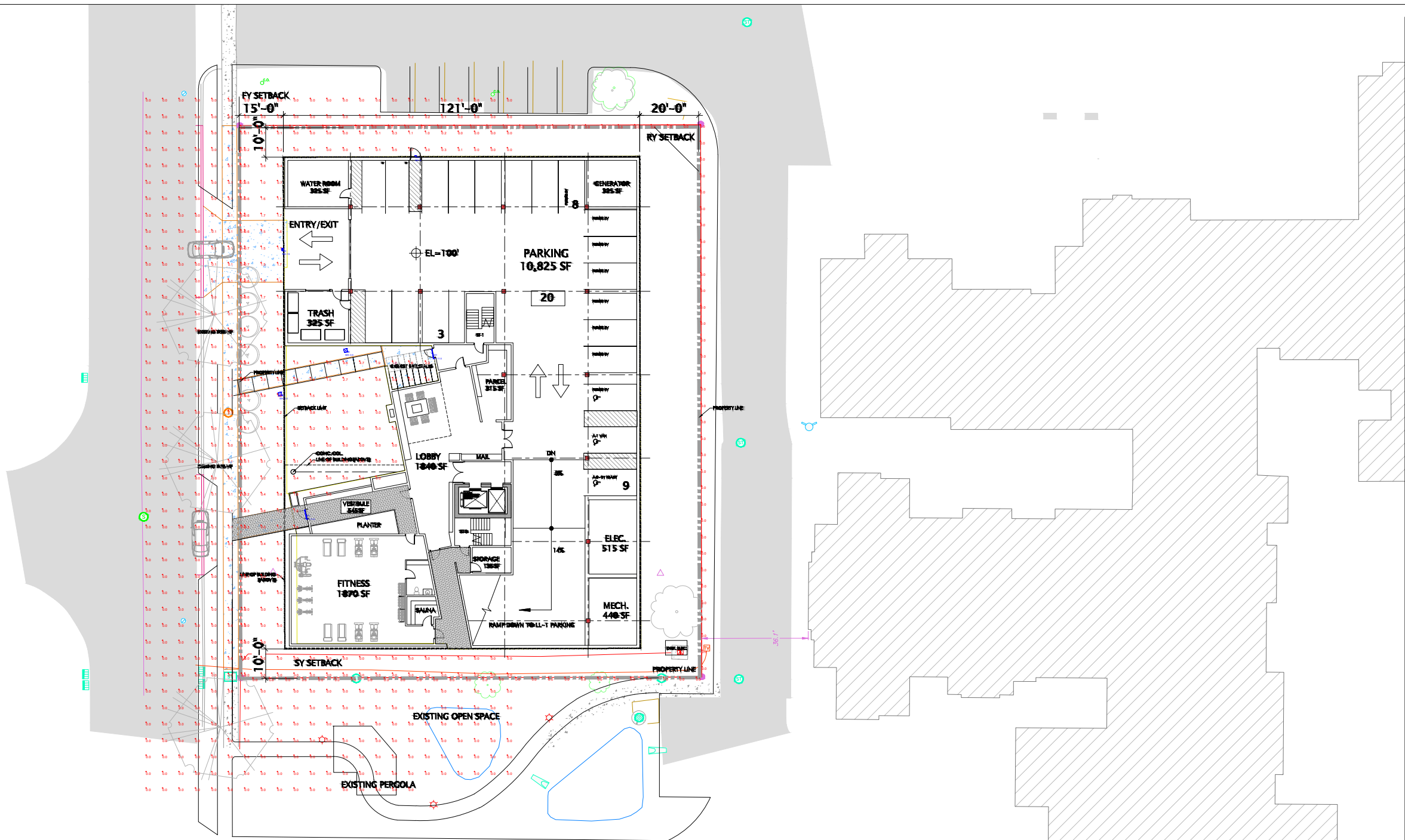


FIRE ACCESS LEGEND

	500' HOSE LAY FROM HYDRANT
	
	PROPOSED FIRE LANE (WIDTH NOTED)
	250' HOSE LAY FROM FIRE LANE
	AERIAL COVERAGE

DATE						REVISIONS						REVISIONS					
10/02/2023																	
DRAFTER						KJEN											
CHECKED						JGRO											
PROJECT NO.						230118											

NOT FOR CONSTRUCTION



GROUND FLOOR PLAN

Luminaire Schedule								
Label	Qty	Arrangement	LLF	Tag	Description	Lum. Watts	Total Watts	Lum. Lumens
OB1	2	SINGLE	0.950	LITHONIA	DSXB LED 12C 350 xxK ASY - 42IN OAH	16	32	1283
OD1	2	SINGLE	0.370	LUM	BLD 36IN PRD (600LM) xxK DP	14.7	29.4	1537
OW	1	SINGLE	0.950	LITHONIA	WDGE2 LED P1 xxK 70CRI T1S	11.1658	11.1658	1371
OW1	1	SINGLE	0.950	TARGETTI	MRSW41FEMDL130	7	7	522

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PROPERTY LINE	Illuminance	Fc	0.08	0.7	0.0	N.A.	N.A.
BIKE ENTRY	Illuminance	Fc	2.85	9.6	0.8	3.56	12.00
GARAGE ENTRY	Illuminance	Fc	1.07	1.8	0.4	2.68	4.50
LOBBY ENTRY	Illuminance	Fc	0.98	1.9	0.2	4.90	9.50

YELLOWSTONE APARTMENTS

MADISON, WISCONSIN

SITE LIGHTING LAYOUT

DRAWN BY : LB

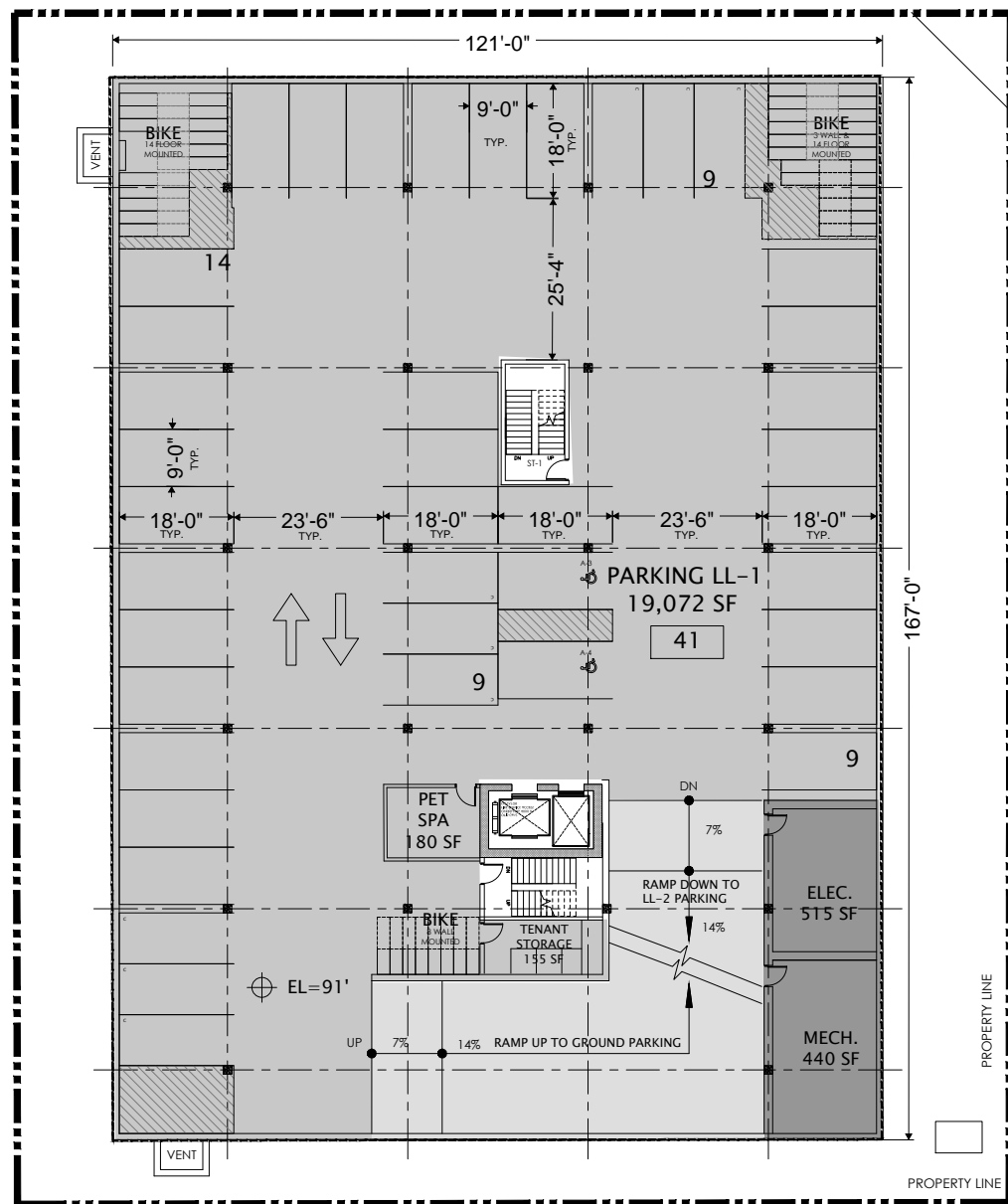
DATE : SEPT 29, 2023

SCALE : 1/16" = 1'-0"

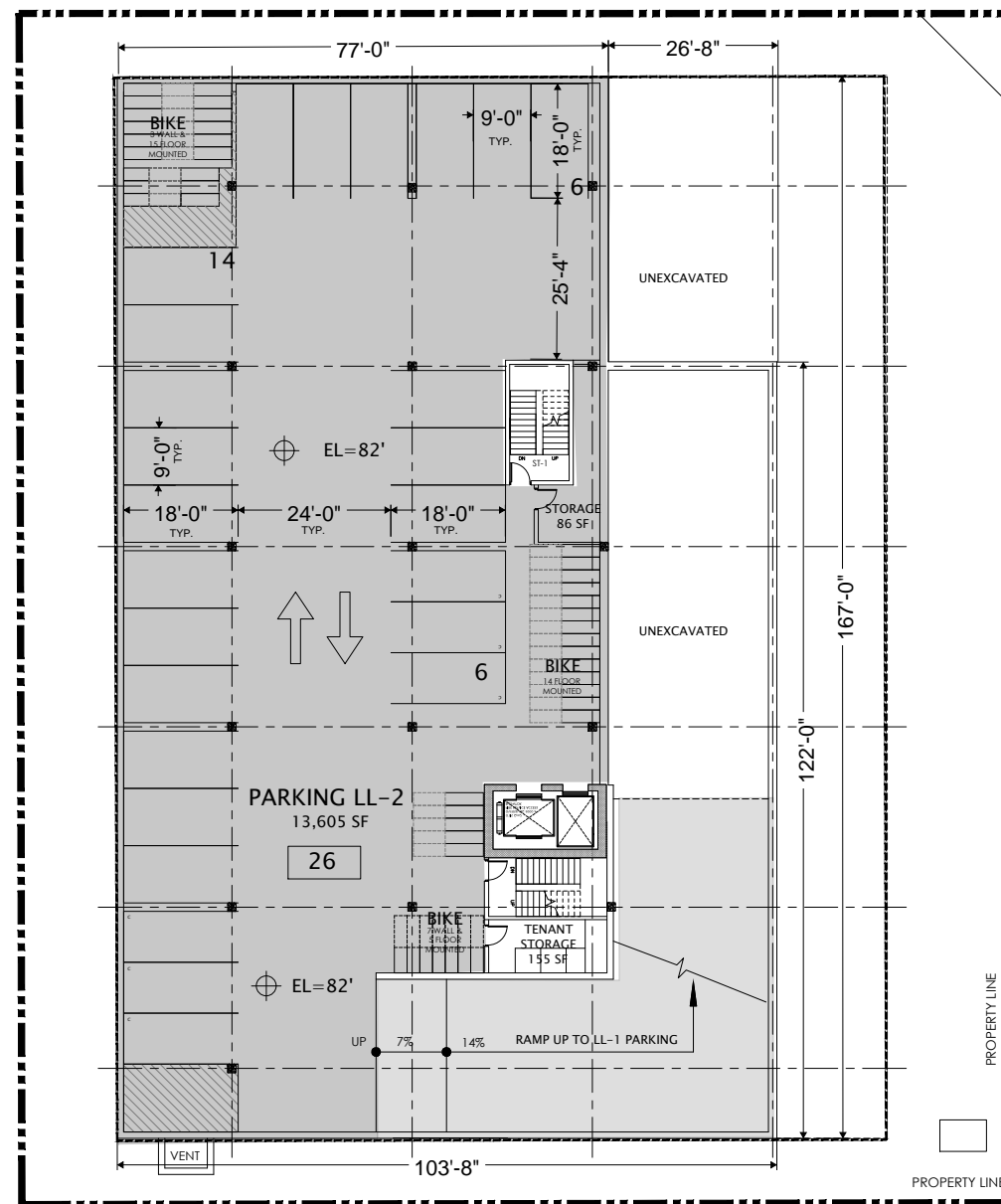
REVISIONS			
#	DATE	COMMENTS	

ENTERPRISE

Lighting & Control



LOWER LEVEL ONE PARKING



LOWER LEVEL TWO PARKING

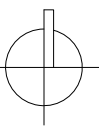
PARKING DATA				
LEVEL	AUTOMOBILE PARKING			BIKE PARKING
	STANDARD	ADA	TOTAL	
1	18	2	20	0
LL 1	41	0	41	39
LL 2	26	0	26	44
TOTAL	85	2	87	83

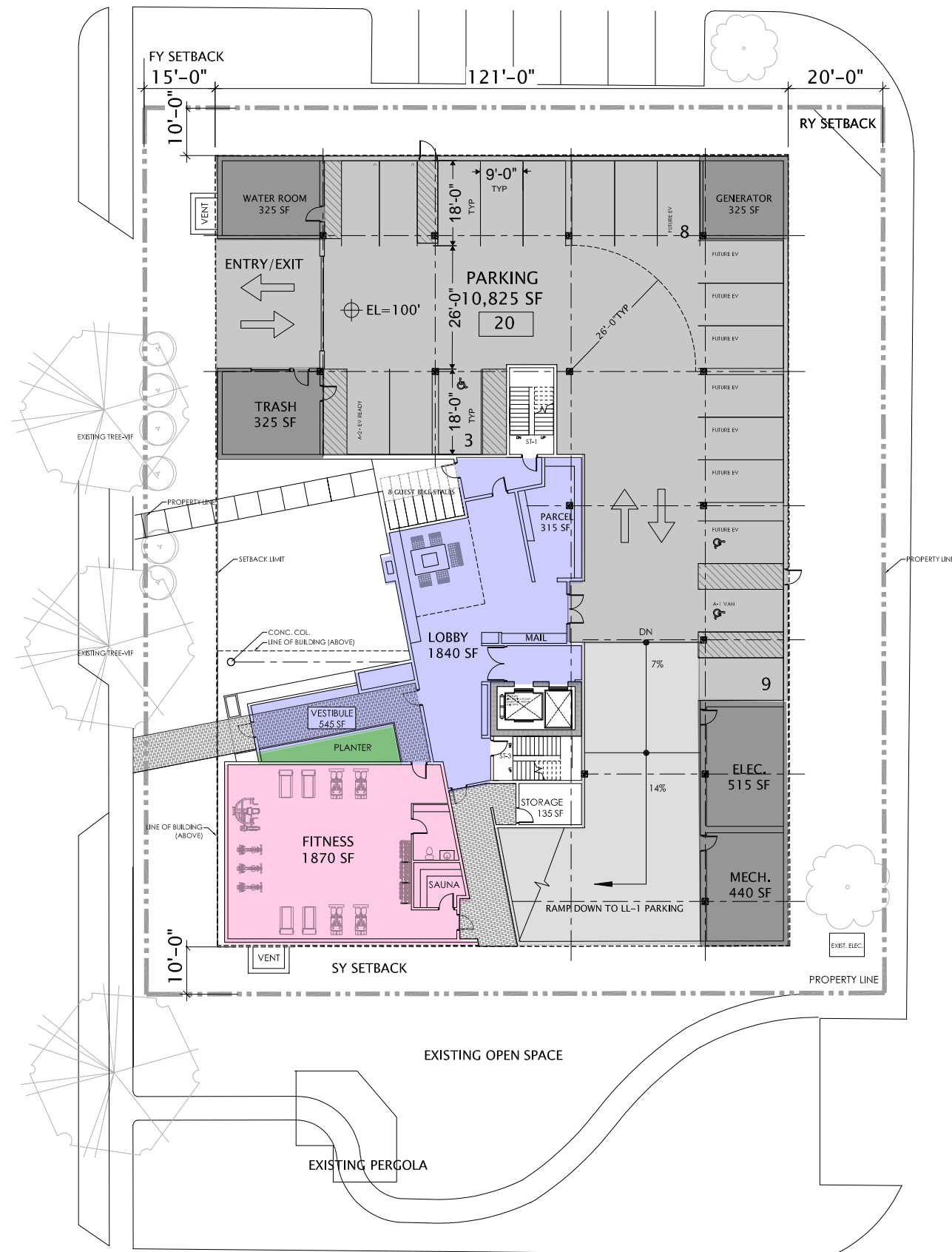
ELECTRIC VEHICLE PARKING DATA	
EV INSTALLED REQUIRED - 2%	
EV INSTALLED PROVIDED - 2% (2 STALLS)	
EV READY REQUIRED - 10%	
EV READY PROVIDED - 10% (9 STALLS)	

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

OCTOBER 2, 2023
1"=30' @ 11x17





GROUND FLOOR PLAN



SECOND FLOOR PLAN

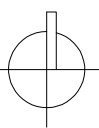
- Micro Unit
- Studio Unit
- 1 BR Unit
- 1 BR + Unit
- 2 BR Unit
- 2 BR + Unit
- 3 BR Unit
- Commercial
- Amenities
- Bldg support/mech storage
- Circulation
- Parking

PROGRESS DOCUMENTS

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OCTOBER 2, 2023
1"=30' @ 11x17

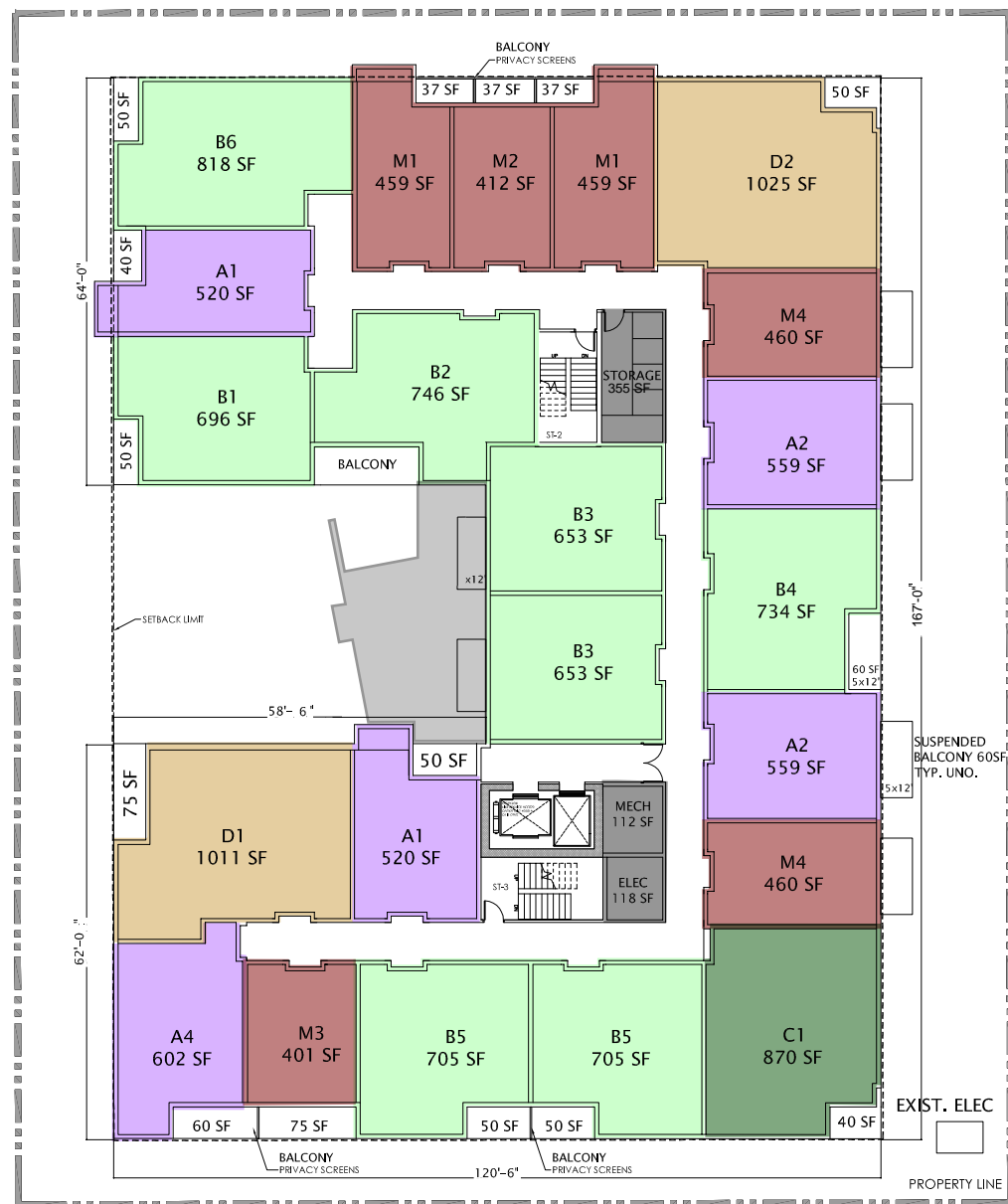
A101



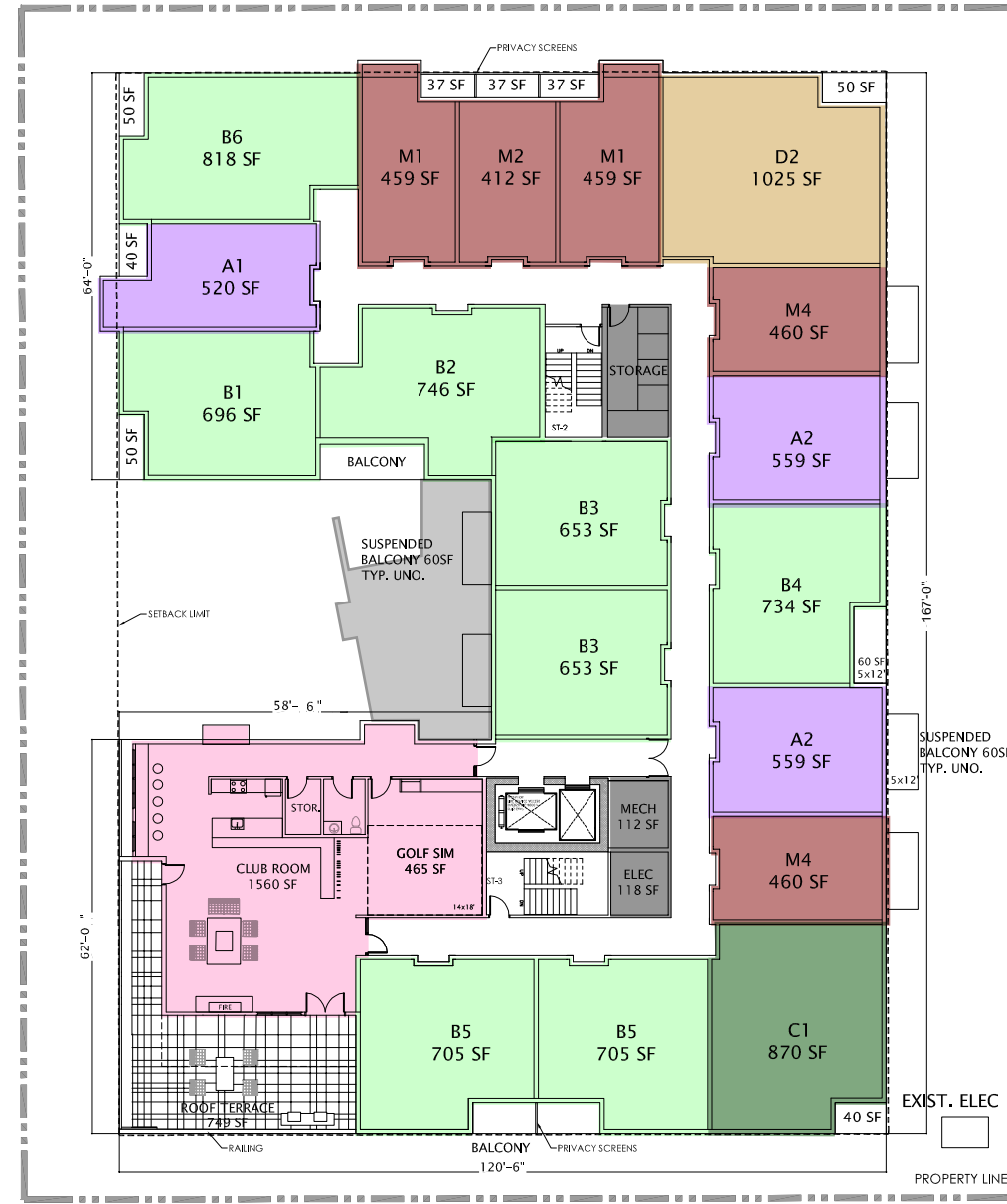
JLA
ARCHITECTS

YELLOWSTONE APARTMENTS

GROUND FLOOR & SECOND FLOOR PLANS



TYPICAL FLOOR PLAN



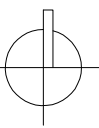
TOP FLOOR PLAN

- Micro Unit
- Studio Unit
- 1 BR Unit
- 1 BR + Unit
- 2 BR Unit
- 2 BR + Unit
- 3 BR Unit
- Commercial
- Ammenities
- Bldg support/mech storage
- Circulation
- Parking

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OCTOBER 2, 2023
 1"=30' @ 11x17

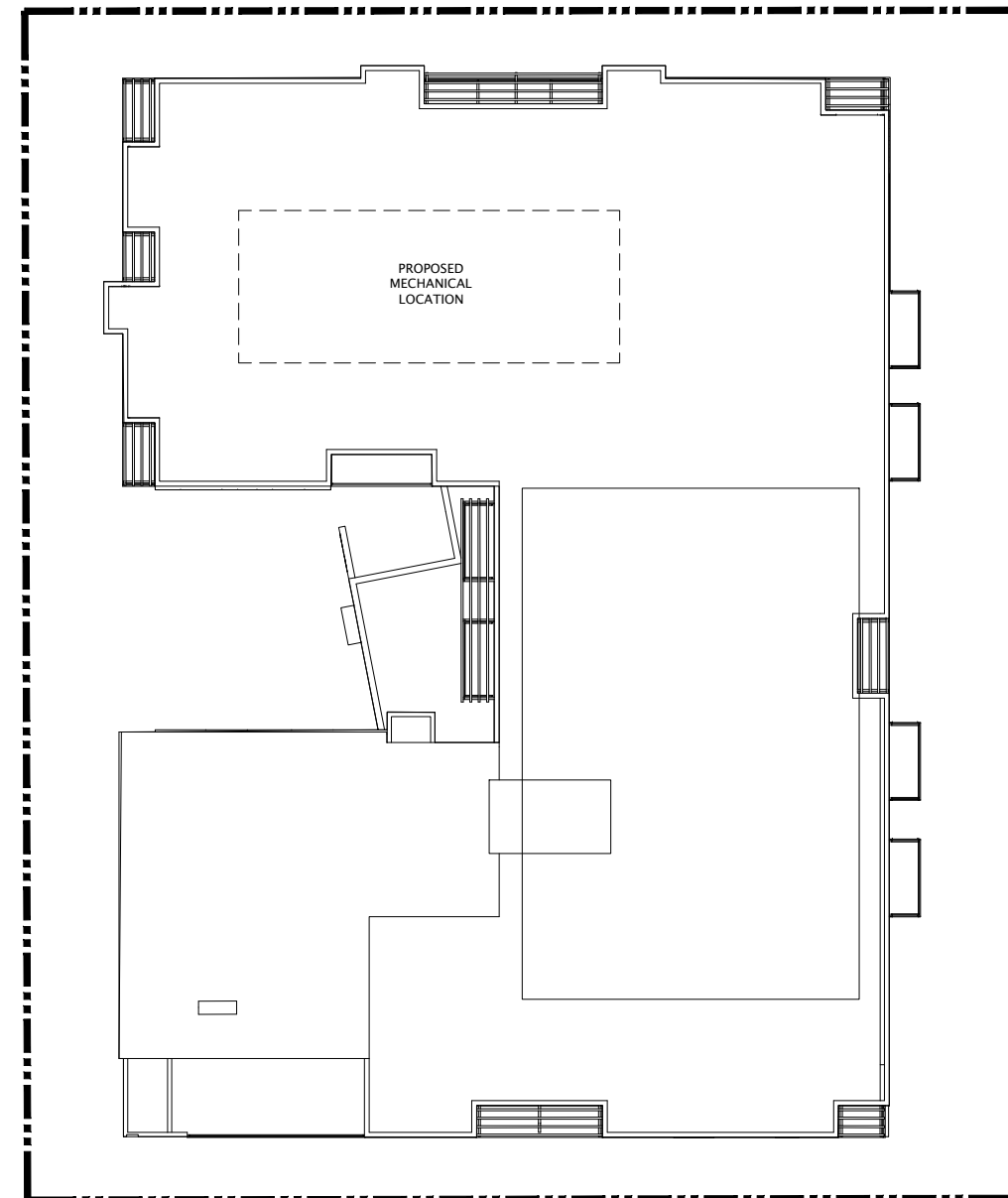
A102



JLA
 ARCHITECTS

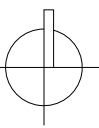
YELLOWSTONE APARTMENTS

TYPICAL FLOOR & TOP FLOOR PLANS



ROOF PLAN

PROGRESS DOCUMENTS
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PROGRESS DOCUMENTS

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OCTOBER 02, 2023

1/16"=1' @ 11x17

A200



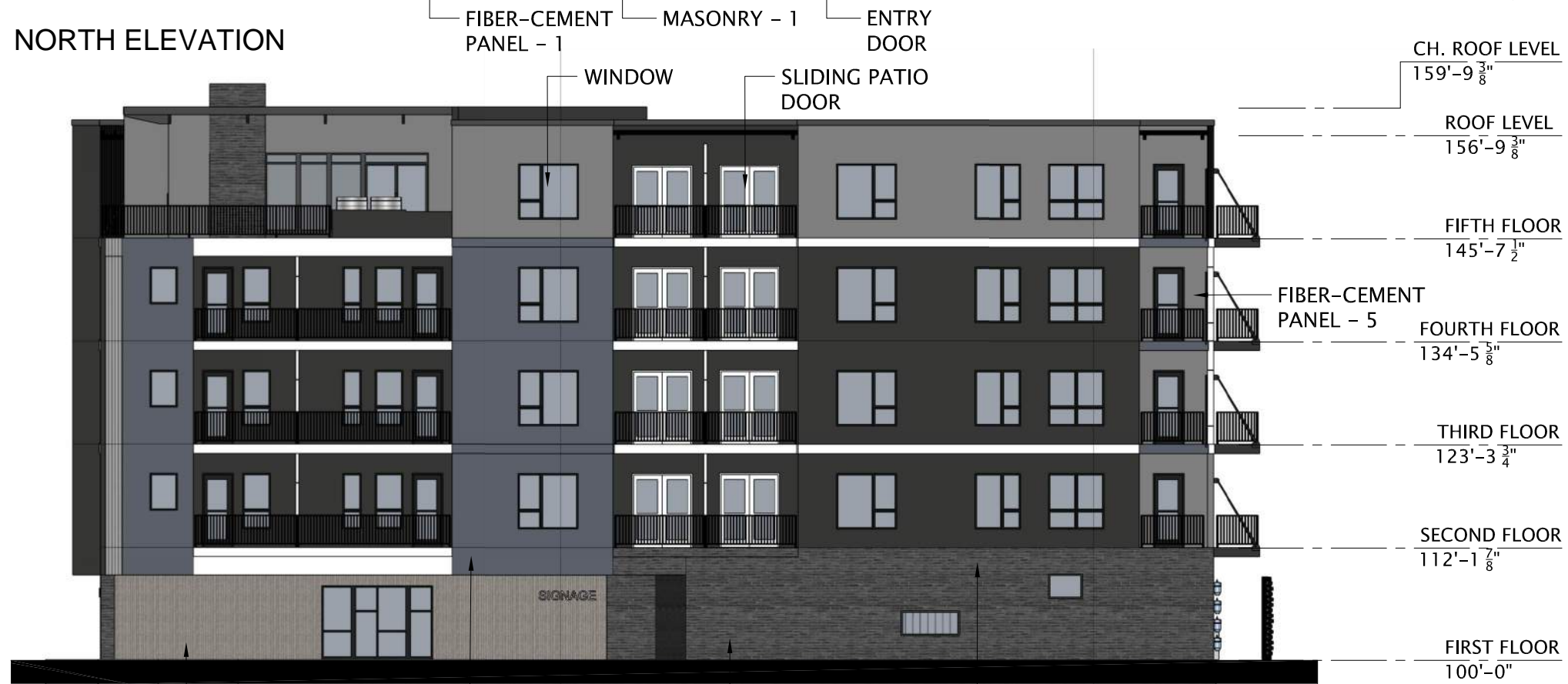
JLA
ARCHITECTS

YELLOWSTONE APARTMENTS

WEST AND EAST ELEVATIONS - COLOR



NORTH ELEVATION



SOUTH ELEVATION

YELLOWSTONE APARTMENTS

NORTH AND SOUTH ELEVATIONS – COLOR

PROGRESS DOCUMENTS
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OCTOBER 02, 2023
 1/16"=1' @ 11x17

A201



PROGRESS DOCUMENTS

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OCTOBER 02, 2023

1/16"=1' @ 11x17

A202



PROGRESS DOCUMENTS

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OCTOBER 02, 2023

1/16"=1' @ 11x17

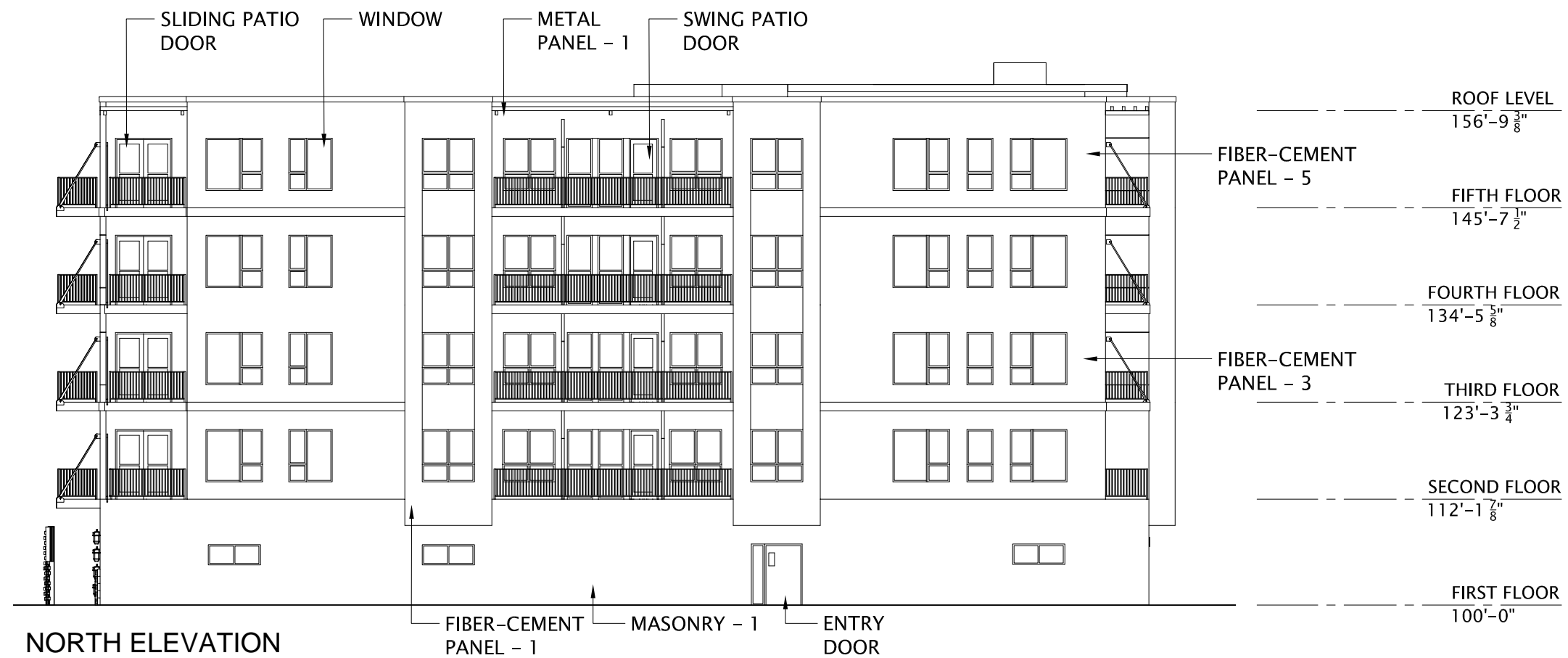
A203



JLA
ARCHITECTS

YELLOWSTONE APARTMENTS

WEST AND EAST ELEVATIONS - BLACK 'WHITE



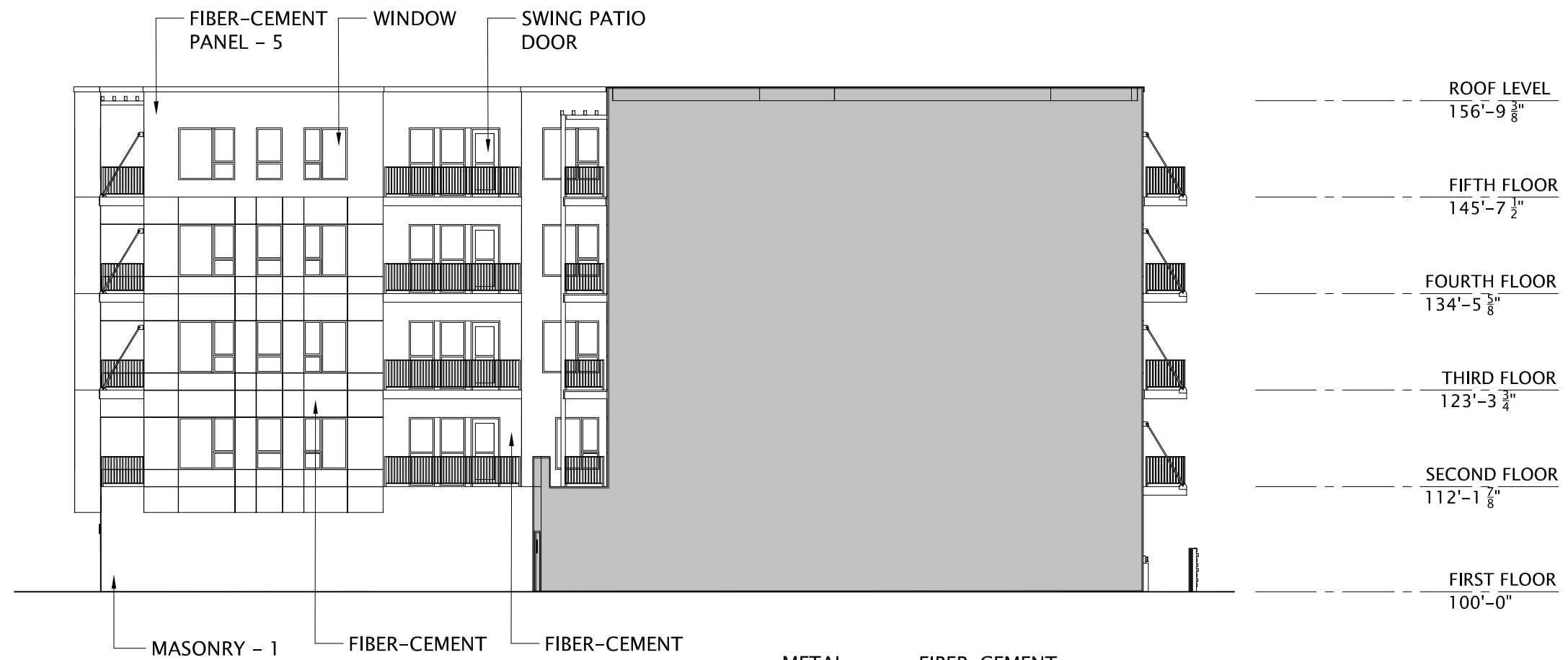
PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

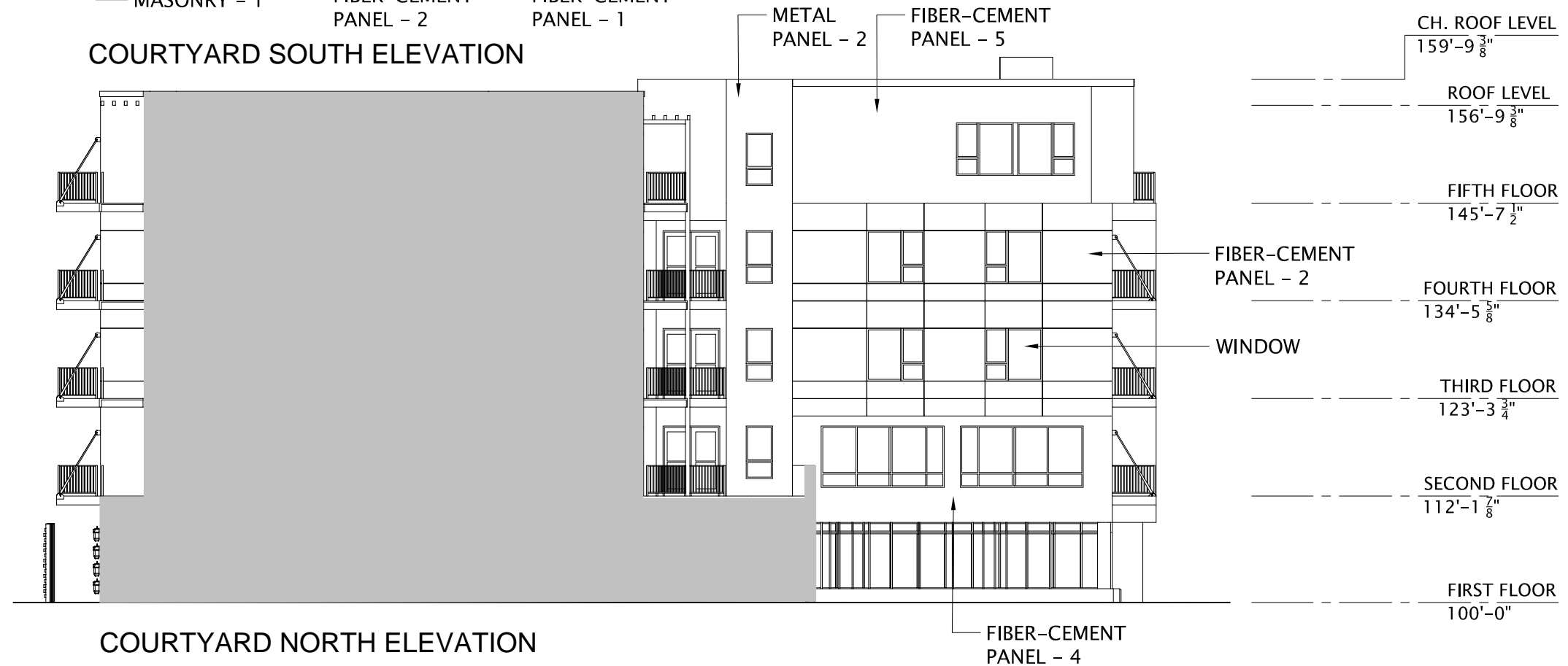
OCTOBER 02, 2023

1/16"=1' @ 11x17

A204



COURTYARD SOUTH ELEVATION



COURTYARD NORTH ELEVATION

YELLOWSTONE APARTMENTS

COURTYARD NORTH AND SOUTH ELEVATIONS BLACK 'WHITE

PROGRESS DOCUMENTS
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OCTOBER 02, 2023

1/16"=1' @ 11x17

A205



RENDERING #1



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YELLOWSTONE APARTMENTS

PRELIMINARY RENDERINGS

PROGRESS DOCUMENTS

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OCTOBER 02, 2023

A210



RENDERING #2



YELLOWSTONE APARTMENTS

PRELIMINARY RENDERINGS

PROGRESS DOCUMENTS
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OCTOBER 02, 2023

A211



RENDERING #3



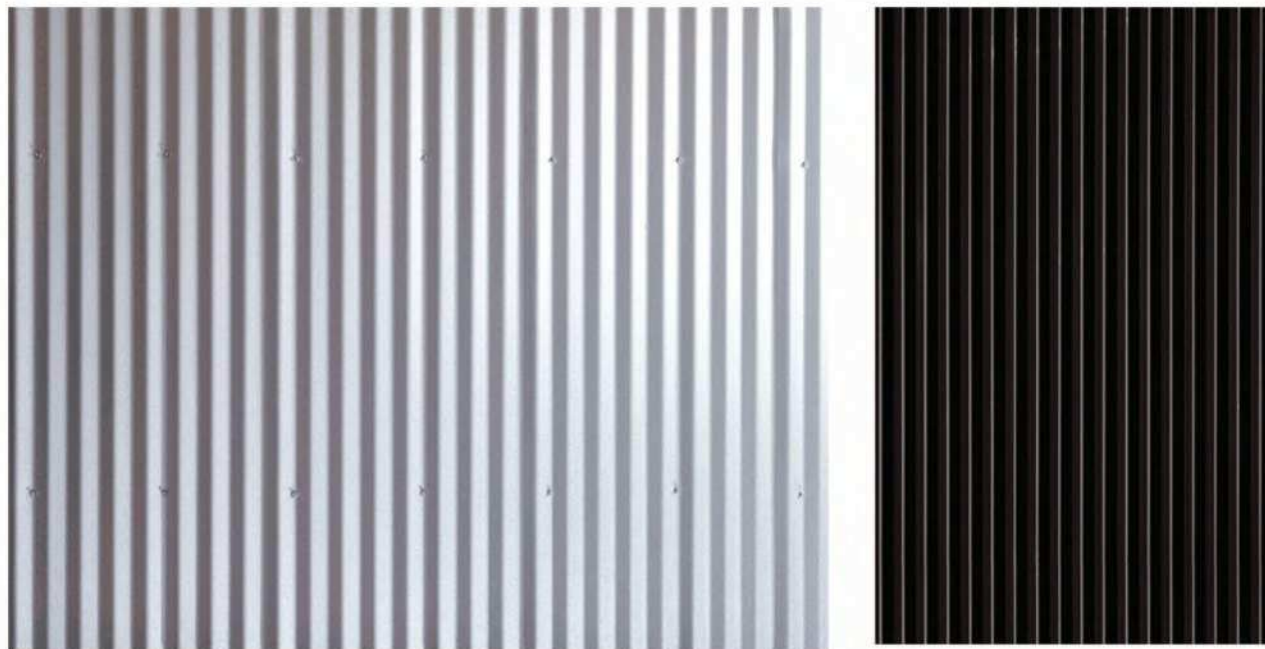
YELLOWSTONE APARTMENTS

PRELIMINARY RENDERINGS

PROGRESS DOCUMENTS
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OCTOBER 02, 2023

A212



RIBBED METAL ACCENT PANEL:

- SILVER
- BLACK

JAMES HARDIE:

- IRON GRAY
- ARCTIC WHITE
- NIGHT GRAY
- DEEP OCEAN
- COUNTRYLANE RED

TREX – BALCONY DECKING

- VISTA DRIFTWOOD

MASONRY:

- DARK GRAY
- FLUTED CMU

WINDOW:

- 2:1 REVERSE COTTAGE

RAILINGS:

- MATTE BLACK

STOREFRONT:

- ANTIQUE BRONZE



JLA
ARCHITECTS

MADISON | MILWAUKEE | DENVER
JLA-AP.COM

JLA PROJECT NUMBER: W23-0221

**421 YELLOWSTONE
APARTMENTS**
SCHEMATIC DESIGN



IRON GRAY



ARCTIC WHITE



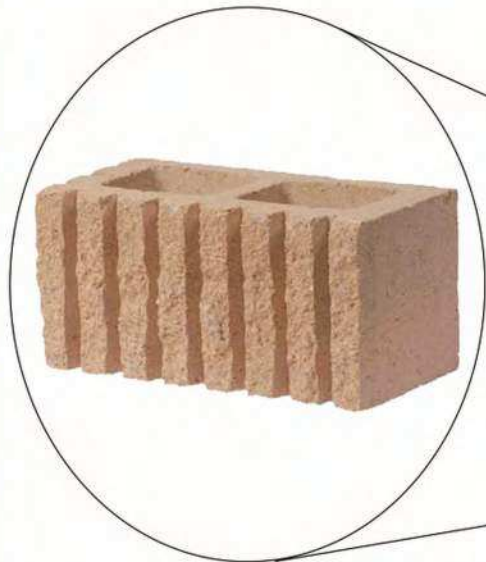
NIGHT GRAY



DEEP OCEAN



COUNTRYLANE RED



PROGRESS DOCUMENTS

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DATE OF ISSUANCE 23/09/15

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

MATERIAL BOARD

SHEET NUMBER

A215



PROGRESS DOCUMENTS
 These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

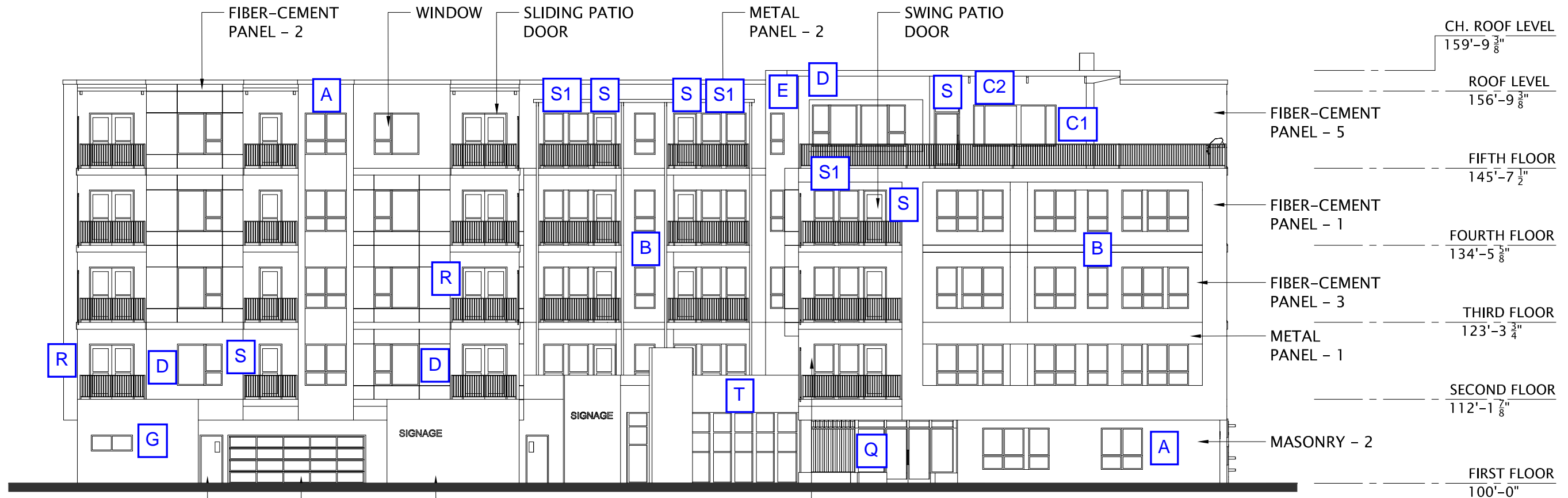
OCTOBER 02, 2023
 1/16"=1' @ 11x17



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 ARCHITECTS

YELLOWSTONE APARTMENTS

BIRD GLASS ELEVATION



WEST ELEVATION



EAST ELEVATION

YELLOWSTONE APARTMENTS

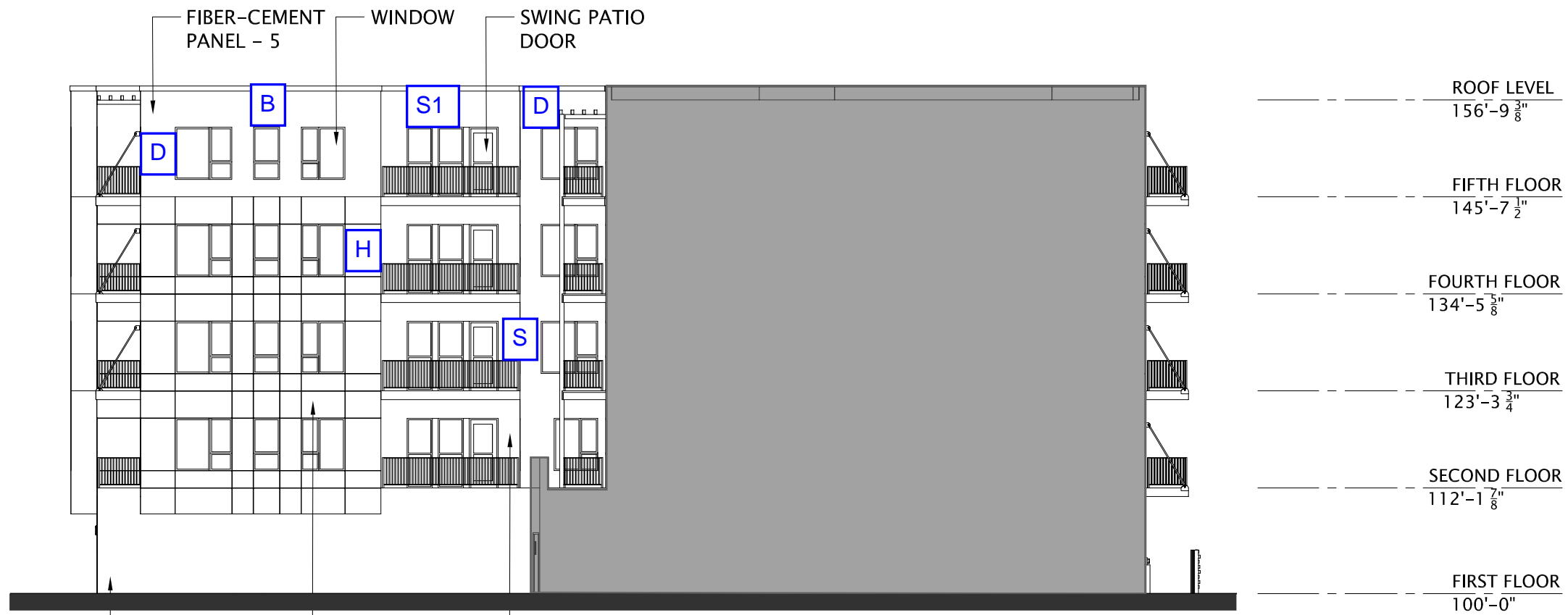
BIRD GLASS ELEVATION

PROGRESS DOCUMENTS
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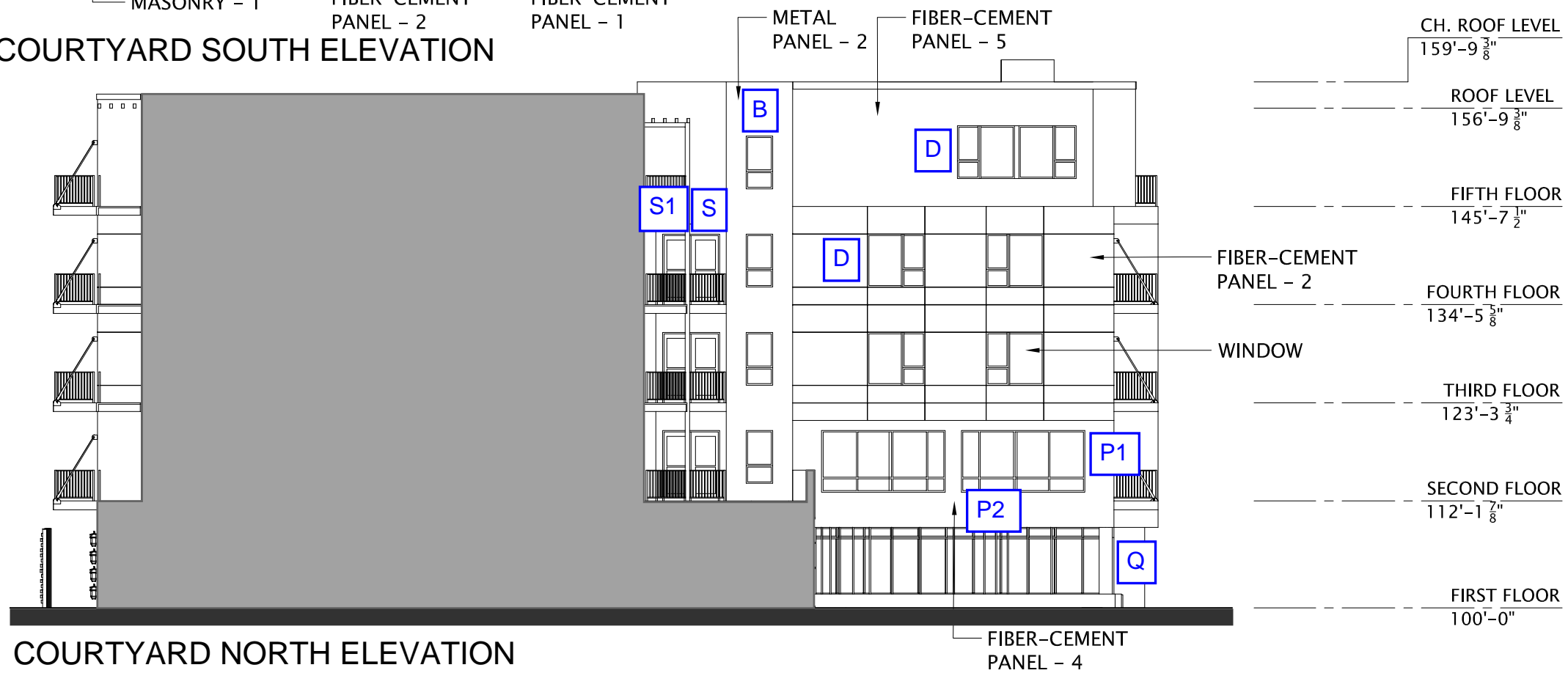
OCTOBER 02, 2023
 1/16"=1' @ 11x17



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 ARCHITECTS



COURTYARD SOUTH ELEVATION



COURTYARD NORTH ELEVATION

YELLOWSTONE APARTMENTS

BIRD GLASS ELEVATIONS

PROGRESS DOCUMENTS
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

OCTOBER 02, 2023

1/16"=1' @ 11x17



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ARCHITECTS

(1) **Statement of Purpose:** The Bird-Safe Glass Requirements in this section are intended to reduce the heightened risk for bird collisions with glass on specified building designs and configurations.

(2) **Applicability:** Subsection (4) applies to all exterior construction and development activity, including the expansion of existing buildings and structures, as specified therein.

(3) **Measuring Glass Area:** Under this Ordinance, glass area shall be measured as one (1) continuous panel of glass or other transparent material, or a set of two (2) or more such panels divided by mullions of six (6) inches in width or narrower. Panels surrounded on all sides by solid walls or mullions wider than six (6) inches shall be considered individual windows. Spandrel or opaque reflectivity of 14% or less shall not be included in the calculation of glass area. See Revised Figure 1.

(4) **Bird-Safe Glass Treatment Requirements:** Glass areas on the following buildings or structures shall be treated to reduce the risk of bird collision by incorporating a pattern of visual markers that are either: a) dots or other isolated shapes that are 1/4" in diameter or larger and spaced at not more than a two-inch (2") by two-inch (2") pattern; or b) lines that are 1/8" in width or greater and spaced no more than 2" apart; low reflective opaque materials; building-integrated structures like non-glass double-skin facades, metal screens, fixed solar shading, exterior insect screens, and other features that cover the glass surface; or other similar mitigation treatments approved by the Zoning Administrator.

(a) **Buildings or structures over 10,000 square feet:** For any building or structure over 10,000 square feet in size (floor area of above-grade stories), bird-safe glass treatment is required as follows:

- For building facades where the first sixty (60) feet (See REVISED Figure 2) from grade are comprised of greater than or equal to fifty percent (50%) glass:
 - At least eighty-five percent (85%) of the glass must be treated; and
 - All glass within fifteen (15) feet of a building corner must be treated when see through or fly through conditions exist. See Figure 3.
- For building facades where the first sixty (60) feet from grade are comprised of less than fifty percent (50%) glass:
 - At least eighty-five percent (85%) of the glass on glass areas fifty (50) square feet or over must be treated; and
 - Of all glass areas over fifty (50) square feet, any glass within fifteen (15) feet of a building corner must be treated.
- All glass railings must be treated.
- All glass on enclosed building connections shall be treated up to sixty (60) feet above grade.

(b) **Sky-bridges:** For buildings and structures of any size, all glass on above-ground bridges must be treated.

(c) **At grade glass:** For buildings and structures of any size, all at grade glass features such as sound walls or glass screens must be treated.

(5) **This Ordinance shall become effective October 1, 2020.**

YELLOWSTONE - BIRD GLASS CALCULATION -
OCTOBER 02, 2023

50+ SQ FT AND REQUIRE A BIRD GLAZING SAFETY SYSTEM ON A MIN. OF 85% OF THE GLAZING

WINDOW DESIGNATION	WIDTH	HEIGHT	# OF PANES	AREA	WALL DESIGNATION											
					NORTH ELEVATION		SOUTH ELEVATION		EAST ELEVATION		WEST ELEVATION		COURTYARD NORTH ELEVATION		COURTYARD SOUTH ELEVATION	
					GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW
A -WINDOW - 6'-0"x 6'-0"	5.7	5.7	4.0	32.5	519.8	16.0	130.0	4.0	389.9	12.0	357.4	11.0	130.0	4.0	0.0	0.0
B -WINDOW - 3'-0"x 6'-0"	2.7	5.7	2.0	15.4	61.6	4.0	92.3	6.0	0.0	0.0	230.9	15.0	61.6	4.0	61.6	4.0
C1 -WINDOW - 5'-0"x 6'-0"	4.7	5.7	2.0	26.8	0.0	0.0	0.0	0.0	0.0	0.0	26.8	1.0	0.0	0.0	0.0	0.0
C2 -WINDOW - 6'-0"x 6'-0"	5.7	5.7	2.0	32.5	0.0	0.0	0.0	0.0	0.0	0.0	32.5	1.0	0.0	0.0	0.0	0.0
D -WINDOW - 6'-6"x 6'-0"	6.2	5.7	3.0	35.3	424.1	12.0	282.7	8.0	141.4	4.0	353.4	10.0	212.0	6.0	141.4	4.0
E -WINDOW - 2'-0"x 6'-0"	1.7	5.7	2.0	9.7	0.0	0.0	0.0	0.0	193.8	20.0	38.8	4.0	0.0	0.0	0.0	0.0
F -WINDOW - 3'-8"x 2'-8"	3.3	2.3	1.0	7.6	0.0	0.0	0.0	0.0	15.2	2.0	0.0	0.0	0.0	0.0	0.0	0.0
G -WINDOW - 6'-0"x 2'-8"	5.7	2.3	2.0	13.1	26.2	2.0	0.0	0.0	0.0	0.0	13.1	1.0	0.0	0.0	0.0	0.0
H -WINDOW - 5'-0"x 6'-0"	4.7	5.7	3.0	26.8	107.2	4.0	107.2	4.0	0.0	0.0	0.0	0.0	0.0	0.0	107.2	4.0
J -WINDOW - 6'-4"x 2'-8"	6.0	2.3	1.0	13.8	0.0	0.0	13.8	1.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
K -WINDOW - 3'-8"x 2'-8"	3.3	2.3	1.0	7.6	0.0	0.0	7.6	1.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
L -WINDOW - 3'-0"x 4'-0"	2.7	3.7	1.0	10.0	0.0	0.0	30.0	3.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
M -WINDOW - 3'-4" x 8'-0"	3.0	7.7	2.0	23.1	0.0	0.0	46.2	2.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
N -WINDOW - 6'-0"x 8'-0"	5.7	7.7	4.0	43.9	0.0	0.0	43.9	1.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
O -WINDOW - 4'-0" X 9'-0"	3.7	8.7	2.0	32.2	0.0	0.0	96.6	3.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
P1 -WINDOW -7'-8"x 7'-0"	7.3	6.7	4.0	48.9	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	97.8	2.0	0.0	0.0
P2 -WINDOW -6'-0"x 7'-0"	5.7	6.7	4.0	38.2	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	76.4	2.0	0.0	0.0
Q -WINDOW - 7'-6"x 3'-6"	7.2	3.2	2.0	23.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	230.4	10.0	0.0	0.0
R -DOOR - 6'-6"x 8'-0"	6.2	7.7	2.0	47.7	191.0	4.0	429.7	9.0	954.8	20.0	381.9	8.0	0.0	0.0	0.0	0.0
S -DOOR - 3'-4"x 8'-0"	3.0	7.7	2.0	23.1	92.4	4.0	231.0	10.0	0.0	0.0	369.6	16.0	69.3	3.0	92.4	4.0
S1-SIDELITE - 6'-6"x 8'-0"	6.2	7.7	2.0	47.7	191.0	4.0	0.0	0.0	0.0	0.0	525.1	11.0	143.2	3.0	191.0	4.0
					1613.2	TOTAL GLZ	1,510.9	TOTAL GLZ	1,695.0	TOTAL GLZ	2,329.5	TOTAL GLZ	1,020.7	TOTAL GLZ	593.4	TOTAL GLZ
					6989	WALL AREA	6,931.0	WALL AREA	9,657.0	WALL AREA	9,657.0	WALL AREA	3,248.0	WALL AREA	3,248.0	WALL AREA
					23.08%	% GLAZING	21.80%	% GLAZING	17.55%	% GLAZING	24.12%	% GLAZING	31.42%	% GLAZING	18.27%	% GLAZING

SF DESIGNATION	WIDTH	HEIGHT	# OF PANES	AREA	WALL DESIGNATION											
					NORTH ELEVATION		SOUTH ELEVATION		EAST ELEVATION		WEST ELEVATION		COURTYARD NORTH ELEVATION		COURTYARD SOUTH ELEVATION	
					GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF
T - STOREFRONT 6'-0"x 9'-0"	5.7	8.7	3.0	49.6	148.8	3.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
					148.8	TOTAL GLZ	0.0	TOTAL GLZ	0.0	TOTAL GLZ	0.0	TOTAL GLZ	0.0	TOTAL GLZ	0.0	
					517.0	WALL AREA	0.0	WALL AREA	0.0	WALL AREA	0.0	WALL AREA	0.0	WALL AREA	0.0	
					28.78%	% GLAZING	0.00%	% GLAZING	0.00%	% GLAZING	0.00%	% GLAZING	0.00%	% GLAZING	0.00%	

TOTALS											
NORTH ELEVATION		SOUTH ELEVATION		EAST ELEVATION		WEST ELEVATION		COURTYARD NORTH ELEVATION		COURTYARD SOUTH ELEVATION	
1,762.0	TOTAL GLZ	1,510.9	TOTAL GLZ	1,695.0	TOTAL GLZ	2,329.5	TOTAL GLZ	1,020.7	TOTAL GLZ	593.4	TOTAL GLZ
7,506.0	WALL AREA	6,931.0	WALL AREA	9,657.0	WALL AREA	9,657.0	WALL AREA	3,248.0	WALL AREA	3,248.0	WALL AREA
23.47%	% GLAZING	21.80%	% GLAZING	17.55%	% GLAZING	24.12%	% GLAZING	31.42%	% GLAZING	18.27%	% GLAZING