



LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:	
Amt. Paid	\$1600 Receipt No. _____
Date Received	8/17/16
Received By	JUK
Parcel No.	0709-262-0607-4
Aldermanic District	13-Sara Eskrich
Zoning District	YSS
Special Requirements	WAP-07
Review Required By:	
<input checked="" type="checkbox"/> Urban Design Commission	<input type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. Project Address: 1109 S. Park St.
 Project Title (if any): 1109 S. Park St. (AKA "ASIAN REDEVELOPMENT")
(FORMER NAME)

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Steve Stulfer Company: Stulfer Architects, LLC
 Street Address: 7780 Elmwood Ave City/State: MIDDLETON, WI Zip: 53562
 Telephone: (608) 836-7570 Fax: () - Email: sstulfer@stulferarchitect.com
 Project Contact Person: Nick Badura Company: (SAME)
 Street Address: _____ City/State: _____ Zip: _____
 Telephone: () Fax: () Email: _____
 Property Owner (if not applicant): SUE JIANG.
 Street Address: 622 S. PARK ST. City/State: MADISON WI Zip: 53713

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: Redevelopment of 6 properties for mixed use commercial & residential development.
 Development Schedule: Commencement 1/2017 Completion 1/2018

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: _____ Date: _____ Zoning Staff: _____ Date: _____

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Steve Shulfer Relationship to Property: Architect
Authorizing Signature of Property Owner [Signature] Date 8/18/16

1109 S. PARK STREET

REDEVELOPMENT
1109 S. PARK ST.
MADISON, WISCONSIN



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L3.0	LANDSCAPE ROOFTOP PATIO PLAN
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A6.4	RENDERINGS

CONTACTS:

OWNER:
SUE JIANG
TRI-RIVER REALTY
622 S. PARK STREET
MADISON, WI 53713
608-283-9335

PROPERTY MANAGER:
MADISON PROPERTY MANAGEMENT
CONTACT: JIM STOPPLE
1202 REGENT STREET
MADISON, WI 53715
608-268-4912

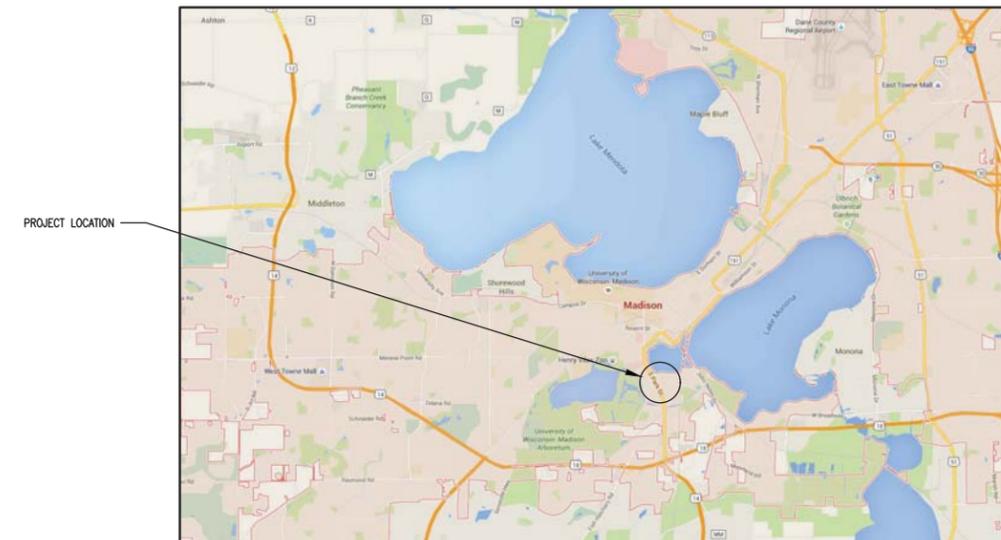
ARCHITECT:
SHULFER ARCHITECTS, LLC
CONTACT: NICK BADURA
7780 ELMWOOD AVENUE, SUITE 208
MIDDLETON, WI 52562
08-836-7570

CIVIL ENGINEER:
JSD PROFESSIONAL SERVICES, INC.
CONTACT: HANS JUSTISON, PE
161 HORIZON DRIVE, SUITE 101
VERONA, WI 53593
608-848-5060

LANDSCAPE ARCHITECT:
JSD PROFESSIONAL SERVICES, INC.
CONTACT: KEVIN YESKA
161 HORIZON DRIVE, SUITE 101
VERONA, WI 53593
608-848-5060

STRUCTURAL ENGINEER:
MP-SQUARED STRUCTURAL
ENGINEERS, LLC
CONTACT: MARK PUCCIO
583 D'ONOFRIO DRIVE
SUITE 201
MADISON, WI 53719

PROJECT LOCATION MAP:



PROJECT LOCATION:

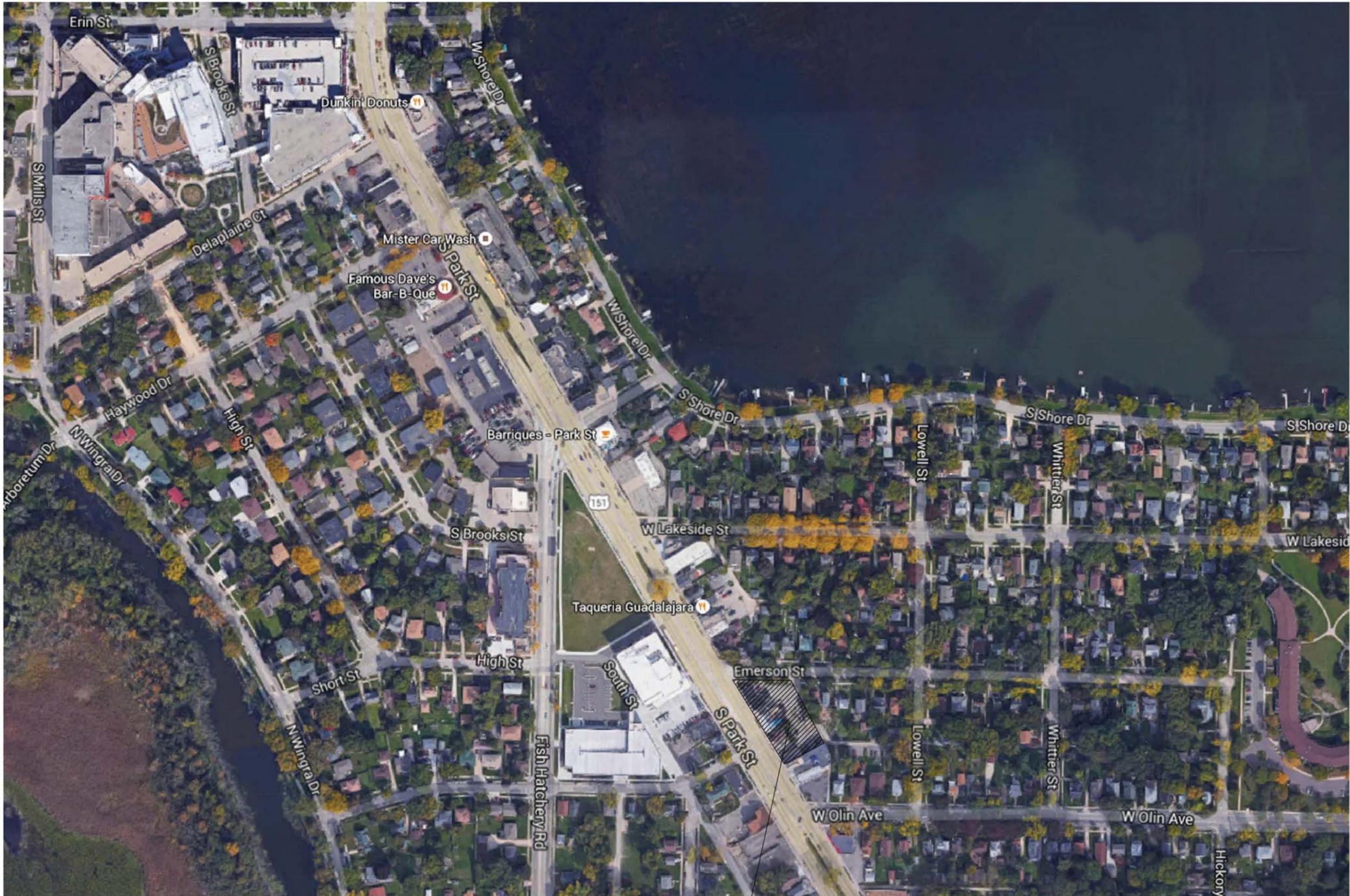


1109 S. PARK STREET
ASIAN CENTER REDEVELOPMENT
1109 S. PARK STREET
MADISON, WI

COVER SHEET
LAND USE APPLICATION

05/25/16
UDC SUBMITTAL

A0.0



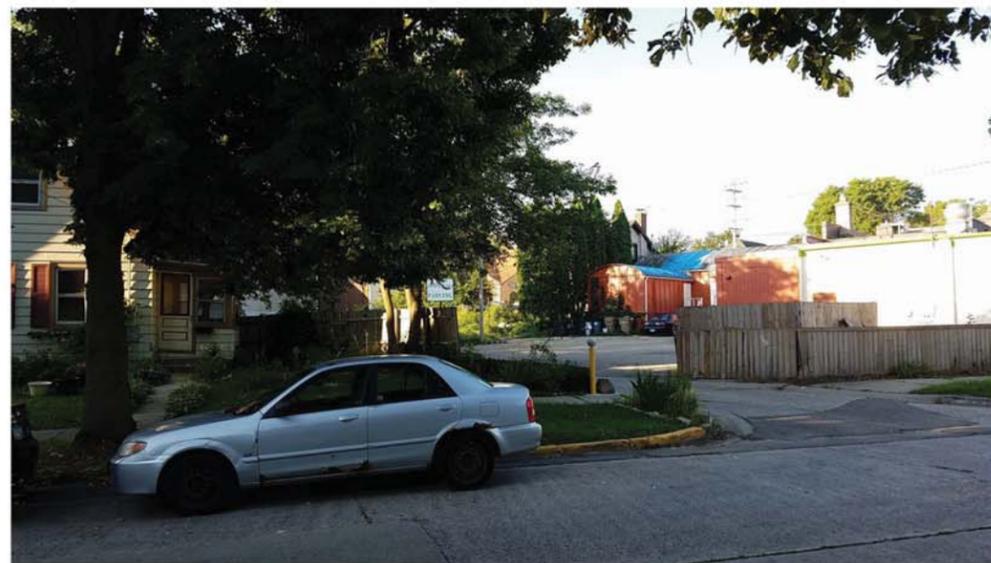
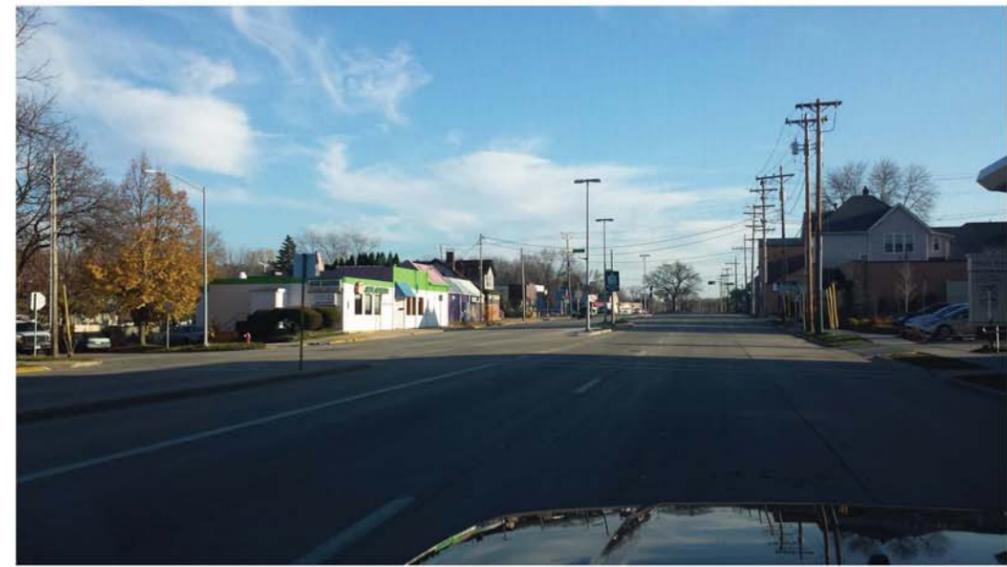
PROJECT SITE



1109 S. PARK STREET
 ASIAN CENTER REDEVELOPMENT
 1109 S. PARK STREET
 MADISON, WI

NEIGHBORHOOD CONTEXT

08/17/16
 LAND USE APPLICATION



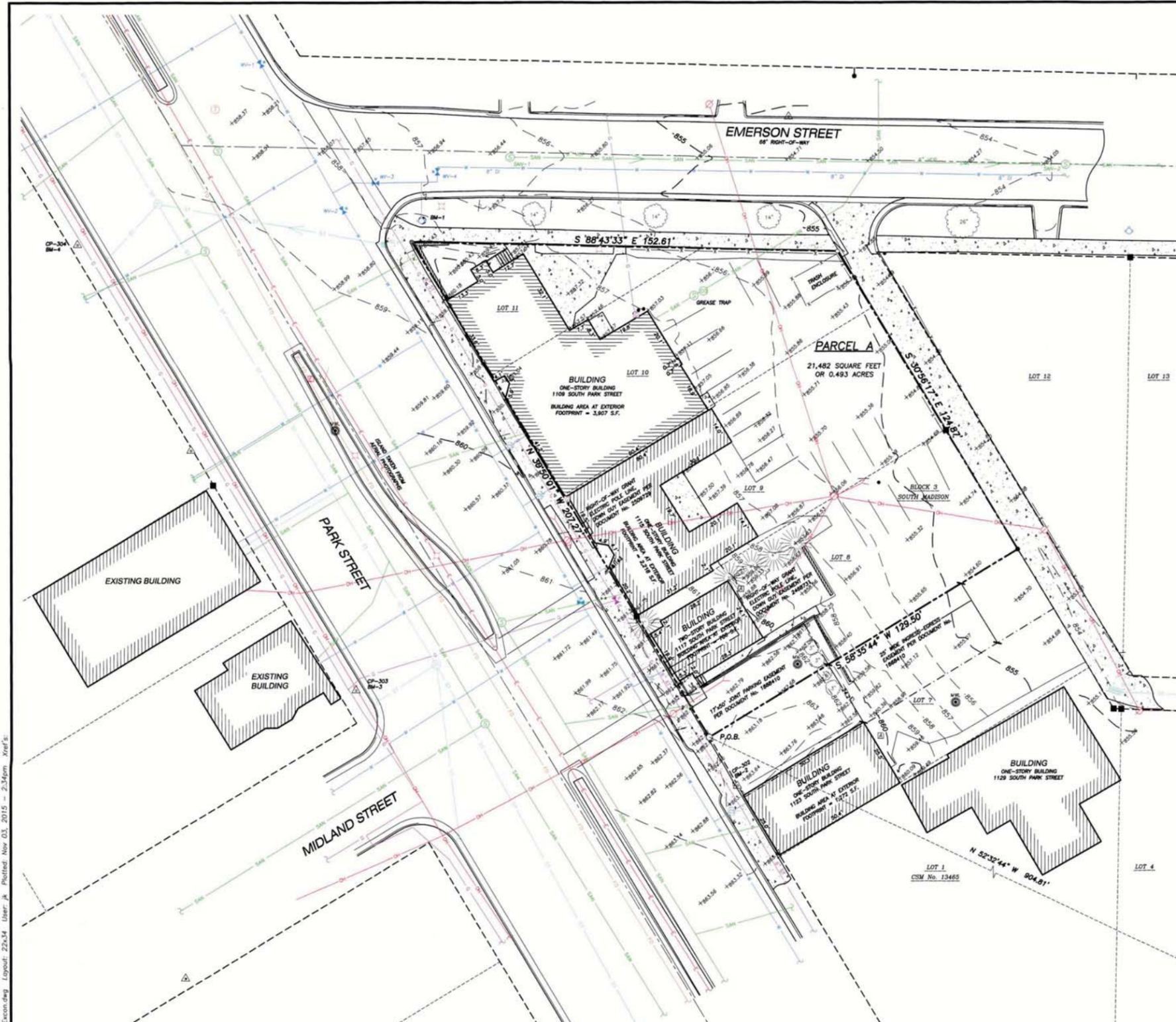
1109 S. PARK STREET
ASIAN CENTER REDEVELOPMENT
1109 S. PARK STREET
MADISON, WI

EXISTING SITE PHOTOS

8/16/16
LAND USE APPLICATION

BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY

LOTS 8, 9, 10 AND 11, BLOCK 3, PLAT OF SOUTH MADISON, EXCEPT THE SOUTHWESTERLY 20 FEET THEREOF, LOCATED IN THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.



- LEGEND**
- GOVERNMENT CORNER
 - 1" IRON PIPE FOUND
 - 3/4" REBAR FOUND
 - CHISELED "X" SET
 - COTTON SPINDLE SET
 - 3/4" x 24" REBAR SET (1.50 LBS/LF)
 - BENCHMARK
 - BOLLARD
 - SIGN
 - SANITARY MANHOLE
 - CLEAN OUT
 - HYDRANT
 - WATER OR GAS VALVE
 - CURB STOP/SERVICE VALVE
 - STORM MANHOLE
 - SQUARE CASTED INLET
 - CURB INLET
 - GAS REGULATOR/METER
 - POWER POLE W/GUY
 - LIGHT POLE
 - TELEPHONE MANHOLE
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - PARCEL BOUNDARY
 - RIGHT-OF-WAY LINE
 - CENTERLINE
 - PLATTED LOT LINE
 - SECTION LINE
 - EASEMENT LINE
 - FENCE LINE
 - EDGE OF PAVEMENT
 - CONCRETE CURB & GUTTER
 - SANITARY SEWER
 - WATER LINE
 - STORM SEWER
 - NATURAL GAS
 - OVERHEAD UTILITIES
 - UNDERGROUND ELECTRIC
 - FIBER OPTIC
 - BUILDING
 - INDEX CONTOUR
 - INTERMEDIATE CONTOUR
 - SPOT ELEVATION
 - BITUMINOUS PAVEMENT
 - RETAINING WALL
 - CONCRETE PAVEMENT
 - DISCONTINUED MAPPED PIPE LINE
 - DEMOTES RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY

- NOTES**
- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON OCTOBER 29, 2015.
 - BEARINGS FOR THIS SURVEY AND MAP ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM, (WCCS), DANE COUNTY. THE EAST LINE OF THE SOUTHWEST QUARTER BEARS N 00°28'27" E.
 - ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP WITNESS CORNER TO THE CENTER OF SECTION 26-07-09, ELEVATION = 855.99'
 - CONTOUR INTERVAL IS ONE FOOT.
 - SPOT ELEVATIONS SHOWN ALONG CURB AND GUTTER REFERENCE THE TOP BACK OF CURB.
 - SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPEARANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGERS HOTLINE TICKET NO.'s 20154208530 AND 20154208541, WITH A CLEAR DATE OF OCTOBER 16, 2015.
 - BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
 - JSD DOES NOT GUARANTEE THAT THE BENCHMARK ELEVATIONS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.
 - THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.

LEGAL DESCRIPTION

LOTS 8, 9, 10 AND 11, BLOCK 3, PLAT OF SOUTH MADISON, EXCEPT THE SOUTHWESTERLY 20 FEET THEREOF, LOCATED IN THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

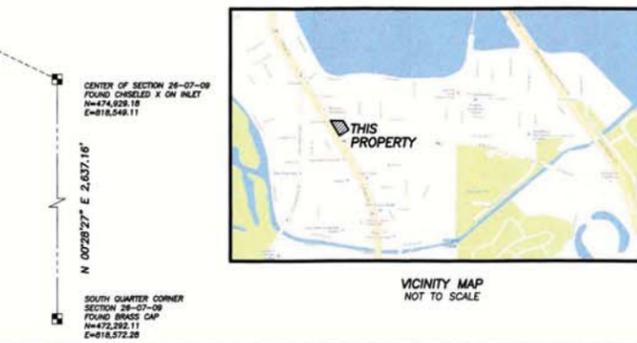
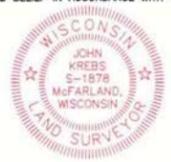
TAX KEY NO.'s:
 LOT 8 - 251/0709-262-0609-0
 LOT 9 - 251/0706-262-0608-2
 LOT 10 & 11 - 251/0709-262-0607-4

SURVEYOR'S CERTIFICATE

I, JOHN KREBS, WISCONSIN REGISTERED LAND SURVEYOR NO. S-1878, HEREBY CERTIFY THAT THIS EXISTING CONDITIONS SURVEY AND MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

John Krebs
 JOHN KREBS, S-1878
 REGISTERED LAND SURVEYOR

DATE: 11/3/15



STORM SEWER INLETS

INLET ID	RIM ELEVATION	INVERT ELEVATION	PIPE SIZE	PIPE TYPE
INL-1	858.19	NW 855.74	12"	VCP
INL-2	853.52	SE 850.92	-	-

SANITARY SEWER MANHOLES

STRUCT. ID	RIM ELEVATION	INVERT ELEVATION	PIPE SIZE	PIPE TYPE
SAN-1	856.37	N 849.91	*	*
		S 849.91	*	*
		E 849.88	6"	VCP
		W 847.54	6"	VCP
SAN-2	853.90	N 847.54	*	*
		S 847.54	*	*
		E 847.54	6"	VCP
		W 847.54	6"	VCP

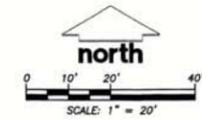
BENCHMARKS

BENCH MARK	ELEVATION	DESCRIPTION
BM-1	860.83	TOP NUT ON HYDRANT, SE CORNER OF EMERSON AND PARK STREETS
BM-2	863.44	CP-302, CP-MAG NAIL, SOUTH CORNER OF LOT 7, BLOCK 3
BM-3	862.50	CP-303, CP-MAG NAIL, NORTH CORNER OF MIDLAND AND PARK ST.
BM-4	859.14	CP-304, CP-MAG NAIL, WEST OF EMERSON ST., WEST OF PARK ST.

WATER VALVES

VALVE No.	RIM ELEVATION	INVERT ELEVATION
WV-1	857.72	TN 853.9
WV-2	858.40	TN 853.4
WV-3	857.61	TN 852.8
WV-4	856.85	TN 852.7

TN=TOP NUT OF WATER VALVE



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- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
 161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
 KENOSHA | APPLETON
www.jsdinc.com

SERVICES PROVIDED TO:

SHULFER ARCHITECTS, LLC
 1918 PARMENTER ST., STE. 2
 MIDDLETON, WI 53562

PROJECT:
1109 THRU 1117 SOUTH PARK STREET

PROJECT LOCATION:
 CITY OF MADISON
 DANE COUNTY, WI

JSD PROJECT NO.: 15-7089

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: _____ DATE: 11/02/15
 DRAWN: JK
 APPROVED: TJB 11/03/15

PLAN MODIFICATIONS: _____ DATE: _____

DIGGERS HOTLINE
 Call 811 or (800) 242-8511
 Milwaukee Area (262) 432-7910
 Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

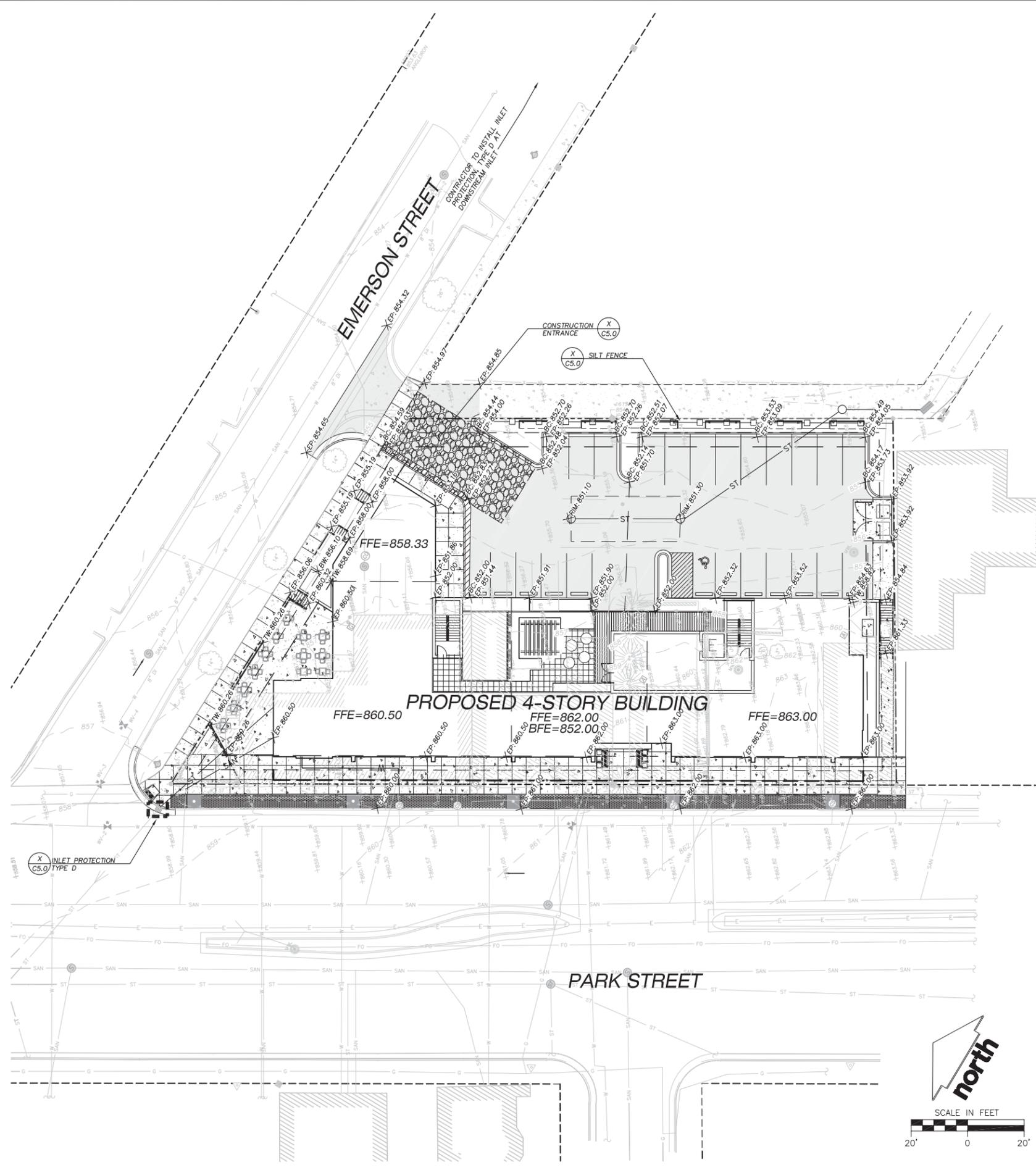
SHEET TITLE:
BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY

MAP NO: C-396
 SHEET NUMBER: 1

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LEGEND (PROPOSED)

---	PROPERTY LINE	---	PROPOSED 1 FOOT CONTOUR
---	RIGHT-OF-WAY	---	PROPOSED 5 FOOT CONTOUR
---	EASEMENT LINE	---	DRAINAGE DIRECTION
---	5' PAVEMENT SETBACK	---	SILT FENCE
---	10' BUILDING SETBACK	---	INLET PROTECTION, TYPE D
---	EDGE OF PAVEMENT	---	SPOT ELEVATION
---	RAILING (BY OTHERS)	---	EP - EDGE OF PAVEMENT
---	SAN - SANITARY SEWER	---	FG - FINISH GRADE
---	W - WATER LINE	---	EC - EDGE OF CONCRETE
---	ST - STORM SEWER	---	TS - TOP OF STEP
---	STANDARD CURB AND GUTTER	---	TS - BOTTOM OF STEP
---	REJECT CURB AND GUTTER	---	RM - RIM ELEVATION
---	ASPHALT PAVEMENT	---	GRADE BREAK
---	CONCRETE PAVEMENT	---	
---	LIGHT POLE	---	

CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS (GSECR) NOTES:

- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/runoff/stormwater/techstds.htm>
- INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
- EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% OF THE COVER FOR THE UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
- INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
- INSTALL TEMPORARY SEDIMENT TRAPS PER LATEST EDITION OF WDNR STORM WATER CONSTRUCTION SITE EROSION & SEDIMENT CONTROL STANDARDS NOTE 106.3. SEDIMENT TRAPS SHALL BE SIZED BASED ON MEDIUM SOIL TEXTURAL CLASS. SEDIMENT TRAPS SHALL BE INSPECTED WITHIN 24 HOURS AFTER EVERY RAIN EVENT PRODUCING 0.5 INCHES OF RAIN OR MORE AND AT A MINIMUM SEDIMENT SHALL BE REMOVED WHEN SEDIMENT REACHES A DEPTH OF 1 FOOT OR WHEN OUTLET BECOMES CLOGGED. SEDIMENT TRAPS SHALL BE REMOVED AND THE LOCATION STABILIZED AFTER THE DISTURBED AREA DRAINING TO THE SEDIMENT TRAP IS STABILIZED AND NO LONGER SUSCEPTIBLE TO EROSION. ALL SEDIMENT SHALL BE PROPERLY DISPOSED.
- INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - PLACE EXCAVATED TRENCH ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING, WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW.
- CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 106B.
- SILT FENCE LOCATION REPRESENTED ON SHEET C3.0 INDICATES DISTURBANCE LIMITS.
- STABILIZATION PRACTICES:**
 - * STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
 - PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
 - TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
 - HYDRO-MULCHING WITH A TACKIFIER
 - GEOTEXTILE EROSION MATTING
 - SODDING
 - * THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - * CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
 - * STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
 - PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
 - TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
 - HYDRO-MULCHING WITH A TACKIFIER
 - GEOTEXTILE EROSION MATTING
 - SODDING

GRADING AND SEEDING NOTES

- ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
- CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDING AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
- IF GRADING ACTIVITIES STOP ON ANY PORTION OF LAND FOR 14 OR MORE CALENDAR DAYS, THE AREA IN QUESTION MUST BE TEMPORARILY STABILIZED.
- ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.

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SERVICES PROVIDED TO:

SHULFER ARCHITECTS, LLC

7780 ELMWOOD AVENUE,
 MIDDLETON, WI 53562

PROJECT:

**1109 S PARK STREET
 ASIEN CENTER
 REDEVELOPMENT**

PROJECT LOCATION:

CITY OF MADISON
 DANE COUNTY, WI

JSD PROJECT NO.: 15-7089

SEAL/SIGNATURE:

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APPROVED:	KJY	DATE:	08/15/2016
PLAN MODIFICATIONS:		DATE:	
LAND USE SUBMITTAL		DATE:	08/17/2016

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SHEET TITLE:

**GRADING AND
 EROSION CONTROL
 PLAN**

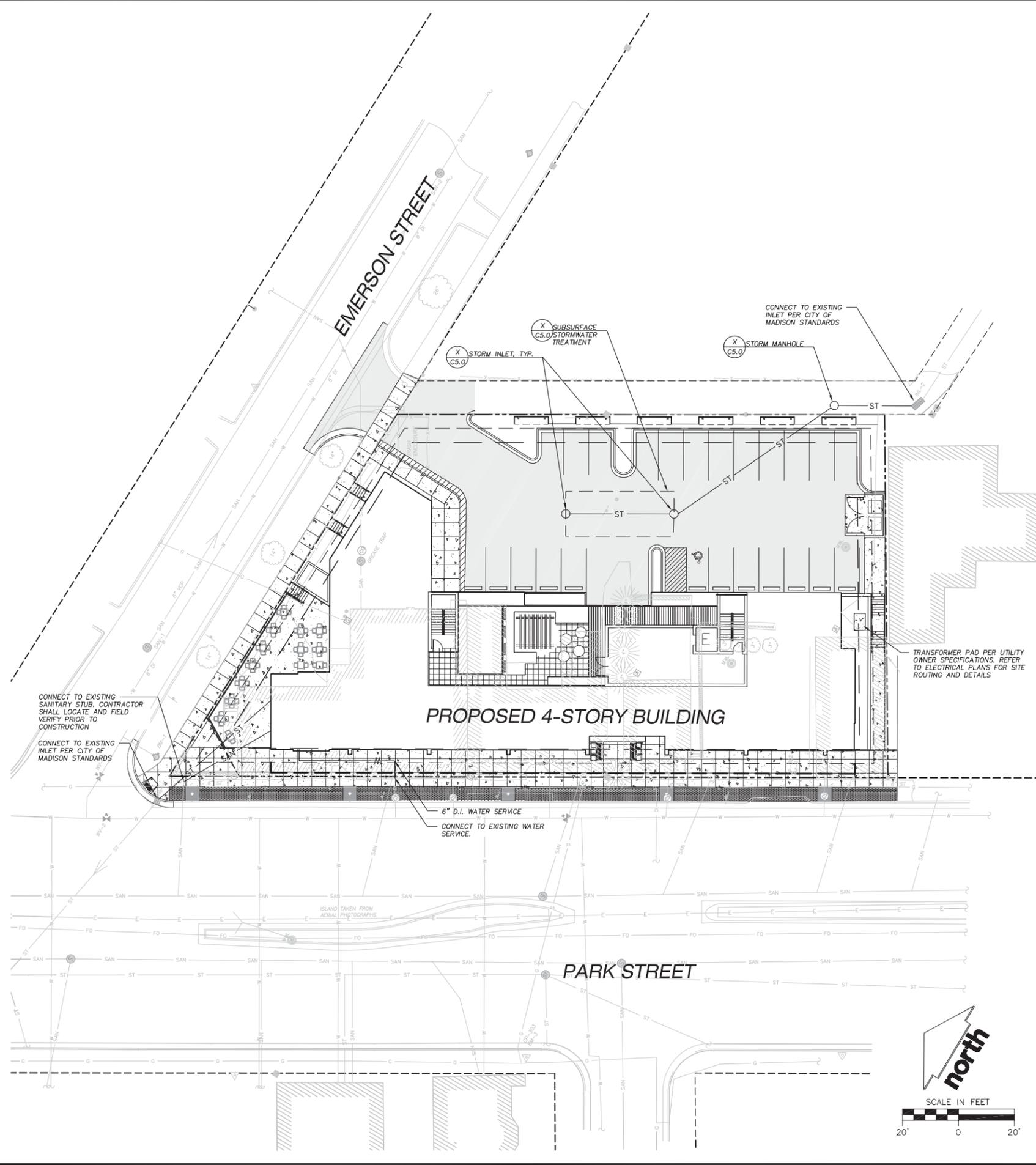
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LEGEND (PROPOSED)

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- 5' PAVEMENT SETBACK
- 10' BUILDING SETBACK
- EDGE OF PAVEMENT
- RAILING (BY OTHERS)
- SAN --- SANITARY SEWER
- W --- WATER LINE
- ST --- STORM SEWER
- STANDARD CURB AND GUTTER
- REJCT CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- LIGHT POLE

UTILITY NOTES:

1. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
2. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
4. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WDSPS, AND WDR.
5. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
7. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
8. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
9. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
10. CONTRACTOR SHALL CONTACT THE CITY OF PEWAUKEE PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES. CONTRACTOR TO VERIFY SIZE AND DEPTH OF EXISTING UTILITY SERVICES AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONNECTING.
11. CONTRACTOR MUST CONTACT AND IS REQUIRED TO NOTIFY THE CITY OF MADISON WATER UTILITY 48 HOURS IN ADVANCE OF CONNECTING TO THE PUBLIC UTILITY.
12. ALL WATER MAIN MUST BE GAPPED AT EVERY 2,000 FOOT INTERVAL. WATER MAIN MUST BE FILLED AND SAFE WATER TESTED PRIOR TO FILLING AND FLUSHING ANY ADDITIONAL 2,000 FOOT PIPE SEGMENTS, PER CITY OF MADISON WATER & SEWER UTILITY.

WATER MAIN INSTALLATION SEQUENCE:

 - INSTALL WATER MAIN - MUST LEAVE A GAP AT THE EXISTING MAIN.
 - FILL WATER MAIN (PRESSURE TEST THE WATER MAIN. CONTRACTOR OPTION)
 - OBTAIN A SAFE WATER SAMPLE
 - TAP SERVICES. TAPS MUST BE MADE UNDER SYSTEM PRESSURE
 - PRESSURE TEST MAIN
 - MAKE WET CONNECTION TO EXISTING WATER MAIN
 - CONNECTION WILL ALSO BE REQUIRED WHEN THE FOLLOWING CONDITIONS ARE MET: WATER MAIN INSTALLATION UP TO 2000' AND/OR 30 DAYS OF INACTIVITY OF WATER MAIN INSTALLATION, WHICH EVER COMES FIRST.
13. ALL PRIVATE SANITARY BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-2.
14. ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3.
15. ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-4.
16. ALL PRIVATE STORM PIPE SHALL CONFORM TO SPS 382.40(B)(4).A.
17. ALL PRIVATE PIPE SHALL BE INSTALLED PER SPS 382.40-8 INCLUDING AT LEAST 8' OF HORIZONTAL DISTANCE BETWEEN WATER PIPING AND SANITARY SEWER FROM CENTER OF PIPE TO CENTER OF PIPE AND 6" OF SEPARATION BETWEEN STORM SEWER AND WATER PIPING.
18. ALL LOCATIONS WHERE STORM SEWER AND WATER MAIN ARE CROSSING AND LESS THAN 3 FEET OF VERTICAL/HORIZONTAL SEPERATION IS PROVIDED, WATER MAIN SHALL BE INSULATED PER STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN LATEST EDITION. INSULATION SHALL CREATE A "BOX" ENCLOSED THE TOP AND SIDES OF WATER MAIN.

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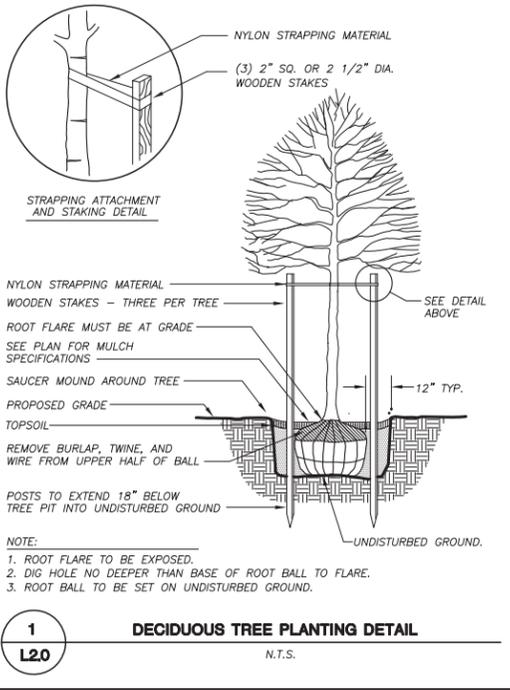
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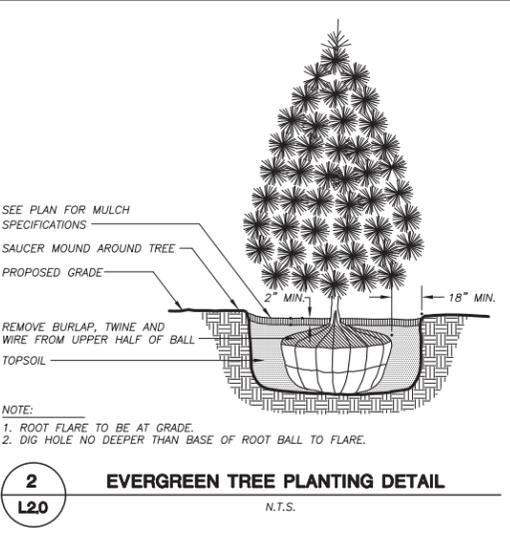
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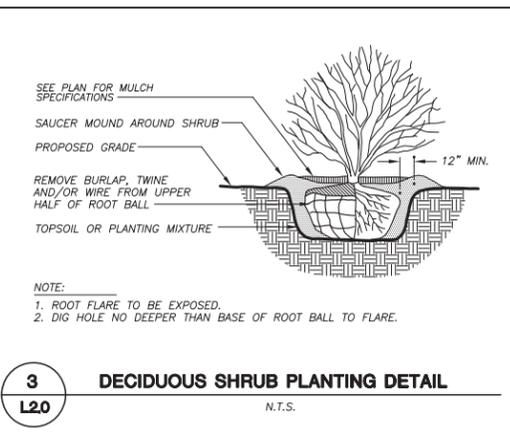
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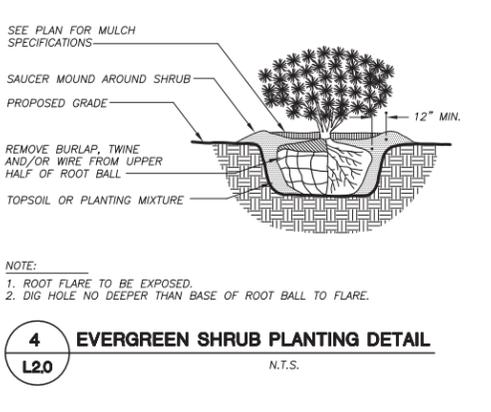
1
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DECIDUOUS TREE PLANTING DETAIL
N.T.S.



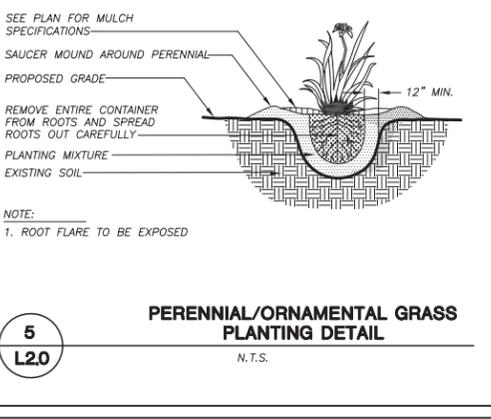
2
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EVERGREEN TREE PLANTING DETAIL
N.T.S.



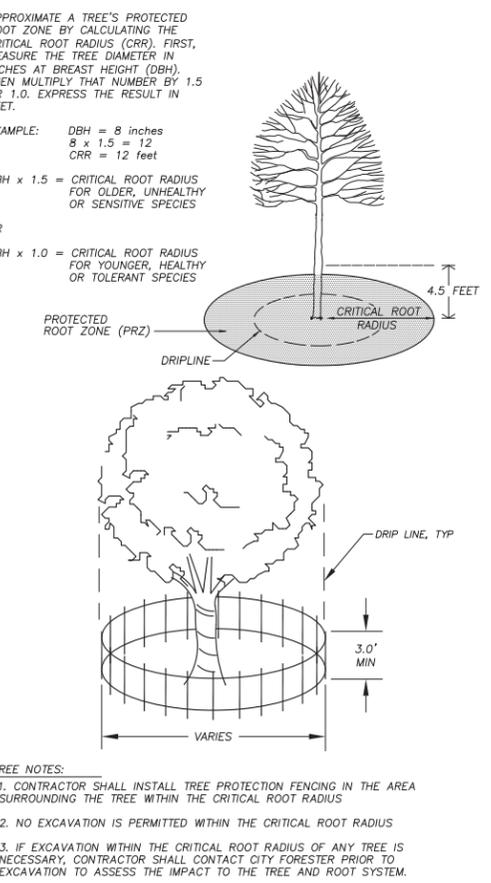
3
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DECIDUOUS SHRUB PLANTING DETAIL
N.T.S.



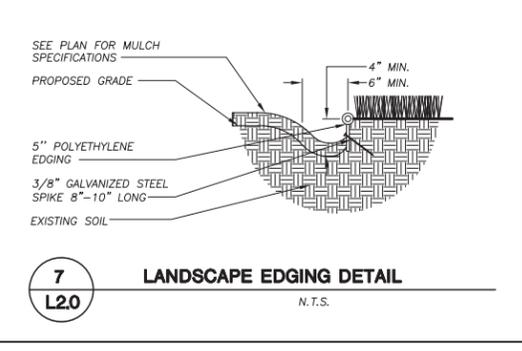
4
L2.0
EVERGREEN SHRUB PLANTING DETAIL
N.T.S.



5
L2.0
PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL
N.T.S.



6
L2.0
TREE PROTECTION DETAIL
N.T.S.



7
L2.0
LANDSCAPE EDGING DETAIL
N.T.S.

LANDSCAPE NOTES AND SPECIFICATIONS

- GENERAL:** ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING:** DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THAT STOCK NOT PLANTED BY STORING STOCK IN A SHADED AREA PROTECTING THE ROOT MASS WITH WET SOIL, MOSS OR OTHER SUITABLE MEDIA AND KEEPING WELL WATERED. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICES.
- GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY OWNER. PLANTS SHALL BE ALIVE AND IN GOOD HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPAIR DAMAGE TO OTHER PLANTS OR PLANTING AREAS DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- MATERIALS - PLANTS:** ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, HAVE TYPICAL GROWTH HABITS FOR THEIR SPECIES, BE SOUND, HEALTHY, VIGOROUS AND FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- MATERIALS - SOIL:** PLANTING SOIL SHALL MEET THESE REQUIREMENTS:
A. PLANTING AREAS = 24"
B. TREE PITS = SEE DETAILS
- PLANTING SOIL TO BE A MINIMUM 24" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A PH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE BEDS PER SOIL TEST.**
- MATERIALS - SHREDDED HARDWOOD BARK MULCH:** ALL PLANTING AREAS SHALL RECEIVE SHREDDED HARDWOOD BARK MULCH OVER ENTIRE PLANTING AREA, UNLESS OTHERWISE SPECIFIED ON PLANS. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS.
- MATERIALS - TREE & SHRUB RINGS:** ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 5' DIAMETER SHREDDED HARDWOOD MULCH TREE RING SPREAD TO CONSISTENT DEPTH OF 4 INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO FINISHED INSTALLATION OF TREE RING.
- MATERIALS - WEED BARRIER FABRIC:** ALL PLANTING BEDS SHALL BE INSTALLED WITH WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- MATERIALS - EDGING:** EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
- MATERIALS - PREGROWN MODULAR PLANTINGS:** ALL PLANTING AREAS LABELED ON PLAN SHALL BE INSTALLED WITH FIRESTONE "SKYSCAPE PREGROWN MODULAR SYSTEM" 4" MEDIA DEPTH (12" X 24" X 5.75"). FIRESTONE "SKYSCAPE" PLANT MIX SHALL BE FIRESTONE SKYSCAPE STANDARD SEDUM MAT MIX. CONTRACTOR TO INSTALL PER MANUFACTURER'S INSTALLATION RECOMMENDATION.
- PRUNING:** THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER AND COAT THE TREATED AREA WITH AN APPROVED ANTISEPTIC TREE PAINT.
- CLEANUP:** DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES UNTIL THE CLEANUP OPERATION IS COMPLETED. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- MAINTENANCE:** (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AREAS AND SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR AT LEAST A PERIOD OF 60 DAYS, OR UNTIL FINAL ACCEPTANCE FROM THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OF DEFICIENT BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION.
- MAINTENANCE:** (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

TREE NOTES:

- CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA SURROUNDING THE TREE WITHIN THE CRITICAL ROOT RADIUS
- NO EXCAVATION IS PERMITTED WITHIN THE CRITICAL ROOT RADIUS
- IF EXCAVATION WITHIN THE CRITICAL ROOT RADIUS OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTER PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM.

CITY OF MADISON
LANDSCAPE WORKSHEET
Section 28.142 Madison General Ordinance

Project Location / Address: LOT 6 THE AMERICAN CENTER - 5102 AMCENTER DRIVE
Name of Project: ASIAN CENTER
Owner / Contact: ORMAN ENGINEERING, LLC
Contact Phone: (608) 848-5060 Contact Email: KEVIN.YESKA@JSDINC.COM

**** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. ****

Applicability
The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- No demolition of a principal building is involved.
- Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution
Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

(a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area: 13,360
Total landscape points required: 223

(b) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area: _____
Five (5) acres = 217,800 square feet
First five (5) developed acres = 3,630 points
Remainder of developed area: _____
Total landscape points required: _____

(c) For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area: _____
Total landscape points required: _____

10/2013 1

Tabulation of Points and Credits
Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2 inch caliper measured diameter at breast height (dbh)	35			7	245
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15			1	15
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10			13	130
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			46	138
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4			24	96
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2			221	442
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 1/2 inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "scat"				
Sub Totals						1,066

Total Number of Points Provided 1,066

* As determined by ANSI ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- STRUCTURAL ENGINEERING
- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU
www.jsdinc.com

SERVICES PROVIDED TO:
SHULFER ARCHITECTS, LLC

7780 ELMWOOD AVENUE,
MIDDLETON, WI 53562

PROJECT:
**1109 S PARK STREET
ASIAN CENTER
REDEVELOPMENT**

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI

JSD PROJECT NO.: 15-7089

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: ABK/EJK 08/15/2016
DRAWN: ABK/EJK 08/15/2016
APPROVED: KYJ 08/15/2016

PLAN MODIFICATIONS: DATE:
LAND USE SUBMITTAL 08/17/2016

DIGGERS HOTLINE

Toll Free (800) 242-8511
Milwaukee Area (414) 258-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

SHEET TITLE:
**LANDSCAPE DETAILS,
NOTES AND
SPECIFICATIONS**

SHEET NUMBER:
L2.0

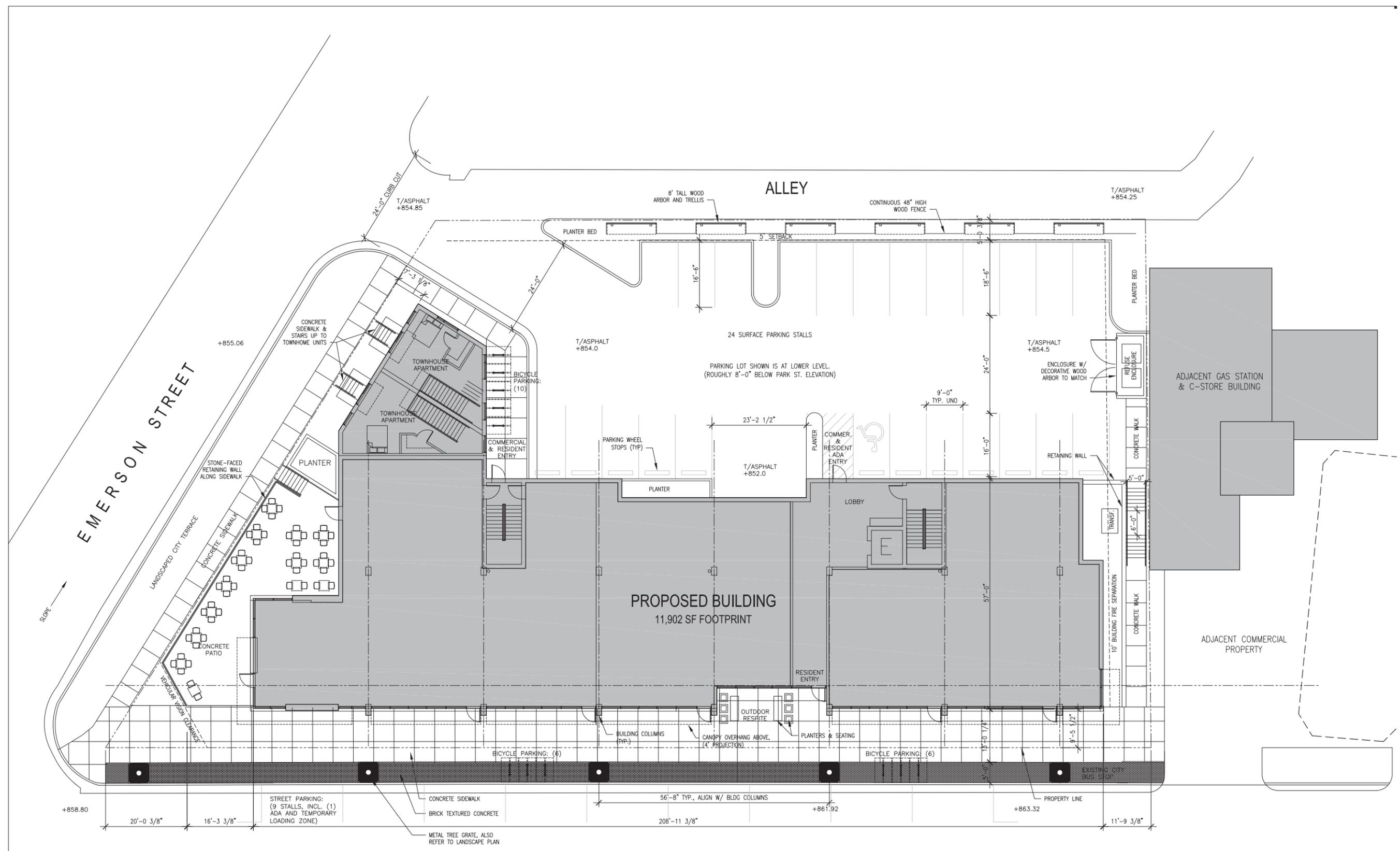


Park Street Asian Center

Location: Madison, Wisconsin

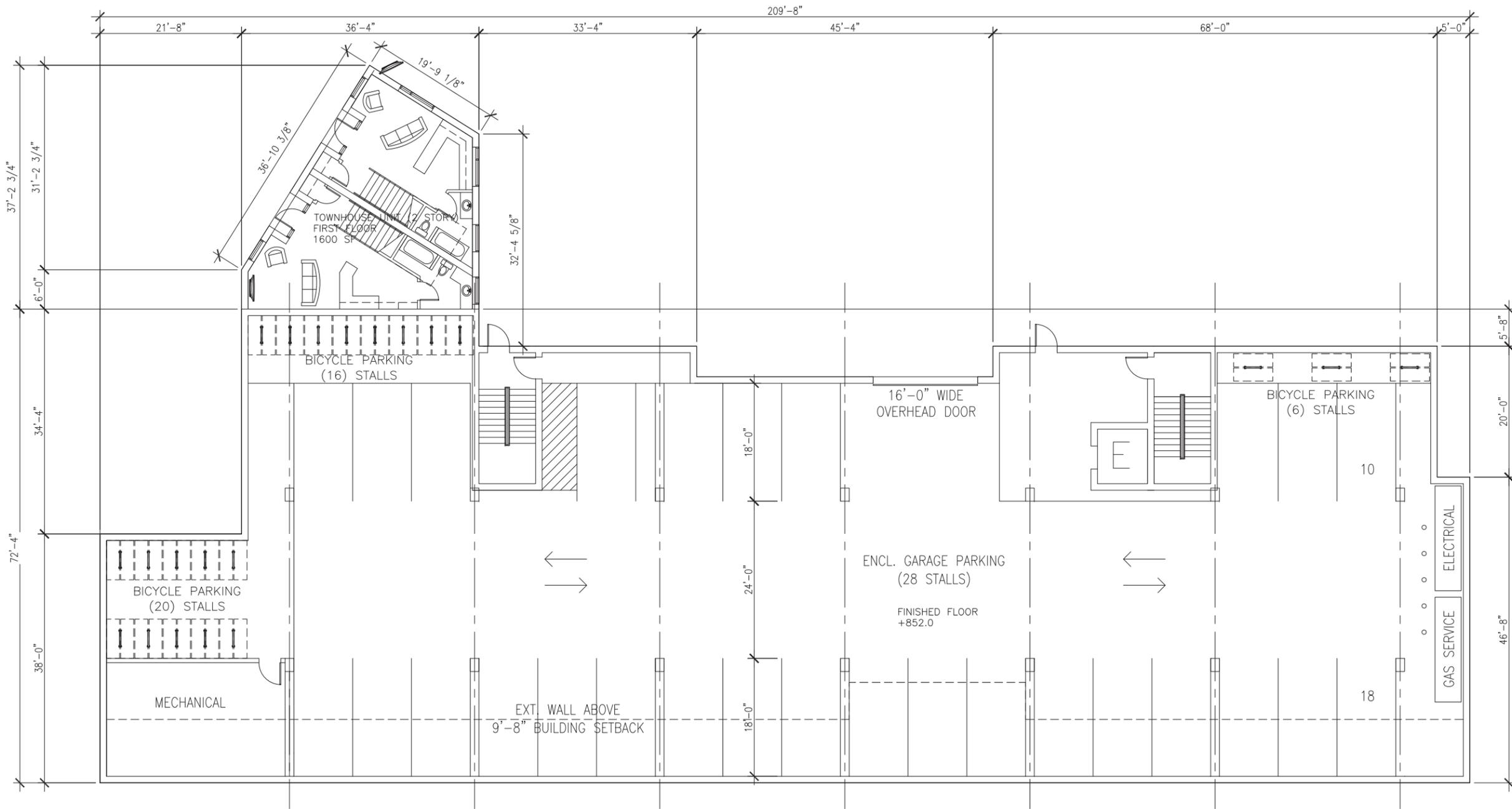
Date: 08.17.16

Rooftop Patio



PROPOSED SITE PLAN - GROUND FLOOR
 3/32" = 1'-0"

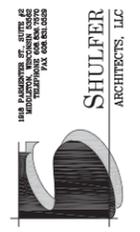
S. PARK STREET



GROUND LEVEL - PARKING

PROPOSED FLOOR PLAN
 1/16" = 1'-0"

GSF/FLOOR= 14,210 SF

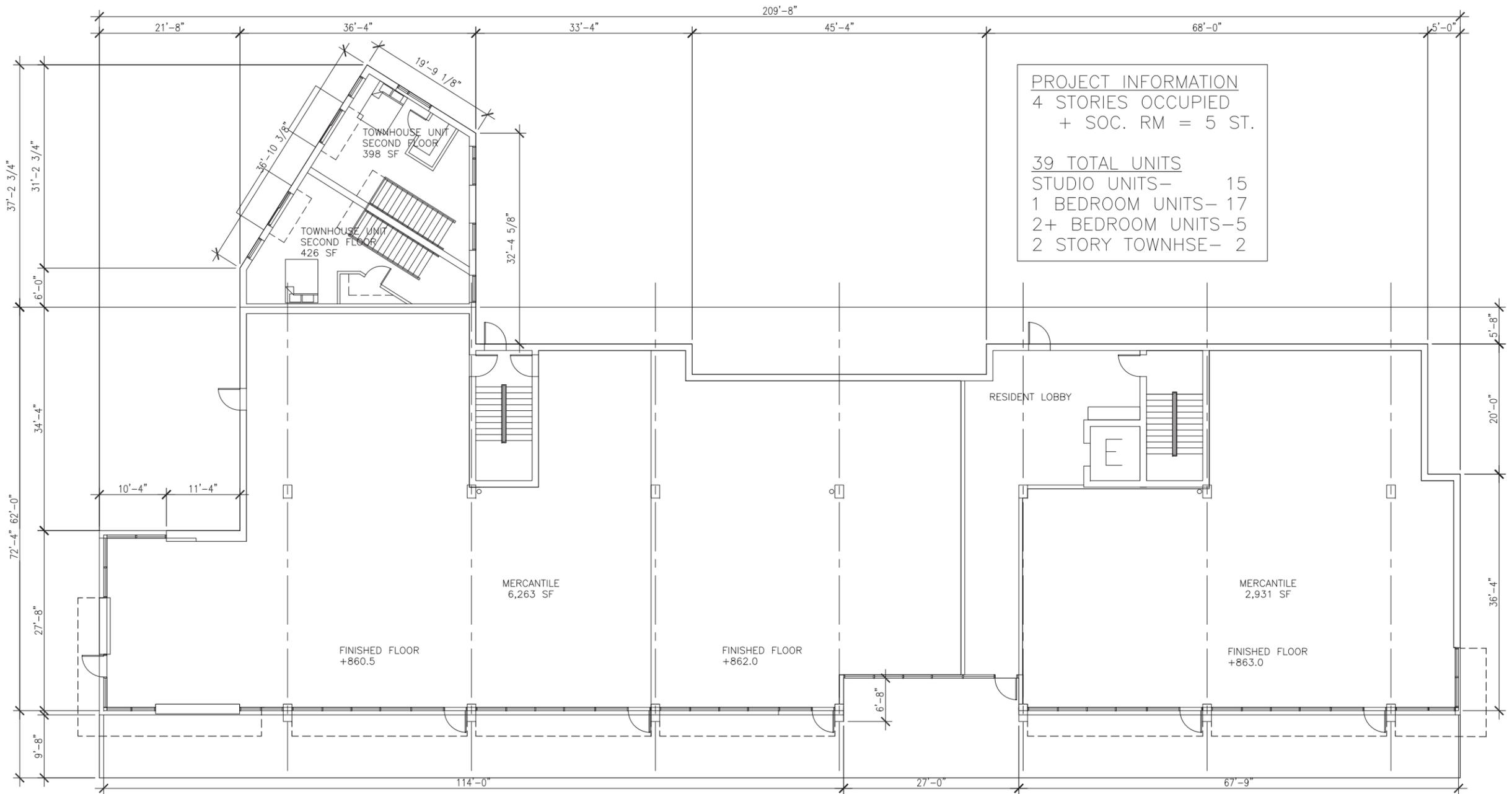


1109 S. PARK STREET
 ASIAN CENTER REDEVELOPMENT
 1109 S. PARK STREET
 MADISON, WI

FLOOR PLAN

08/17/2016
 LAND USE PERMIT

A2.1



PROJECT INFORMATION
 4 STORIES OCCUPIED
 + SOC. RM = 5 ST.

39 TOTAL UNITS
 STUDIO UNITS- 15
 1 BEDROOM UNITS- 17
 2+ BEDROOM UNITS- 5
 2 STORY TOWNHSE- 2

FIRST FLOOR- COMMERCIAL + TOWNHOUSE

PROPOSED FLOOR PLAN
 1/16" = 1'-0"

GSF/FLOOR= 12,030 SF



1109 S. PARK STREET
 ASIAN CENTER REDEVELOPMENT
 1109 S. PARK STREET
 MADISON, WI

FLOOR PLAN

08/17/16
 LAND USE PERMIT

A2.2



SECOND FLOOR- RESIDENTIAL

GSF/FLOOR= 12,183 SF

PROPOSED FLOOR PLAN
 1/16" = 1'-0"

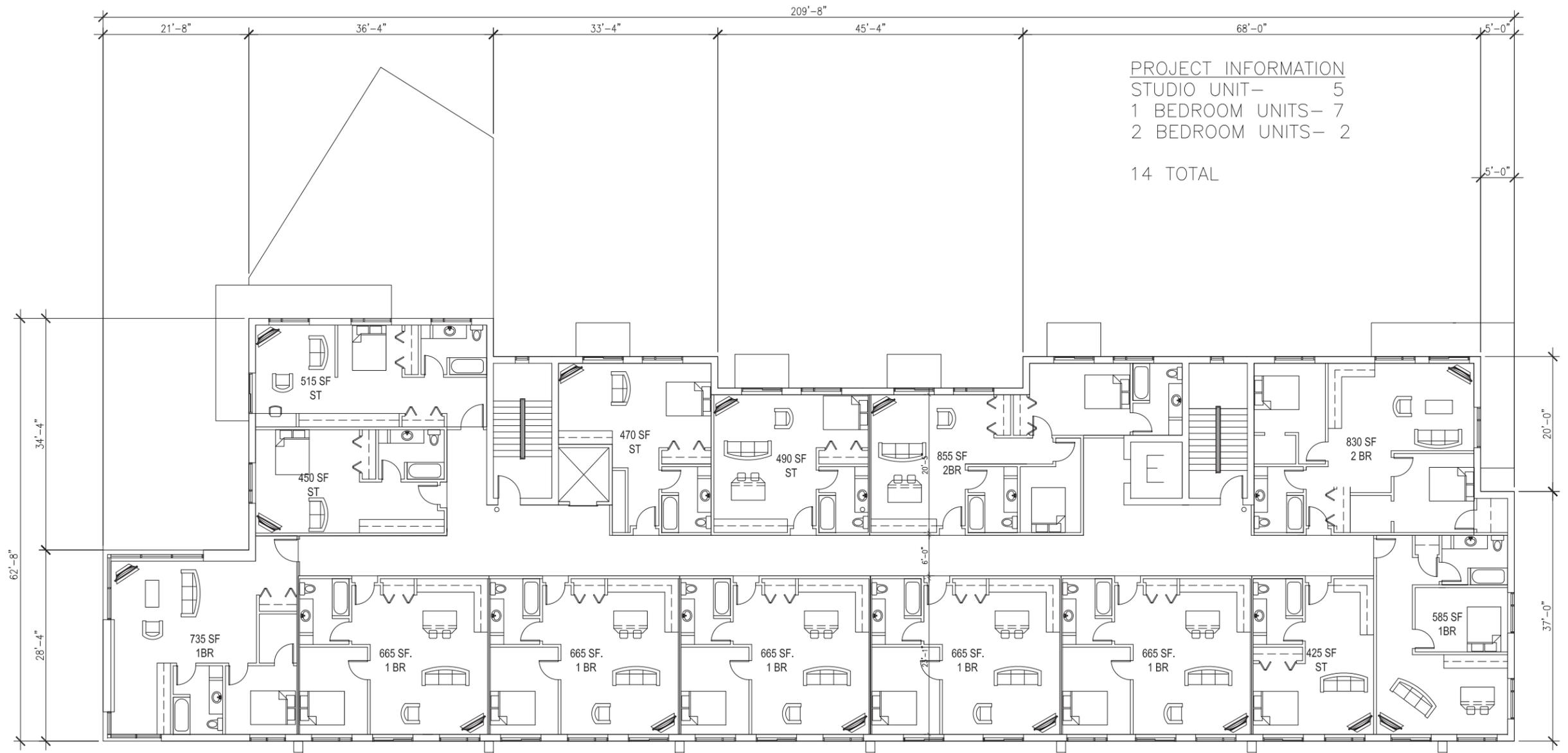


1109 S. PARK STREET
 ASIAN CENTER REDEVELOPMENT
 1109 S. PARK STREET
 MADISON, WI

FLOOR PLAN

08/17/2016
 LAND USE PERMIT

A2.3



PROJECT INFORMATION
 STUDIO UNIT— 5
 1 BEDROOM UNITS— 7
 2 BEDROOM UNITS— 2
 14 TOTAL

THIRD FLOOR- RESIDENTIAL

PROPOSED FLOOR PLAN
 1/16" = 1'-0"

GSF/FLOOR= 11,225 SF

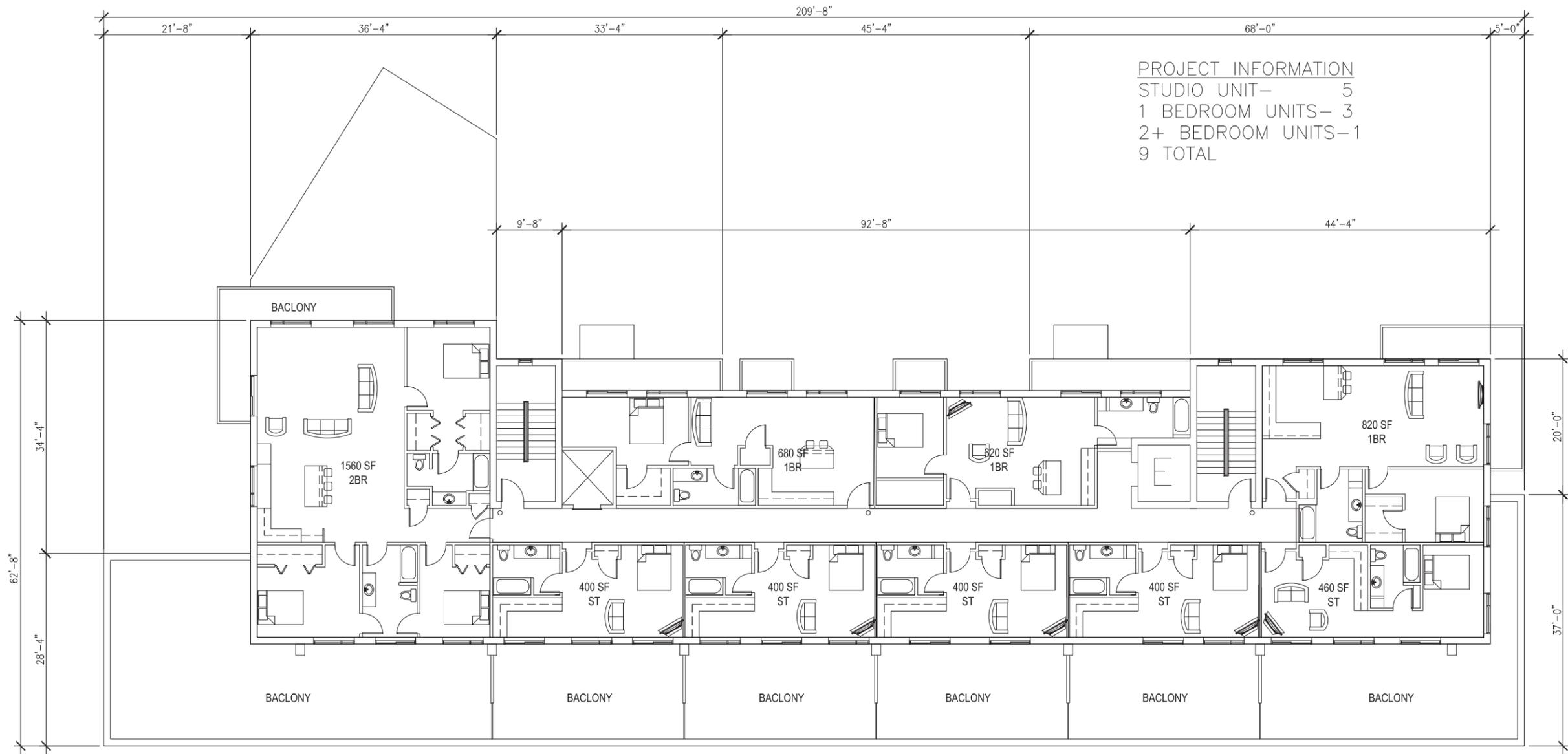


1109 S. PARK STREET
 ASIAN CENTER REDEVELOPMENT
 1109 S. PARK STREET
 MADISON, WI

FLOOR PLAN

08/17/2016
 LAND USE PERMIT

A2.4



PROJECT INFORMATION
 STUDIO UNIT— 5
 1 BEDROOM UNITS— 3
 2+ BEDROOM UNITS—1
 9 TOTAL

FOURTH FLOOR- RESIDENTIAL

PROPOSED FLOOR PLAN
 1/16" = 1'-0"

GSF/FLOOR= 7,460 SF

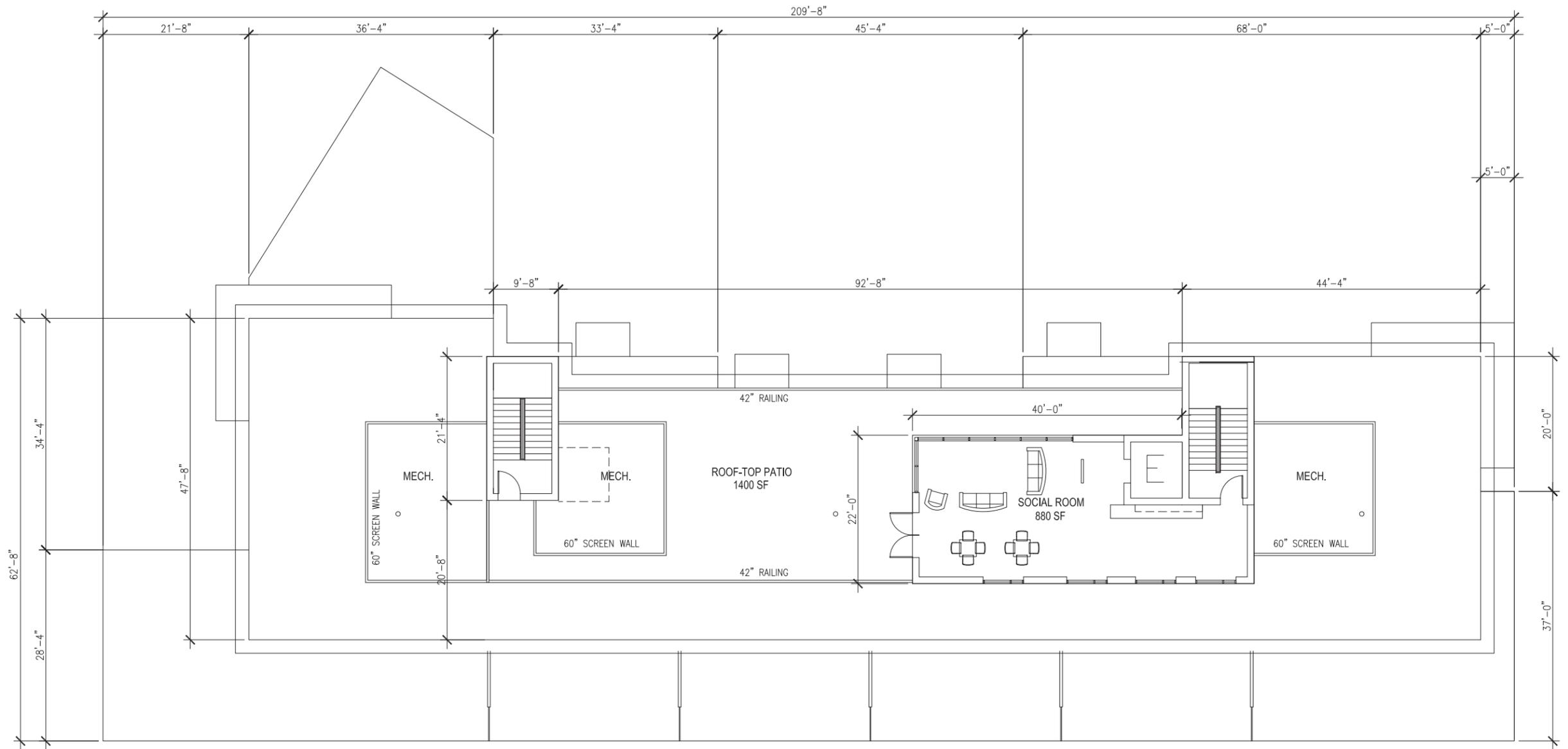


1109 S. PARK STREET
 ASIAN CENTER REDEVELOPMENT
 1109 S. PARK STREET
 MADISON, WI

FLOOR PLAN

08/17/2016
 LAND USE PERMIT

A2.5



FIFTH FLOOR- SOCIAL SPACE

GSF/FLOOR= 1,465 SF

PROPOSED FLOOR PLAN
 1/16" = 1'-0"



SHULFER
ARCHITECTS, LLC

1109 S. PARK STREET
 ASIAN CENTER REDEVELOPMENT
 1109 S. PARK STREET
 MADISON, WI

FLOOR PLAN

08/17/2016
 LAND USE PERMIT

A2.6



1 NORTH ELEVATION
1/8"=1'-0"

- MATERIAL KEY NOTES:**
- ① THERMALLY IMPROVED ALUMINUM STOREFRONT FRAMING W/ 1" LOW-E TINTED GLAZING. COLOR: BRONZE
 - ② FIBERGLASS WINDOWS WITH OPERABLE AWING PANEL. COLOR: BRONZE
 - ③ ARCHITECTURAL FLAT SEAM METAL PANEL- VERTICAL ORIENTATION. COLOR: GREY
 - ④ ALUMINUM CANOPY SYSTEM- COLOR: BURGUNDY
 - ⑤ BRICK VENEER
 - ⑥ CULTURED STONE- BUFF COLOR
 - ⑦ LP SMARTSIDE PREFINISHED SIDING- COLOR #1
 - ⑧ LP SMARTSIDE PREFINISHED SIDING- COLOR #2
 - ⑨ LP SMARTSIDE PREFINISHED TRIM
 - ⑩ STAINED WOOD PLANK SOFFIT
 - ⑪ STAINED CEDAR TRELLIS
 - ⑫ PHENOLIC RESIN PANELS- WOOD GRAIN
 - ⑬ BREAK METAL CAP- COLOR CHARCOAL



2 WEST ELEVATION
1/8"=1'-0"



1109 S. PARK STREET
ASIAN CENTER REDEVELOPMENT
1109 S. PARK STREET
MADISON, WI

EXTERIOR ELEVATIONS

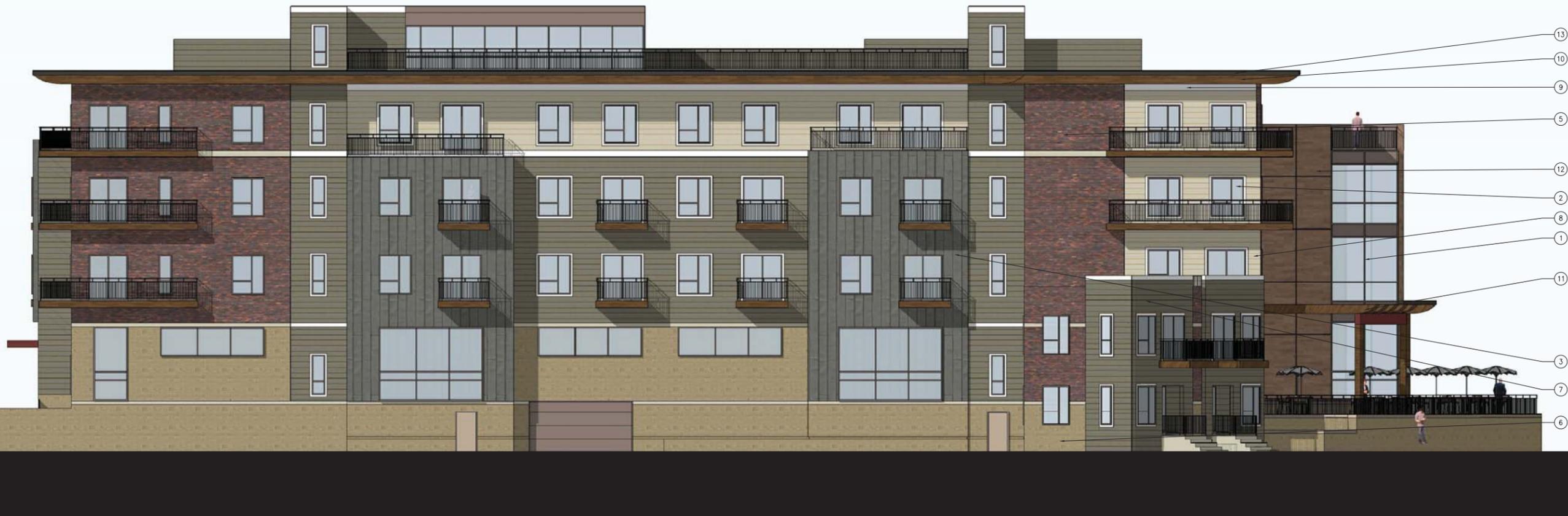
8/17/16
LAND USE APPLICATION

A3.1

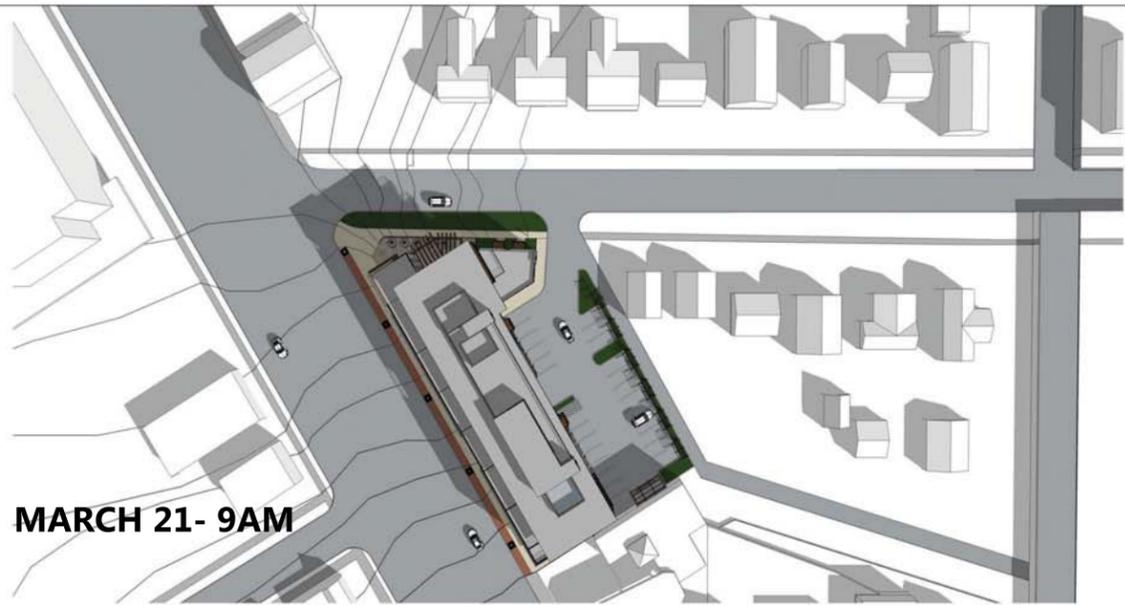


- MATERIAL KEY NOTES:**
- ① THERMALLY IMPROVED ALUMINUM STOREFRONT FRAMING W/ 1" LOW-E TINTED GLAZING. COLOR: BRONZE
 - ② FIBERGLASS WINDOWS WITH OPERABLE AWING PANEL. COLOR: BRONZE
 - ③ ARCHITECTURAL FLAT SEAM METAL PANEL - VERTICAL ORIENTATION. COLOR: GREY
 - ④ ALUMINUM CANOPY SYSTEM - COLOR: BURGUNDY
 - ⑤ BRICK VENEER
 - ⑥ CULTURED STONE - BUFF COLOR
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 - ⑨ LP SMARTSIDE PREFINISHED TRIM
 - ⑩ STAINED WOOD PLANK SOFFIT
 - ⑪ STAINED CEDAR TRELLIS
 - ⑫ PHENOLIC RESIN PANELS - WOOD GRAIN
 - ⑬ BREAK METAL CAP - COLOR CHARCOAL

1 SOUTH ELEVATION
1/8"=1'-0"



2 EAST ELEVATION
1/8"=1'-0"



MARCH 21- 9AM



JUNE 21- 9AM



MARCH 21- NOON



JUNE 21- NOON



MARCH 21- 3PM



JUNE 21- 3PM



1109 S. PARK STREET
ASIAN CENTER REDEVELOPMENT
1109 S. PARK STREET
MADISON, WI

SHADOW STUDIES

8/17/16
LAND USE APPLICATION



SEPT 21- 9AM



DEC 21- 9AM



SEPT 21- NOON



DEC 21- NOON

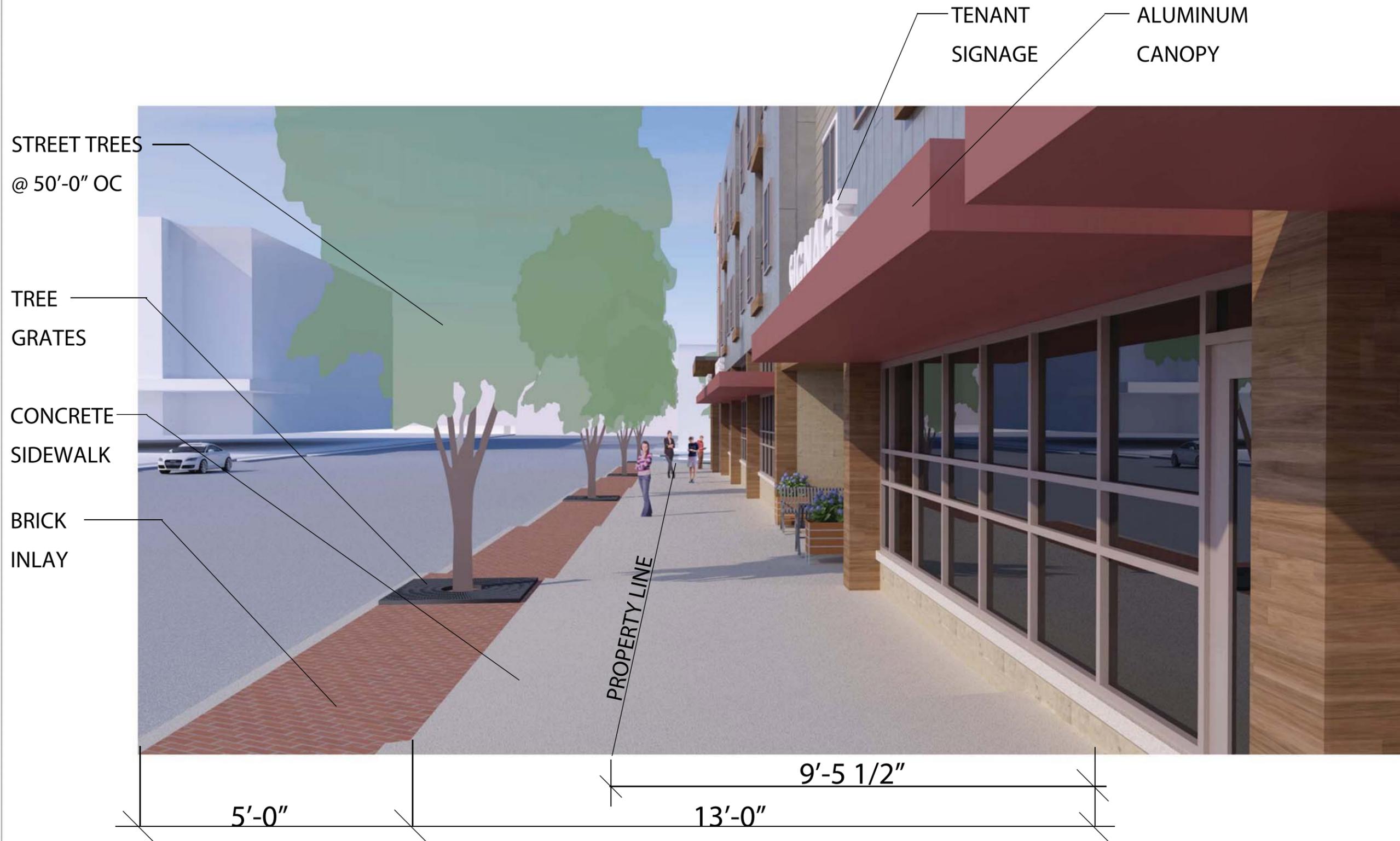


SEPT 21- 3PM



DEC 21- 3PM

STREETSCAPE

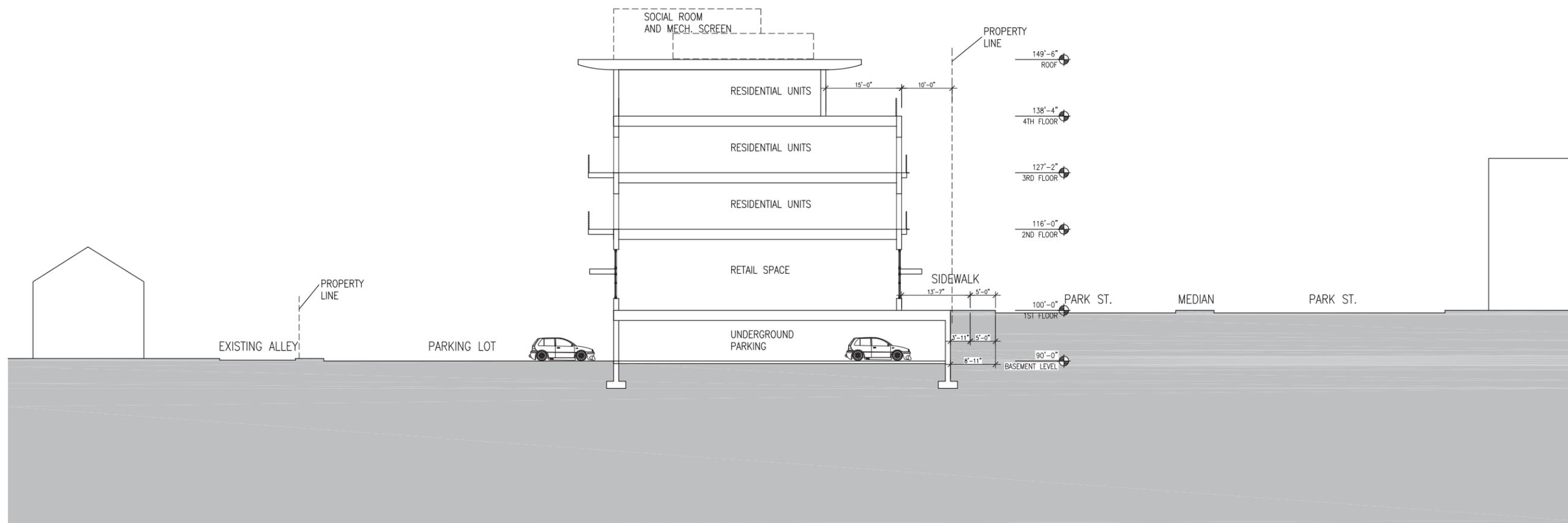


1109 S. PARK STREET
ASIAN CENTER REDEVELOPMENT
1109 S. PARK STREET
MADISON, WI

STREETSCAPE

08/17/16
LAND USE APPLICATION

A5.0



1 BUILDING SECTION
 1"=10'-0"









August 17, 2016

City of Madison
Department of Planning and Community Development
215 Martin Luther King Jr. Blvd.
P.O. Box 2985
Madison, WI 53701

Re: Land Use Application
Proposed new development
1109 S. Park St.
Madison, Wisconsin

City Staff and Commission Members:

On behalf of property owner Sue Jiang and our development team, I am submitting this "Letter of Intent" to the City of Madison for a requisite Land Use Application, and for Urban Design Commission Final Approval. Please find enclosed with this letter the necessary application form, fee, and drawings illustrating and supporting the information herein.

Development Team:

Owner:

Sue Jiang
Tri-River Realty
622 S. Park Street
Madison, WI 53713
608-283-9335

Civil Engineer:

JSD Professional Services, Inc.
Contact: Hans Justison, PE
161 Horizon Drive, Suite 101
Verona, WI 53593
608-848-5060

Property Manager:

Madison Property management
Contact: Jim Stoppie
1202 Regent Street
Madison, WI 53715
608-268-4912

Landscape Architect:

JSD Professional Services, Inc.
Contact: Kevin Yeska
161 Horizon Drive, Suite 101
Verona, WI 53593
608-848-5060

Architect:

Shulfer Architects, LLC
Contact: Nick Badura
7780 Elmwood Avenue, Suite 208
Middleton, WI 52562
08-836-7570

Structural Engineer:

MP-Squared Structural Engineers, LLC
Contact: Mark Puccio
583 D'Onofrio Drive
Suite 201
Madison, WI 53719

**Project Overview:**

The proposed project will include the redevelopment of four existing properties at the 1100 block of South Park Street, hereafter referred to collectively as 1109 S. Park Street. The development extends along the East side of S. Park Street, from Emerson Street south to the existing gas station/convenience store north of Olin Avenue.

The proposed building is a *4-story structure at Park Street, (*with a small fifth-level social/community room for shared access to a roof-top patio). There will be a level of parking beneath the building, and beneath Park Street elevation, as well as a surface parking lot on the east side of the property, all of which will be accessed via an existing driveway/curb cut from Emerson Street, combined with an existing alleyway.

Demolition needed:

All existing structures on the properties affected are proposed to be razed in their entirety. There are no historically or architecturally significant structures, and all are in a state of deterioration requiring extensive costs to repair if saved.

Use and Occupancy:

This will be a mixed-use development with approximately 9,194 square feet of commercial space on the first floor. An outdoor patio area is proposed at the intersection of Emerson and Park Street for a possible restaurant tenant (future conditional use will be sought for this as the tenant is identified).

There will be 39 residential apartments on floors 2, 3 and 4, including two townhouse style, two-story units accessed at grade on Emerson Street. All residential units will be standard market-rate apartment units. A specific breakdown of units, sizes, and gross building areas is provided later in this document.

The building Owner, Sue Jiang, has indicated she will most likely occupy one larger unit on the fourth floor.

A roof-top common social room is provided for resident and possible community use.

Business Hours of Operation:

The commercial tenants have not yet been identified, as such we can not speak for their specific hours. However, it is anticipated that there will be a mix of professional service, retail, and restaurant businesses. The normal hours of operation would be 8:00 am to 7:00 pm for office uses, 10:00 am to 7:00 pm for retail uses, and 11:00 am to 11:00 pm for restaurant uses. Some variances are to be expected for weekends and specific business models.

**Building Setback / Sidewalk:**

The existing buildings to be razed for this project currently have no setback from the property line, leaving a sidewalk and terrace combined dimension of approximately eight feet. At the request of staff and UDC, we have stepped the entire building back ten feet above grade, creating a pedestrian sidewalk/terrace width of 18-feet.

A paving setback of five feet will be maintained along the East property line, allowing for enhanced landscape and decorative screening walls.

Parking:

There will be approximately 52 parking stalls, 28 of which will be in the enclosed, secure parking garage, 24 on the surface parking lot.

Bicycle parking will be accommodated both internally and externally, on both sides of the building. Twelve bicycle parking placements will be accommodated on Park Street side, another six on the parking lot side, and 36 stalls will be located on loops inside the parking garage. The total bicycle parking will be 54 on-ground bicycle stalls.

Access:

Entries to the commercial tenants will be gained via independent storefronts along the Park Street (west) side of the building. Most tenants, depending on size and location, will have access to the exit stairs, providing direct access to both the surface parking and underground parking lots.

Resident entry will be gained from either the egress stairs (accessed in two locations from the east side of the building, or internally), an adjacent elevator, or from a common resident entry on Park Street.

Building and Tenant Services:

Trash and recycling will be located in a decorative masonry enclosure located along the south property line (adjacent to and partially covering the existing concrete and masonry wall of the gas station).

Deliveries to the commercial tenants will be from the Park Street side of the building, via a proposed dedicated loading zone near the Emerson/Park intersection. Specific time limits can be accommodated pending discussions with City Traffic Engineering.

Gas and Electric utilities are proposed to enter the building from the south end, with a new transformer located between the building and the property line. (to be verified).

Unique characteristics:

The property slopes six to eight feet from West (Park Street) to the East. This provides best opportunity for underground parking access from the east side of the property.

As Park Street slopes from South to North, approximately three feet along the length of the building, the floor structure will be required to step to follow this grade. Two steps in the first floor height will be provided to overcome this grade change, and to provide accessible access to all spaces.



Accommodations & Considerations:

Through our interactions with City Staff, the Neighborhood and the UDC, the project has responded to many requested changes. Some of these requested changes that the Owner has agreed to have both added costs and reduced revenue-producing square footage for the development. The changes listed below are a list of accommodations that the development team has made, and include:

- Reduce the proposed fifth floor to simply a social room, with no occupied residential space. Also reduced the size of the rooftop patio. (reduction of 6-8 units).
- Eliminated an originally proposed second-level of parking, (and driveway from Park Street) to reduce the mass of the East side of the property, and lowered an originally proposed 25-foot tall wall along the alley to surface parking only.
- The 5th story social room was stepped back away from the east roof line to further visually reduce the height of the building along Emerson Street/residential side.
- Exterior materials from Park Street were carried around to better create a cohesive four-sided architecture. This includes masonry, glazing, and more variation of materials.
- Stepped building back from Park Street to a total of 10-feet from the property line, resulting in a reduction of approximately 7,000 square feet over four floors.
- Parking lot entrance was moved East to combine with the alley entrance, which provides additional space for development along Emerson Street.
- To create more activity along Emerson Street, the northeast corne of the building was opened up with storefront windows along the back corner of the building, and wrapping the patio around the building with a trellis element to define seating areas. The trash was moved from inside the building near Emerson Street, to the end of the parking lot to alleviate noise/sound concerns for nearby residents.
- Added two, two-story townhouse style units on Emerson Street at Neighborhood request
- Added walkway and stair along south property line for neighborhood pass-through
- New trellis structures are proposed to buffer the parking lot from residential properties
- Reduced overall unit count from greater than 47, down to 39.
- Re-balanced unit size ratios, reducing the amount of efficiency units, and increasing the amount of 1 and 2-bedroom units.



Zoning District:

The property is currently zoned TSS, Traditional Shopping Street.

The proposed development is a conforming use.

Three stories is an approved use, an extra two stories in height are allowed with City approval

UDC Design District:

The property is in the UDC Design District #7

Project Data:

Project Address:	1109 S. Park St.
Proposed Use:	Mixed Use Development Commercial/Retail & Residential apartment
Combined Lot size:	27,917 sf
Building lot coverage:	23,720 sf
Lot Coverage:	85% coverage
Sidewalk at Park St:	18'-0" from back curb to bldg. face
Automobile Parking:	52 parking stalls
Bicycle Parking:	52 total spaces required
Building Height:	Proposed 4 stories at Park Street plus 5 th floor social room
Building Area:	See plan (+/- 44,000 finished, plus 14,000 lower level).
Usable Open Space:	2,663 sf pervious landscape area at grade ~ 1,200 sf pervious landscape area at rooftop Commercial patio area: 970 sf Residential patio & balcony area: 1,720 sf
Apartment Totals:	Studio Units- 15 1 Bedroom Units- 17 2 Bedroom Units- 5 <u>Townhouse Units - 2</u> 39 Total Units



Project Schedule:

If granted approval, it is intended that this project will proceed into construction in November, 2016. Completion and Occupancy would be in December 2017.

Jobs Created:

It is anticipated that this development will yield temporary construction work for up to forty FTE's. The commercial space will yield approximately 30 FTE's.

Project Cost:

This project is anticipated to cost approximately \$8,000,000.

Conclusion:

Please accept these documents for Land Use and Urban Design approval. You will find that our development team has gone to great lengths to bridge City and Neighborhood concerns with development objectives. The result is a fantastic addition to the South Park Street corridor, bringing a fresh and vibrant new addition to the community.

I thank you for your consideration, and look forward to discussing this project more in coming months.

Respectfully,

A handwritten signature in black ink, appearing to read 'Steve Shulfer', with a long horizontal flourish extending to the right.

Steve Shulfer, AIA, LEED AP
SHULFER ARCHITECTS, LLC