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**JLA**  
ARCHITECTS

## YELLOWSTONE APARTMENTS

SITE CONTEXT

OCTOBER 02, 2023

ASP - 001



May 15, 2023

**Municipalities**

City

Ward Boundaries

Building Footprint

Parcels

1 foot Intervals

— 5 foot Intervals

— 1 foot Intervals

0 37.5 75 150 Feet

N



**JLA**

ARCHITECTS

# YELLOWSTONE APARTMENTS

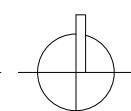
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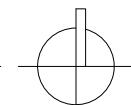
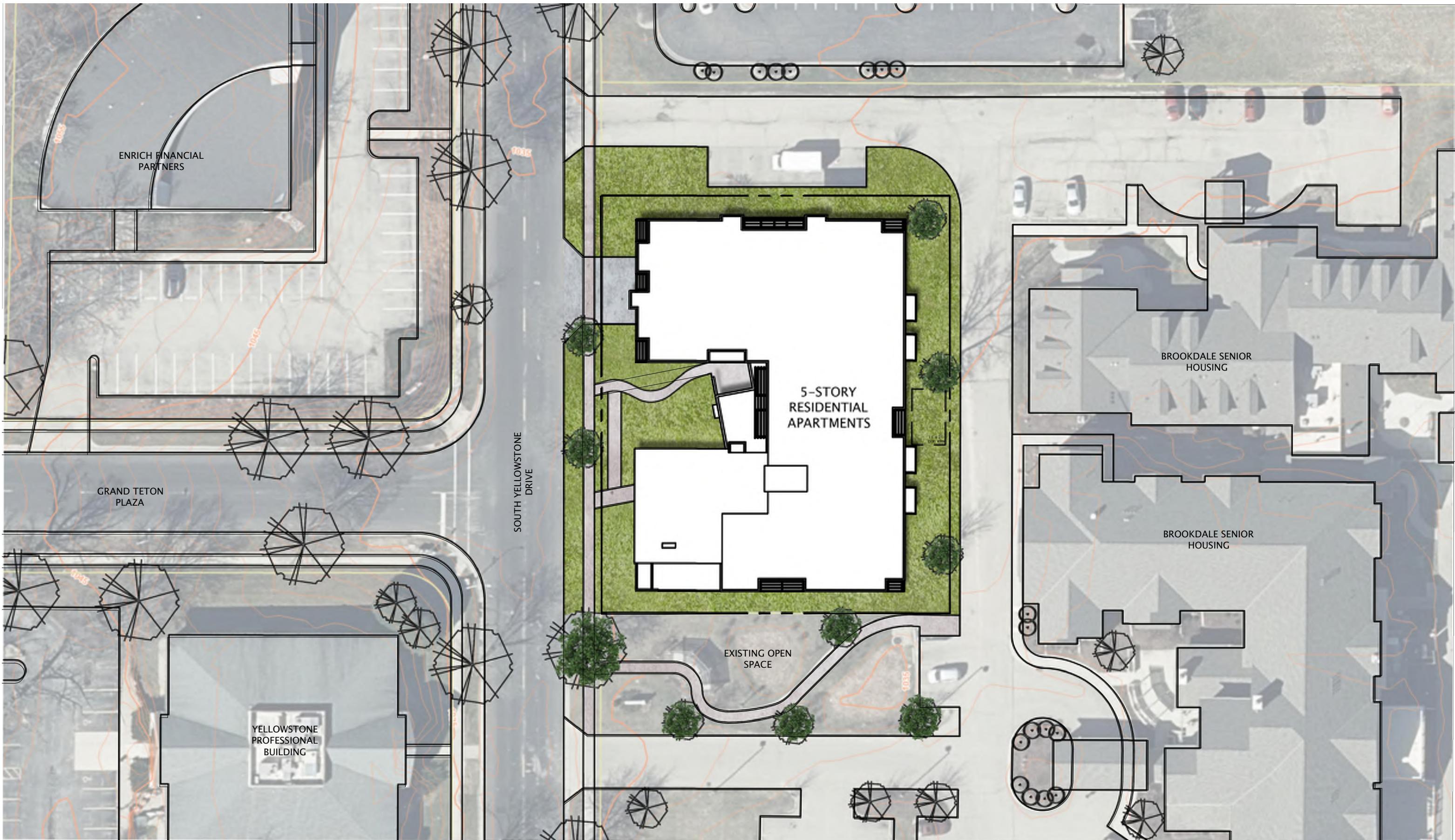
## EXISTING SITE PLAN

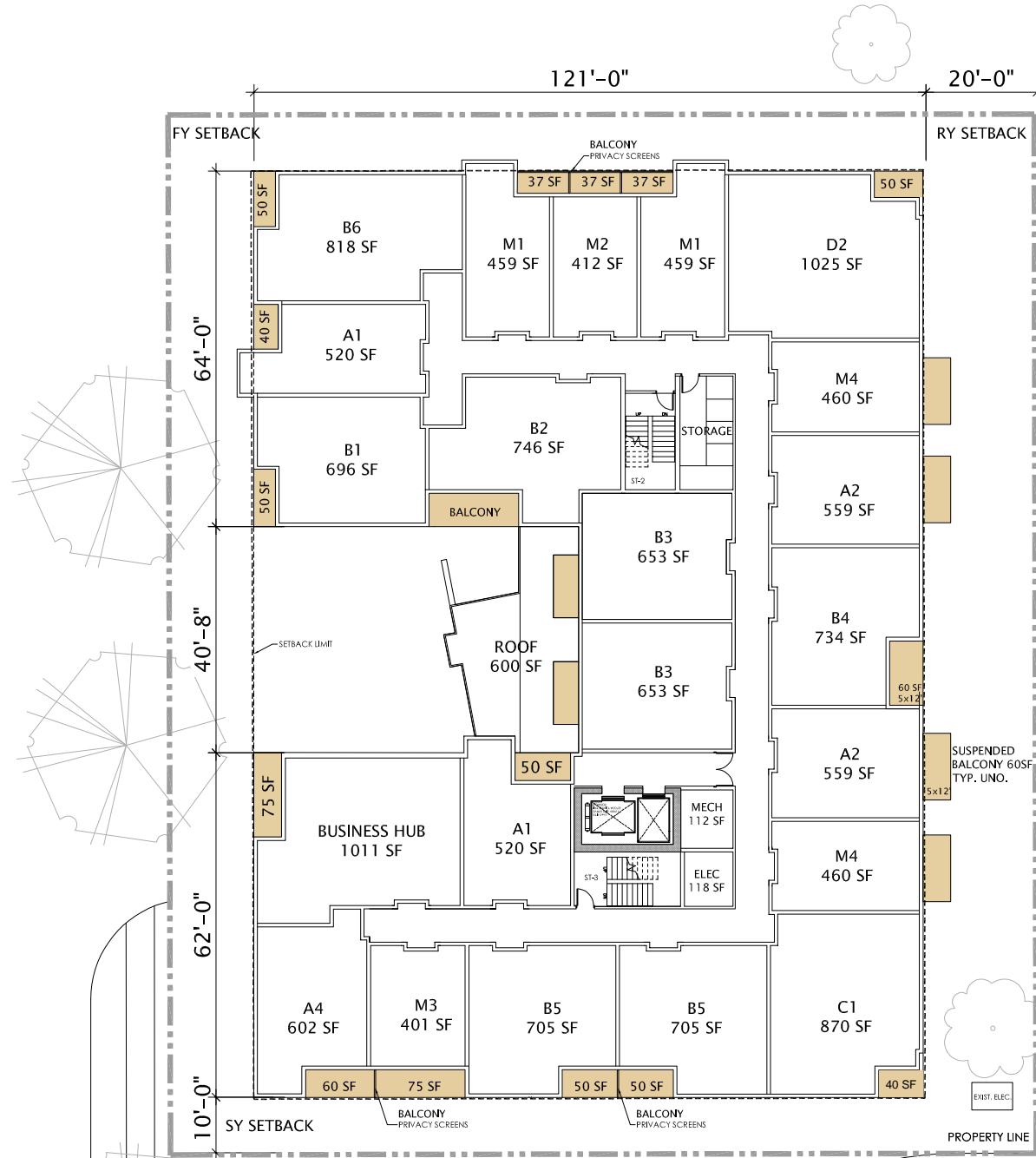
OCTOBER 2, 2023

1"=100' @ 11x17

ASP-002







DENOTES USABLE OPEN AREA ON PLAN = 10,083 SF.

DENOTES USABLE OPEN AREA PRIVATE BALCONIES  
2nd = 1,221 SF. + 3-5 (3,693 SF) TOTAL = 4,914 SF

MINIMUM USABLE SPACE REQUIREMENT - SF/du (40/DU)  
83 TOTAL DU x 40sf = 3,320. SF

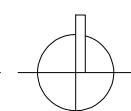
**PROGRESS DOCUMENTS**  
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

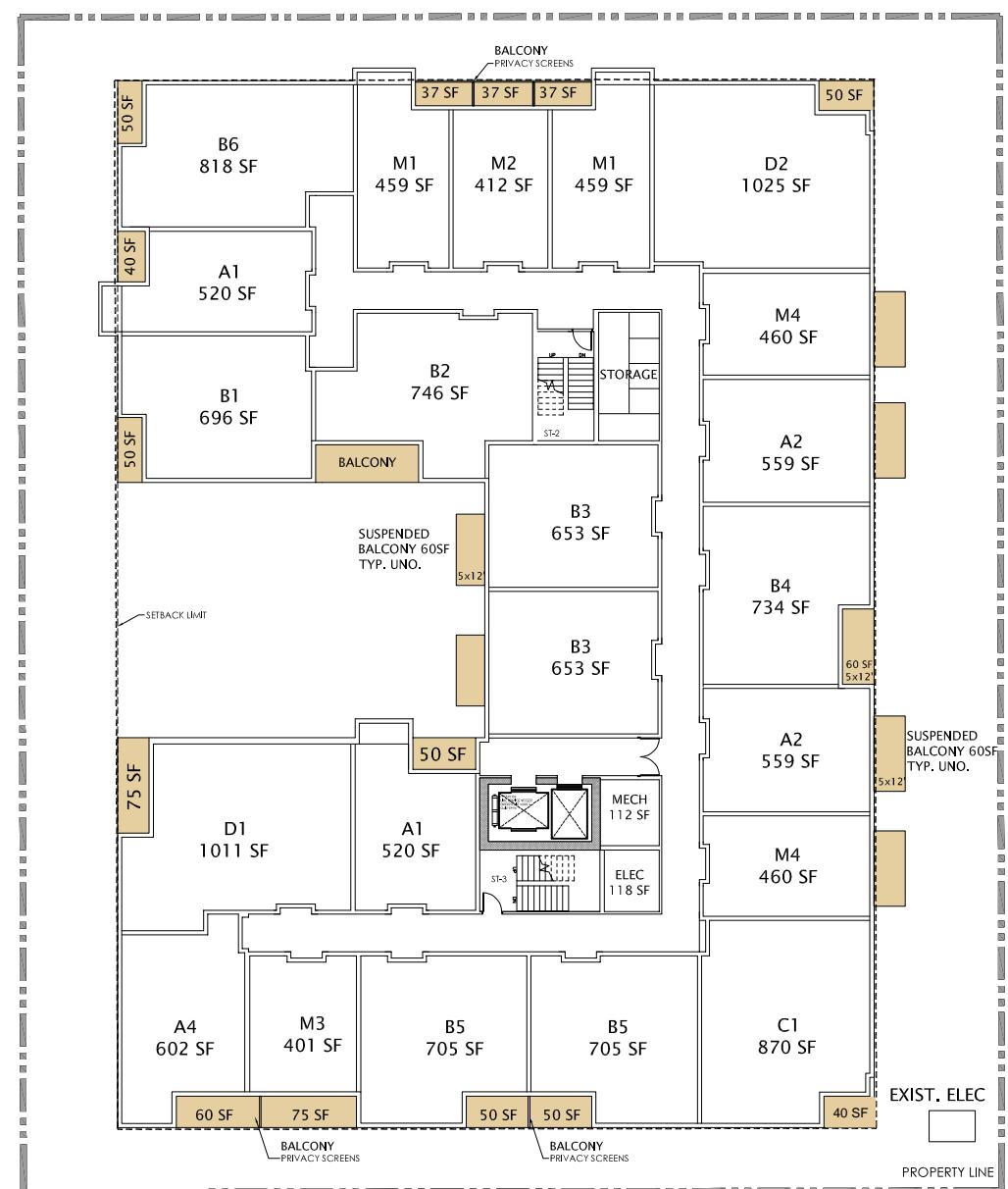


**JLA**  
ARCHITECTS

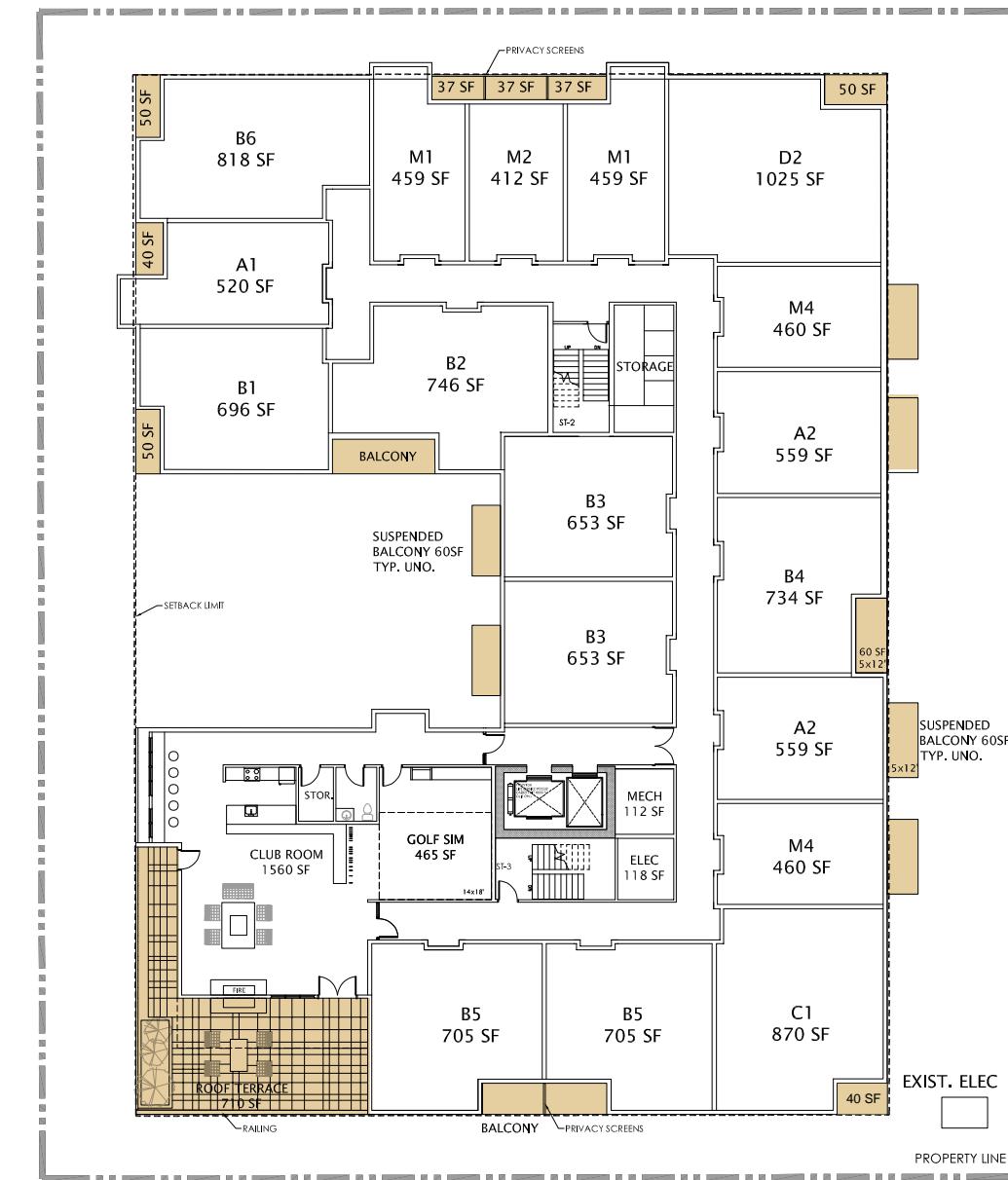
**YELLOWSTONE APARTMENTS**  
USEABLE OPEN SPACE

OCTOBER 2, 2023  
1"=30' @ 11x17





TYPICAL FLOOR PLAN



TOP FLOOR PLAN

[Yellow Box] DENOTES USABLE OPEN AREA PRIVATE BALCONIES  
3-4 = 2,242 SF. TOP = 1,451SF.

PROGRESS DOCUMENTS  
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

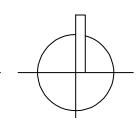


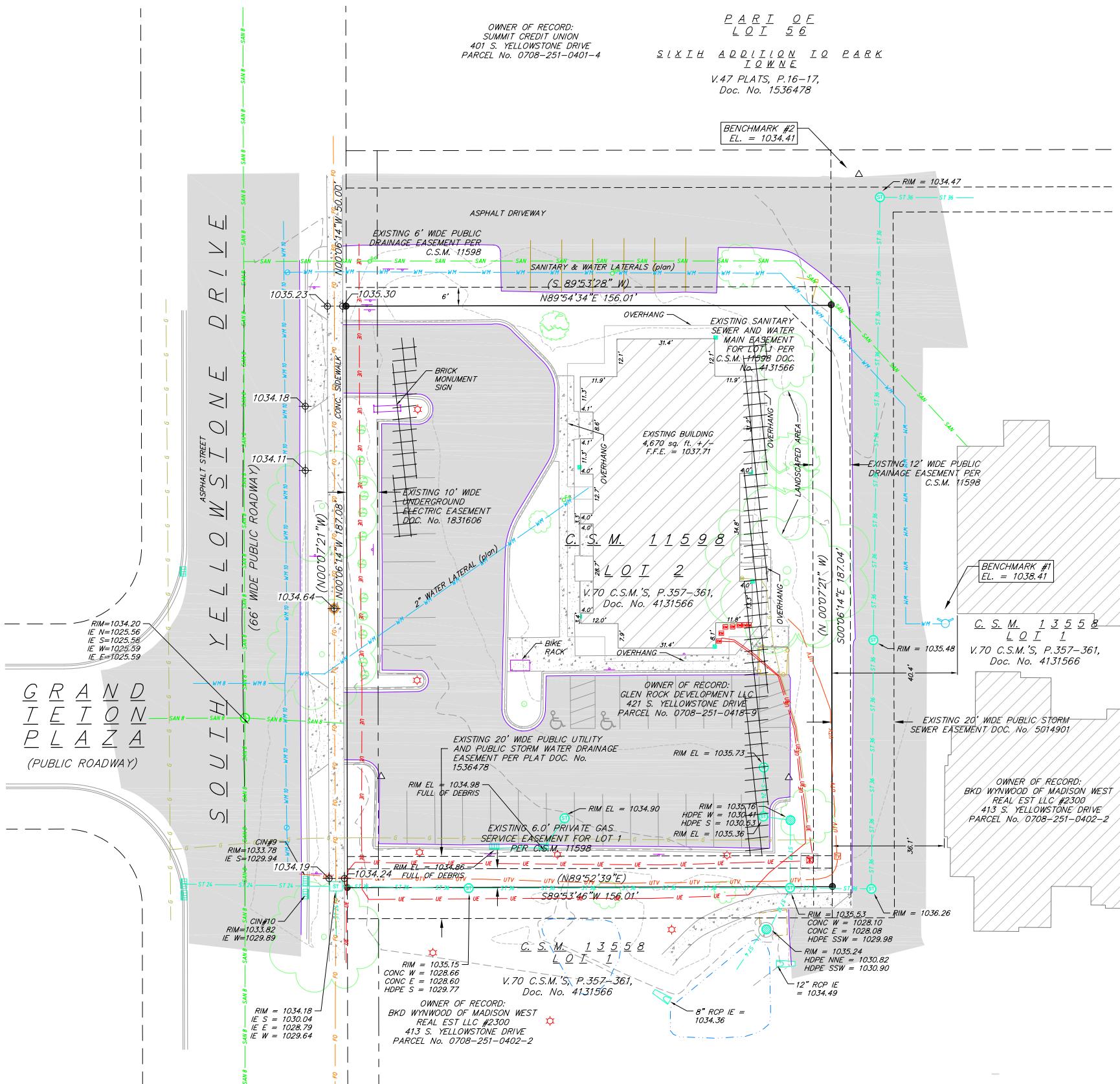
**JLA**  
ARCHITECTS

**YELLOWSTONE APARTMENTS**  
USEABLE OPEN SPACE

USABLE OPEN SPACE  
ASP - 005

OCTOBER 2, 2023  
1"=30' @ 11x17





## NOT FOR CONSTRUCTION

THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE  
1-800-242-8511

SURVEYED FOR:  
Walter Wayne Development  
702 North High Point Road  
Suite 200  
Madison, WI 53717

SURVEYED BY:  
Vierbicher Associates, Inc.  
By: Baiba M. Rozite, PLS  
600 W. Virginia St., Suite 601  
Milwaukee, WI 53204  
(262) 408-5564  
[broz@vierbicher.com](mailto:broz@vierbicher.com)

A compass rose is centered on the page. It features four main arrows pointing North (N), South (S), East (E), and West (W). Below the compass is a horizontal scale bar with tick marks at 0, 10, 20, and 40. The text "SCALE: ONE INCH = TWENTY FEET" is written in capital letters below the scale bar.

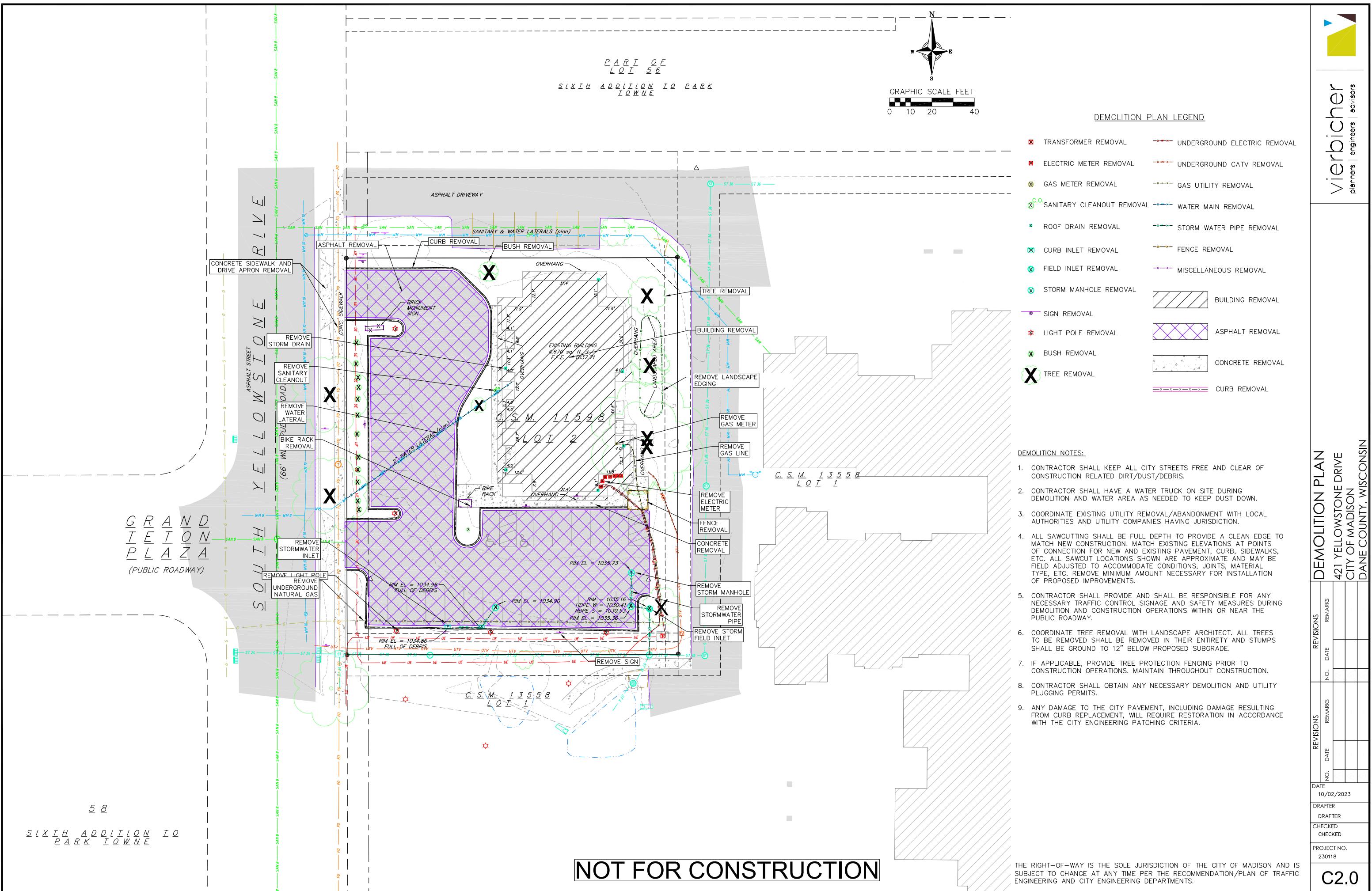
BEARINGS ARE REFERENCED TO THE WISCONSIN  
COUNTY COORDINATE SYSTEM, DANE COUNTY,  
WISCONSIN. THE EASTERLY RIGHT-OF-WAY  
LINE OF SOUTH YELLOWSTONE DRIVE MEASURED  
AS BEARING NOO°06'14"W

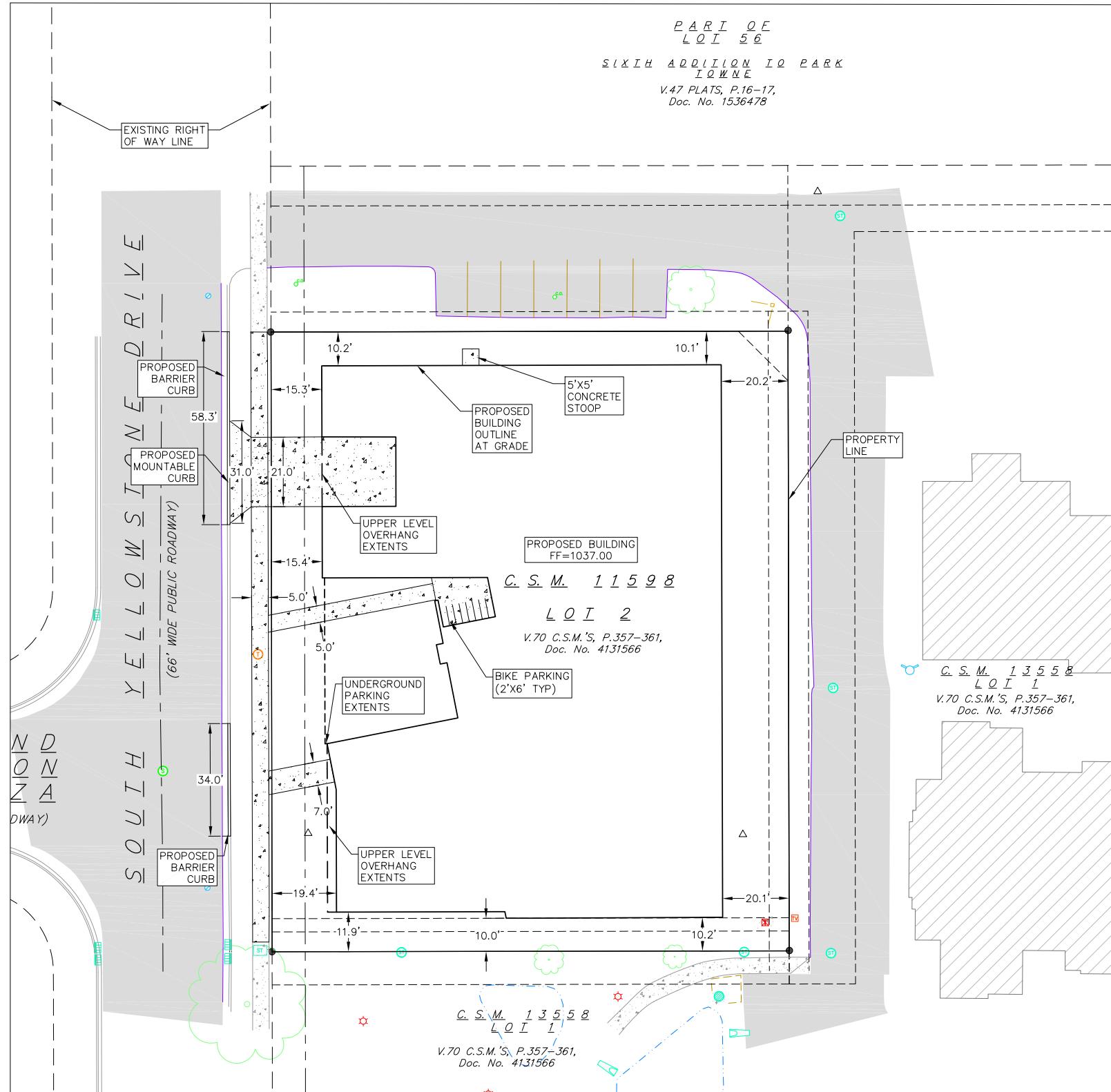
# EXISTING CONDITIONS

4421 YELLOWSTONE DRIVE  
CITY OF MADISON  
DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS		REMARKS	
NO.	DATE	REMARKS	NO.	DATE	REMARKS
DATE 10/02/2023					
DRAFTER					
DRAFTER					
CHECKED					
CHECKED					
PROJECT NO. 230118					
C1.0					

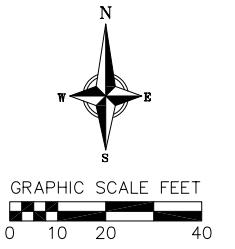
**vierbicher** planners engineers advisors





**SITE PLAN LEGEND**

PROPERTY BOUNDARY	
CURB AND GUTTER (REVERSE CURB HATCHED)	
PROPOSED CONCRETE	



**SITE PLAN**  
421 YELLOWSTONE DRIVE  
CITY OF MADISON  
DANE COUNTY, WISCONSIN

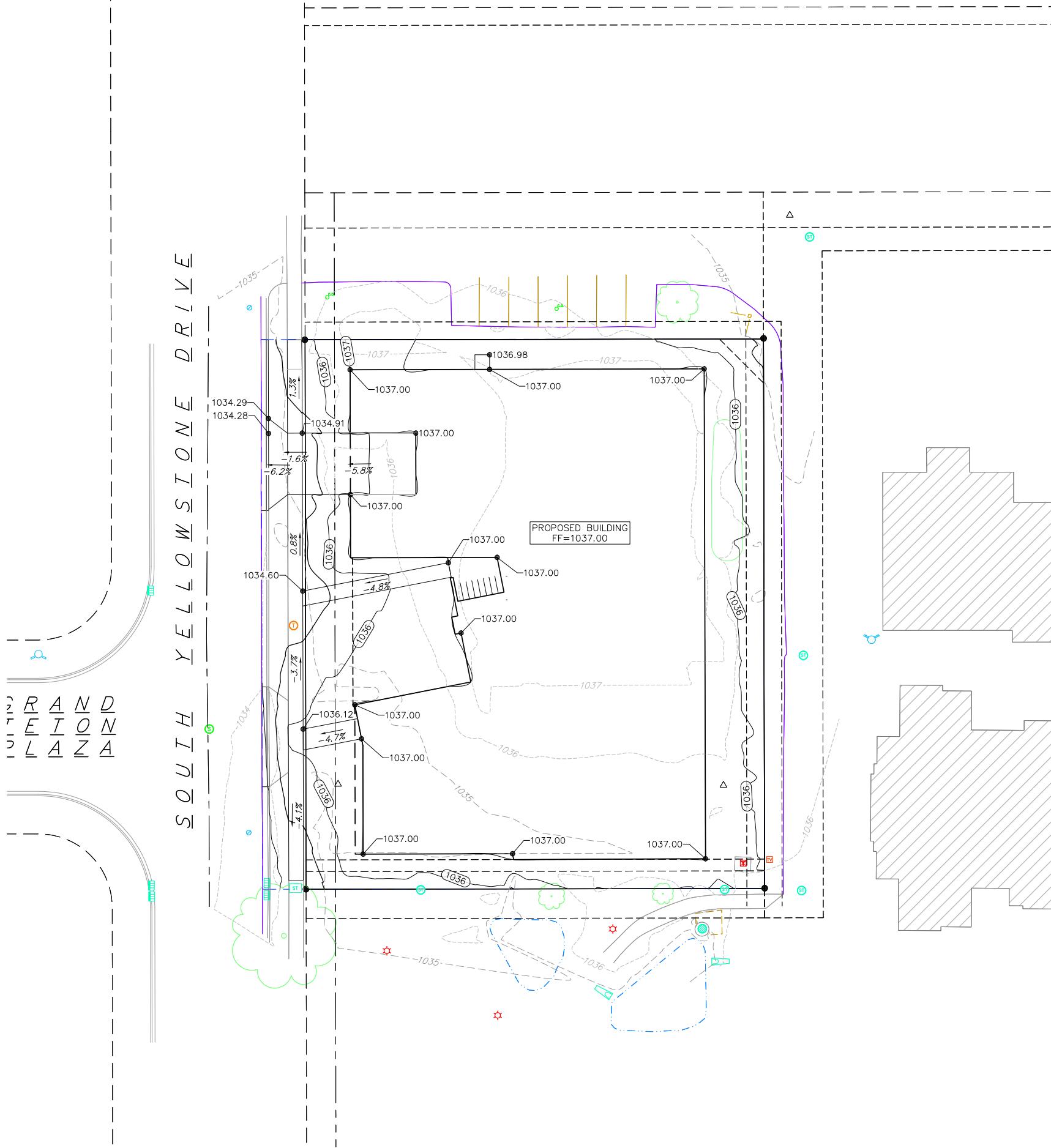
REVISIONS	REVISIONS	REVISIONS	SITE PLAN
NO.	DATE	REMARKS	REMARKS
1	10/02/2023		

**vierbicher**  
planners | engineers | **advisors**

THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

**NOT FOR CONSTRUCTION**

C3.0

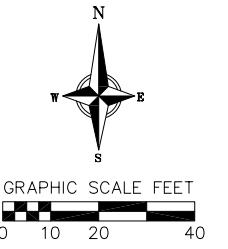


<u>GRADING LEGEND</u>	
820 —	EXISTING MAJOR CONTOURS
818 —	EXISTING MINOR CONTOURS
820 —	PROPOSED MAJOR CONTOURS
818 —	PROPOSED MINOR CONTOURS
— — —	DITCH CENTERLINE
— — —	SILT FENCE
— — —	DISTURBED LIMITS
— — —	BERM
→ →	DRAINAGE DIRECTION
.92%	PROPOSED SLOPE ARROWS
048.61	EXISTING SPOT ELEVATIONS
1048.61	PROPOSED SPOT ELEVATIONS
	STONE WEEPER
	VELOCITY CHECK
	INLET PROTECTION
	EROSION MAT CLASS I, TYPE
	EROSION MAT CLASS II, TYPE
	EROSION MAT CLASS III, TYPE
	EROSION MAT CLASS II, TYPE
	TRACKING PAD
	RIP RAP

GRADING NOTES

1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
2. ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
3. CROSS SLOPE OF SIDEWALKS SHALL BE 1.5% UNLESS OTHERWISE NOTED.
4. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
5. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
6. ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2.0% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
7. NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
8. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.

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**GRADING AND EROSION CONTROL PLAN**

# GRADING AND EROSION

## 421 YELLOWSTONE DRIVE

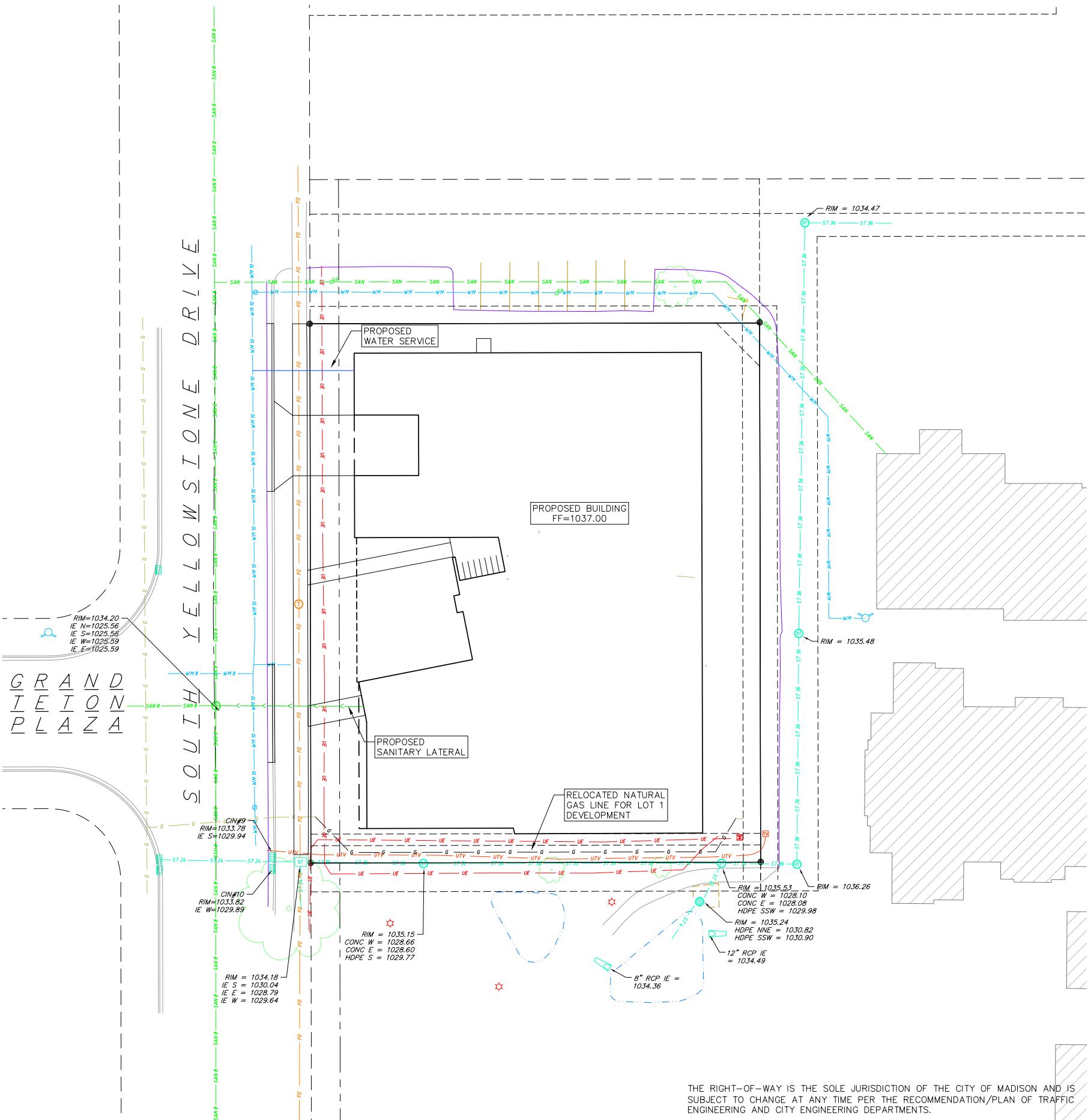
### CITY OF MADISON

#### DAINE COUNTY, WISCONSIN

DATE  
10/02/2023  
DRAFTER  
ZFLI  
CHECKED  
CHECKED  
PROJECT NO.  
230118

# NOT FOR CONSTRUCTION

C4.0



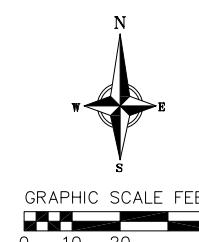
THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

**NOT FOR CONSTRUCTION**

## UTILITY NOTES

1. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
3. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
4. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
6. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
7. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
8. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
9. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
10. UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
11. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
12. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 – SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
13. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).
14. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b).
15. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
16. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
17. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
18. CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES
19. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
20. SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 26. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 35.
21. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
22. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
23. INSTALL 1 SHEET OF 4'x8'x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.

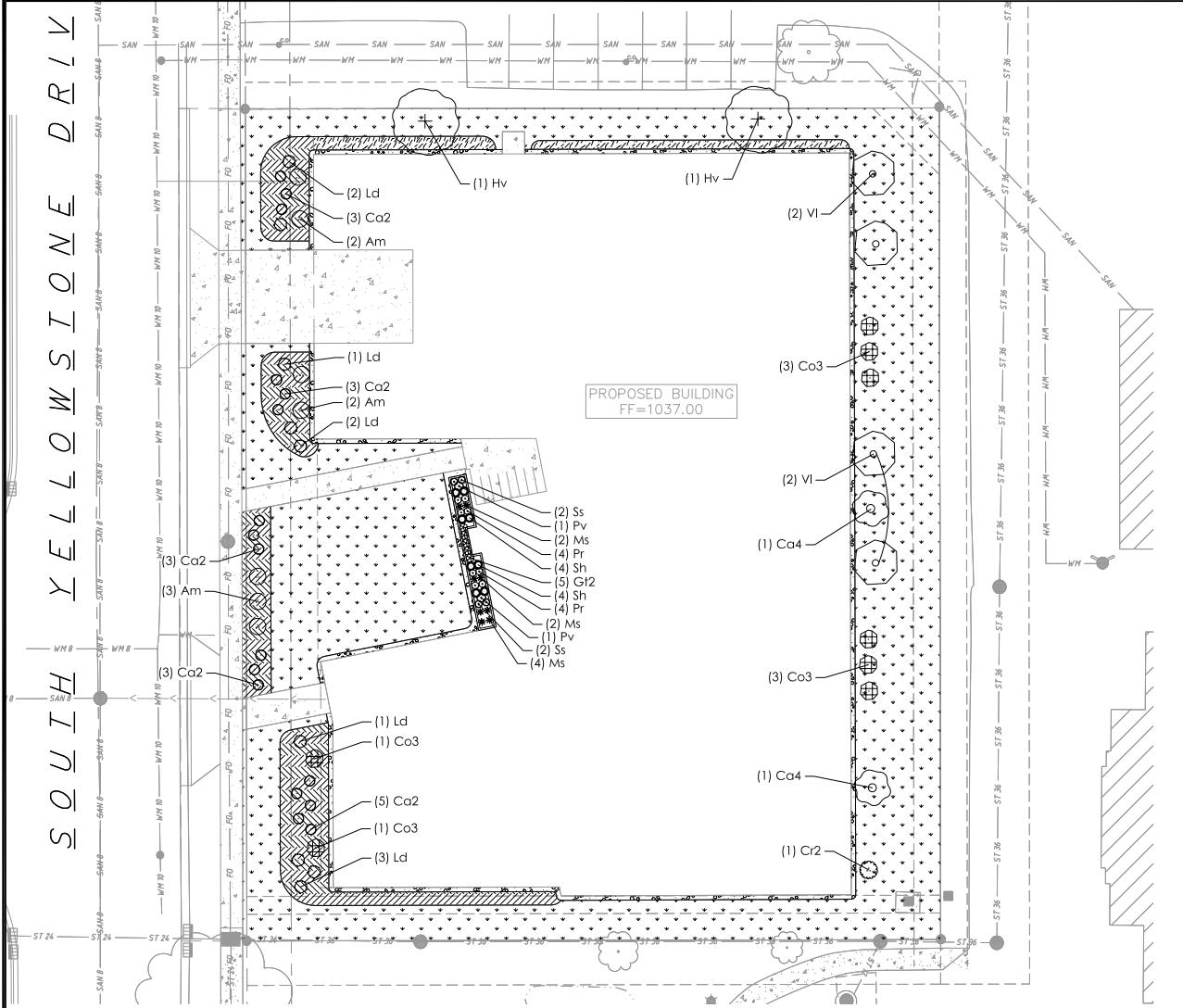
#### PROPOSED UTILITY LEGEND



## ABBREVIATIONS

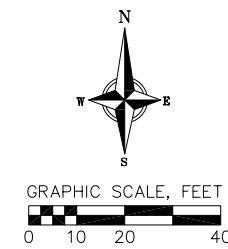
TMH - STORM MANHOLE  
I - FIELD INLET  
C - CURB INLET  
B - CATCH BASIN  
W - ENDWALL  
MH - SANITARY MANHOLE

DATE	10/02/2023
DRAFTER	DRAFTER
CHECKED	CHECKED
PROJECT NO.	230118
C5.0	



## PLANT SCHEDULE

UNDERSTORY TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Hv	<i>Hamamelis virginiana</i> / Common Witch Hazel	B & B	5' ht.	2
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Am	<i>Aronia melanocarpa</i> / Black Chokeberry	Cont.	5 Gal.	7
Ca2	<i>Ceanothus americanus</i> / New Jersey Tea	Cont.	3 Gal.	17
Co3	<i>Cephaelanthus occidentalis</i> / Buttonbush	Cont.	5 Gal.	8
Cr2	<i>Cornus racemosa</i> / Gray Dogwood	Cont.	5 Gal.	1
Ca4	<i>Corylus americana</i> / American Hazelnut	Cont.	5 Gal.	2
Ld	<i>Lonicera diervilla</i> / Honeysuckle	Cont.	3 Gal.	9
VI	<i>Viburnum lentago</i> / Nannyberry	Cont.	5 Gal.	4
PERENNIALS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Gl2	<i>Geum triflorum</i> / Prairie Smoke	Cont.	1 Gal.	5
Ms	<i>Malteuccia struthioptera</i> / Ostrich Fern	Cont.	1 Gal.	8
Pv	<i>Panicum virgatum</i> / Switch Grass	Cont.	1 Gal.	2
Pr	<i>Polygonum reptans</i> / Greek Valerian	Cont.	1 Gal.	8
Ss	<i>Schizachyrium scoparium</i> / Little Bluestem	Cont.	1 Gal.	4
Sh	<i>Sporobolus heterolepis</i> / Prairie Dropseed	Cont.	1 Gal.	8

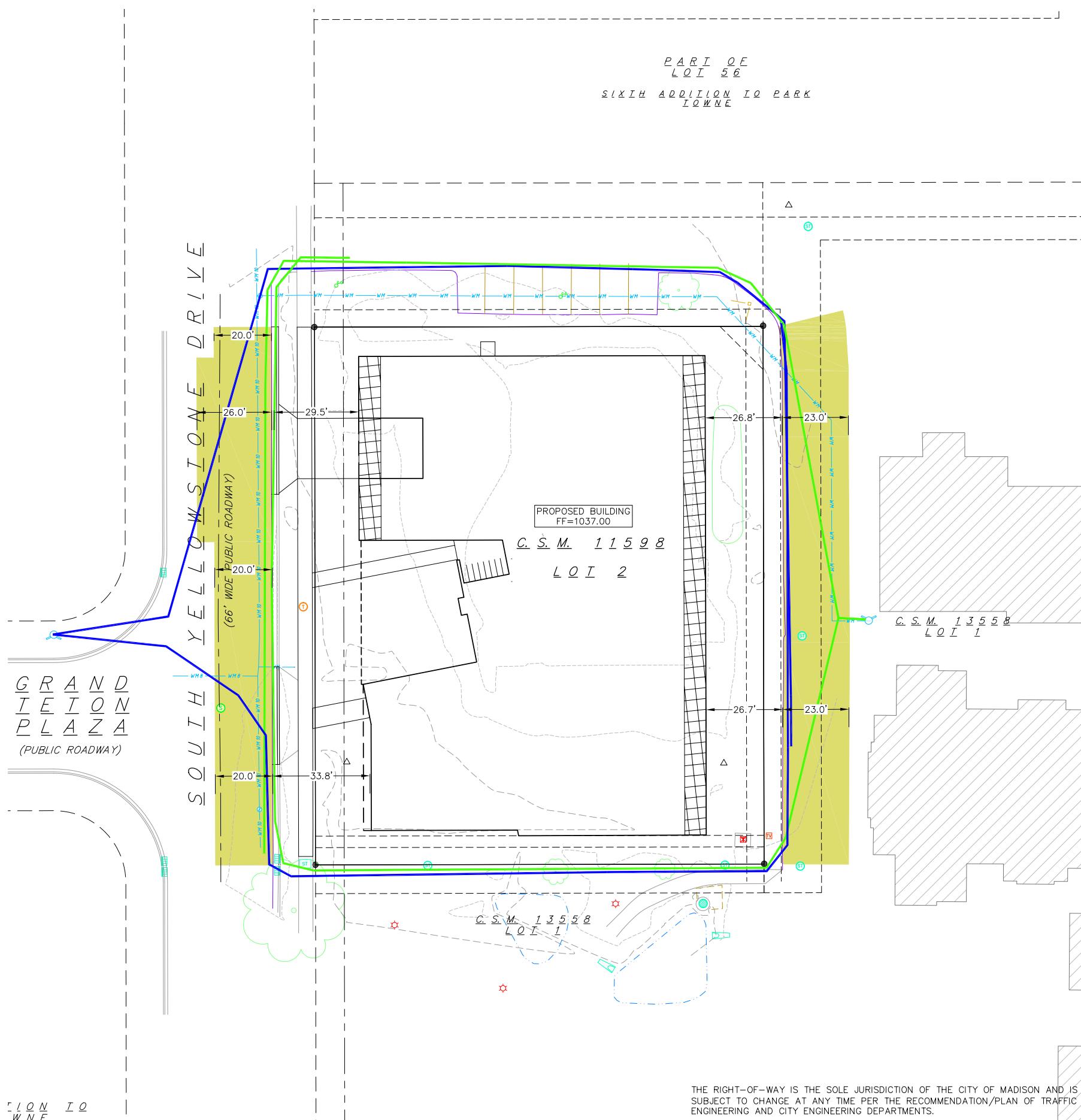


## CONCEPT PLANT SCHEDULE

	<b>WASHED STONE</b>	602 sf
	<b>GC #1</b>	1,313 sf
	<i>Allium cernuum</i> / Nodding Onion	28
	<i>Anemone canadensis</i> / Canadian Anemone	28
	<i>Asclepias tuberosa</i> / Butterfly Milkweed	41
	<i>Carex bicknellii</i> / Prairie Sedge	205
	<i>Coreopsis palmata</i> / Stiff Tickseed	41
	<i>Dalea purpurea</i> / Pale Purple Coneflower	41
	<i>Echinacea pallida</i> / Pale Purple Coneflower	41
	<i>Koeleria macrantha</i> / Prairie Junegrass	151
	<i>Liatris aspera</i> / Rough Blazing Star	55
	<i>Monarda punctata</i> / Spotted Horsemint	28
	<i>Rudbeckia hirta</i> / Black-eyed Susan	28
	<i>Schizachyrium scoparium</i> / Little Bluestem	273
	<i>Sporobolus heterolepis</i> / Prairie Dropseed	410
	<b>TURF #1</b>	8,192 sf
	<b>GC #2</b>	263 sf
	<i>Anemone canadensis</i> / Canadian Anemone	9
	<i>Aquilegia canadensis</i> / Eastern Columbine	14
	<i>Carex rosea</i> / Rosy Sedge	110
	<i>Coreopsis palmata</i> / Stiff Tickseed	55
	<i>Geranium maculatum</i> / Spotted Geranium	28
	<i>Hydrophyllum virginianum</i> / Virginia Waterleaf	9
	<i>Phlox divaricata</i> / Woodland Phlox	20
	<i>Polemonium reptans</i> / Greek Valerian	33

City of Madison Landscape Worksheet						
Address:	421 Yellowstone Dr	Date:	9.29.23			
Total Square Footage of Developed Area:	(Site Area)	-	(Building Footprint at Grade)	=	11317	sf
	29185		17868			
Total Landscape Points Required (<5 ac):	11,317	/ 300 =	38	x 5 =	189	
Landscape Points Required > 5 ac:		/ 100 =	0	x 1 =		189
				Credits/ Existing Landscaping	New/ Proposed Landscaping	
Plant Type/ Element	Min. Size at Installation	Points	Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2.5" cal	35		0		0
Tall Evergreen Tree	5-6 feet tall	35		0		0
Ornamental tree	1.5" cal	15		0	2	30
Upright evergreen shrub	3-4 feet tall	10		0		0
Shrub, deciduous	#3 gallon	3		0	48	144
Shrub, evergreen	#3 gallon	4		0		0
Ornamental grasses/perennials	#1 gallon	2		0	35	70
Ornamental/decorative fencing or wall	n/a	4 per 10 LF		0		0
Existing significant specimen tree	Min. Size 2.5" cal.	14 per caliper inch.		0		0
Landscape Furniture for public seating and/or transit connections		5 points per "seat"		0		0
<b>Sub Totals</b>				0		244
<b>Total Points Provided:</b> 244						

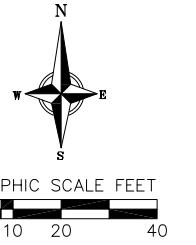
Landscape Plan  
421 YELLOWSTONE DRIVE  
CITY OF MADISON  
DANE COUNTY, WISCONSIN



THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

**NOT FOR CONSTRUCTION**

**EXH1**



A graphic scale bar for distances in feet. It features a series of alternating black and white squares. Below the bar, numerical markings are placed at 0, 10, 20, 30, and 40, with vertical lines extending upwards from each number to the scale bar.

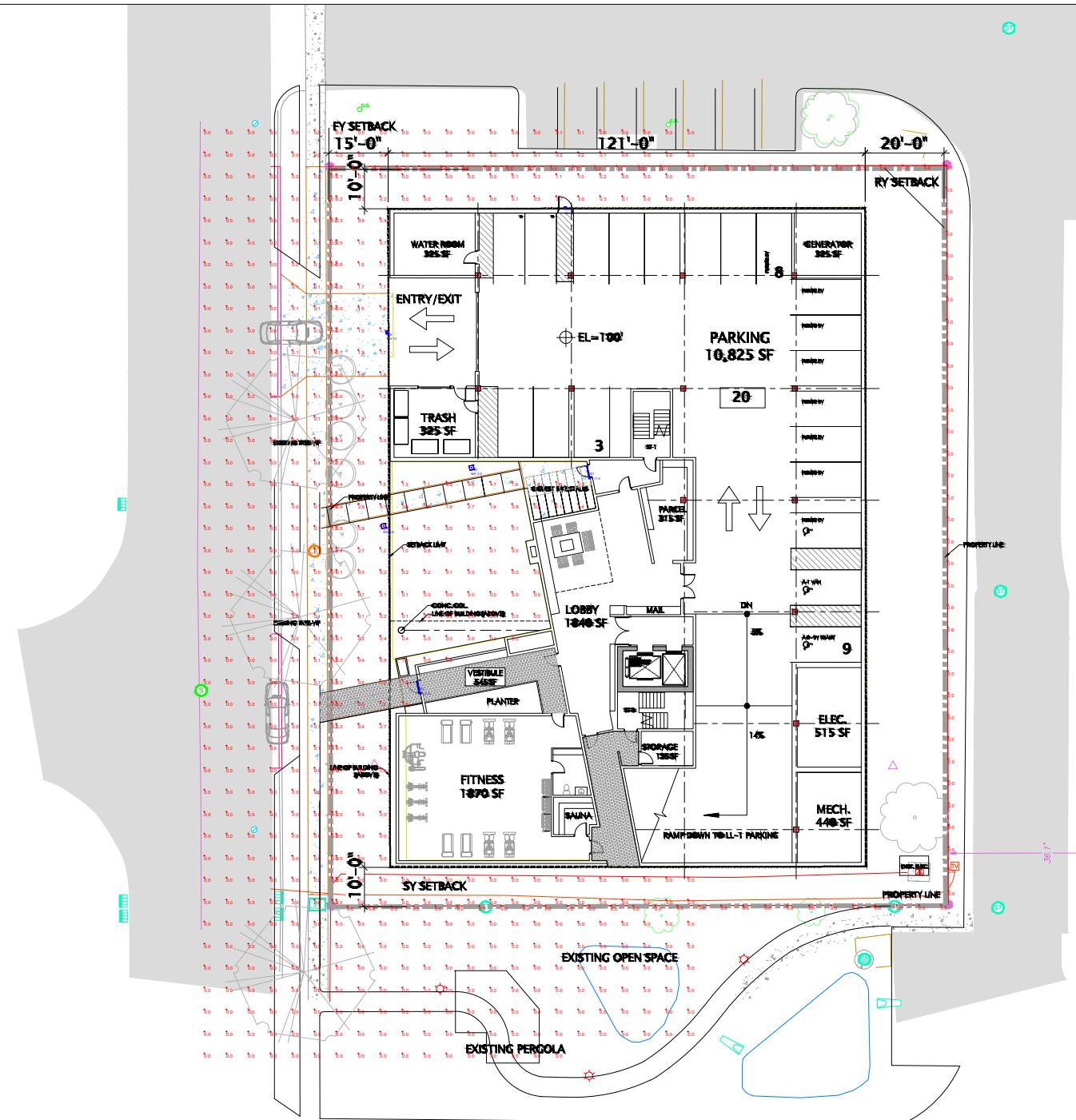
FIRE ACCESS LEGEND

500' HOSE LAY FROM HYDRANT

PROPOSED FIRE LANE (WIDTH NOTED)

250' HOSE LAY FROM FIRE LANE

AERIAL COVERAGE



Luminaire Schedule

Label	Qty	Arrangement	LLF	Tag	Description	Lum. Watts	Total Watts	Lum. Lumens
OB1	2	SINGLE	0.950	LITHONIA	DSXB LED 12C 350 xxK ASY - 42IN OAH	16	32	1283
OD1	2	SINGLE	0.370	LUM	BLD 36IN PRD (600LM) xxK DP	14.7	29.4	1537
OW	1	SINGLE	0.950	LITHONIA	WDGE2 LED P1 xxK 70CRI T1S	11.1658	11.1658	1371
OW1	1	SINGLE	0.950	TARGETTI	MRSW41FEMDL130	7	7	522

Calculation Summary

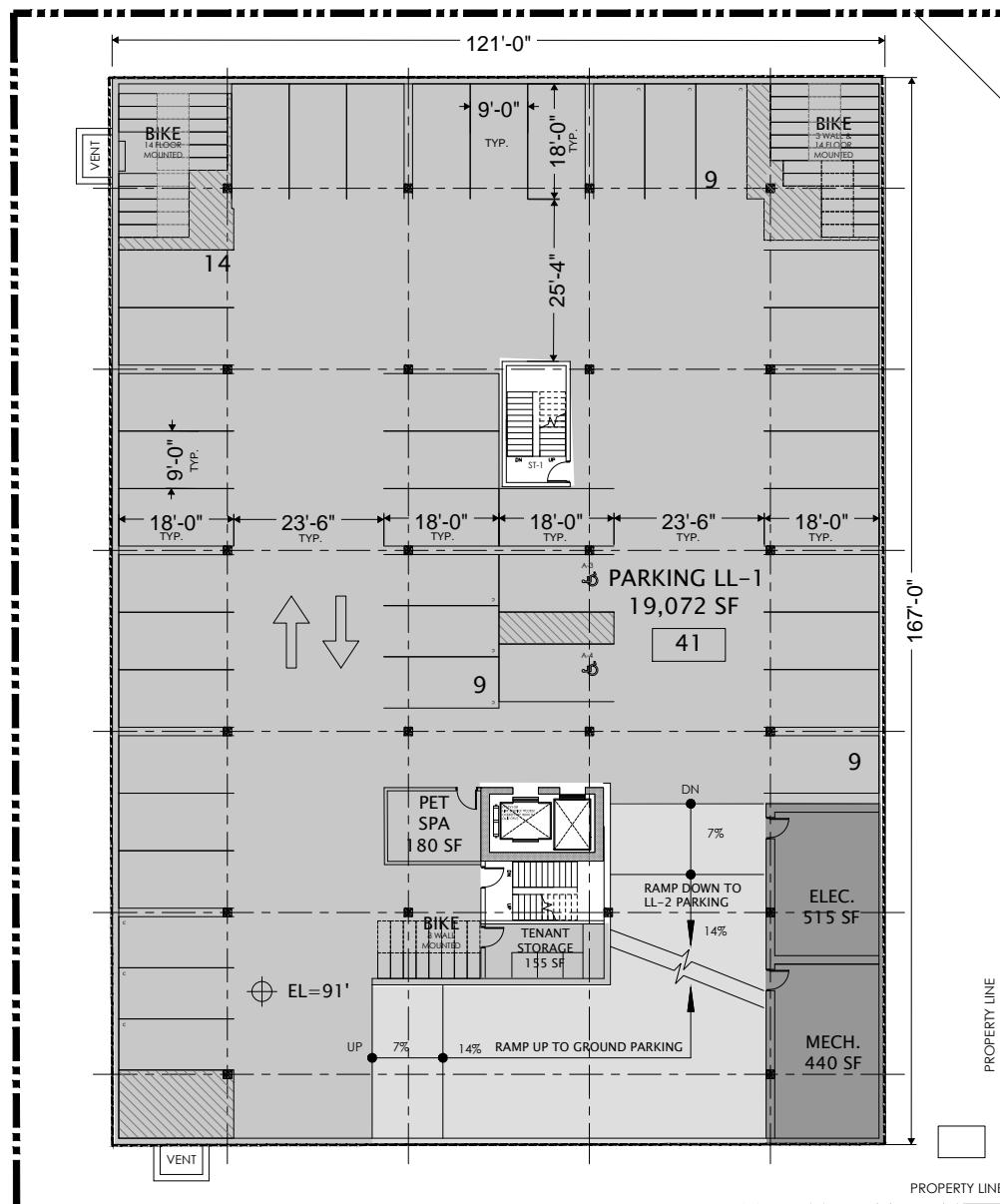
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PROPERTY LINE	Illuminance	Fc	0.08	0.7	0.0	N.A.	N.A.
BIKE ENTRY	Illuminance	Fc	2.85	9.6	0.8	3.56	12.00
GARAGE ENTRY	Illuminance	Fc	1.07	1.8	0.4	2.68	4.50
LOBBY ENTRY	Illuminance	Fc	0.98	1.9	0.2	4.90	9.50



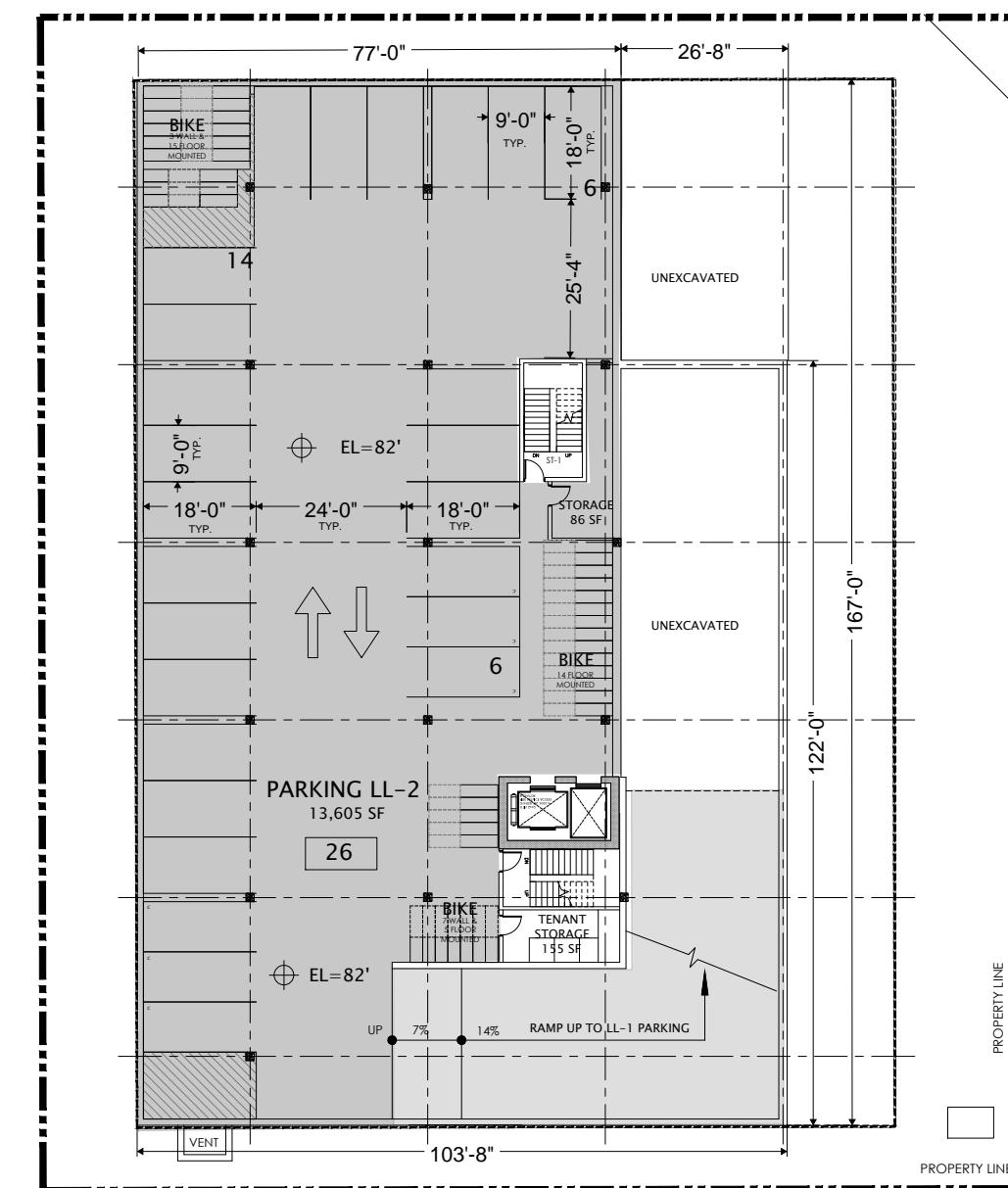
REVISIONS

DRAWN BY : LB  
DATE : SEPT 29, 2023  
SCALE : 1/16" = 1'-0"

YELLOWSTONE APARTMENTS  
MADISON, WISCONSIN  
SITE LIGHTING LAYOUT



LOWER LEVEL ONE PARKING



LOWER LEVEL TWO PARKING

LEVEL	AUTOMOBILE PARKING			BIKE PARKING
	STANDARD	ADA	TOTAL	
1	18	2	20	0
LL 1	41	0	41	39
LL 2	26	0	26	44
<b>TOTAL</b>	<b>85</b>	<b>2</b>	<b>87</b>	<b>83</b>

ELECTRIC VEHICLE PARKING DATA				
EV INSTALLED REQUIRED - 2%				EV INSTALLED PROVIDED - 2% (2 STALLS)
EV READY REQUIRED - 10%				EV READY PROVIDED - 10% (9 STALLS)

PROGRESS DOCUMENTS  
 These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.



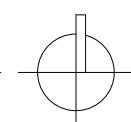
**J L A**  
ARCHITECTS

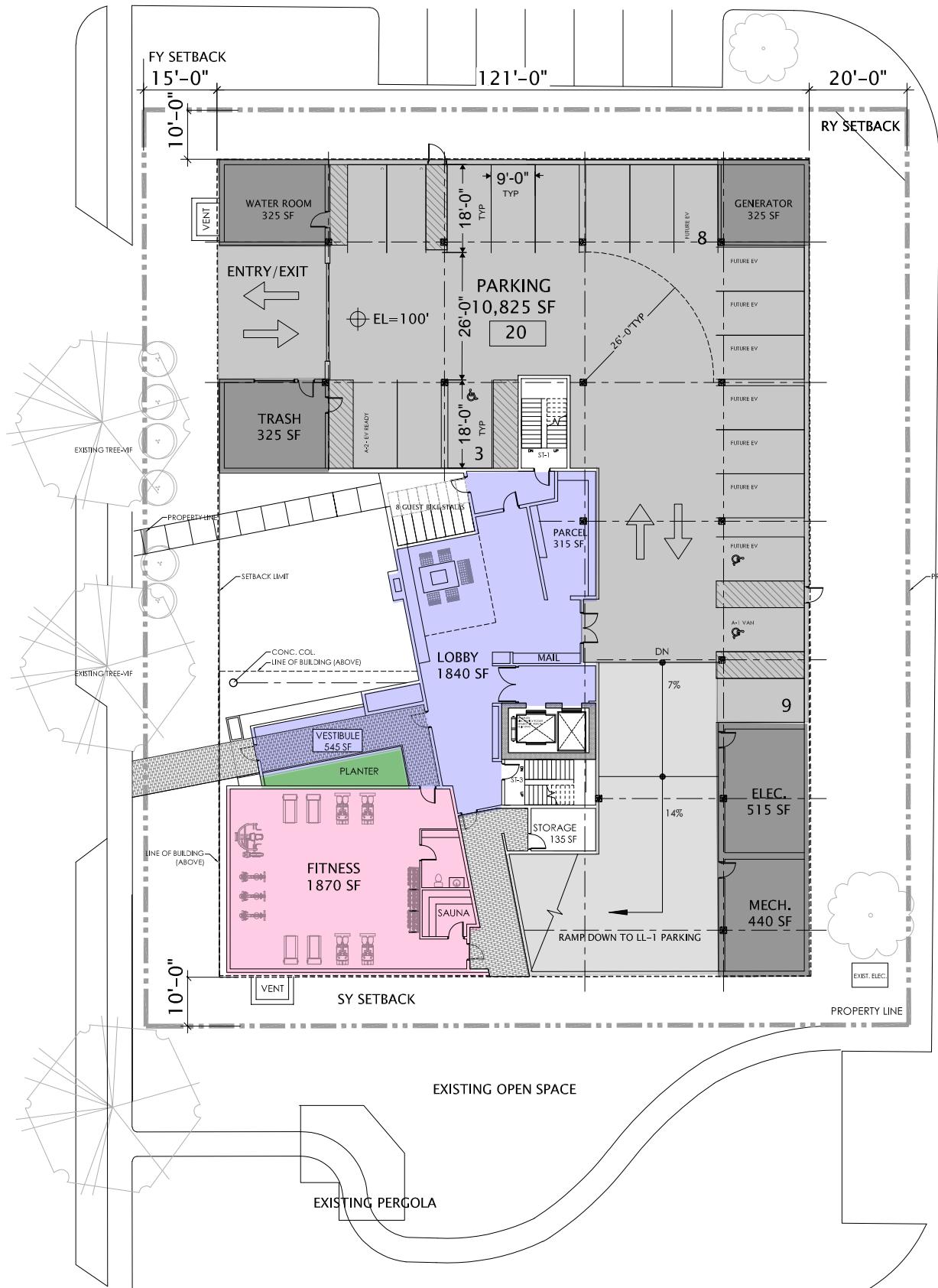
YELLOWSTONE APARTMENTS

LOWER LEVEL ONE & LOWER LEVEL TWO PARKING PLANS

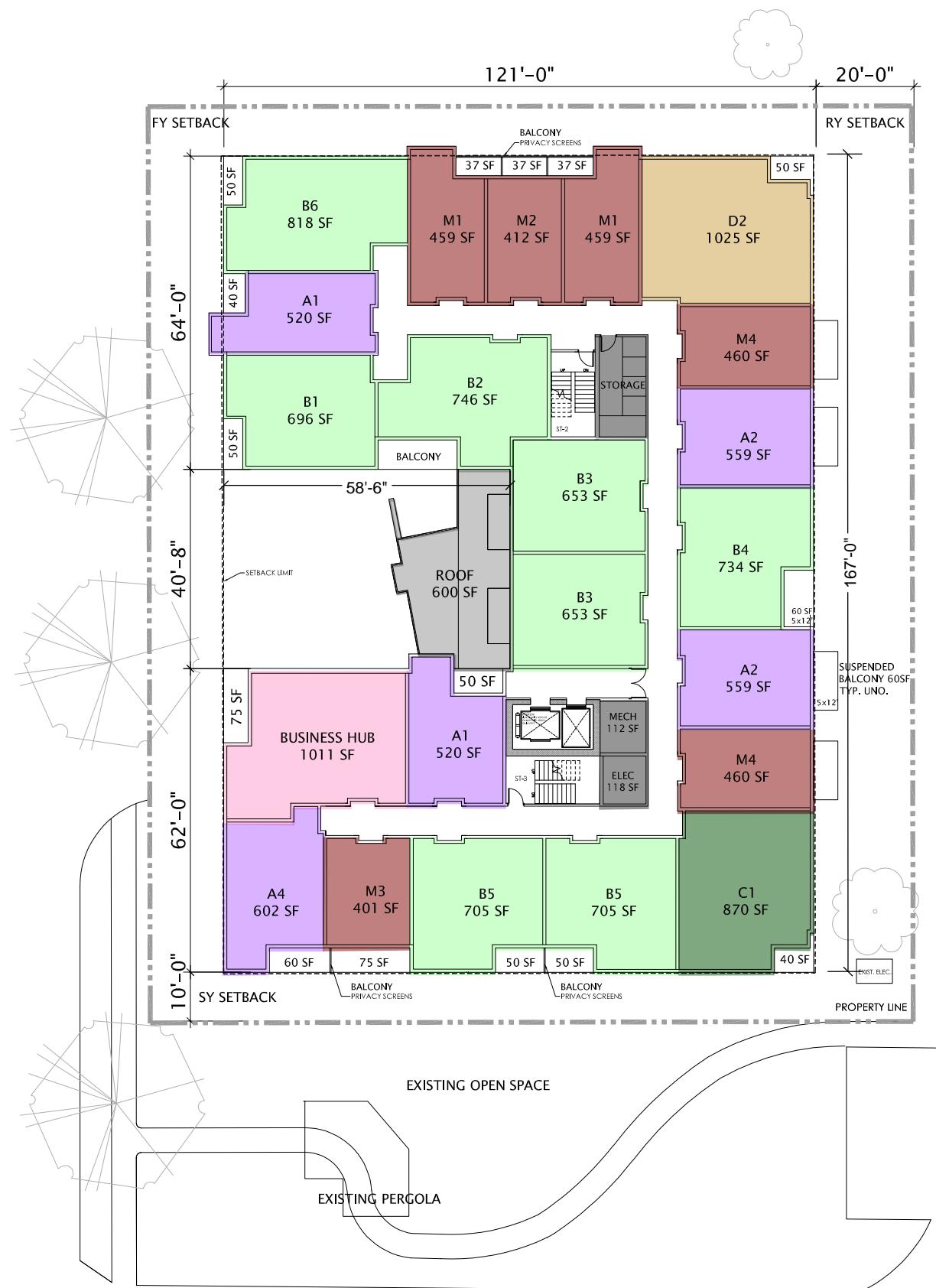
OCTOBER 2, 2023  
1"=30' @ 11x17

A100





## GROUND FLOOR PLAN



## SECOND FLOOR PLAN



JLA  
ARCHITECTS

# YELLOWSTONE APARTMENTS

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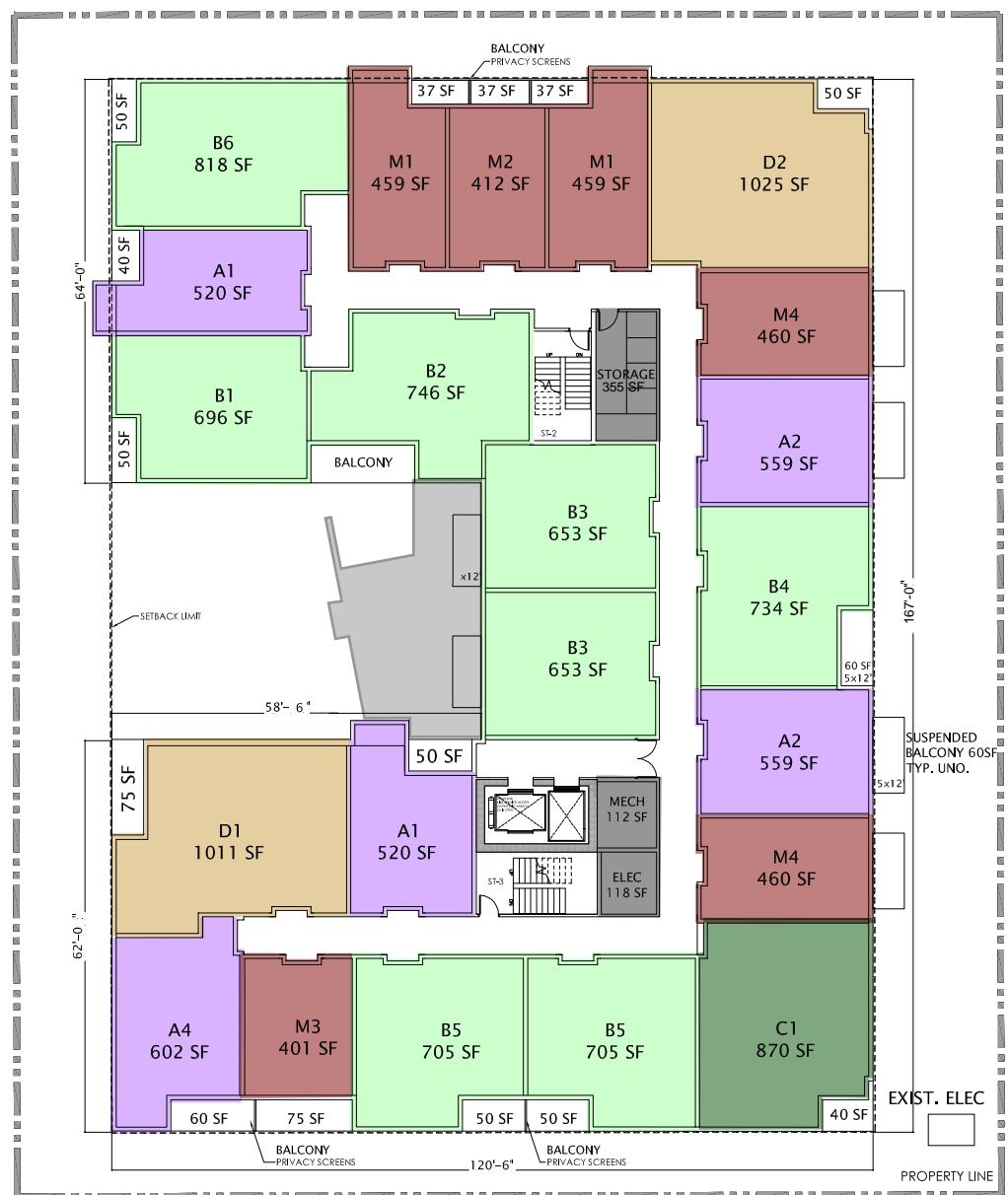
## GROUND FLOOR & SECOND FLOOR PLANS

OCTOBER 2, 2023

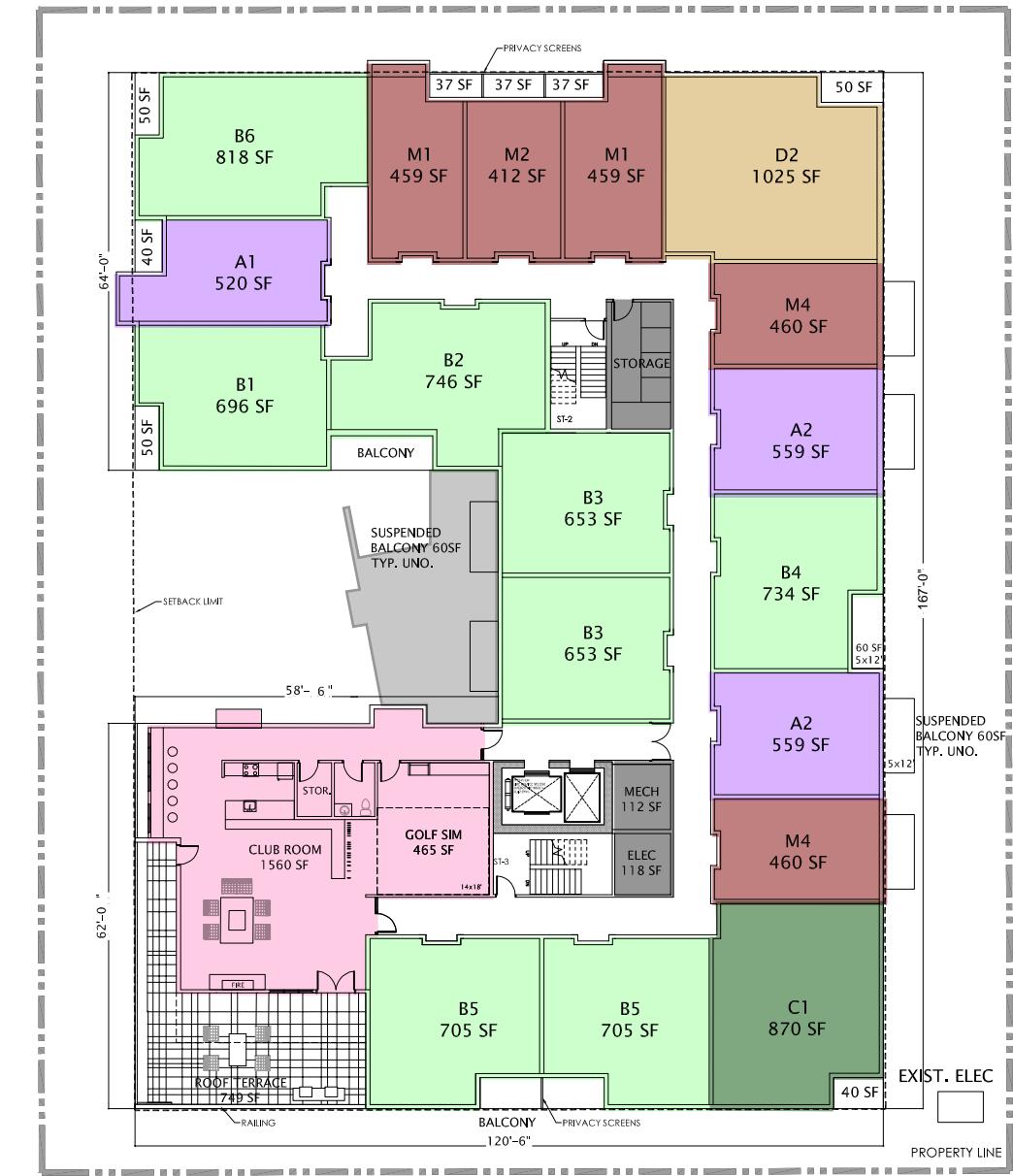
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A101

## PROGRESS DOCUMENTS



## TYPICAL FLOOR PLAN



## TOP FLOOR PLAN



# JLA ARCHITECTS

# YELLOWSTONE APARTMENTS

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## TYPICAL FLOOR & TOP FLOOR PLANS

## PROGRESS DOCUMENTS

OCTOBER 2, 2023

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1"=30' @ 11x17

A102

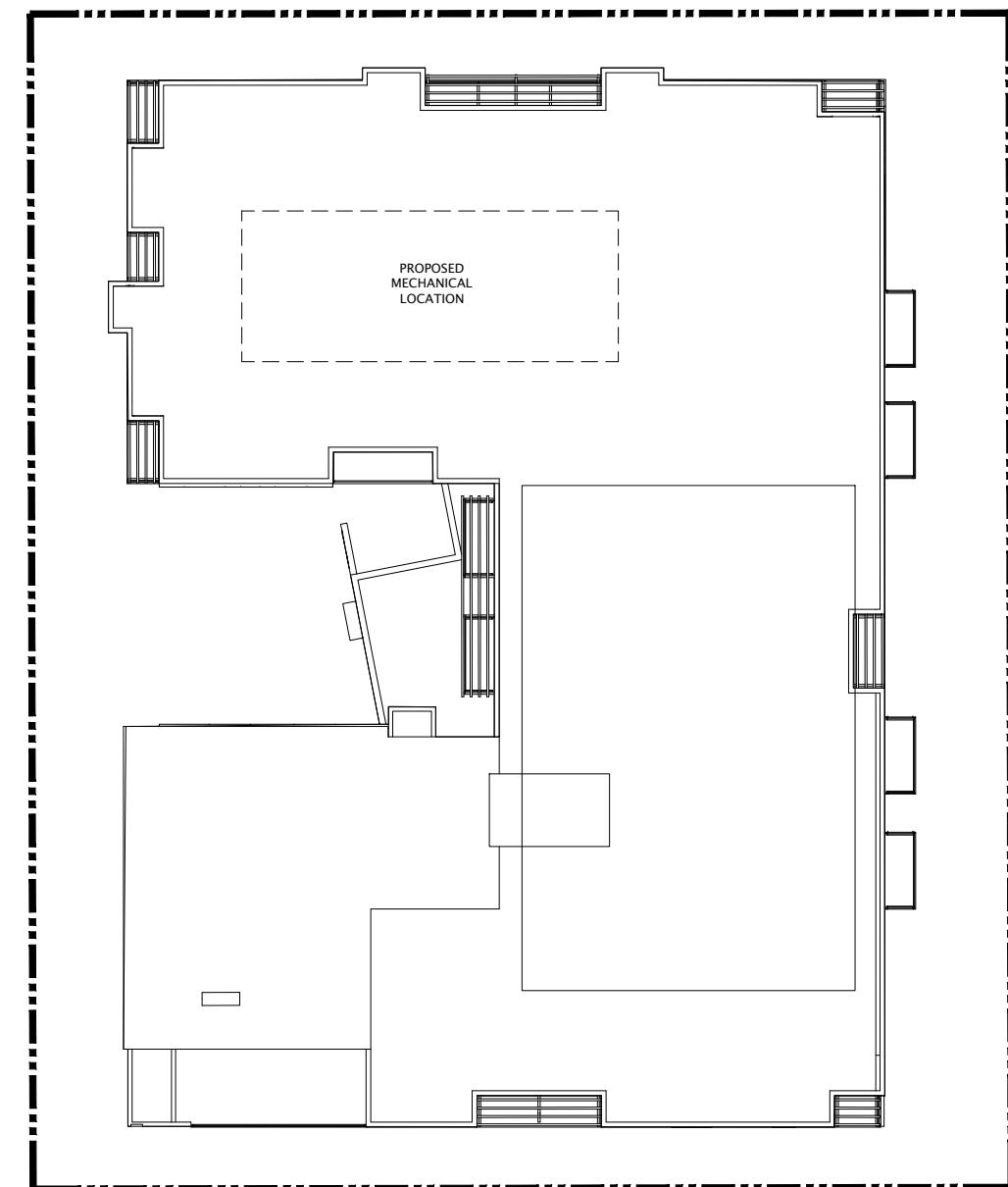


**J L A**  
ARCHITECTS

# YELLOWSTONE APARTMENTS

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## PROJECT CONCEPT



ROOF PLAN

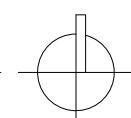
**PROGRESS DOCUMENTS**  
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## CONCEPT PLANS

OCTOBER 2, 2023

1"=30' @ 11x17

**A110**





PROGRESS DOCUMENTS  
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OCTOBER 02, 2023

1/16"-1' @ 11x17

A200

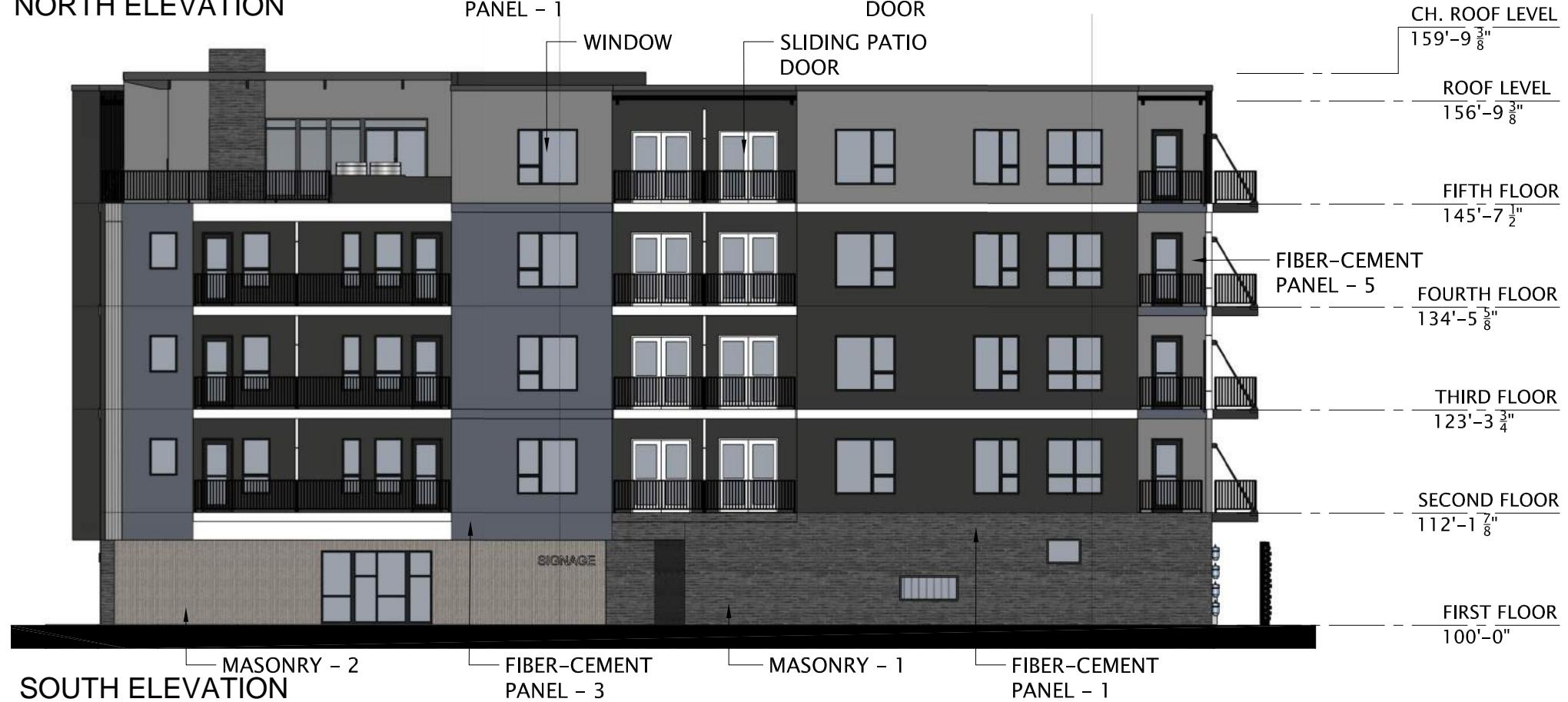


**JLA**  
ARCHITECTS

**YELLOWSTONE APARTMENTS**  
WEST AND EAST ELEVATIONS – COLOR



NORTH ELEVATION



SOUTH ELEVATION

**YELLOWSTONE APARTMENTS**  
NORTH AND SOUTH ELEVATIONS – COLOR

PROGRESS DOCUMENTS  
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OCTOBER 02, 2023

1/16"-1' @ 11x17

A201



**PROGRESS DOCUMENTS**  
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OCTOBER 02, 2023

1/16"-1' @ 11x17

**A202**



**JLA**

ARCHITECTS

# YELLOWSTONE APARTMENTS

COURTYARD NORTH AND SOUTH ELEVATIONS - COLOR



PROGRESS DOCUMENTS  
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OCTOBER 02, 2023

1/16"-1' @ 11x17

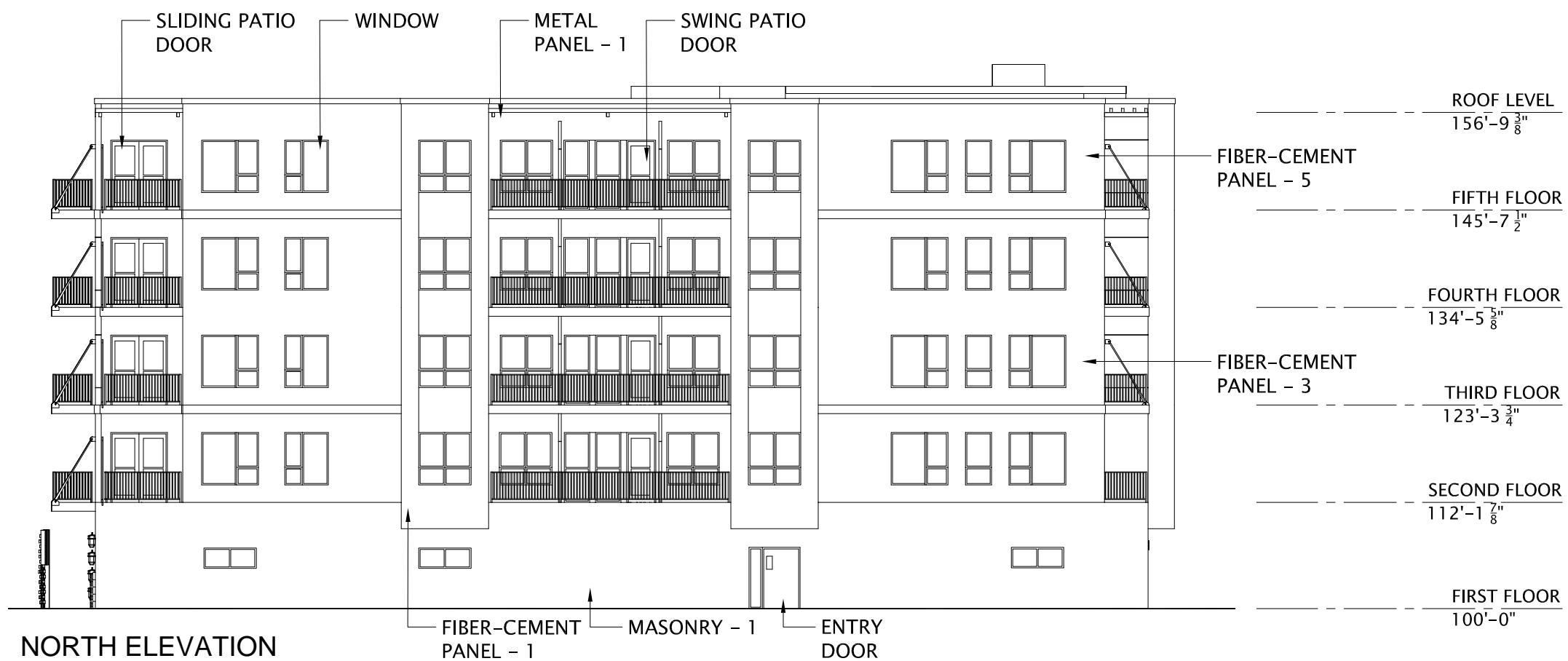
A203



**JLA**  
ARCHITECTS

# YELLOWSTONE APARTMENTS

WEST AND EAST ELEVATIONS - BLACK 'WHITE



PROGRESS DOCUMENTS  
These documents reflect progress and intent and may not be final. To obtain final documents including additional detail, please contact the architect. These are not final construction documents and should not be used for final bidding or construction-related purposes.

OCTOBER 02, 2023

1/16"-1' @ 11x17

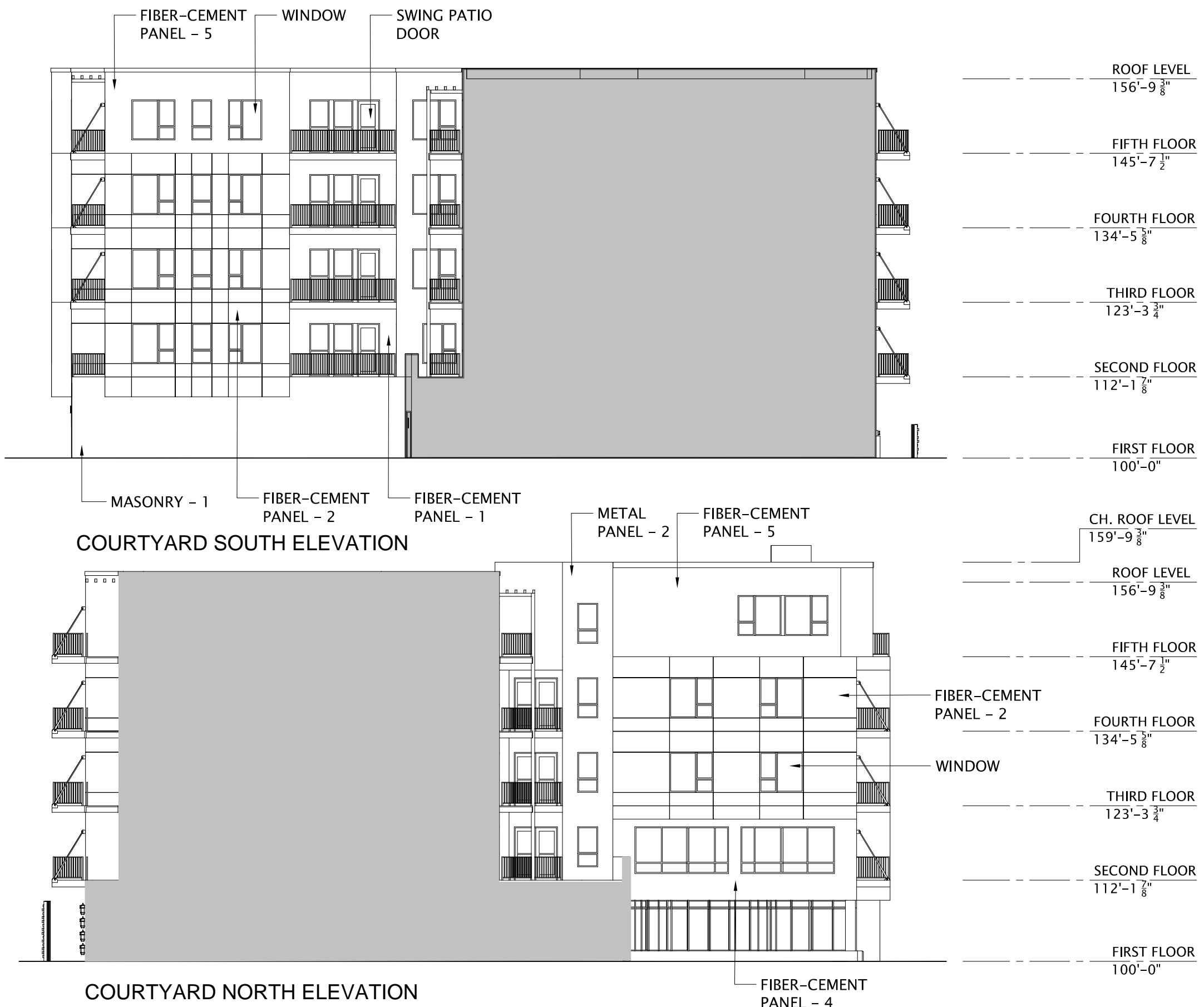
A204



**JLA**  
ARCHITECTS

# YELLOWSTONE APARTMENTS

NORTH AND SOUTH ELEVATIONS - BLACK 'WHITE



**PROGRESS DOCUMENTS**  
These documents reflect progress and intent and are not suitable for final construction documents or detailed construction detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

OCTOBER 02, 2023

1/16"-1' @ 11x17

**A205**



**JLA**  
ARCHITECTS

**YELLOWSTONE APARTMENTS**

COURTYARD NORTH AND SOUTH ELEVATIONS BLACK 'WHITE



RENDERING #1



**JLA**  
ARCHITECTS

## YELLOWSTONE APARTMENTS

PRELIMINARY RENDERINGS

PROGRESS DOCUMENTS  
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

OCTOBER 02, 2023

A210



RENDERING #2



## YELLOWSTONE APARTMENTS

PRELIMINARY RENDERINGS

PROGRESS DOCUMENTS  
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OCTOBER 02, 2023

A211



RENDERING #3



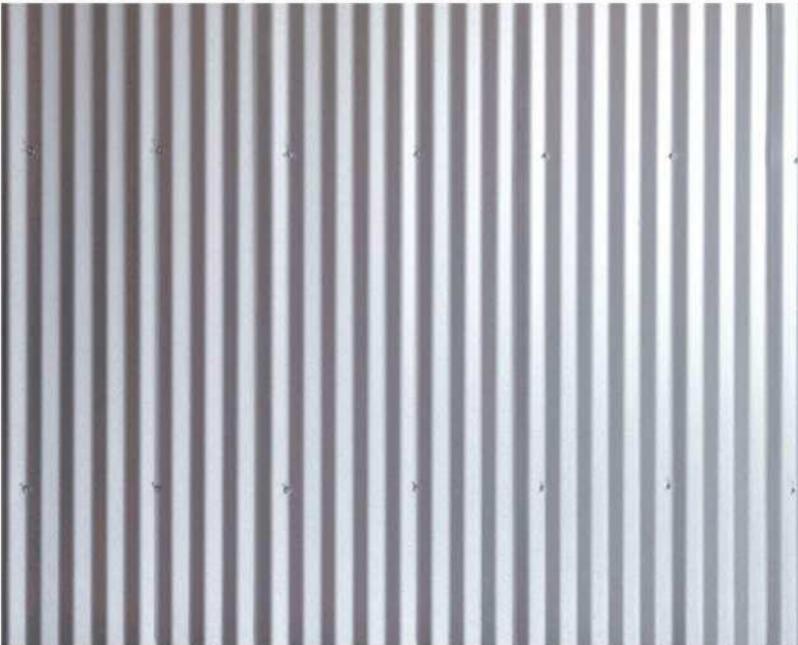
## YELLOWSTONE APARTMENTS

PRELIMINARY RENDERINGS

PROGRESS DOCUMENTS  
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OCTOBER 02, 2023

A212



IRON GRAY



ARCTIC WHITE



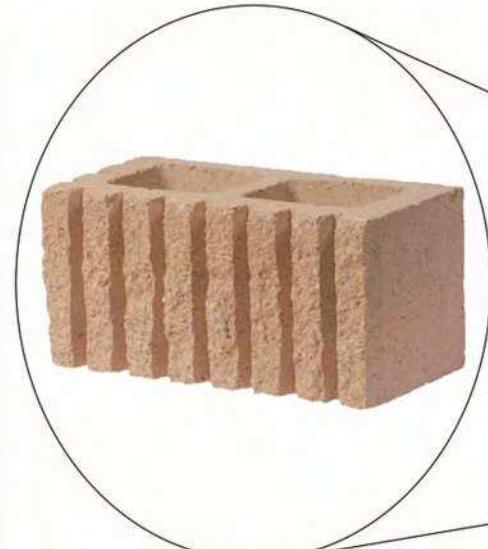
NIGHT GRAY



DEEP OCEAN



COUNTRYLANE RED



RIBBED METAL ACCENT PANEL:

- SILVER
- BLACK

JAMES HARDIE:

- IRON GRAY
- ARCTIC WHITE
- NIGHT GRAY
- DEEP OCEAN
- COUNTRYLANE RED

TREX – BALCONY DECKING

- VISTA DRIFTWOOD

MASONRY:

- DARK GRAY
- FLUTED CMU

WINDOW:

- 2:1 REVERSE COTTAGE

RAILINGS:

- MATTE BLACK

STOREFRONT:

- ANTIQUE BRONZE



MADISON | MILWAUKEE | DENVER  
JLA-AP.COM

JLA PROJECT NUMBER: W23-0221

421 YELLOWSTONE  
APARTMENTS  
SCHEMATIC DESIGN

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE 23/09/15

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE MATERIAL BOARD

SHEET NUMBER

A215



**PROGRESS DOCUMENTS**  
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

OCTOBER 02, 2023

1/16"-1' @ 11x17

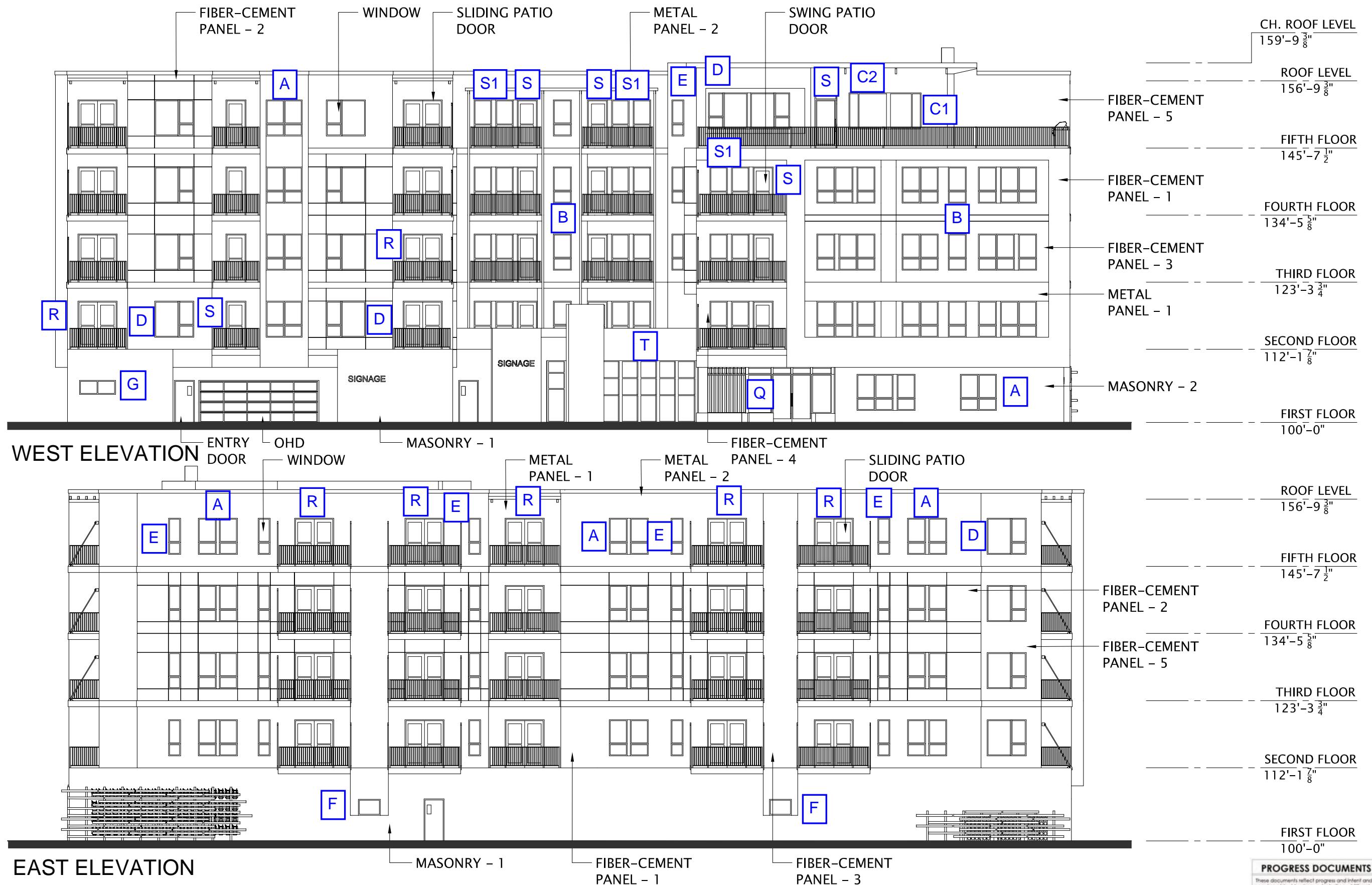


**JLA**

ARCHITECTS

**YELLOWSTONE APARTMENTS**

BIRD GLASS ELEVATION



**PROGRESS DOCUMENTS**  
These documents reflect progress and intent and may be subject to change, including additional details. They are not final construction documents and should not be used for final bidding or construction-related purposes.

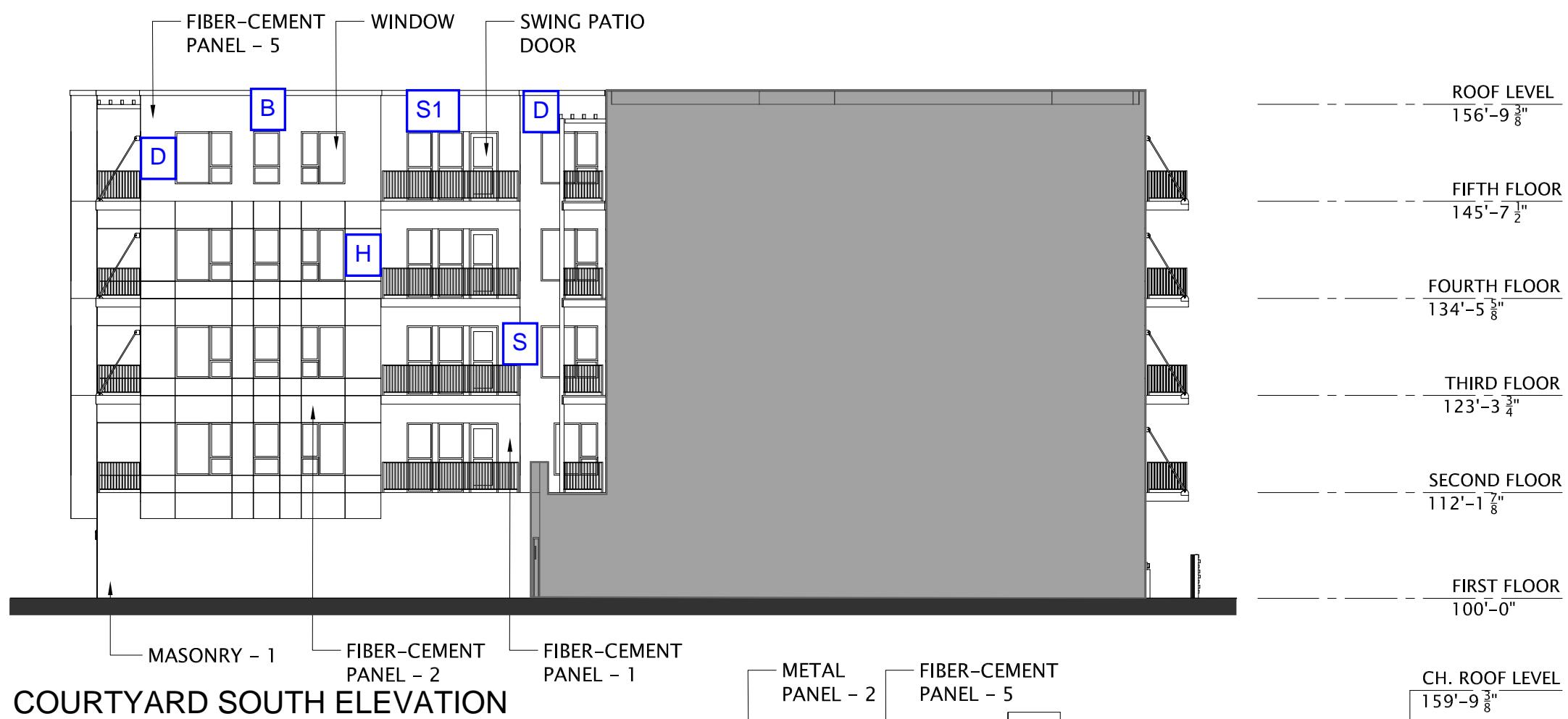
OCTOBER 02, 2023

1/16"=1' @ 11x17

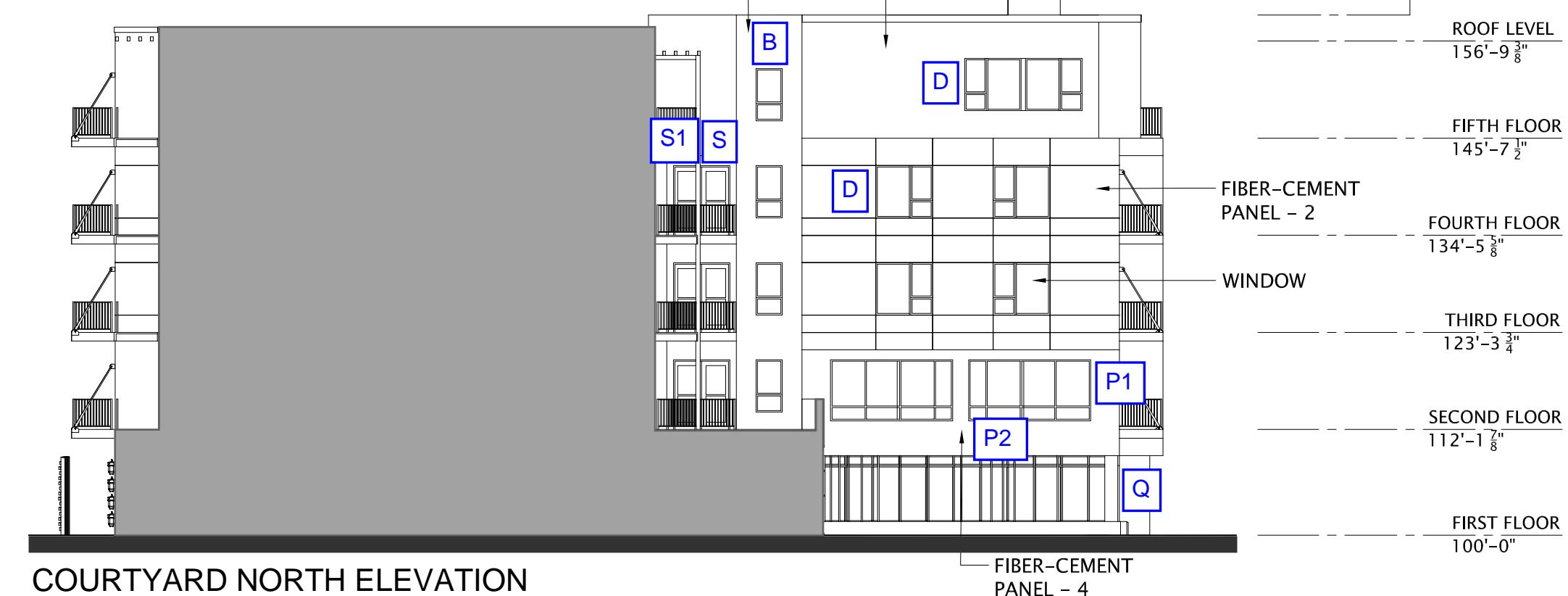


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**YELLOWSTONE APARTMENTS**  
BIRD GLASS ELEVATION



COURTYARD SOUTH ELEVATION



COURTYARD NORTH ELEVATION

# YELLOWSTONE APARTMENTS

BIRD GLASS ELEVATIONS

PROGRESS DOCUMENTS  
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

OCTOBER 02, 2023

1/16"-1' @ 11x17

(1) **Statement of Purpose:** The Bird-Safe Glass Requirements in this section are intended to reduce the heightened risk for bird collisions with glass on specified building designs and configurations.

(2) **Applicability:** Subsection (4) applies to all exterior construction and development activity, including the expansion of existing buildings and structures, as specified therein.

(3) **Measuring Glass Area:** Under this Ordinance, glass area shall be measured as one (1) continuous panel of glass or other transparent material, or a set of two (2) or more such panels divided by mullions of six (6) inches in width or narrower. Panels surrounded on all sides by solid walls or mullions wider than six (6) inches shall be considered individual windows. Spandrel or opaque reflectivity of 14% or less shall not be included in the calculation of glass area. See Revised Figure 1.

(4) **Bird-Safe Glass Treatment Requirements:** Glass areas on the following buildings or structures shall be treated to reduce the risk of bird collision by incorporating a pattern of visual markers that are either: a) dots or other isolated shapes that are 1/4" in diameter or larger and spaced at not more than a two-inch (2") pattern; or b) lines that are 1/8" in width or greater and spaced no more than 2" apart; low reflective opaque materials; building-integrated structures like non-glass double-skin facades, metal screens, fixed solar shading, exterior insect screens, and other features that cover the glass surface; or other similar mitigation treatments approved by the Zoning Administrator.

(a) **Buildings or structures over 10,000 square feet:** For any building or structure over 10,000 square feet in size (floor area of above-grade stories), bird-safe glass treatment is required as follows:

1. For building facades where the first sixty (60) feet (See REVISED Figure 2) from grade are comprised of greater than or equal to fifty percent (50%) glass:  
  - a. At least eighty-five percent (85%) of the glass must be treated; and
  - b. All glass within fifteen (15) feet of a building corner must be treated when see through or fly through conditions exist. See Figure 3.

2. For building facades where the first sixty (60) feet from grade are comprised of less than fifty percent (50%) glass:  
  - a. At least eighty-five percent (85%) of the glass on glass areas fifty (50) square feet or over must be treated; and
  - b. Of all glass areas over fifty (50) square feet, any glass within fifteen (15) feet of a building corner must be treated.

3. All glass railings must be treated.

4. All glass on enclosed building connections shall be treated up to sixty (60) feet above grade.

(b) **Sky-bridges:** For buildings and structures of any size, all glass on above-ground bridges must be treated.

(c) **At grade glass:** For buildings and structures of any size, all at grade glass features such as sound walls or glass screens must be treated.

(5) **This Ordinance shall become effective October 1, 2020.**

## YELLOWSTONE - BIRD GLASS CALCULATION - OCTOBER 02, 2023

50+ SQ FT AND REQUIRE A BIRD GLAZING SAFETY SYSTEM ON A MIN. OF 85% OF THE GLAZING

WINDOW DESIGNATION	WIDTH	HEIGHT	# OF PANES	AREA	WALL DESIGNATION													
					NORTH ELEVATION		SOUTH ELEVATION		EAST ELEVATION		WEST ELEVATION		COURTYARD NORTH ELEVATION		COURTYARD SOUTH ELEVATION			
					GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW		
A -WINDOW - 6'-0"x 6'-0"	5.7	5.7	4.0	32.5	519.8	16.0	130.0	4.0	389.9	12.0	357.4	11.0	130.0	4.0	0.0	0.0		
B -WINDOW - 3'-0"x 6'-0"	2.7	5.7	2.0	15.4	61.6	4.0	92.3	6.0	0.0	0.0	230.9	15.0	61.6	4.0	61.6	4.0		
C1 -WINDOW - 5'-0"x 6'-0"	4.7	5.7	2.0	26.8	0.0	0.0	0.0	0.0	0.0	0.0	26.8	1.0	0.0	0.0	0.0	0.0		
C2 -WINDOW - 6'-0"x 6'-0"	5.7	5.7	2.0	32.5	0.0	0.0	0.0	0.0	0.0	0.0	32.5	1.0	0.0	0.0	0.0	0.0		
D -WINDOW - 6'-6"x 6'-0"	6.2	5.7	3.0	35.3	424.1	12.0	282.7	8.0	141.4	4.0	353.4	10.0	212.0	6.0	141.4	4.0		
E -WINDOW - 2'-0"x 6'-0"	1.7	5.7	2.0	9.7	0.0	0.0	0.0	0.0	0.0	0.0	193.8	20.0	38.8	4.0	0.0	0.0		
F -WINDOW - 3'-8"x 2'-8"	3.3	2.3	1.0	7.6	0.0	0.0	0.0	0.0	15.2	2.0	0.0	0.0	0.0	0.0	0.0	0.0		
G -WINDOW - 6'-0"x 2'-8"	5.7	2.3	2.0	13.1	26.2	2.0	0.0	0.0	0.0	0.0	13.1	1.0	0.0	0.0	0.0	0.0		
H -WINDOW - 5'-0"x 6'-0"	4.7	5.7	3.0	26.8	107.2	4.0	107.2	4.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	107.2	4.0	
J -WINDOW - 6'-4"x 2'-8"	6.0	2.3	1.0	13.8	0.0	0.0	13.8	1.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
K -WINDOW - 3'-8"x 2'-8"	3.3	2.3	1.0	7.6	0.0	0.0	7.6	1.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
L -WINDOW - 3'-0"x 4'-0"	2.7	3.7	1.0	10.0	0.0	0.0	30.0	3.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
M -WINDOW - 3'-4"x 8'-0"	3.0	7.7	2.0	23.1	0.0	0.0	46.2	2.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
N -WINDOW - 6'-0"x 8'-0"	5.7	7.7	4.0	43.9	0.0	0.0	43.9	1.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
O -WINDOW - 4'-0"x 9'-0"	3.7	8.7	2.0	32.2	0.0	0.0	96.6	3.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
P1 -WINDOW - 7'-8"x 7'-0"	7.3	6.7	4.0	48.9	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	97.8	2.0	0.0	
P2 -WINDOW - 6'-0"x 7'-0"	5.7	6.7	4.0	38.2	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	76.4	2.0	0.0	
Q -WINDOW - 7'-6"x 3'-6"	7.2	3.2	2.0	23.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	230.4	10.0	0.0	
R -DOOR - 6'-6"x 8'-0"	6.2	7.7	2.0	47.7	191.0	4.0	429.7	9.0	954.8	20.0	381.9	8.0	0.0	0.0	0.0	0.0	0.0	
S -DOOR - 3'-4"x 8'-0"	3.0	7.7	2.0	23.1	92.4	4.0	231.0	10.0	0.0	0.0	369.6	16.0	69.3	3.0	92.4	4.0	0.0	
S1-SIDELITE - 6'-6"x 8'-0"	6.2	7.7	2.0	47.7	191.0	4.0	0.0	0.0	0.0	0.0	525.1	11.0	143.2	3.0	191.0	4.0	0.0	
					1613.2	TOTAL GLZ	1,510.9	TOTAL GLZ	1,695.0	TOTAL GLZ	2,329.5	TOTAL GLZ	1,020.7	TOTAL GLZ	593.4	TOTAL GLZ		
					6989	WALL AREA	6,931.0	WALL AREA	9,657.0	WALL AREA	9,657.0	WALL AREA	3,248.0	WALL AREA	3,248.0	WALL AREA		
					23.08%	% GLAZING	21.80%	% GLAZING	17.55%	% GLAZING	24.12%	% GLAZING	31.42%	% GLAZING	18.27%	% GLAZING		

SF DESIGNATION	WIDTH	HEIGHT	# OF PANES	AREA	WALL DESIGNATION												
					NORTH ELEVATION		SOUTH ELEVATION		EAST ELEVATION		WEST ELEVATION		COURTYARD NORTH ELEVATION		COURTYARD SOUTH ELEVATION		
					GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF	
T - STOREFRONT 6'-0"x 9'-0"	5.7	8.7	3.0	49.6	148.8	3.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
					148.8	TOTAL GLZ	0.0	TOTAL GLZ	0.0	TOTAL GLZ	0.0	TOTAL GLZ	0.0	TOTAL GLZ	0.0	TOTAL GLZ	0.0
					517.0	WALL AREA	0.0	WALL AREA	0.0	WALL AREA	0.0	WALL AREA	0.0	WALL AREA	0.0	WALL AREA	0.0
					28.78%	% GLAZING	0.00%	% GLAZING	0.00%	% GLAZING	0.00%	% GLAZING	0.00%	% GLAZING	0.00%	% GLAZING	0.00%

TOTAL											