



Location  
800 Langdon Street

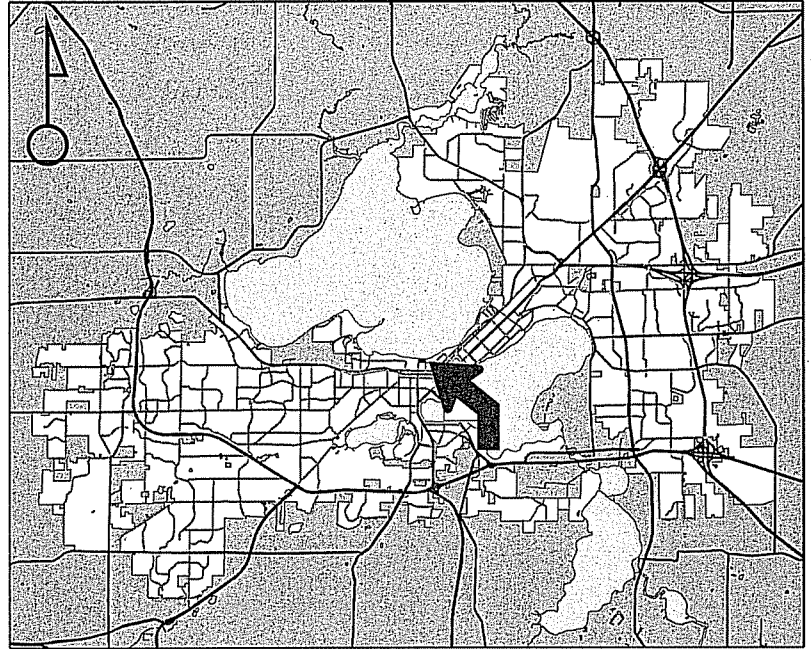
Project Name  
Memorial Union Phase II/Alumni Park

Applicant  
Board of Regents of the UW System/  
Gary A. Brown – UW Madison

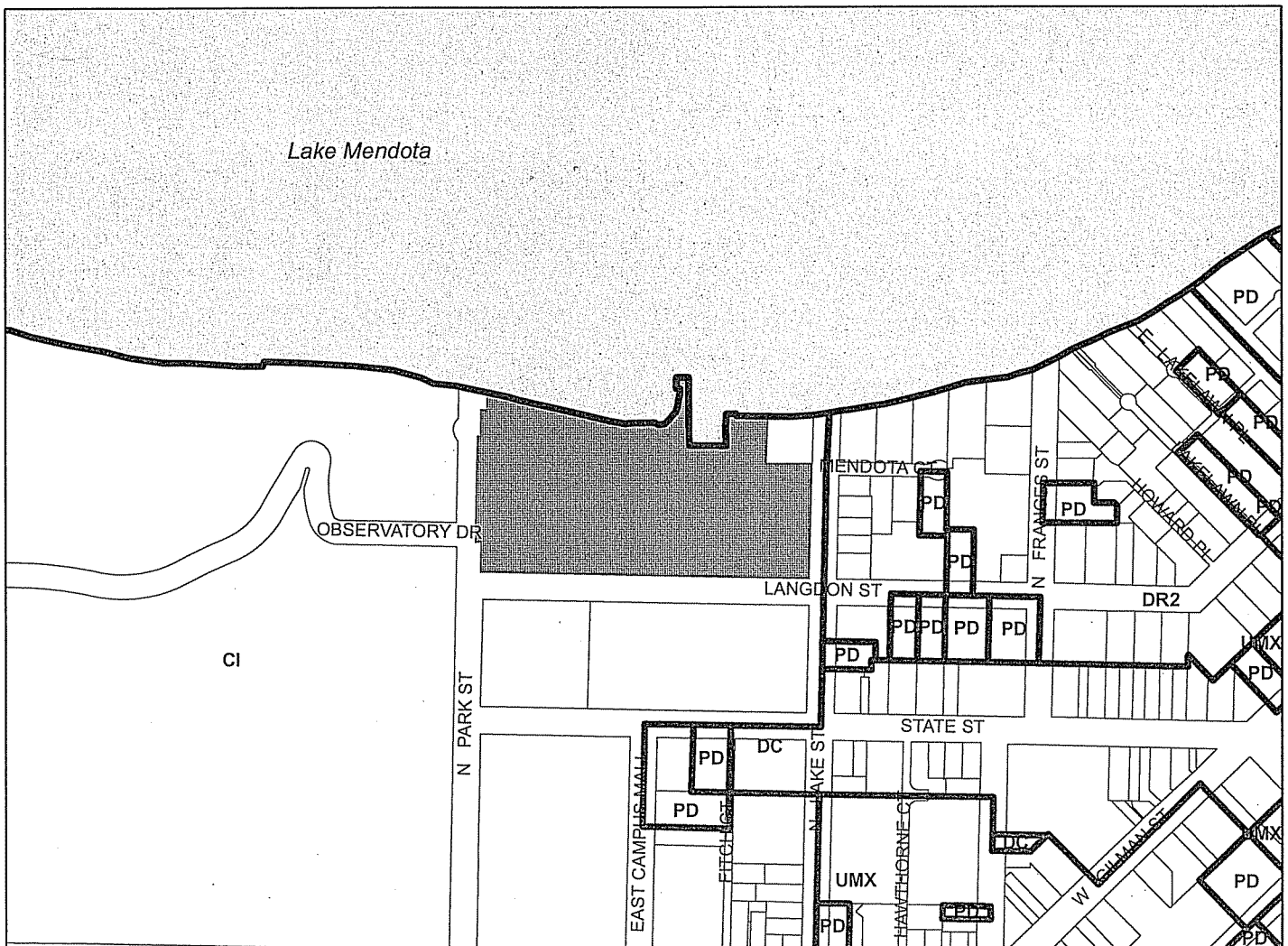
Existing Use  
UW Memorial Union

Proposed Use  
Conduct second phase of renovations to  
Memorial Union and construct Alumni Park

Public Hearing Date  
Plan Commission  
13 January 2014

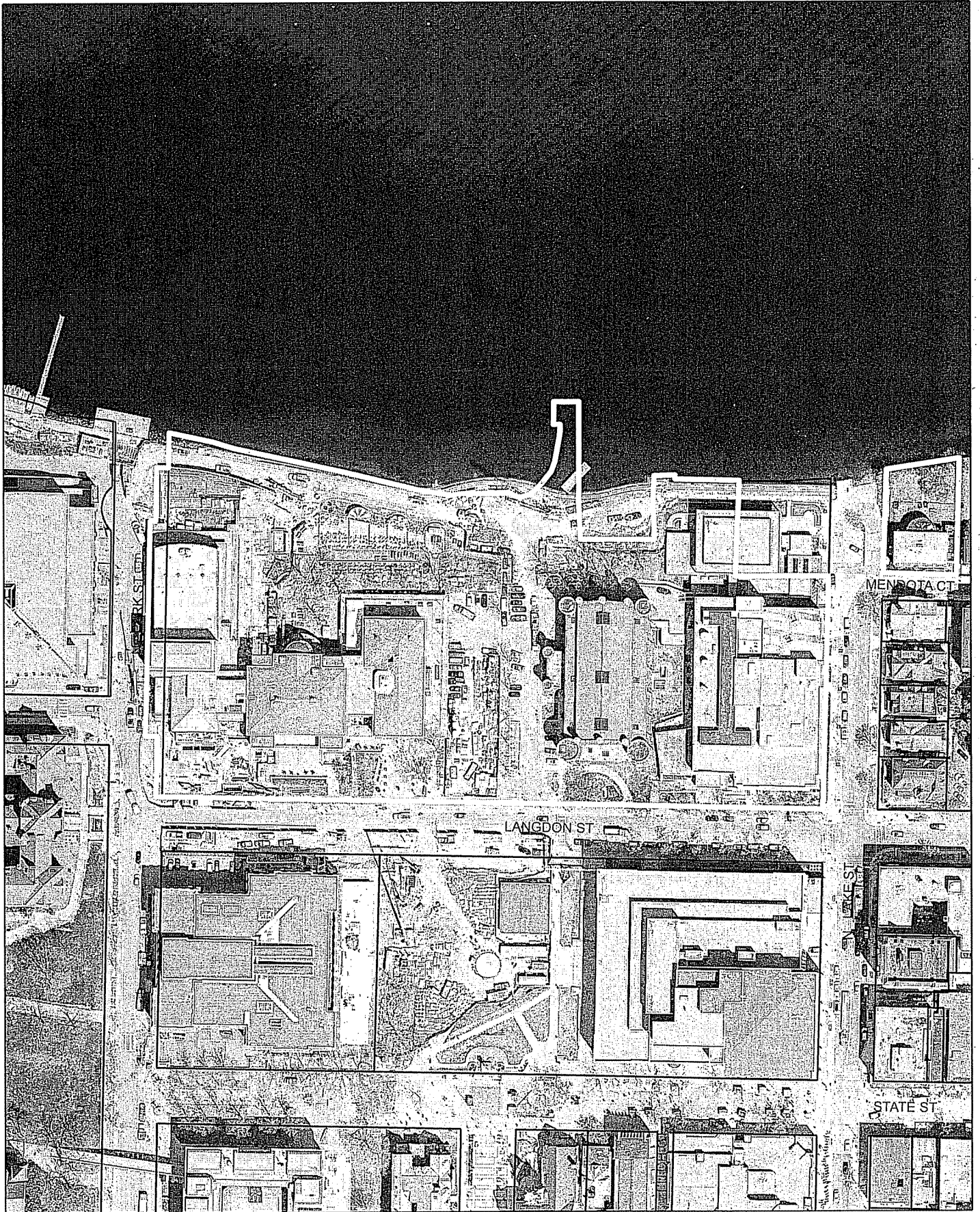


For Questions Contact: Tim Parks at: 261-9632 or [tparks@cityofmadison.com](mailto:tparks@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 06 January 2013





# LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:  
[www.cityofmadison.com/developmentcenter/landdevelopment](http://www.cityofmadison.com/developmentcenter/landdevelopment)

**FOR OFFICE USE ONLY:**

Amt. Paid \_\_\_\_\_ Receipt No. \_\_\_\_\_

Date Received 11/20/13

Received By DSF

Parcel No. 0709-143-0301-4

Aldermanic District 8 - Resnick

Zoning District CI

Special Requirements HIS-L

Review Required By:

Urban Design Commission     Plan Commission

Common Council                       Other: \_\_\_\_\_

Form Effective: February 21, 2013

1. **Project Address:** 716, 790 & 800 Langdon Street

**Project Title (if any):** Memorial Union, Phase II/Alumni Park

2. **This is an application for (Check all that apply to your Land Use Application):**

- Zoning Map Amendment from \_\_\_\_\_ to \_\_\_\_\_
- Major Amendment to Approved PD-GDP Zoning       Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: \_\_\_\_\_

3. **Applicant, Agent & Property Owner Information:**

**Applicant Name:** Gary A. Brown      **Company:** University of Wisconsin - Madison

**Street Address:** 610 Walnut Street, Suite 919      **City/State:** Madison, WI      **Zip:** 53726

**Telephone:** (608) 263-3023      **Fax:** (608) 265-3139      **Email:** gbrown@fpm.wisc.edu

**Project Contact Person:** Gary A. Brown      **Company:** University of Wisconsin - Madison

**Street Address:** 610 Walnut Street      **City/State:** Madison, WI      **Zip:** 53726

**Telephone:** (608) 263-3023      **Fax:** (608) 265-3139      **Email:** gbrown@fpm.wisc.edu

**Property Owner (if not applicant):** Board of Regents of the UW System

**Street Address:** 1220 Linden Drive      **City/State:** Madison, WI      **Zip:** 53706

4. **Project Information:**

Provide a brief description of the project and all proposed uses of the site: Renovations to Memorial Union and creation of Alumni Park

**Development Schedule:** Commencement June 2014      Completion September 2017

## 5. Required Submittal Information

All Land Use applications are required to include the following:

**Project Plans** including:\*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

\* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

**Letter of Intent: Provide one (1) Copy per Plan Set** describing this application in detail including, but not limited to:

- |   |   |  |
|---|---|--|
| • Project Team                                | • Building Square Footage                       | • Value of Land  |
| • Existing Conditions                         | • Number of Dwelling Units                      | • Estimated Project Cost                                     |
| • Project Schedule                            | • Auto and Bike Parking Stalls                  | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft <sup>2</sup> of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested                                   |
| • Hours of Operation                          |   |  |

**Filing Fee:** Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

**Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

**Additional Information** may be required, depending on application. Refer to the Supplemental Submittal Requirements.

## 6. Applicant Declarations

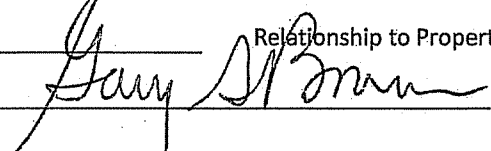
**Pre-application Notification:** The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:  
Alder Resnick, email 9/27/13

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

**Pre-application Meeting with Staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Tim Parks Date: 9/12/13 Zoning Staff: Pat Anderson Date: 9/12/13

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Gary A. Brown Relationship to Property: Owner's Representative  
Authorizing Signature of Property Owner  Date 9 11/13/13 22



November 20, 2013

Mr. Matthew Tucker  
City of Madison Zoning Administrator  
215 Martin Luther King Jr. Blvd  
Rm. LL-100, Municipal Bldg  
Madison, WI 53710

**RE: CONDITIONAL USE APPLICATION – Letter of Intent  
Memorial Union, Phase II/Alumni Park  
716, 790 & 800 Langdon Street  
University of Wisconsin-Madison**

Dear Mr. Tucker:

This is an application for a Conditional Use request for redevelopment of 119,227 gross square feet in the existing UW Memorial Union located at 800 Langdon Street, upgrades to the Memorial Union Terrace and creation of the proposed Alumni Park on the existing surface parking Lot 1 (790 Langdon Street) east of Memorial Union. The property is currently zoned R-6 and HIS-L (historic landmark – the Red Gym/Armory is a City of Madison Landmark. This application is being submitted for Plan Commission action at their December 2, 2013 meeting. Construction of the improvements is scheduled to begin June 2014 and be completed in September 2017. All land is owned by the Board of Regents of the University of Wisconsin System.

**Application Materials**

Zoning Application  
Plans (7 full size copies, 25 reduced size 11” x 17” copies, 1 letter size copy)  
Letter of Intent (33 copies)  
Legal Description

**Project Participants**

**Owner:** State of Wisconsin  
Agency: University of Wisconsin System  
Board of Regents  
Room 1860 Van Hise Hall  
1220 Linden Drive  
Madison, Wisconsin 53706

**Owner’s Contact:** University of Wisconsin – Madison  
Facilities Planning and Management  
919 WARF Building  
610 Walnut Street  
Madison, Wisconsin 53726  
Phone: 608-263-3023  
Fax: 608-265-3139  
Attn: Gary Brown  
E-Mail: [gbrown@fpm.wisc.edu](mailto:gbrown@fpm.wisc.edu)

**Facilities Planning & Management**

9<sup>th</sup> Floor WARF Building 610 Walnut Street Madison, Wisconsin 53726-2397  
(608) 263-3000 FAX (608) 265-3139 TTY (608) 265-5147

**Dept of Admin:**           **Division of Facilities Development**  
 101 E. Wilson Street  
 P.O. Box 7866  
 Madison, Wisconsin 53707  
 Phone: 608-266-7041  
 Attn: Erik Sande  
 E-Mail: [erik.sande@wisconsin.gov](mailto:erik.sande@wisconsin.gov)

**Architects:**               **Uihlein-Wilson Architects, Inc.**  
 322 E. Michigan Street, Suite 400  
 Milwaukee, Wisconsin 53202  
 Phone: 414-271-8899  
 Fax: 414-271-8942  
 Attn: Del Wilson, AIA, Principal in Charge  
 E-Mail: [Delw@Uihlein-wilson.com](mailto:Delw@Uihlein-wilson.com)

**Moody Nolan Architects**  
 300 Spruce Street, Suite 300  
 Columbus, Ohio 43215  
 Phone: 614-461-4664  
 Fax:  
 Attn: Curtis J. Moody, FAIA  
 E-Mail: [cmoody@moodynolan.com](mailto:cmoody@moodynolan.com)

**Landscape Architect:**   **SmithgroupJJR, LLC**  
 44 E. Mifflin Street  
 Madison, Wisconsin 53703  
 Phone: 608-327-4432  
 Fax: 608-251-6147  
 Attn: Bill Patek  
 E-Mail: [bill.patek@smithgroupjjr-us.com](mailto:bill.patek@smithgroupjjr-us.com)

**MEP Engineers:**           **Arnold & O'Sheridan, Inc.**  
 4125 N. 124th Street  
 Brookfield, Wisconsin 53045  
 Attn: Irina Ragozin, PE, LC  
 Phone: 262-783-6130  
 E-Mail: [iragozin@arnoldandosheridan.com](mailto:iragozin@arnoldandosheridan.com)

**Surveyor:**                 **JSD Professional Services, Inc.**  
 161 Horizon Drive, Suite 101  
 Verona, Wisconsin 53593  
 Phone: 414-771-3390

**Project Background:**

Memorial Union consists of 224,500 GSF on six occupied floors, including the basement. The original building was constructed between 1926 and 1928, and the Wisconsin Union Theater wing was added to the west in 1938. In 1957, the first floor cafeteria in the east wing was expanded outward and today, after a more recent remodeling, is known as Lakefront on Langdon. Over the years other minor additions and revisions have been made that have in-filled recesses in the façade and built upon lower roofs.

The Memorial Union is listed on the National Register of Historic Buildings as a contributing building in the Bascom Hill Historic District thus requiring design review by the Wisconsin Historical Society. The neighboring Red Gym/Armory and Science Hall are both National Landmark buildings and listed on the National Register as individual buildings within the overall district. Both of these buildings are also City of Madison Landmarks.

In 2012 the University of Wisconsin-Madison began construction of Phase I of the planned redevelopment, renovation and expansion of the existing Memorial Union building. This application is for Phase II which continues the renovation of Memorial Union and creates Alumni Park.

**Project Description:**

Phase II will complete the Memorial Union interior remodeling and will include new underground mechanical spaces at the Union's southeast corner on Langdon Street. This will result in a series of site improvements for site accessibility; all being coordinated with the transformation of Lot 1 into the proposed Alumni Park. As part of this phase, an underground loading dock beneath Alumni Park to serve the delivery needs of the Memorial Union, Pyle Center, Red Gym and below Alumni Center will be constructed. The site work will also consist of minor improvements to the central and east portions of the Union Terrace to improve the outdoor performance stage setting and increase site accessibility for people with disabilities. Many of the historic oak trees and limestone seat walls will be saved as part of the overall renovation plans.

Alumni Park will transition Lot 1 from a vehicular service and parking facility to a pedestrian plaza and open space at the north terminus of the East Campus Mall. A combination of site walls and ramps will transition from Langdon Street up to Alumni Park which becomes a green roof over a loading facility serving Memorial Union, Red Gym and Pyle Center. The park will feature commemorative features and garden areas recognizing accomplishments of the University. It is important to note the intent of the Park is not to commemorate private donors but celebrate the overall accomplishments of the University. To the north, the park will tie to the existing shoreline sidewalk with stairs and ramps negotiating grade change as the park moves off the loading facility and works to blend into the grade north of the Red Gym, the Memorial Union Terrace, and the shoreline sidewalk. The park creates numerous areas for large gatherings in addition to many smaller secluded areas for reflection, small gatherings or a place for solitude. The park will feature levels of material on par with the East Campus Mall and many features will be enhanced beyond. Landscaping will accentuate the site elements working to frame many areas and viewsheds in addition to softening the built environment.

Exterior building materials of the north and south additions to the Union Theater will be consistent with the existing building including stone, glass and precast concrete. The design of the additions will be developed such that they complement the existing architecture but are clearly an addition of their time and place.

The planned loading and service functions for the building will occur via the underground loading dock to be created with this phase. Trash and recycling containers will be located in the underground loading dock after completion of Phase II. Large vehicle access to the underground loading dock will be via a new ramp accessing the underground dock off of Langdon Street. A turntable will be included that allows the large vehicles to be turned around to load out from the rear of the truck and then exit out the same ramp to Langdon Street. From a maintenance standpoint, trash removal is handled by University custodial staff on a daily basis. Equipment storage is handled all within the confines of the building. Snow removal on all walks and access drives for the existing and proposed building is administered by University Environmental Services and Wisconsin Union staff.

Building signage is existing on the south side along Langdon Street. New building mounted or ground mounted building signs will be included as part of the project utilizing the campus standards. Campus standard, sharp cut-off lighting fixtures will be used across the site. There will be some specialty lighting within Alumni park that will be integrated into the exhibits and displays but the intent is create ambiance and character.

From a fire protection standpoint, the entire building will be fully sprinkled.

The overall project follows closely the 2005 UW-Madison Campus Master Plan that suggests a small addition to the north of the Union Theater and redevelopment of the space between the Memorial Union and the Red Gym.

**Project Schedule:**

Start Construction: June 2014  
Substantial completion: September 2017

**Proposed Uses:**

GSF of Operations (Including Loading Dock): 68,460 SFT  
Public: 77,600 SFT

**Hours of Operation**

The renovated Memorial Union will continue to have standard operating hours of 7:30 AM to 11:00 PM Monday through Friday during the school year and on weekends and holiday, 9:00 AM to 11:00 PM.

**Building Areas:**

The existing and proposed expansion areas are as follows:

Existing renovation area = 119,227 SFT  
South/East Union underground addition = 10,000 SFT  
East Union Stair extension = 508 SFT  
East Loading dock and tunnel = 16,325 SFT  
Total at completion = 146,060 SFT

**Auto and Bike Parking Stalls:**

Parking is addressed, in accordance with the overall university Campus Master Plan, on a campus-wide basis not by individual building. As part of this phase Lot 1 will be removed to make way for the underground loading dock and Alumni Park. Directly adjacent to Memorial Union is Parking Lot 6, underneath the Helen C. White Library, which is available to visitors, including people with disabilities. Accessible parking for events in the Memorial Union will be served by these spaces in Lot 6. Metered City parking can also be found on most nearby streets as well as the City's public parking ramp on North Lake Street, a block away. Overall, within three or four blocks of the Memorial Union, visitors can find nearly 1,400 parking spaces, including underneath Grainger Hall, the Pyle Center, and the Southeast campus parking ramp (Lot 46) at the corner of N. Lake Street and W. Johnson Street.

Bike parking will be accommodated throughout the site in equal or greater numbers than exist today. Additional bike parking will be provided along the west side of North Park Street as well as along Langdon Street and near Alumni Park. See submitted drawings for defined bike parking locations and proposed quantities.

Intercity bus vendors which were accommodated on Langdon Street near the Memorial Union prior to Phase I were temporarily relocated to University Avenue near the Chazen Museum. It does not appear likely that the intercity buses will be able to be accommodated in the previous location on Langdon Street after Phase II construction. A joint Campus and City task force has been developing alternative locations and strategies for intercity bus stationing and pick-ups. This task force is expected to issue its report soon to the Mayor. Parking for taxis that provide service to users of the regional bus system will need to be negotiated with the City of Madison along Langdon Street.

**Lot Coverage and Usable Open Space Calculations**

The project site is 226,700 square feet. The total open space/area outside the building footprint and other impervious area is 162,064 square feet.

**Estimated Project Cost:**

Union Building: \$33,000,000  
Loading Facility: \$9,000,000  
Alumni Park: \$8,000,000

**Number of Construction & Full-Time Equivalent Jobs Created**

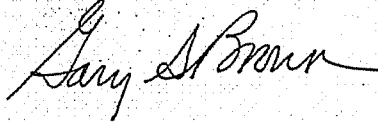
Based on a study entitled "The Impact of Construction on the Wisconsin Economy" by C3 Statistical Solutions, published in January 2011, every \$1 spent directly on construction projects produces an overall economic impact of approximately \$1.92. Using a related formula that 17 jobs are created for every \$1 million of construction costs, this \$50 million project should create approximately 850 jobs split between design and construction workers and the service industry and direct, indirect and induced jobs.



The project was presented to the City of Madison Development Assistance Team on September 12, 2013.

Please contact me at 608-263-3023 if you have any questions or need further information.

Thank you,

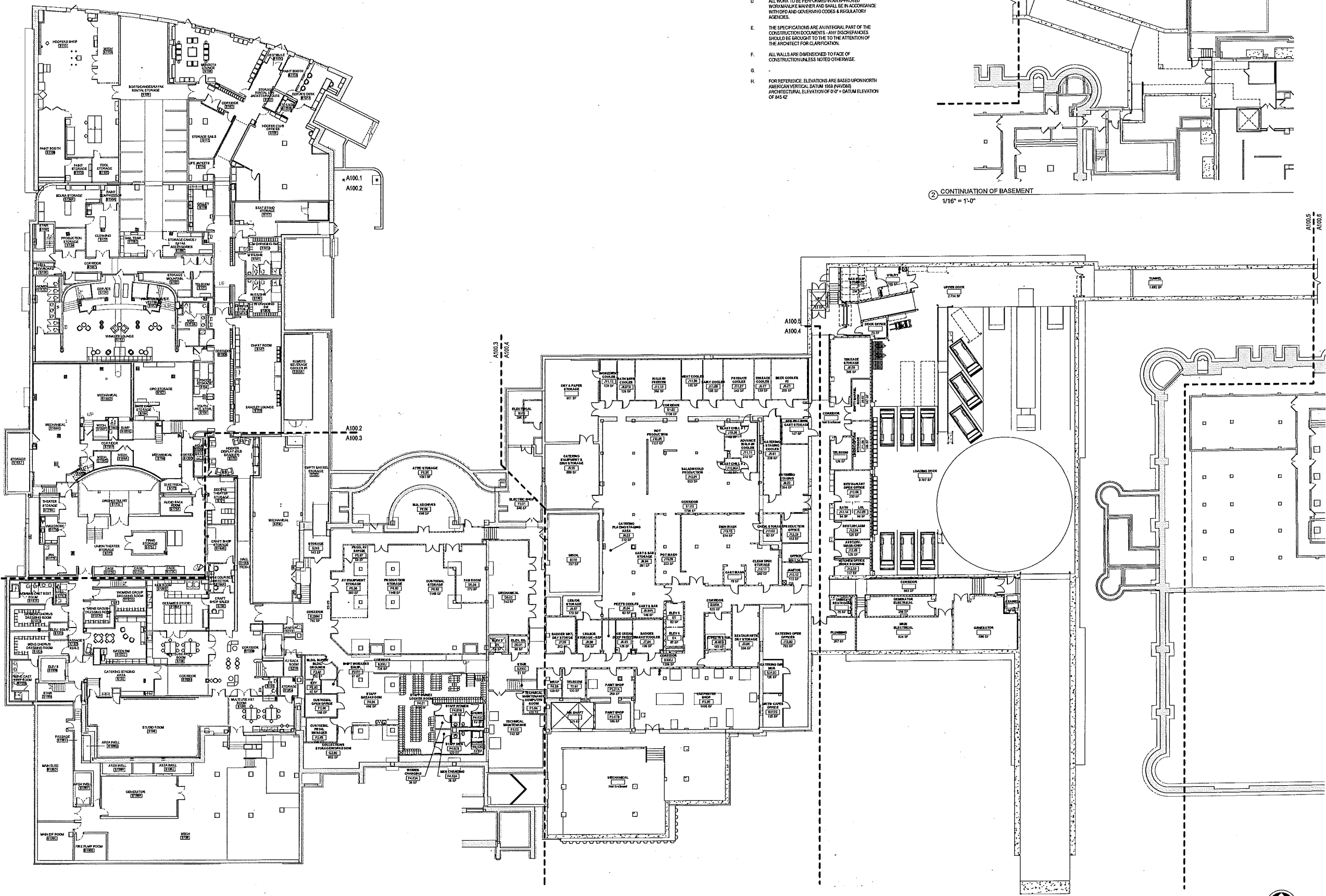


Gary A. Brown, FASLA  
Director, Campus Planning & Landscape Architecture  
Facilities Planning & Management, University of Wisconsin-Madison

cc: Julie Grove, UW-Madison FP&M Project Manager  
Erik Sande, DOA/DFD Project Manager

Alder Scott Resnick, District 8





1 BASMENT - NEW - OVERALL  
1/16" = 1'-0"

- GENERAL NOTES
- A. INTERIOR EXPANSION JOINT DETAILS ARE ON SHEET A707
  - B. COORDINATE DIMENSIONS FOR EQUIPMENT SUPPORTS, WALL, FLOOR OR ROOF OPENINGS WITH APPLICABLE TRADE CONTRACTORS PRIOR TO CONCRETE PLACEMENT OR STEEL ERECTION
  - C. FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WORK OR FABRICATING UNITS. DIMENSIONS INDICATED REPRESENT DESIGN INTENT AND BUILDING INFORMATION CONSTRUCTION DOCUMENTS. CONTRACTOR'S ACCEPTANCE OF THE EXISTING CONDITIONS, CONTRACTOR TO NOTIFY ARCHITECT AND CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY WORK.
  - D. ALL WORK TO BE PERFORMED IN AN APPROVED WORKMANLY MANNER AND SHALL BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE LOCAL, STATE AND FEDERAL AGENCIES.
  - E. THE SPECIFICATIONS ARE AN INTEGRAL PART OF THE CONSTRUCTION DOCUMENTS - ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
  - F. ALL WALLS ARE DIMENSIONED TO FACE OF CONSTRUCTION UNLESS NOTED OTHERWISE.
  - G.
  - H. FOR REFERENCE ELEVATIONS ARE BASED UPON NORTH AMERICAN VERTICAL DATUM 1985 (NAVD85) ARCHITECTURAL ELEVATION OF 50' = DATUM ELEVATION OF 545.42'

2 CONTINUATION OF BASEMENT  
1/16" = 1'-0"



**UHLEIN/WILSON  
MOODY-NOLAN**

Consultant:

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State of Wisconsin  
Department of Administration  
Division of Facilities Development

800 Lenocon St.  
Madison, WI 53706

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Wisconsin Union Redevelopment  
Project Phase II/Alumni Park  
University of Wisconsin - Madison  
Madison, Wisconsin

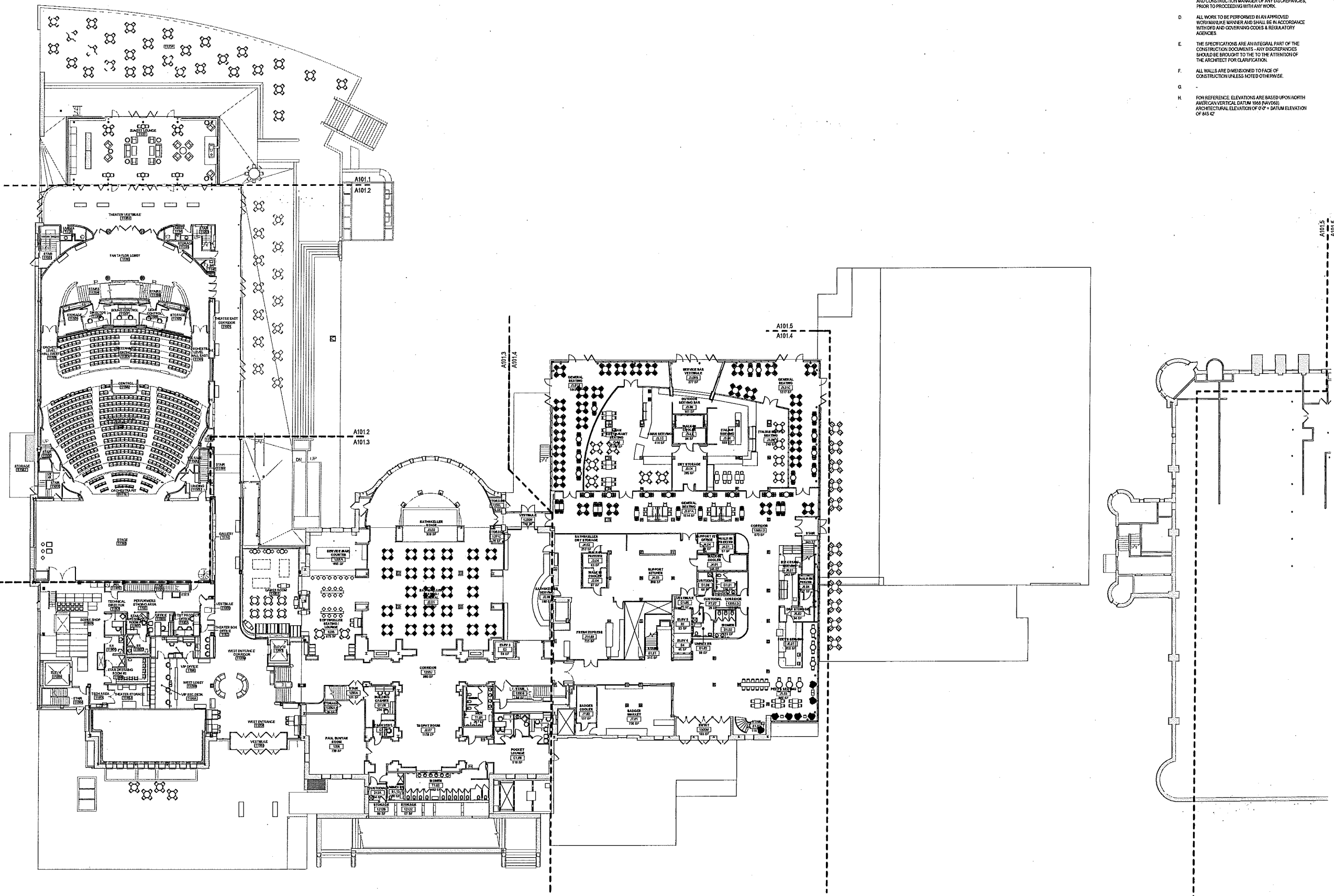
BASMENT - OVERALL

Revision:	No.	Date	Description
	1	11/29/2013	ISSUED FOR PERMIT

Graphic Scale	1" = 16'-0"
DSF Number	09K1K-01
Set Type	PR
Date Issued	11/29/2013
Sheet Number	A100

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11/18/2013 8:51:30 AM



- GENERAL NOTES
- A. INTERIOR EXPANSION JOINT DETAILS ARE ON SHEET A107
  - B. COORDINATE DIMENSIONS FOR EQUIPMENT SUPPORTS, WALL, FLOOR OR ROOF OPENINGS WITH APPLICABLE TRADE CONTRACTORS PRIOR TO CONCRETE PLACEMENT OR STEEL FABRICATION.
  - C. FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WORK OR FABRICATING UNITS. DIMENSIONS INDICATED REPRESENT DESIGN INTENT AND EXCESS INFORMATION. COMMENCEMENT OF WORK BY ANY CONTRACTOR CONSTITUTES ACCEPTANCE OF THE EXISTING CONDITIONS. CONTRACTOR TO NOTIFY ARCHITECT AND CONSTRUCTION MANAGER OF ANY DISCREPANCIES, PRIOR TO PROCEEDING WITH ANY WORK.
  - D. ALL WORK TO BE PERFORMED IN AN APPROVED WORKMANLIKE MANNER AND SHALL BE IN ACCORDANCE WITH IBC AND GOVERNING CODES & REGULATORY AGENCIES.
  - E. THE SPECIFICATIONS ARE AN INTEGRAL PART OF THE CONSTRUCTION DOCUMENTS - ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
  - F. ALL WALLS ARE DIMENSIONED TO FACE OF CONSTRUCTION UNLESS NOTED OTHERWISE.
  - G.
  - H. FOR REFERENCE ELEVATIONS ARE BASED UPON NORTH AMERICAN VERTICAL DATUM (NAVD8) ARCHITECTURAL ELEVATION OF 0'-0" = DATUM ELEVATION OF 843'-0"

UHLERIN WILSON  
MOODY NOLAN

Consultant:

State of Wisconsin  
Department of Administration  
Division of Facilities Development



800 Langdon St.  
Madison, WI 53706

Wisconsin Union Redevlopment  
Project Phase II/Alumni Park  
University of Wisconsin - Madison  
Madison, Wisconsin

FIRST FLOOR - OVERALL

Revisions:

No.	Date	Description
1	11/29/13	ISSUED

Graphic Scale

DSF Number 09K1K-01

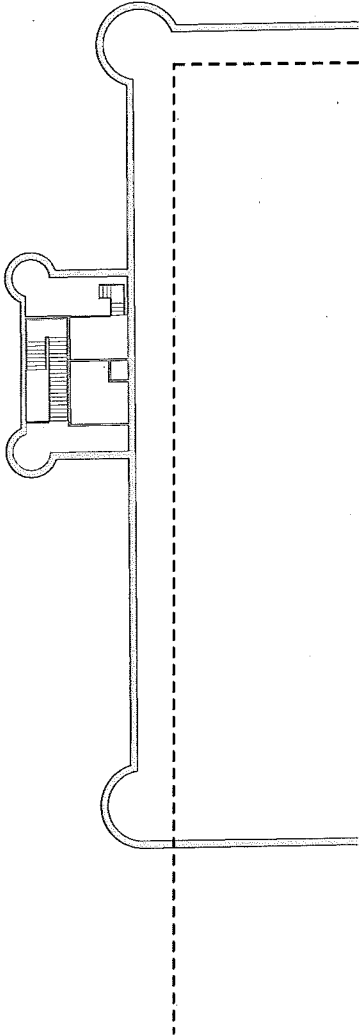
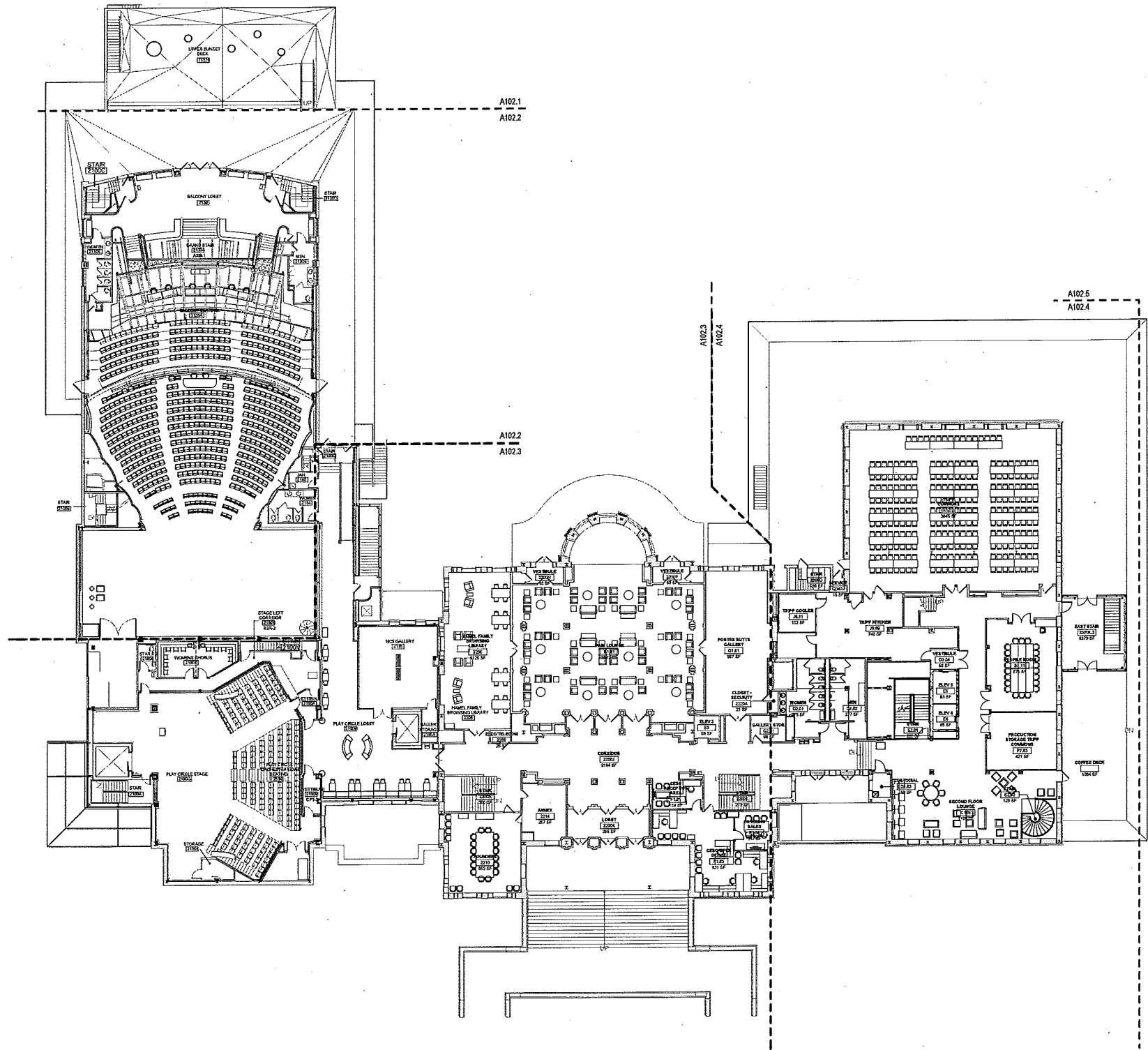
Set Type PR

Date Issued 11/29/2013

Sheet Number A101



1 FIRST FLOOR - NEW - OVERALL  
1/16" = 1'-0"



- GENERAL NOTES
- A. INTERIOR EXPANSION JOINT DETAILS ARE ON SHEET A101
  - B. COORDINATE DIMENSIONS FOR EQUIPMENT SUPPORTS, WALL, FLOOR OR ROOF OPENINGS WITH APPLICABLE TRADE CONTRACTORS PRIOR TO CONCRETE PLACEMENT OR STEEL FABRICATION.
  - C. FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WORK OR FABRICATING. DIMENSIONS INDICATED REPRESENT DESIGN INTENT AND BUILDING INFORMATION COMMISSIONMENT OF WORK BY ANY CONTRACTOR CONSTITUTES ACCEPTANCE OF THE EXISTING CONDITIONS. CONTRACTOR TO NOTIFY ARCHITECT AND CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY WORK.
  - D. ALL WORK TO BE PERFORMED IN AN APPROVED WORKMANLIKE MANNER AND SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES & REGULATORY AGENCIES.
  - E. THE SPECIFICATIONS ARE AN INTEGRAL PART OF THE CONSTRUCTION DOCUMENTS - ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
  - F. ALL WALLS ARE DIMENSIONED TO FACE OF CONSTRUCTION UNLESS NOTED OTHERWISE.
  - G.
  - H. FOR REFERENCE, ELEVATIONS ARE BASED UPON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD83) ARCHITECTURAL ELEVATION OF 6'-0" = DATUM ELEVATION OF 845'-0"

UIHLEIN/WILSON  
MOODY-NOLAN

Consultant:

State of Wisconsin  
Department of Administration  
Division of Facilities Development

Wisconsin Union Redevelopment  
Project Phase II/Alumni Park  
University of Wisconsin - Madison  
Madison, Wisconsin

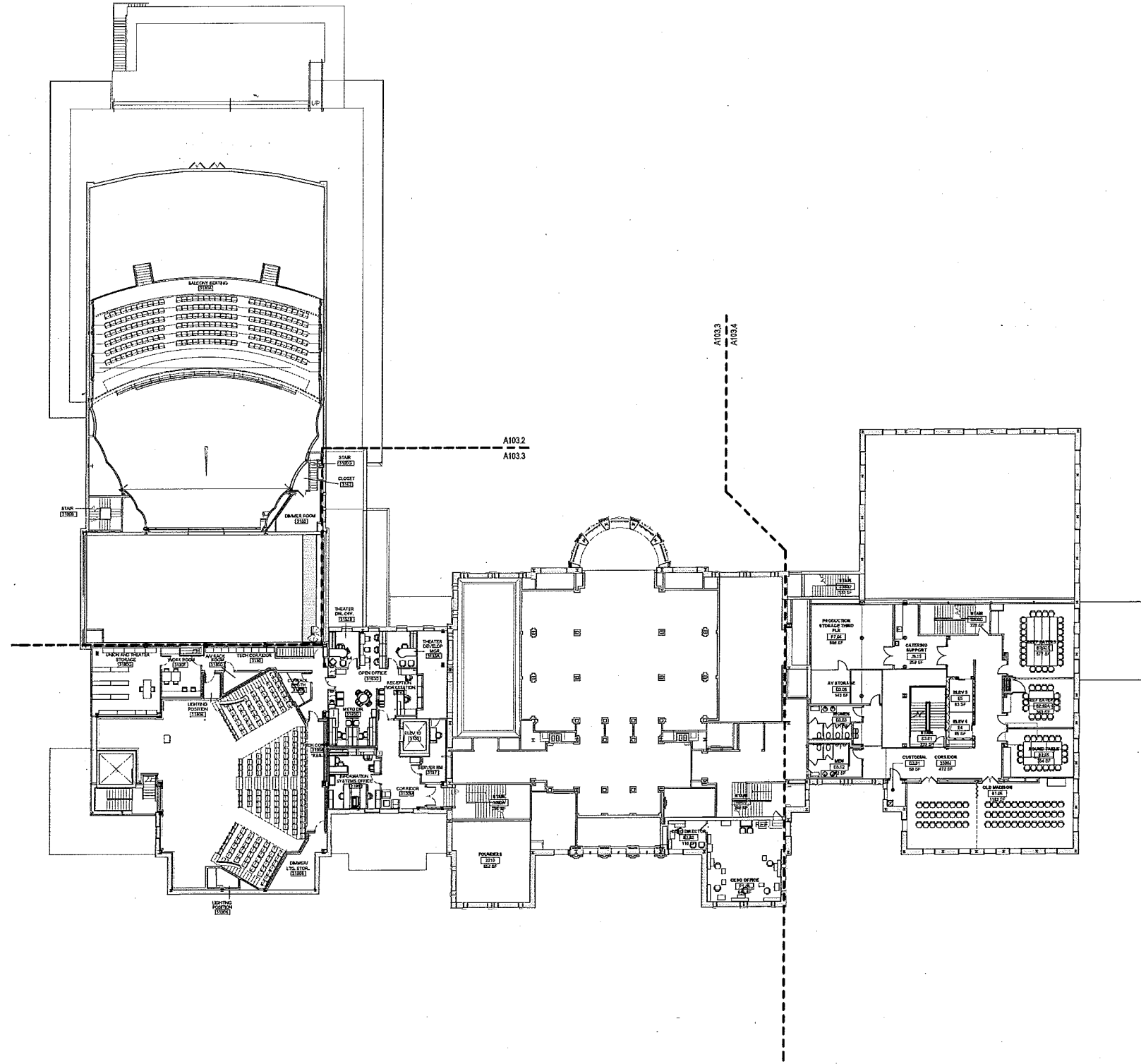
SECOND FLOOR OVERALL

Revisions:	No.	Date	Description
1	11/29/2013		ISSUE FOR CONSTRUCTION

Graphic Scale	0 1 2 3 4 5
DSF Number	09K1K-01
Set Type	PR
Date Issued	11/29/2013
Sheet Number	A102



1 SECOND FLOOR - NEW - OVERALL  
1/16" = 1'-0"



1 THIRD FLOOR - NEW  
1/16" = 1'-0"

- GENERAL NOTES
- A INTERIOR EXPANSION JOINT DETAILS ARE ON SHEET A107
  - B COORDINATE DIMENSIONS FOR EQUIPMENT SUPPORTS, WALL, FLOOR OR ROOF OPENINGS WITH APPLICABLE TRADE CONTRACTORS PRIOR TO CONCRETE PLACEMENT OR STEEL FABRICATION.
  - C FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WORK OR FABRICATING UNITS. DIMENSIONS INDICATED REPRESENT DESIGN INTENT AND BEYOND INFORMATION. COMMENCEMENT OF WORK BY ANY CONTRACTOR CONSTITUTES ACCEPTANCE OF THE EXISTING CONDITIONS. CONTRACTOR TO NOTIFY ARCHITECT AND CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY WORK.
  - D ALL WORK TO BE PERFORMED IN AN APPROVED WORKMANLY MANNER AND SHALL BE IN ACCORDANCE WITH DFD AND GOVERNING CODES & REGULATORY AGENCIES.
  - E THE SPECIFICATIONS ARE AN INTEGRAL PART OF THE CONSTRUCTION DOCUMENTS - ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
  - F ALL WALLS ARE DIMENSIONED TO FACE OF CONSTRUCTION UNLESS NOTED OTHERWISE.
  - G
  - H FOR REFERENCE: ELEVATIONS ARE BASED UPON NORTH AMERICAN VERTICAL DATUM (NAD 83) (NAD 83) ARCHITECTURAL ELEVATION OF 0'-0" = DATUM ELEVATION OF 843.42'

UTHEIN/WILSON  
MOODY-NOLAN

Consultant:

State of Wisconsin  
Department of Administration  
Division of Facilities Development



800 Langdon St.  
Madison, WI 53706

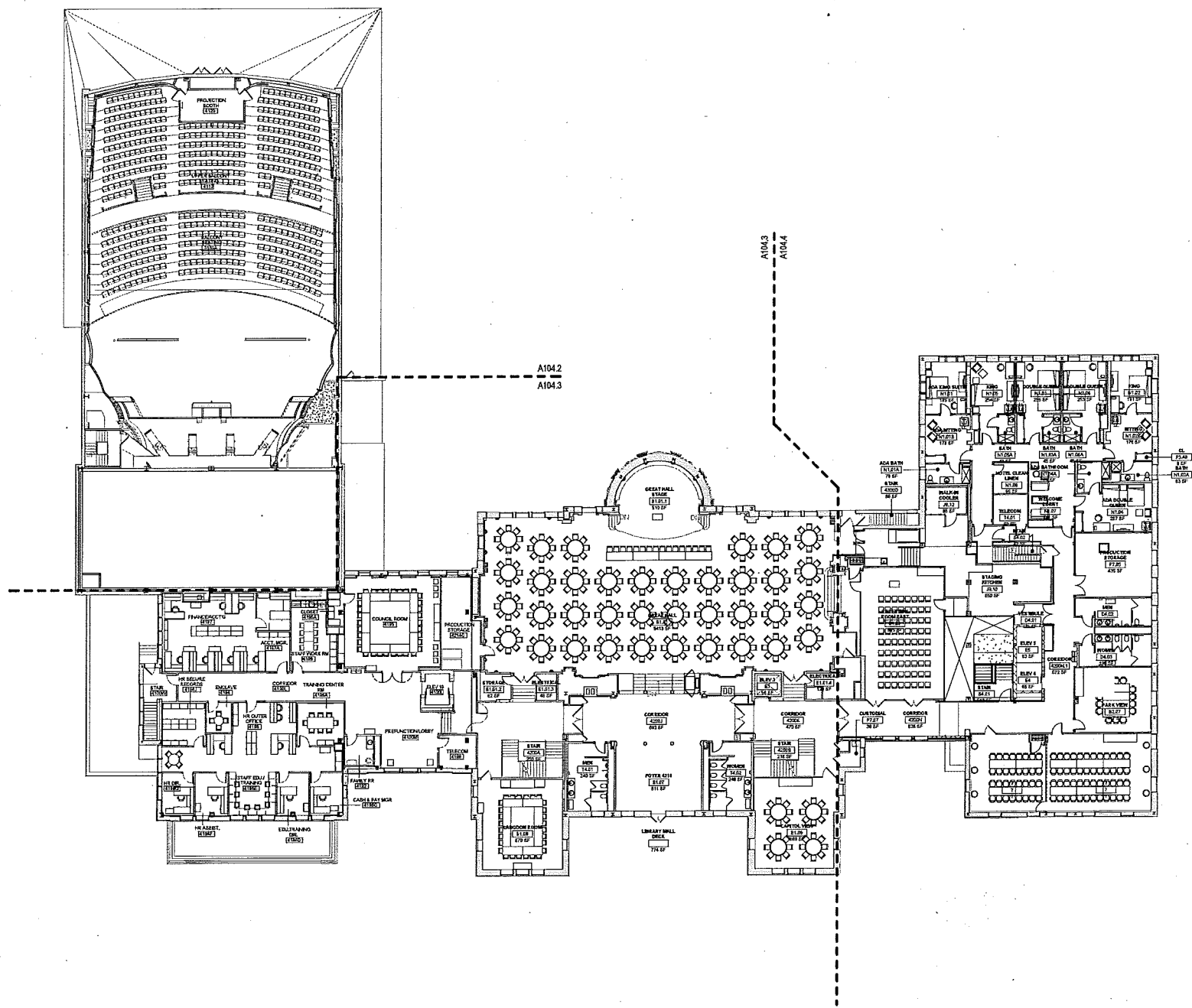
Wisconsin Union Redevelopment  
Project Phase II/Alumni Park  
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THIRD FLOOR OVERALL

Revisions:		
No.	Date	Description
1	11/29/13	3rd Floor

Graphic Scale	
DSF Number	09K1K-01
Set Type	PR
Date Issued	11/29/2013
Sheet Number	A103





- GENERAL NOTES**
- A. INTERIOR EXPANSION JOINT DETAILS ARE ON SHEET A107
  - B. COORDINATE DIMENSIONS FOR EQUIPMENT SUPPORTS, WALL, FLOOR OR ROOF CEILING WITH APPLICABLE TRADE CONTRACTORS PRIOR TO CONCRETE PLACEMENT OR STEEL FABRICATION
  - C. FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WORK OR FABRICATING. DIMENSIONS INDICATED REPRESENT DESIGN INTENT AND BIDDING INFORMATION. COMPLETION OF WORK BY ANY CONTRACTOR CONSTITUTES ACCEPTANCE OF THE EXISTING CONDITIONS. CONTRACTOR TO NOTIFY ARCHITECT AND CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY WORK.
  - D. ALL WORK TO BE PERFORMED IN AN APPROVED WORKMANLIKE MANNER AND SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES & REGULATORY AGENCIES
  - E. THE SPECIFICATIONS ARE AN INTEGRAL PART OF THE CONSTRUCTION DOCUMENTS - ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
  - F. ALL WALLS ARE DIMENSIONED TO FACE OF CONSTRUCTION UNLESS NOTED OTHERWISE.
  - G.
  - H. FOR REFERENCE: ELEVATIONS ARE BASED UPON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) ARCHITECTURAL ELEVATION OF 0'-0" = DATUM ELEVATION OF 545'-2"

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MOODY·NOLAN**

Consultant:

State of Wisconsin  
Department of Administration  
Division of Facilities Development



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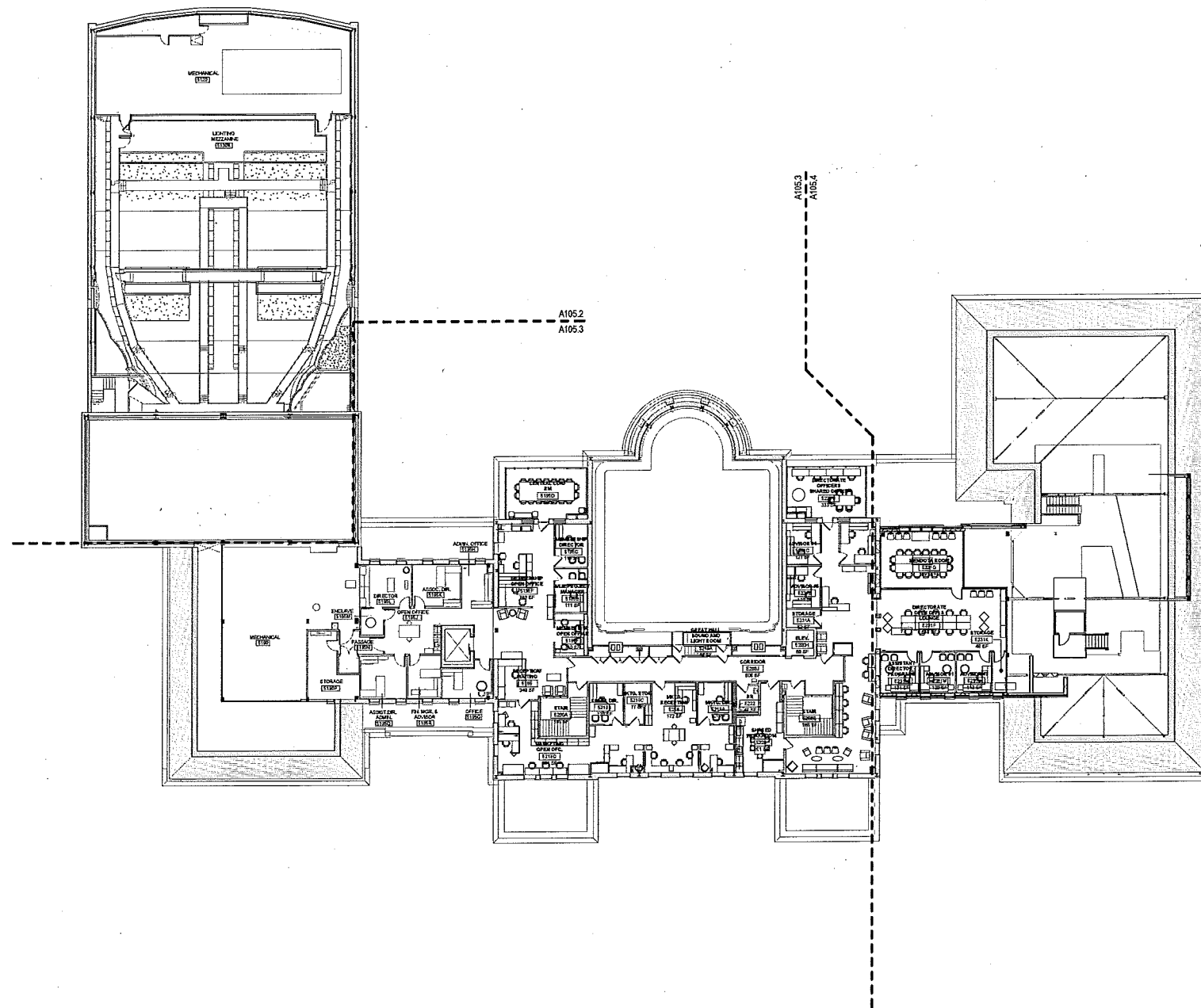
FOURTH FLOOR - OVERALL

Revisions:	No.	Date	Description
	1	11/29/13	ISSUE FOR PERMIT

Graphic Scale	1" = 1'-0"
DSF Number	09K1K-01
Set Type	PR
Date Issued	11/29/2013
Sheet Number	A104



① FOURTH FLOOR - NEW - OVERALL  
1/16" = 1'-0"



- GENERAL NOTES**
- A INTERIOR EXPANSION JOINT DETAILS ARE ON SHEET A701
  - B COORDINATE DIMENSIONS FOR EQUIPMENT, SUPPORTS, WALL, FLOOR OR ROOF OPENINGS WITH APPLICABLE TRADE CONTRACTORS PRIOR TO CONCRETE PLACEMENT OR STEEL FABRICATION
  - C FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WORK OR FABRICATING UNITS. DIMENSIONS INDICATED REPRESENT DESIGN INTENT AND BIDDING INFORMATION. COMPLETION OF WORK BY ANY CONTRACTOR CONSTITUTES ACCEPTANCE OF THE EXISTING CONDITIONS. CONTRACTOR TO NOTIFY ARCHITECT AND CONSTRUCTION MANAGER OF ANY DISCREPANCIES, PRIOR TO PROCEEDING WITH ANY WORK.
  - D ALL WORK TO BE PERFORMED IN AN APPROVED WORKMANLIKE MANNER AND SHALL BE IN ACCORDANCE WITH CODES AND GOVERNING CODES & REGULATORY AGENCIES.
  - E THE SPECIFICATIONS ARE AN INTEGRAL PART OF THE CONSTRUCTION DOCUMENTS - ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
  - F ALL WALLS ARE DIMENSIONED TO FACE OF CONSTRUCTION UNLESS NOTED OTHERWISE.
  - G -
  - H FOR REFERENCE, ELEVATIONS ARE BASED UPON NORTH AMERICAN VERTICAL DATUM 1982 (NAVD83) ARCHITECTURAL ELEVATION OF 0'-0" = DATUM ELEVATION OF 645.42

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 MOODY-NOLAN

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FIFTH FLOOR OVERALL

Revisions:		
No.	Date	Description
1	10/29/13	IF LAMINATE

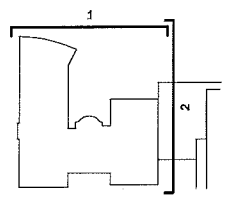
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DSF Number	09K1K-01
Set Type	PR
Date Issued	11/29/2013
Sheet Number	A105



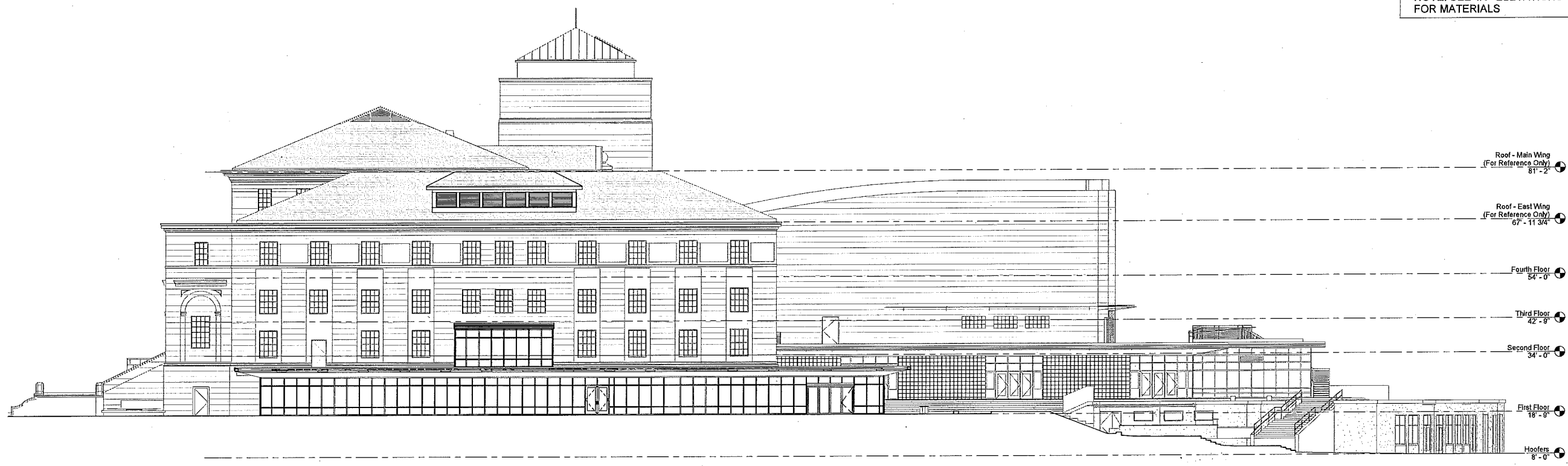


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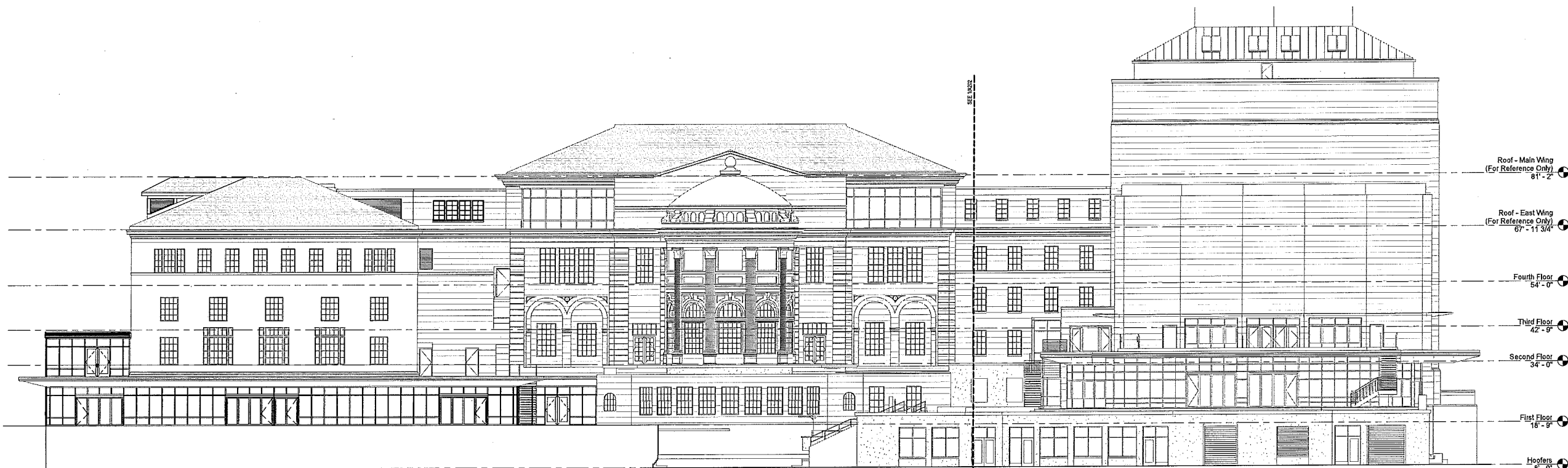


**KEY PLAN**  
NOTE: SEE 1/8" ELEVATIONS FOR MATERIALS



② OVERALL EAST ELEVATION  
3/32" = 1'-0"

- Roof - Main Wing (For Reference Only) 81'-2"
- Roof - East Wing (For Reference Only) 67'-11 3/4"
- Fourth Floor 54'-0"
- Third Floor 42'-9"
- Second Floor 34'-0"
- First Floor 16'-9"
- Hoofers 8'-0"



① OVERALL NORTH ELEVATION  
3/32" = 1'-0"

- Roof - Main Wing (For Reference Only) 81'-2"
- Roof - East Wing (For Reference Only) 67'-11 3/4"
- Fourth Floor 54'-0"
- Third Floor 42'-9"
- Second Floor 34'-0"
- First Floor 16'-9"
- Hoofers 8'-0"

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MOODY-NOLAN**

Consultant:

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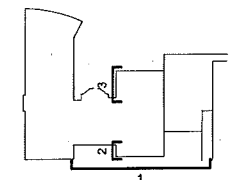
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BUILDING ELEVATIONS - PHASE 2

Revisions:

No.	Date	Description
1	11/29/2013	ISSUED

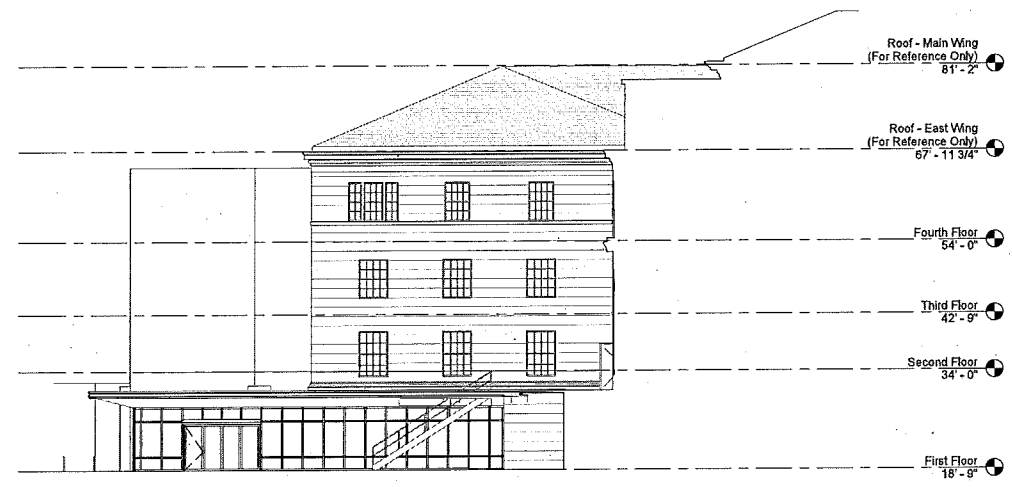
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DSF Number	09K1K-01
Set Type	PR
Date Issued	11/29/2013
Sheet Number	A200



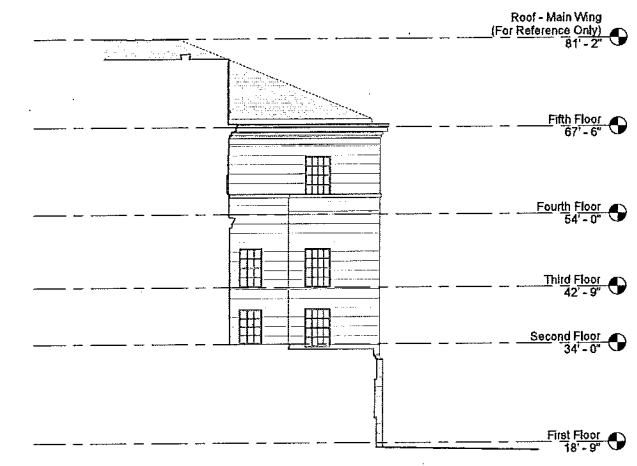
KEY PLAN  
NOTE: SEE 1/8" ELEVATIONS FOR MATERIALS

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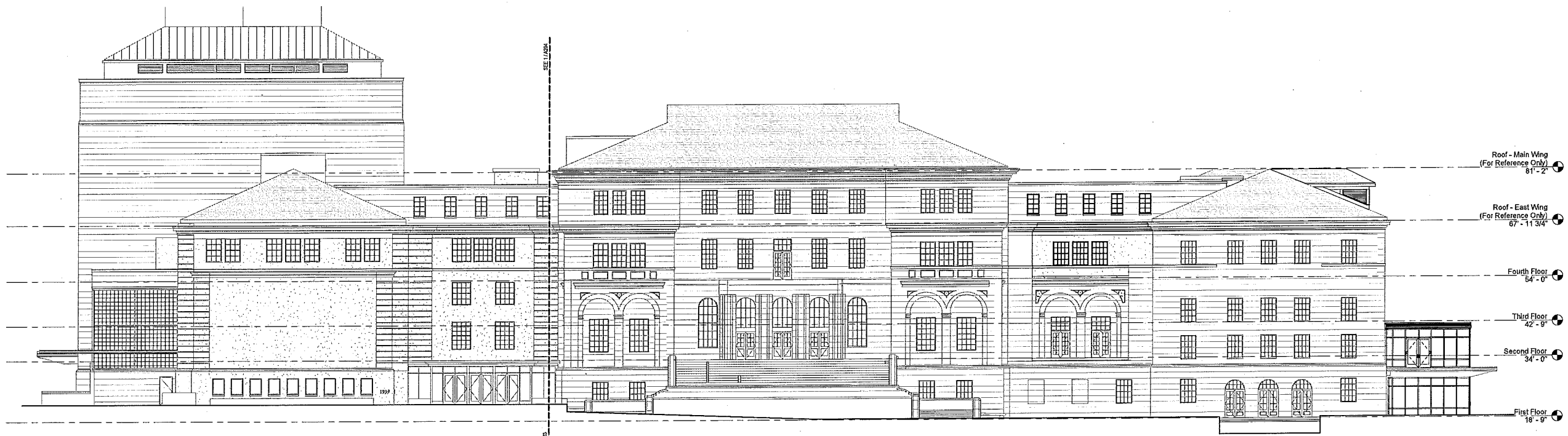
Consultant:



③ OVERALL PARTIAL WEST ELEVATION  
3/32" = 1'-0"



② OVERALL PARTIAL EAST ELEVATION  
3/32" = 1'-0"



① OVERALL SOUTH ELEVATION  
3/32" = 1'-0"

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BUILDING ELEVATIONS - PHASE 2

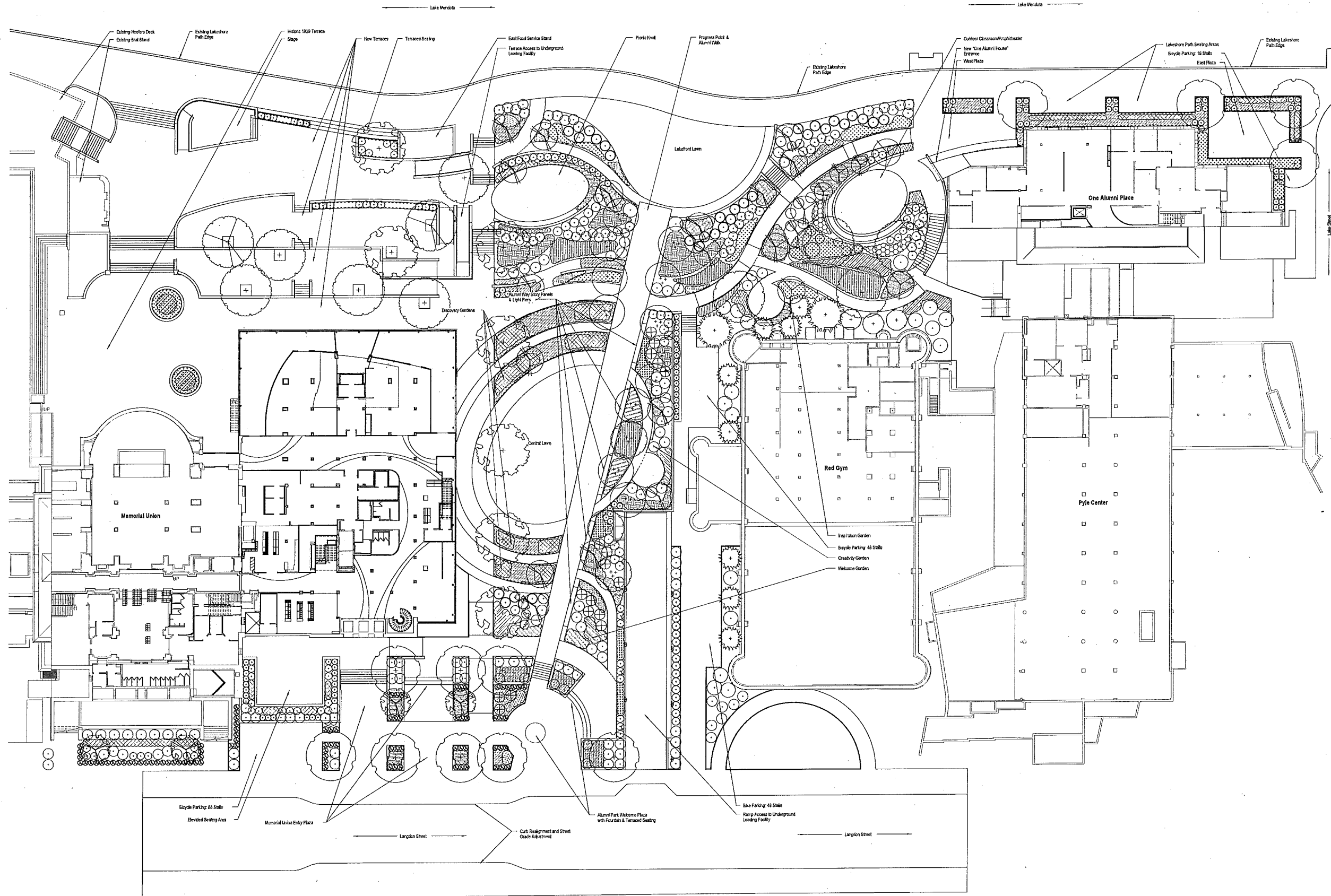
Revisions:	
No.	Description
1	11/29/2013 SP Update

Graphic Scale	
DSF Number	09K1K-01
Set Type	PR
Date Issued	11/29/2013
Sheet Number	A201



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**UHLEIN WILSON  
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Site Plan

Revision	No.	Date	Description
1	11/29/13	SP	Submitter

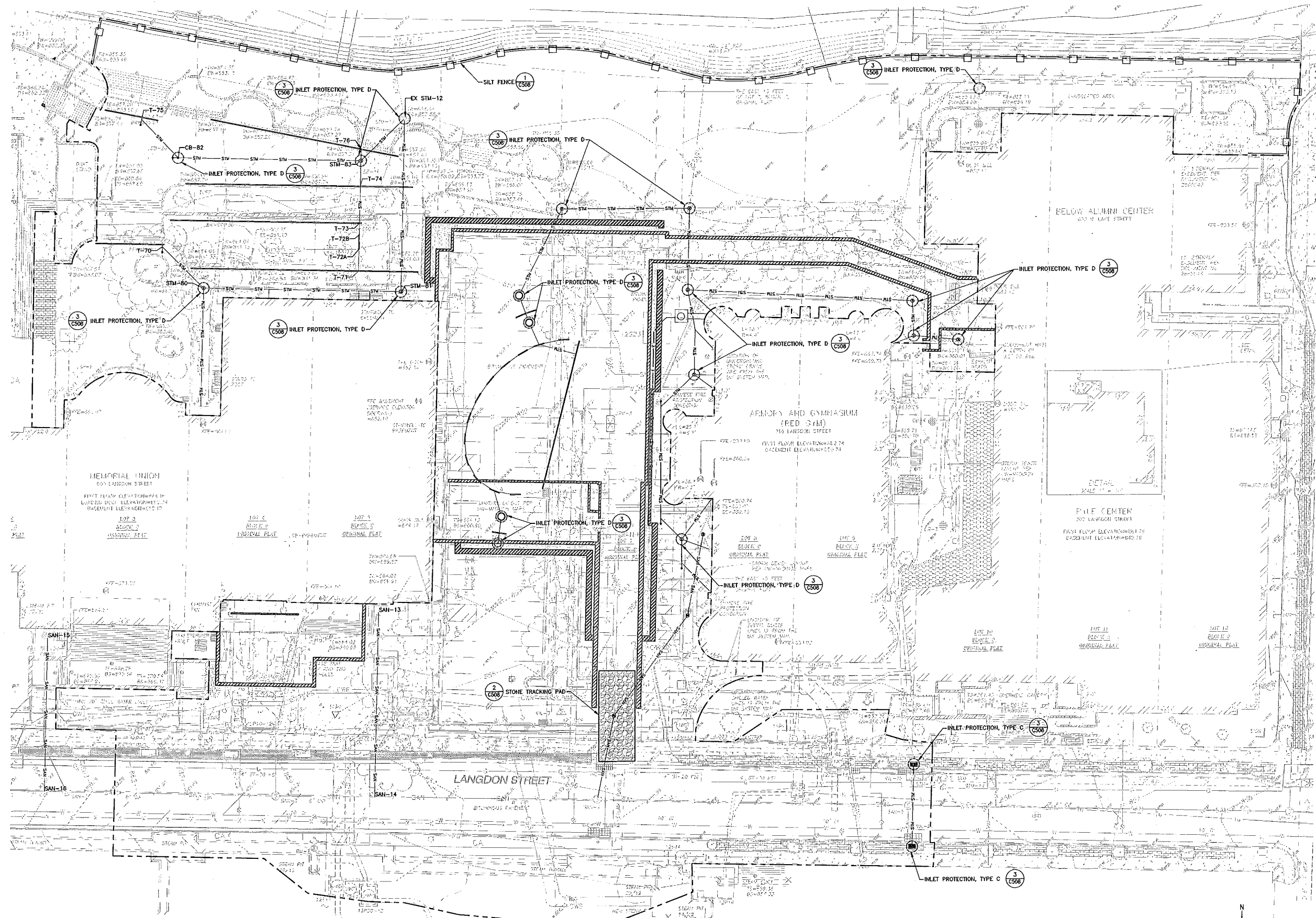
Graphic Scale

DFD Number 9K1K-01

Set Type PR

Date Issued 11/29/2013

Sheet Number C100



- LEGEND:**
- PROJECT BOUNDARY
  - SILT FENCE
  - INLET PROTECTION
  - ▨ STONE TRACKING PAD

- NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND APPROPRIATE UTILITY COMPANIES TO FIELD VERIFY UTILITIES PRIOR TO ANY CONSTRUCTION.
  2. ALL EXISTING CATCH BASINS, INLETS AND MANHOLES NOT CALLED OUT TO BE REMOVED SHALL BE PROTECTED.
  3. ALL PROPOSED CATCH BASINS, INLETS AND MANHOLES SHALL BE PROTECTED IMMEDIATELY AFTER INSTALLATION.
  4. INLETS OUTSIDE THE PROJECT LIMITS IN THE PROJECT VICINITY TO RECEIVE GEOTEXTILE FABRIC INLET PROTECTION.
  5. CONTRACTOR TO INSPECT BMPs ONCE PER WEEK AND AFTER ANY RAINFALL EVENT. MAINTAIN OR REPLACE BMPs AS NECESSARY TO BE SURE THEY ARE SERVING THE INTENDED PURPOSE.
  6. IF PAVEMENT REMOVAL IS NECESSARY WITHIN THE STAGING AREA, TRACKING PADS ARE REQUIRED.
  7. STONE TRACKING PAD SHALL BE PLACED AT ALL EGRESS POINTS. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT AND A MINIMUM OF 50 FEET LONG.

- EROSION CONTROL SEQUENCING:**
1. INSTALL SILT FENCE, STONE TRACKING PADS, INLET PROTECTION, PERFORM ROUGH GRADING AND OTHER MEASURES REQUIRED FOR PERMIT AND EROSION CONTROL PLAN COMPLIANCE TO SERVE DISTURBED AREAS.
  2. CONSTRUCT UNDERGROUND UTILITIES AND PERFORM EARTHWORK OPERATIONS. PROVIDE INLET PROTECTION ON ALL EXISTING AND NEWLY CONSTRUCTED INLETS UNTIL SITE IS STABILIZED. MAINTAIN EROSION CONTROL FACILITIES AND CONSTRUCT ADDITIONAL FACILITIES AS REQUIRED TO CONTROL SEDIMENT DISCHARGE IN COMPLIANCE WITH WEDS PERMIT. DIVERT RUNOFF AWAY FROM OPEN TRENCHES.
  3. CONSTRUCT CURB AND GUTTER, BASE COURSE AND PAVEMENT.
  5. REMOVE ACCUMULATED SEDIMENT FROM BMPs
  6. FINAL GRADE, PLACE TOPSOIL, SEED, AND STABILIZE ALL AREAS TO BE VEGETATED
  7. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SITE STABILIZATION HAS BEEN ACHIEVED.
  8. CONTRACTOR SHALL FILE NOTICE OF TERMINATION WITH DEPARTMENT OF NATURAL RESOURCES UPON FINAL SITE STABILIZATION.
  9. CONTRACTOR SHALL COORDINATE EROSION CONTROL INSTALLATION AND MODIFICATIONS WITH THE CONTRACTOR DEVELOPED CONSTRUCTION PHASING PLAN. EROSION CONTROL MEASURES SHALL BE INSTALLED, MAINTAINED AND MODIFIED AS NECESSARY TO OPERATE AS INTENDED DURING EACH PHASE OF CONSTRUCTION.

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**UTILEIN WILSON  
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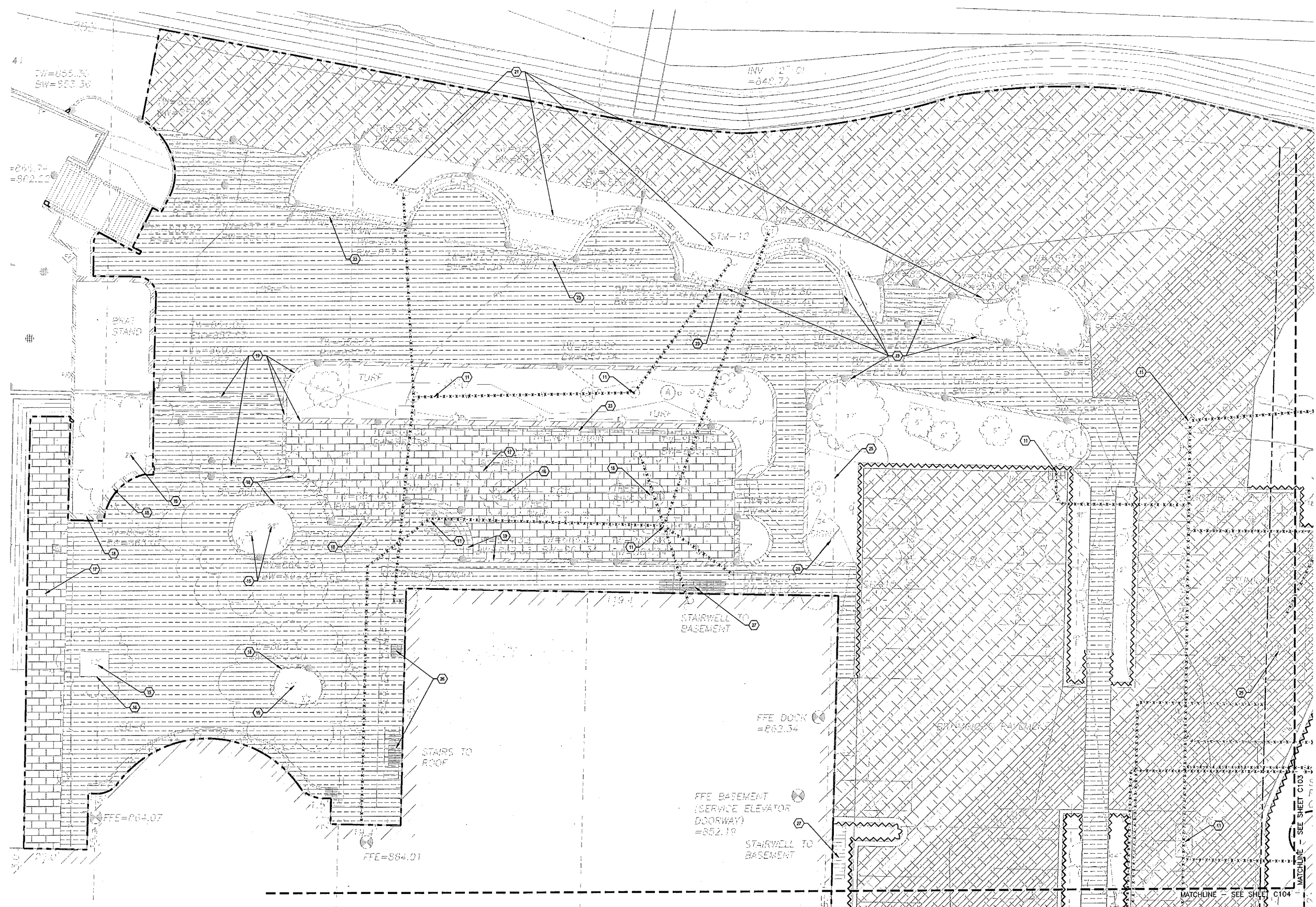
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Erosion Control

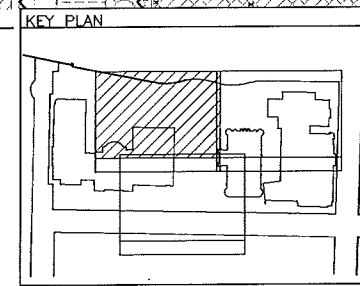
Rev.	Date	Description
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Graphic Scale	0' 2' 4' 8' 12'
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Date Issued	11/29/2013
Sheet Number	C101



- LEGEND AND KEYNOTES**
- REMOVE CURB AND GUTTER
  - UTILITY AND STRUCTURE DEMOLITION
  - ASPHALT PAVEMENT REMOVAL
  - CONCRETE PAVEMENT REMOVAL
  - PAVER REMOVAL
  - TREE GRATES TO BE SALVAGED AND RETURNED TO OWNER.
  - CLAY PAVERS TO BE SALVAGED AND RETURNED TO OWNER. CLEAN PAVERS AND PALLIATIZE AND DELIVER TO OWNER DESIGNATED STORAGE FACILITY ON CAMPUS. EXISTING PLANTER WALL STONE IS TO BE REUSED FOR REBUILDING PLANTERS IN SITU. CAREFULLY REMOVE AND CLEAN STONE. MINIMIZE DISTURBANCE TO TREE ROOTS AND PLANTING SOIL IN PLANTERS.
  - CONCRETE WALLS, WALL CAPS AND PAVEMENT TO BE REMOVED.
  - SIGN TO BE SALVAGED AND RETURNED TO OWNER.
  - WOOD DONOR BENCHES TO BE SALVAGED FOR REUSE ON SITE. SEE DETAILS.
  - ALL SITE LIGHTING TO BE REMOVED.
  - TRENCH DRAINS AND UNDERGROUND PIPING TO BE REMOVED.
  - ALL TREES AND VEGETATION WITHIN PROJECT LIMITS SHALL BE REMOVED UNLESS OTHERWISE NOTED.
  - FOLDING CHAIRS TO BE TURNED OVER TO OWNER.
  - AREA WELLS TO BE PROTECTED. SEE STRUCTURAL PLANS FOR DETAILS.
  - EGRESS STAIR TO BE REMOVED.
  - ALL PARKING SIGNS, METERS AND EXISTING ENE RACKS TO BE RETURNED TO OWNER.
  - PRIMARY VAULT TO BE REMOVED. SEE ELECTRICAL DRAWINGS.
- EXISTING OAKS AND HONEYLOCUST IN HISTORIC TERRACE ARE TO REMAIN ON SITE AND BE PROTECTED. SPECIAL CARE SHALL BE TAKEN TO PROTECT TREE TRUNKS AND CANOPY AND MINIMIZE USE OF MAJOR EQUIPMENT IN TERRACE AROUND TREE ROOTS. CONTRACTOR TO SUBMIT WORK PLAN AND TREE PROTECTION PLAN TO LANDSCAPE ARCHITECT AND BRUCE ALLISON FOR REVIEW AND APPROVAL PRIOR TO BEGINNING WORK.



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Demolition Plan

Revisions:	
No.	Description
1	10/29/10

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DFD Number	09K1K-01
Set Type	PR
Date Issued	11/29/2013
Sheet Number	C102

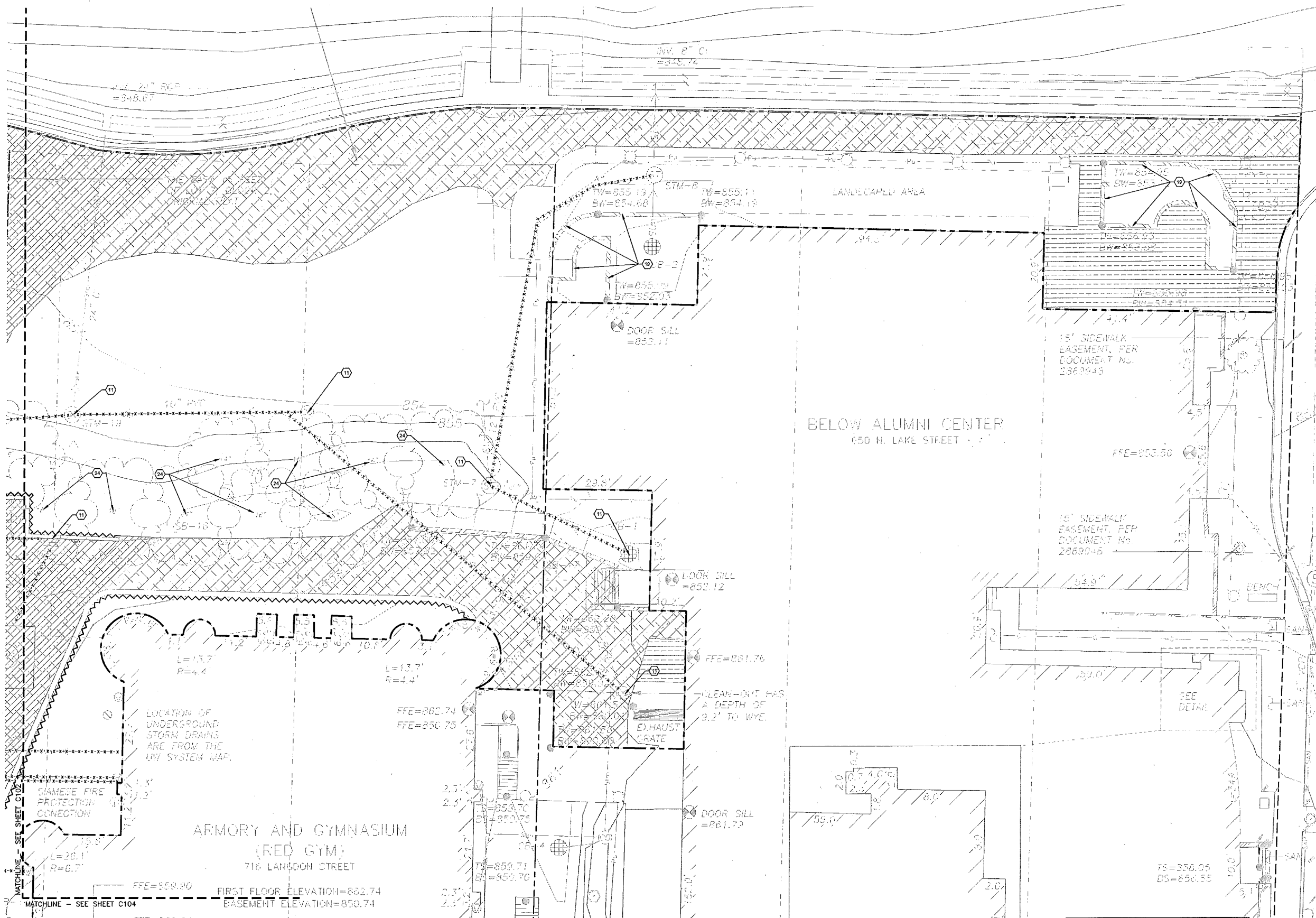


Revisions:		
No.	Date	Description

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Set Type	PR
Date Issued	11/29/2013
Sheet Number	C103

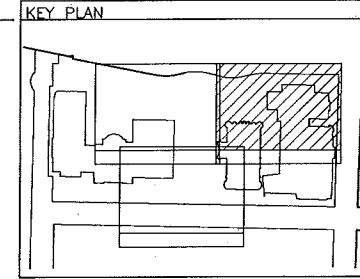


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LEGEND AND KEYNOTES

- |  |  |   |
|--|--|---|
| <ul style="list-style-type: none"> <li>⑮ REMOVE CURB AND GUTTER</li> <li>⑰ UTILITY AND STRUCTURE DEMOLITION</li> <li>⑱ ASPHALT PAVEMENT REMOVAL</li> <li>⑳ CONCRETE PAVEMENT REMOVAL</li> <li>㉑ PAVER REMOVAL</li> </ul> <p>EXISTING OAKS AND HONEYLOCUST IN HISTORIC TERRACE ARE TO REMAIN ON SITE AND BE PROTECTED. SPECIAL CARE SHALL BE TAKEN TO PROTECT TREE TRUNKS AND CANOPY AND MINIMIZE USE OF MAJOR EQUIPMENT IN TERRACE AROUND TREE ROOTS. CONTRIBUTOR TO SITE WORK PLAN AND TREE PROTECTION PLAN TO LANDSCAPE ARCHITECT AND BRUCE ALLISON FOR REVIEW AND APPROVAL PRIOR TO BEGINNING WORK.</p> | <ul style="list-style-type: none"> <li>⑲ TREE GRATES TO BE SALVAGED AND RETURNED TO OWNER.</li> <li>㉒ CLAY PAVERS TO BE SALVAGED AND RETURNED TO OWNER. CLEAN PAVERS AND PALLETIZE AND DELIVER TO OWNER DESIGNATED STORAGE FACILITY ON CAMPUS. EXISTING PLANTER WALL STONE IS TO BE REUSED FOR REBUILDING PLANTERS IN SITU. CAREFULLY REMOVE AND CLEAN STONE. MINIMIZE DISTURBANCE TO TREE ROOTS AND PLANTING SOIL IN PLANTERS.</li> <li>㉓ CONCRETE WALLS, WALL CAPS AND PAVEMENT TO BE REMOVED.</li> <li>㉔ SIGN TO BE SALVAGED AND RETURNED TO OWNER.</li> <li>㉕ WOOD DONOR BENCHES TO BE SALVAGED FOR REUSE ON SITE. SEE DETAILS.</li> <li>㉖ ALL SITE LIGHTING TO BE REMOVED.</li> </ul> | <ul style="list-style-type: none"> <li>㉗ TRENCH DRAINS AND UNDERGROUND PIPING TO BE REMOVED.</li> <li>㉘ ALL TREES AND VEGETATION WITHIN PROJECT LIMITS SHALL BE REMOVED UNLESS OTHERWISE NOTED.</li> <li>㉙ FOLDING CHAIRS TO BE RETURNED OVER TO OWNER.</li> <li>㉚ AREA WELLS TO BE PROTECTED. SEE STRUCTURAL PLANS FOR DETAILS.</li> <li>㉛ EGRESS STAR TO BE REMOVED.</li> <li>㉜ ALL PARKING SIGNS, METERS AND EXISTING BKE RACKS TO BE RETURNED TO OWNER.</li> <li>㉝ PRIMARY VAULT TO BE REMOVED. SEE ELECTRICAL DRAWINGS.</li> </ul> |
|--|--|---|



MATCHLINE - SEE SHEET C102

54.16  
62.34  
2.13

LOT 4  
BLOCK 2  
ORIGINAL PLAT  
SS-BASEMENT  
LOT 5  
BLOCK 2  
ORIGINAL PLAT

DOOR SILL  
=804.17

TW=864.05  
EA=859.67

TW=864.03  
EA=859.91

FFE=854.18

MATCHLINE - SEE SHEET C103

FFE=859.90

FFE=860.24

FIRST FLOOR ELL  
BASEMENT LLL

FFE=860.74  
TS=859.83  
BS=859.19

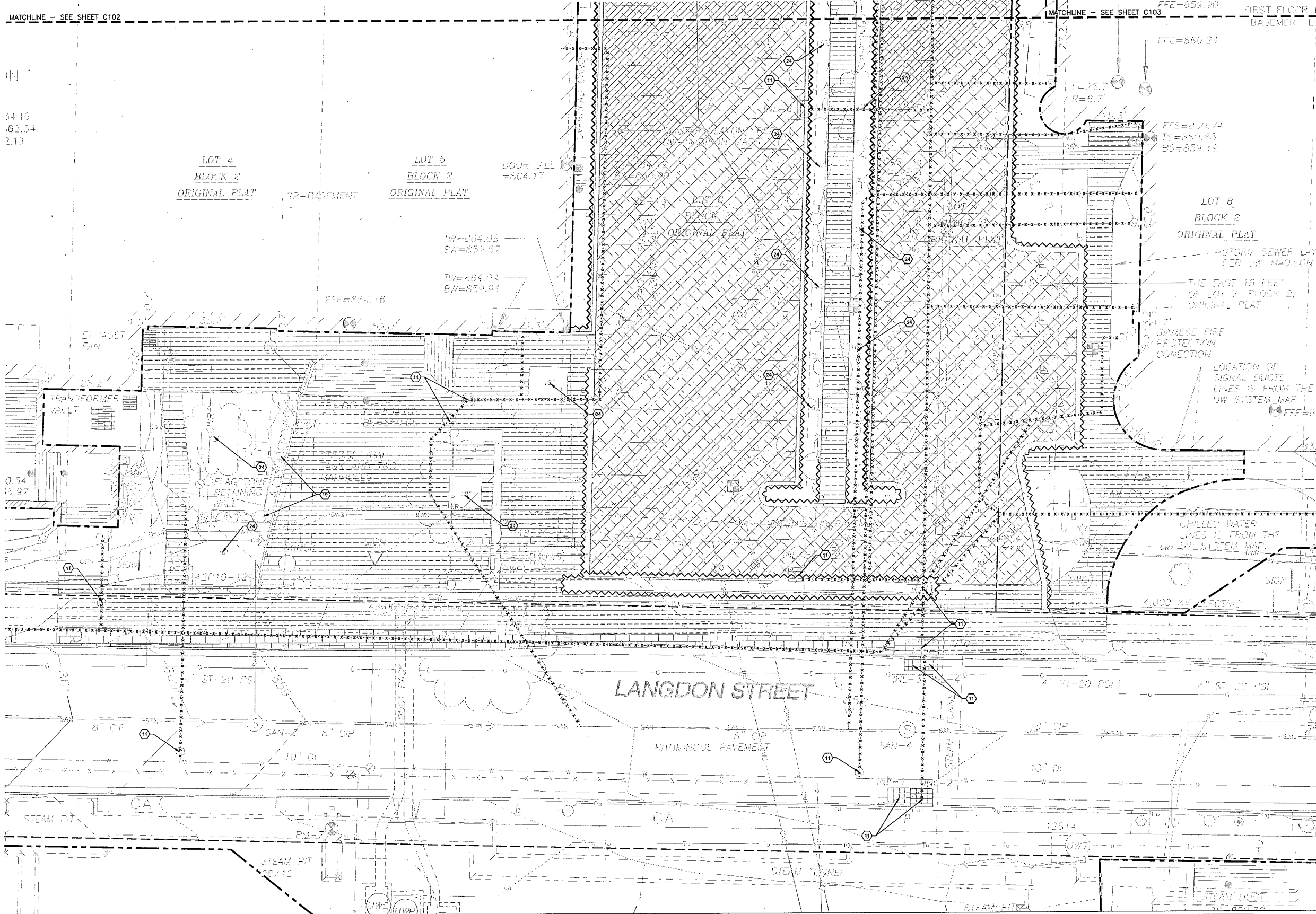
LOT 8  
BLOCK 2  
ORIGINAL PLAT

STORM SEWER LAYOUT  
PER 1984-MADISON M

THE EAST 15 FEET  
OF LOT 7, BLOCK 2,  
ORIGINAL PLAT

DIAPHRAGM FIRE  
PROTECTION  
CONNECTION

LOCATION OF  
SIGNAL DUCT  
LINES IS FROM THE  
UW SYSTEM MAP



LEGEND AND KEYNOTES

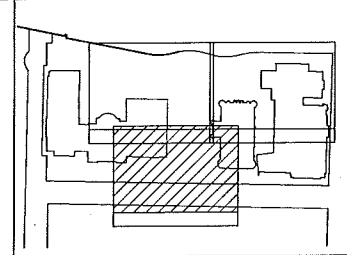
- (10) REMOVE CURB AND GUTTER
- (11) UTILITY AND STRUCTURE DEMOLITION
- (12) ASPHALT PAVEMENT REMOVAL
- (13) CONCRETE PAVEMENT REMOVAL
- (14) PAVEMENT REMOVAL

EXISTING OAKS AND HONEYLOCUST IN HISTORIC TERRACE ARE TO REMAIN ON SITE AND BE PROTECTED. SPECIAL CARE SHALL BE TAKEN TO PROTECT TREE TRUNKS AND CANOPY AND MINIMIZE USE OF MAJOR EQUIPMENT IN TERRACE AROUND TREE ROOTS. CONTRACTOR TO SUBMIT WORK PLAN AND TREE PROTECTION PLAN TO LANDSCAPE ARCHITECT AND BRUCE ALLISON FOR REVIEW AND APPROVAL PRIOR TO BEGINNING WORK.

- (16) TREE GRATES TO BE SALVAGED AND RETURNED TO OWNER.
- (17) CLAY PAVERS TO BE SALVAGED AND RETURNED TO OWNER. CLEAN PAVERS AND PALLETIZE AND DELIVER TO OWNER DESIGNATED STORAGE FACILITY ON CAMPUS.
- (18) EXISTING PLANTER WALL STONE IS TO BE REUSED FOR REBUILDING PLANTERS IN SITU. CAREFULLY REMOVE AND CLEAN STONE. MINIMIZE DISTURBANCE TO TREE ROOTS AND PLANTING SOIL IN PLANTERS.
- (19) CONCRETE WALLS, WALL CAPS AND PAVEMENT TO BE REMOVED.
- (20) SIGN TO BE SALVAGED AND RETURNED TO OWNER.
- (21) WOOD DONOR BENCHES TO BE SALVAGED FOR REUSE ON SITE. SEE DETAILS.
- (22) ALL SITE LIGHTING TO BE REMOVED.

- (23) TRENCH DRAINS AND UNDERGROUND PIPING TO BE REMOVED.
- (24) ALL TREES AND VEGETATION WITH 40 PROTECT LIMITS SHALL BE REMOVED UNLESS OTHERWISE NOTED.
- (25) FOLDING CHAIRS TO BE TURNED OVER TO OWNER.
- (26) AREA WELLS TO BE PROTECTED. SEE STRUCTURAL PLANS FOR DETAILS.
- (27) EGRESS STAIR TO BE REMOVED.
- (28) ALL PARKING SIGNS, METERS AND EXISTING BIKE RACKS TO BE RETURNED TO OWNER.
- (29) PRIMARY VAULT TO BE REMOVED. SEE ELECTRICAL DRAWINGS.

KEY PLAN



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Revisions:

No.	Date	Description
1	11/29/2013	WJW

Graphic Scale	0' 5' 10' 15'
DFD Number	09K1K-01
Set Type	PR
Date Issued	11/29/2013
Sheet Number	C104

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**UTILEIN/WILSON  
MOODY-NOLAN**

Consultant:  
**SMITHGROUP JJR**

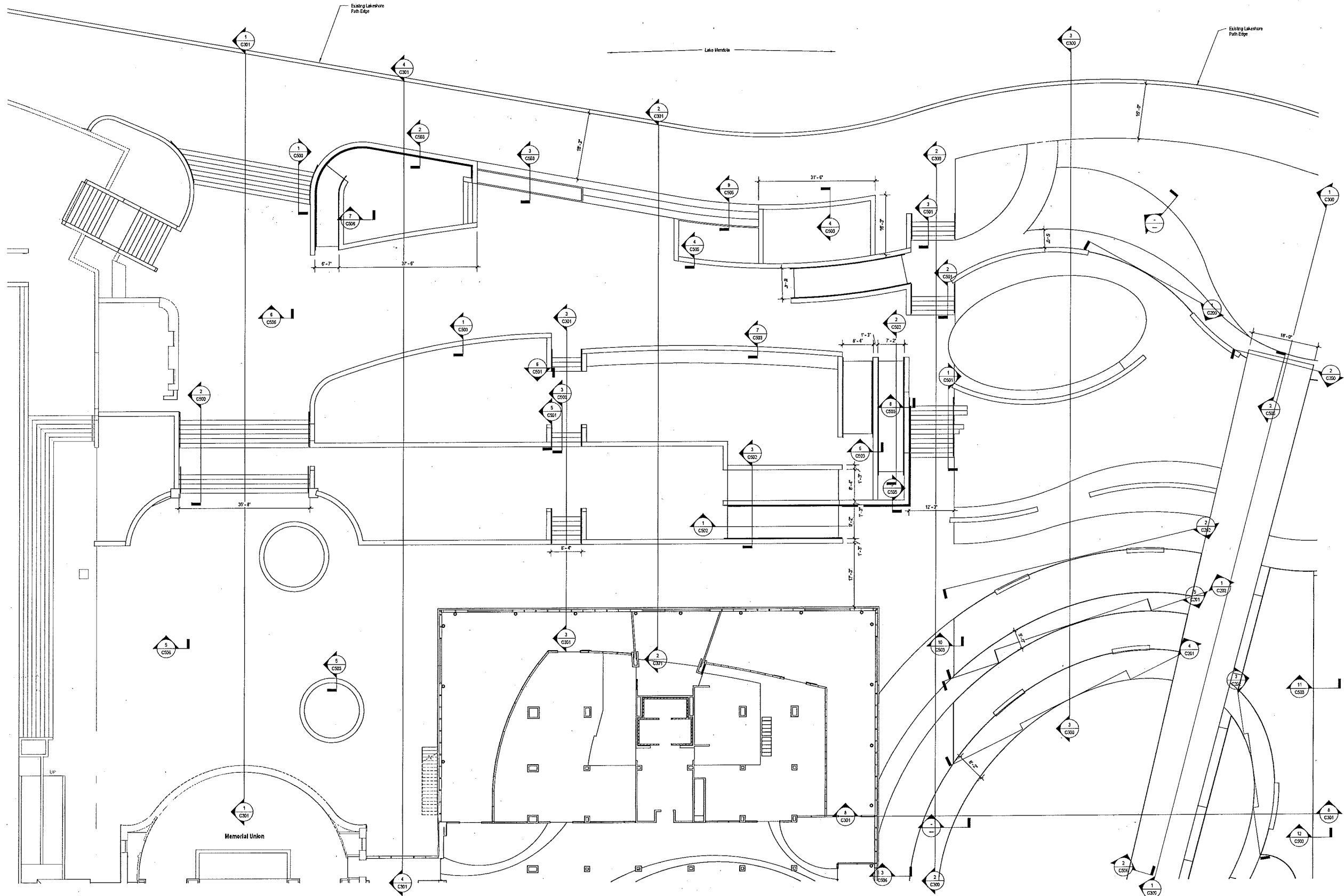
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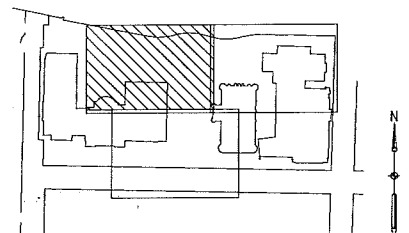
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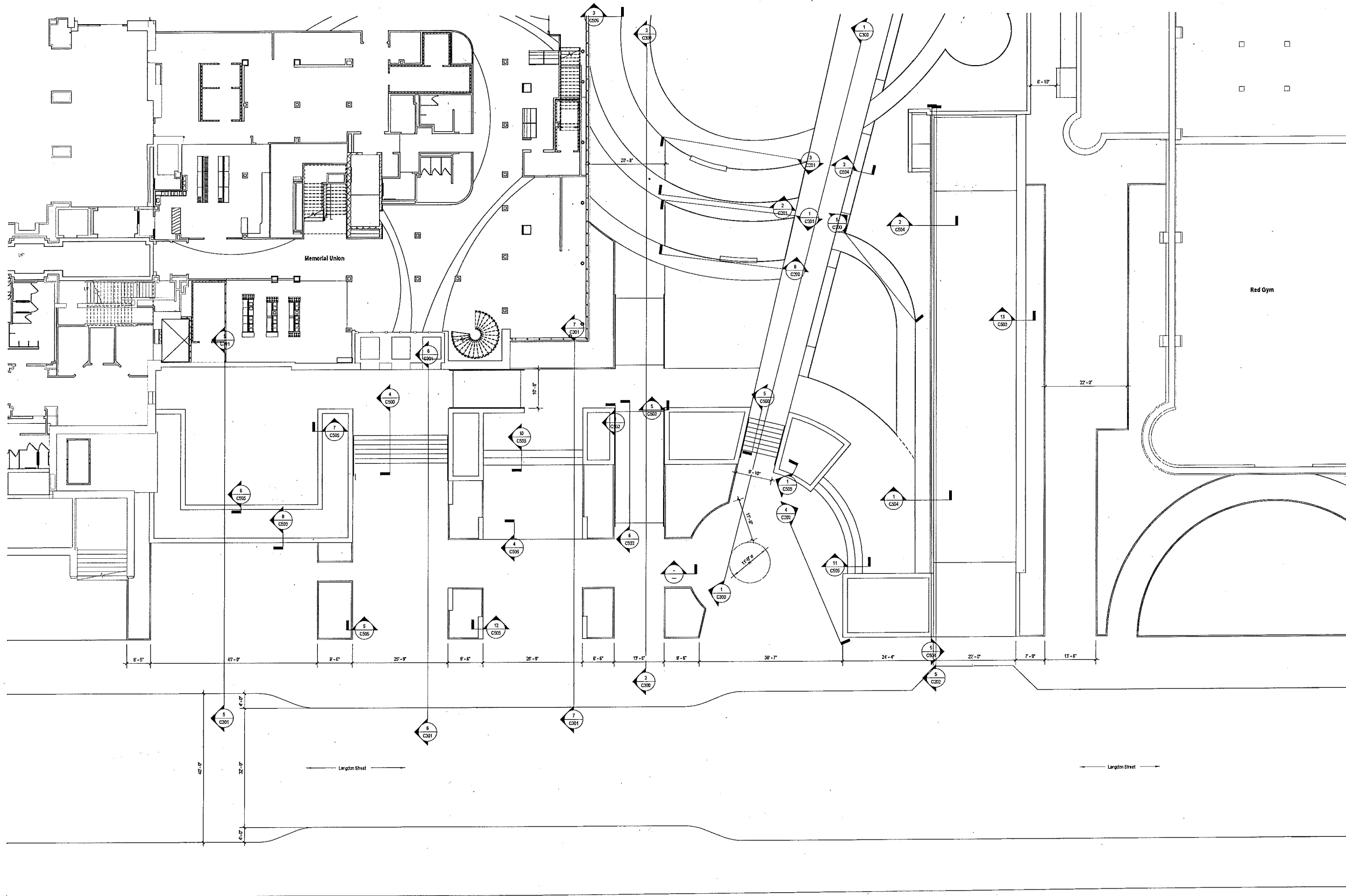




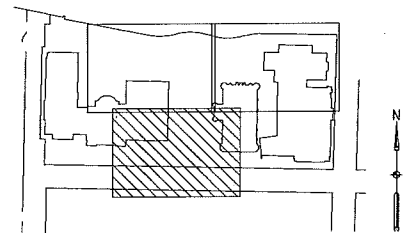
- NOTES**
- CONTRACTOR SHALL CONTACT ENGINEER'S HOTLINE AND APPROPRIATE UTILITY COMPANIES TO FIELD VERIFY UTILITIES PRIOR TO ANY CONSTRUCTION.
  - SEE EXISTING CONDITIONS PLANS C201 FOR LEGEND OF EXISTING FEATURES, PROJECT CONTROL BENCHMARKS, AND CONTROL MONUMENTS.
  - LAYOUT INFORMATION WILL BE PROVIDED TO CONTRACTOR IN ELED TRACING FORMAT FOR CONSTRUCTION LAYOUT. ALL DIMENSIONS SHOWN ARE FOR INFORMATIONAL PURPOSES ONLY. ANY DISCREPANCIES BETWEEN INFORMATION SHOWN AND CADD FILE SHALL BE BROUGHT TO EXISTING LANDSCAPE ARCHITECT'S ATTENTION PRIOR TO CONSTRUCTION.
  - IN ADDITION TO THOSE NOTED ON PLANS, EXPANSION JOINTS SHALL BE LOCATED WHERE CONCRETE PAVEMENT ADJACENT BUILDING FACE AND WALLS WITH FROST FOOTINGS.
  - ALL CURB DIMENSIONS GIVEN TO FACE OF CURB.
  - SEE UTILITY SHEETS C114 - C117 FOR SLEEVES UNDER CONCRETE PAVEMENT.
  - ALL CROSSWALK AND STREET LANE MARKINGS TO BE PAINTED PER SPECIFICATION.
  - SEE SHEETS C118 - C120 FOR SILVA CELL LAYOUT AND DETAILS BELOW FINISHED GRADE.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING AND RESETTING ALL UTILITY CASTINGS IN PATCHED AND TURF AREAS PER SPECIFICATIONS INCLUDING ADJUSTING TOPS AND VERTICALS.
  - ALL BOTTOM OF CURB ELEVATIONS REFER TO FINISHED PAVEMENT SURFACE. IN AREAS WHERE A PLANTER CURB OPENING IS LOCATED, ELEVATION INSIDE PLANTER SHALL BE LOWER TO ACCOMMODATE MULCH DEPTH.



<b>UHLEIN/WILSON MOODY+NOLAN</b>	
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State of Wisconsin Department of Administration Division of Facilities Development	
Wisconsin Union Redevelopment Project Phase II / Alumni Park University of Wisconsin - Madison Madison, Wisconsin	
800 Langdon St. Madison, WI 53706	
Layout Plan	
Revisions:	
No.	Description
1	11/29/13 SP Submittal
Graphic Scale:	
DFD Number:	9K1K-01
Set Type:	PR
Date Issued:	11/29/2013
Sheet Number:	<b>C105</b>



- NOTES**
1. CONTRACTOR SHALL CONTACT ENGINEER HOTLINE AND APPROPRIATE UTILITY COMPANIES TO FIELD VERIFY UTILITIES PRIOR TO ANY CONSTRUCTION.
  2. SEE EXISTING CONDITIONS PLANS C001 FOR LEGEND OF EXISTING FEATURES, PROJECT CONTROL BENCHMARKS, AND CONTROL MONUMENTS.
  3. LAYOUT INFORMATION WILL BE PROVIDED TO CONTRACTOR IN ELECTRONIC FORMAT FOR CONSTRUCTION LAYOUT. ALL DIMENSIONS SHOWN ARE FOR INFORMATIONAL PURPOSES ONLY. ANY DISCREPANCIES BETWEEN INFORMATION SHOWN AND CAD FILE SHALL BE BROUGHT TO ENGINEER/LANDSCAPE ARCHITECT'S ATTENTION PRIOR TO CONSTRUCTION.
  4. IN ADDITION TO THOSE NOTED ON PLANS, EXPANSION JOINTS SHALL BE LOCATED WHERE CONCRETE PAVEMENT ADJACENT BUILDING FACE AND WALLS WITH FROST FOOTINGS.
  5. ALL CURB DIMENSIONS GIVEN TO FACE OF CURB.
  6. SEE UTILITY SHEETS C114 - C117 FOR SLEEVES UNDER CONCRETE PAVEMENT.
  7. ALL CROSSWALK AND STREET LANE MARKINGS TO BE PAINTED PER SPECIFICATION.
  8. SEE SHEETS C118 - C120 FOR SILVA CELL LAYOUT AND DETAILS BELOW FINISHED GRADE.
  9. CONTRACTOR SHALL BE RESPONSIBLE FOR: FOR ADJUSTING AND RESISTING ALL UTILITY CASTINGS IN PAVED AND TURF AREAS FOR SPECIFICATIONS INCLUDING ADJUSTING RINGS AND VORTICAL.
  10. ALL BOTTOM OF CURB ELEVATIONS REFERENCE PAVEMENT SURFACE. IN AREAS WHERE A PLANTER CURB OPENING IS LOCATED, ELEVATION INSIDE PLANTER SHALL BE LOWER TO ACCOMMODATE MULCH DEPTH.




**UHLEIN/WILSON  
MOODY/NOLAN**

Consultant:  
**SMITHGROUP JJR**

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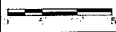
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University of Wisconsin - Madison  
Madison, Wisconsin**

Layout Plan

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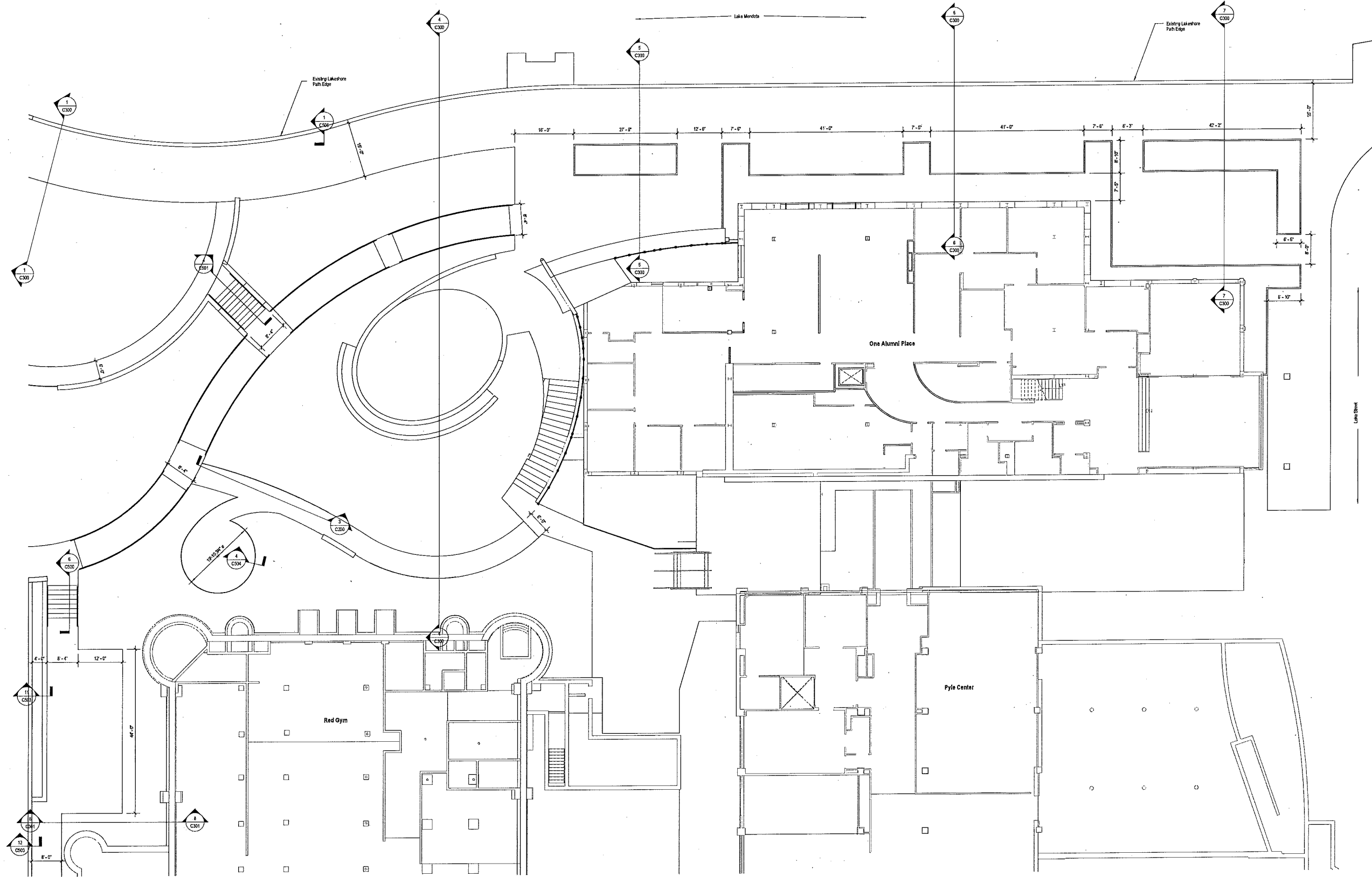
Revisions:	
No.	Description
1	11/29/13

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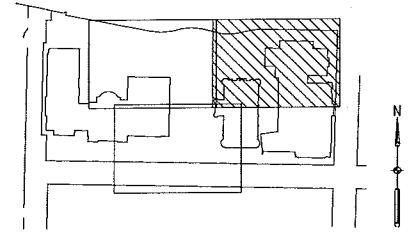
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DFD Number	9K1K-01
Set Type	PR
Date Issued	11/29/2013
Sheet Number	<b>C106</b>

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- NOTES:**
1. CONTRACTOR SHALL CONTACT DODGERS HOTLINE AND APPROPRIATE UTILITY COMPANIES TO FIELD VERIFY UTILITIES PRIOR TO ANY CONSTRUCTION.
  2. SEE EXISTING CONDITIONS PLANS C051 FOR LEGEND OF EXISTING FEATURES, PROJECT CONTROL BENCHMARKS, AND CONTROL MONUMENTS.
  3. LAYOUT INFORMATION WILL BE PROVIDED TO CONTRACTOR IN ELECTRONIC FORMAT FOR CONSTRUCTION LAYOUT. ALL DIMENSIONS SHOWN ARE FOR INFORMATIONAL PURPOSES ONLY. ANY DISCREPANCIES BETWEEN INFORMATION SHOWN AND CAD FILE SHALL BE BROUGHT TO ENGINEER/LANDSCAPE ARCHITECT'S ATTENTION PRIOR TO CONSTRUCTION.
  4. IN ADDITION TO THOSE NOTED ON PLANS, EXPANSION JOINTS SHALL BE LOCATED WHERE CONCRETE PAVEMENT ADJACENT BUILDING FACE AND WALLS WITH FIRST FOOTINGS.
  5. ALL CURB DIMENSIONS GIVEN TO FACE OF CURB.
  6. SEE UTILITY SHEETS C114 - C117 FOR SLEEVES UNDER CONCRETE PAVEMENT.
  7. ALL CROSSWALK AND STREET LANE MARKINGS TO BE PAINTED PER SPECIFICATION.
  8. SEE SHEETS C118 - C123 FOR SILVA CELL LAYOUT AND DETAILS BELOW FINISHED GRADE.
  9. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING AND RESETTING ALL UTILITY CASTINGS IN PAVED AND TURF AREAS PER SPECIFICATIONS (INCLUDING ADJUSTING RINGS AND MORTAR).
  10. ALL BOTTOM OF CURB ELEVATIONS REFERENCE PAVEMENT SURFACE. IN AREAS WHERE A PLANTER CURB OPENING IS LOCATED, ELEVATION INSIDE PLANTER SHALL BE LOWER TO ACCOMMODATE MULCH DEPTH.




**WILHELM WILSON  
MOODY & NOLAN**

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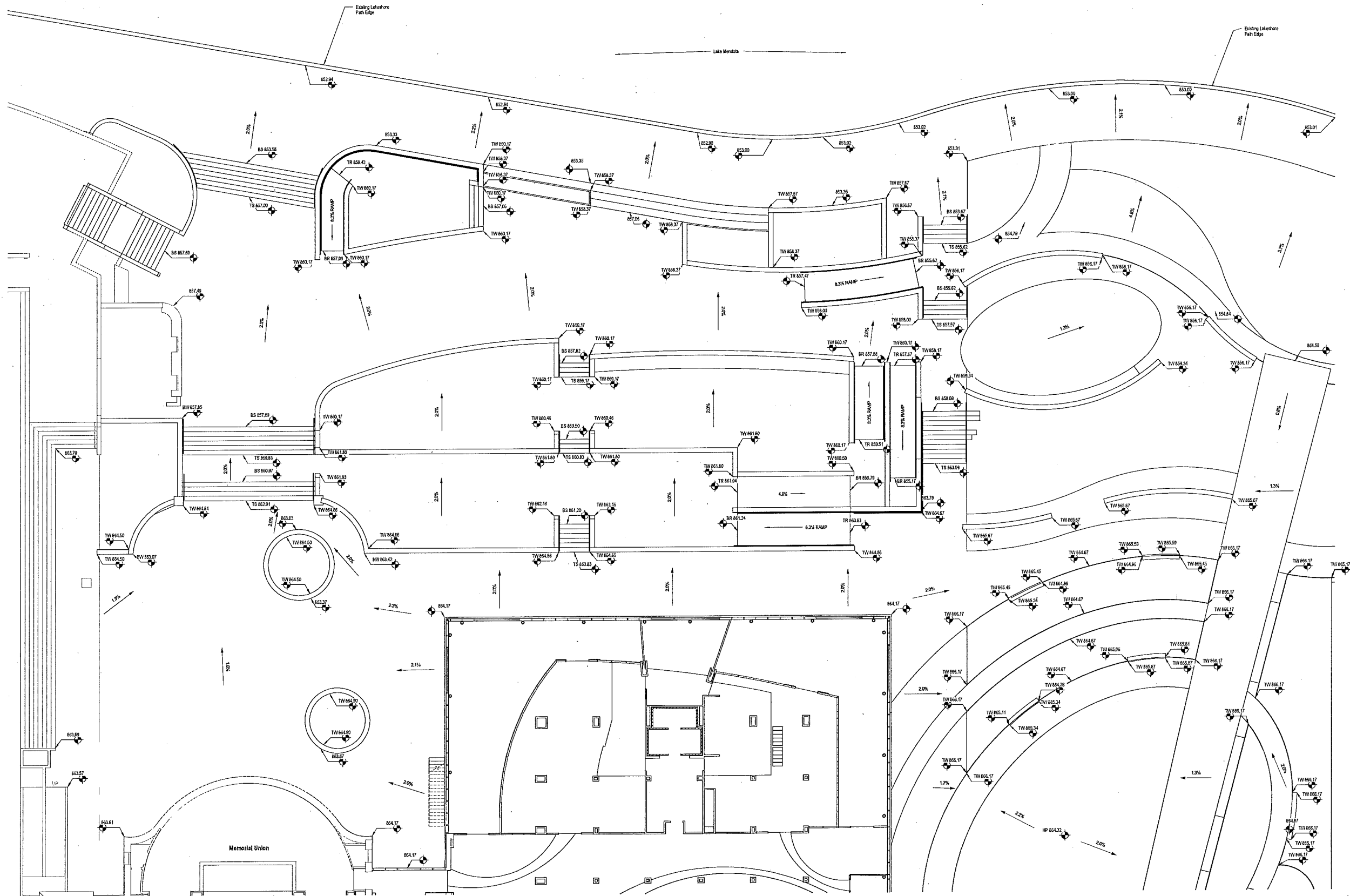
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University of Wisconsin - Madison  
Madison, Wisconsin**

Layout Plan

Revisions:	No.	Date	Description
	1	11/29/13	SP Submittal

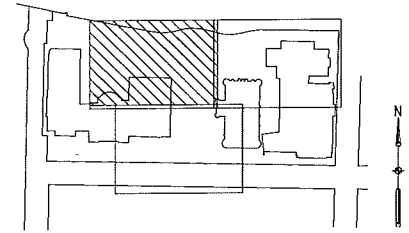
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Graphic Scale	
DFD Number	9K1K-01
Set Type	PR
Date Issued	11/29/2013
Sheet Number	<b>C107</b>



- LEGEND**
- LP LOW POINT
  - HP HIGH POINT
  - BS BOTTOM OF STAIR
  - TS TOP OF STAIR
  - EW BOTTOM OF WALL
  - TW TOP OF WALL
  - BC BOTTOM OF CURB
  - TC TOP OF CURB
  - BR BOTTOM OF RAMP
  - TR TOP OF RAMP
  - DOWN SLOPE %

- NOTES**
1. EXCESS UNCLASSIFIED EXCAVATION NOT USABLE ON SITE SHALL BE REMOVED AND DISCARDED BY CONTRACTOR.
  2. SPOT ELEVATIONS AT ALL ENTRIES ARE FINISH GRADE ELEVATIONS UNLESS OTHERWISE INDICATED. FINISH GRADE AT SOME ENTRIES MAY BE PAVERS.
  3. BUILDING FINISH FLOOR ELEVATIONS  
 SOUTHWEST LOBBY: 653.32  
 THEATER LOBBY: 657.87  
 HOOFFERS: 653.32  
 BRAT STAIR LOBBY/74  
 ELEVATOR #4 (HOPPER): 653.32

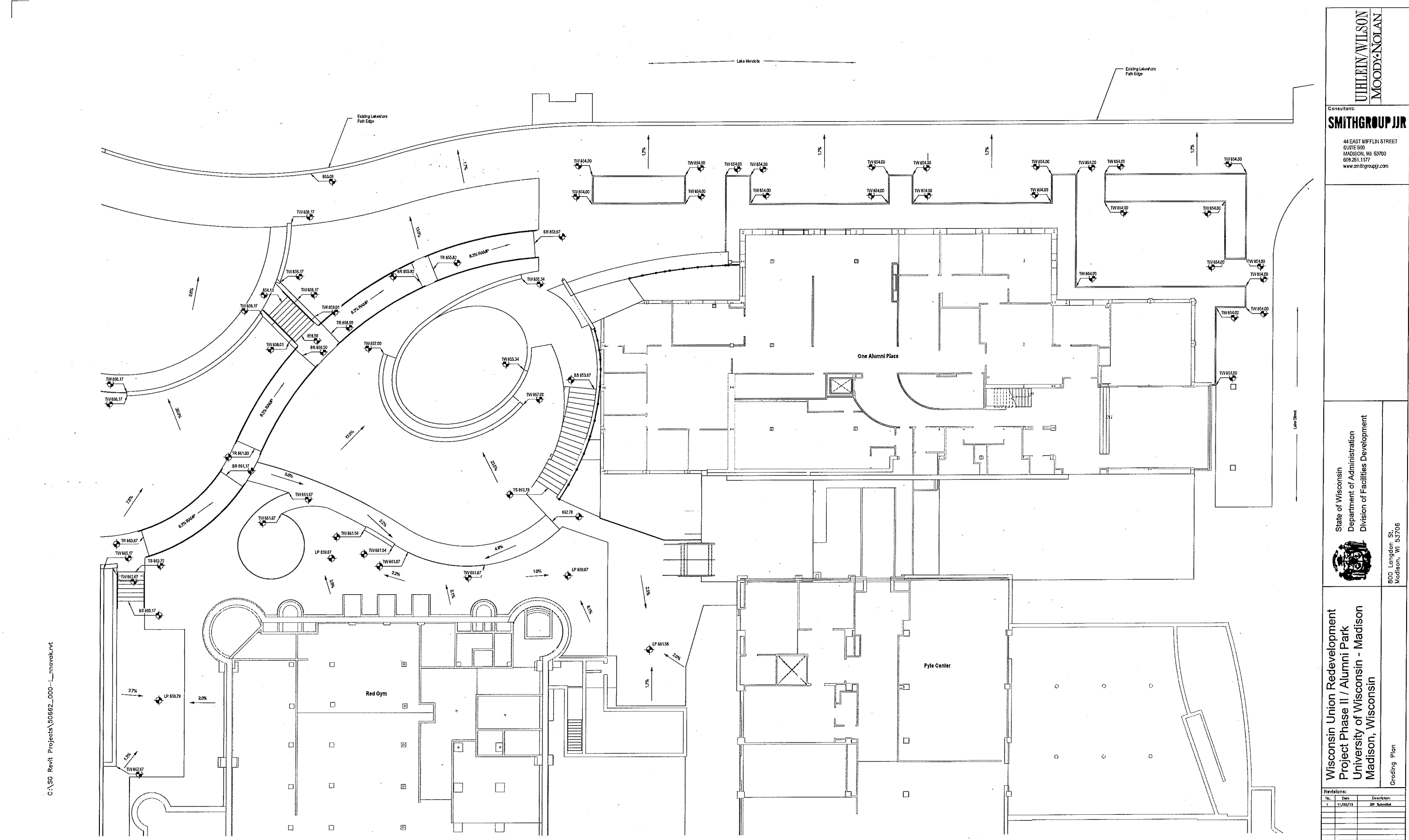


Revisions:	No.	Date	Description
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Graphic Scale	
DFD Number	9K1K-01
Set Type	PR
Date Issued	11/29/2013
Sheet Number	<b>C108</b>



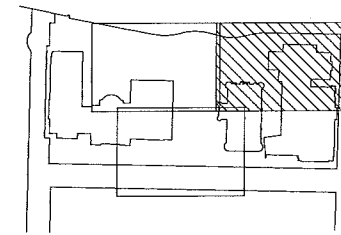


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**LEGEND:**  
 LP LOW POINT  
 HP HIGH POINT  
 BS BOTTOM OF STAR  
 TS TOP OF STAR  
 EW BOTTOM OF WALL  
 TW TOP OF WALL  
 BC BOTTOM OF CURB  
 TC TOP OF CURB  
 BR BOTTOM OF RAMP  
 TR TOP OF RAMP  
 — DOWN SLOPE%


**NOTES:**  
 1. EXCESS UNCLASSIFIED EXCAVATION NOT USABLE ON SITE SHALL BE REMOVED AND DISCARDED BY CONTRACTOR.  
 2. SPOT ELEVATIONS AT ALL ENTRIES ARE FINISH GRADE ELEVATIONS UNLESS OTHERWISE INDICATED. FINISH GRADE AT SOME ENTRIES MAY BE PARALLEL.  
 3. BUILDING FINISH FLOOR ELEVATIONS:  
 THEATER LOBBY: 857.82  
 HOFFERS: 855.52  
 BRAT STAND DOOR 857.74  
 BUILDING 9-27 (A) 845.42



UHLER/WILSON  
MOODY-NOLAN

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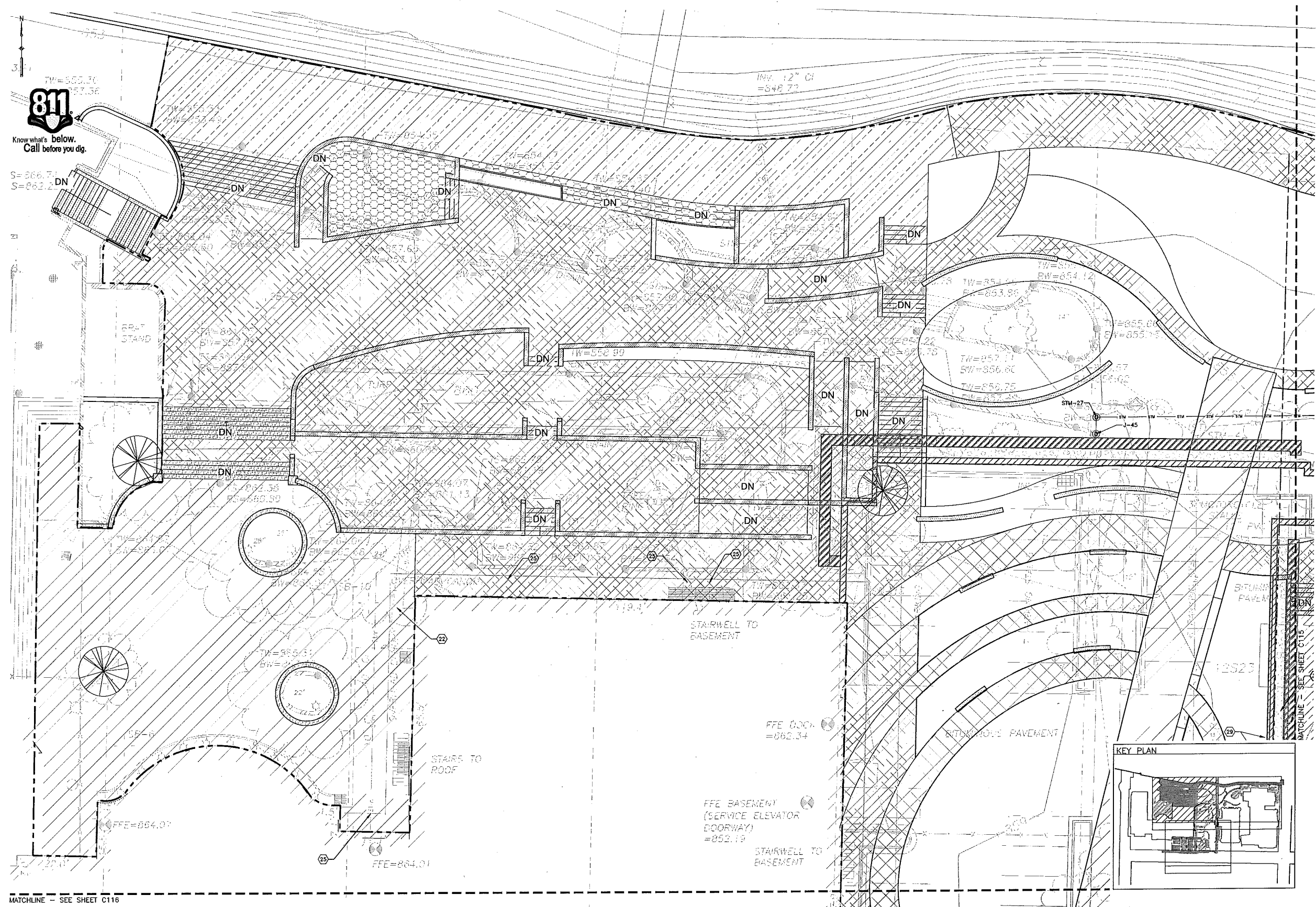
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Grading Plan

Revisions:		
No.	Date	Description
1	11/29/13	SP Submittal

Graphic Scale	1" = 20'
DFD Number	9K1K-01
Set Type	PR
Date Issued	11/29/2013
Sheet Number	C110



**LEGEND AND KEYNOTES**

	XX GREY CONCRETE WALKWAY		XX STEPS AT THE TERRACE
	XX COLOR SAND/BLAST CONCRETE		XX PRECAST STONE WALLS
	XX CONCRETE PAVERS		XX MASONRY STONE BENCHES & SEATS
	XX NATURAL STONE PAVEMENT		
	XX WOOD SEATING & STAGE		
	XX HISTORIC STONE WALLS & STEPS		
	XX CONCRETE WALLS W/ STONE CAPS AT THE TERRACE		

- NOTES**
- CONTRACTOR SHALL CONTACT UTILITY COMPANIES TO FIELD VERIFY UTILITIES PRIOR TO ANY CONSTRUCTION.
  - SEE EXISTING CONDITIONS PLANS C001 FOR LEGEND OF EXISTING FEATURES, PROJECT CONTROL BENCHMARKS, AND CONTROL MONUMENTS.
  - SEE SHEETS C105 - C107 FOR LAYOUT INFORMATION.
  - EXISTING AND NEW UTILITY STRUCTURES NOT SHOWN TO SCALE.
  - CONTRACTOR SHALL CONTACT CAMPUS TRANSPORTATION SERVICES TO SUPPLY ALL SERVICE PARKING SIGNS. CONTRACTOR SHALL SUPPLY ALL OTHER SIGNS SHOWN ON PLANS. ALL SIGNS SHALL BE MOUNTED AND INSTALLED BY CONTRACTOR. SEE DETAIL 600x FOR SIGN INSTALLATION.

**811**  
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MOODY+NOLAN**

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Madison, Wisconsin  
Materials Plan

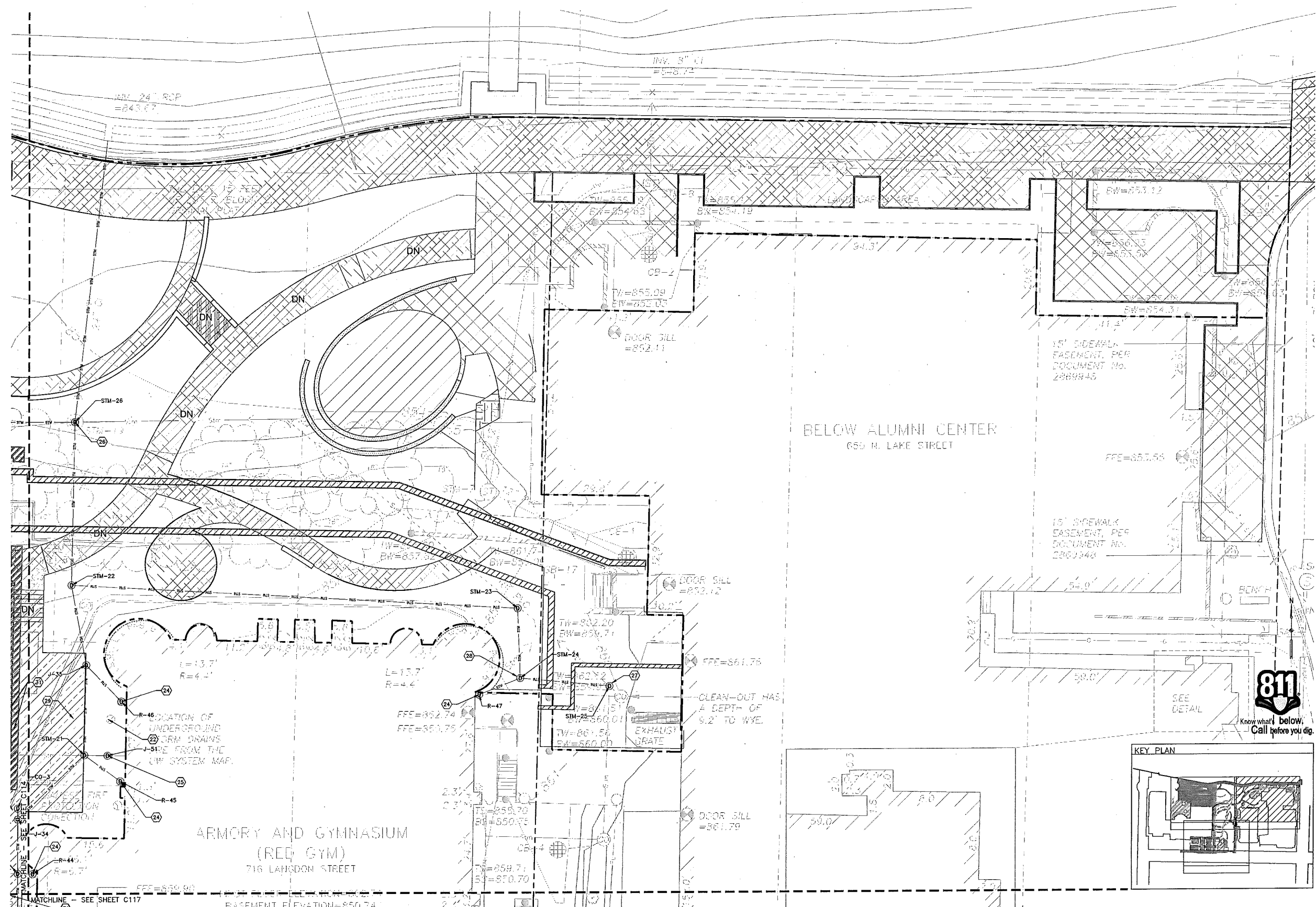
Revisions:

No.	Date	Description
1	11/29/2013	AS SHOWN

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Set Type: PR  
Date Issued: 11/29/2013  
Sheet Number: **C111**

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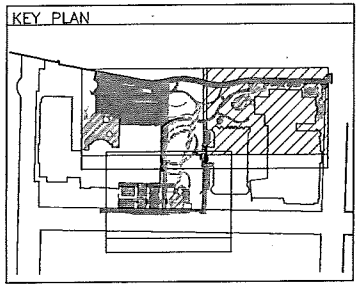


LEGEND AND KEYNOTES

	XX GREY CONCRETE WALKWAY		XX STEPS AT THE TERRACE
	XX COLOR/SANDBLAST CONCRETE		XX PRECAST STONE WALLS
	XX CONCRETE PAVERS		XX MONOLITHIC STONE BENCHES & SEATS
	XX NATURAL STONE PAVEMENT		
	XX WOOD SEATING & STAGE		
	XX HISTORIC STONE WALLS & STEPS		
	XX CONCRETE WALLS W/ STONE CAPS AT THE TERRACE		

**NOTES**

- CONTRACTOR SHALL CONTACT INDIANAS HOTLINE AND APPROPRIATE UTILITY COMPANIES TO FIELD VERIFY UTILITIES PRIOR TO ANY CONSTRUCTION.
- SEE EXISTING CONDITIONS PLANS C081 FOR LEGEND OF EXISTING FEATURES, PROJECT CONTROL BENCHMARKS, AND CONTROL MONUMENTS.
- SEE SHEETS C106 - C107 FOR LAYOUT INFORMATION.
- EXISTING AND NEW UTILITY STRUCTURES NOT SHOWN TO SCALE.
- CONTRACTOR SHALL CONTACT CAMPUS TRANSPORTATION SERVICES TO SUPPLY ALL SERVICE PARKING SIGNS. CONTRACTOR SHALL SUPPLY ALL OTHER SIGNS SHOWN ON PLANS. ALL SIGNS SHALL BE MOUNTED AND INSTALLED BY CONTRACTOR. SEE DETAIL BOOK FOR SIGN INSTALLATION.



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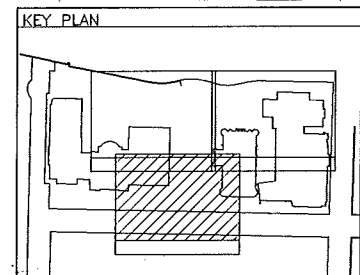
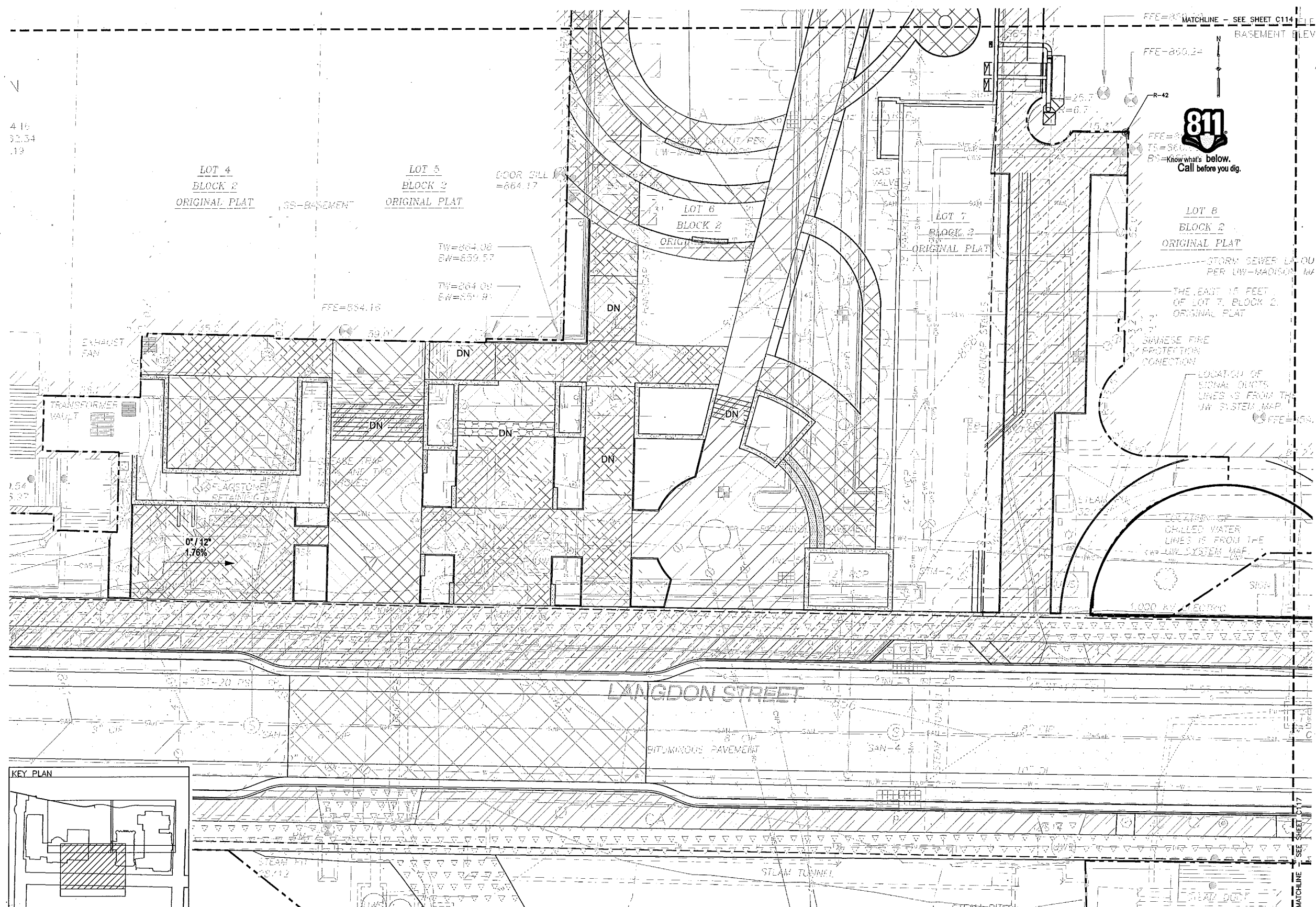
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DFD Number	09K1K-01
Set Type	PR
Date Issued	11/29/2013
Sheet Number	C112





**LEGEND AND KEYNOTES**

	XX GREY CONCRETE WALKWAY		XX STEPS AT THE TERRACE
	XX COLOR SANDBLAST CONCRETE		XX PRECAST STONE WALLS
	XX CONCRETE PAVERS		XX MONOLITHIC STONE BENCHES & SEATS
	XX NATURAL STONE PAVEMENT		
	XX WOOD SEATING & STAGE		
	XX HISTORIC STONE WALLS & STEPS		
	XX CONCRETE WALLS W/ STONE CAPS AT THE TERRACE		

- NOTES:**
- CONTRACTOR SHALL CONTACT DIGGERS HOTLINE AND APPROPRIATE UTILITY COMPANIES TO FIELD VERIFY UTILITIES PRIOR TO ANY CONSTRUCTION.
  - SEE EXISTING CONDITIONS PLANS C001 FOR LEGEND OF EXISTING FEATURES, PROJECT CONTROL, BENCHMARKS, AND CONTROL MONUMENTS.
  - SEE SHEETS C105 - C107 FOR LAYOUT INFORMATION.
  - EXISTING AND NEW UTILITY STRUCTURES NOT SHOWN TO SCALE.
  - CONTRACTOR SHALL CONTACT CAMPUS TRANSPORTATION SERVICES TO SUPPLY ALL SERVICE PARKING SIGNS. CONTRACTOR SHALL SUPPLY ALL OTHER SIGNS SHOWN ON PLANS. ALL SIGNS SHALL BE MOLDED AND INSTALLED BY CONTRACTOR. SEE DETAIL 6000 FOR SIGN INSTALLATION.

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Materials Plan

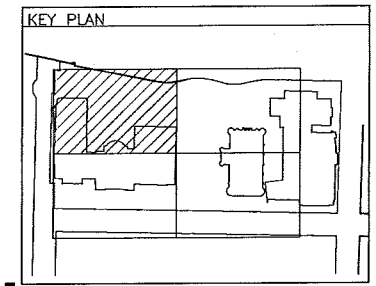
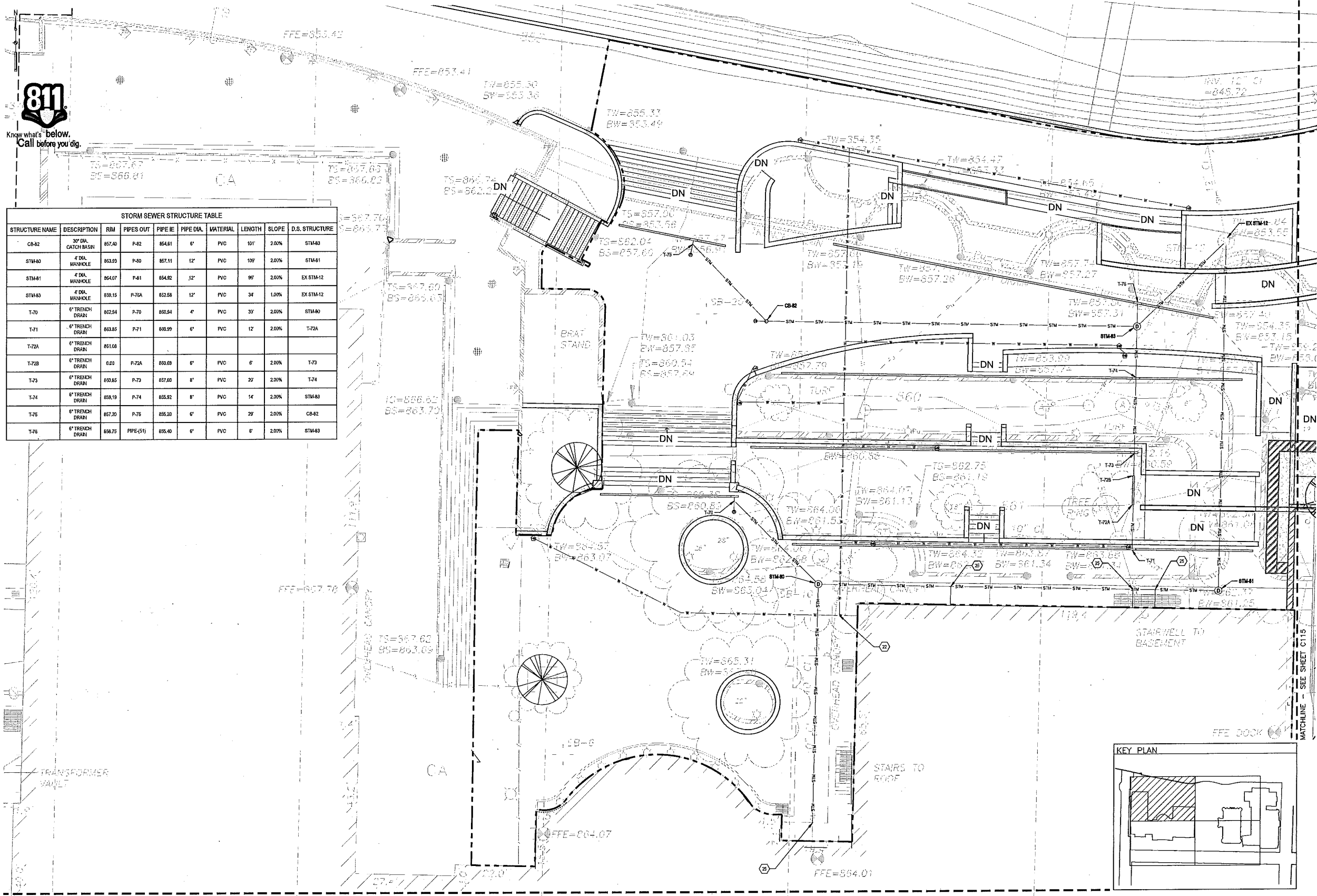
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DFD Number:	08K1K-01	
Set Type:	PR	
Date Issued:	11/29/2013	
Sheet Number:	<b>C113</b>	





Know what's below.  
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STORM SEWER STRUCTURE TABLE									
STRUCTURE NAME	DESCRIPTION	RIM	PIPES OUT	PIPE IE	PIPE DIA.	MATERIAL	LENGTH	SLOPE	D.S. STRUCTURE
CB-82	30" DIA. CATCH BASIN	857.40	P-82	854.61	6"	PVC	101'	2.00%	STM-83
STM-80	4" DIA. MANHOLE	853.93	P-80	857.11	12"	PVC	109'	2.00%	STM-81
STM-81	4" DIA. MANHOLE	854.07	P-81	854.82	12"	PVC	99'	2.00%	EX STM-12
STM-83	4" DIA. MANHOLE	859.15	P-76A	852.58	12"	PVC	34'	1.00%	EX STM-12
T-70	6" TRENCH DRAIN	862.54	P-70	860.94	4"	PVC	33'	2.00%	STM-80
T-71	6" TRENCH DRAIN	863.85	P-71	860.99	6"	PVC	12'	2.00%	T-72A
T-72A	6" TRENCH DRAIN	851.08							
T-72B	6" TRENCH DRAIN	0.00	P-72A	860.89	6"	PVC	6'	2.00%	T-73
T-73	6" TRENCH DRAIN	850.85	P-73	857.80	8"	PVC	20'	2.00%	T-74
T-74	6" TRENCH DRAIN	859.19	P-74	855.92	8"	PVC	14'	2.00%	STM-83
T-75	6" TRENCH DRAIN	857.20	P-75	855.20	6"	PVC	29'	2.00%	CB-82
T-76	6" TRENCH DRAIN	858.75	PIPE(S)	855.40	6"	PVC	6'	2.00%	STM-83



KEYNOTES

- 20 CONNECT TO SANITARY SEWER SERVICE SHEET OUTSIDE OF BUILDING.
- 21 CONNECT TO EXISTING SANITARY SEWER
- 22 CONNECT TO WATER SERVICE 5 FEET OUTSIDE OF BUILDING.
- 23 CONNECT TO EXISTING WATER MAIN
- 24 CONNECT TO ROOF DRAIN
- 25 CONNECT TO STORM SEWER SERVICE 5 FEET OUTSIDE OF BUILDING
- 26 CONNECT TO EXISTING STORM SEWER MANHOLE.

LEGEND

- 27 INLET WELL WITH GRINDER PUMP
- 28 VALVE MANHOLE WITH CHECK VALVE & GATE VALVE.
- 29 8" INCH D.I. PIPE
- 30 6" INCH D.I. PIPE
- 31 8" INCH VALVE
- 32 6" INCH VALVE
- 33

NOTES

- PROJECT BOUNDARY
- WATER FFE
- SANITARY SEWER PIPE
- STORM SEWER PIPE
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- WATER VALVE

UTILITY CLEARANCE NOTES

- 41
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MATCHLINE - SEE SHEET C116

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MOODY NOLAN

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University of Wisconsin - Madison  
Madison, Wisconsin  
Utility Plan

Revisions:	
No.	Description
1	11/29/2013

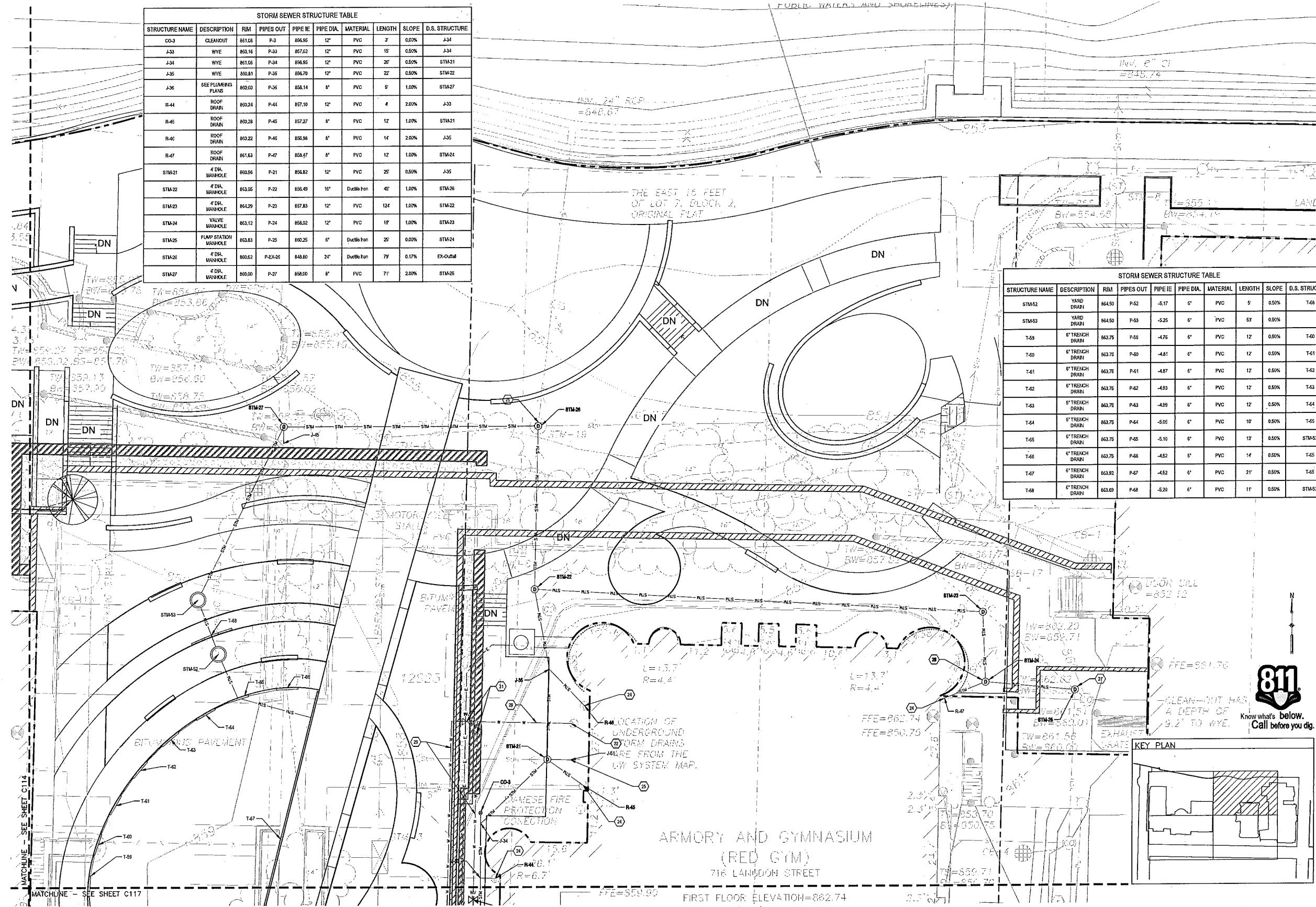
  

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Date Issued	11/29/2013
Sheet Number	<b>C114</b>

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STORM SEWER STRUCTURE TABLE									
STRUCTURE NAME	DESCRIPTION	RIM	PIPES OUT	PIPE IE	PIPE DIA.	MATERIAL	LENGTH	SLOPE	D.S. STRUCTURE
CO-3	CLEANOUT	851.58	P-3	856.55	12"	PVC	3'	0.00%	J-34
J-33	WYE	850.16	P-33	857.52	12"	PVC	15'	0.50%	J-34
J-34	WYE	851.55	P-34	856.55	12"	PVC	25'	0.50%	STM-21
J-35	WYE	850.81	P-35	856.70	12"	PVC	22'	0.50%	STM-22
J-36	SEE PLUMBING PLANS	852.00	P-36	858.14	8"	PVC	9'	1.00%	STM-27
R-44	ROOF DRAIN	850.24	P-44	857.10	12"	PVC	4'	2.00%	J-33
R-45	ROOF DRAIN	850.28	P-45	857.27	8"	PVC	12'	1.00%	STM-21
R-46	ROOF DRAIN	850.22	P-46	856.58	8"	PVC	14'	2.00%	J-35
R-47	ROOF DRAIN	851.63	P-47	858.47	8"	PVC	12'	1.00%	STM-24
STM-21	4 DIA. MANHOLE	850.59	P-21	856.82	12"	PVC	25'	0.50%	J-35
STM-22	4 DIA. MANHOLE	853.05	P-22	856.49	16"	Ductile Iron	40'	1.00%	STM-26
STM-23	4 DIA. MANHOLE	854.29	P-23	857.83	12"	PVC	124'	1.00%	STM-22
STM-24	VALVE MANHOLE	853.12	P-24	858.02	12"	PVC	18'	1.00%	STM-23
STM-25	PUMP STATION MANHOLE	853.83	P-25	850.25	6"	Ductile Iron	25'	0.00%	STM-24
STM-26	4 DIA. MANHOLE	850.52	P-EX-26	848.80	24"	Ductile Iron	79'	0.17%	EX-O-548
STM-27	4 DIA. MANHOLE	850.00	P-27	858.00	8"	PVC	71'	2.00%	STM-25

STORM SEWER STRUCTURE TABLE									
STRUCTURE NAME	DESCRIPTION	RIM	PIPES OUT	PIPE IE	PIPE DIA.	MATERIAL	LENGTH	SLOPE	D.S. STRUCTURE
STM-52	YARD DRAIN	664.50	P-52	-5.17	6"	PVC	5'	0.50%	T-68
STM-53	YARD DRAIN	664.50	P-53	-5.25	6"	PVC	57'	0.50%	
T-59	6" TRENCH DRAIN	663.75	P-59	-4.76	6"	PVC	12'	0.50%	T-60
T-60	6" TRENCH DRAIN	663.75	P-60	-4.81	6"	PVC	12'	0.50%	T-61
T-61	6" TRENCH DRAIN	663.75	P-61	-4.87	6"	PVC	12'	0.50%	T-62
T-62	6" TRENCH DRAIN	663.75	P-62	-4.93	6"	PVC	12'	0.50%	T-63
T-63	6" TRENCH DRAIN	663.75	P-63	-4.99	6"	PVC	12'	0.50%	T-64
T-64	6" TRENCH DRAIN	663.75	P-64	-5.05	6"	PVC	10'	0.50%	T-65
T-65	6" TRENCH DRAIN	663.75	P-65	-5.10	6"	PVC	13'	0.50%	STM-52
T-66	6" TRENCH DRAIN	663.75	P-66	-4.52	6"	PVC	14'	0.50%	T-65
T-67	6" TRENCH DRAIN	663.82	P-67	-4.52	6"	PVC	21'	0.50%	T-65
T-68	6" TRENCH DRAIN	663.69	P-68	-5.20	6"	PVC	11'	0.50%	STM-53



- KEYNOTES**
- (16) CONNECT TO SANITARY SEWER SERVICE 5 FEET OUTSIDE OF BUILDING.
  - (21) CONNECT TO EXISTING SANITARY SEWER.
  - (22) CONNECT TO WATER SERVICE 5 FEET OUTSIDE OF BUILDING.
  - (23) CONNECT TO EXISTING WATER MAIN.
  - (24) CONNECT TO ROOF DRAIN.
  - (25) CONNECT TO STORM SEWER SERVICE 5 FEET OUTSIDE OF BUILDING.
  - (26) CONNECT TO EXISTING STORM SEWER MANHOLE.

- LEGEND**
- (27) WET WELL WITH GRINDER PUMP
  - (28) VALVE MANHOLE WITH CHECK VALVE & GATE VALVE.
  - (29) 8 INCH O.D. PIPE
  - (30) 6 INCH O.D. PIPE
  - (31) 6 INCH VALVE
  - (32) 6 INCH VALVE
  - (33) 6 INCH VALVE

- NOTES**
- PROJECT BOUNDARY
  - WATER PIPE
  - SANITARY SEWER PIPE
  - STORM SEWER PIPE
  - SANITARY SEWER MANHOLE
  - STORM SEWER MANHOLE
  - WATER VALVE

- UTILITY CLEARANCE NOTES**
1. SEE EXISTING CONDITIONS PLAN FOR LEGEND OF EXISTING FEATURES, BENCHMARKS, AND CONTROL POINTS.
  2. CONTRACTOR SHALL PROTECT ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION UNLESS DESIGNATED FOR REMOVAL OR PERMISSION GIVEN IN WRITING BY UNIVERSITY OF WISCONSIN PLUMBING SUPERVISOR.
  3. WATER MAIN SHALL HAVE 7.0 FT MIN. COVER.
  4. MAINTAIN CLEARANCE BETWEEN WATER MAINS ADM. EXISTING OR PROPOSED SEWER LINES AS IN CONFORMANCE WITH SPECIFICATIONS.
  5. CONTRACTOR SHALL CONNECT ALL UTILITIES SHOWN ON DRAWING TO BUILDING OUTLETS 5'-0" OUTSIDE THE FACE OF THE BUILDING.
  6. CONTRACTOR TO VERIFY LOCATION (HORIZONTAL AND VERTICAL) OF ALL EXISTING UTILITIES WHERE CROSSINGS OCCUR WITH PROPOSED UTILITIES. CONTRACTOR TO VERIFY LOCATION OF THE UTILITIES PRIOR TO FINALIZING SHOP DRAWINGS AND FABRICATION OF STRUCTURES.

**UTILEIN/WILSON  
MOODY/NOLAN**

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Wisconsin Union Redevelopment  
Project - Phase II/Alumni Park  
University of Wisconsin - Madison  
Madison, Wisconsin  
Utility Plan

Revision:	No.	Date	Description
1	11/29/2013		UP L-1041

Graphic Scale: 0' 2' 4' 8' 12'

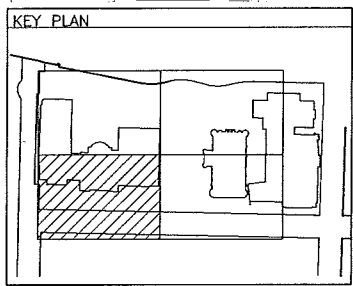
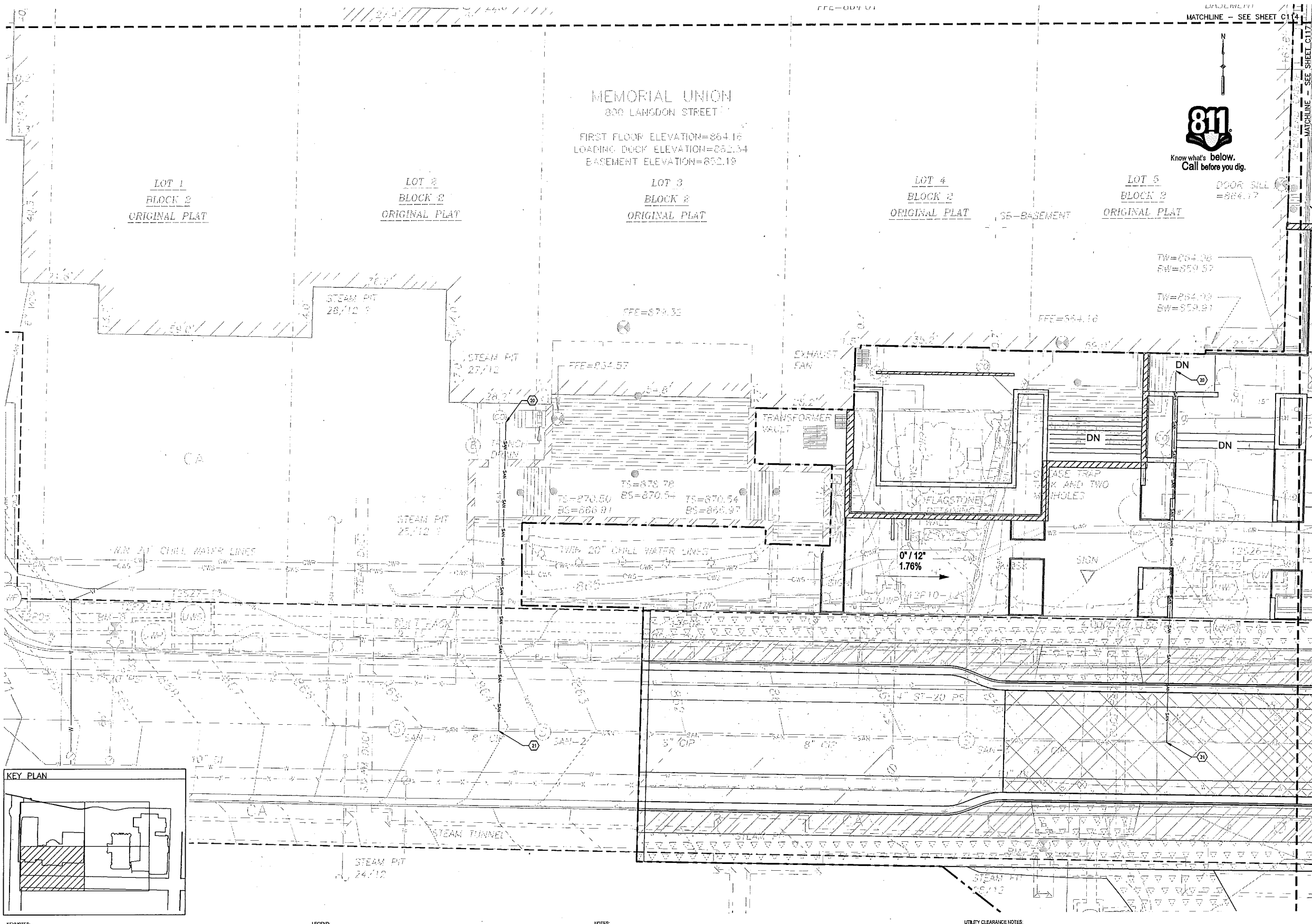
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Set Type: PR

Date Issued: 11/29/2013

Sheet Number: **C115**

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**KEYNOTES**

20	CONNECT TO SANITARY SEWER SERVICE 5- FEET OUTSIDE OF BUILDING.
21	CONNECT TO EXISTING SANITARY SEWER
22	CONNECT TO WATER SERVICE 5- FEET OUTSIDE OF BUILDING.
23	CONNECT TO EXISTING WATER MAIN.
24	CONNECT TO ROOF DRAIN.
25	CONNECT TO STORM SEWER SERVICE 5- FEET OUTSIDE OF BUILDING.
26	CONNECT TO EXISTING STORM SEWER MANHOLE.

**LEGEND**

27	WET WELL WITH GRINDER PUMP
28	VALVE MANHOLE WITH CHECK VALVE & GATE VALVE.
29	8 INCH D.I. PIPE
30	8 INCH D.I. PIPE
31	8 INCH VALVE
32	8 INCH VALVE
33	8 INCH VALVE

**PROJECT BOUNDARY** (dashed line)

**WATER PIPE** (solid line)

**SANITARY SEWER PIPE** (line with 'S' markers)

**STORM SEWER PIPE** (line with 'STW' markers)

**SANITARY SEWER MANHOLE** (circle with 'S')

**STORM SEWER MANHOLE** (circle with 'D')

**WATER VALVE** (square with 'X')

**NOTES**

●	STORM SEWER CLEANOUT
⊕	HOSE END
■	CURB INLET
—	TRENCH DRAIN

- NOTES**
- SEE EXISTING CONDITIONS PLAN FOR LEGEND OF EXISTING FEATURES, BENCHMARKS, AND CONTROL MARKERS.
  - CONTRACTOR SHALL PROTECT ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION UNLESS DESIGNATED FOR EXCAVATION OR PERMISSION GIVEN IN WRITING BY UNIVERSITY OF WISCONSIN PLUMBING SUPERVISOR.
  - WATER MAIN SHALL HAVE 7.0 FT MIN. COVER.
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  - CONTRACTOR SHALL CONNECT ALL UTILITIES SHOWN ON DRAWING TO BUILDING OUTLETS 5'-0" OUTSIDE THE FACE OF THE BUILDING.
  - CONTRACTOR TO VERIFY LOCATION (HORIZONTAL AND VERTICAL) OF ALL EXISTING UTILITIES WHERE CROSSINGS OCCUR WITH PROPOSED UTILITIES. CONTRACTOR TO VERIFY LOCATION OF THE UTILITIES PRIOR TO FINAL SHOP DRAWINGS AND FABRICATION OF STRUCTURES.

**UTILITY CLEARANCE NOTES**

60	61	62
63	64	65
66	67	68

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**Revisions:**

No.	Date	Description
1	11/29/13	Issue for Permit

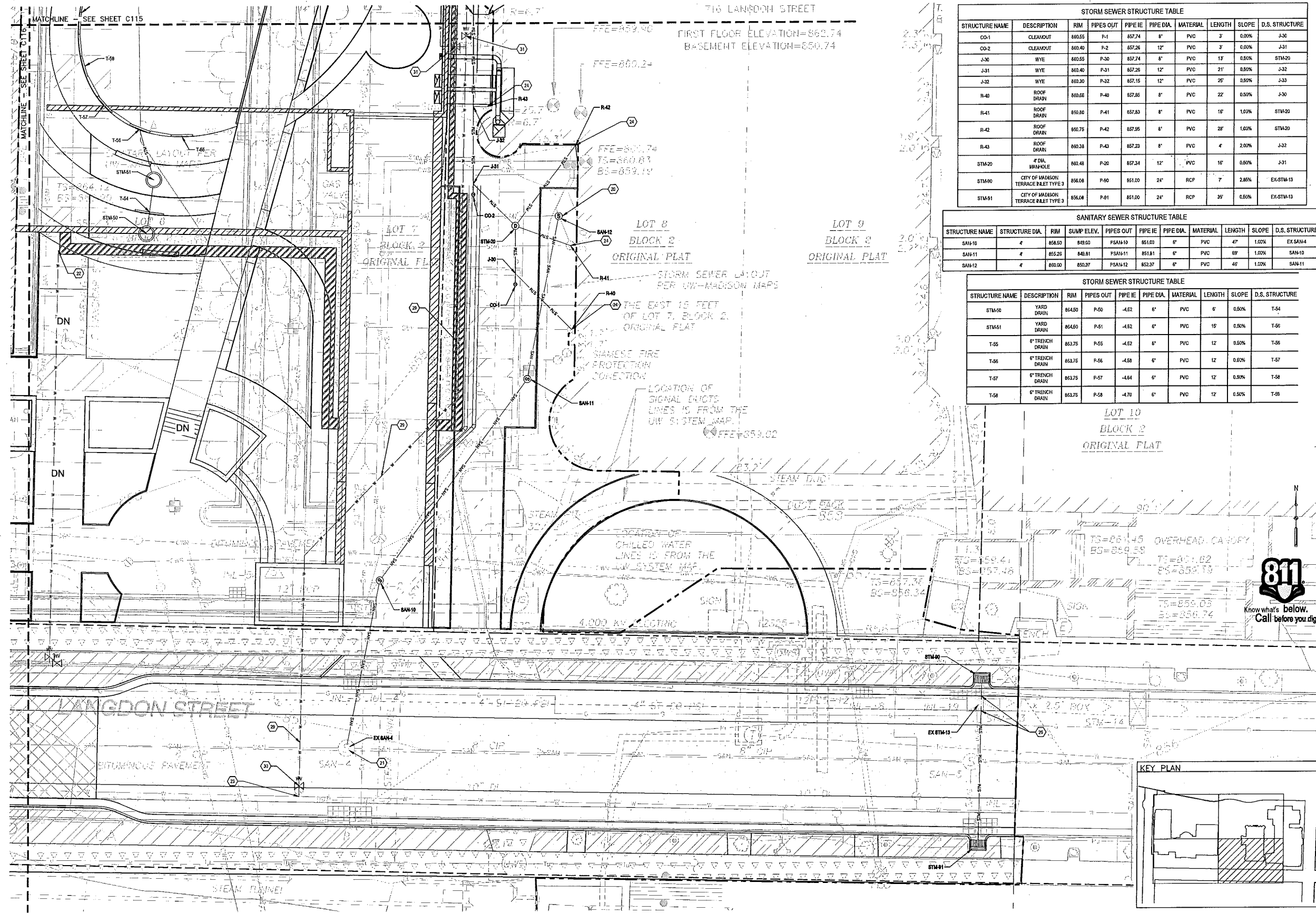
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DFD Number: 09K1K-01

Set Type: PR

Date Issued: 11/29/2013

Sheet Number: **C116**

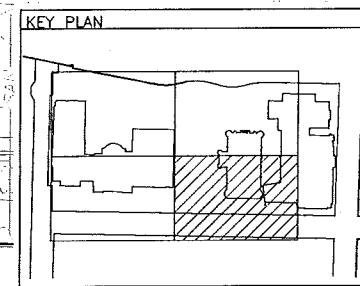


STORM SEWER STRUCTURE TABLE										
STRUCTURE NAME	DESCRIPTION	RIM	PIPES OUT	PIPE IE	PIPE DIA.	MATERIAL	LENGTH	SLOPE	D.S. STRUCTURE	
CO-1	CLEANOUT	860.55	P-1	857.74	8"	PVC	3'	0.00%	J-30	
CO-2	CLEANOUT	860.40	P-2	857.26	12"	PVC	3'	0.00%	J-31	
J-30	WYE	860.55	P-30	857.74	8"	PVC	13'	0.50%	STM-20	
J-31	WYE	860.40	P-31	857.26	12"	PVC	21'	0.50%	J-32	
J-32	WYE	860.30	P-32	857.15	12"	PVC	25'	0.50%	J-33	
R-40	ROOF DRAIN	860.65	P-40	857.85	8"	PVC	22'	0.50%	J-30	
R-41	ROOF DRAIN	858.80	P-41	857.83	8"	PVC	16'	1.00%	STM-20	
R-42	ROOF DRAIN	858.75	P-42	857.95	8"	PVC	28'	1.00%	STM-20	
R-43	ROOF DRAIN	860.38	P-43	857.23	8"	PVC	4'	2.00%	J-32	
STM-20	# 12" MANHOLE	860.48	P-20	857.34	12"	PVC	16'	0.50%	J-31	
STM-40	CITY OF MADISON TERRACE RILEY TYPE 3	856.08	P-40	851.00	24"	RCP	7'	2.85%	EX-STM-13	
STM-51	CITY OF MADISON TERRACE RILEY TYPE 3	856.08	P-51	851.00	24"	RCP	35'	0.50%	EX-STM-13	

SANITARY SEWER STRUCTURE TABLE										
STRUCTURE NAME	STRUCTURE DIA.	RIM	SUMP ELEV.	PIPES OUT	PIPE IE	PIPE DIA.	MATERIAL	LENGTH	SLOPE	D.S. STRUCTURE
SAH-10	4"	858.50	848.00	PSAH-10	851.00	8"	PVC	47'	1.00%	EX SAH-4
SAH-11	4"	855.25	846.81	PSAH-11	851.81	8"	PVC	69'	1.00%	SAH-10
SAH-12	4"	860.00	850.37	PSAH-12	852.37	8"	PVC	46'	1.00%	SAH-11

STORM SEWER STRUCTURE TABLE										
STRUCTURE NAME	DESCRIPTION	RIM	PIPES OUT	PIPE IE	PIPE DIA.	MATERIAL	LENGTH	SLOPE	D.S. STRUCTURE	
STM-50	YARD DRAIN	854.80	P-50	-4.52	6"	PVC	6'	0.50%	T-54	
STM-51	YARD DRAIN	854.60	P-51	-4.52	6"	PVC	15'	0.50%	T-55	
T-55	6" TRENCH DRAIN	853.75	P-55	-4.52	6"	PVC	12'	0.50%	T-56	
T-56	6" TRENCH DRAIN	853.75	P-56	-4.58	6"	PVC	12'	0.50%	T-57	
T-57	6" TRENCH DRAIN	853.75	P-57	-4.64	6"	PVC	12'	0.50%	T-58	
T-58	6" TRENCH DRAIN	853.75	P-58	-4.70	6"	PVC	12'	0.50%	T-59	

LOT 10  
BLOCK 2  
ORIGINAL PLAT



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MOODY-NOLAN

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Revisions:		Description	
No.	Date	No.	Description
1	11/29/10		

Graphic Scale	0' 5' 10' 15'
DFD Number	09K1K-01
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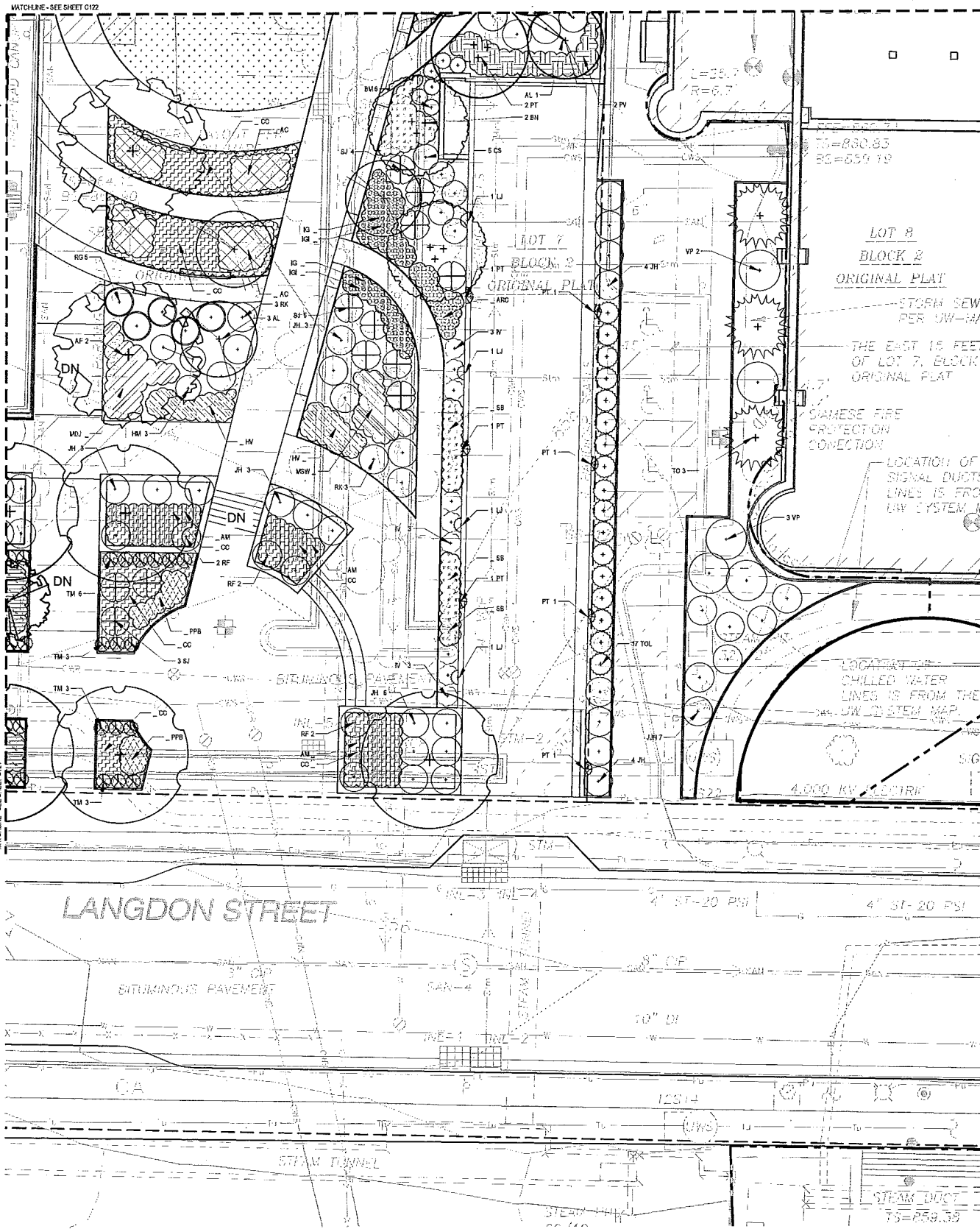
<b>KEYNOTES:</b>	<b>LEGEND:</b>	<b>NOTES:</b>	<b>UTILITY CLEARANCE NOTES:</b>
<ul style="list-style-type: none"> <li>20 CONNECT TO SANITARY SEWER SERVICE 5- FEET OUTSIDE OF BUILDING.</li> <li>21 CONNECT TO EXISTING SANITARY SEWER</li> <li>22 CONNECT TO WATER SERVICE 6- FEET OUTSIDE OF BUILDING.</li> <li>23 CONNECT TO EXISTING WATER MAIN</li> <li>24 CONNECT TO ROOF DRAIN</li> <li>25 CONNECT TO STORM SEWER SERVICE 6- FEET OUTSIDE OF BUILDING</li> <li>26 CONNECT TO EXISTING STORM SEWER MANHOLE</li> </ul>	<ul style="list-style-type: none"> <li>27 RIEF WELL WITH GRINDER PUMP</li> <li>28 VALVE MANHOLE WITH CHECK VALVE &amp; GATE VALVE</li> <li>29 6" RICH D.I. PIPE</li> <li>30 8" RICH D.I. PIPE</li> <li>31 6" RICH VALVE</li> <li>32 8" RICH VALVE</li> <li>33</li> </ul>	<ul style="list-style-type: none"> <li>PROJECT BOUNDARY</li> <li>WATER/FFE</li> <li>SAH SANITARY SEWER PIPE</li> <li>STM STORM SEWER PIPE</li> <li>SANITARY SEWER MANHOLE</li> <li>STORM SEWER MANHOLE</li> <li>WATER VALVE</li> <li>STORM SEWER CLEANOUT</li> <li>HOSE EB</li> <li>CURB INLET</li> <li>TRENCH DRAIN</li> </ul>	<ul style="list-style-type: none"> <li>70</li> <li>71</li> <li>72</li> <li>73</li> <li>74</li> <li>75</li> <li>76</li> <li>77</li> <li>78</li> <li>79</li> </ul>

1. SEE EXISTING CONDITIONS PLAN FOR LEGEND OF EXISTING FEATURES, REFERENCE MARKS, AND CONTROL MONUMENTS.
2. CONTRACTOR SHALL PROTECT ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION UNLESS DESIGNATED FOR DEMOLITION OR REMOVAL SHOWN IN WRITING BY UNIVERSITY OF WISCONSIN PLUMBING SUPERVISOR.
3. WATER MAIN SHALL HAVE 7.5 FT MIN. COVER.
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Plant List							ZCC
Key	Scientific Name	Common Name	Qty	Cond.	Size	Comments	Remarks
<b>Shade Trees</b>							
AF	Acer x freelandii 'Morgan' (Indian Summer)	Morgan (Indian Summer) Maple		BBB	3.5' Cal.	Space as shown	native
CJ	Corydalis japonicum	Katsura Tree		BBB	3.5' Cal.	Space as shown	
GT	Gleditsia stans var. 'inermis' 'Shiloh'	Shiloh Thornless Honey Locust		BBB	3.5' Cal.	Space as shown	native
OH	Quercus muhlenbergii	Chickadee Oak		BBB	3.5' Cal.	Space as shown	native
OR	Quercus x ruber	Road Oak		BBB	3.5' Cal.	Space as shown	native
OS	Quercus x schottii (macrocarpa x bicolor)	Swamp Bur Oak		BBB	3.5' Cal.	Space as shown	native
<b>Ornamental Trees</b>							
AL	Abebrachia x leucosticta	Baldwin's Snowberry		BBB	7-8' Ht.	Clump	native
BN	Banksia repens 'Heritage'	Heritage River Birch		BBB	12' Ht.	multi-stem space as shown	native
CA	Cornus alternifolia 'Floral'	Pagoda Dogwood		BBB	8' Ht.	Space as shown	native
MA	Malus 'Admiral'	Admiral Crabapple		BBB	1.5 Cal.	Space as shown	native
MS	Malus 'Sugarmel' PP 762	Sugarmel Crabapple		BBB	1.5 Cal.	Space as shown	native
MSR	Malus 'Royal Star'	Royal Star Malus		BBB	7-8' Ht.	Space as shown	native
PT	Populus tremuloides	Quaking Aspen		BBB	14' Ht.	space as shown	native
<b>Evergreen Trees</b>							
PA	Pinus abies 'Iminka'	Swedish Spruce		BBB	7-8' Ht.	space as shown	
PC	Pinus canadensis	Swiss Stone Pine		BBB	7-8' Ht.	space as shown	
TC	Thuja canadensis	Canadian Hemlock		BBB	12' Ht.	space as shown	
TD	Thuja occidentalis 'Heiz Wintergreen'	Heiz Wintergreen Arborvitae		BBB	12' Ht.	space as shown	native
<b>Deciduous Shrubs</b>							
CAS	Celtis occidentalis 'Sisken Candies'	Sisken Candies Summerweet	cont.	#5	3' O.C.		native
CS	Cornus stolonifera 'Alemans Dwarf'	Alemans Dwarf Redwig Dogwood	cont.	#5	4' O.C.		native
FD	Fothergilla gardenii	Dwarf Fothergilla	cont.	#5	4' O.C.		native
FM	Fothergilla major	Large Fothergilla	cont.	#5	4' O.C.		native
HT	Hydrangea paniculata 'Tardiva'	Tardiva Hydrangea	BBB	2.5' Ht.	space as shown		
HM	Hydrangea macrophylla 'Lanarth White'	Lanarth White Lacecap Hydrangea	BBB	2.5' Ht.	space as shown		
IV	Hamamelis 'Sutchi'	Little Honey Dwarf Virginia Sweetgum	BBB	2.5' Ht.	space as shown		
RF	Rosa 'Flower Carpet White'	Flower Carpet Red Rug Rose	cont.	#5	space as shown		
RO	Rhus glabra 'Glow-Low'	Glow-Low Sumac	cont.	#5	space as shown		native
RK	Rosa 'Rock Out Red Flowering'	White Flowering Knock Out Shrub Rose	cont.	#5	space as shown		
SP	Spiraea japonica 'Little Princess'	Little Princess Spiraea	BBB	2.5' Ht.	space as shown		
VD	Viburnum carolinense	Korean Spice Viburnum	BBB	3' Ht.	space as shown		
VP	Viburnum plicatum var. 'boreobrunum' 'Popcorn'	Popcorn Viburnum	BBB	3' Ht.	space as shown		
VT	Viburnum bicolor 'Blackberry Compact'	Compact American Cranberry Bush Viburnum	BBB	3' Ht.	space as shown		native
<b>Coniferous Shrubs</b>							
BM	Buxus microphylla var. 'Koreana' 'Green Mound'	Green Mound Boxwood	BBB	12' Ht.	space as shown		
HC	Hedera helix 'Chamont'	Norfolk Island Holly	BBB	2' Ht.	space as shown		black berry
JH	Juniperus horizontalis 'Eke Chip'	Blue Chip Juniper	cont.	#5	space as shown		
JSH	Juniperus horizontalis 'Hughes'	Hughes Juniper	cont.	#5	space as shown		
JSM	Juniperus sabina 'Mound'	Mound Cypress Juniper	cont.	#5	space as shown		
FM	Pinus mugo 'Compacta'	Compact Mugo Pine	cont.	#5	space as shown		
TC	Taxus cuspidata 'Mendocino'	Emerald Spruce Japanese Yew	cont.	#5	space as shown		
TM	Taxus media 'Everhol'	Everhol Yew	cont.	#5	space as shown		
TOL	Thuja occidentalis 'Little Guard'	Little Guard Dwarf Arborvitae	cont.	#5	space as shown		
<b>Grasses</b>							
PV	Panicum virgatum 'Prairie Sky'	Prairie Sky Blue Switch Grass	cont.	#1	space as shown		5' tall
SH	Sporobolus heterolepis	Prairie Dropseed (IA Native)	cont.	#1	space as shown		18" tall
SB	Scirpocarpus scoparium 'The Blues'	The Blues Little Bluestem (IA Native)	cont.	#1	space as shown		7' tall
<b>Perennials</b>							
AC	Aquilegia canadensis 'Winky Red & White'	Winky Red & White Columbine	cont.	#1	15" O.C.		native sun
AD	Astilbe 'Deutschland'	Deutschland Astilbe White	cont.	#1	30" O.C.		shade
AR	Astilbe 'Red Sentinel'	Red Sentinel Astilbe	cont.	#1	30" O.C.		shade
AW	Achillea millefolium 'Red Valer'	Red Valerian Yarrow	cont.	#1	15" O.C.		native sun
MB	Hosta x 'Big Daddy'	Big Daddy Plantain Lily	cont.	#1	space as shown		shade
MY	Heuchera x villosa 'Mocha'	Mocha Coral Bell	cont.	#1	8" O.C.		shade
GD	Heuchera 'Granddaddy'	Granddaddy Bearded Iris	cont.	#1	8" O.C.		sun
IM	Heuchera 'Immortality'	Immortality Bearded Iris	cont.	#1	8" O.C.		sun
MDJ	Monarda didyma 'Jacob Cline'	Jacob Cline Bee Balm	cont.	#1	12" O.C.		sun
MSW	Monarda 'Snow White'	Snow White Bee Balm	cont.	#1	12" O.C.		sun
PPB	Phlox paniculata 'Barfrighter'	Volcano White Phlox	cont.	#5	space as shown		red
PP	Phlox paniculata 'Barfrighter'	Volcano White Phlox	cont.	#1	12" O.C.		native sun
EA	Sedum x 'Autumn Joy'	Autumn Joy Sedum	cont.	#1	space as shown		sun
SB	Stachys byzantina 'Big Ears'	Big Ears Lamb's Ear	cont.	#1	space as shown		sun
SSS	Salix x 'Sylvestris' 'Snow Hill'	Snow Hill Meadow Sage	cont.	#1	space as shown		sun
<b>Vines</b>							
CP	Clematis paniculata	Sweet Autumn Clematis	cont.	#1	space as shown		shade-sun
LJ	Lonicera japonica 'Halliana'	Hall's Japanese Honeysuckle	cont.	#1	space as shown		sun
PT	Parthenocissus tricuspidata 'Veitchii'	Boston Ivy	cont.	#1	space as shown		part-sun
<b>Groundcovers</b>							
ARG	Ajuga reptans 'Chocolate Chip'	Chocolate Chip Bugweed	pots	3"	12" O.C.		shade
CC	Cornus canadensis	Burnsberry	pots	3"	12" O.C.		sun/shade
LM	Liriodendron tulipifera	Lily Turf	cont.	#1	12" O.C.		sun/shade
<b>Seeding/Turf</b>							
Seed Mix			seed	-			

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MOODY-NOLAN

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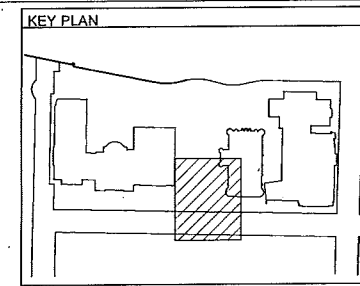
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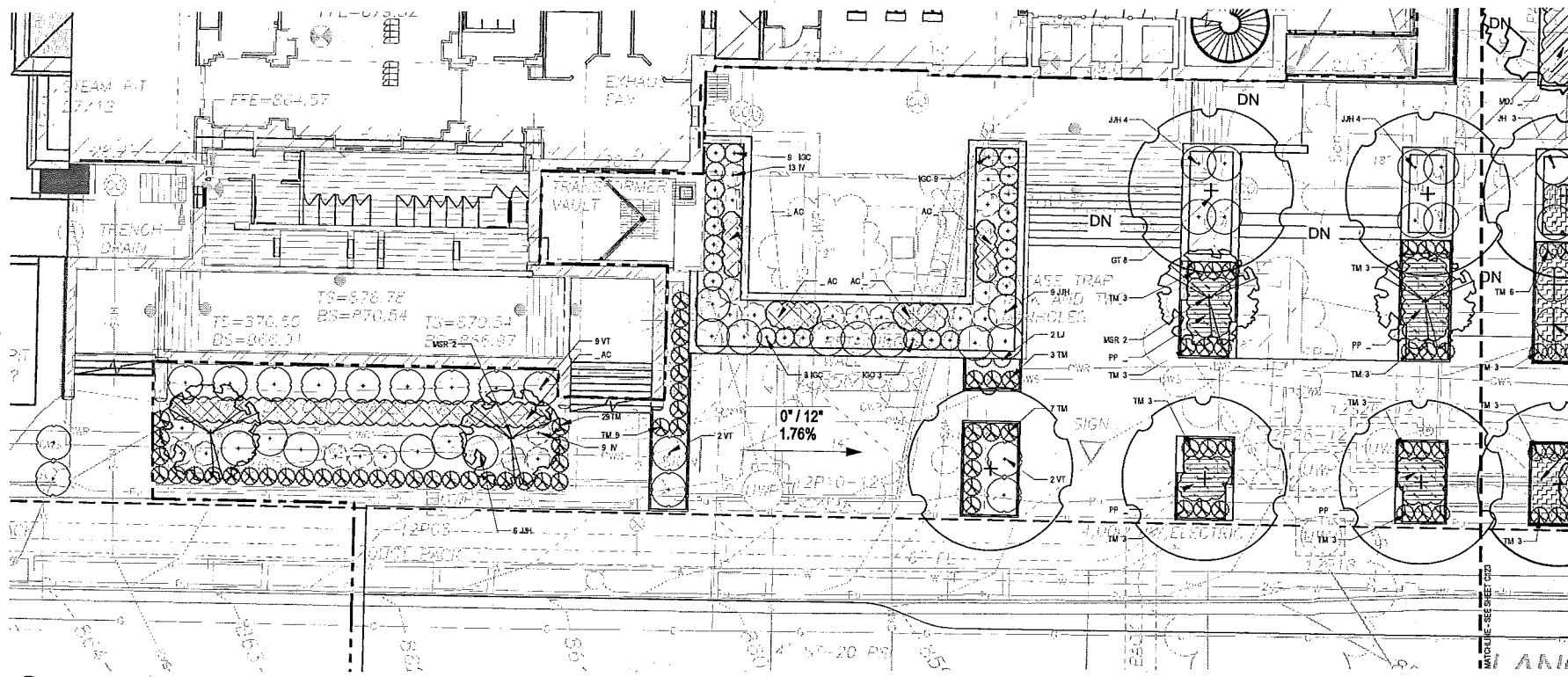
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Date Issued: 11/29/2013

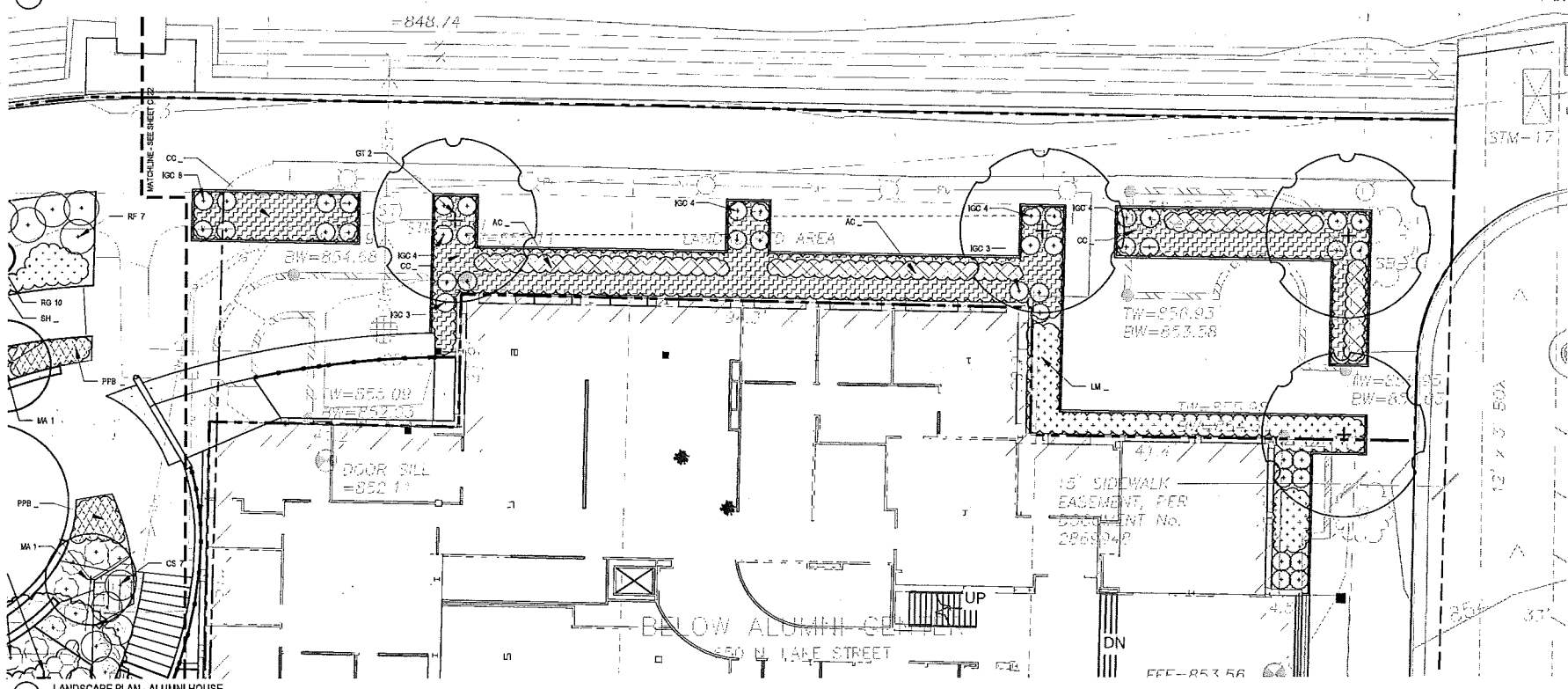
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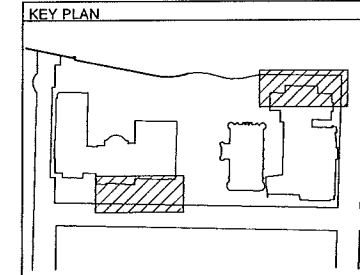


1 LANDSCAPE PLAN - UNION ENTRY PLAZA



2 LANDSCAPE PLAN - ALUMNI HOUSE

Plant List							XXX
Key	Scientific Name	Common Name	Qty	Cond.	Size	Comments	Remarks
<b>Shade Trees</b>							
AF	<i>Acacia fraxinifera</i> (Indian Summer)	Morgan (Indian Summer) Maple		B&B	3.5' Cal.	Space as shown	native
CJ	<i>Camellia japonica</i>	Katana Tree		B&B	3.5' Cal.	Space as shown	native
GT	<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Skyline'	Skyline Thornless Honey Locust		B&B	3.5' Cal.	Space as shown	native
QM	<i>Quercus muhlenbergii</i>	Chinquapin Oak		B&B	3.5' Cal.	Space as shown	native
QR	<i>Quercus rubra</i>	Red Oak		B&B	3.5' Cal.	Space as shown	native
QS	<i>Quercus schubertii</i> (eastern x bicolor)	Sawtooth Bur Oak		B&B	3.5' Cal.	Space as shown	native
<b>Ornamental Trees</b>							
AL	<i>Amelanchier canadensis</i>	Baldwin's Serrawberry		B&B	7.8' Ht.	Clump	native
BH	<i>Betula nigra</i> 'Heritage'	Heritage River Birch		B&B	10' Ht.	medium space as shown	native
CA	<i>Cornus alternifolia</i> 'Pagoda'	Pagoda Dogwood		B&B	8' Ht.	Space as shown	native
MA	<i>Malus 'Adirondack'</i>	Adirondack Crapapple		B&B	1.5 Cal.	Space as shown	native
MS	<i>Malus 'Sugarplum'</i> PP 752	Sugary Star Crapapple		B&B	1.5 Cal.	Space as shown	native
MS*	<i>Malus 'Royal Star'</i>	Royal Star Malus		B&B	7.8' Ht.	Space as shown	native
PF	<i>Populus tremuloides</i>	Quaking Aspen		B&B	12' Ht.	space as shown	native
<b>Evergreen Trees</b>							
PA	<i>Picea abies</i> 'conica'	Scotch Spruce		B&B	7.8' Ht.	space as shown	
PC	<i>Pinus strobus</i>	Swiss Stone Pine		B&B	7.8' Ht.	space as shown	
TC	<i>Thuja canadensis</i>	Canadian Hemlock		B&B	10' Ht.	space as shown	
TO	<i>Thuja occidentalis</i> 'Nitz Wintergreen'	Heiz Wintergreen Arborvitae		B&B	12' Ht.	space as shown	native
<b>Deciduous Shrubs</b>							
CAS	<i>Celastrus albidus</i> 'Serenade'	Serenade Cornus/Sumac		cont.	#5	3' O.C.	native
CS	<i>Cornus alternifolia</i> 'Alchemilla Dwarf'	Alchemilla Dwarf Dogwood		cont.	#5	4' O.C.	native
FD	<i>Fothergilla gracilis</i>	Dwarf Fothergilla		cont.	#5	4' O.C.	native
FN	<i>Fothergilla major</i>	Large Fothergilla		cont.	#5	4' O.C.	native
HT	<i>Hydrangea paniculata</i> 'Tardiva'	Tardiva Hydrangea		B&B	2.5' Ht.	space as shown	
HW	<i>Hydrangea macrophylla</i> 'Lanarth White'	Lanarth White Lacecap Hydrangea		B&B	2.5' Ht.	space as shown	
LV	<i>Leucothoe virginica</i> 'Spritz'	Little Henry Dwarf Virginia Snowberry		B&B	2.5' Ht.	space as shown	
RF	<i>Rosa 'Flower Carpet Red'</i>	Flower Carpet Red Shrub Rose		cont.	#3	space as shown	
RD	<i>Rosa 'Geminata'</i> 'Go-Go'	Gem-Go-Go Rose		cont.	#3	space as shown	native
RK	<i>Rosa 'Knock Out Red'</i>	White Flamingo Knock Out Shrub Rose		cont.	#3	space as shown	
SJ	<i>Spirea japonica</i> 'Little Princess'	Little Princess Spirea		B&B	2.5' Ht.	space as shown	
VD	<i>Viburnum carlesii</i>	Norcan Spine Viburnum		B&B	3' Ht.	space as shown	
VP	<i>Viburnum plicatum</i> var. <i>sinense</i> 'Popcorn'	Popcorn Viburnum		B&B	3' Ht.	space as shown	
VT	<i>Viburnum x holboellii</i> 'Baby Compact'	Compact American Crabapple Bush Viburnum		B&B	3' Ht.	space as shown	native
<b>Coniferous Shrubs</b>							
BM	<i>Buxus microphylla</i> var. <i>laevissima</i> 'Green Mound'	Green Mound Boxwood		B&B	15' Ht.	space as shown	
JC	<i>Ilex glabra</i> 'Cajuput'	Hardy Holly		B&B	2' Ht.	space as shown	black berry
JH	<i>Juniperus horizontalis</i> 'Blue Chip'	Blue Chip Juniper		cont.	#5	space as shown	
JH*	<i>Juniperus horizontalis</i> 'Hughes'	Hughes Juniper		cont.	#5	space as shown	
JSM	<i>Juniperus sabina</i> 'Mound'	Mound Juniper		cont.	#5	space as shown	
PM	<i>Prunus rugosa</i> 'Compacta'	Compact Mug Pine		cont.	#3	space as shown	
TC	<i>Taxus canadensis</i> 'Munich'	Emerald Spruce Japanese Yew		cont.	#3	space as shown	
TM	<i>Taxus x media</i> 'Emkay'	Emerald Yew		cont.	#3	space as shown	
TOL	<i>Thuja occidentalis</i> 'Little Giant'	Little Giant Dwarf Arborvitae		cont.	#5	space as shown	
<b>Grasses</b>							
PV	<i>Panicum virgatum</i> 'Prairie Sky'	Prairie Sky Blue Switch Grass		cont.	#1	space as shown	5' tall
SH	<i>Sporobolus heterophyllus</i>	Prairie Dropseed (IA Native)		cont.	#1	space as shown	15' tall
SS	<i>Schizachyrium scoparium</i> 'The Blues'	The Blues Little Blue-stem (IA Native)		cont.	#1	space as shown	2' tall
<b>Perennials</b>							
AC	<i>Aspalathra canadensis</i> 'Windy Red & White'	Windy Red & White Columbine		cont.	#1	15' O.C.	native sun
AD	<i>Asclepias tuberosa</i>	Butterfly Milkweed		cont.	#1	30' O.C.	shade
AR	<i>Asclepias 'Red Sentinel'</i>	Red Sentinel Milkweed		cont.	#1	30' O.C.	shade
AR	<i>Asclepias 'Red Velvet'</i>	Red Velvet Milkweed		cont.	#1	15' O.C.	native sun
BB	<i>Hosta x 'Big Daddy'</i>	Big Daddy Plantain Lily		cont.	#1	space as shown	shade
HY	<i>Heuchera x 'viktoria Mocha'</i>	Mocha Coral Bells		cont.	#1	8' O.C.	shade
IS	<i>Iris germanica</i> 'Ginkgo Red'	Ginkgo Red Bearded Iris		cont.	#1	8' O.C.	sun
IS*	<i>Iris germanica</i> 'Innocentia'	Innocentia Bearded Iris		cont.	#1	8' O.C.	sun
MD*	<i>Moroneja dasyne</i> 'Jacob Cline'	Jacob Cline Bee Balm		cont.	#1	12' O.C.	sun
MS*	<i>Monarda 'Snow White'</i>	Snow White Bee Balm		cont.	#1	12' O.C.	sun
PPB	<i>Phlox paniculata</i> 'Barling's'	Volcano Red Phlox		cont.	#3	space as shown	red
PP	<i>Phlox paniculata</i> 'Barling's'	Volcano White Phlox		cont.	#1	12' O.C.	native sun
SA	<i>Sedum x 'Autumn Joy'</i>	Autumn Joy Sedum		cont.	#1	space as shown	sun
SB	<i>Stachys byzantina</i> 'Big Ears'	Big Ears Lamb's Ear		cont.	#1	space as shown	sun
SSS	<i>Sakia x 'Sylvester'</i> 'Snow Hill'	Snow Hill Meadow Sage		cont.	#1	space as shown	sun
<b>Vines</b>							
CP	<i>Clematis paniculata</i>	Sweet Autumn Clematis		cont.	#1	space as shown	shade-sun
LJ	<i>Lonicera japonica</i> 'Hall's'	Hall's Japanese Honey-suckle		cont.	#1	space as shown	sun
PT	<i>Parthenocissus tricuspidata</i> 'Veitchii'	Best Ivy		cont.	#1	space as shown	part-sun
<b>Grassclovers</b>							
ARC	<i>Asperula rubra</i> 'Coccinea Crisp'	Coccinea Crisp Bugweed		cont.	#1	12' O.C.	shade
CC	<i>Cornus canadensis</i>	Bunchberry		cont.	#1	12' O.C.	sun-shade
LM	<i>Lupinus micranthus</i>	Lupin Turf		cont.	#1	12' O.C.	sun-shade
<b>Seedling/Turf</b>							
Seed Mix			seed				



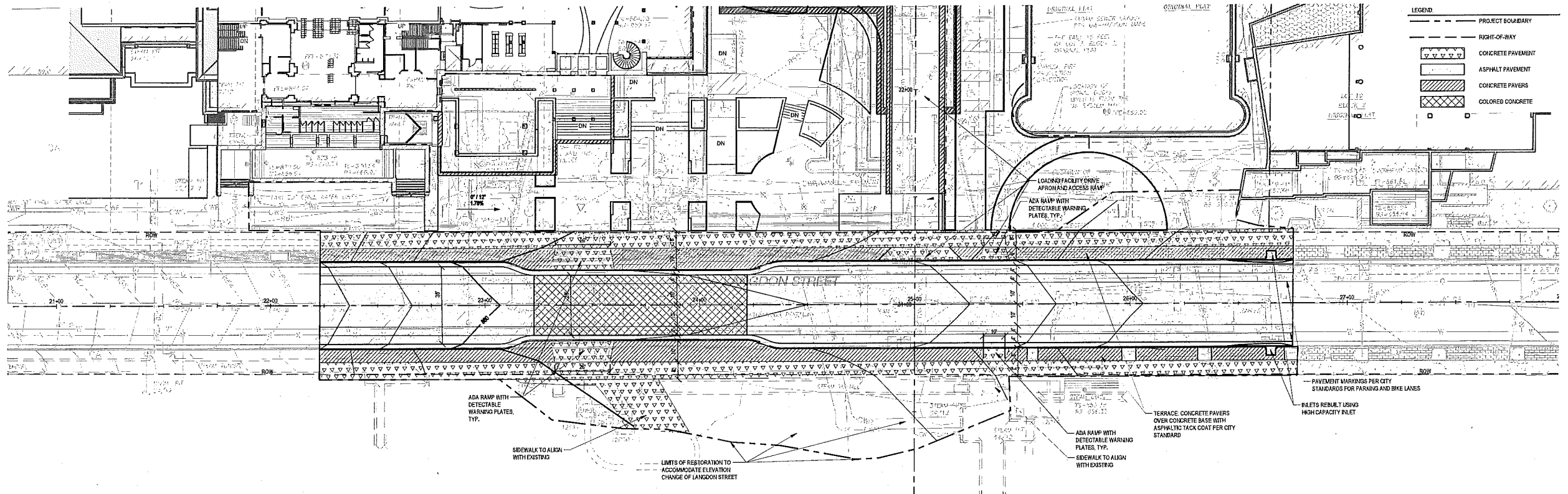
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Date Issued	11/29/2013
Sheet Number	C124

State of Wisconsin  
 Department of Administration  
 Division of Facilities Development  
 800 Langdon St.  
 Madison, WI 53706  
 Wisconsin Union Redevelopment  
 Project - Phase II/Alumni Park  
 University of Wisconsin - Madison  
 Madison, Wisconsin  
 Planting Plan

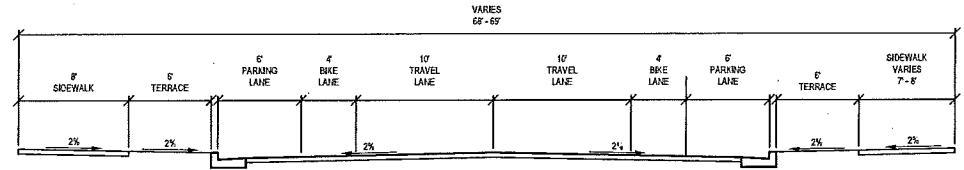
**SMITHGROUP JJR**  
 Consultant:  
 44 EAST INFLIN STREET  
 SUITE 600  
 MADISON, WI 53703  
 608.251.1177  
 www.smithgroup.com

**WILHELM/WILSON**  
**MOODY-NOLAN**

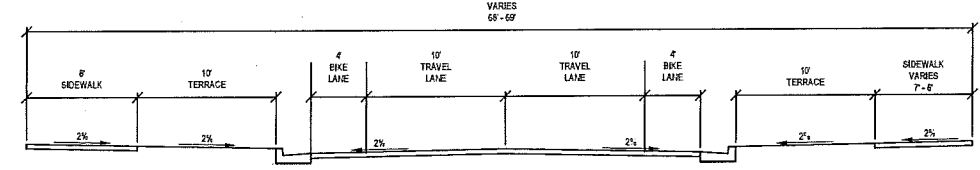
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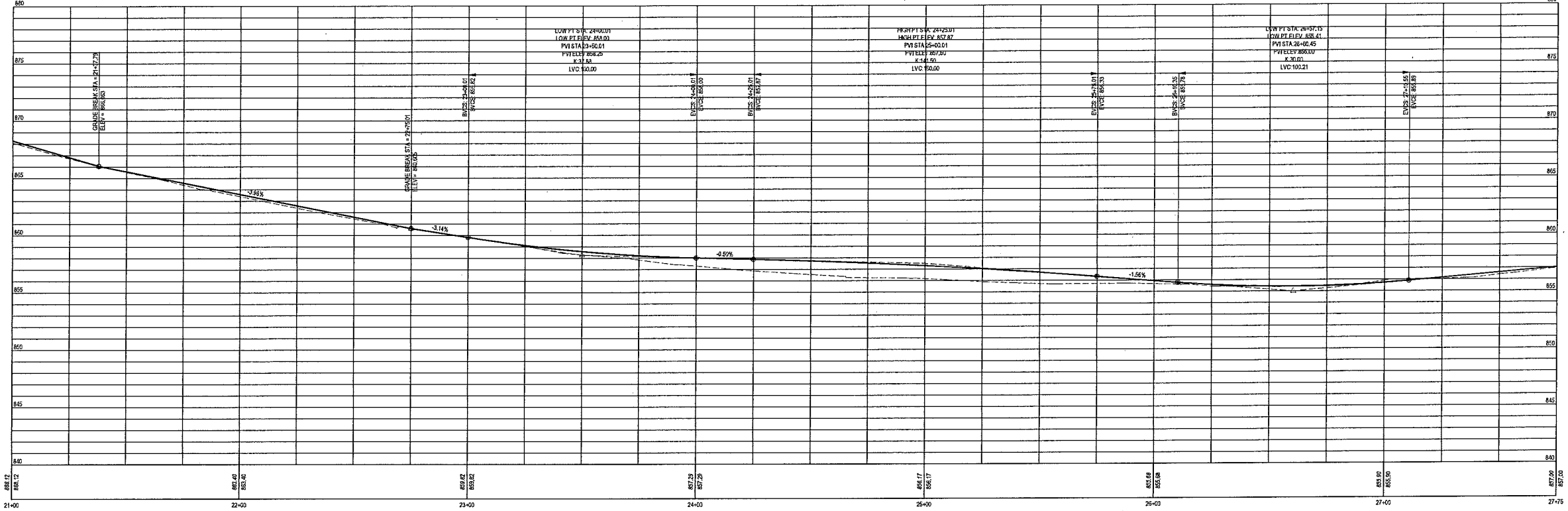


2 LANGDON SECTION - FULL



3 LANGDON SECTION - NARROW

LANGDON PROFILE



4 LANGDON STREET PROFILE

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State of Wisconsin  
Department of Administration  
Division of Facilities Development



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Wisconsin Union Redevelopment  
Project - Phase II/Alumni Park  
University of Wisconsin - Madison  
Madison, Wisconsin  
Langdon Street Plan and Profile

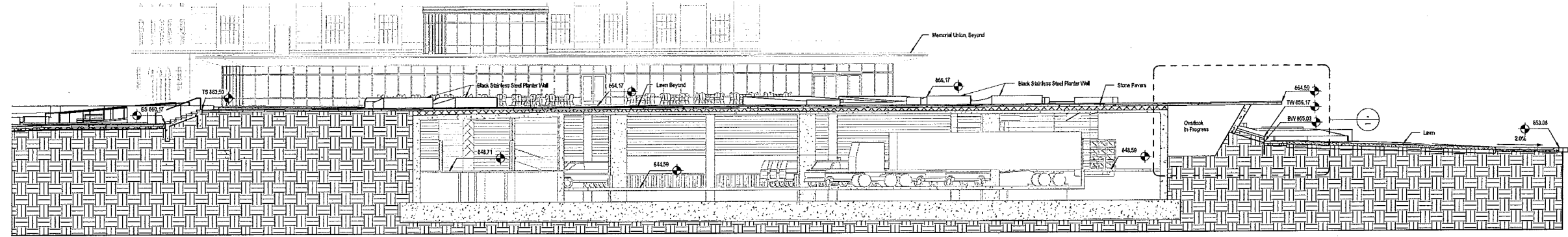
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No.	Date	Description
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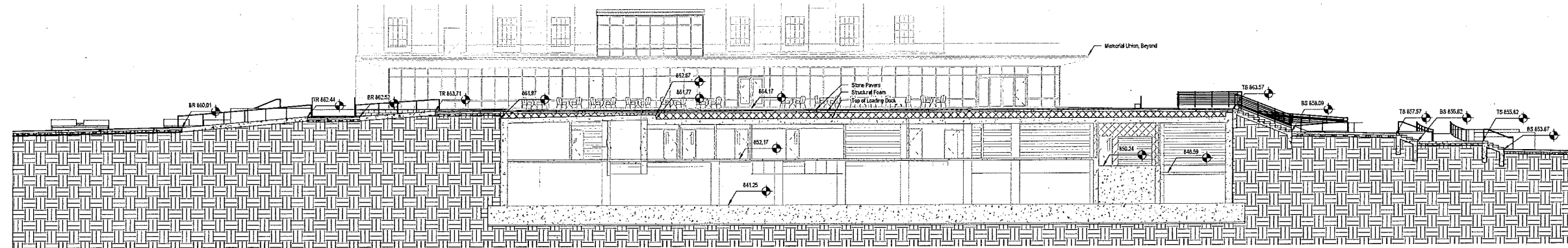
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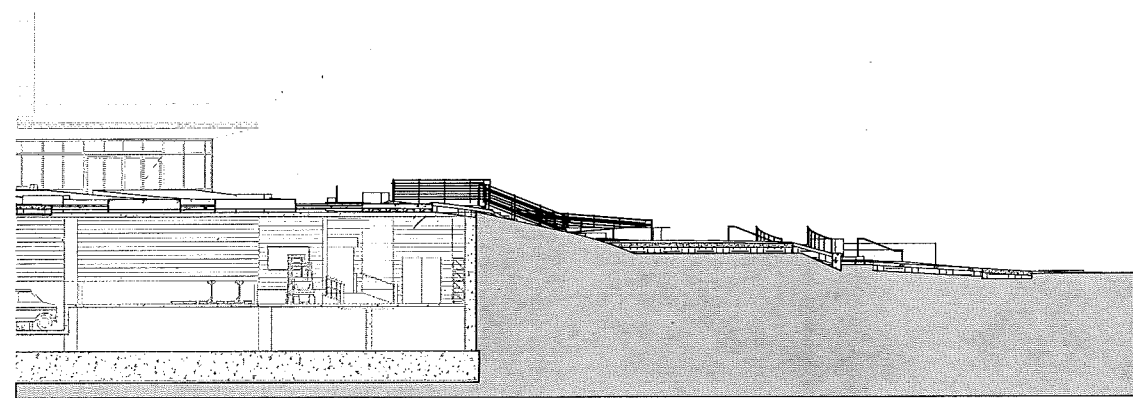
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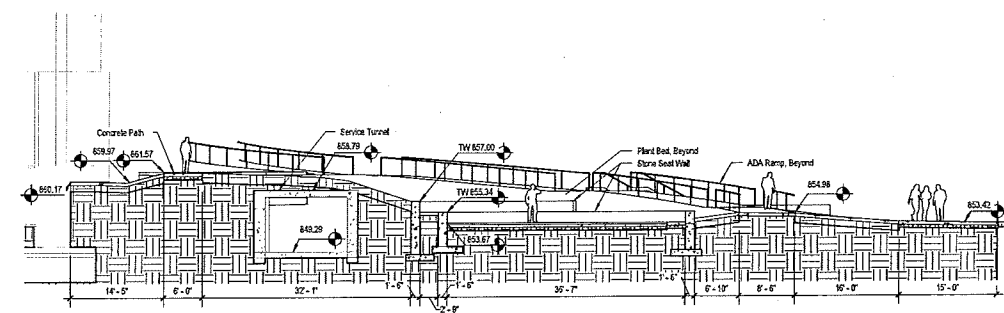
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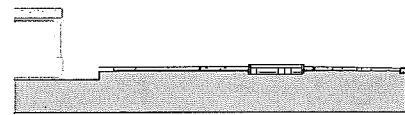
2 Alumni Park & Union Interface  
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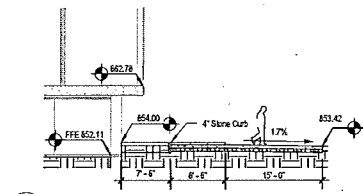
3 Alumni Picnic Knoll  
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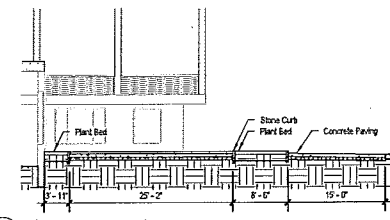
4 Alumni Classroom  
SCALE: 3/32" = 1'-0"



5 Alumni House West Plaza  
SCALE: 3/32" = 1'-0"



6 Alumni House at Lakeshore Path  
SCALE: 3/32" = 1'-0"



7 Alumni House East Plaza  
SCALE: 3/32" = 1'-0"

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Consultant:  
**SMITHGROUP JJR**

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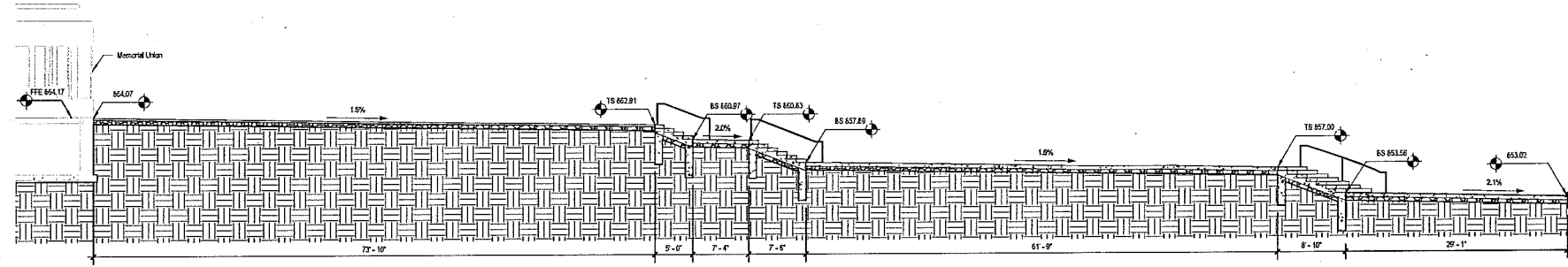
800 Langdon St.  
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Project Phase II / Alumni Park  
University of Wisconsin - Madison  
Madison, Wisconsin

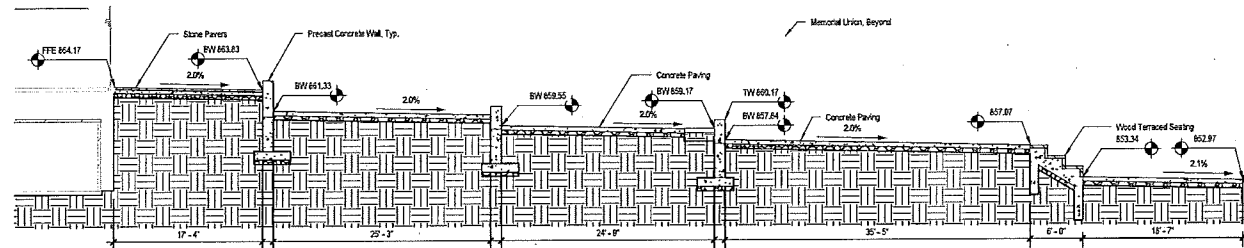
Site Sections

Rev.	Date	Description
11/29/13	11/29/13	SP Submittal

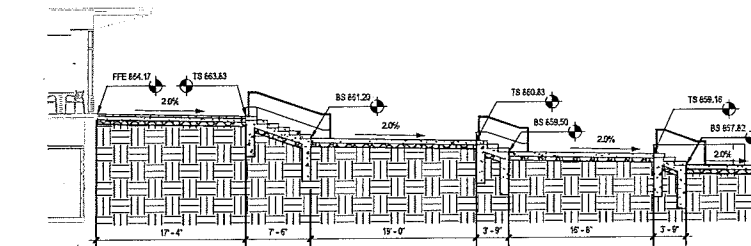
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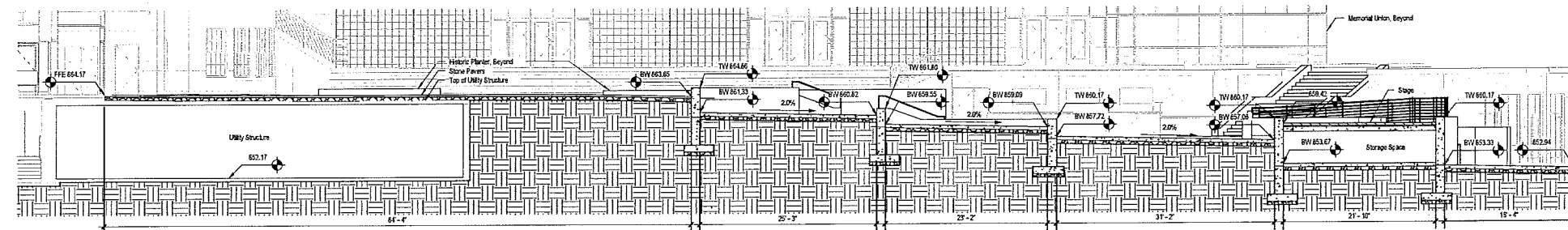
1 Union Terrace Grand Stair  
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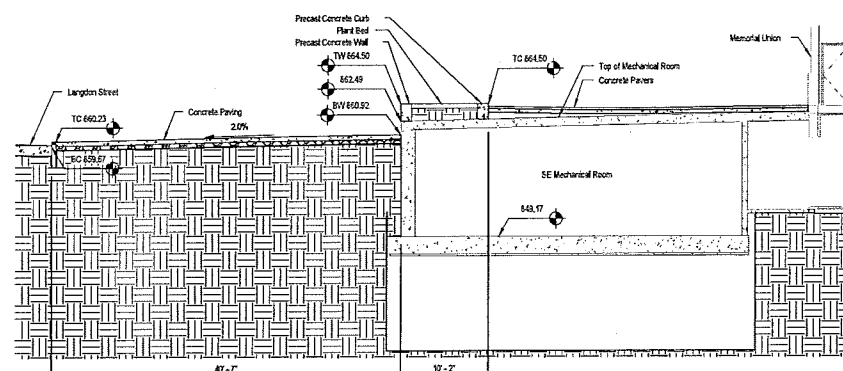
2 Union Terrace Levels  
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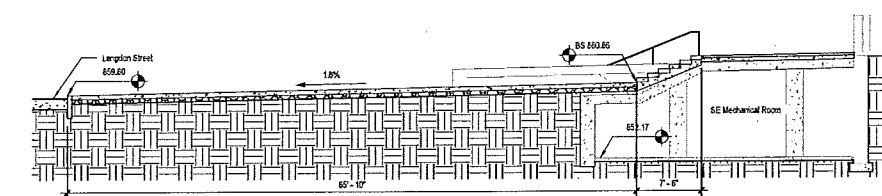
3 Union Terrace Stairs  
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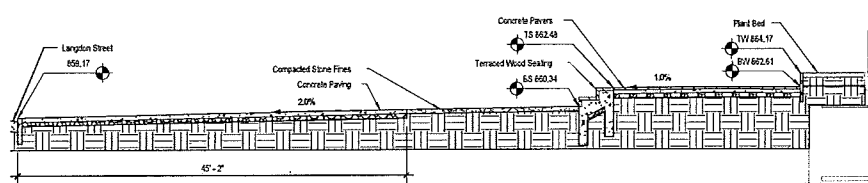
4 Union Terrace Historic Plaza  
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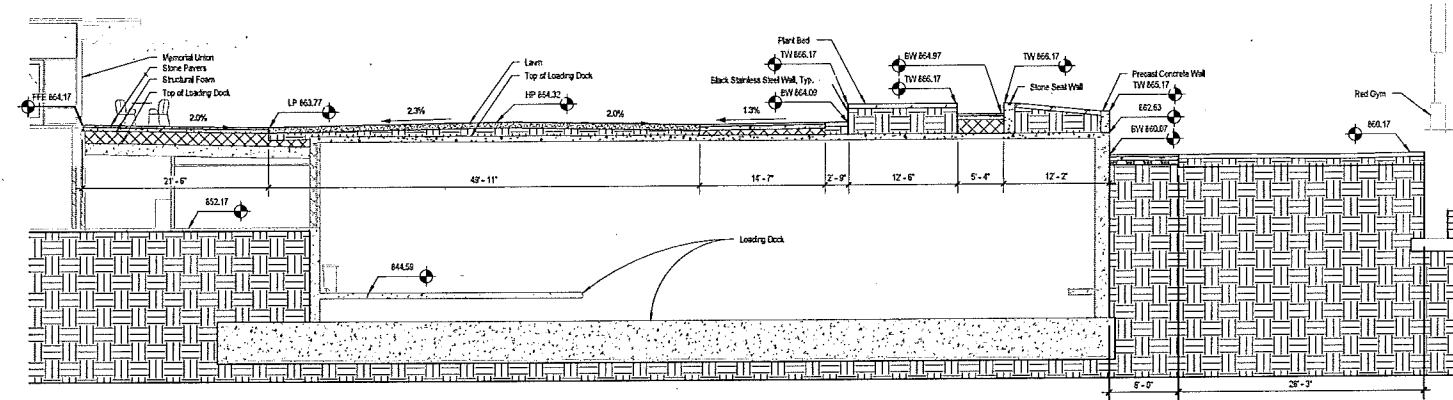
5 Union Southeast Entry Plaza  
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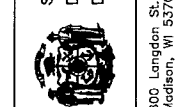
6 Union Southeast Entry Grand Stair  
SCALE: 1/8" = 1'-0"



7 Union Southeast Entry Terrace Seating  
SCALE: 1/8" = 1'-0"



8 Alumni Loading Dock  
SCALE: 1/8" = 1'-0"



Revisions:	By:	Date:	Description:
1	SP	11/29/13	SP Submittal

Graphic Scale	
DFD Number	9K1K-01
Set Type	PR
Date Issued	11/29/2013
Sheet Number	C301

