

CITY OF MADISON

Proposed Demolition

Location: 1518 North Stoughton Road

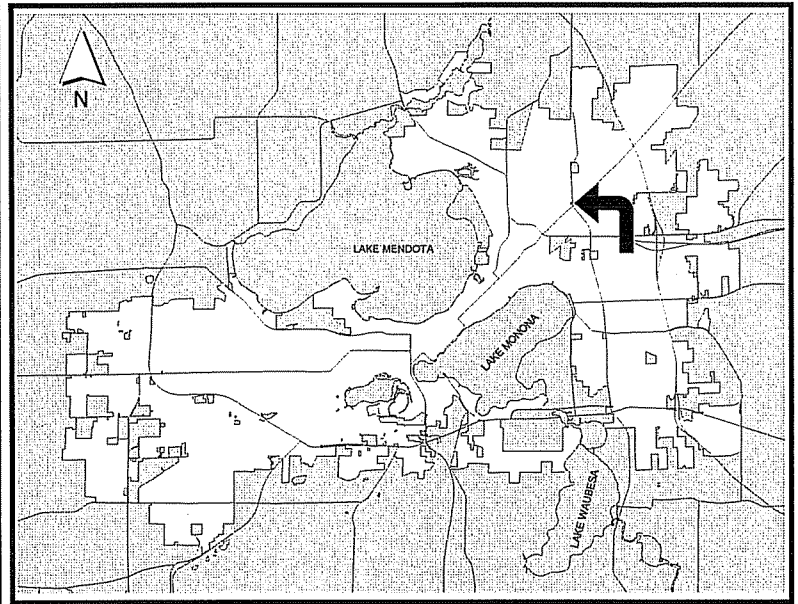
Project Name: Suburban Wheels

Applicant: Jeff Riegert - Gass & Riegert Auto Complex/
Brian Redman - Sieger Architecture

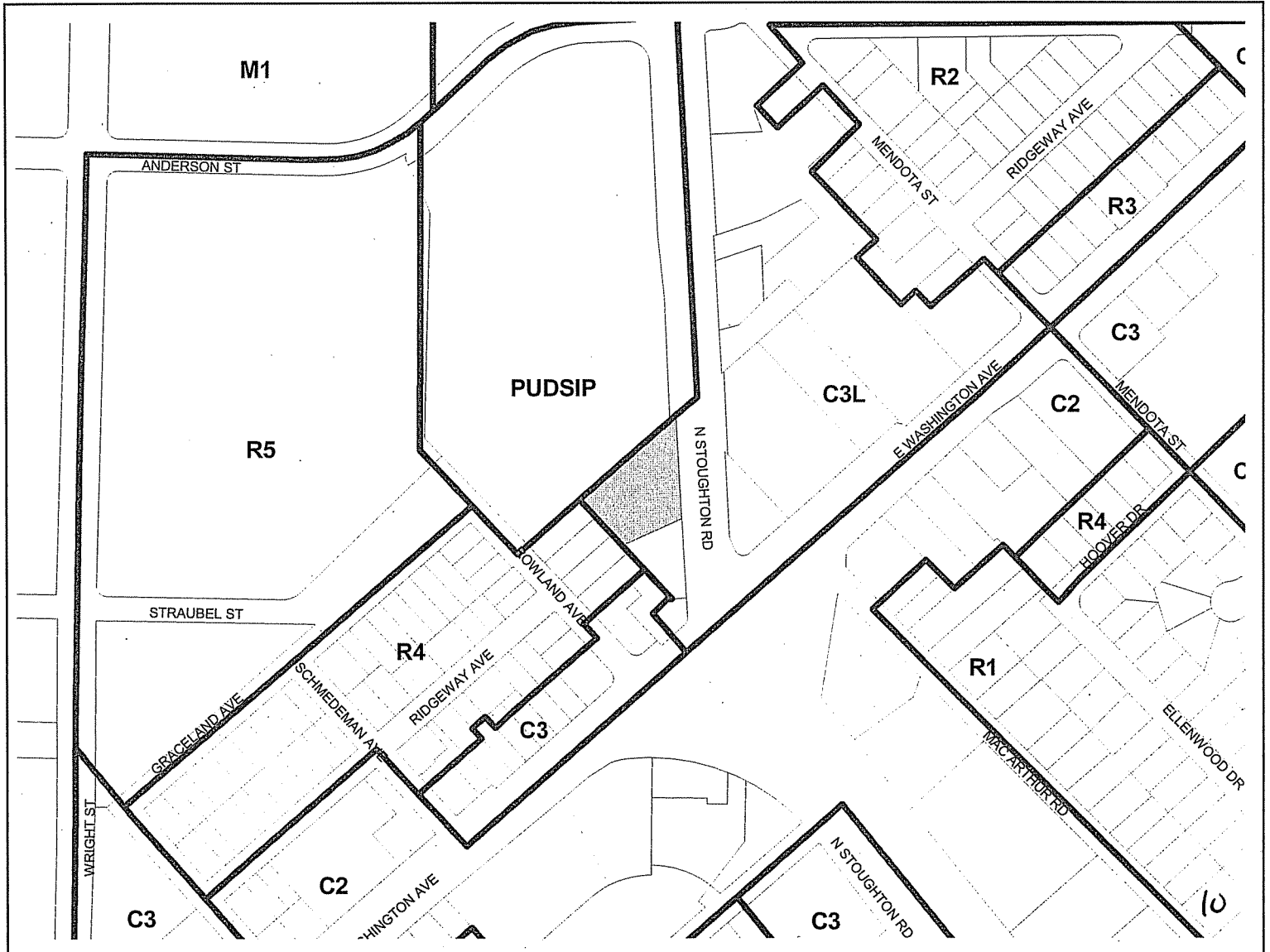
Existing Use: Vacant Restaurant

Proposed Use: Demolish Restaurant and Build
Auto Sales Establishment

Public Hearing Date:
Plan Commission 07 August 2006



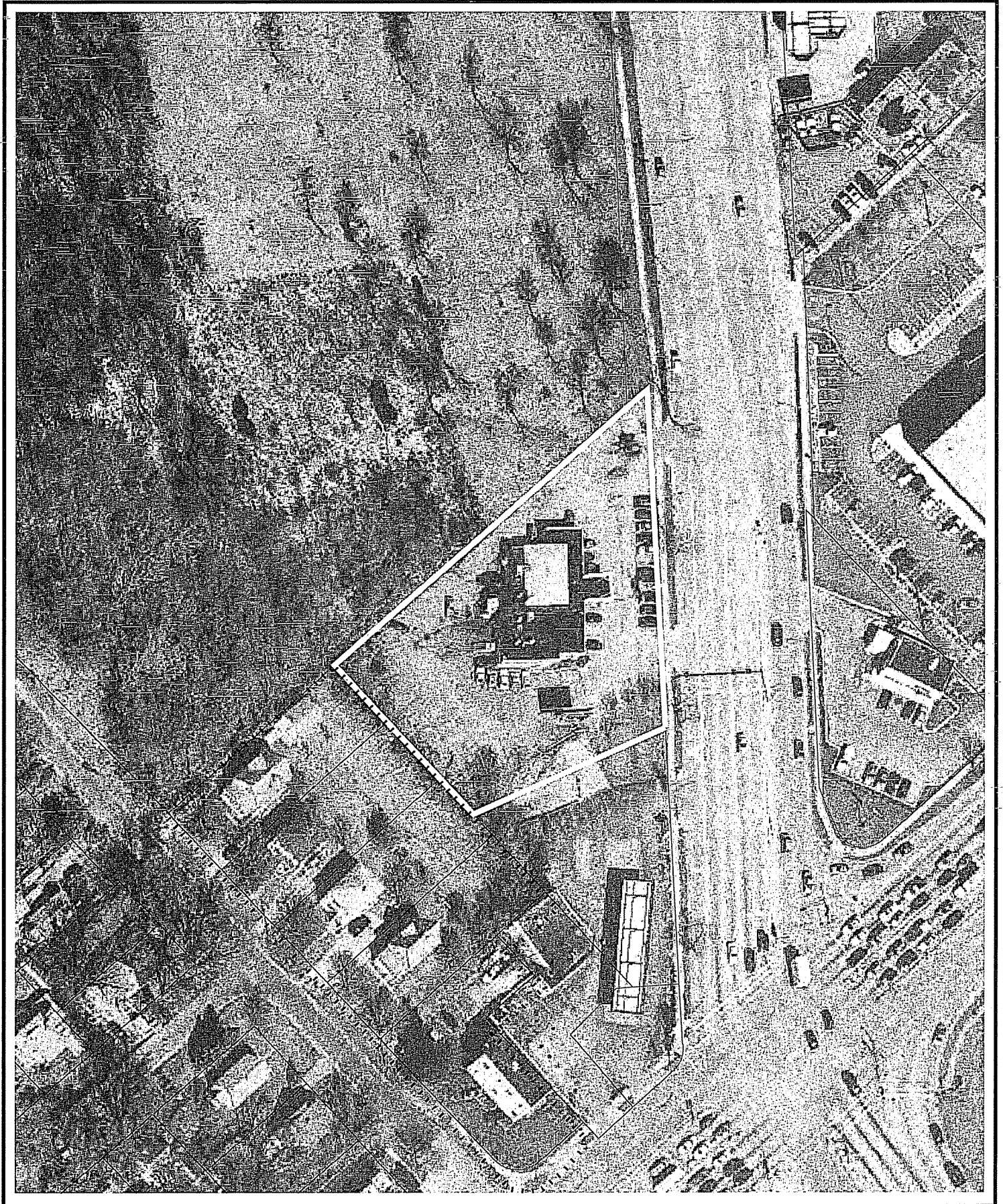
For Questions contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



1518 North Stoughton Road

100 0 100 Feet

Date of Aerial Photography - April 2000



pd 1,100⁰⁰ (Refund \$550.00)

LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.

FOR OFFICE USE ONLY:

Amt. Paid \$ 550 Receipt No. 71432
 Date Received 6-7-06
 Received By KAW
 Parcel No. 0810-321-0099-3
 Aldermanic District 17-Santiago Rosas
 GQ ok-
 Zoning District C3L

For Complete Submittal

Application Letter of Intent
 IDUP N/A Legal Descript.
 Plan Sets Zoning Text N/A
 Alder Notification Waiver _____
 Ngrbrhd. Assn Not. _____ Waiver _____
 Date Sign Issued 6-7-06

1. Project Address: 1518 N STOUGHTON ROAD **Project Area in Acres:** 1.08
Project Title (if any): SUBURBAN WHEELS

2. This is an application for: (check at least one)

Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)

Rezoning from _____ to _____ Rezoning from _____ to PUD/PCD-SIP
 Rezoning from _____ to PUD/PCD-GDP Rezoning from PUD/PCD-GDP to PUD/PCD-SIP

Conditional Use **Demolition Permit** **Other Requests** (Specify): _____

3. Applicant, Agent & Property Owner Information:

Applicant's Name: JEFF RIEGERT Company: GASS & RIEGERT AUTO COMPLEX, INC
 Street Address: 4910 MEINDERS ROAD City/State: MCFARLAND, WI Zip: 53558
 Telephone: (608) 838-7170 Fax: (608) 838-2420 Email: _____

Project Contact Person: BRIAN REDDEMAN Company: SIEGER ARCHITECTURE
 Street Address: 1501 MONROE STREET City/State: MADISON, WI, Zip: 53711
 Telephone: (608) 283-6100 Fax: (608) 283-6101 Email: SIEGERARCHITECTS@SBCGLOBAL.NET

Property Owner (if not applicant): _____
 Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a general description of the project and all proposed uses of the site: 10,700 SQUARE FOOT CAR DEALERSHIP

Development Schedule: Commencement FALL 2006 Completion SPRING 2007

CONTINUE →

5. Required Submittals:

Site Plans submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
- **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
- **One (1) copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper

Letter of Intent: Twelve (12) copies describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.

Legal Description of Property: Lot(s) of record or metes and bounds description prepared by a land surveyor.

Filing Fee: \$ 1100.00 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:

For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.

A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate INCLUSIONARY DWELLING UNIT PLAN application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.

A *Zoning Text* must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

FOR ALL APPLICATIONS: All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

6. Applicant Declarations:

Conformance with adopted City plans: Applications shall be in accordance with all adopted City of Madison plans:

→ *The site is located within the limits of _____ Plan, which recommends: _____ for this property.*

Pre-application Notification: Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:

→ *List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:*

SANTIAGO ROSAS NOTIFIED BY JEFF RIEGERT

1 yr. ago.

If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.

Pre-application Meeting with staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.

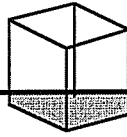
Planner TIM PARKS Date 05/09/06 | Zoning Staff KATHY VOECK Date 05/09/06

The signer attests that this form has been completed accurately and all required materials have been submitted:

Printed Name Jeff Riegert Date 6-7-06

Signature [Handwritten Signature] Relation to Property Owner OWNER

Authorizing Signature of Property Owner _____ Date _____



SIEGER LLC

ARCHITECTURE

1501 Monroe St. Madison, WI 53711
608.283.6100 Fax : 608.283.6101

June 6th, 2006

To: City of Madison Plan Commission
Re: Suburban Wheels
Developer: Gass & Riegert Auto Complex, Inc.
Architect: Sieger Architecture

Letter of Intent

Dear Plan Commission Members:

Gass & Riegert Auto Complex, Inc submits the following information as the developer of the proposed Suburban Wheels; a 10,679 square foot car dealership located 1518 N. Stoughton Rd. Development of the 1.08 acre site will involve the demolition of the existing Red Pepper building currently on the site.

Access to the site will be provided by the existing curb cut on N. Stoughton Rd.

The schedule for the project anticipates a fall of 2006 construction start with completion by April of 2007.

The project development team includes the following individuals and firms:

Developer/Members: Gass & Riegert Auto Complex, Inc.
Kim Gass
Jeff Riegert
4910 Meinders Road
McFarland, WI 53558
608-838-7170

Architect: Sieger Architecture
Bob Sieger
1501 Monroe Street
Madison, WI 53711
608.283.6100

Contractor: Riegert Builders
Jeff Riegert
4910 Meinders Road
McFarland, WI 53558
608.838.7170

Contact Person: Brian Reddeman
1501 Monroe Street
Madison, WI 53711
608.283.6100

Signed:

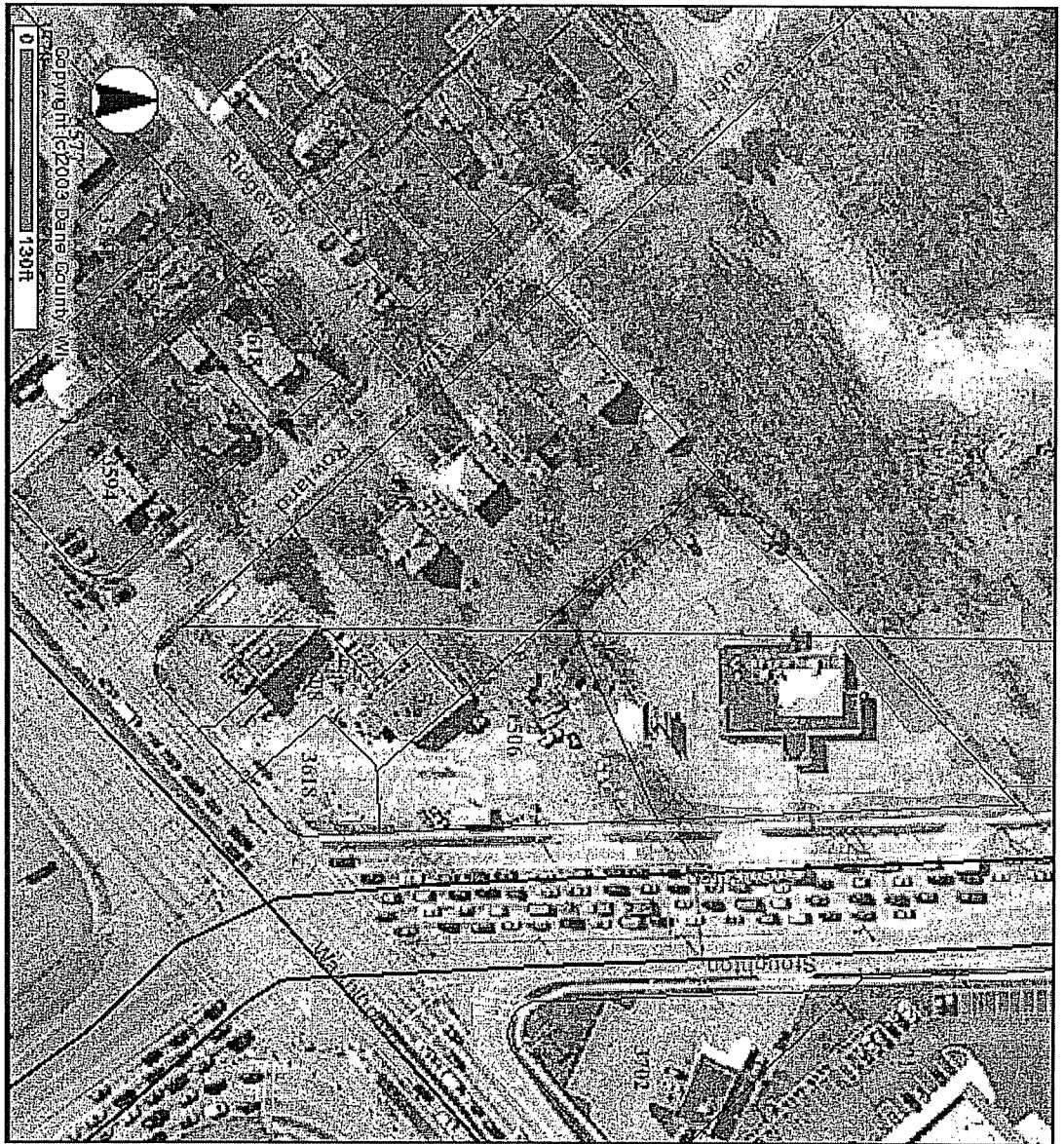


Brian W. Reddeman

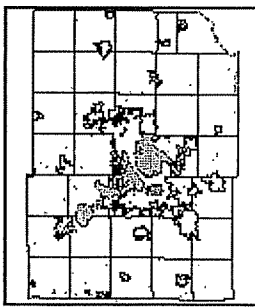
Date:

6-7-06

Dane County DCiMap

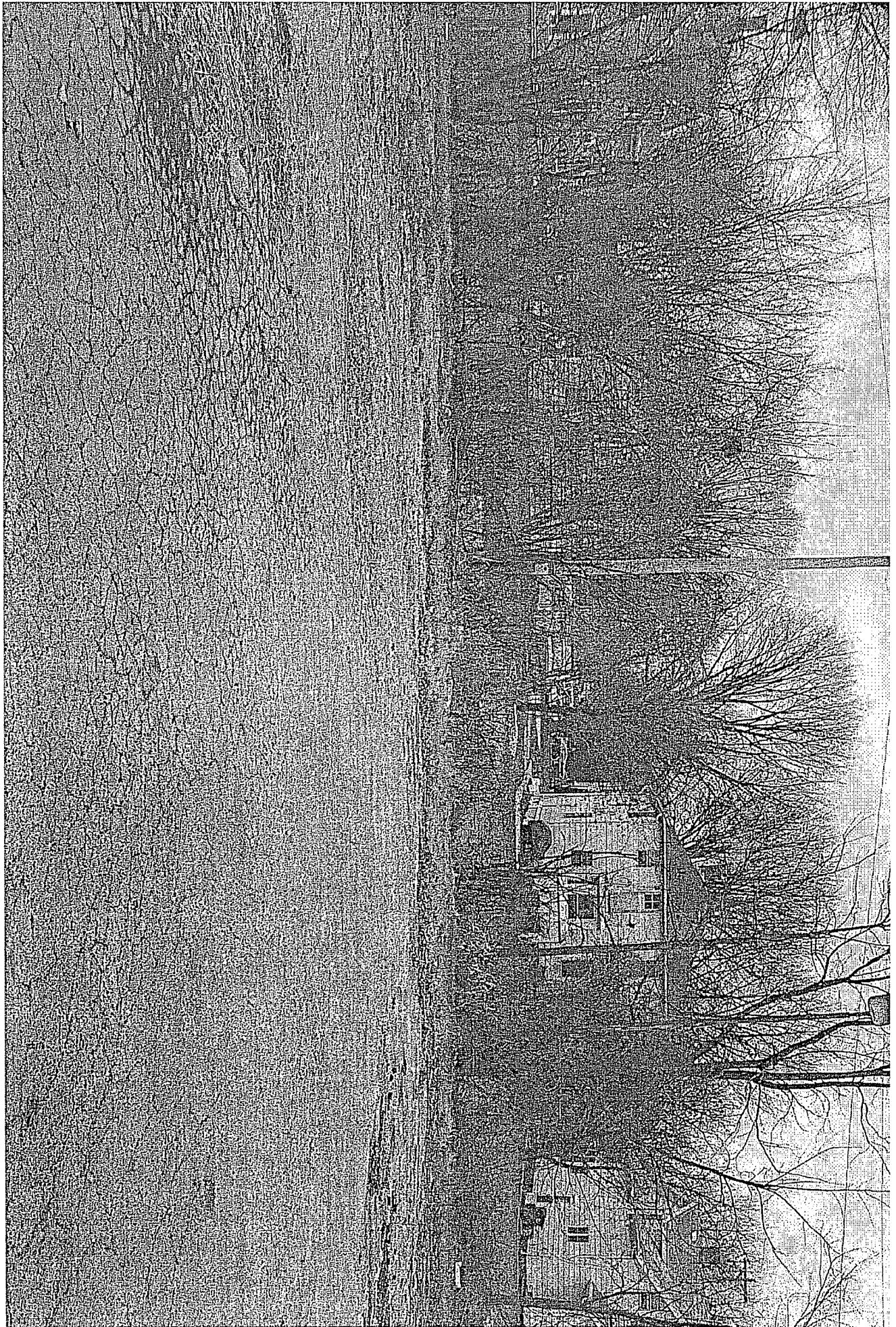


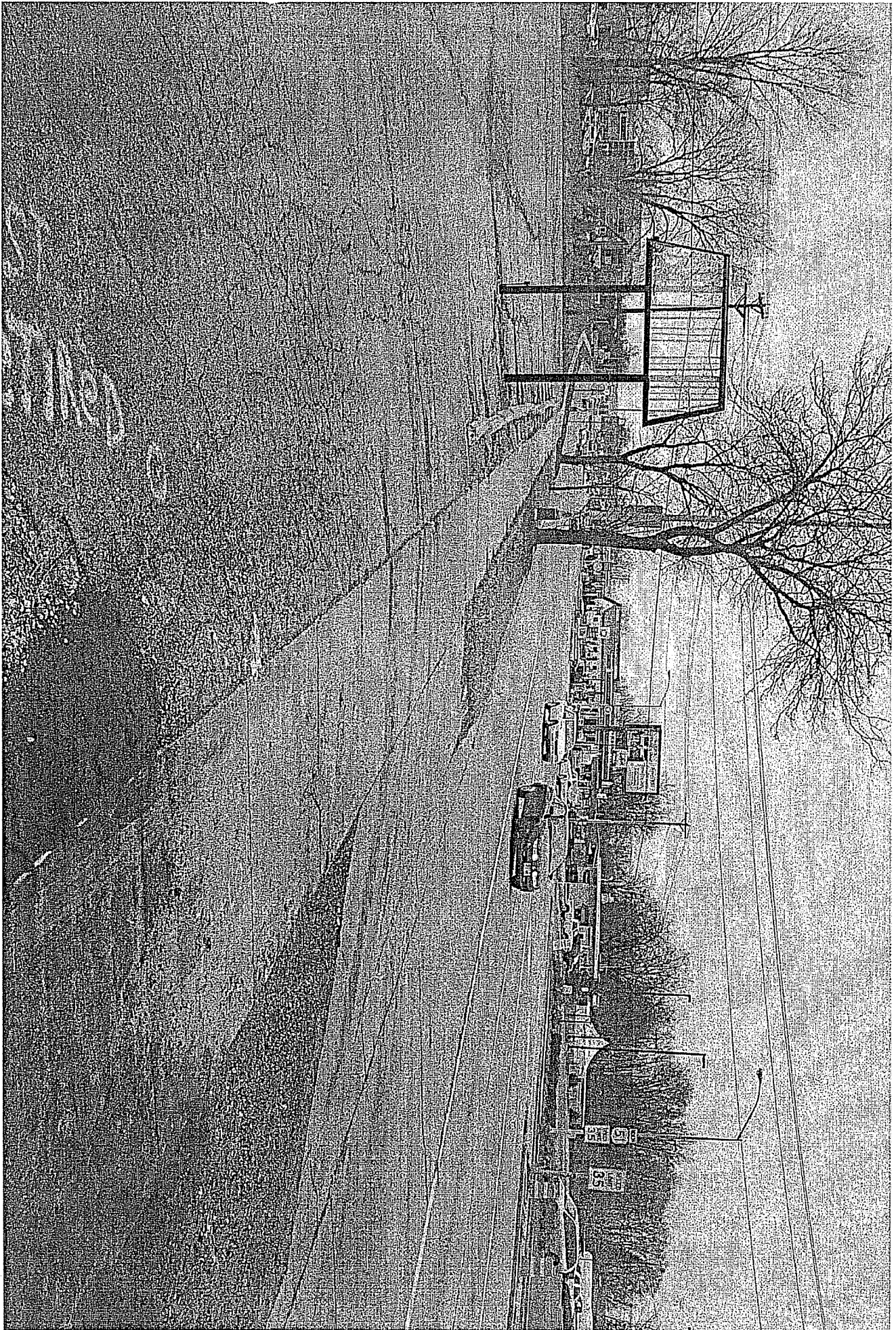
Print	Class
	2004 Roads
	Local Roads
	County Highways
	State Highways
	Interstate
	US Highways
	On/Off Ramps
	Parcels
	Ownership Boundaries
	Plat Text
	Acreege Text
	Hydrology (lines)
	Lot Number Text
	Municipality Boundaries

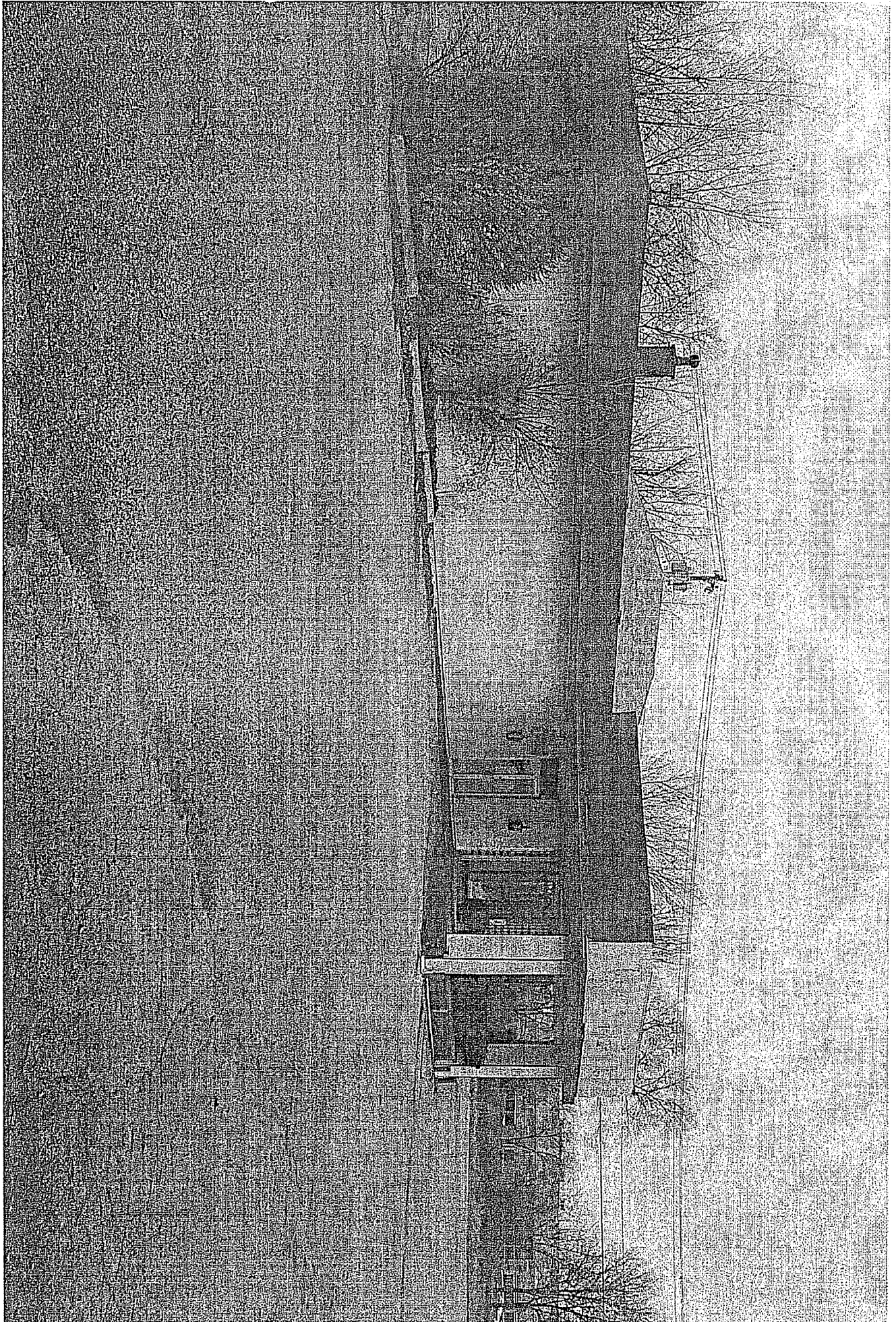


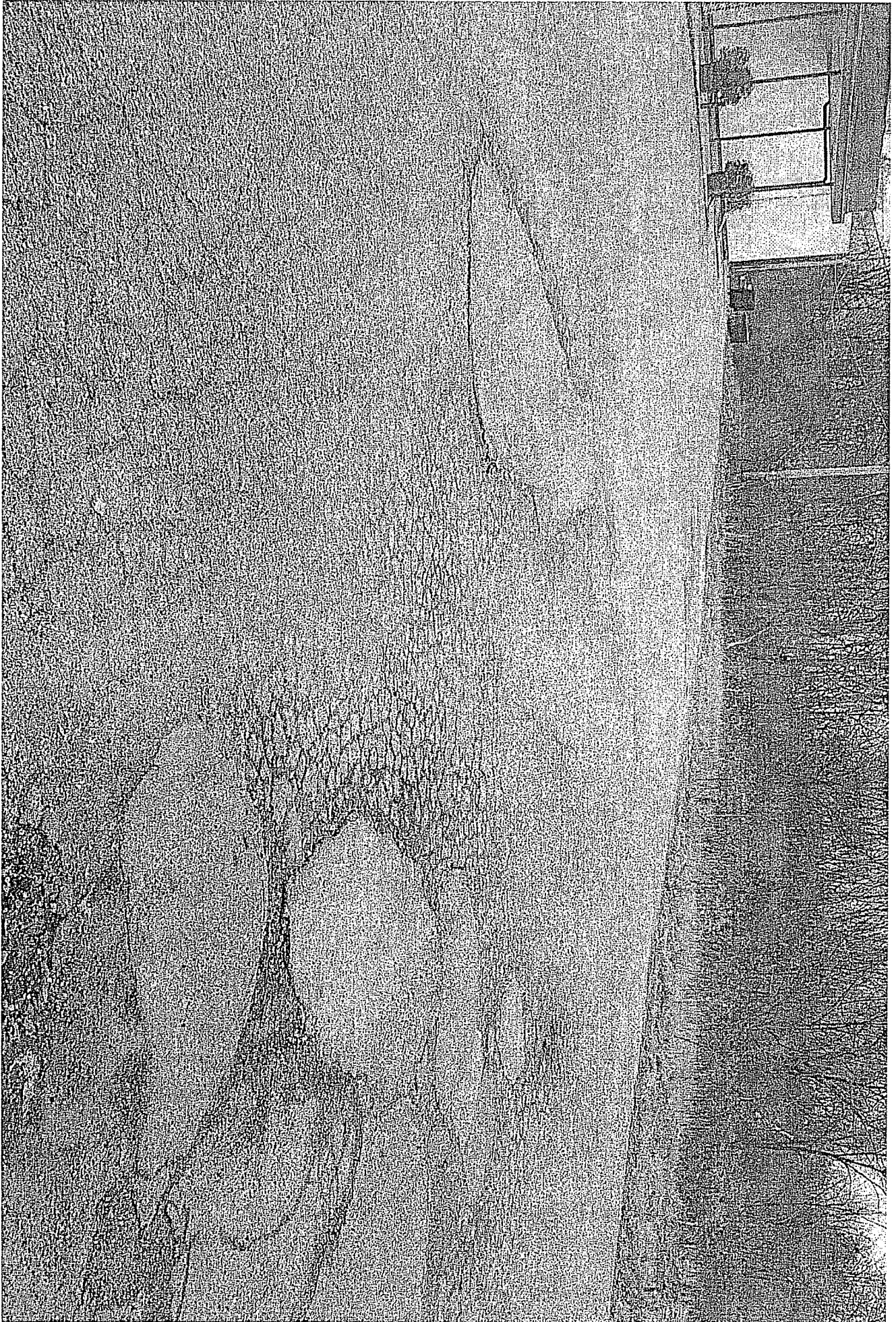
DCiMAP

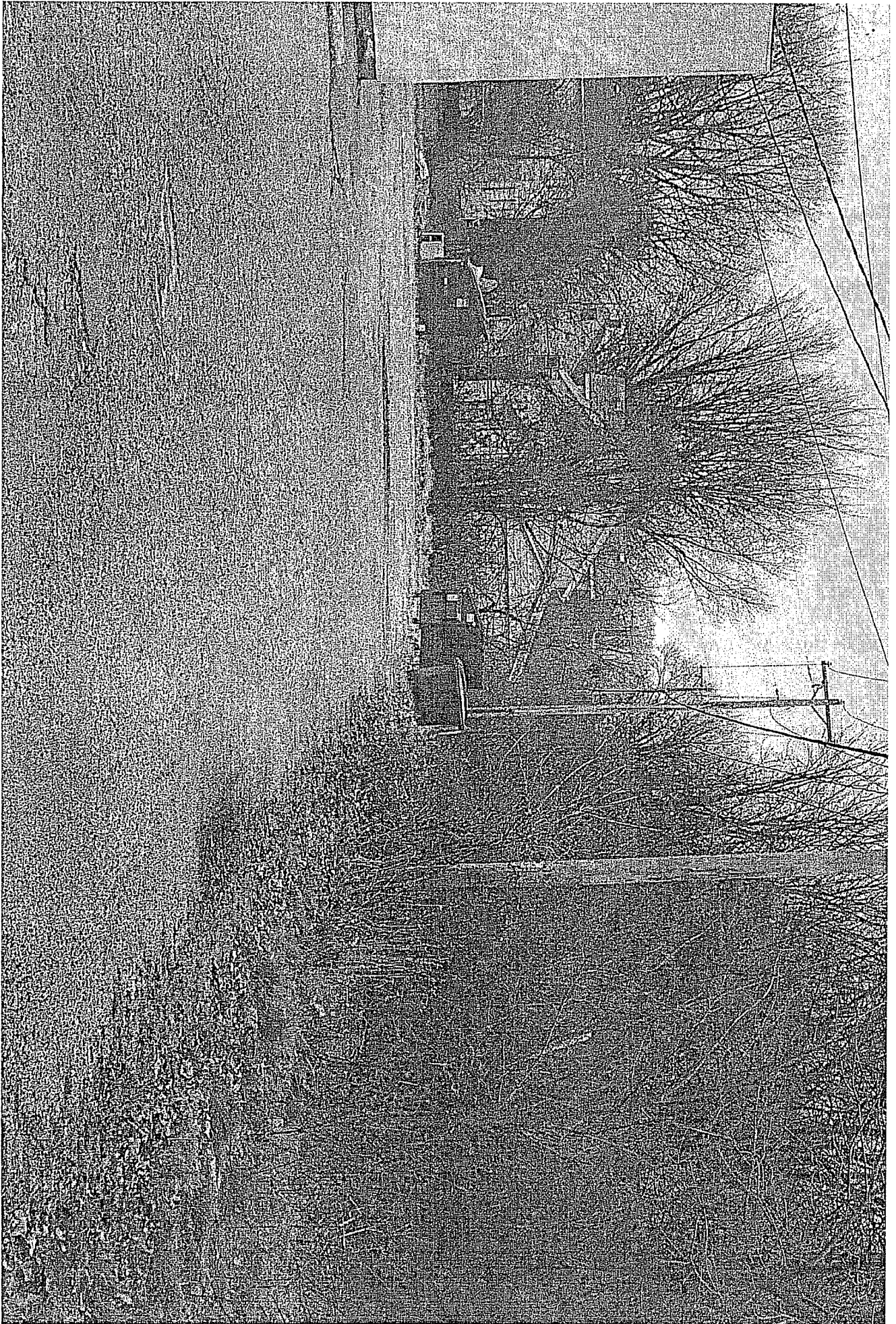
DISCLAIMER
 This map was prepared using the Dane County DCiMap online geographic information system. All information is believed accurate but is NOT guaranteed to be without error. This map and its underlying data is intended to be used as a general index to land related information and is not intended for detailed, site-specific analysis. Dane County GIS datasets used to produce this map are copyrighted.

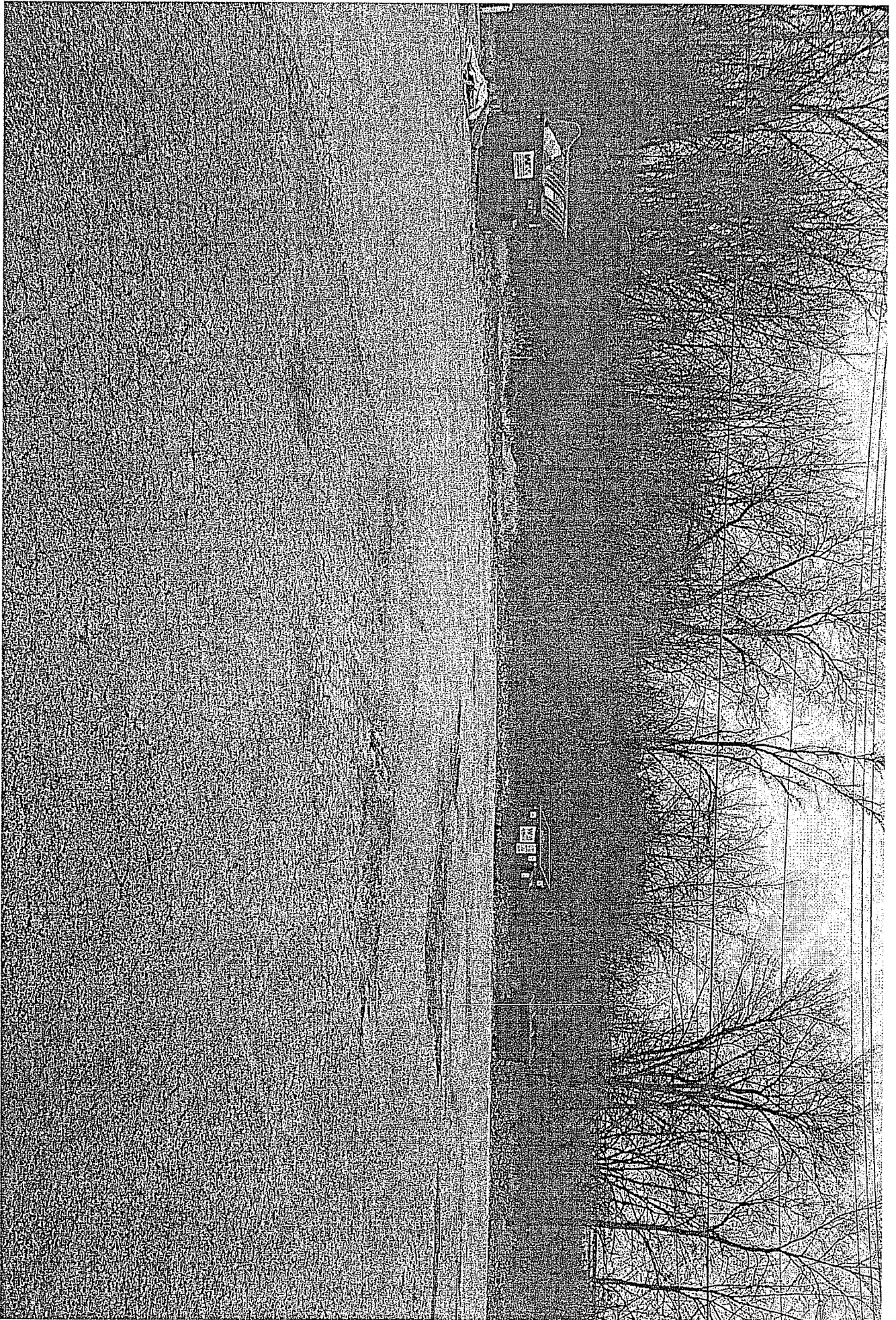


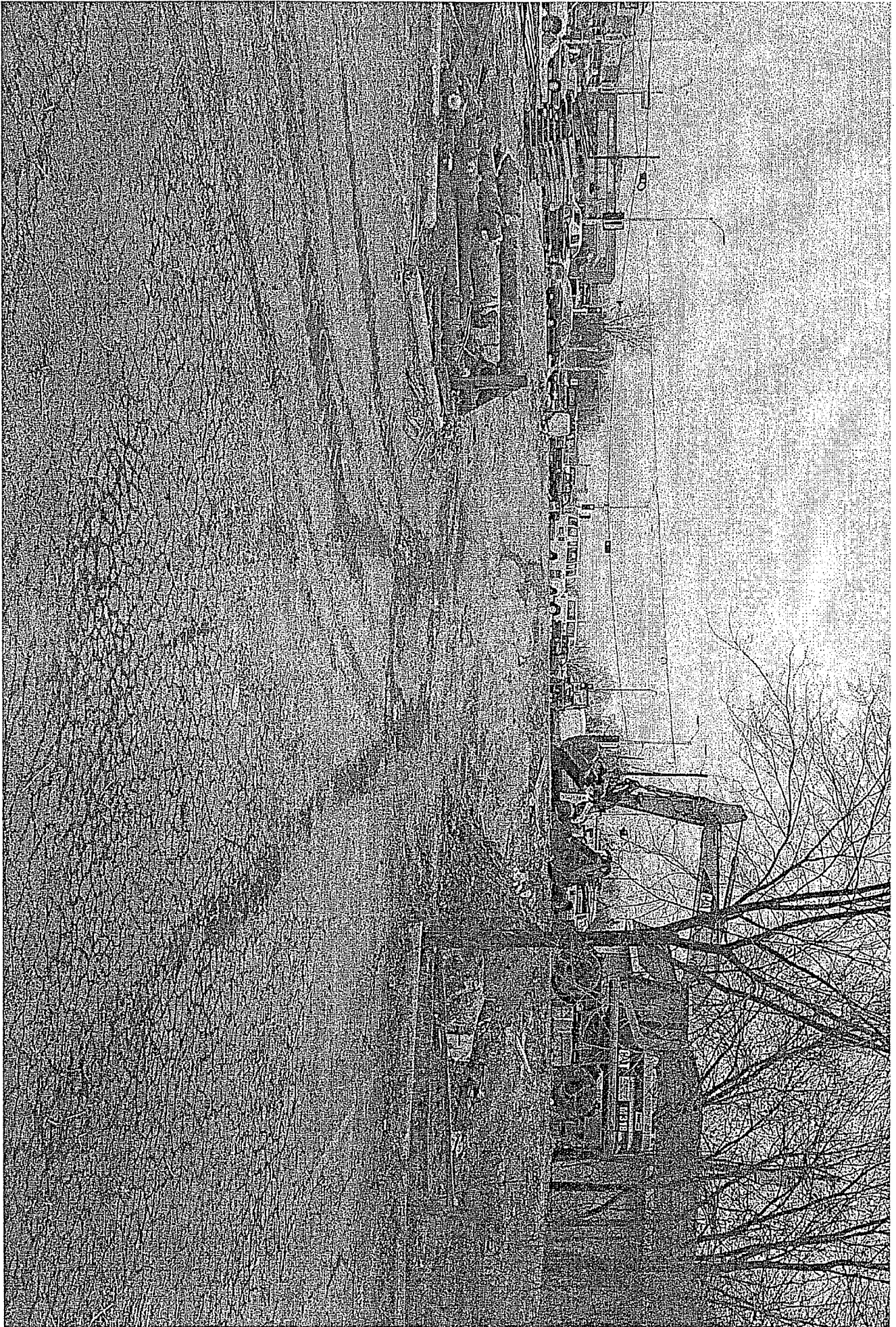












PLANT SCHEDULE

PL 0001

PK	COMMON NAME	SYMBOL	SIZE	QUAN
A	Thornless Honey Locust	<i>Gleditsia inornata</i> 'Spartan'	2" B&B	3
B	Autumn Purple Ash	<i>Fraxinus americana</i>	2" B&B	
C	Whiteflame Bush	<i>Bauhinia tomentosa</i>	1 1/2" B&B	
D	Caribbean Tree Lilia	<i>Styria x punctata</i>	1" - 5" HT	
E	Royally Bowing Crab	<i>Malva royally</i>	1" - 5" HT	
F	Eastern Redbud	<i>Cercis canadensis</i>	4 B&B	
G	Pyramidal Abiesville	<i>Thuja occidentalis</i> 'Palmetto'	5-gal. cont.	
H	Woodcock Georgia Abiesville	<i>Thuja occidentalis</i> 'Woodward'	5-gal. cont.	
I	Arrowwood Yuccinum	<i>Yuccium geminum</i>	5-gal. cont.	
J	Starlight Bush	<i>Rhamnus tomentosa</i> 'columnaris'	3" pot.	
K	Starlight Bush	<i>Rhamnus tomentosa</i> 'columnaris'	18" pot.	
L	Starlight Bush	<i>Rhamnus tomentosa</i> 'columnaris'	18" pot.	
M	Japanese Barberry	<i>Prinos x punctata</i>	18" pot.	
N	Hedge Cotoneaster	<i>Coprosma lucida</i>	18" pot.	
O	Blue Bug Juniper	<i>Juniperus horizontalis</i>	12" pot.	
P	Heads Sapp	<i>Fuchsia</i> 'Mikagaku'	1 gal.	
Q	Geo-Low Fragrant Sumac	<i>Rhus aromatica</i>	1 gal.	
R	Australian Pine	<i>Pinus nigra</i>	6" B&B	
S	Colorado Blue Spruce	<i>Pinus pungens</i>	6" B&B	
T	Redmond Aconit Hybrid	<i>This Americana 'Redmond'</i>	1 1/2" B&B	

GENERAL NOTES

1. Plants to be installed from March 1st to June 30th, at approved equal intervals.
2. All plants shall be installed with landscape fabric and 2" D.W. Mulch 50% 20" with edges in concrete and 1" level minimum on existing foundation at building. Provide at least 1 bed across block.
3. Landscape Contractor shall provide for proper drainage systems as appropriate.
4. Verify plant sizes at the site with General Contractor.
5. Schedule shall be verified with Architect and Owner for availability.
6. Verify amount of soil required for each bed with General Contractor and Owner for availability.
7. When quantities of one plant variety are called for, specify plants available with the same characteristics.
8. The quality number shown shall be verified.
9. Single trees to be planted with balled and burlapped trees. Double trees to be planted with 3" diameter trees.
10. Erection times to have minimum 2" above grade. 1" above grade for 1" above grade.
11. Provide and in area between building, parking, and sidewalks as shown by the data. Provide standard grass in all other areas around building and parking.

ALL NEW STREET TREES SPECIES PER MADISON REQUIREMENT

Planting Bed Schedule

Plant #	Plant Name	Plant Name
BED #1	4K-14"O-12B-10B-8	Plant #1 Cowhemp 'White Snow'
BED #2	3K-10"O-12B-20B-4	Plant #2 Bee Balm 'Gardenview Scarlet'
BED #3	4K-10"O-3N	Plant #3 Shrimp and Parsley 'Mariantha'
BED #4	2K-4"O-2L	Plant #4 Verbena 'Red Fire'
BED #5	8L-8"O-6"O-3L	Plant #5 Sweet Williams 'Beauty Queen'
BED #6	3"O-6"O-4H	Plant #6 Bachelor's Button 'White Star'
BED #7	5"O-4"O-10"O	Plant #7 Bachelor's Button 'White Star'
BED #8	3"O-10"O-5"O	Plant #8 Golden Osbeckia
BED #9	3"O-10"O-5"O	Plant #9 Verbena 'Red Fire'
BED #10	3"O-10"O-5"O	Plant #10 Spideewort 'Innocence'
BED #11	1"O-3"O-10"O-8"O	Plant #11 Lantana 'White Honey'
BED #12	1"O-3"O-10"O-8"O	Plant #12 Partridge Pea 'Cascara'
BED #13	1"O-3"O-10"O-8"O	Plant #13 Scaberrima 'Dapper's Dwarf'

PL- FLOWERS BILLBS

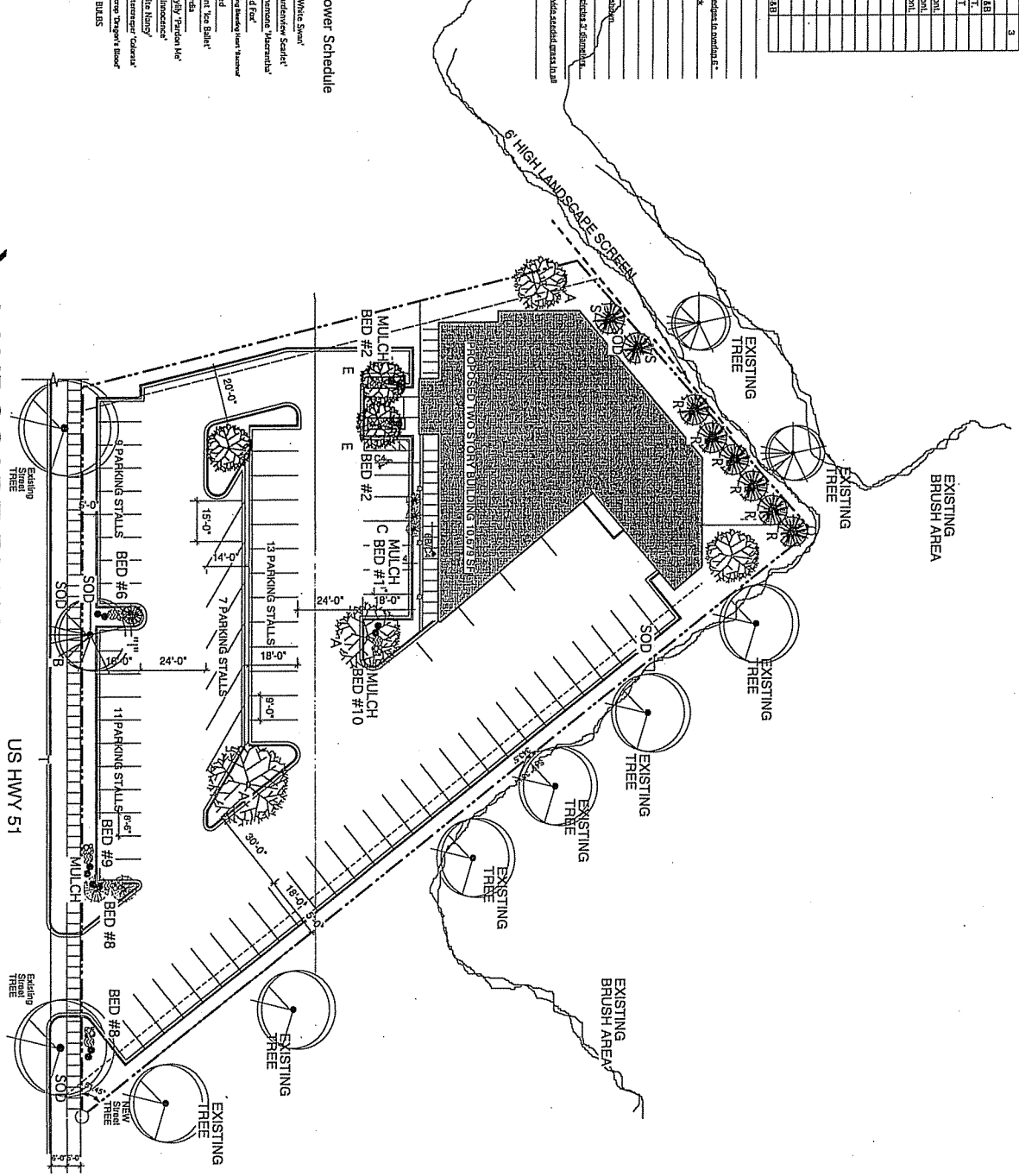
Native Perennial Flower Schedule


Plant #	Plant Name	Plant Name
Plant #1	Cowhemp 'White Snow'	Plant #1 Cowhemp 'White Snow'
Plant #2	Bee Balm 'Gardenview Scarlet'	Plant #2 Bee Balm 'Gardenview Scarlet'
Plant #3	Shrimp and Parsley 'Mariantha'	Plant #3 Shrimp and Parsley 'Mariantha'
Plant #4	Verbena 'Red Fire'	Plant #4 Verbena 'Red Fire'
Plant #5	Sweet Williams 'Beauty Queen'	Plant #5 Sweet Williams 'Beauty Queen'
Plant #6	Bachelor's Button 'White Star'	Plant #6 Bachelor's Button 'White Star'
Plant #7	Bachelor's Button 'White Star'	Plant #7 Bachelor's Button 'White Star'
Plant #8	Golden Osbeckia	Plant #8 Golden Osbeckia
Plant #9	Verbena 'Red Fire'	Plant #9 Verbena 'Red Fire'
Plant #10	Spideewort 'Innocence'	Plant #10 Spideewort 'Innocence'
Plant #11	Lantana 'White Honey'	Plant #11 Lantana 'White Honey'
Plant #12	Partridge Pea 'Cascara'	Plant #12 Partridge Pea 'Cascara'
Plant #13	Scaberrima 'Dapper's Dwarf'	Plant #13 Scaberrima 'Dapper's Dwarf'

PL- FLOWERS BILLBS

LANDSCAPE PLAN

SCALE: 1" = 20'-0"



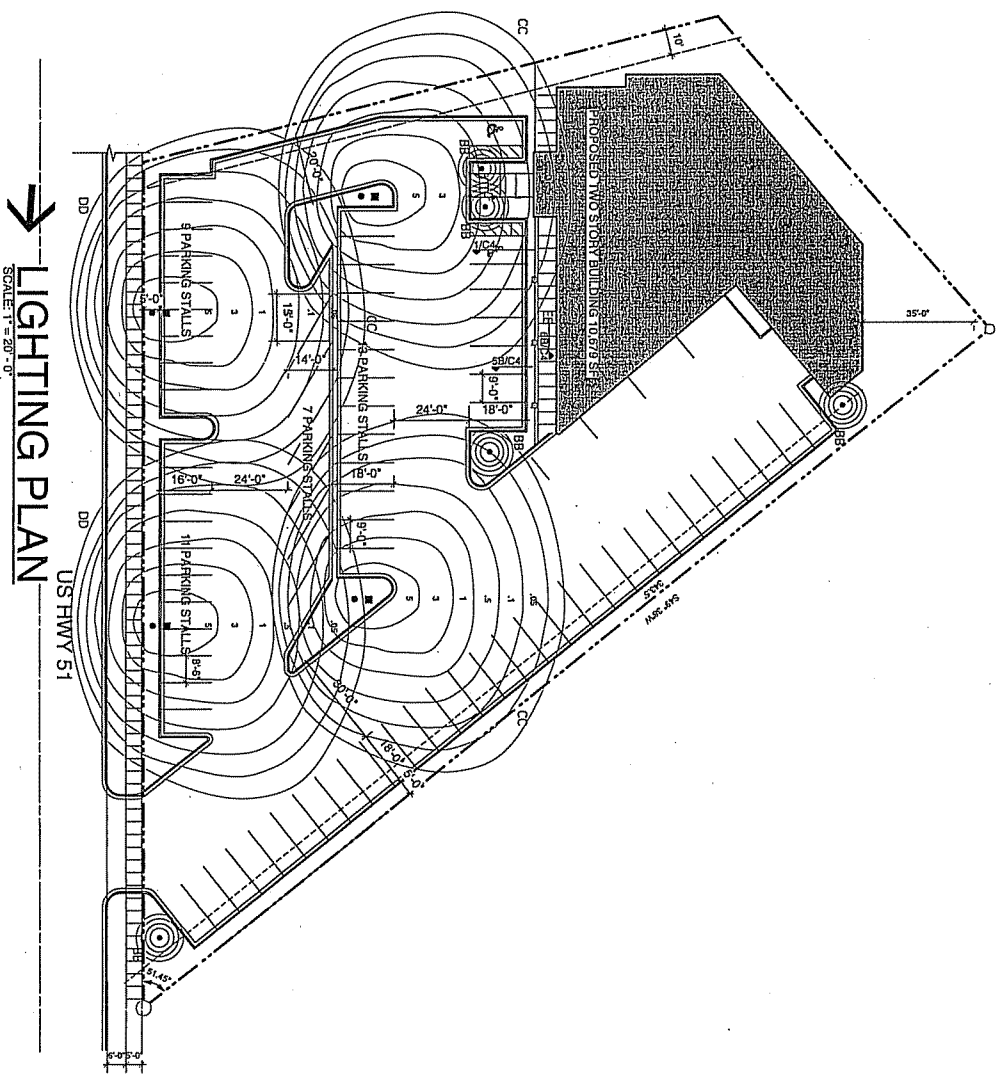
<p>DATE: 05.26.08</p> <p>PROJECT: 0503</p> <p>SHEET: C2</p>	<p>REVISIONS</p>	<p>PROJECT NAME/LOCATION</p> <p>SUBURBAN WHEELS 1518 N. STOUGHTON RD MADISON, WI 53704</p>	<p>PROJECT OWNER</p> <p>GASS & RIGERT AUTO COMPLEX, INC. 4910 MEINDERS RD MCFARLAND, WI 53558</p>	<p>  SIEGER LLC ARCHITECTURE </p>	<p>1501 Monroe St. Madison, WI 53711 Phone: 608.283.6100 Fax: 608.283.6101</p>
---	------------------	--	---	---	--

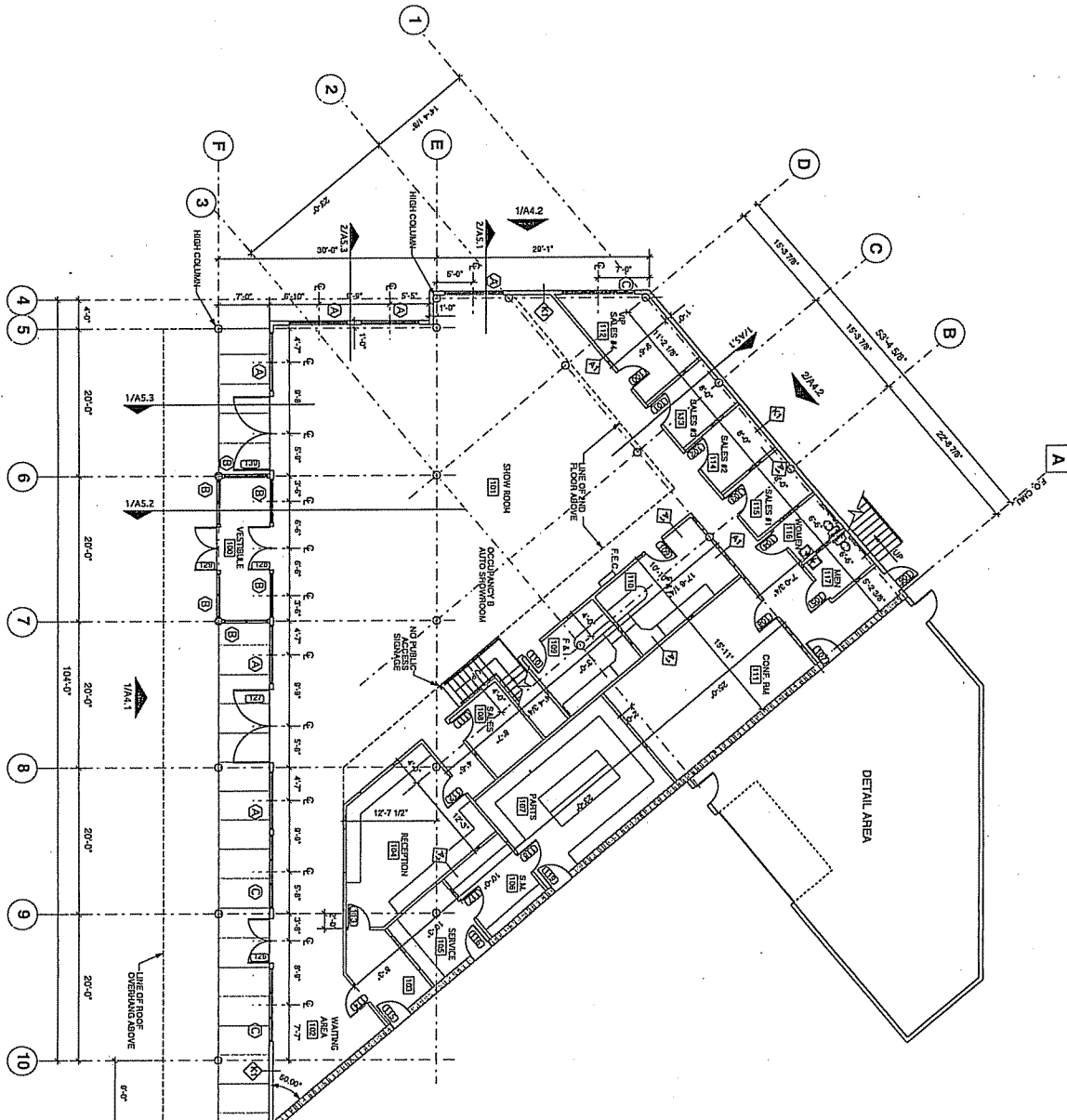
Lighting Notes:

1. Pole lights (A) see Detail 402.1.
2. Bollard lights (B) see Detail 302.1.

LIGHTING FIXTURE SCHEDULE

Mark	Manufacturer	Manufacturer no.	Lamp Type	V	Description
AA	PHILIPS	400W/PS	400W/PS	120	High Pressure Sodium Pole Light with 22 pole.
BB	PHILIPS	70W/PS	70W/PS	120	High Pressure Sodium Pole Light with 22 pole.
CC	PHILIPS	150W/PS	150W/PS	120	High Pressure Sodium Pole Light with 22 pole.
DD	STREUBER-MADE BYE	6000/100W/PS	100W/PS	120	High Pressure Sodium Pole Light with 22 pole.





FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"
 NOTE: Drawings are 50% scale for 11x17 print sets.

GENERAL NOTES


1. CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL DOCUMENTS AND VERIFYING ACCURACY OF ANY DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CORRECT ALL ERRORS OF WORK DESCRIBED IN CONSTRUCTION DOCUMENTS.

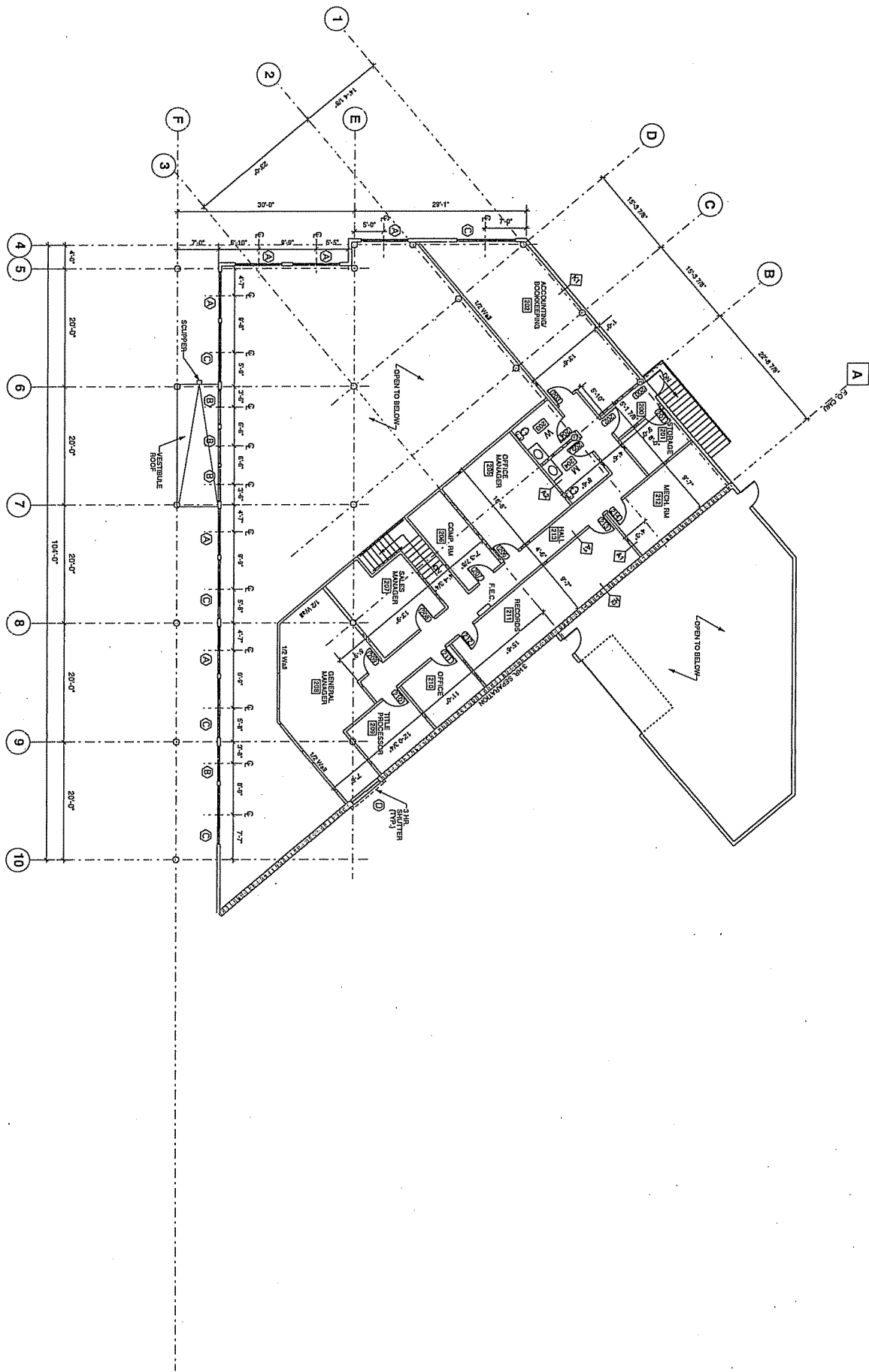
2. CONTRACTOR SHALL PATCH AND REPAIR TO MATCH ANY WALLS, CEILING, FLOOR, OR OTHER SURFACES DAMAGED BY THE INSTALLATION OF MECHANICAL, ELECTRICAL, SPRINKLER, OR OTHER PROVIDED WORK.

3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHALL BE AS SHOWN ON DRAWINGS AND SHALL REPORT TO ARCHITECT IMMEDIATELY UPON DISCOVERY OF EXTENSION AND FOOTING FROM LOCATION OF EXTERIOR WALLS.

4. ALL EXTERIOR FINISHES AND FURNISHINGS TO BE COORDINATED WITH ARCHITECT AND FURNISHED AT ALL OTHER WALL CORNERS.

5. PROVIDE COMPENSATION AT ALL OTHER WALL CORNERS.

DATE: 5.26.06 PROJECT: 0503 SHEET: A1.1	REVISION:	PROJECT NAME & LOCATION: SUBURBAN WHEELS 1518 N. STOUGHTON RD MADISON, WI 53704	PROJECT OWNER: GASS & RIEBERT AUTO COMPLEX, INC. 4910 MEINDERS RD MCFARLAND, WI 53558	 SIEGER LLC ARCHITECTURE	1501 Monroe St. Madison, WI 53711 Phone: 608.283.6100 Fax: 608.283.6101
--	-----------	--	--	---	--



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

NOTE: Drawings are 50% scale for 11x17 print sets.

DATE: 5.28.05
 PROJECT: 0503
 SHEET: A1.2

REVISOR

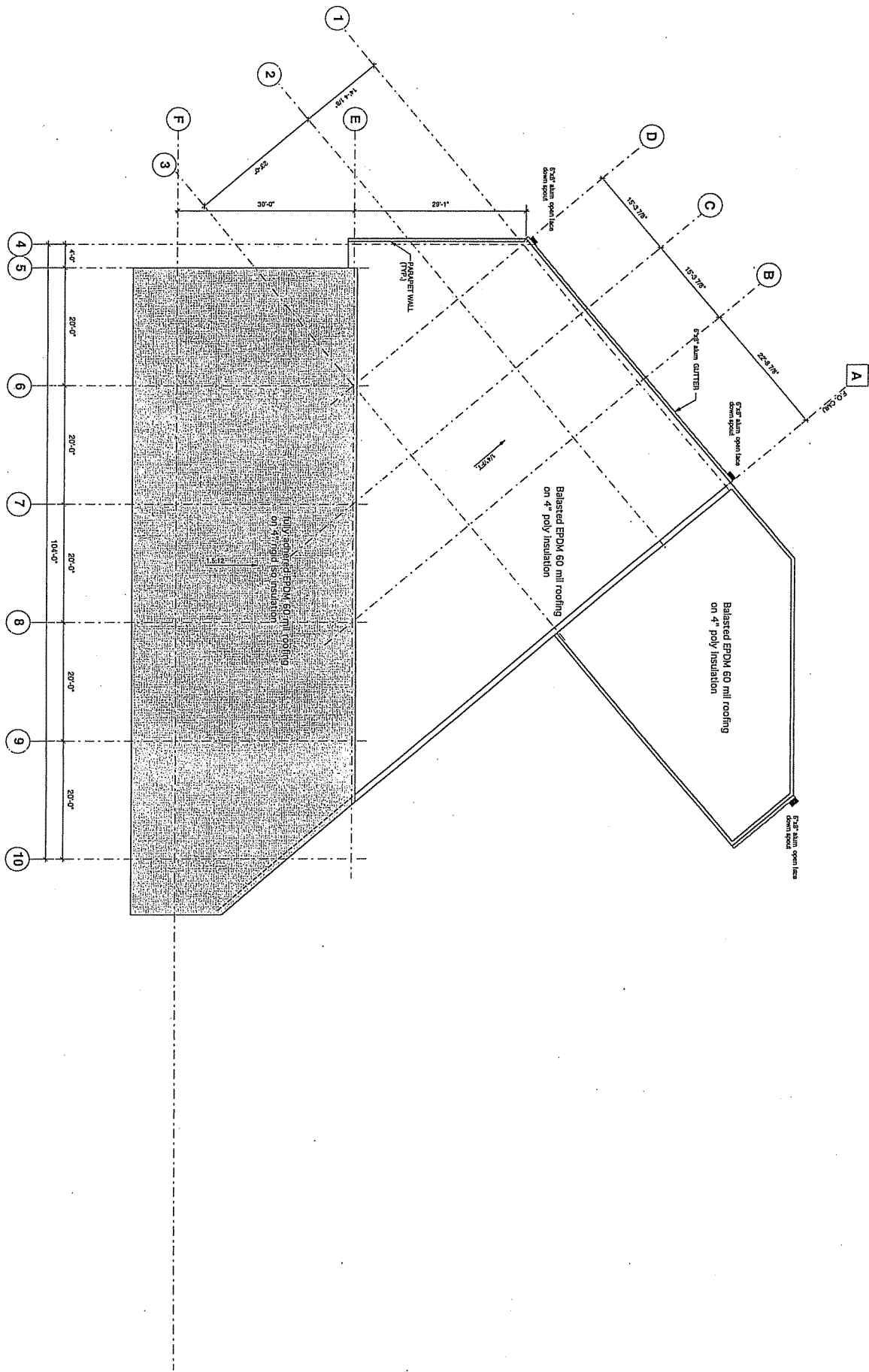
PROJECT NAME & LOCATION
 SUBURBAN WHEELS
 1518 N. STOUGHTON RD
 MADISON, WI 53704

PROJECT OWNER
 GASS & RIEGERT AUTO COMPLEX, INC.
 4910 MEINDERS RD
 MCFARLAND, WI 53559



SIEGER LLC
 ARCHITECTURE

1501 Monroe St. Madison, WI 53711
 Phone: 609.283.6100 Fax: 609.283.6101



ROOF PLAN
SCALE: 1/8" = 1'-0"

*NOTE: Drawings are 50% scale for 11x17 print sets.

DATE: 5.26.06
PROJECT: 0503
A1.3

NO.	REVISIONS

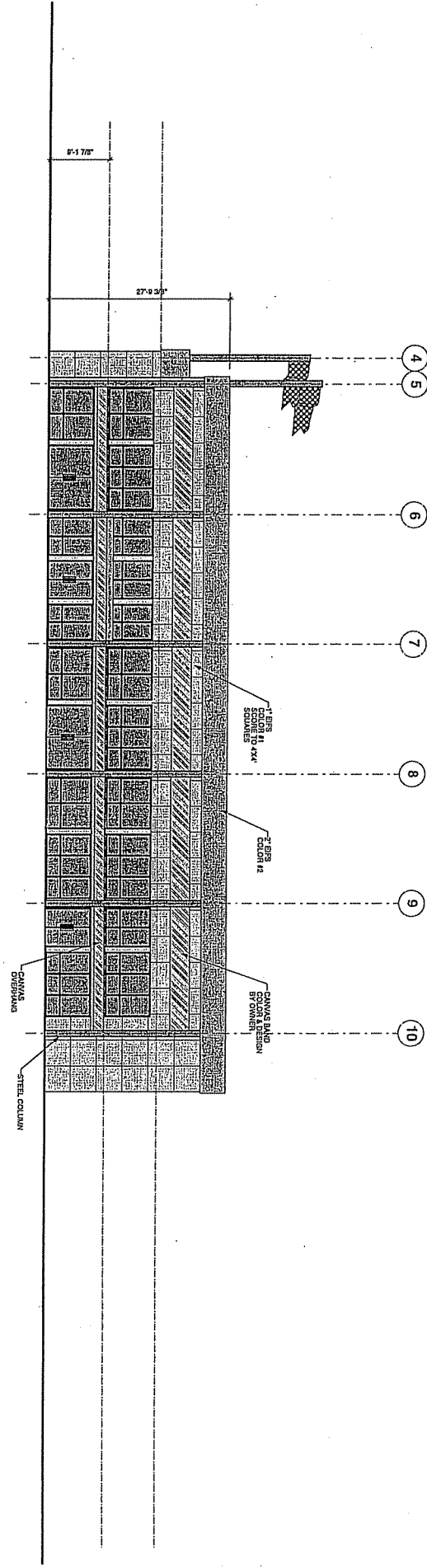
PROJECT NAME & LOCATION
SUBURBAN WHEELS
1518 N. STOUGHTON RD
MADISON, WI 53704

PROJECT OWNER
GASS & RIEGERT AUTO COMPLEX, INC.
4910 MEINDERS RD
McFARLAND, WI 53558

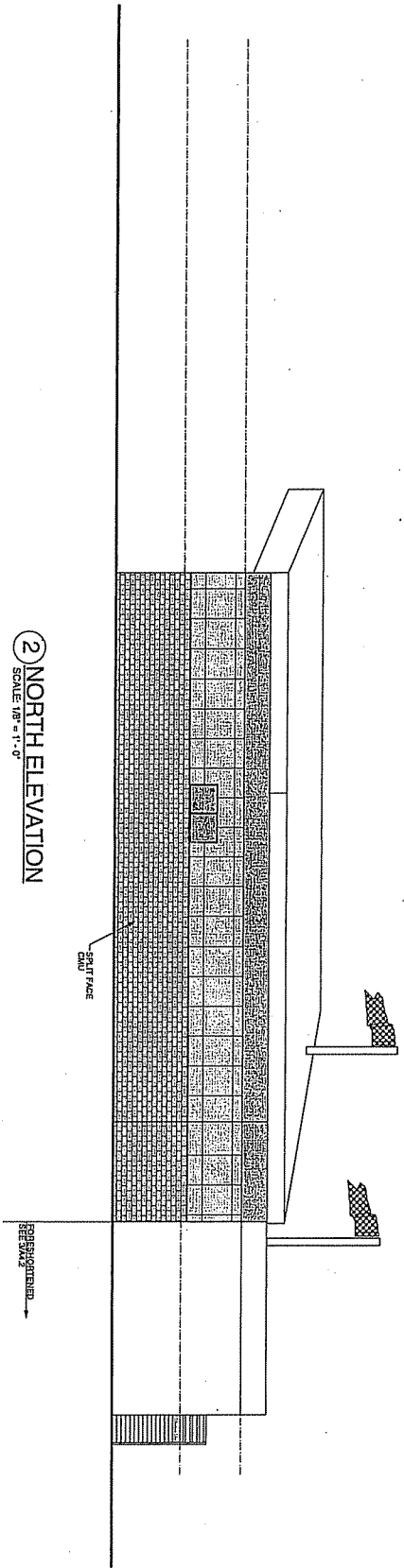


SIEGER LLC
ARCHITECTURE

1501 Monroe St. Madison, WI 53711
Phone: 608.283.6100 Fax: 608.283.6101



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

*NOTE: Drawings are 50% scale for 11x17 print sets.

DATE: 05.26.06
SHEET: A4.1
PROJECT: 0503

REVISIONS

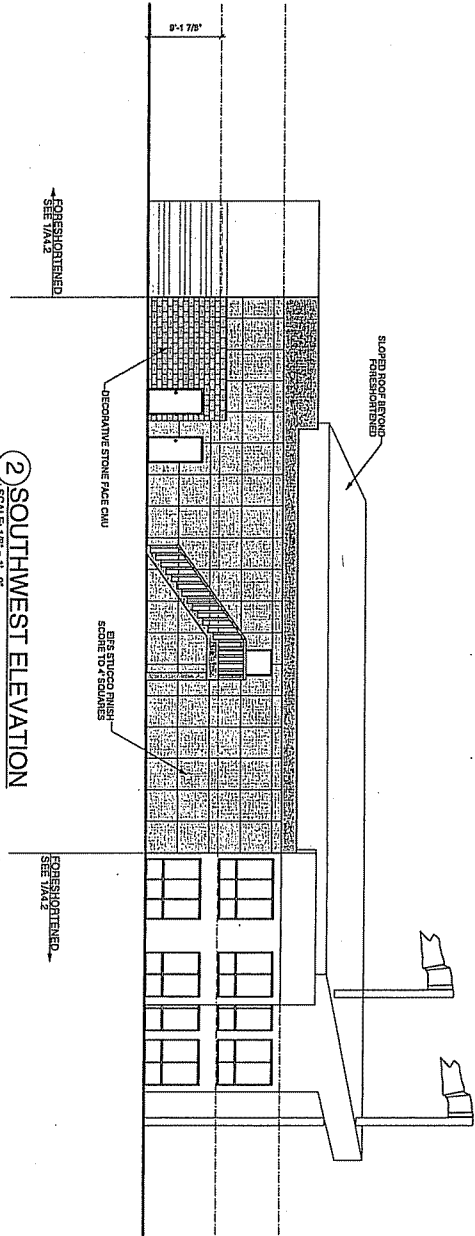
PROJECT NAME & LOCATION
SUBURBAN WHEELS
1518 N. STOUGHTON RD
MADISON, WI 53711

PROJECT OWNER
GASS & RIEGERT AUTO COMPLEX INC.
4910 MEINDERS ROAD
MCFARLAND, WI 53558

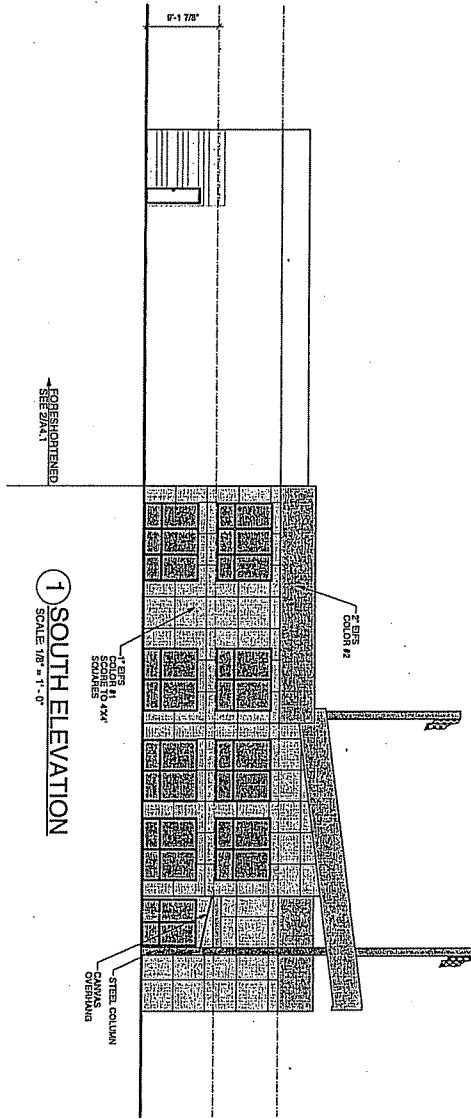


SIEGER LLC
ARCHITECTURE

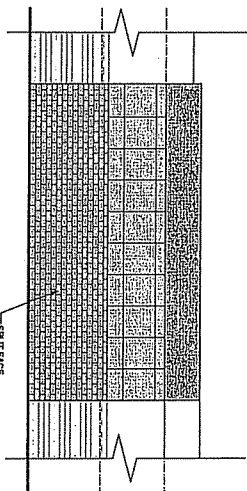
1501 Monroe St. Madison, WI 53711
Phone: 608.283.6100 Fax: 608.283.6101



② SOUTH WEST ELEVATION
SCALE 1/8" = 1'-0"



① SOUTH ELEVATION
SCALE 1/8" = 1'-0"



③ WEST ELEVATION
SCALE 1/8" = 1'-0"

NOTE: Drawings are 50% scale for 11x17 print sets.