



# City of Madison

## Conditional Use Alteration

Location  
1603-1609 Monroe Street

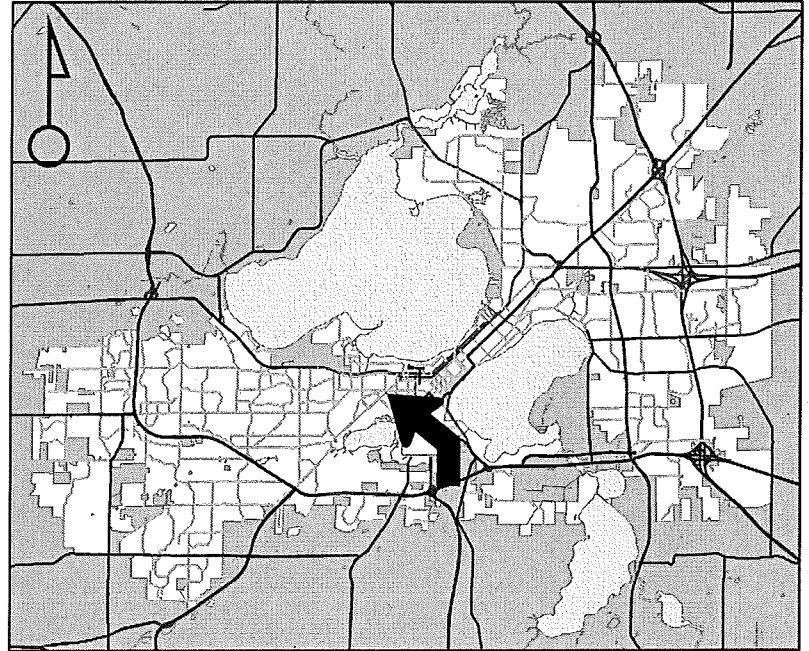
Project Name  
Shimanski Conditional Use

Applicant  
Gregg Shimanski /  
Paul Cuta - CaS4 Architecture, LLC

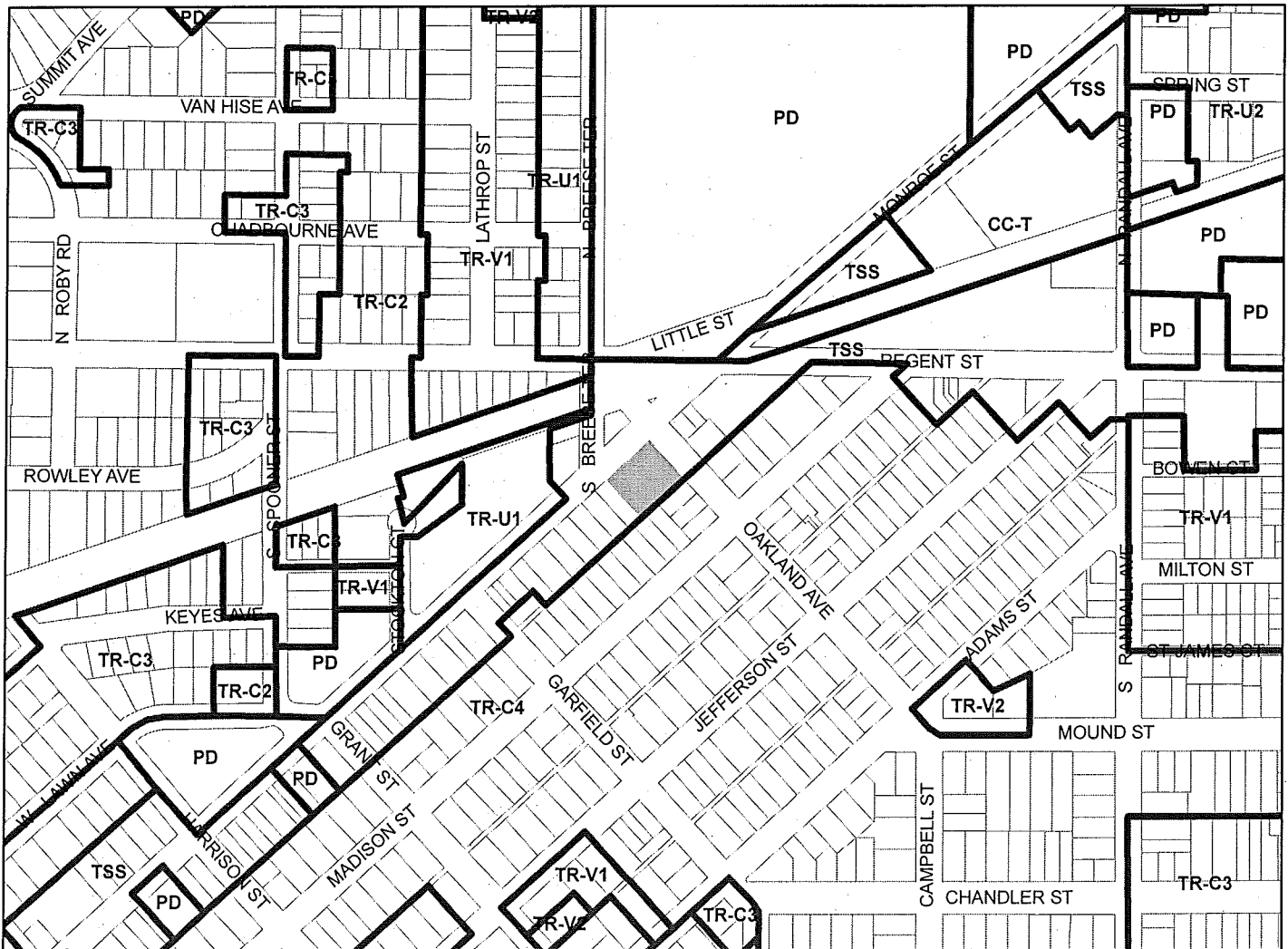
Existing Use  
Approved mixed-use building

Proposed Use  
Construct vehicle access sales  
and service window in approved  
mixed-use building

Public Hearing Date  
Plan Commission  
24 April 2017

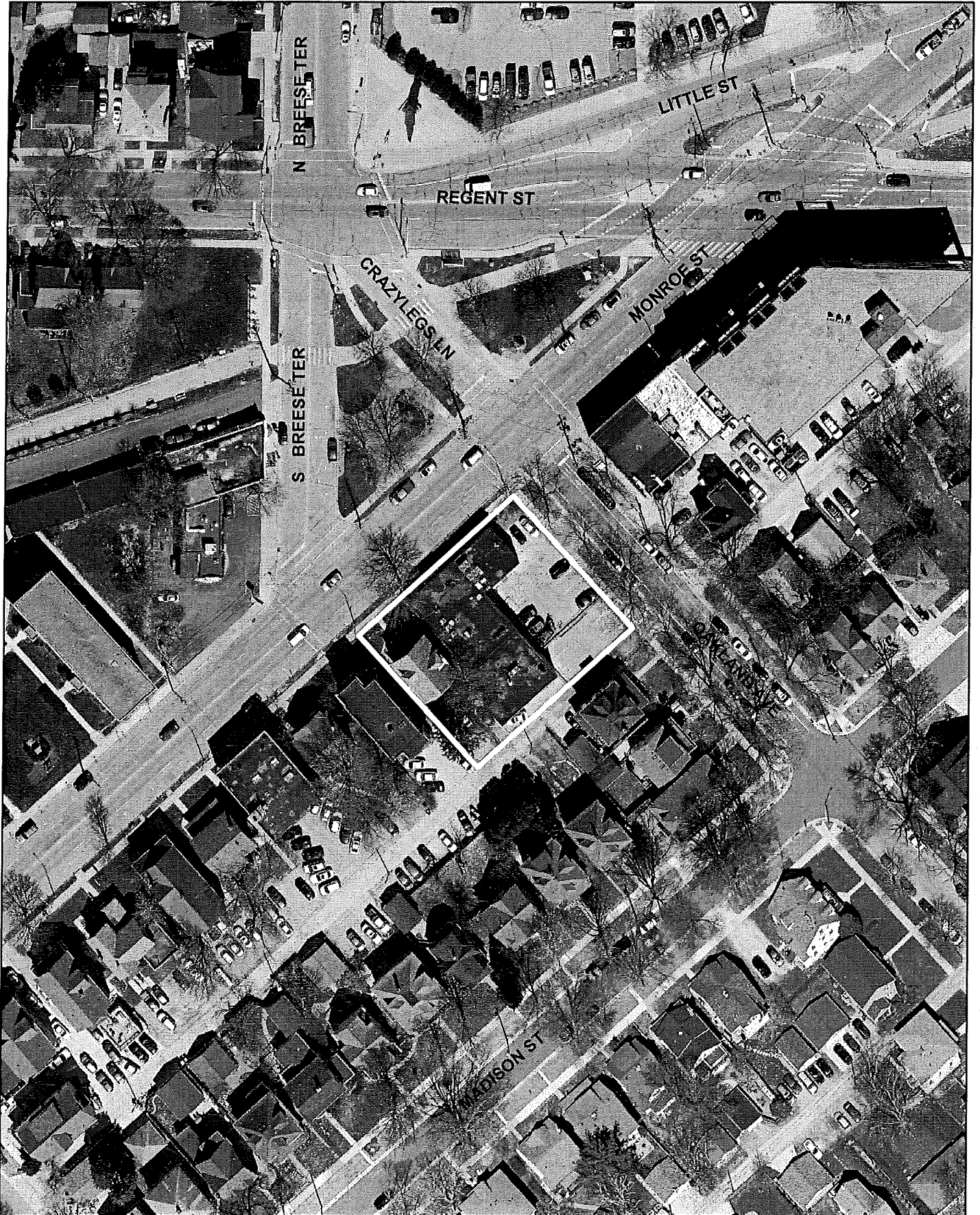


For Questions Contact: Tim Parks at: 261-9632 or [tparks@cityofmadison.com](mailto:tparks@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : PPE : Date : 10 April 2017



City of Madison  
Planning Division  
126 S. Hamilton St.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



FOR OFFICE USE ONLY:

Paid \$950 Receipt # 026707-0005  
Date received 2/22/17  
Received by [Signature]  
Parcel # 0709-224-0805-4  
Aldermanic district B-Estlich  
Zoning district TSS  
Special requirements ZBA, Ex. CU WP-27  
Review required by \_\_\_\_\_  
 UDC  PC  
 Common Council  Other \_\_\_\_\_  
Reviewed By \_\_\_\_\_

All Land Use Applications must be filed with the Zoning Office at the above address.

This completed form is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application found on the City's web site.

1. Project Information

Address: 1603, 1605, 1609 & 1611 MONROE STREET  
Title: SIXTEEN 0 THREE MONROE (1603 MONROE)

2. This is an application for (check all that apply)

- Zoning Map Amendment (rezoning) from \_\_\_\_\_ to \_\_\_\_\_
- Major Amendment to an Approved Planned Development-General Development Plan (PD-GDP) Zoning
- Major Amendment to an Approved Planned Development-Specific Implementation Plan (PD-SIP)
- Review of Alteration to Planned Development (PD) (by Plan Commission)
- Conditional Use or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other requests

3. Applicant, Agent and Property Owner Information

Applicant name PAUL CUTZ Company C&S4 ARCHITECTURE  
Street address 303 S. PATTERSON, STE 1 City/State/Zip MADISON, WI 53703  
Telephone 608-345-1114 Email paul@cas4arch.com

Project contact person SAME AS Company \_\_\_\_\_  
Street address APPLICANT City/State/Zip \_\_\_\_\_  
Telephone \_\_\_\_\_ Email \_\_\_\_\_

Property owner (if not applicant) SIXTEEN 0 THREE MONROE c/o GREGG STUMMUSKI  
Street address 1603 MONROE ST. City/State/Zip MADISON, WI 53711  
Telephone 608-663-5467 Email gregg@madrent.com

4. Project Description

Provide a brief description of the project and all proposed uses of the site:

ADDING A DRIVE-UP/TENTER LAKE/WINDOW BELOW A NEW MIXED-USE BUILDING WITH 44 RES. UNITS & 5,353 SF OF COMMERCIAL SPACE.

Scheduled start date APRIL 3, 2017 Planned completion date MAY, 2018

5. Required Submittal Materials

Refer to the Land Use Application Checklist for detailed submittal requirements.

- Checklist of submittal materials including Filing fee, Land Use Application, Letter of intent, Legal description, Pre-application notification, Vicinity map, Survey or existing conditions site plan, Development plans, Land Use Application Checklist (LND-C), Supplemental Requirements, and Electronic Submittal\*.

\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to pcapplications@cityofmadison.com.

For concurrent UDC applications a separate pre-application meeting with the UDC Secretary is required prior to submittal. Following the pre-application meeting, a complete UDC Application form and all other submittal requirements must be submitted to the UDC Secretary.

6. Applicant Declarations

- Pre-application meeting with staff. Prior to preparation of this application, the applicant is strongly encouraged to discuss the proposed development and review process with Zoning and Planning Division staff.

Planning staff \_\_\_\_\_ Date \_\_\_\_\_
Zoning staff \_\_\_\_\_ Date \_\_\_\_\_

- Demolition Listserv
Public subsidy is being requested (indicate in letter of intent)

- Pre-application notification: The zoning code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request.

MULTIPLE MEETINGS HAD W/ ALDER & NEIGHBORHOOD GROUP. LAST MEETING WAS 2/15/17. ALDER ESKRICH WILL SEND A LETTER/EMAIL.

The alderperson and the Director of Planning & Community & Economic Development may reduce the 30-day requirement or waive the pre-application notification requirement altogether.

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of applicant PAUL CUTZ Relationship to property ARCHITECT.

Authorizing signature of property owner \_\_\_\_\_ Date 2/22/17

12 | GREGG SHIMANSKI, Owner Sixteen O Three, LLC 12

# LAND USE APPLICATION — CHECKLIST

LND-C

Use this checklist to prepare a complete Land Use Application that addresses the City's land use development project standards, requirements and review criteria. Pursuant to Section 28.181(4), MGO, no application is complete unless all required information is included and all application fees have been paid. **The Zoning Administrator may reject an incomplete application.**

City of Madison  
 Planning Division  
 126 S. Hamilton St.  
 P.O. Box 2985  
 Madison, WI 53701-2985  
 (608) 266-4635



Req.	Required Submittal Information	Contents	No. of Copies	✓
X	Filing Fee (\$ 950 )	Refer to the Land Use Application Instructions and Fee Schedule. Make checks payable to City Treasurer.	1	
X	Land Use Application and completed Submittal Checklist	Form must include property owner's authorization.	1	
X	Letter of Intent	Narrative description of the proposal in detail, including, but not limited to, the existing site conditions, project schedule, phasing plan, proposed uses, hours of operation, number of employees, gross square footage, number of units and bedrooms, public subsidy requested, project team, etc.	32	
X	Legal Description	Legal description of the property, complete with the proposed zoning districts and project site area in square feet and acres.	2	
	Pre-Application Notification	Proof of written 30-day notification to alder, neighborhood association, and business associations.	1	
X	Vicinity Map	Indicate site and adjacent streets.	32	
X	Survey or Existing Conditions Site Plan	Shows existing property boundaries and site conditions, including easements and encumbrances of record. Completion by a registered land surveyor may be required.	2	
	Supplemental Requirements (Based on Application Type)	Additional materials may be required for: demolition permit; lakefront development; outdoor eating areas; development adjacent to parks; development within downtown core and urban mixed-use districts; modifications to parking requirements; Planned Development; and master plan applications. Refer to Supplemental Requirements form.	Include in Plan Set as required	
X	Development Plans	Thirty-two (32)-11" x 17" legible copies; and One (1), 24" x 36" copy of the plan set are required.	33	
	X Site Plan	See reverse side for specific sheet requirements.		
	X Grading Plan	See reverse side for specific sheet requirements.		
	X Utility Plan	See reverse side for specific sheet requirements.		
	X Landscape Plan and Landscape Worksheet	See reverse side for specific sheet requirements.		
	X Building Elevations	See reverse side for specific sheet requirements.		
	X <del>Roof and Floor Plans</del>	See reverse side for specific sheet requirements. <b>PARKING LAYOUT</b>		
	Fire Access Plan and Fire Access Worksheet	See reverse side for specific sheet requirements.		
	Supplemental Development Plan Requirements	As determined by staff through the Pre-application process. Land Use Application Checklist		

NOTE FROM A.D.E.V.

Note: Not all development plan materials listed are required for all applications. Submittal materials are as determined by staff.

For electronic submittals, one copy of each item listed above and indexed accordingly, in PDF file format, is required. All development plan set sheets must be scalable to full- and half-size sheets.

Kevin Firchow  
City of Madison– Department of Planning  
Department of Planning and Economic Development  
215 Martin Luther King Jr. Blvd., Suite LL100  
Madison, WI 53703

4/13/16 11/21/16 2/22/17 4/19/17

Re Planning Commission Submittal – Letter of Intent  
Sixteen O Three Monroe– c/o Gregg Shimanski Development

Dear Kevin and Committee Members,

## **Sixteen O Three Monroe**

### **Action Requested**

Major Alteration to Approved Demolition & Conditional Use to Add an Auto Bank Window Below the building in TSS Zoning.

### **Introduction**

1603 Monroe Street is a new, mixed-use building with an approved conditional use located on the corner of Monroe Street and Oakland Street. The building combines the properties at 1603/1605 & 1609 Monroe Street. The new building is a mixed-use building comprised of one level of structured parking, first floor commercial space, and 44 rental housing units on levels one through four. The parking level is partially exposed along Oakland Street and the Alley. Parking access is immediately off of Oakland Street and provides 10 public-use/shared-use parking stalls immediately upon entry. An additional 23 vehicle parking stalls, 12 moped parking stalls and 44 bicycle spaces are provided for secured residential parking. The first floor commercial space fronts Monroe Street with a modulated, arcade that step together with the floor slab as the site drops from West to East to help improve the pedestrian experience and active zone as one moves along the face of the building. The commercial level is delineated by the expansive use of clear glazed storefront capped with a recessive signage band and belt course of hook-strap metal panel. A longtime Financial Institution on Monroe Street, is interested in relocating to the commercial space located at the corner of Monroe and Oakland Streets. As part of this relocation, they require the ability to provide drive-up banking to their clients. We are proposing a design that can provide a single auto-banking lane below the first floor of the new building and will be totally enclosed. This will result in the business going from its current three auto banking/drive-up lanes to just one lane with two machines and a pull out option – one (1) ITM and one (1) ATM. The resulting traffic flow allows for a one-way flow, entering directly off of Oakland for all users, including residents, public parking and drive-up window. Egress from the structure is also "one-way" and on the Alley immediately South of the new building. The proposed design was reviewed with City of Madison Traffic Engineering in an initial meeting with Eric Halvorson which resulted in implementation of specific design considerations including angled parking in the one-way section, a narrower drive lane to discourage counter flow and narrower entry and exit doors to also help alleviate the potential for counter flow traffic. Additional design considerations were added after meeting with the neighborhood and Alder. These included physical measures and

15002.00 – 1603 Monroe – Plan Comm. Letter of Intent

signage to try to reinforce and assure a left turn only at the egress point into the alley ROW. The project has also requested and received a combined parking reduction and shared parking consideration, which we feel is highly appropriate given the location of the new building at the confluence of multiple modes of transportation.

**Zoning**

The TSS zoning for this site now allows for the introduction of drive-up / teller windows below or within the building enclosure as an approved Conditional Use.

**Project Team**

Owner	Sixteen O Three, LLC	Gregg Shimanski
Architect	CāS <sub>4</sub> Architecture, LLC	Paul Cuta
Contractor	Krupp	Aaron Gundlach

**Existing Conditions**

See attached Photos

**Proposed Uses**

Commercial	5,353	Net Square Feet
Parking & Storage	16,053	Gross Square Feet
Residential & General Use	39,965	Gross Square Feet

**Hours of Operation**

Typical hours of operation are:

Commercial	7:30 am – 6:00 pm	Monday – Friday
Residential	24 / 7	

**Building Square Footage**

61,371 Gross Square Feet

**Number of Dwelling Units**

Forty Four (44)

- 18 – Studios
- 4 – Convertible/One Bedroom Units
- 10 – One Bedroom Units
- 12 - Two Bedroom Units

**Auto & Bike Parking Stalls**

Bicycle Parking	51
Moped Parking	12
Auto Parking (33 Total)	
Accessible	0
Van Accessible	2
Non-Accessible	31

**Lot Coverage and Usable Open Space:**

Lot Size 16,786 sf

Pervious Area:

Landscape 153 SF

Green Roof 2,578 SF

Total 2,731 SF

Proposed ISR 83.7%

Residential Balconies & Terraces 2,785 SF

**Value of Land**

\$700,000 - \$900,00

**Estimated Project Cost**

\$8,800,000 (\$7,000,000 construction cost)

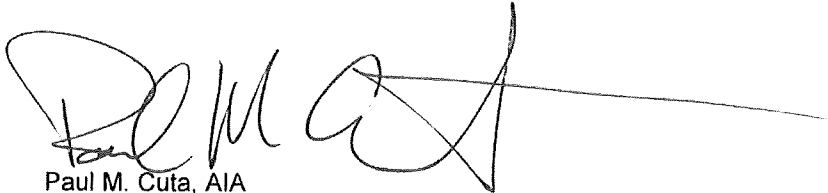
**Number of Construction & Full-Time Equivalent Jobs Created**

Commercial Space 12 FTE's

Construction Jobs 15-30 FTE's

**Public Subsidy Requested**

None.



Paul M. Cuta, AIA  
Partner

PMC/mds

Attachments:

Copied File



# 1603 Monroe Street

1603 - 16011 Monroe Street, Madison, WI 53711

## Plan Commission - Major Alteration for Adding Auto Bank

# CāS<sub>4</sub>

architecture, llc

303 S. Paterson Street, Ste. 1  
Madison, WI 53703  
ph 608-709-1250

Structural Engineering:

Civil Engineering:

Landscape Architecture:

### 1603 Monroe

1603-1611 Monroe Street  
Madison, WI 53703

Project #: 15002.00

### Cond. of Approval Response NOT FOR CONSTRUCTION

Issued for:

No.	Description	Date
1	Preliminary Contractor Set	2-28-2016
2	Plan Commission Submittal	4-13-2016
3	Preliminary Pricing Set	6-28-2016
4	Plan Commission Resubmittal - Major Alteration	11-21-2016
5	Response to Cond. Use Conditions of Approval	02-6-2017
6	Plan Commission Resubmittal - Major Alteration (Drive Thru)	2-22-2017

Drawn by: CaS4 Architecture  
Checked by: CaS4 Architecture

Title Sheet

# G001

NOT FOR CONSTRUCTION

Project Name: 1603 Monroe  
Project #: 15002.00

Civil	Landscape	Architectural
Burse Surveying & Engineering 2801 International Lane, Ste. 101 Madison, WI 53704  ph 608-280-9266	Ken Saiki Design 303 S. Paterson Street, Ste. 1 Madison, WI 53703  ph 608-251-3600	CāS. Architecture, LLC 303 S. Paterson Street, Ste. 1 Madison, WI 53703  ph 608-709-1250
C100 Existing Conditions C200 Site Plan C300 Grading & Erosion Control Plan C400 Utility Plan C500 Details & Notes	L100 Site Planting Plan L102 Details & Plant Schedules	G001 Title Sheet  A100 Level P1 Floor Plan A101 Level L1 Floor Plan  A200 Exterior Elevations A201 Exterior Elevations

### PROJECT INFORMATION

Site Area: 16,786 sf

Building Footprint: 15,870 sf

#### SQUARE FOOTAGE BY USE:

Use	Gross Square Feet
Parking and Storage (S-2)	16,053
Commercial and Core (A-2 and/or B)	5,353
Residential and Core (R-2)	39,965

#### BUILDING SUMMARY

Building Type: Apartment House  
Occupancy Classification: R-2 over A-2, B and S-2  
(3 hour separation at second floor line)

Construction Type: Type 1A up to 2nd  
Level; VA above

Maximum Allowable Area: 38,000 gsf/floor

Maximum Allowable Stories: 4 over 2nd level  
separation

Total Occupancy Load:

Residential (R-2) 200 occupants  
(39,965 gsf / 200 gsf per occ.)

Commercial Space (A-2) 255 occupants  
(3,817 nsf / 15 nsf per occ.)

Business (B) 8 occupants  
(1,436 gsf / 200 gsf per occ.)

Parking (S-2) 81 occupants  
(16,053 gsf / 200 gsf per occ.)

TOTAL 544 occupants

#### BUILDING TOTALS

Level	Gross Square Feet
Level P1	15,870
Level 1 (Grade)	13,012
Level 2	10,864
Level 3	10,864
Level 4	10,782
TOTAL	61,371

#### ZONING (City of Madison)

District: Traditional Shopping Street (TSS)

Setbacks: None Required for this site

Max. Lot Coverage: 85%

2,576 sf Green Roof + 153 sf  
@ Grade = 2,731 / 16,786 sf = 83.7%

Maximum Height: 3 stories / 40 feet

Additional Height:

Allowed with Conditional Use Approval

Usable Open Space: None Required

Maximum Size:

10,000 GSF for Individual Establishment

25,000 GSF for Mixed-Use/Multi-Tennat

Exceeding limits allowed with Conditional

Use Approval

#### PARKING COUNTS

##### AUTOMOBILE PARKING

Interior	
Residential - Rental	23
1 Handicap Stalls provided (4.3%)	
(2 Combined HC Stalls provided (6.1%))	
Public/Shared Use	10
1 Handicap Stalls provided (10.0%)	
Surface Parking	0
TOTAL ONSITE PARKING	33

##### MOPED PARKING

Interior - Residential	10
Interior - Public Use	2
Exterior	0
TOTAL ONSITE PARKING	12

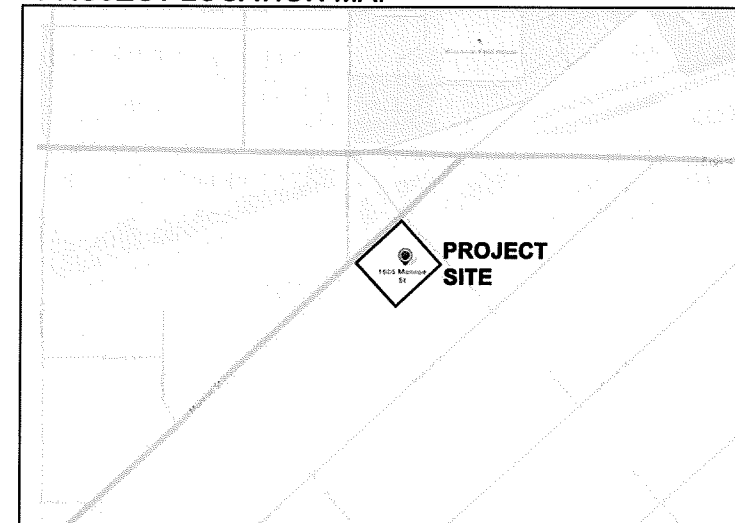
##### BIKE PARKING - REQUIRED

44 Units ( 1/per 1 & 2 bedroom units)	44
Guests (44 units * .1 stalls/unit)	4
Commercial (1 per 2,000 sf)	3
TOTAL REQUIRED	51

##### BIKE PARKING - PROVIDED ONSITE

Interior - Residential	44
Interior - Public Use	0
Exterior - Public Use	7
TOTAL PROVIDED ONSITE	51

### PROJECT LOCATION MAP



ALL OF LOTS 1 AND 2 AND PART OF LOT 3, BLOCK 2, OAKLAND HEIGHTS AS RECORDED IN VOLUME 1 OF PLATS, ON PAGE 30, AS DOCUMENT NUMBER 211232, DANE COUNTY REGISTRY, LOCATED IN THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

**LEGEND**

- MAG NAIL SET IN FLAT ROCK 0.1' BELOW SURFACE
- 3/4" SOLID IRON ROD FOUND
- 1" IRON PIPE FOUND UNLESS NOTED
- X SET X CUT IN CONCRETE
- 3/4" X 18" SOLID IRON RE-ROD SET, WT. 1.50 lbs./ft.
- SPOT ELEVATION
- OVERHEAD UTILITY WIRE
- BURIED GAS LINE
- WATER MAIN
- SANITARY SEWER
- STORM SEWER
- BURIED FIBER OPTIC
- WATER VALVE
- GAS METER
- AIR CONDITIONER
- UTILITY POLE
- LIGHT POLE
- FIRE HYDRANT
- SN
- GUY WIRE
- CLOTHES LINE POST
- STORM SEWER INLET
- TELEPHONE MANHOLE
- STORM SEWER MANHOLE
- ROUND CATCH BASIN
- STORM SEWER STRUCTURE
- RECTANGLE CATCH BASIN
- SANITARY SEWER MANHOLE
- DECIDUOUS TREE
- CONIFEROUS TREE
- ( ) INDICATES RECORDED AS PER PLAT
- [ ] INDICATES RECORDED AS PER PLAT OF SURVEY M2493
- | ] INDICATES RECORDED AS PER RECORD DEED
- PARKING METER
- BOLLARD
- WOOD FENCE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR

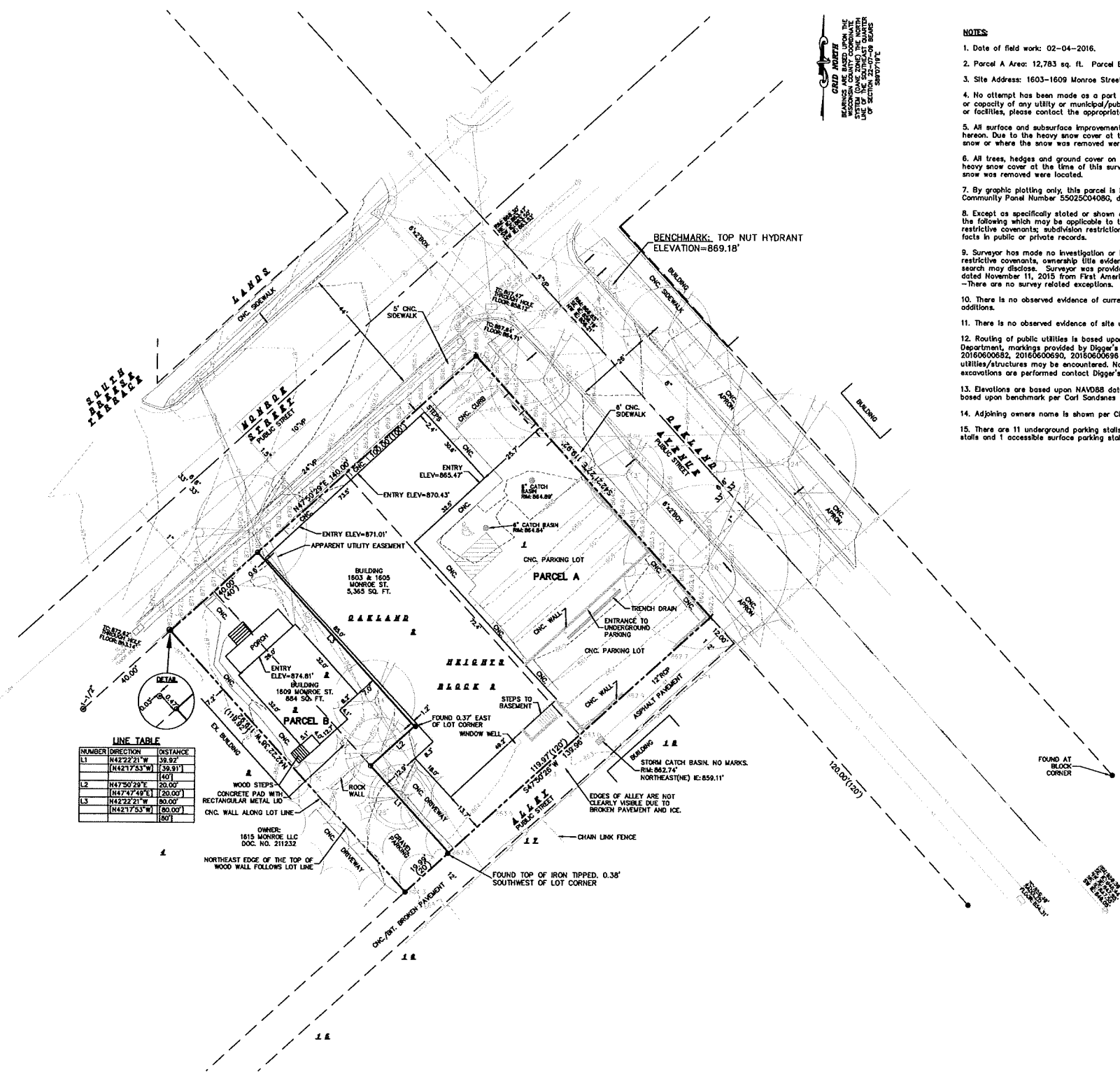
DISTANCES ARE MEASURED TO THE NEAREST HUNDRETH OF A FOOT. BUILDINGS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.



**GRID NORTH**  
 NATIONAL GRID COORDINATE SYSTEM  
 NAD 83  
 DATUM: NAD 83  
 ZONE: 16N  
 EPOCH: 2011.01  
 SOURCE: STATE OF WISCONSIN  
 DATE: 01/01/2011

**NOTES**

1. Date of field work: 02-04-2016.
2. Parcel A Area: 12,783 sq. ft. Parcel B Area: 4,004 sq. ft.
3. Site Address: 1603-1609 Monroe Street
4. No attempt has been made as a part of this survey to obtain or show data concerning condition or capacity of any utility or municipal/public service facility. For information regarding these utilities or facilities, please contact the appropriate agencies.
5. All surface and subsurface improvements on and adjacent to the site are not necessarily shown hereon. Due to the heavy snow cover at the time of this survey, only visible improvements above the snow or where the snow was removed were located.
6. All trees, hedges and ground cover on the site may not necessarily be shown hereon. Due to the heavy snow cover at the time of this survey, only visible ground cover above the snow or where the snow was removed were located.
7. By graphic plotting only, this parcel is located in Zone X per the Flood Insurance Rate Map Community Panel Number 55025C04080, dated JANUARY 02, 2009.
8. Except as specifically stated or shown on this map, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations; and any other facts in public or private records.
9. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose. Surveyor was provided with a Title Commitment Number NCS-763740-MAD dated November 11, 2015 from First American Title Insurance Company, which references the following: -There are no survey related exceptions.
10. There is no observed evidence of current earth moving work, building construction or building additions.
11. There is no observed evidence of site use as a solid waste dump, sump or sanitary landfill.
12. Routing of public utilities is based upon drawings obtained from the City of Madison Engineering Department, markings provided by Digger's Hotline Ticket Numbers 20160600672, 20160600677, 20160600682, 20160600690, 20160600696 and visible above ground structures. Additional buried utilities/structures may be encountered. No excavations were made to located utilities. Before excavations are performed contact Digger's Hotline.
13. Elevations are based upon NAVD83 datum. The brass cap monument has an elevation of 877.47 based upon benchmark per Carl Sandness sheet dated February 16, 2004.
14. Adjoining owners name is shown per City of Madison Assessor's website.
15. There are 11 underground parking stalls on site. There are 16 regular visible surface parking stalls and 1 accessible surface parking stall.



**Cas4**  
 architecture, llc

303 S. Paterson Street, Ste. 1  
 Madison, WI 53703  
 ph 608-709-1250

Structural Engineering:

Civil Engineering:  
**Burse**  
 Surveying and Engineering, Inc.

Landscape Architecture:

**Sixteen O Three Monroe**  
 1603-1611 Monroe Street  
 Madison, WI 53703

Project #: 15002.00

**Permit & Construction**

Issued for:

No.	Description	Date
1	Preliminary Contractor Set	02-26-2016
2	Plan Commission Submittal	04-13-2016
3	Preliminary Pricing Set	06-28-2016
4	Plan Commission Resubmittal - Major Alteration	11-21-2016
5	Response to Cond. Use Conditions of Approval	02-06-2017
6	Final Check Set	03-15-2017
7	Footings, Foundation, Precast & Framing Bidding	03-16-2017
8	Permit & Construction	04-14-2017

Drawn by: BSEI  
 Checked by: CoS4 Architecture

**Existing Conditions**

**DIGGERS HOTLINE**  
 Dial 811 or (800) 242-8511  
 www.DiggersHotline.com

**C-100**

Project Name: 1603 Monroe Project #: 15002.00



Structural Engineering:

Civil Engineering:



Landscape Architecture:

## Sixteen O Three Monroe

1603-1611 Monroe Street  
Madison, WI 53703

Project #: 15002.00

### Permit & Construction

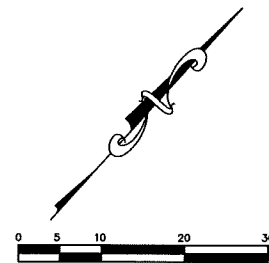
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5	Response to Cond. Use Conditions of Approval	02-06-2017
6	Issued for Bidding	03-15-2017
7	Footings, Foundation, Precast & Framing Bidding	03-16-2017
8	Permit & Construction	04-14-2017

Drawn by: BSEI  
Checked by: CaS4 Architecture

### Grading and Erosion Control Plan

# C-300

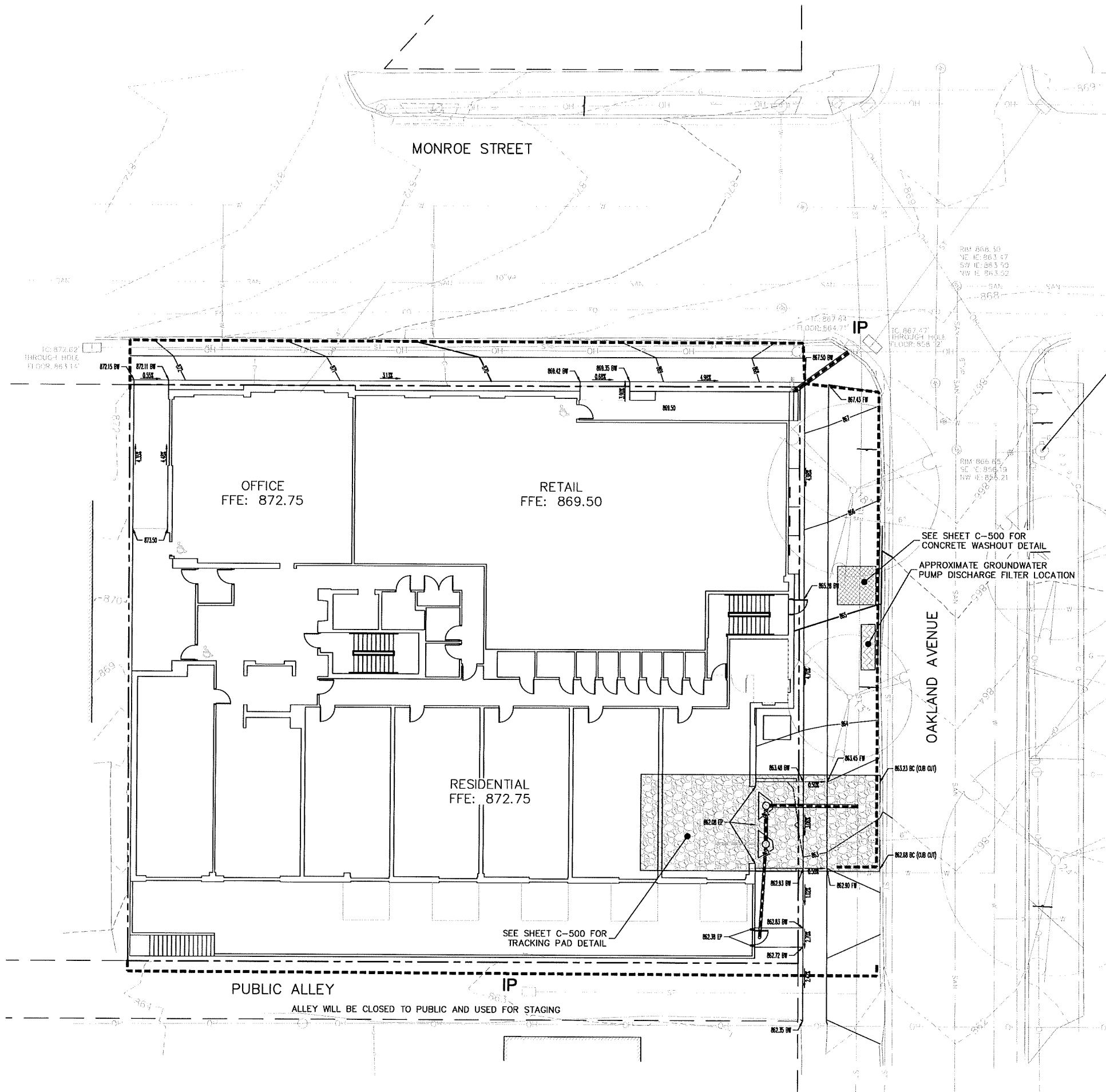


BENCHMARK:  
TOP NUT HYDRANT  
ELEVATION=869.18'

LEGEND	
854	EXISTING MINOR CONTOUR
855	EXISTING MAJOR CONTOUR
854	PROPOSED MINOR CONTOUR
855	PROPOSED MAJOR CONTOUR
---	STORM SEWER
---	PERFORATED DRAIN TILE (WRAPPED)
---	SILT FENCE OR SILT SOCK
[Pattern]	ROCK CHECK DAM
IP	INLET PROTECTION
[Pattern]	STONE TRACKING PAD
[Pattern]	CONCRETE WASHOUT MANAGEMENT
855.23	PROPOSED FINISHED GRADE
FFE	FINISHED FLOOR ELEVATION
EP	FINISHED EDGE OF PAVEMENT GRADE
BW	FINISHED BACK OF WALK GRADE
FW	FINISHED FRONT OF WALK GRADE
[Symbol]	ACCESSIBLE ENTRANCE

NOTES:

- REPLACE ALL DAMAGED SIDEWALK AND CURB AND GUTTER PER CITY OF MADISON STANDARD SPECIFICATIONS.
- ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY ISSUED PLANS FOR PROJECT NO. 11568.

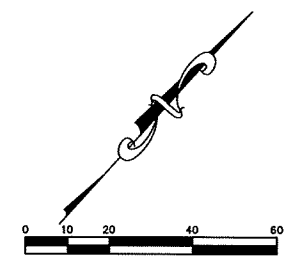
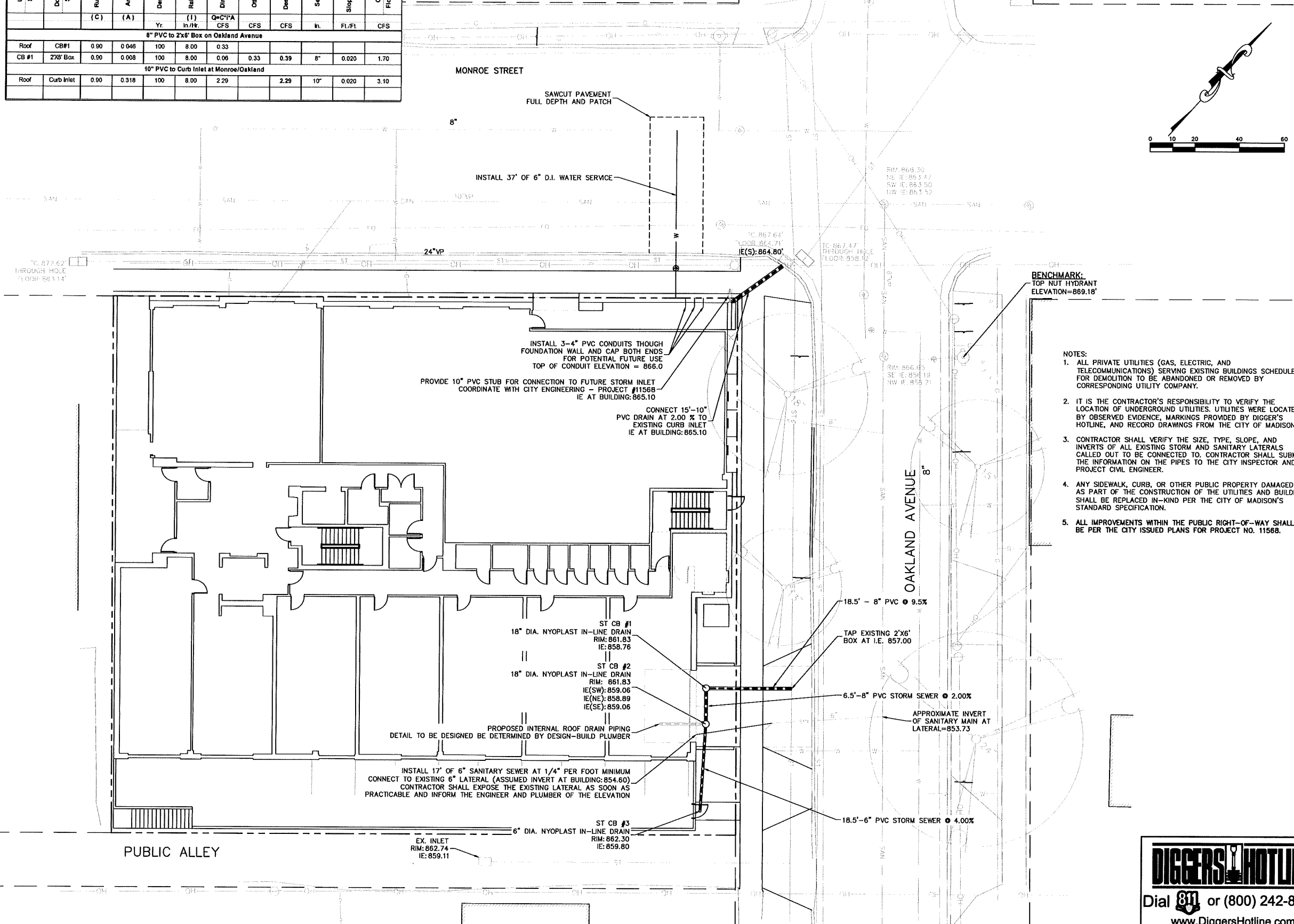


Project Name: 1603 Monroe Project #: 15002.00

**PARKING GARAGE ENTRANCE STORM SEWER DESIGN**

PROJECT: 1603 Monroe Street  
 DATE: 3/11/2017  
 Computed by: PDF  
 Checked by: MLB

LOCATION		BASIN		RAINFALL - RUNOFF				SEWER			
Upstream Structure	Downstream Structure	Runoff Coeff.	Area (Acres)	Design Storm	Rain Intensity	Direct Runoff	Other Runoff	Design Runoff	Sewer Size	Slope of Sewer	Capacity Flowing Full
		(C)	(A)	Yr.	(1) In/Hr.	Q=C <sup>1.4</sup> A CFS	CFS	CFS	In.	FL/FL	CFS
8" PVC to 2'x6" Box on Oakland Avenue											
Roof	CB#1	0.90	0.046	100	8.00	0.33					
CB #1	2'x6" Box	0.50	0.008	100	8.00	0.06	0.33	0.39	8"	0.020	1.70
10" PVC to Curb Inlet at Monroe/Oakland											
Roof	Curb Inlet	0.90	0.318	100	8.00	2.29		2.29	10"	0.020	3.10



- NOTES:
- ALL PRIVATE UTILITIES (GAS, ELECTRIC, AND TELECOMMUNICATIONS) SERVING EXISTING BUILDINGS SCHEDULED FOR DEMOLITION TO BE ABANDONED OR REMOVED BY CORRESPONDING UTILITY COMPANY.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
  - CONTRACTOR SHALL VERIFY THE SIZE, TYPE, SLOPE, AND INVERTS OF ALL EXISTING STORM AND SANITARY LATERALS CALLED OUT TO BE CONNECTED TO. CONTRACTOR SHALL SUBMIT THE INFORMATION ON THE PIPES TO THE CITY INSPECTOR AND PROJECT CIVIL ENGINEER.
  - ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON'S STANDARD SPECIFICATION.
  - ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY ISSUED PLANS FOR PROJECT NO. 11568.

**CaS<sub>4</sub>**  
 architecture, llc

303 S. Paterson Street, Sta. 1  
 Madison, WI 53703  
 ph 608-709-1250

Structural Engineering:

Civil Engineering:  
**Burse**  
 Surveying and Engineering, Inc.

Landscape Architecture:

**Sixteen O Three Monroe**

1603-1611 Monroe Street  
 Madison, WI 53703

Project #: 15002.00

**Permit & Construction**

Issued for:

No.	Description	Date
1	Preliminary Contractor Set	02-26-2016
2	Plan Commission Submittal	04-13-2016
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6	Issued for Bidding	03-15-2017
7	Footings, Foundation, Precast & Framing Bidding	03-16-2017
8	Permit & Construction	04-14-2017

Drawn by: BSEI  
 Checked by: CaS4 Architecture

**Utility Plan**

**C-400**

**DIGGERS HOTLINE**  
 Dial 811 or (800) 242-8511  
 www.DiggersHotline.com

Project Name: 1603 Monroe  
 Project #: 15002.00

**Erosion Control Notes/Specifications:**

- Erosion control devices and/or structures shall be installed prior to demolition operations. These shall be properly maintained for maximum effectiveness until the site is completely stabilized.
- Erosion control is the responsibility of the contractor until acceptance of this project. Erosion control measures as shown shall be the minimum precautions that will be allowed. The contractor shall be responsible for recognizing and correcting all erosion control problems that are the result of construction activities. Additional erosion control measures, as requested in writing by the state or local inspectors, or the developer's engineer, shall be installed within 24 hours.
- All erosion control measures and structures serving the site must be inspected at least weekly or within 24 hours of the time 0.5 inches of rain is produced. All maintenance will follow an inspection within 24 hours. Inspection schedule and record keeping shall comply with NR 216.46(9), Wis. Adm. Code.
- Construction Entrances – Provide a stone tracking pad at each point of access. Install according to WDNR Standard 1057.
- Dewatering – Water pumped from the site shall be treated by using a geotextile bag. Sandy soil is expected to be found at the bottom of the excavation, therefore Geotextile Bags shall be Type I per DNR Technical Standard 1061. The following table identifies the size a bag required for a given sized pump. This water shall be discharged in a manner that does not induce erosion of the site or adjacent property.

Pump Size (Max GPM)	Type I Bag Size (sq-ft)
50	25
100	50
150	75

- Storm Sewer Inlets – Provide WDOT Type D "CatchAll" inlet protection or equivalent. Refer to WDOT Product Acceptability List at: <http://www.dot.wisconsin.gov/business/engserv/pal.htm>. Inlet protection shall be installed prior to the storm sewer system receiving site runoff. Other than for performing maintenance, these devices shall not be removed until site stabilization is complete.
- Building and waste materials shall be prevented from running-off the site and entering waters of the state in conformance with NR151.12(6m).
- No solid material shall be discharged or deposited into waters of the state in violation of Ch. 30 or 31 of the Wisconsin State Statutes or 33 USC 1344 permits.
- Erosion control devices shall adhere to the technical standards found at: [http://dnr.wi.gov/topic/stormwater/standards/const\\_standards.html](http://dnr.wi.gov/topic/stormwater/standards/const_standards.html) and comply with all City of Madison ordinances.
- All debris tracked onto public streets shall be swept or scraped clean by the end of each workday.
- All building and waste material shall be handled properly to prevent runoff of these materials off of the site. Contractor shall prepare a concrete management plan.
- All disturbed areas shall be seeded, sodded, or otherwise restored immediately after grading activities have been completed per the approved landscape plan.

**Schedule:**

April 15, 2017	Install perimeter erosion control items. Begin site demolition.
May 15, 2017	Begin foundation excavation/building construction.
April 1, 2018	Building and site work substantially complete.
May 1, 2018	Install/complete final restoration and landscaping.
July 1, 2018	Vegetation established.



**Soil Loss & Sediment Discharge Calculation Tool**  
for use on Construction Sites in the State of Wisconsin

WDNR Official Version 1.0 (05-15-2015)



**YEAR 1**  
Developer: Sixteen O Three, LLC  
Project: 1603 Monroe  
Date: 2/15/2017  
County: DA

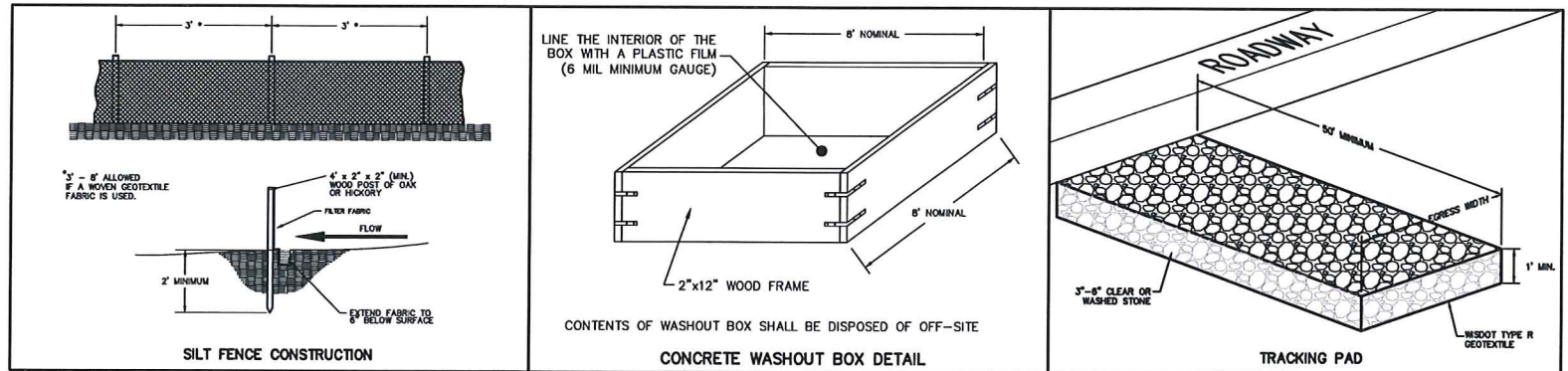
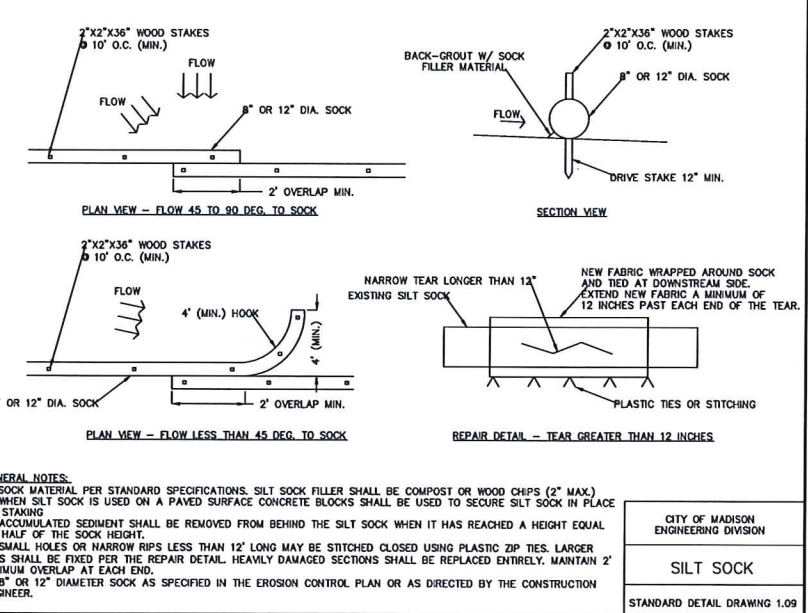
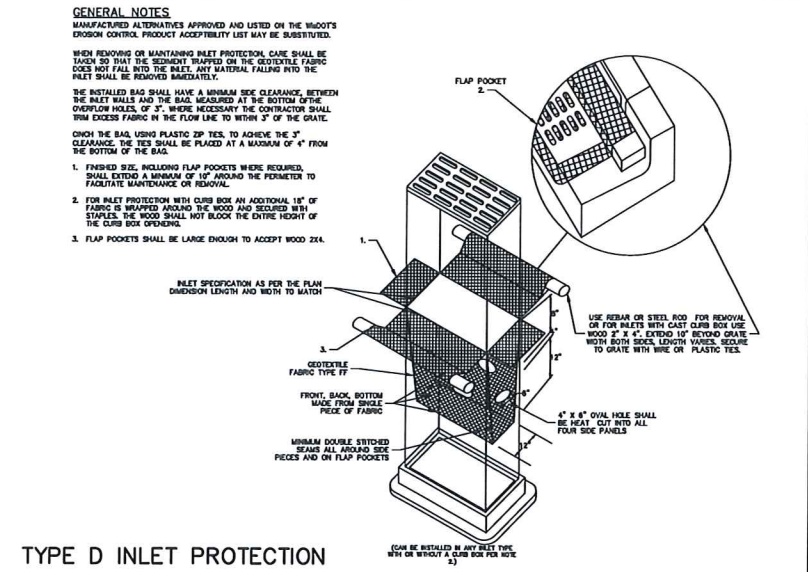
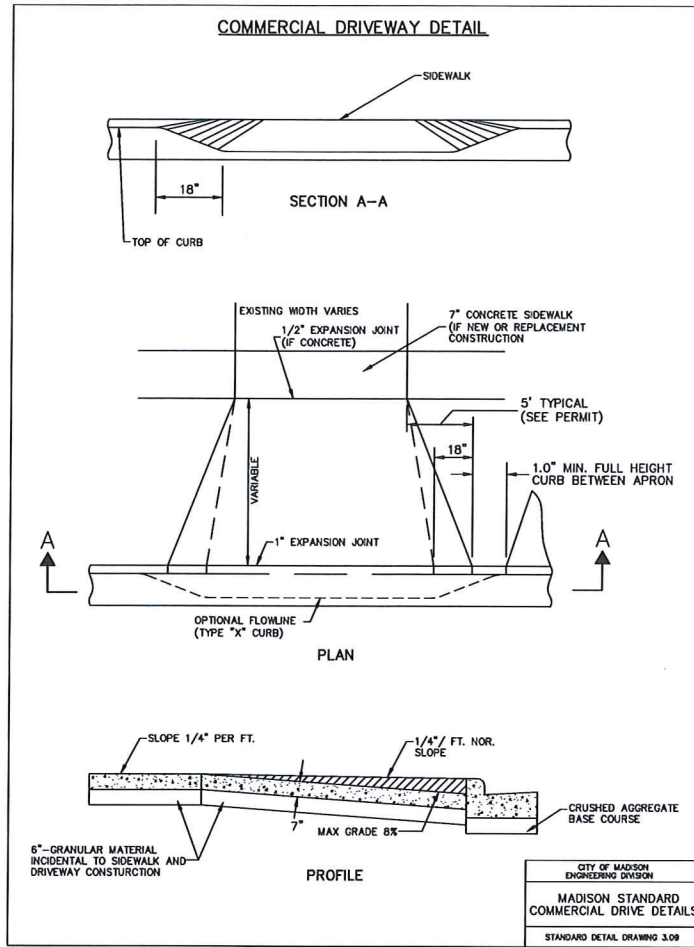
Activity	Begin Date	End Date	Perio d % R	Annual R Factor	Sub Soil Texture	Soil Erodibility K Factor	Slope (%)	Slope Length (feet)	LS Fact or	Land Cover C Factor	Soil loss A (tons/acre)	Sediment Control Practice	% Reduction Dischar
Site Grading	4/15/2017	5/15/2017	102.6%	150	SANDY CLAY LOESS	0.37	4.0%	30	0.16	100	91	SILT FENCE	4.4
Site with TRAP OF E	5/15/2017	7/15/2017	30.0%	150	SANDY CLAY LOESS	0.37	4.0%	30	0.16	0.0	0.3	SILT FENCE	0.0
E-1	7/15/2017						4.0%	30	0.16				0.0
							4.0%	30	0.16				0.0
							4.0%	0					0.0
							0.0%	0					0.0
<b>TOTAL</b>											<b>9.4</b>		<b>4.4</b>
											<b>DATES EXCEED 1 YEAR</b>		<b>% Reduction Required NONE</b>

**Notes:**  
See Help Page for further descriptions of variables and items in drop-down boxes.  
The last listed disturbing activity on each sheet must be "End". This is after 12 months from the start of construction or final stabilization.  
For periods of construction that exceed 12 months, please demonstrate that 5 tons/acre/year is not exceeded in any given 12 month period.

**Notes:** THIS TOOL ONLY ADDRESSES SOIL EROSION AND TO PREVENT FLOW. MEASURES TO CONTROL CHANGES. INFORMATION ALSO BE REQUIRED TO MEET SEDIMENT DISCHARGE REQUIREMENTS.

Recommended Permitting Schedule:  
4/15/15 and 6/7-6/23/15, introduced grout and log piles  
7/15-7/19

Designed By: PDF  
Date: 2/6/2017



**Cas4 architecture, llc**

303 S. Paterson Street, Ste. 1  
Madison, WI 53703  
ph 608-709-1250

Structural Engineering:

Civil Engineering:

**Burse**  
Surveying and Engineering, Inc.

Landscape Architecture:

**Sixteen O Three Monroe**

1603-1611 Monroe Street  
Madison, WI 53703

Project #: 15002.00

**Permit & Construction**

Issued for:

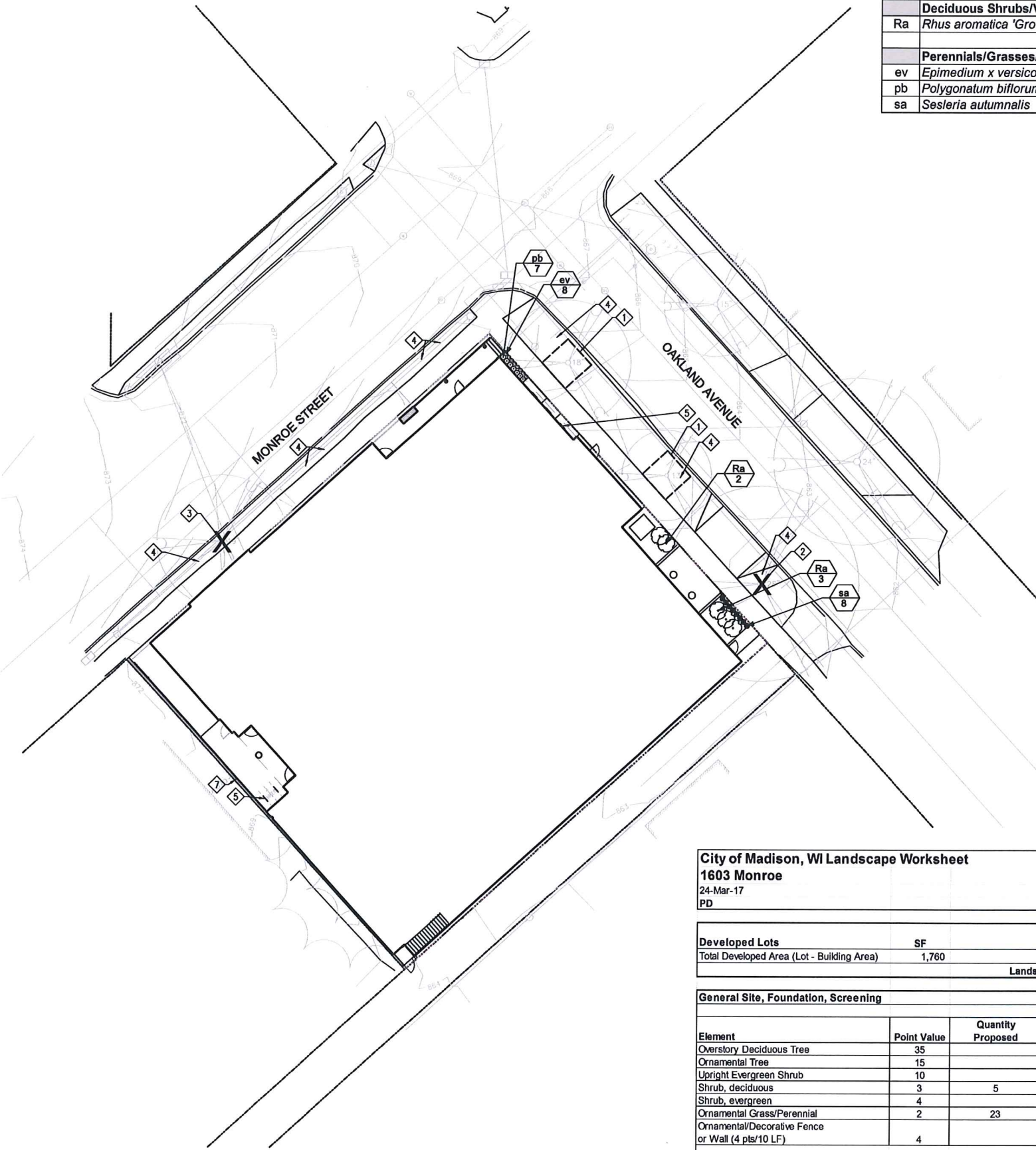
No.	Description	Date
1	Preliminary Contractor Set	02-28-2016
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6	Issued for Bidding	03-15-2017
7	Footings, Foundation, Precast & Framing Bidding	03-16-2017
8	Permit & Construction	04-14-2017

Drawn by: BSEI  
Checked by: Cas4 Architecture

**Details & Notes**

**C-500**

M: BSEI@79.Engineering@BSEI1979eng.org  
Project Name: 1603 Monroe  
Project #: 15002.00



Plant List - At-Grade Plants						
Key	Botanical Name	Common Name	Quantity	Size	Spec	Comments
<b>Deciduous Shrubs/Vines</b>						
Ra	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac	5	5 gal.	Cont.	
<b>Perennials/Grasses/Groundcovers</b>						
ev	<i>Epimedium x versicolor</i> 'Sulphureum'	Yellow Flowered Epimedium	8	1 Gal.	Cont.	Space 15" o.c.
pb	<i>Polygonatum biflorum</i>	Great Solomon's Seal	7	1 Gal.	Cont.	Space 18" o.c.
sa	<i>Sesleria autumnalis</i>	Autumn Moor Grass	8	1 Gal.	Cont.	Space 18" o.c.

**LEGEND**

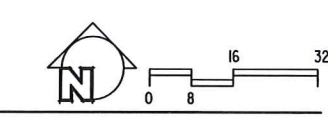
- ① TREE PROTECTION, 1/L102
- ② REMOVE EX. HONEYLOCUST, GRIND STUMP, FILL WITH TOPSOIL AND FINE GRADE TO FINISH LEVEL WITH ADJACENT GRADES
- ③ REMOVE EX. ASH, GRIND STUMP, FILL WITH TOPSOIL AND FINE GRADE TO FINISH LEVEL WITH ADJACENT GRADES
- ④ RESTORE ANY AND ALL LAWN TERRACES DISTURBED BY CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (CURRENT EDITION), SECTION 207 "SEEDING". USE SHADE TERRACE MIX\* SEED BLEND UNLESS OTHERWISE DIRECTED BY A CITY OF MADISON REPRESENTATIVE.
- ⑤ BICYCLE PARKING, 2/L102
- ⑥ INTENTIONALLY LEFT BLANK
- ⑦ MAINTENANCE EDGE, 4/L102
- ⑧ STREET TREE TBD BY CITY FORESTRY.

**GENERAL NOTES:**

- PROTECT ALL EXISTING PAVEMENTS, CURBS, WALLS, UTILITIES AND ANY OTHER IMPROVEMENTS DURING TREE REMOVALS AND LANDSCAPE INSTALLATION.
- PROTECT ALL EXISTING PLANTINGS AS NOTED.
- ALL PLANT BEDS SHALL UTILIZE SHREDDED HARDWOOD BARK MULCH UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5' FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5' OF THE OUTSIDE EDGE OF A TREE TRUNK. WHEN EXCAVATING NEAR THE TWO REMAINING HONEYLOCUST TREES, THE CONTRACTOR SHALL CONTACT BRIAN MELLER (266-4890) TO ASSESS THE IMPACT TO THE TREE CROWNS AND ROOT SYSTEMS. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY. TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.
- CONTRACTOR SHALL CONTACT CITY FORESTRY AT LEAST ONE WEEK PRIOR TO CONSTRUCTION TO OBTAIN A TREE REMOVAL PERMIT.

City of Madison, WI Landscape Worksheet				
1603 Monroe				
24-Mar-17				
PD				
<b>Developed Lots</b>		<b>SF</b>	<b>Landscape Points</b>	
Total Developed Area (Lot - Building Area)		1,760	Subtotal 29	
			<b>Landscape Points Required 29</b>	
<b>General Site, Foundation, Screening</b>				
<b>Element</b>	<b>Point Value</b>	<b>Quantity Proposed</b>	<b>Quantity Existing</b>	<b>Points Achieved</b>
Overstory Deciduous Tree	35			0
Ornamental Tree	15			0
Upright Evergreen Shrub	10			0
Shrub, deciduous	3	5		15
Shrub, evergreen	4			0
Ornamental Grass/Perennial	2	23		46
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4			0
			<b>Plantings Total</b>	<b>61</b>

1 SITE PLANTING PLAN  
1/16" = 1'-0"



**CaS<sub>4</sub>**  
architecture, llc

303 S. Paterson Street, Ste. 1  
Madison, WI 53703  
ph 608-709-1250

**Structural Engineering:**

**Civil Engineering:**

**Landscape Architecture:**  
KEN SAIKI DESIGN  
LANDSCAPE ARCHITECTS  
303 S. PATERSON  
SUITE ONE  
MADISON, WI 53703  
Phone: 608-851-3000

**Sixteen O Three Monroe**  
1603-1611 Monroe Street  
Madison, WI 53703

Project #: 15002.00

**Permit & Construction**

Issued for:

No.	Description	Date
1	Preliminary Contractor Set	2-26-2016
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7	Footings, Foundation, Precast & Framing Bidding	3-16-2017
8	Permit & Construction	4-14-2017

Drawn by: CaS4 Architecture  
Checked by: CaS4 Architecture

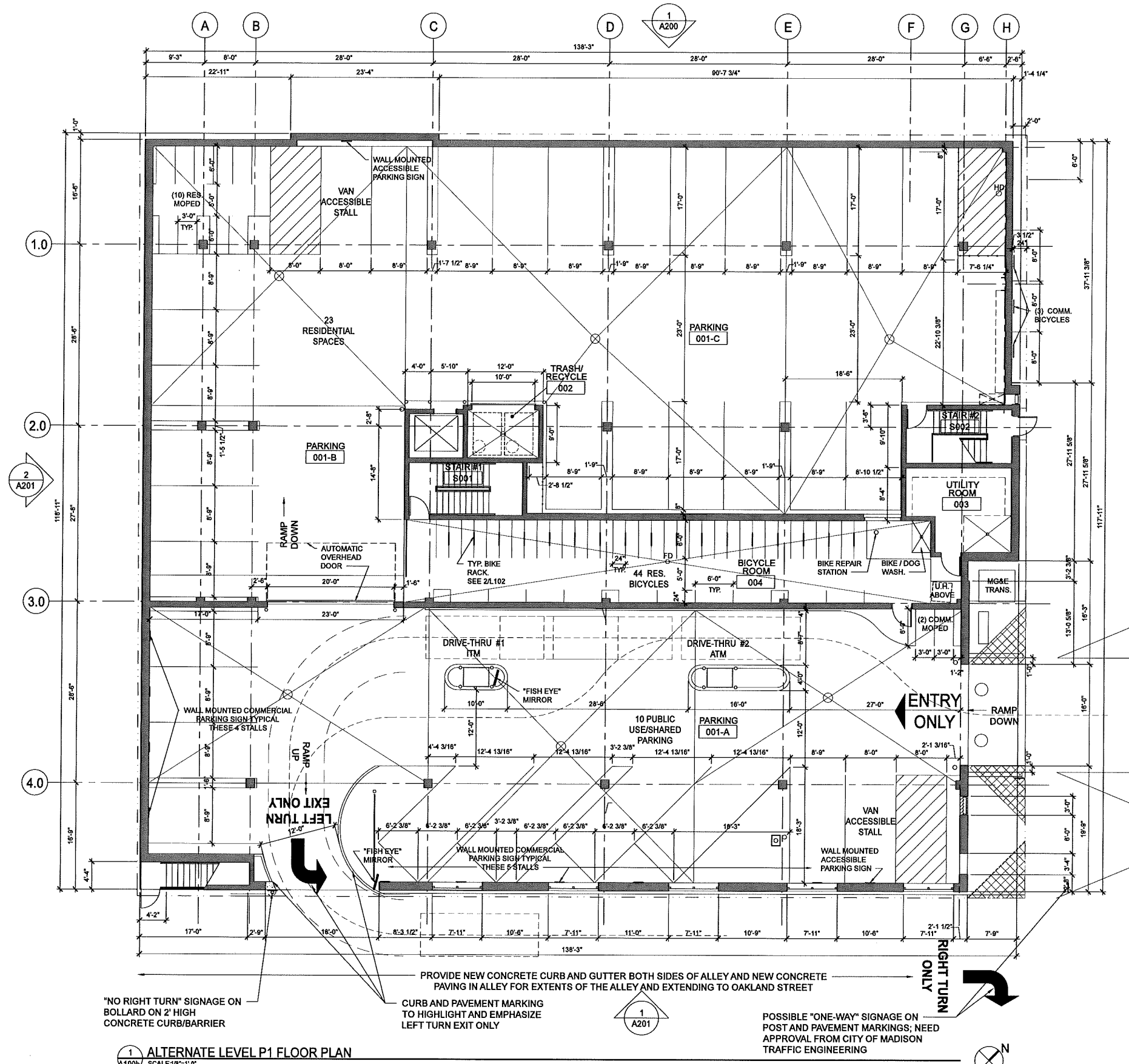
**Site Planting Plan**

**L100**

Project Name: 1605 Monroe Project #: 15002.00







"NO RIGHT TURN" SIGNAGE ON BOLLARD ON 2' HIGH CONCRETE CURB/BARRIER

CURB AND PAVEMENT MARKING TO HIGHLIGHT AND EMPHASIZE LEFT TURN EXIT ONLY

POSSIBLE "ONE-WAY" SIGNAGE ON POST AND PAVEMENT MARKINGS; NEED APPROVAL FROM CITY OF MADISON TRAFFIC ENGINEERING

**1 ALTERNATE LEVEL P1 FLOOR PLAN**  
SCALE: 1/8"=1'-0"

303 S. Paterson Street, Ste. 1  
Madison, WI 53703  
ph 608-709-1250

Structural Engineering:  
  
Civil Engineering:  
  
Landscape Architecture:

**Sixteen O Three Monroe**  
1603-1611 Monroe Street  
Madison, WI 53703

Project #: 15002.00

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8	Permit & Construction	4-14-2017

Drawn by: CaS4 Architecture  
Checked by: CaS4 Architecture

**Level P1 Floor Plan**  
**Auto Bank Alternative**

# A100b

Project Name: 1605 Monroe Project #: 15002.00

Structural Engineering:

Civil Engineering:

Landscape Architecture:

## Sixteen O Three Monroe

1603-1611 Monroe Street  
Madison, WI 53703

Project #: 15002.00

### Permit & Construction

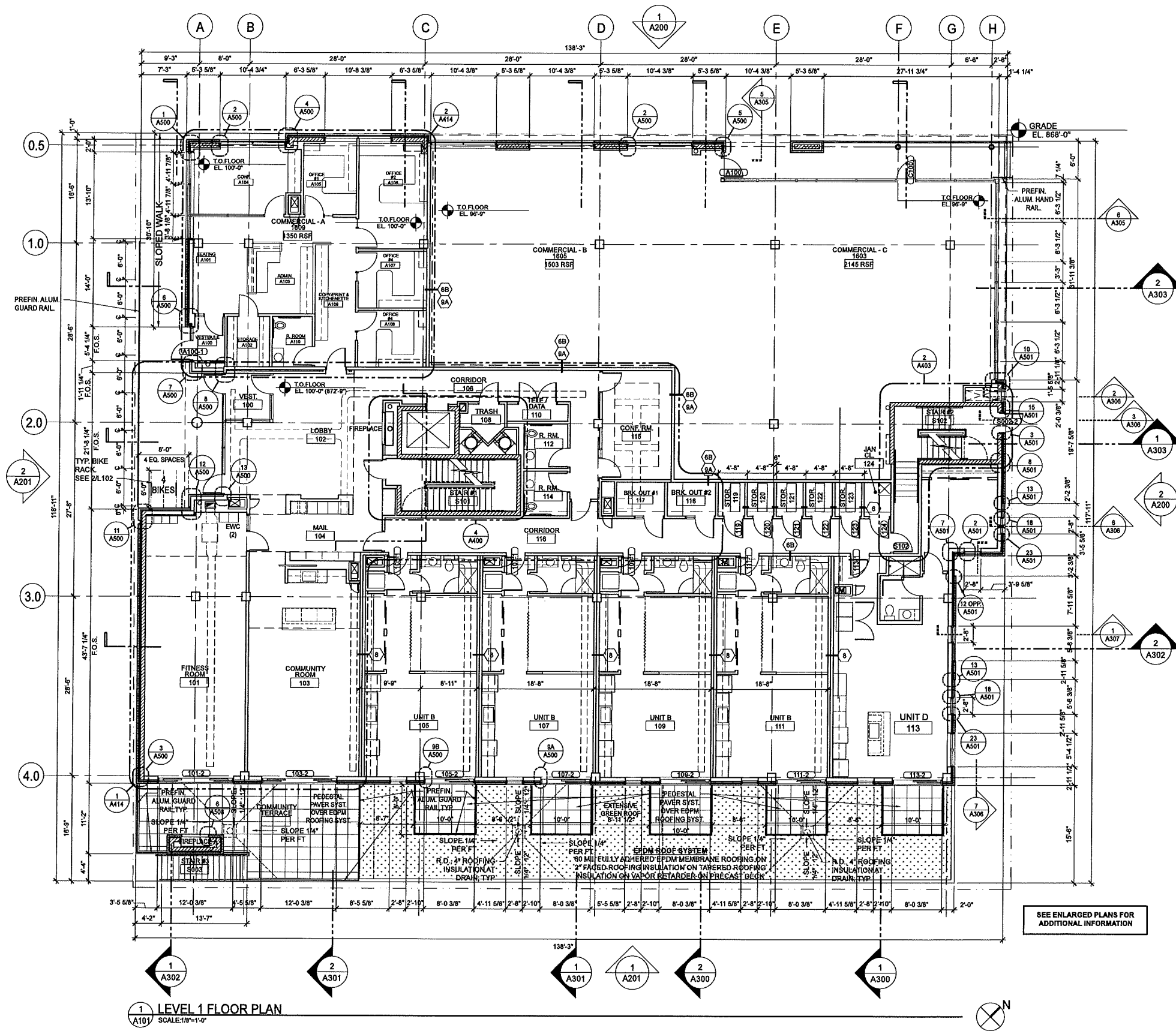
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Drawn by: CaS4 Architecture  
Checked by: CaS4 Architecture

### Level 1 Floor Plan

# A101



1 LEVEL 1 FLOOR PLAN  
SCALE: 1/8"=1'-0"

SEE ENLARGED PLANS FOR ADDITIONAL INFORMATION

Project Name: 1605 Monroe  
 Project #: 15002.00  
 File Path: \\server\projects\1605 Monroe\1603 Permit-Construction\Final\15002\_APT\_L1.rvt

Structural Engineering:

Civil Engineering:

Landscape Architecture:

## Sixteen O Three Monroe

1603-1611 Monroe Street  
Madison, WI 53703

Project #: 15002.00

### Permit & Construction

Issued for:

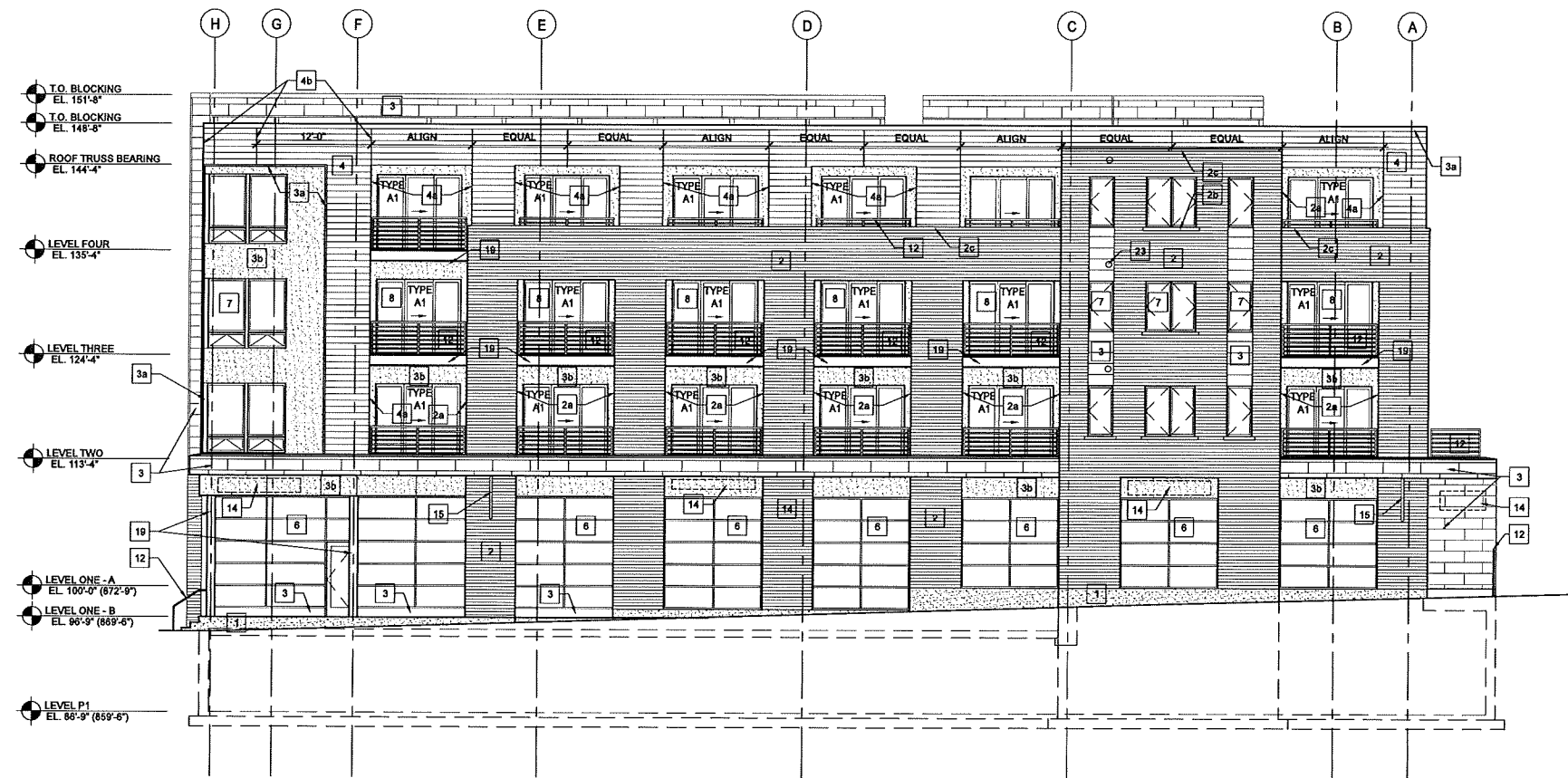
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Drawn by: CaS4 Architecture  
Checked by: CaS4 Architecture

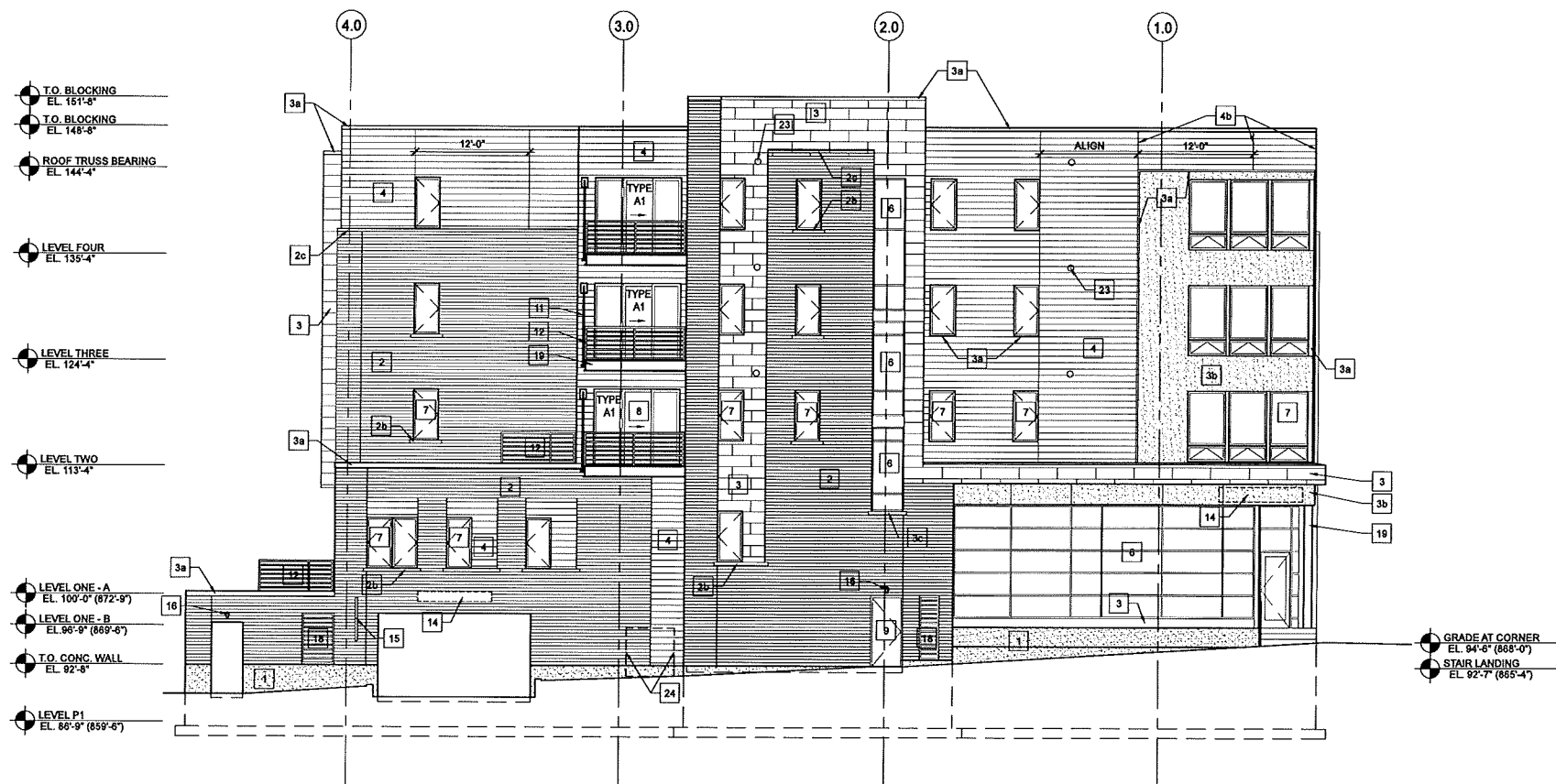
**BUILDING ELEVATIONS**  
(Alternate for Drive-Thru)

# A200b

A:\projects\15002\15002\_1603-1611 Monroe Construction Plans\15002\_ELEVATIONS.dwg



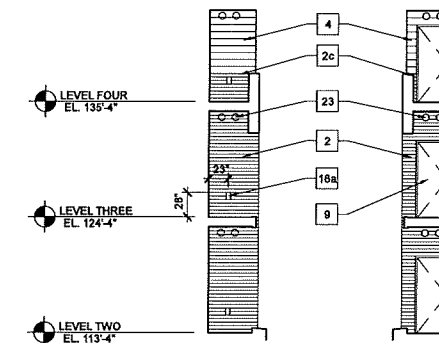
1 NORTH (MONROE STREET) ELEVATION  
A200 SCALE: 1/8"=1'-0"



2 EAST (OAKLAND STREET) ELEVATION  
A200 SCALE: 1/8"=1'-0"

### ELEVATION KEYNOTE LEGEND

- 1 SANDBLASTED CAST IN PLACE CONCRETE
- 2 BRICK VENEER
- 2a BRICK VENEER RETURNS AT BALCONY
- 2b CAST STONE SILL w/WASH & 4" LUG.
- 2c CAST STONE CAP.
- 3 HOOK & STRAP FLAT SEAM METAL PANEL
- 3a PRE-FINISHED METAL COPING, SILL & CAP.
- 3b EXTERIOR PLASTER SYSTEM.
- 4 COMPOSITE LAP SIDING - 8" EXPOSURE
- 4a COMPOSITE LAP SIDING RETURNS AT BALCONY
- 4b PREFINISHED METAL / ALUMINUM CORNER & BUTT TRIM - COLOR TO MATCH SIDING. SEE DETAILS 18/A500 & 17/A500.
- 5 TONGUE AND GROOVE WOOD SIDING
- 6 ALUMINUM STOREFRONT SYSTEM WITH CLEAR INSULATED GLAZING
- 7 VINYL WINDOWS WITH CLEAR INSULATED GLAZING
- 8 VINYL SLIDING PATIO DOORS WITH CLEAR INSULATED GLAZING
- 9 INSULATED HOLLOW METAL DOOR AND FRAME, PAINTED.
- 10 ALUMINUM WINDOW FRAME WITH INSULATED TRANSLUCENT GLAZING
- 11 GALVANIZED STEEL BALCONY SUPPORTS
- 12 PREFINISHED ALUMINUM RAILING SYSTEM
- 13 ALUMINUM FRAMED GARAGE DOOR WITH INSULATED TRANSLUCENT GLAZING
- 14 SIGNAGE BAND LOCATION w/POWER
- 15 BLADE SIGNAGE
- 16 EXTERIOR LIGHTING - TYPE CC
- 16a EXTERIOR LIGHTING - TYPE DD
- 17 ALUMINUM LOUVER TO MATCH ALUMINUM STOREFRONT SYSTEM
- 18 ALUMINUM LOUVER FINISHED TO MATCH ADJACENT WALL FINISH
- 19 GALVANIZED STEEL STRUCTURE
- 20 VINYL COATED METAL MESH SCREEN WALL/GUARD & SECURE GATE
- 21 PAINTED MIRA-TEC TRIM BOARD
- 22 HEAT-N-GLOW LANAI GAS FIREPLACE w/ 1/2" STN. STEEL PLATE FRAME & HEARTH.
- 23 PREFINISHED HVAC VENT.
- 24 MG&E TRANSFORMER LOCATION



3 TYPICAL PORCH SIDE WALL ELEVATION  
A200 SCALE: 1/8"=1'-0"

GRADE AT CORNER  
EL. 94'-6" (868'-0")  
STAIR LANDING  
EL. 92'-7" (865'-4")

Project Name: 1603 Monroe  
Project #: 15002.00

Structural Engineering:

Civil Engineering:

Landscape Architecture:

## Sixteen O Three Monroe

1603-1611 Monroe Street  
Madison, WI 53703

Project #: 15002.00

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Drawn by: CaS4 Architecture  
Checked by: CaS4 Architecture

### BUILDING ELEVATIONS (Alternate for Drive-Thru)

# A201b

Project Name: 1603 Monroe  
Project #: 15002.00



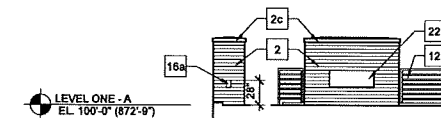
1 SOUTH (ALLEY) ELEVATION  
A201 SCALE:1/8"=1'-0"



2 WEST ELEVATION  
A201 SCALE:1/8"=1'-0"

#### ELEVATION KEYNOTE LEGEND

- 1 SANDBLASTED CAST IN PLACE CONCRETE
- 2 BRICK VENEER
- 2a BRICK VENEER RETURNS AT BALCONY
- 2b CAST STONE SILL w/WASH & 4" LUG.
- 2c CAST STONE CAP.
- 3 HOOK & STRAP FLAT SEAM METAL PANEL
- 3a PRE-FINISHED METAL COPING, SILL & CAP.
- 3b EXTERIOR PLASTER SYSTEM.
- 4 COMPOSITE LAP SIDING - 8" EXPOSURE
- 4a COMPOSITE LAP SIDING RETURNS AT BALCONY
- 4b PREFINISHED METAL / ALUMINUM CORNER & BUTT TRIM - COLOR TO MATCH SIDING. SEE DETAILS 16/A500 & 17/A500.
- 5 TONGUE AND GROOVE WOOD SIDING
- 6 ALUMINUM STOREFRONT SYSTEM WITH CLEAR INSULATED GLAZING
- 7 VINYL WINDOWS WITH CLEAR INSULATED GLAZING
- 8 VINYL SLIDING PATIO DOORS WITH CLEAR INSULATED GLAZING
- 9 INSULATED HOLLOW METAL DOOR AND FRAME, PAINTED.
- 10 ALUMINUM WINDOW FRAME WITH INSULATED TRANSLUCENT GLAZING
- 11 GALVANIZED STEEL BALCONY SUPPORTS
- 12 PREFINISHED ALUMINUM RAILING SYSTEM
- 13 ALUMINUM FRAMED GARAGE DOOR WITH INSULATED TRANSLUCENT GLAZING
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- 21 PAINTED MIRA-TEC TRIM BOARD
- 22 HEAT-N-GLOW LANAI GAS FIREPLACE w/ 12" STN. STEEL PLATE FRAME & HEARTH.
- 23 PREFINISHED HVAC VENT.
- 24 MG&E TRANSFORMER LOCATION



3 EXT. FIREPLACE ELEVATION  
A201 SCALE:1/8"=1'-0"