



SHEET INDEX - LAND USE SUBMITTAL	
G100	COVER
ASP - 001	SITE CONTEXT
ASP - 002	EXISTING SITE PLAN
ASP - 003	PRELIMINARY SITE PLAN
ASP - 004	USEABLE OPEN SPACE
ASP - 005	USEABLE OPEN SPACE
DP - 001	DEMOLITION PHOTOS - EXTERIOR
DP - 002	DEMOLITION PHOTOS - INTERIOR
C 1.0	EXISTING CONDITIONS
C 2.0	DEMOLITION PLAN
C 3.0	SITE PLAN
C 4.0	GRADING AND EROSION CONTROL PLAN
C 5.0	UTILITY PLAN
L 1.0	LANDSCAPING PLAN
EXH 1	FIRE ACCESS PLAN
SL - 1	SITE LIGHTING LAYOUT
A100	LOWER LEVEL ONE & LOWER LEVEL TWO PARKING PLANS
A101	GROUND FLOOR & SECOND FLOOR PLANS
A102	TYPICAL FLOOR & TOP FLOOR PLANS
A110	ROOF PLAN
A200	WEST AND EAST ELEVATIONS - COLOR
A201	NORTH AND SOUTH ELEVATIONS - COLOR
A202	COURTYARD NORTH & SOUTH ELEVATIONS - COLOR
A203	WEST AND EAST ELEVATIONS - BLACK/WHITE
A204	NORTH AND SOUTH ELEVATIONS - BLACK/WHITE
A205	COURTYARD NORTH & SOUTH ELEVATIONS - BLACK/WHITE
A210	PRELIMINARY RENDERINGS
A211	PRELIMINARY RENDERINGS
A212	PRELIMINARY RENDERINGS
A215	MATERIAL BOARD
A216	BIRD GLASS ELEVATIONS
A217	BIRD GLASS ELEVATIONS
A218	BIRD GLASS ELEVATIONS
A219	BIRD GLASS MATRIX



**JLA**  
ARCHITECTS

## YELLOWSTONE APARTMENTS - MADISON, WI

LAND USE APPLICATION SUBMITTAL

OCTOBER 02, 2023





**JLA**  
ARCHITECTS

## YELLOWSTONE APARTMENTS

SITE CONTEXT

OCTOBER 02, 2023

ASP - 001

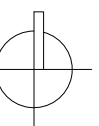
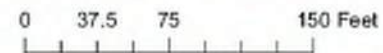




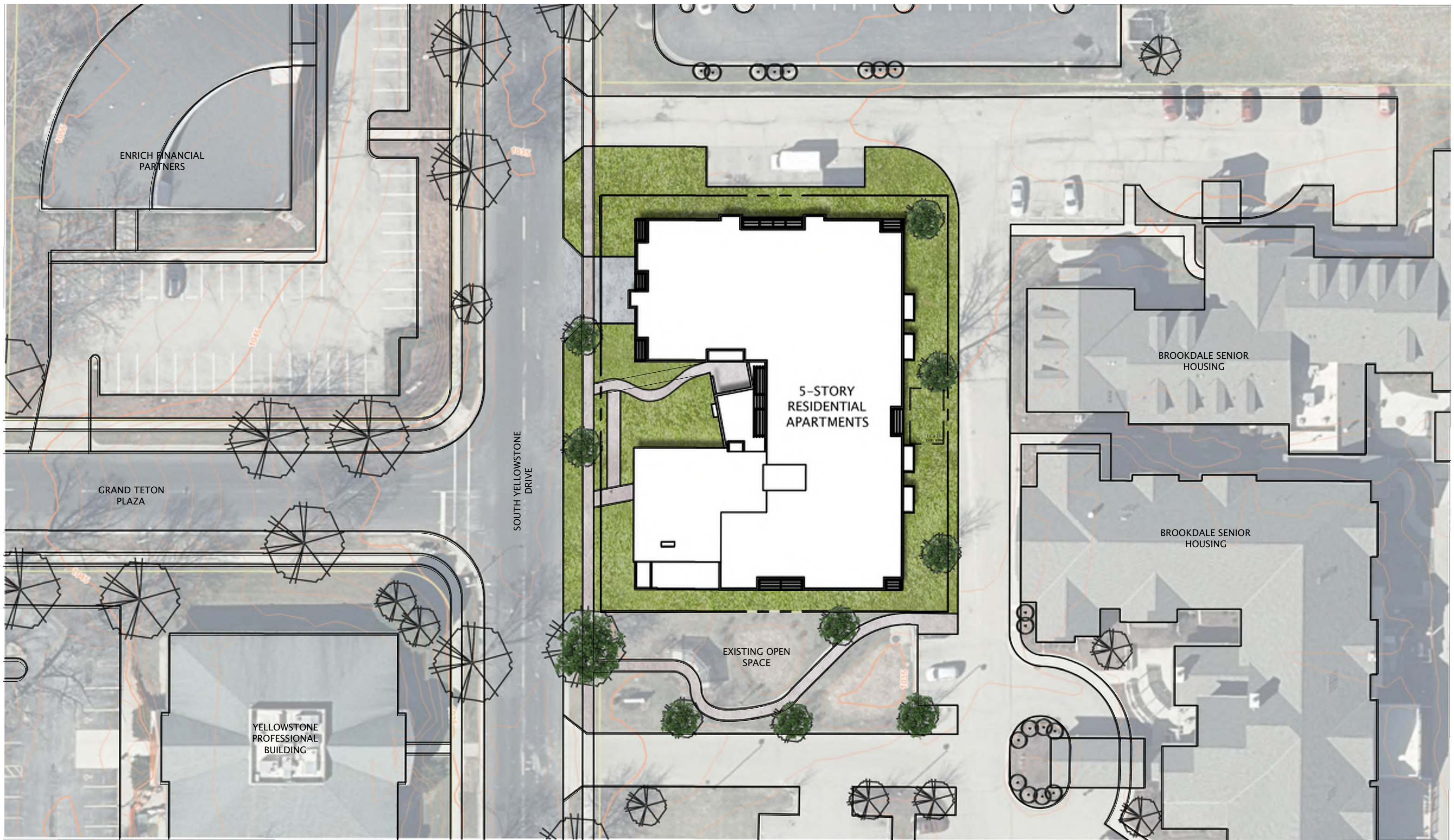
May 15, 2023

Municipalities

- City
- Ward Boundaries
- Building Footprint
- Parcels
- 1 foot Intervals
  - 5 foot Intervals
  - 1 foot Intervals







ENRICH FINANCIAL PARTNERS

5-STORY RESIDENTIAL APARTMENTS

BROOKDALE SENIOR HOUSING

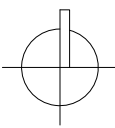
GRAND TETON PLAZA

BROOKDALE SENIOR HOUSING

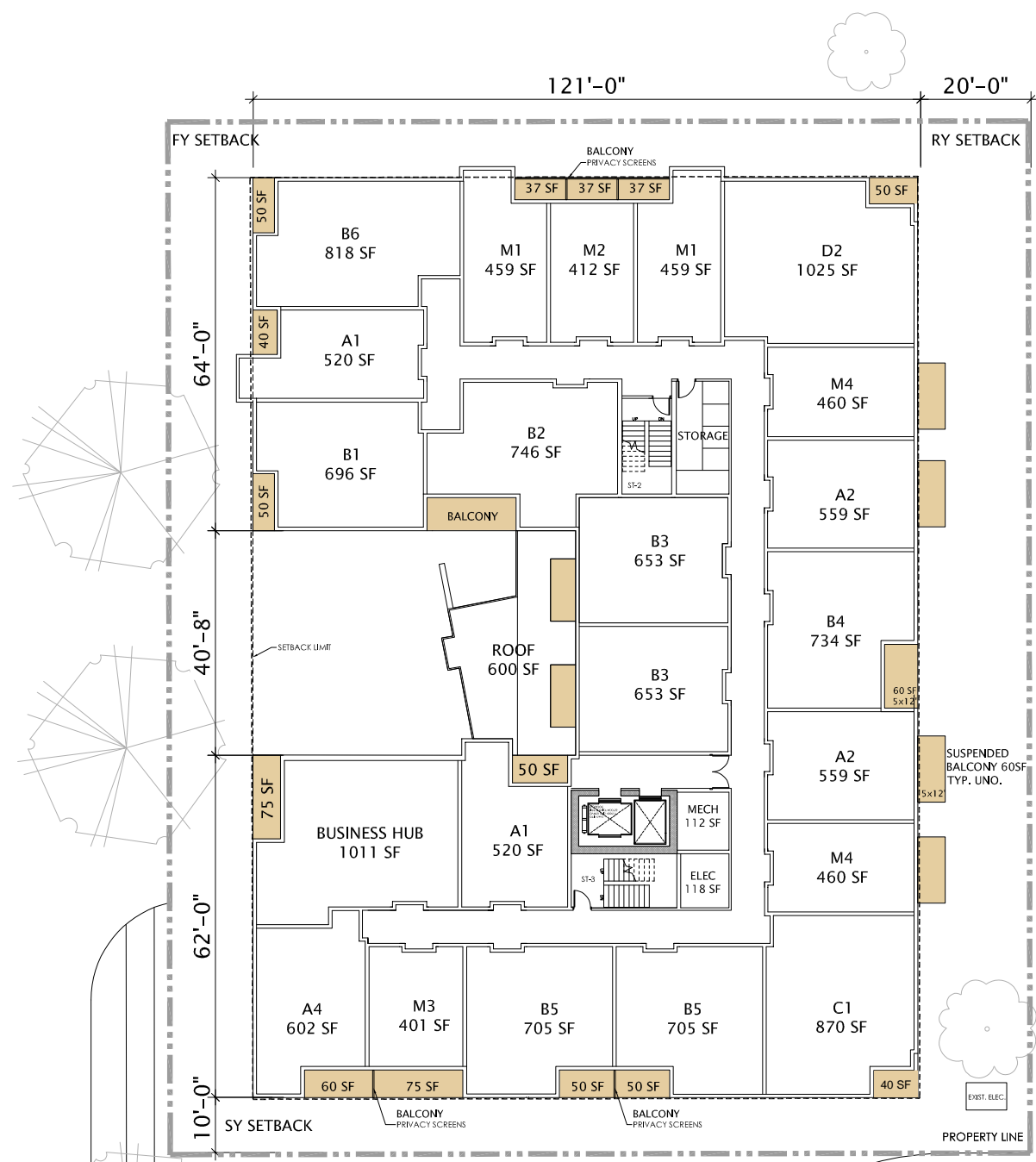
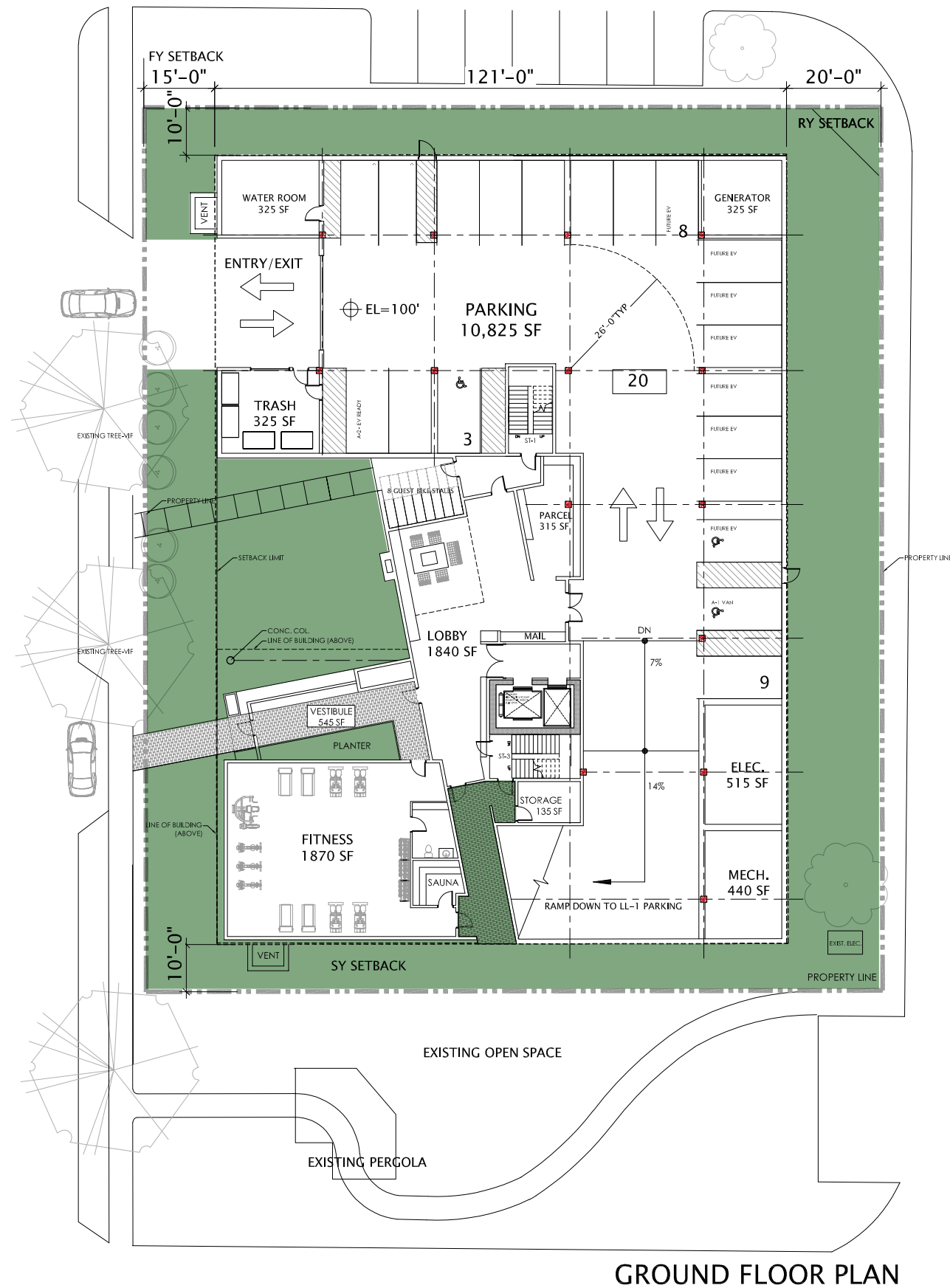
SOUTH YELLOWSTONE DRIVE

EXISTING OPEN SPACE

YELLOWSTONE PROFESSIONAL BUILDING







**SECOND FLOOR PLAN**

■ DENOTES USABLE OPEN AREA ON PLAN = 10,083 SF.

■ DENOTES USABLE OPEN AREA PRIVATE BALCONIES  
2nd=1,221 SF. + 3-5 (3,693 SF) TOTAL = 4,914 SF

MINIMUM USABLE SPACE REQUIREMENT - SF/du (40/DU)  
83 TOTAL DU x 40sf = 3,320. SF

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

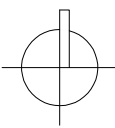


**JLA**  
ARCHITECTS

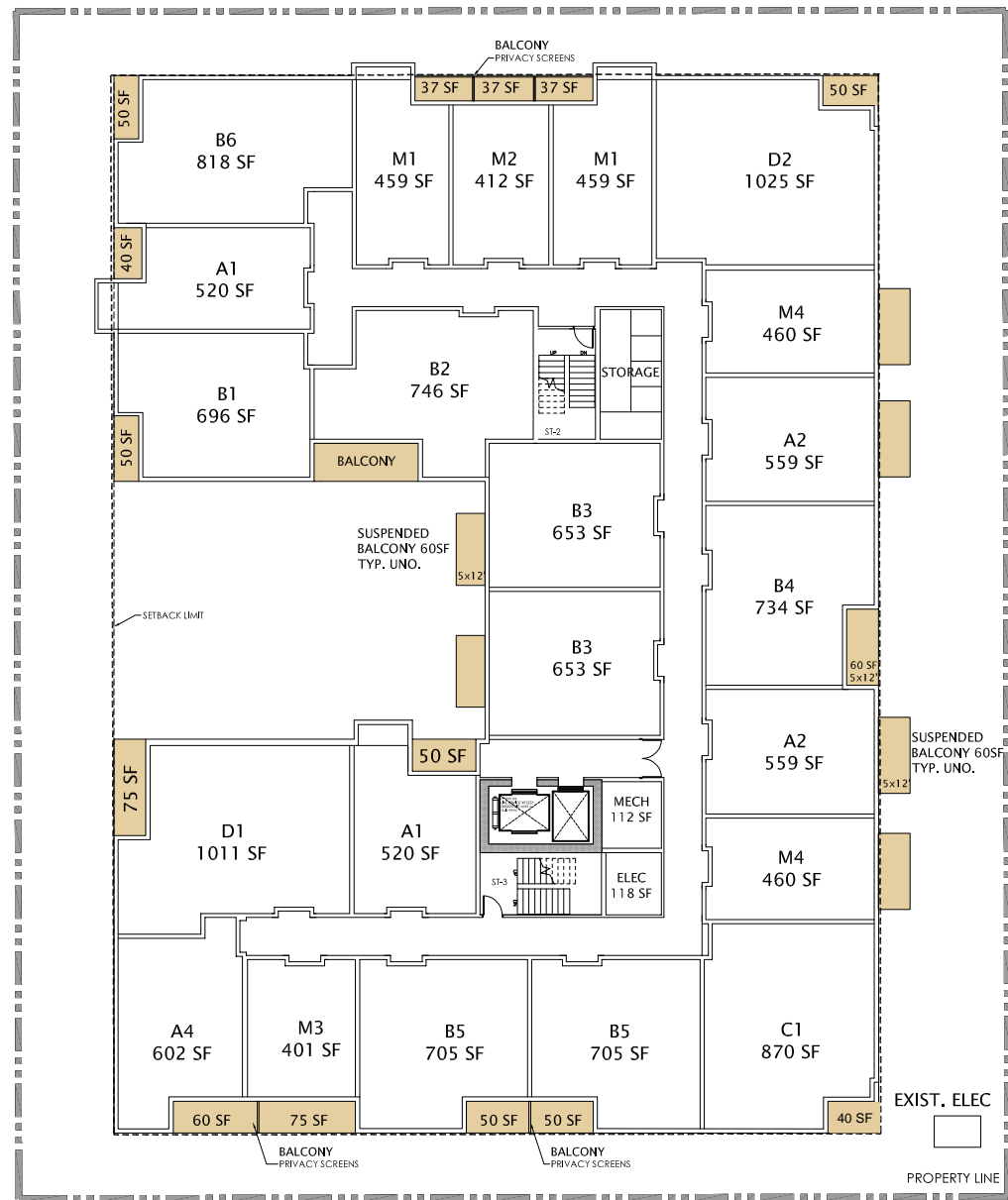
# YELLOWSTONE APARTMENTS

## USEABLE OPEN SPACE

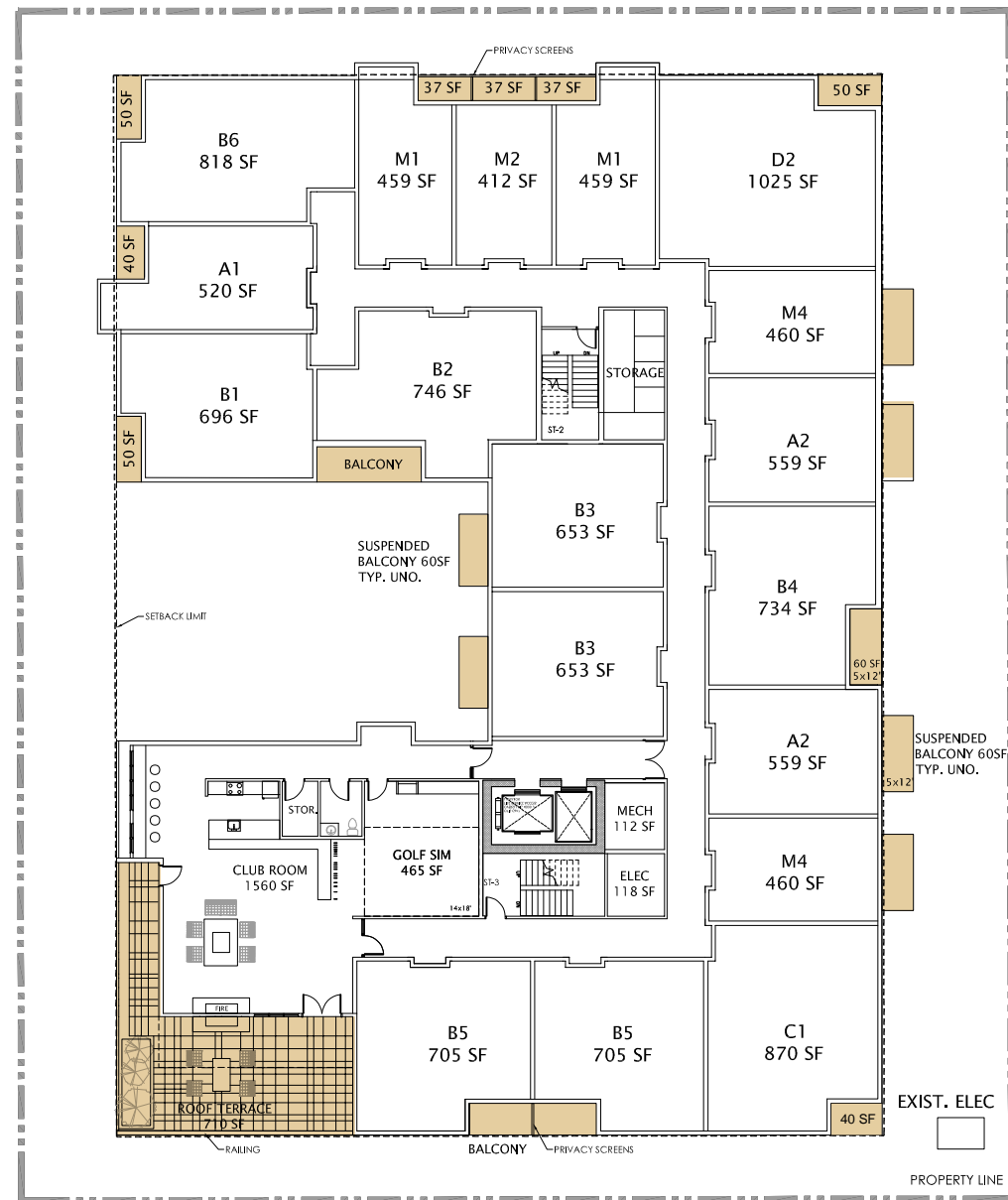
OCTOBER 2, 2023  
1"=30' @ 11x17








TYPICAL FLOOR PLAN

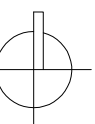


TOP FLOOR PLAN

 DENOTES USABLE OPEN AREA PRIVATE BALCONIES  
 3-4 = 2,242 SF. TOP = 1,451SF.

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

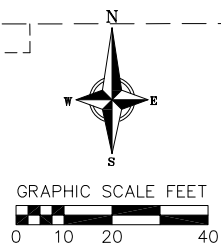




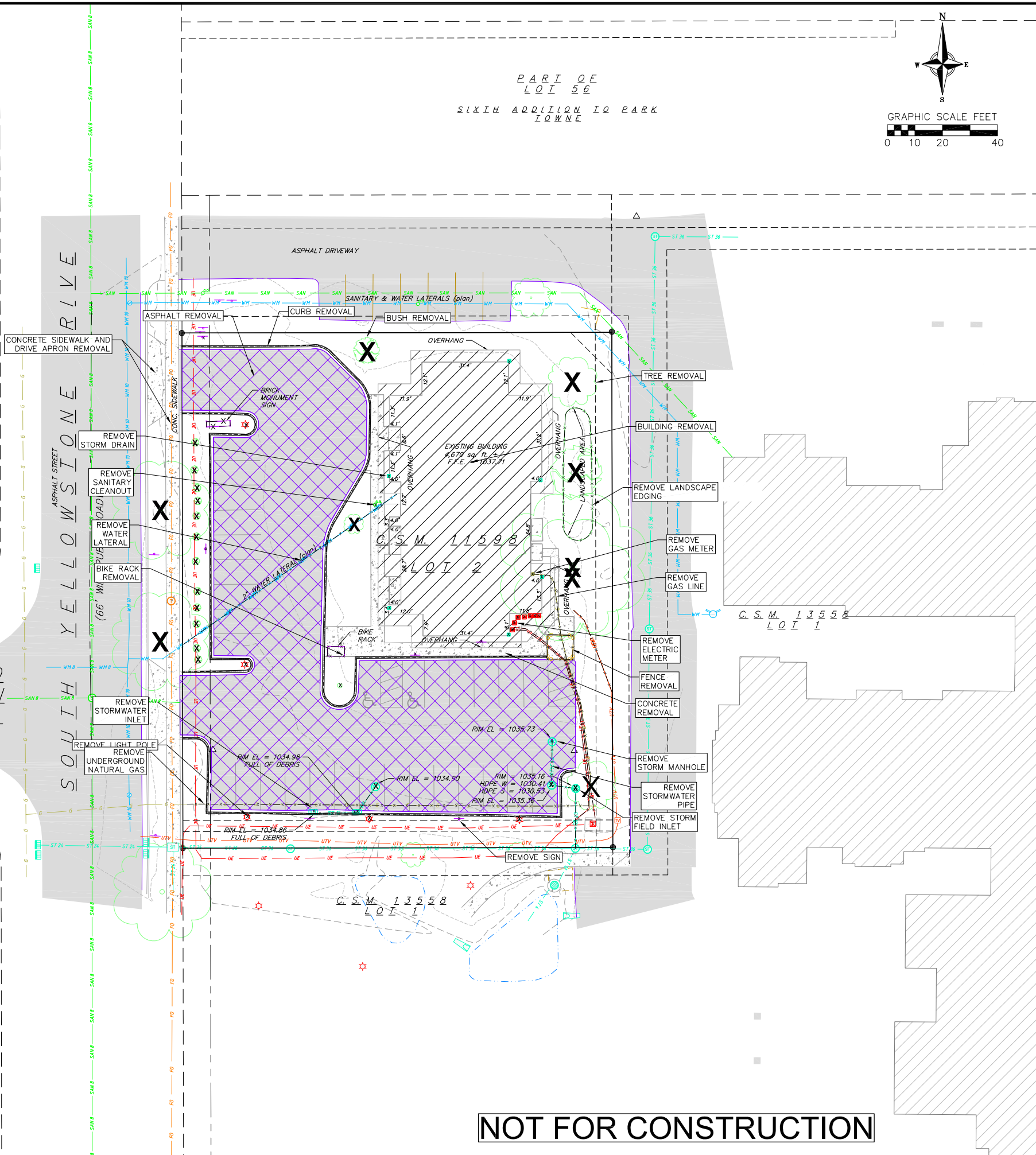




PART OF  
LOT 52  
SIXTH ADDITION TO PARK  
TOWNE



GRAND  
TERRACE  
PLAZA  
(PUBLIC ROADWAY)



DEMOLITION PLAN LEGEND

- ✘ TRANSFORMER REMOVAL
- ✘ ELECTRIC METER REMOVAL
- ✘ GAS METER REMOVAL
- ✘ SANITARY CLEANOUT REMOVAL
- ✘ ROOF DRAIN REMOVAL
- ✘ CURB INLET REMOVAL
- ✘ FIELD INLET REMOVAL
- ✘ STORM MANHOLE REMOVAL
- ✘ SIGN REMOVAL
- ✘ LIGHT POLE REMOVAL
- ✘ BUSH REMOVAL
- ✘ TREE REMOVAL
- UNDERGROUND ELECTRIC REMOVAL
- UNDERGROUND CATV REMOVAL
- GAS UTILITY REMOVAL
- WATER MAIN REMOVAL
- STORM WATER PIPE REMOVAL
- FENCE REMOVAL
- MISCELLANEOUS REMOVAL
- [Hatched Box] BUILDING REMOVAL
- [Cross-hatched Box] ASPHALT REMOVAL
- [Dotted Box] CONCRETE REMOVAL
- [Dashed Line] CURB REMOVAL

DEMOLITION NOTES:

- CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
- CONTRACTOR SHALL HAVE A WATER TRUCK ON SITE DURING DEMOLITION AND WATER AREA AS NEEDED TO KEEP DUST DOWN.
- COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
- ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
- CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
- COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
- IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
- ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.

NOT FOR CONSTRUCTION

DEMOLITION PLAN  
421 YELLOWSTONE DRIVE  
CITY OF MADISON  
DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

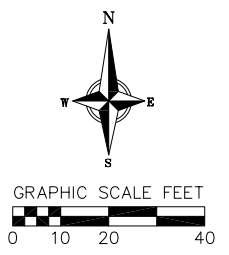
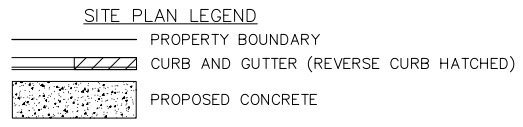
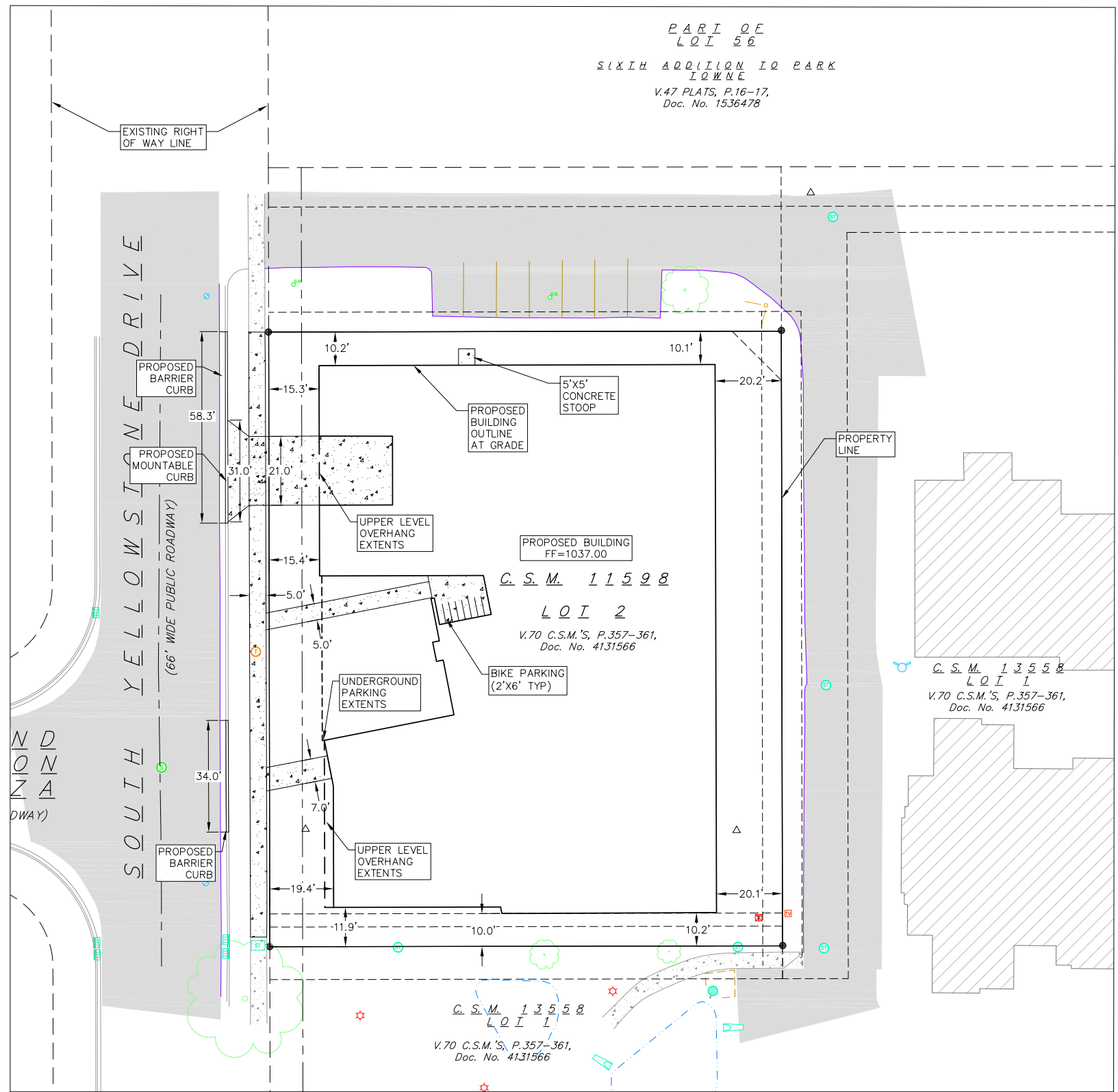
DATE: 10/02/2023  
 DRAFTER: [Blank]  
 CHECKED: [Blank]  
 PROJECT NO.: 230118

C2.0

THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.







- SITE PLAN NOTES:**
1. CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
  2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
  3. ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
  4. CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
  5. CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
  6. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
  7. NO VISUAL OBSTRUCTIONS ARE ALLOWED BETWEEN THE HEIGHTS OF 30 INCHES AND 10 FEET WITHIN THE VISION TRIANGLES.
  8. CITY FORESTRY SHALL BE CONTACTED (608-266-4816) PRIOR TO INSTALLATION OF PARKWAY TREES TO VERIFY LOCATION, SPECIES, AND CONDITION.

NO.	DATE	REVISIONS	
		NO.	REMARKS

DATE: 10/02/2023  
DRAFTER: DRAFTER  
CHECKED: CHECKED  
PROJECT NO.: 230118

THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

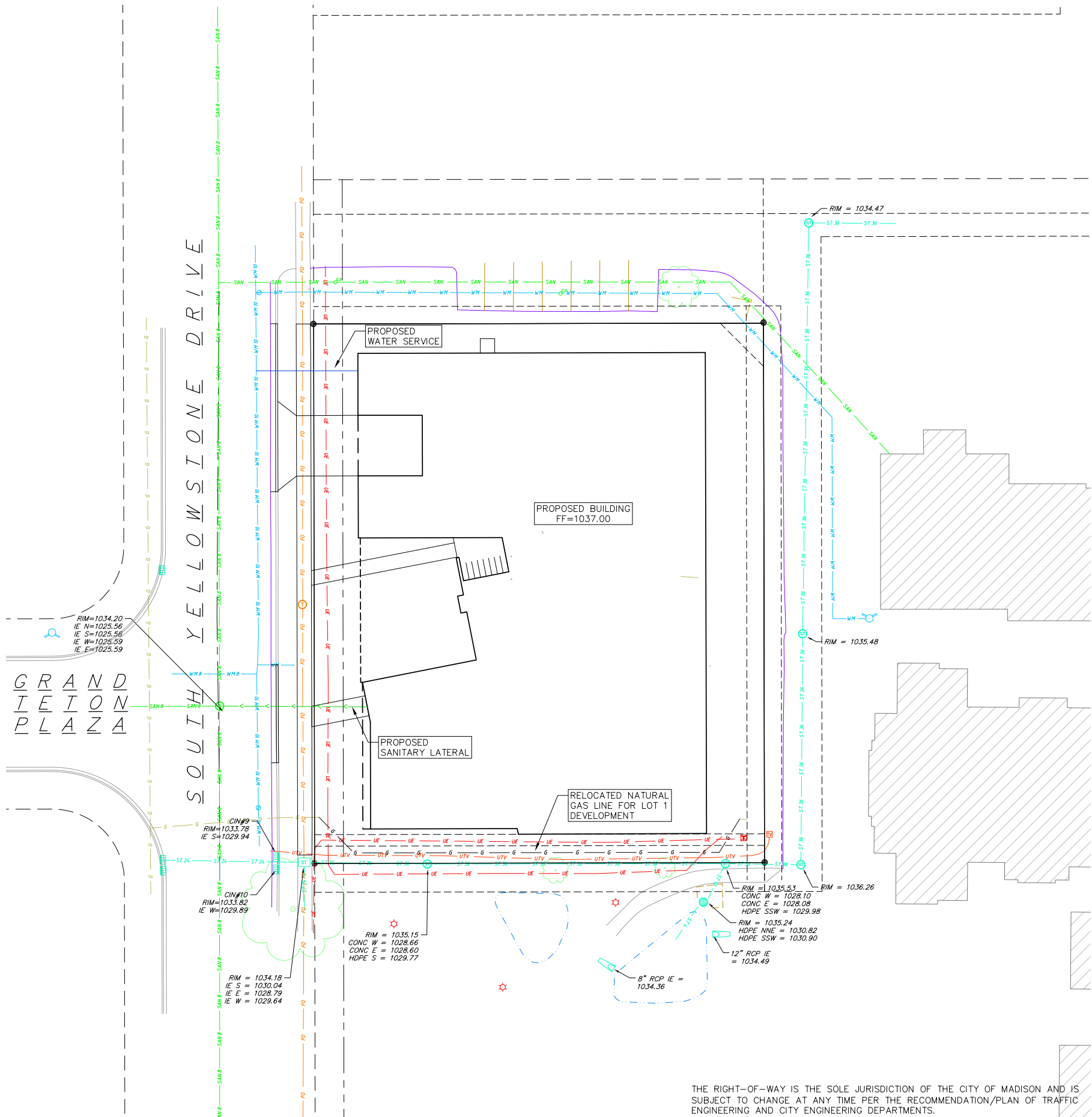
**NOT FOR CONSTRUCTION**

**C3.0**









**UTILITY NOTES:**

1. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
3. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
4. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
6. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
7. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
8. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
9. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
10. UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
11. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
12. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
13. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).
14. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b.).
15. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
16. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
17. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
18. CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES
19. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
20. SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 26. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 35.
21. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
22. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
23. INSTALL 1 SHEET OF 4'x8'x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.

**PROPOSED UTILITY LEGEND**

- >>> STORM SEWER PIPE
- ⊕ STORM SEWER MANHOLE
- ⊖ STORM SEWER ENDWALL
- ⊕ STORM SEWER CURB INLET
- ⊕ STORM SEWER CURB INLET W/MANHOLE
- ⊕ STORM SEWER FIELD INLET
- ⊕ ROOF DRAIN CLEANOUT
- >>> SANITARY SEWER PIPE (GRAVITY)
- >>> SANITARY SEWER PIPE (FORCE MAIN)
- >>> SANITARY SEWER LATERAL PIPE
- ⊕ SANITARY SEWER MANHOLE
- ⊕ SANITARY SEWER CLEANOUT
- >>> WATER MAIN
- >>> WATER SERVICE LATERAL PIPE
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ CURB STOP
- ⊕ WATER VALVE MANHOLE
- ▨ PROPOSED PIPE INSULATION
- >>> GAS MAIN
- >>> ELECTRIC SERVICE

**ABBREVIATIONS**

- STMH - STORM MANHOLE
- FI - FIELD INLET
- CI - CURB INLET
- CB - CATCH BASIN
- EW - ENDWALL
- SMH - SANITARY MANHOLE

**GRAPHIC SCALE FEET**  
0 10 20 40

**North Arrow**

THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

**NOT FOR CONSTRUCTION**

**UTILITY PLAN**

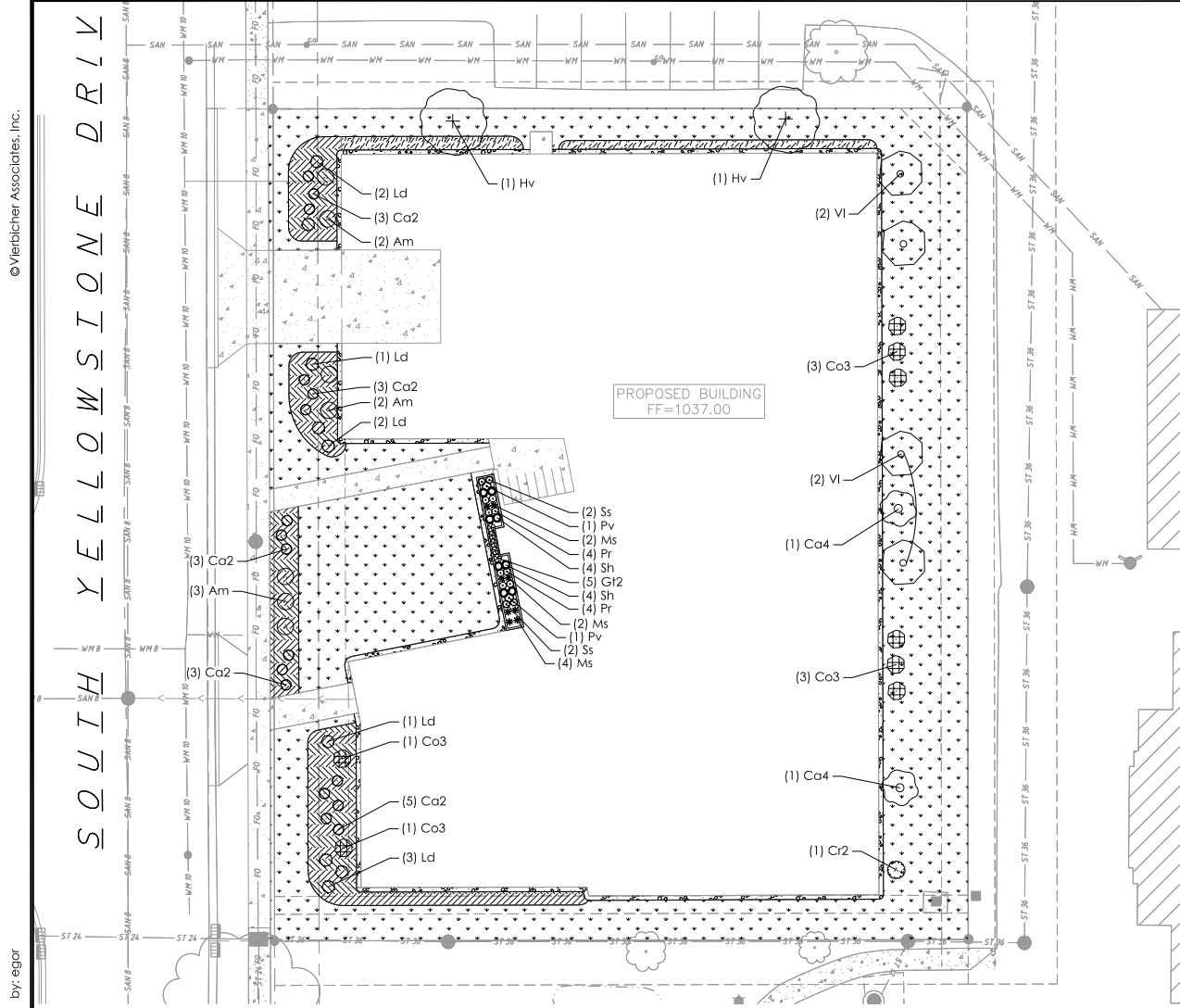
421 YELLOWSTONE DRIVE  
CITY OF MADISON  
DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE: 10/02/2023  
DRAFTER: [Blank]  
CHECKED: [Blank]  
PROJECT NO.: 230118

**C5.0**





**PLANT SCHEDULE**

UNDERSTORY TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Hv	Hamamelis virginiana / Common Witch Hazel	B & B	5' ht.	2
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Am	Aronia melanocarpa / Black Chokeberry	Cont.	5 Gal.	7
Ca2	Ceanothus americanus / New Jersey Tea	Cont.	3 Gal.	17
Co3	Cephalanthus occidentalis / Buttonbush	Cont.	5 Gal.	8
Cr2	Cornus racemosa / Gray Dogwood	Cont.	5 Gal.	1
Ca4	Corylus americana / American Hazelnut	Cont.	5 Gal.	2
Ld	Lonicera diervilla / Honeysuckle	Cont.	3 Gal.	9
Vi	Viburnum lentago / Nannyberry	Cont.	5 Gal.	4
PERENNIALS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
GF2	Geum triflorum / Prairie Smoke	Cont.	1 Gal.	5
Ms	Matteuccia struthiopteris / Ostrich Fern	Cont.	1 Gal.	8
Pv	Panicum virgatum / Switch Grass	Cont.	1 Gal.	2
Pr	Polemonium reptans / Greek Valerian	Cont.	1 Gal.	8
Ss	Schizachyrium scoparium / Little Bluestem	Cont.	1 Gal.	4
Sh	Sporobolus heterolepis / Prairie Dropseed	Cont.	1 Gal.	8

**CONCEPT PLANT SCHEDULE**

	WASHED STONE	602 sf
	GC #1	1,313 sf
	Allium cernuum / Nodding Onion	28
	Anemone canadensis / Canadian Anemone	28
	Asclepias tuberosa / Butterfly Milkweed	41
	Carex bicknellii / Prairie Sedge	205
	Coreopsis palmata / Stiff Tickseed	41
	Dalea purpurea / Purple Prairie Clover	41
	Echinacea pallida / Pale Purple Coneflower	41
	Koeleria macrantha / Prairie Junegrass	151
	Liatris aspera / Rough Blazing Star	55
	Monarda punctata / Spotted Horsemint	28
	Rudbeckia hirta / Black-eyed Susan	28
	Schizachyrium scoparium / Little Bluestem	273
	Sporobolus heterolepis / Prairie Dropseed	410
	TURF #1	8,192 sf
	GC #2	263 sf
	Anemone canadensis / Canadian Anemone	9
	Aquilegia canadensis / Eastern Columbine	14
	Carex rosea / Rosy Sedge	110
	Coreopsis palmata / Stiff Tickseed	55
	Geranium maculatum / Spotted Geranium	28
	Hydrophyllum virginianum / Virginia Waterleaf	9
	Phlox divaricata / Woodland Phlox	20
	Polemonium reptans / Greek Valerian	33

**PLANT MATERIAL NOTES:**

- ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
- ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
- CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
- ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.
- EXACT LOCATIONS OF EACH PLANT ARE GIVEN IN PLAN. WHILE SLIGHT DEVIATIONS ARE ACCEPTABLE, OVERALL SCHEMATIC/ORIENTATION TO BE ADHERED TO AS ACCURATELY AS POSSIBLE.

**SEEDING AND PLUG PLANTING NOTES:**

- ALL UNLABELED DISTURBED AREAS TO BE SEEDDED WITH 'MADISON PARKS' SEED MIX BY LA CROSSE SEED OR EQUIVALENT. ALL SEEDDED AREAS ARE TO BE WATERED DAILY TO MAINTAIN ADEQUATE SOIL MOISTURE FOR PROPER GERMINATION. AFTER VIGOROUS GROWTH IS ESTABLISHED, APPLY 1/2" WATER TWICE WEEKLY UNTIL FINAL ACCEPTANCE. (PRIOR TO ROUTINE MAINTENANCE SCHEDULE ESTABLISHMENT, MOWING SHOULD OCCUR TO MAINTAIN A TURF HEIGHT OF 3"-6"). PRIOR TO SEEDING APPLY A MINIMUM OF 4" TOPSOIL TO ENTIRE AREA. FOLLOWING SEEDING APPLY A MULCH LAYER OF STRAW OR STRAW MAT.
- INSTALL AREAS DESIGNATED TURF #X AS 2" X 2" X 4", 2.25" X 2.25" X 5" OR 2.5" X 2.5" X 3.5" PLUGS AS SUPPLIED BY AGRECOL, MIDWEST GROUNDCOVERS, TAYLOR CREEK OR EQUAL. PLUGS TO BE INSTALLED 12" ON CENTER IN A TRIANGULAR GRID PATTERN. PRIOR TO PLANTING, APPLY A LAYER OF CARDBOARD OR EQUAL BIODEGRADABLE BARRIER AND 3" MULCH. WET AREA AND INSTALL PLANTS WITH 2 - 2 1/2" DRILL BIT. PLANT SPECIES RANDOMLY THROUGHOUT SPECIFIED AREA, MAINTAINING A REPRESENTATIVE RATIO OF SPECIES RESPECTIVELY THROUGHOUT PLANTING.
- INSTALL RETENTION PLANTING AS 2" X 2" X 4" OR 2.25" X 2.25" X 5" DEEP PLUGS AS SUPPLIED BY AGRECOL, MIDWEST GROUNDCOVERS OR EQUAL. BIORETENTION PLUGS TO BE INSTALLED 12" ON CENTER IN A TRIANGULAR GRID PATTERN. PLANT SPECIES RANDOMLY THROUGHOUT SPECIFIED AREA, MAINTAINING SPECIFIED RATIO OF SPECIES THROUGHOUT PLANTING. APPLY 1/2" WATER DAILY FOR 3 WEEKS FOLLOWING INSTALLATION. FOLLOWING PLANTING, AREA TO BE SEEDDED WITH 'TALLGRASS PRAIRIE FOR WET-MESIC SOILS' BY AGRECOL OR EQUAL, PER MANUFACTURER'S RECOMENDATIONS AND BROADCAST MULCHED WITH A LAYER OF WEED FREE STRAW MULCH. STRAW MULCH MUST ALLOW FOR SUFFICIENT AIR AND LIGHT PENETRATION.

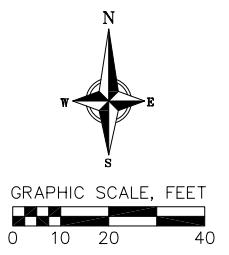
**LANDSCAPE MATERIAL NOTES:**

- CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION." PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEEDDED/SODDED.
- SUBSOIL UNDER TURF AND PLANTING BEDS MUST BE FREE DRAINING AND LOOSE TO ALLOW ROOT PENETRATION AND DRAINAGE. LANDSCAPE CONTRACTOR SHOULD NOTIFY GENERAL CONTRACTOR IF SUBSURFACE COMPACTION IS UNFIT FOR PLANTING. LANDSCAPE CONTRACTOR IS NOT RESPONSIBLE FOR SUBSURFACE SOIL PREPARATION.
- LANDSCAPE BEDS TO BE MULCHED WITH UNDYED SHREDDED HARDWOOD BARK MULCH TO 3" DEPTH MIN.
- LANDSCAPE AREAS IDENTIFIED AS WASHED STONE ARE TO BE INSTALLED USING 1"-2" WASHED STONE TO A DEPTH OF 3" MINIMUM. LAY COMMERCIAL GRADE LANDSCAPE FABRIC BETWEEN GRADE AND STONE.
- LANDSCAPE BEDS AND STONE AREAS ARE SEPARATED WITH COMMERCIAL GRADE ALUMINUM LANDSCAPE EDGING, PERMALOC CLEANLINE 1/2"x4" OR EQUAL, COLOR BLACK ANODIZED.
- A SLOW RELEASE FERTILIZER AND MYCORRHIZAL INOCULATE SHOULD BE APPLIED TOPICALLY TO ALL WOODY MATERIAL AT TIME OF PLANTING PRIOR TO MULCH APPLICATION. APPLICATION RATES TO REFLECT MANUFACTURER SPECIFICATIONS.

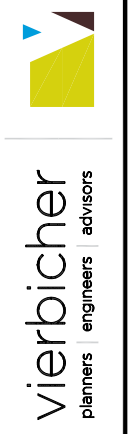
**GENERAL LANDSCAPE NOTES:**

- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY RIGHT OF WAY WORK.
- CONTRACTOR SHALL VERIFY ALL UTILITIES WITHIN SCOPE OF CONTRACT.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS AT SITE AND COMPLETE WORK PER SCHEDULE.
- CONTRACTOR SHALL CLEAN ALL PAVEMENT AREAS WITHIN SITE AFTER COMPLETION. CONTRACTOR SHALL CLEAN ANY AFFECTED PAVED AREAS OUTSIDE OF DISTURBANCE DELINEATION DAILY.

City of Madison Landscape Worksheet						
Address:	421 Yellowstone Dr		Date:	9.29.23		
Total Square Footage of Developed Area:	(Site Area)	-	(Building Footprint at Grade)	=	11317	sf
Total Landscape Points Required (<5 ac):	11,317	/ 300 =	38	x 5 =	189	
Landscape Points Required >5 ac:		/ 100 =	0	x 1 =	-	<b>189</b>
			Credits/ Existing Landscaping		New/ Proposed Landscaping	
Plant Type/ Element	Min. Size at Installation	Points	Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2.5" cal	35		0		0
Tall Evergreen Tree	5-6 feet tall	35		0		0
Ornamental tree	1.5" cal	15		0	2	30
Upright evergreen shrub	3-4 feet tall	10		0		0
Shrub, deciduous	#3 gallon	3		0	48	144
Shrub, evergreen	#3 gallon	4		0		0
Ornamental grasses/perennials	#1 gallon	2		0	35	70
Ornamental/decorative fencing or wall	n/a	4 per 10 LF		0		0
Existing significant specimen tree	Min. Size 2.5" cal.	14 per caliper inch.		0		0
Landscape Furniture for public seating and/or transit connections		5 points per "seat"		0		0
<b>Sub Totals</b>				0		244
				<b>Total Points Provided:</b>	<b>244</b>	



29 Sep 2023 - 11:58a M:\Waller Wayne Development\230118 - Yellowstone Drive Development - Madison\CADD\230118\_Landscape.dwg by: egor



Landscape Plan  
 421 YELLOWSTONE DRIVE  
 CITY OF MADISON  
 DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS	REVISIONS
NO.	DATE	REMARKS	NO.

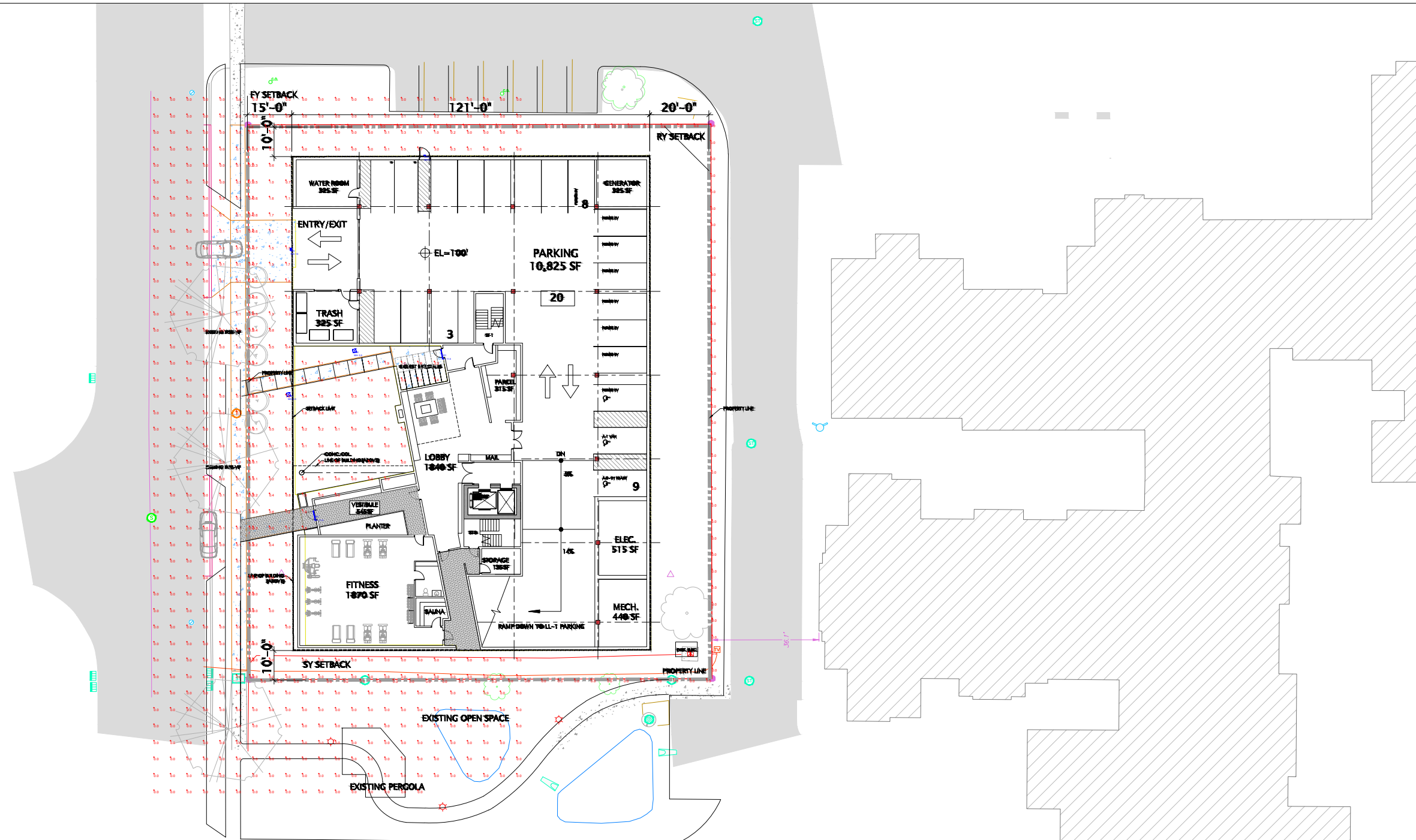
DATE: 10/02/2023  
 DRAFTER: EGOR  
 CHECKED: KJEN  
 PROJECT NO.: 230118

**L1.0**









**GROUND FLOOR PLAN**

Luminaire Schedule									
Label	Qty	Arrangement	LLF	Tag	Description	Lum. Watts	Total Watts	Lum. Lumens	
OB1	2	SINGLE	0.950	LITHONIA	DSXB LED 12C 350 xxK ASY - 42IN OAH	16	32	1283	
OD1	2	SINGLE	0.370	LUM	BLD 36IN PRD (600LM) xxK DP	14.7	29.4	1537	
OW	1	SINGLE	0.950	LITHONIA	WDGE2 LED P1 xxK 70CRI T1S	11,1658	11,1658	1371	
OW1	1	SINGLE	0.950	TARGETTI	MRSW41FEMDL130	7	7	522	

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
PROPERTY LINE	Illuminance	Fc	0.08	0.7	0.0	N.A.	N.A.	
BIKE ENTRY	Illuminance	Fc	2.85	9.6	0.8	3.56	12.00	
GARAGE ENTRY	Illuminance	Fc	1.07	1.8	0.4	2.68	4.50	
LOBBY ENTRY	Illuminance	Fc	0.98	1.9	0.2	4.90	9.50	

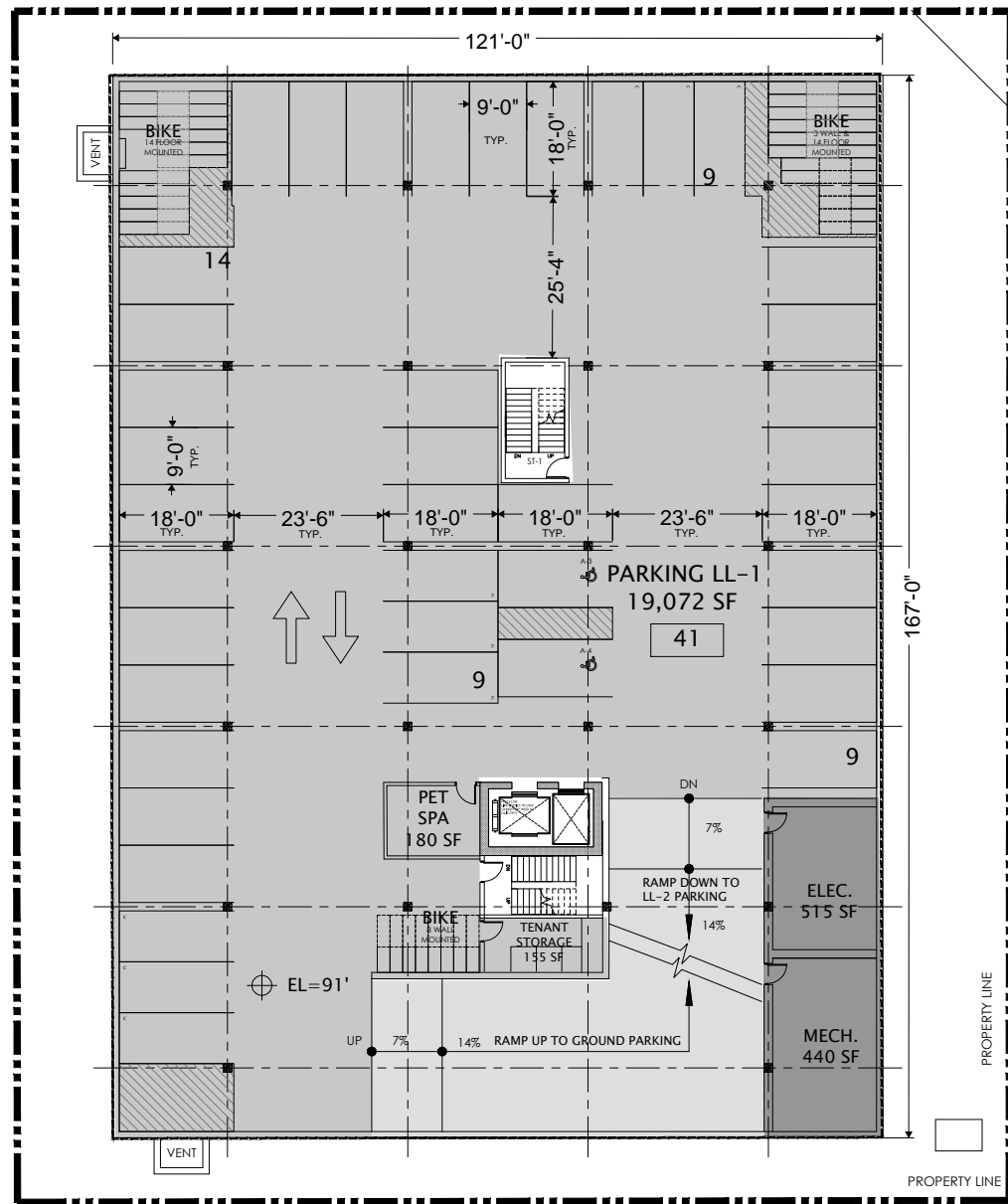


#	DATE	COMMENTS
REVISIONS		

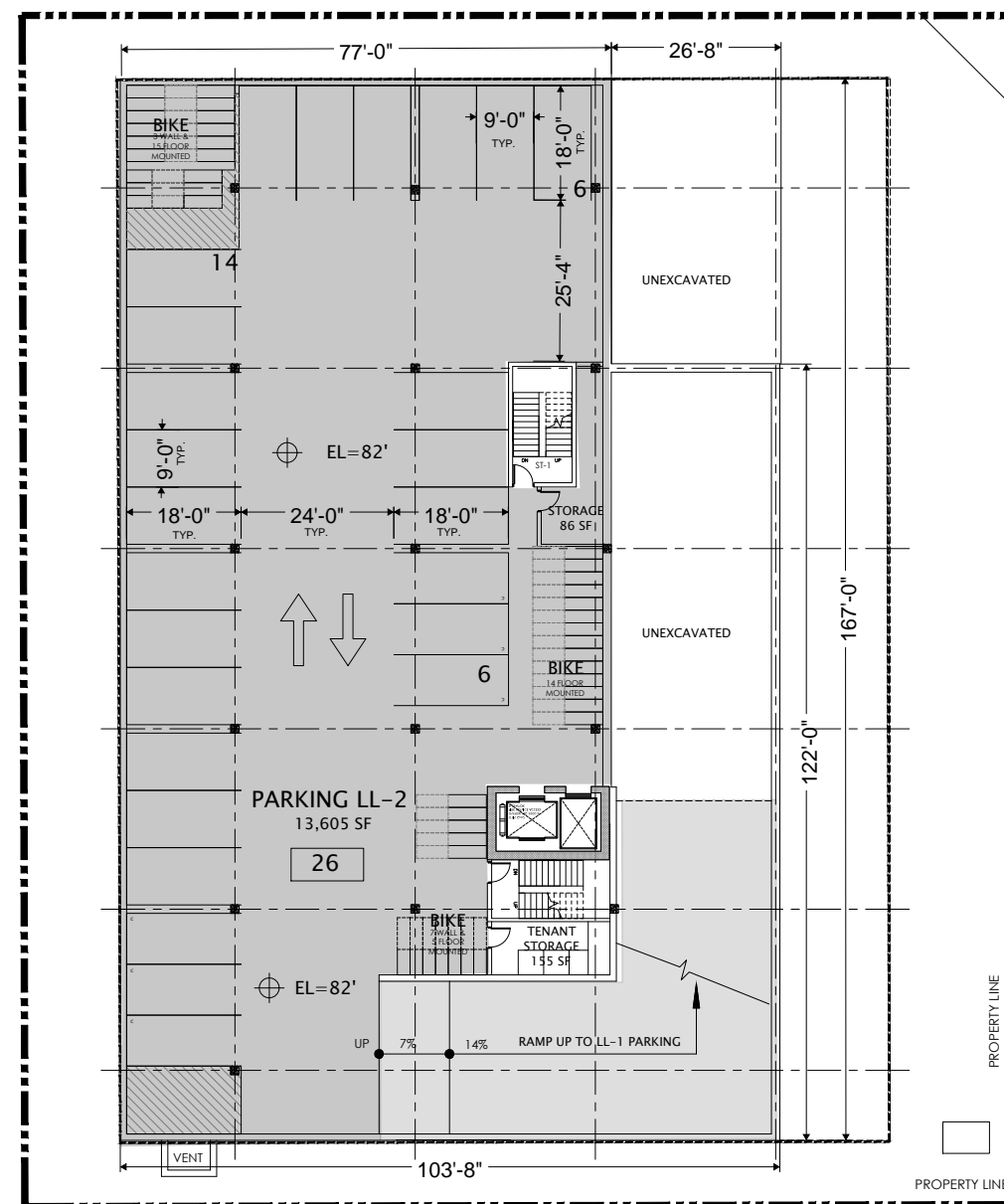
DRAWN BY : LB  
 DATE : SEPT 29, 2023  
 SCALE : 1/16" = 1'-0"

YELLOWSTONE APARTMENTS  
 MADISON, WISCONSIN  
 SITE LIGHTING LAYOUT





LOWER LEVEL ONE PARKING



LOWER LEVEL TWO PARKING

LEVEL	PARKING DATA			BIKE PARKING
	STANDARD	ADA	TOTAL	
1	18	2	20	0
LL 1	41	0	41	39
LL 2	26	0	26	44
<b>TOTAL</b>	<b>85</b>	<b>2</b>	<b>87</b>	<b>83</b>

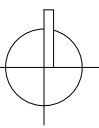
ELECTRIC VEHICLE PARKING DATA	
EV INSTALLED REQUIRED	- 2%
EV INSTALLED PROVIDED	- 2% (2 STALLS)
EV READY REQUIRED	- 10%
EV READY PROVIDED	- 10% (9 STALLS)

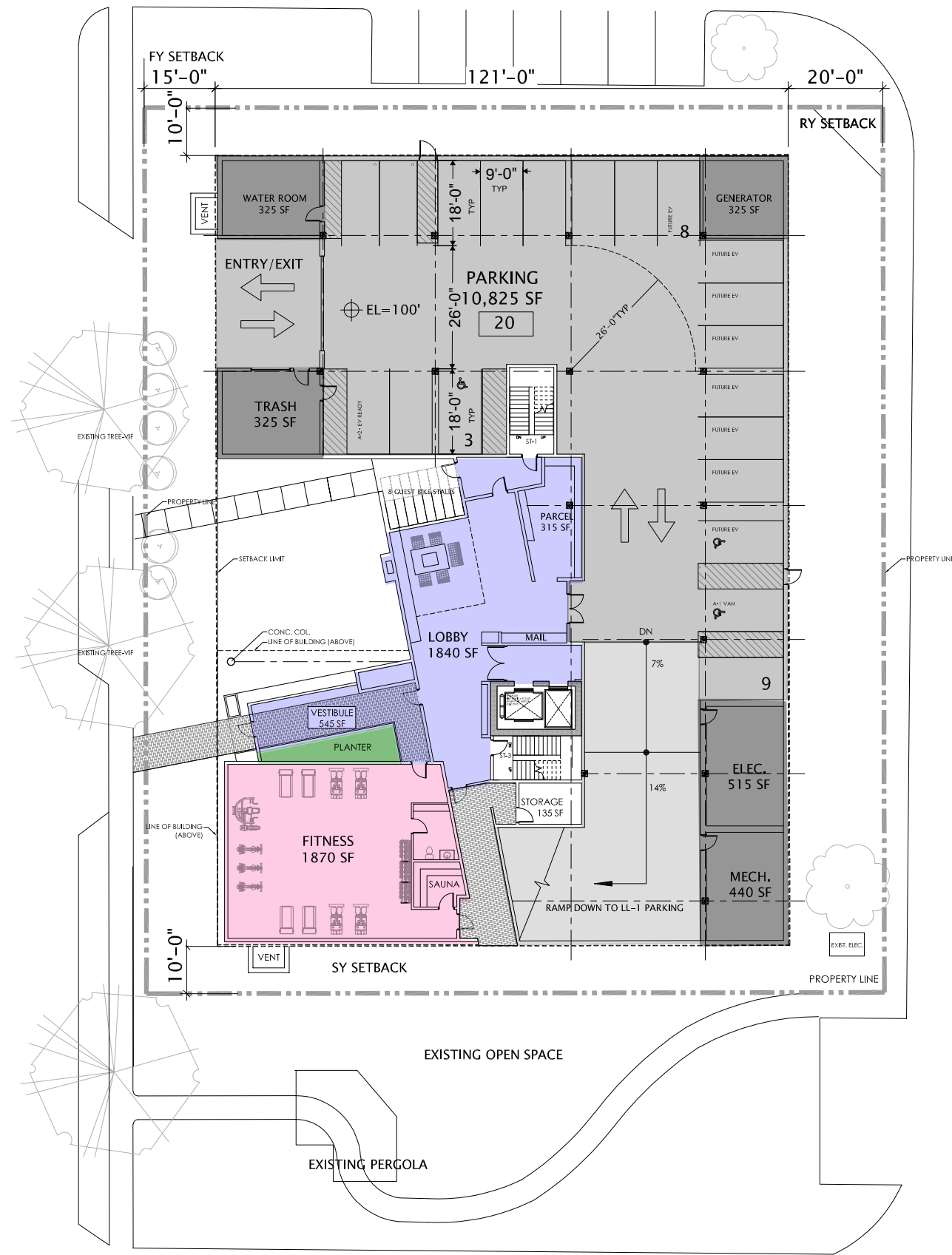
**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

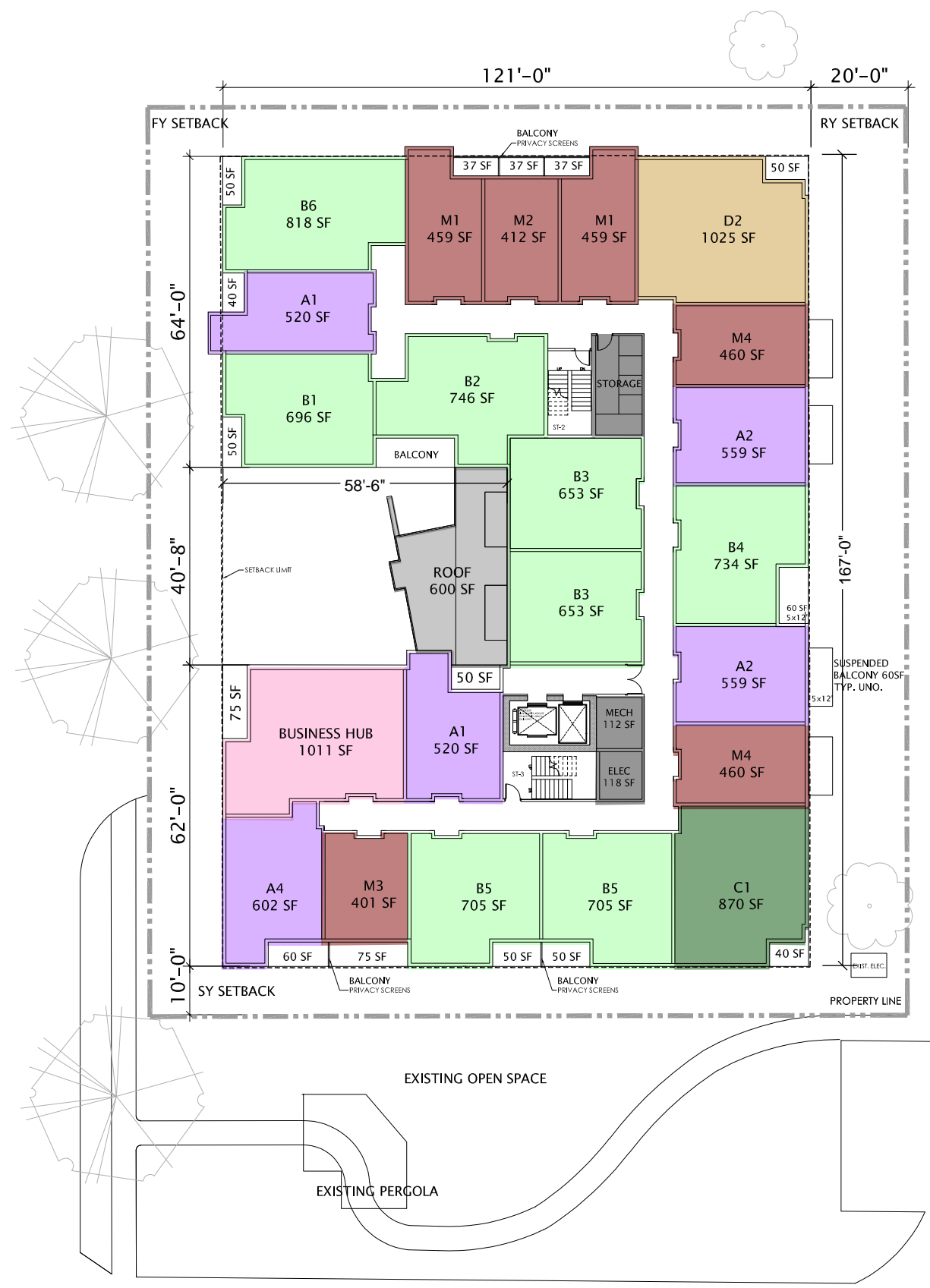
OCTOBER 2, 2023

1"=30' @ 11x17





GROUND FLOOR PLAN



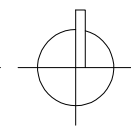
SECOND FLOOR PLAN

- Micro Unit
- Studio Unit
- 1 BR Unit
- 1 BR + Unit
- 2 BR Unit
- 2 BR + Unit
- 3 BR Unit
- Commercial
- Amenities
- Bldg support/mech storage
- Circulation
- Parking

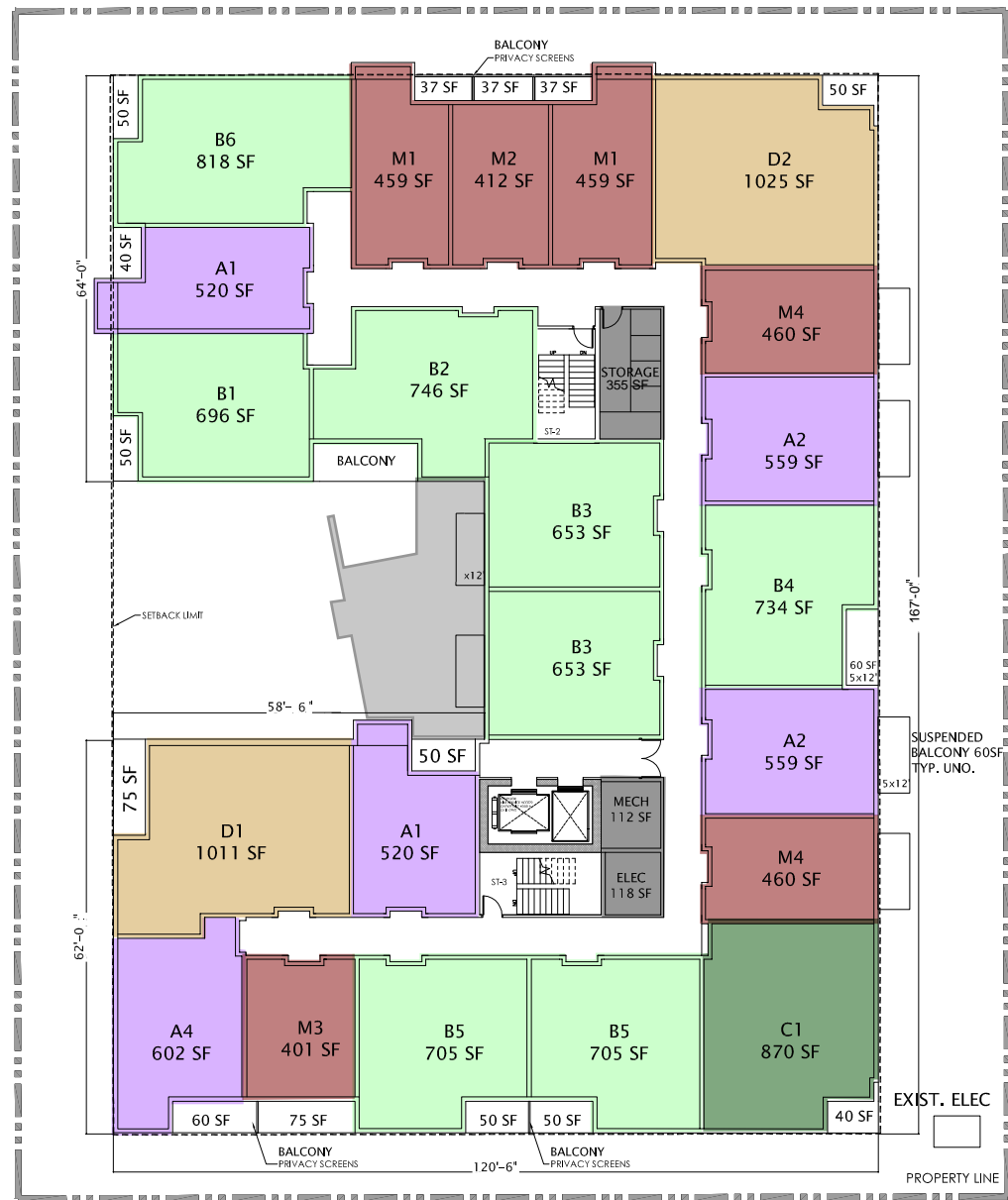
**PROGRESS DOCUMENTS**  
 These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

OCTOBER 2, 2023  
 1"=30' @ 11x17

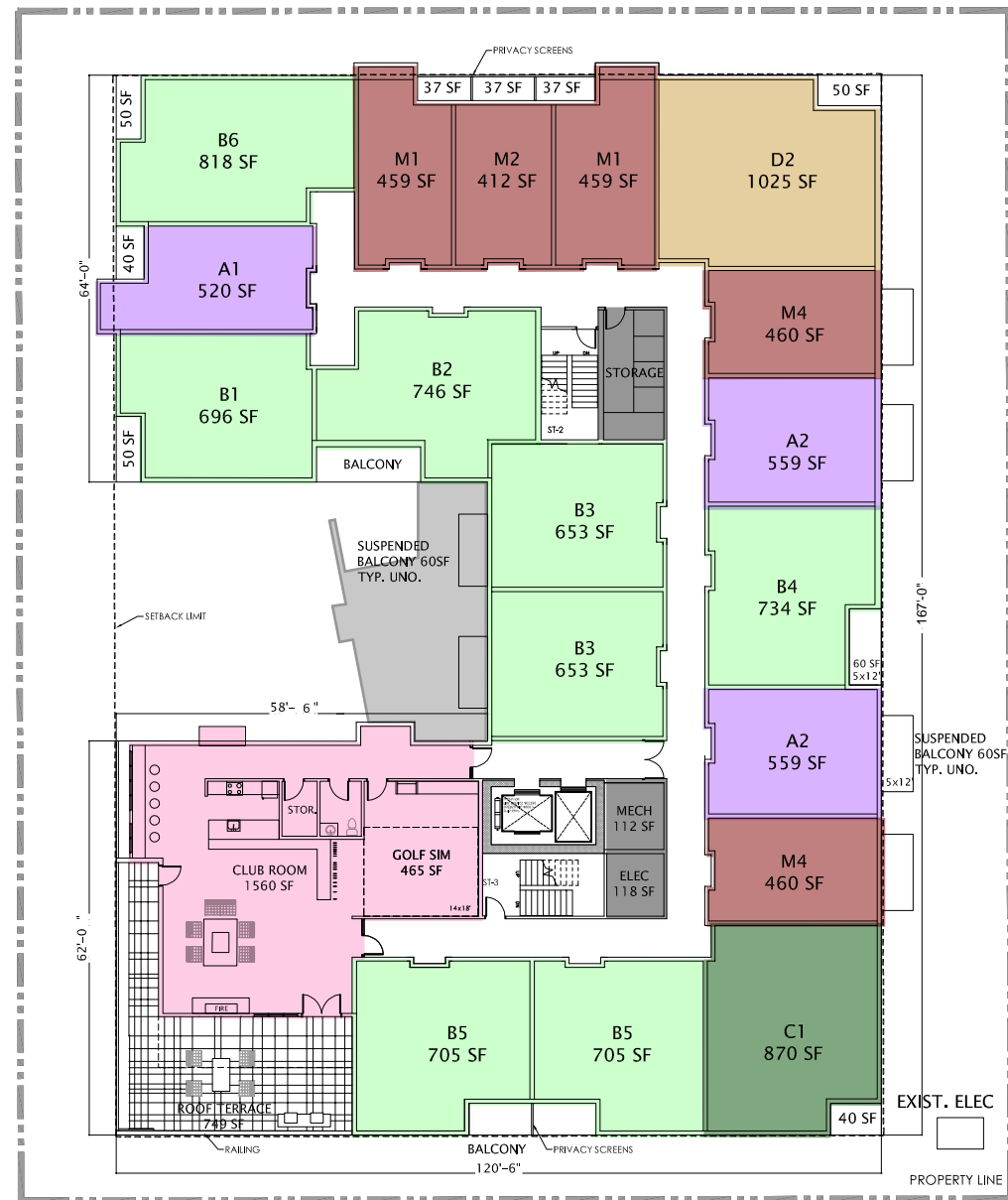
A101







TYPICAL FLOOR PLAN



TOP FLOOR PLAN

- Micro Unit
- Studio Unit
- 1 BR Unit
- 1 BR + Unit
- 2 BR Unit
- 2 BR + Unit
- 3 BR Unit
- Commercial
- Ammenities
- Bldg support/mech storage
- Circulation
- Parking

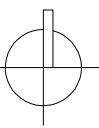
**PROGRESS DOCUMENTS**

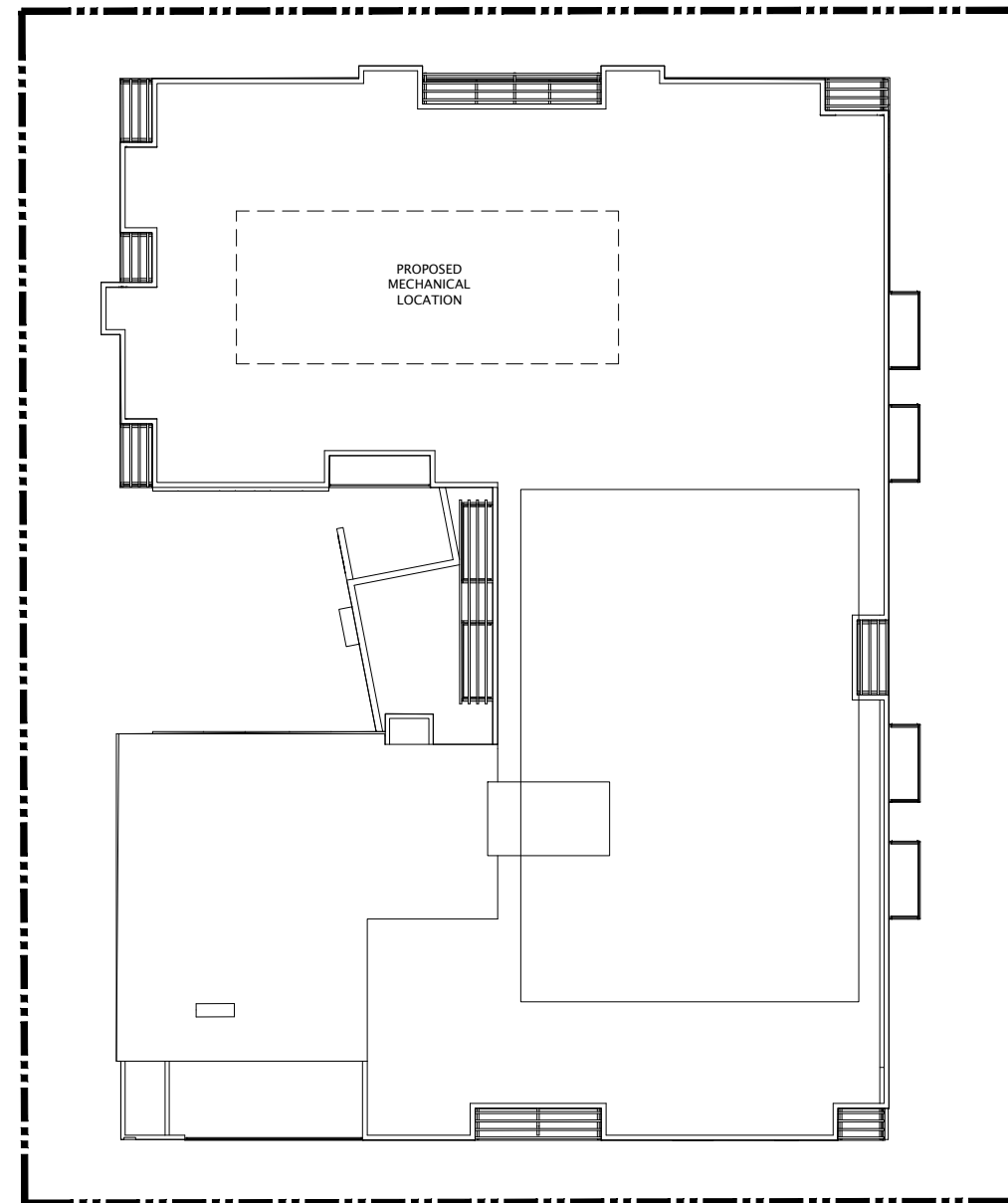
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

OCTOBER 2, 2023

1"=30' @ 11x17

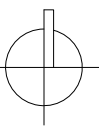
A102



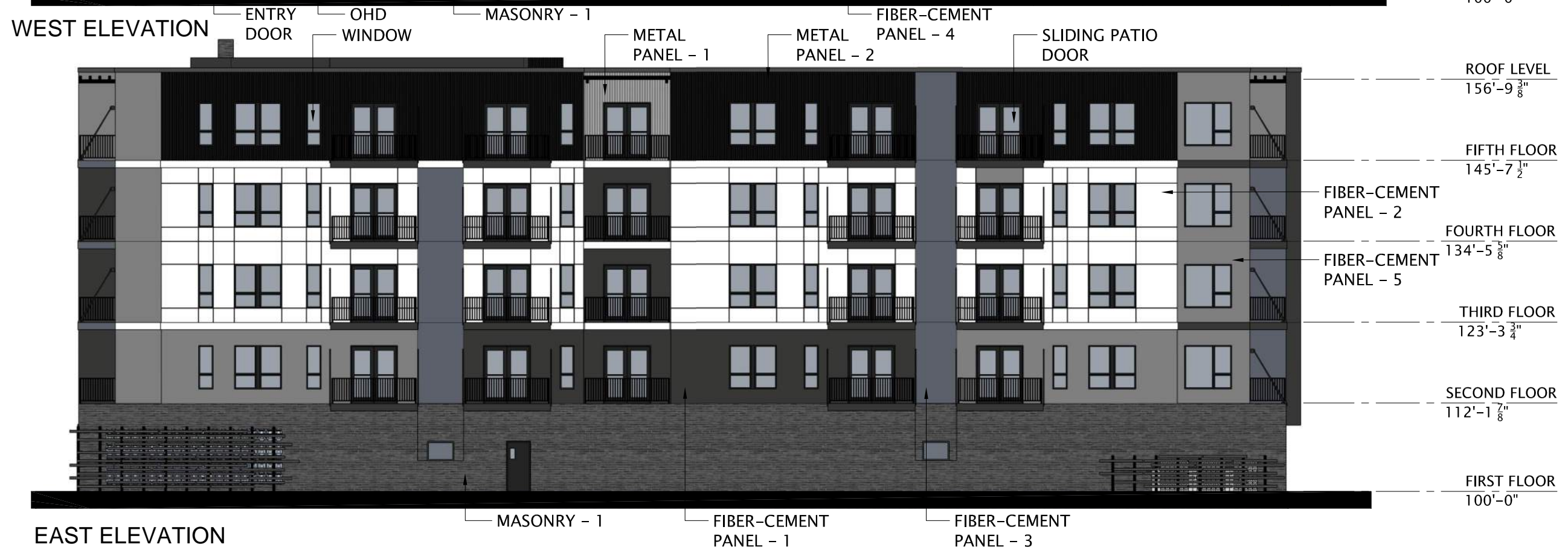


ROOF PLAN

**PROGRESS DOCUMENTS**  
 These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.







**PROGRESS DOCUMENTS**  
 These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

OCTOBER 02, 2023  
 1/16"=1' @ 11x17

**A200**



NORTH ELEVATION



SOUTH ELEVATION

# YELLOWSTONE APARTMENTS

## NORTH AND SOUTH ELEVATIONS - COLOR

**PROGRESS DOCUMENTS**  
 These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

OCTOBER 02, 2023

1/16"=1' @ 11x17

**A201**





COURTYARD NORTH ELEVATION

FIBER-CEMENT PANEL - 4

**PROGRESS DOCUMENTS**  
 These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

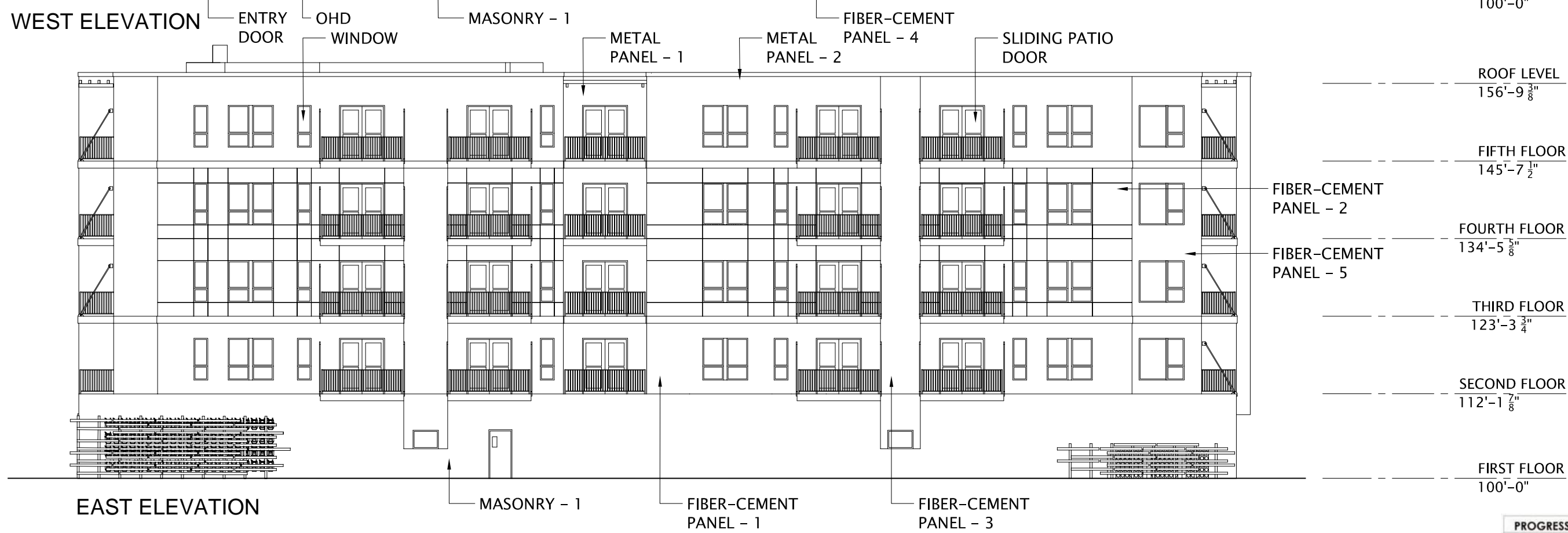
OCTOBER 02, 2023  
 1/16"=1' @ 11x17

**A202**



# YELLOWSTONE APARTMENTS

## COURTYARD NORTH AND SOUTH ELEVATIONS - COLOR



**PROGRESS DOCUMENTS**  
 These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

OCTOBER 02, 2023  
 1/16"=1' @ 11x17

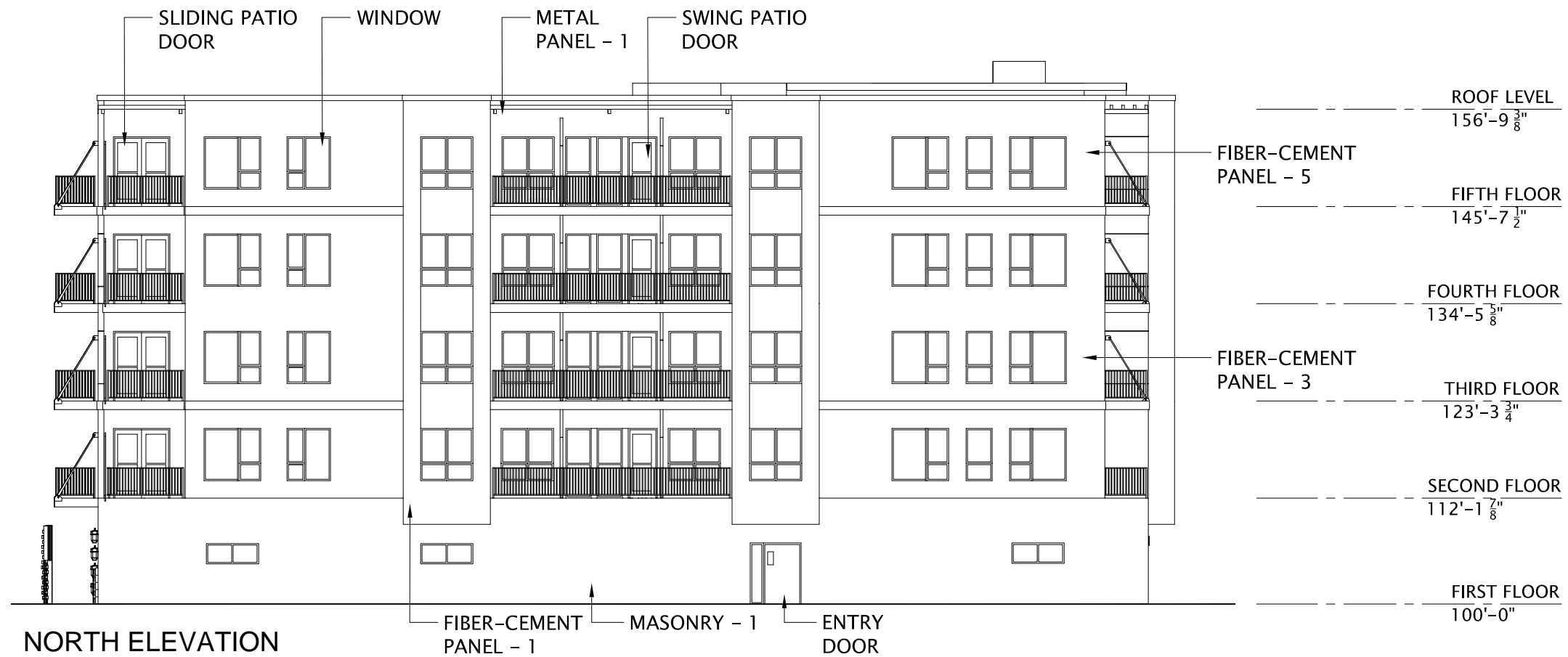
**A203**



# YELLOWSTONE APARTMENTS

## WEST AND EAST ELEVATIONS - BLACK /WHITE





NORTH ELEVATION



SOUTH ELEVATION

# YELLOWSTONE APARTMENTS

## NORTH AND SOUTH ELEVATIONS - BLACK 'WHITE

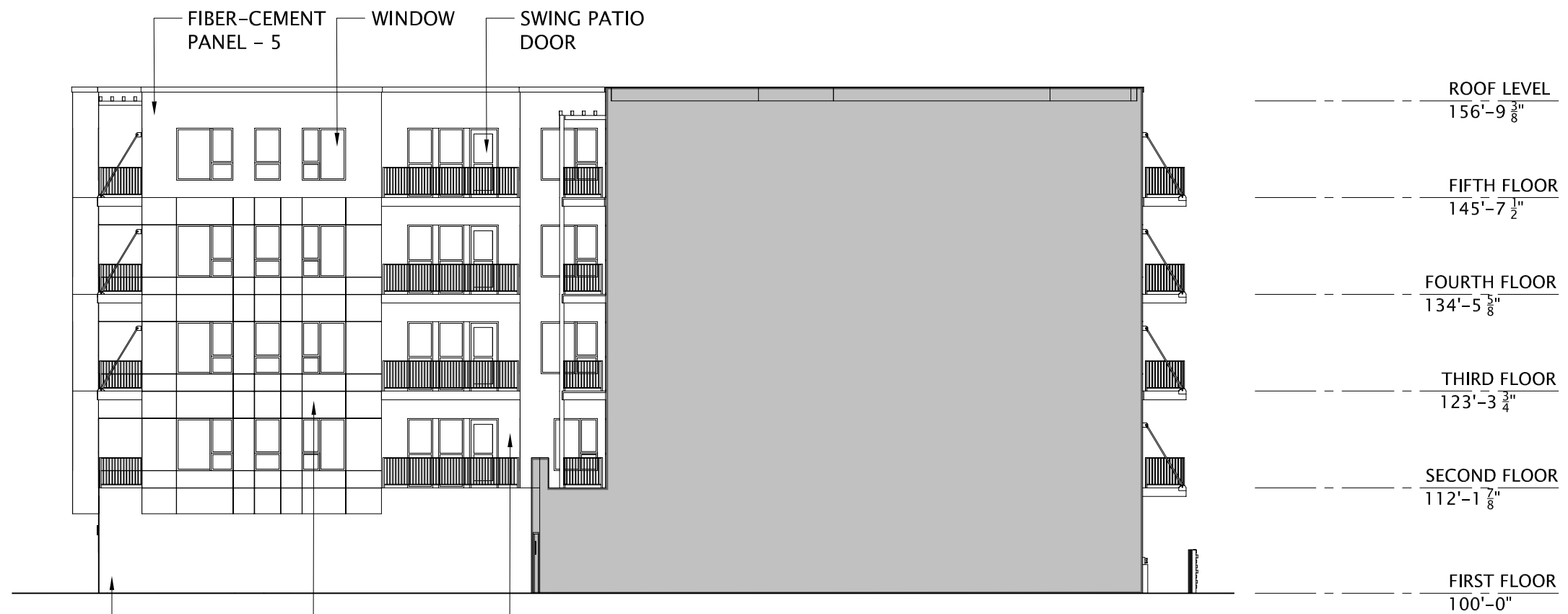
**PROGRESS DOCUMENTS**  
 These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

OCTOBER 02, 2023

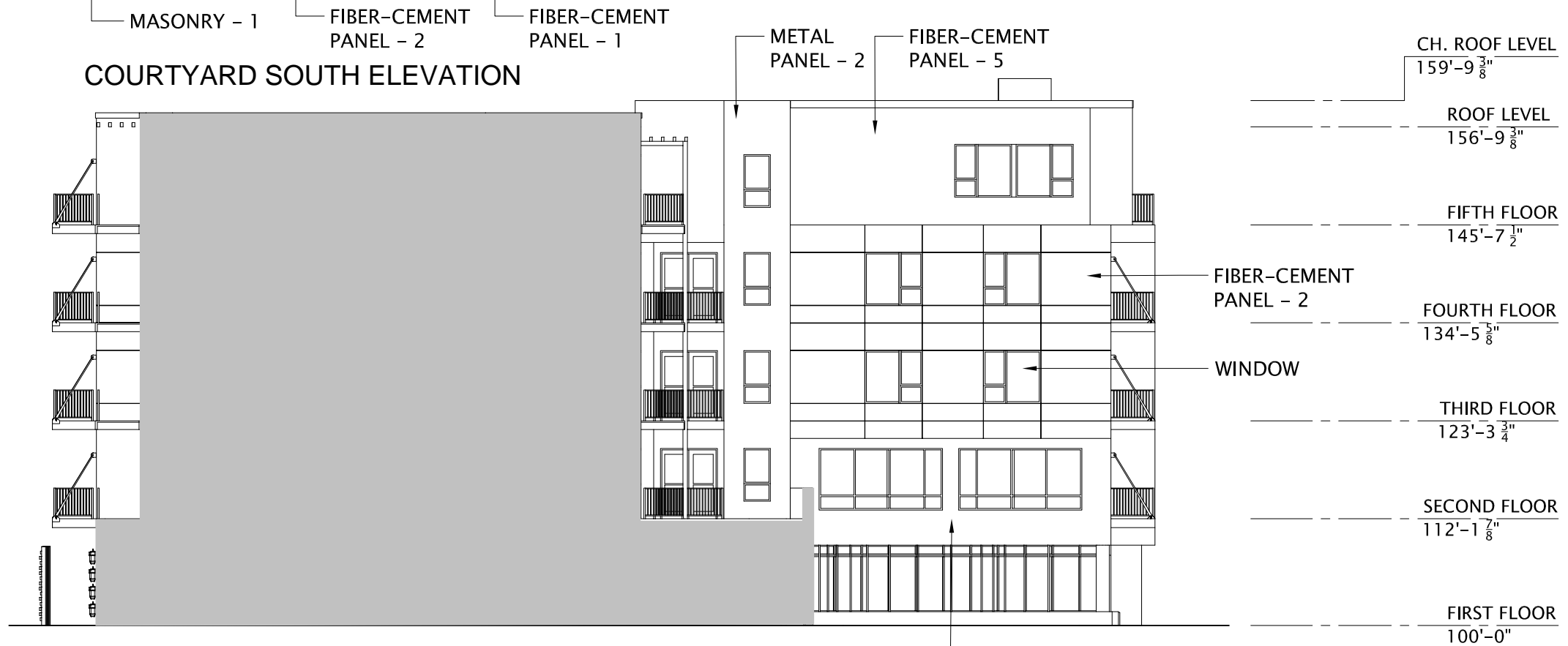
1/16"=1' @ 11x17

A204





COURTYARD SOUTH ELEVATION



COURTYARD NORTH ELEVATION

# YELLOWSTONE APARTMENTS

## COURTYARD NORTH AND SOUTH ELEVATIONS BLACK /WHITE

**PROGRESS DOCUMENTS**  
 These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

OCTOBER 02, 2023

1/16"=1' @ 11x17

**A205**





RENDERING #1



**JLA**  
ARCHITECTS

## YELLOWSTONE APARTMENTS

PRELIMINARY RENDERINGS

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

OCTOBER 02, 2023

**A210**





RENDERING #2



**JLA**  
ARCHITECTS

## YELLOWSTONE APARTMENTS

PRELIMINARY RENDERINGS

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

OCTOBER 02, 2023

**A211**





RENDERING #3



**JLA**  
ARCHITECTS

## YELLOWSTONE APARTMENTS

PRELIMINARY RENDERINGS

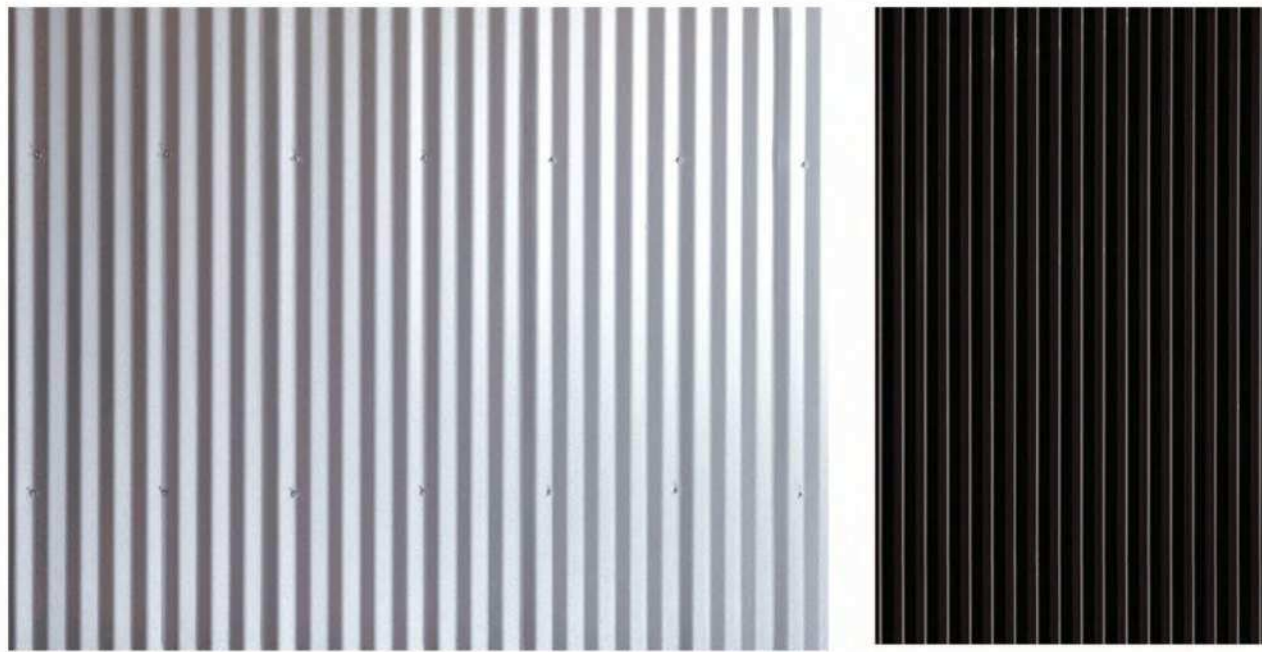
**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

OCTOBER 02, 2023

A212





**RIBBED METAL ACCENT PANEL:**

- SILVER
- BLACK

**JAMES HARDIE:**

- IRON GRAY
- ARCTIC WHITE
- NIGHT GRAY
- DEEP OCEAN
- COUNTRYLANE RED

**TREX - BALCONY DECKING**

- VISTA DRIFTWOOD

**MASONRY:**

- DARK GRAY
- FLUTED CMU

**WINDOW:**

- 2:1 REVERSE COTTAGE

**RAILINGS:**

- MATTE BLACK

**STOREFRONT:**

- ANTIQUE BRONZE



**JLA**  
ARCHITECTS

MADISON | MILWAUKEE | DENVER  
JLA-AP.COM

JLA PROJECT NUMBER: W23-0221

**421 YELLOWSTONE APARTMENTS**  
SCHEMATIC DESIGN

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE 23/09/15

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

**MATERIAL BOARD**

SHEET NUMBER

**A215**



IRON GRAY



ARCTIC WHITE



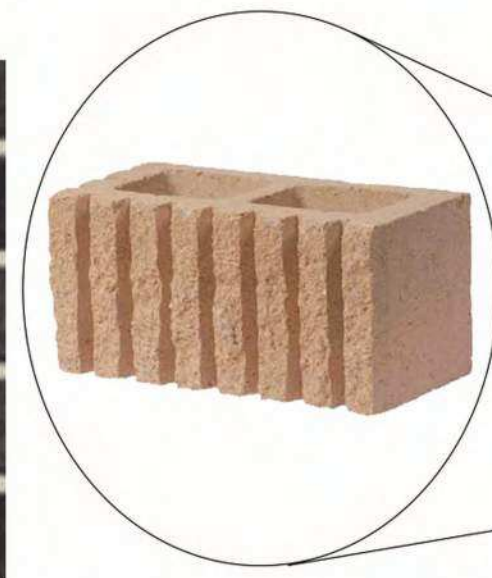
NIGHT GRAY



DEEP OCEAN



COUNTRYLANE RED







NORTH ELEVATION



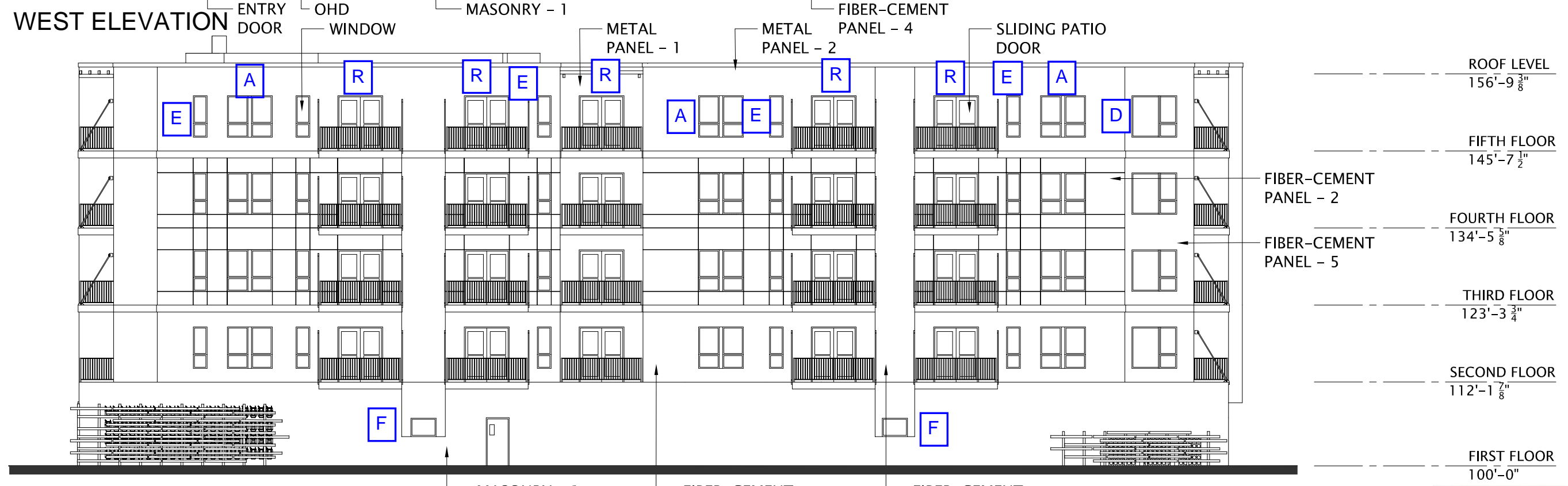
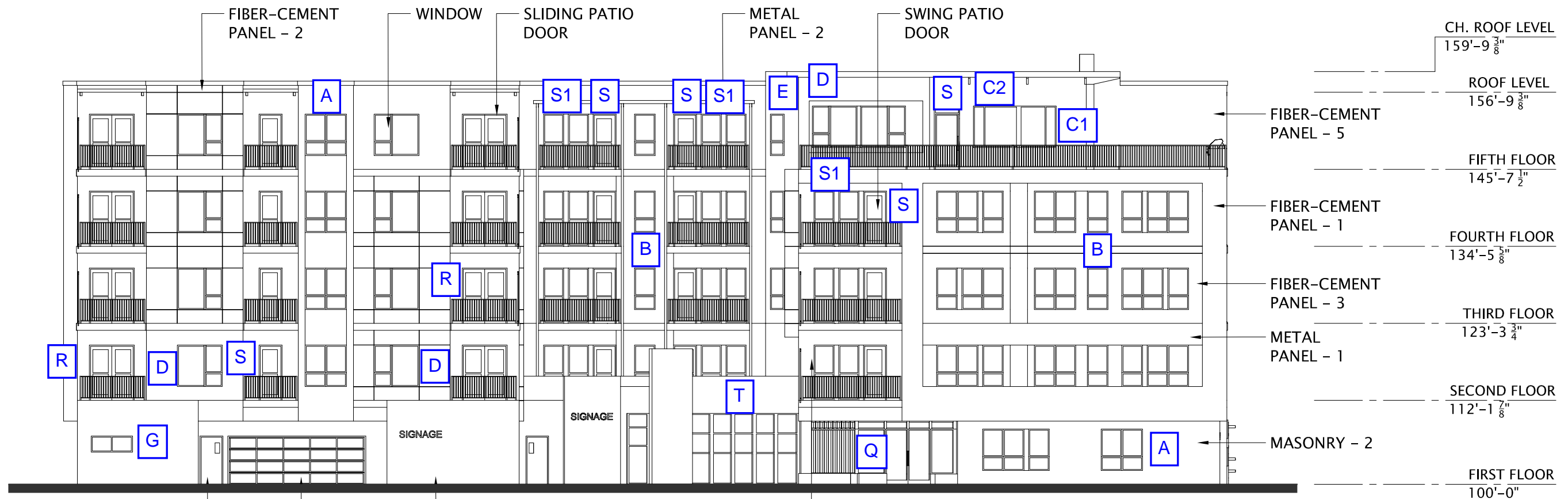
SOUTH ELEVATION

# YELLOWSTONE APARTMENTS

## BIRD GLASS ELEVATION

**PROGRESS DOCUMENTS**  
 These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

OCTOBER 02, 2023  
 1/16"=1' @ 11x17



WEST ELEVATION

EAST ELEVATION

# YELLOWSTONE APARTMENTS

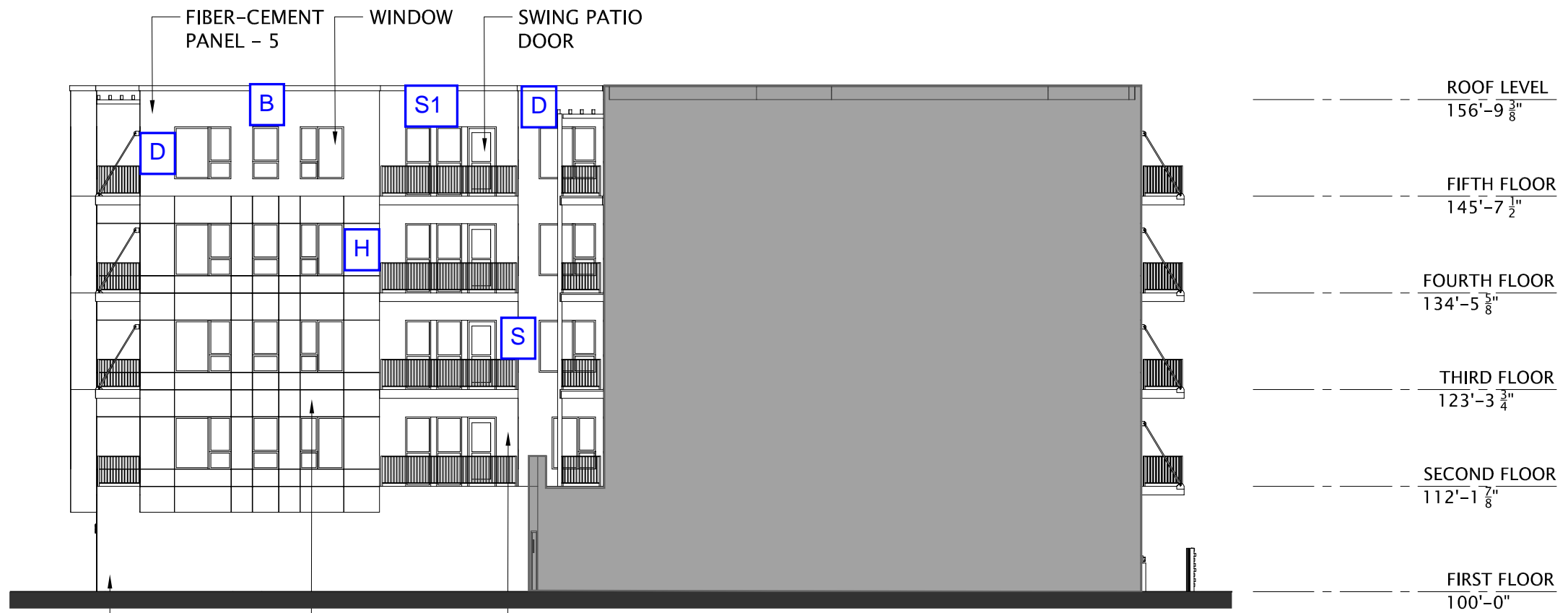
## BIRD GLASS ELEVATION

**PROGRESS DOCUMENTS**  
 These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

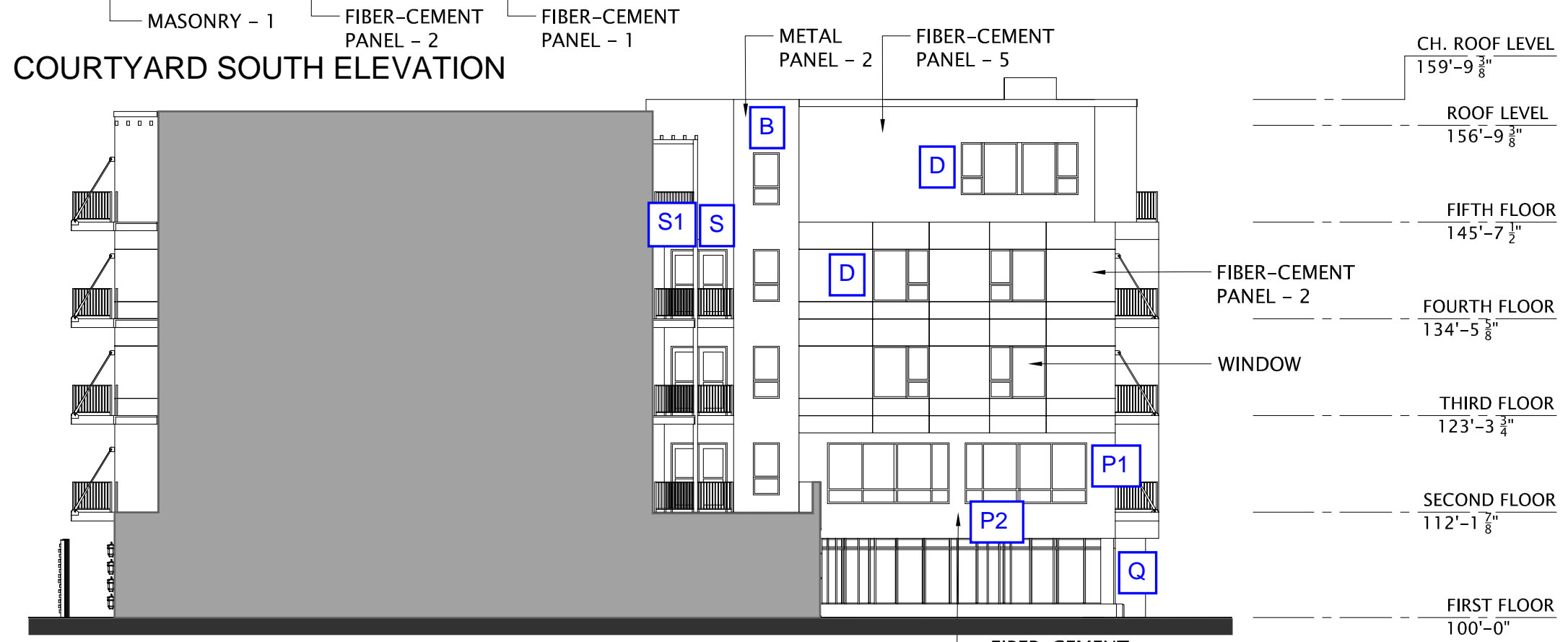
OCTOBER 02, 2023  
 1/16"=1' @ 11x17







COURTYARD SOUTH ELEVATION



COURTYARD NORTH ELEVATION

# YELLOWSTONE APARTMENTS

BIRD GLASS ELEVATIONS

**PROGRESS DOCUMENTS**  
 These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

OCTOBER 02, 2023  
 1/16"=1' @ 11x17

**(1) Statement of Purpose:** The Bird-Safe Glass Requirements in this section are intended to reduce the heightened risk for bird collisions with glass on specified building designs and configurations.

**(2) Applicability:** Subsection (4) applies to all exterior construction and development activity, including the expansion of existing buildings and structures, as specified therein.

**(3) Measuring Glass Area:** Under this Ordinance, glass area shall be measured as one (1) continuous panel of glass or other transparent material, or a set of two (2) or more such panels divided by mullions of six (6) inches in width or narrower. Panels surrounded on all sides by solid walls or mullions wider than six (6) inches shall be considered individual windows. Spandrel or opaque reflectivity of 14% or less shall not be included in the calculation of glass area. See Revised Figure 1.

**(4) Bird-Safe Glass Treatment Requirements:** Glass areas on the following buildings or structures shall be treated to reduce the risk of bird collision by incorporating a pattern of visual markers that are either: a) dots or other isolated shapes that are 1/4" in diameter or larger and spaced at not more than a two-inch (2") by two-inch (2") pattern; or b) lines that are 1/8" in width or greater and spaced no more than 2" apart; low reflective opaque materials; building-integrated structures like non-glass double-skin facades, metal screens, fixed solar shading, exterior insect screens, and other features that cover the glass surface; or other similar mitigation treatments approved by the Zoning Administrator.

**(a) Buildings or structures over 10,000 square feet:** For any building or structure over 10,000 square feet in size (floor area of above-grade stories), bird-safe glass treatment is required as follows:

1. For building facades where the first sixty (60) feet (See REVISED Figure 2) from grade are comprised of greater than or equal to fifty percent (50%) glass:
  - a. At least eighty-five percent (85%) of the glass must be treated; and
  - b. All glass within fifteen (15) feet of a building corner must be treated when see through or fly through conditions exist. See Figure 3.
2. For building facades where the first sixty (60) feet from grade are comprised of less than fifty percent (50%) glass:
  - a. At least eighty-five percent (85%) of the glass on glass areas fifty (50) square feet or over must be treated; and
  - b. Of all glass areas over fifty (50) square feet, any glass within fifteen (15) feet of a building corner must be treated.
3. All glass railings must be treated.
4. All glass on enclosed building connections shall be treated up to sixty (60) feet above grade.

**(b) Sky-bridges:** For buildings and structures of any size, all glass on above-ground bridges must be treated.

**(c) At grade glass:** For buildings and structures of any size, all at grade glass features such as sound walls or glass screens must be treated.

**(5) This Ordinance shall become effective October 1, 2020.**

## YELLOWSTONE - BIRD GLASS CALCULATION - OCTOBER 02, 2023

**50+ SQ FT AND REQUIRE A BIRD GLAZING SAFETY SYSTEM ON A MIN. OF 85% OF THE GLAZING**

WINDOW DESIGNATION	WIDTH	HEIGHT	# OF PANES	AREA	WALL DESIGNATION											
					NORTH ELEVATION		SOUTH ELEVATION		EAST ELEVATION		WEST ELEVATION		COURTYARD NORTH ELEVATION		COURTYARD SOUTH ELEVATION	
					GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW
A -WINDOW - 6'-0"x 6'-0"	5.7	5.7	4.0	32.5	519.8	16.0	130.0	4.0	389.9	12.0	357.4	11.0	130.0	4.0	0.0	0.0
B -WINDOW - 3'-0"x 6'-0"	2.7	5.7	2.0	15.4	61.6	4.0	92.3	6.0	0.0	0.0	230.9	15.0	61.6	4.0	61.6	4.0
C1 -WINDOW - 5'-0"x 6'-0"	4.7	5.7	2.0	26.8	0.0	0.0	0.0	0.0	0.0	0.0	26.8	1.0	0.0	0.0	0.0	0.0
C2 -WINDOW - 6'-0"x 6'-0"	5.7	5.7	2.0	32.5	0.0	0.0	0.0	0.0	0.0	0.0	32.5	1.0	0.0	0.0	0.0	0.0
D -WINDOW - 6'-6"x 6'-0"	6.2	5.7	3.0	35.3	424.1	12.0	282.7	8.0	141.4	4.0	353.4	10.0	212.0	6.0	141.4	4.0
E -WINDOW - 2'-0"x 6'-0"	1.7	5.7	2.0	9.7	0.0	0.0	0.0	0.0	193.8	20.0	38.8	4.0	0.0	0.0	0.0	0.0
F -WINDOW - 3'-8"x 2'-8"	3.3	2.3	1.0	7.6	0.0	0.0	0.0	0.0	15.2	2.0	0.0	0.0	0.0	0.0	0.0	0.0
G -WINDOW - 6'-0"x 2'-8"	5.7	2.3	2.0	13.1	26.2	2.0	0.0	0.0	0.0	0.0	13.1	1.0	0.0	0.0	0.0	0.0
H -WINDOW - 5'-0"x 6'-0"	4.7	5.7	3.0	26.8	107.2	4.0	107.2	4.0	0.0	0.0	0.0	0.0	0.0	0.0	107.2	4.0
J -WINDOW - 6'-4"x 2'-8"	6.0	2.3	1.0	13.8	0.0	0.0	13.8	1.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
K -WINDOW - 3'-8"x 2'-8"	3.3	2.3	1.0	7.6	0.0	0.0	7.6	1.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
L -WINDOW - 3'-0"x 4'-0"	2.7	3.7	1.0	10.0	0.0	0.0	30.0	3.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
M -WINDOW - 3'-4" x 8'-0"	3.0	7.7	2.0	23.1	0.0	0.0	46.2	2.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
N -WINDOW - 6'-0"x 8'-0"	5.7	7.7	4.0	43.9	0.0	0.0	43.9	1.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
O -WINDOW - 4'-0" X 9'-0"	3.7	8.7	2.0	32.2	0.0	0.0	96.6	3.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
P1 -WINDOW - 7'-8"x 7'-0"	7.3	6.7	4.0	48.9	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	97.8	2.0	0.0	0.0
P2 -WINDOW - 6'-0"x 7'-0"	5.7	6.7	4.0	38.2	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	76.4	2.0	0.0	0.0
Q -WINDOW - 7'-6"x 3'-6"	7.2	3.2	2.0	23.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	230.4	10.0	0.0	0.0
R -DOOR - 6'-6"x 8'-0"	6.2	7.7	2.0	47.7	191.0	4.0	429.7	9.0	954.8	20.0	381.9	8.0	0.0	0.0	0.0	0.0
S -DOOR - 3'-4"x 8'-0"	3.0	7.7	2.0	23.1	92.4	4.0	231.0	10.0	0.0	0.0	369.6	16.0	69.3	3.0	92.4	4.0
S1-SIDELITE - 6'-6"x 8'-0"	6.2	7.7	2.0	47.7	191.0	4.0	0.0	0.0	0.0	0.0	525.1	11.0	143.2	3.0	191.0	4.0
					1613.2	TOTAL GLZ	1,510.9	TOTAL GLZ	1,695.0	TOTAL GLZ	2,329.5	TOTAL GLZ	1,020.7	TOTAL GLZ	593.4	TOTAL GLZ
					6989	WALL AREA	6,931.0	WALL AREA	9,657.0	WALL AREA	9,657.0	WALL AREA	3,248.0	WALL AREA	3,248.0	WALL AREA
					23.08%	% GLAZING	21.80%	% GLAZING	17.55%	% GLAZING	24.12%	% GLAZING	31.42%	% GLAZING	18.27%	% GLAZING

SF DESIGNATION	WIDTH	HEIGHT	# OF PANES	AREA	WALL DESIGNATION											
					NORTH ELEVATION		SOUTH ELEVATION		EAST ELEVATION		WEST ELEVATION		COURTYARD NORTH ELEVATION		COURTYARD SOUTH ELEVATION	
					GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF
T - STOREFRONT 6'-0"x 9'-0"	5.7	8.7	3.0	49.6	148.8	3.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
					148.8	TOTAL GLZ	0.0	TOTAL GLZ	0.0	TOTAL GLZ	0.0	TOTAL GLZ	0.0	TOTAL GLZ	0.0	TOTAL GLZ
					517.0	WALL AREA	0.0	WALL AREA	0.0	WALL AREA	0.0	WALL AREA	0.0	WALL AREA	0.0	WALL AREA
					28.78%	% GLAZING	0.00%	% GLAZING	0.00%	% GLAZING	0.00%	% GLAZING	0.00%	% GLAZING	0.00%	% GLAZING

TOTALS											
NORTH ELEVATION		SOUTH ELEVATION		EAST ELEVATION		WEST ELEVATION		COURTYARD NORTH ELEVATION		COURTYARD SOUTH ELEVATION	
1,762.0	TOTAL GLZ	1,510.9	TOTAL GLZ	1,695.0	TOTAL GLZ	2,329.5	TOTAL GLZ	1,020.7	TOTAL GLZ	593.4	TOTAL GLZ
7,506.0	WALL AREA	6,931.0	WALL AREA	9,657.0	WALL AREA	9,657.0	WALL AREA	3,248.0	WALL AREA	3,248.0	WALL AREA
23.47%	% GLAZING	21.80%	% GLAZING	17.55%	% GLAZING	24.12%	% GLAZING	31.42%	% GLAZING	18.27%	% GLAZING



# YELLOWSTONE APARTMENTS

## BIRD GLASS MATRIX

T

OCTOBER 02, 2023

1/16"=1' @ 11x17