

LANDMARKS COMMISSION APPLICATION

LC

Complete all sections of this application, making sure to note the requirements on the accompanying checklist (reverse).

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call (608) 266-4635

City of Madison
Planning Division
215 Martin Luther King Jr Blvd, Ste 017
PO Box 2985
Madison, WI 53701-2985
(608) 266-4635



1. LOCATION

Project Address: 300 E Gorham Street Aldermanic District: 2

2. PROJECT

Project Title/Description: Gates of Heaven Exterior Restoration

This is an application for: (check all that apply)

- Alteration/Addition to a building in a Local Historic District or Designated Landmark (specify)**:
 - Mansion Hill Third Lake Ridge First Settlement
 - University Heights Marquette Bungalows Landmark
- Land Division/Combination in a Local Historic District or to Designated Landmark Site (specify)**:
 - Mansion Hill Third Lake Ridge First Settlement
 - University Heights Marquette Bungalows Landmark
- Demolition
- Alteration/Addition to a building adjacent to a Designated Landmark
- Variance from the Historic Preservation Ordinance (Chapter 41)
- Landmark Nomination/Rescission of Historic District Nomination/Amendment
(Please contact the Historic Preservation Planner for specific Submission Requirements.)
- Other (specify):

DPCED USE ONLY	Legistar #:
	DATE STAMP
	Preliminary Zoning Review Zoning Staff Initial: Date: / /

3. APPLICANT

Applicant's Name: Amy Scanlon Company: City of Madison, Engineering Division

Address: 210 Martin Luther King, Jr. Blvd., Room 115 Madison, Wisconsin 53703
Street City State Zip

Telephone: 608 267 0743 Email: ascanlon@cityofmadison.com

Property Owner (if not applicant): City of Madison, Parks Division

Address: 210 Martin Luther King, Jr. Blvd., Room 104 Madison, Wisconsin 53703
Street City State Zip

Property Owner's Signature: Date: 5/6/2020

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

4. APPLICATION SUBMISSION REQUIREMENTS (see checklist on reverse)

All applications must be filed by 12:00 pm on the submission date with the Preservation Planner, the Department of Planning & Community & Economic Development, Planning Division, located at 215 Martin Luther King Jr Blvd, Suite 017. Applications submitted after the submission date or incomplete applications will be postponed to the next scheduled filing time. Submission deadlines can be viewed here: <https://www.cityofmadison.com/dpced/planning/documents/2019-LCMeetingScheduleDates.pdf>

Gates of Heaven Exterior Restoration Project

May 5, 2020

City Engineering is preparing to complete the exterior restoration of Gates of Heaven and seeks a Certificate of Appropriateness for the exterior alteration to the landmark building that is located in the Mansion Hill local historic district.

Gates of Heaven was the first synagogue constructed in Wisconsin and was designed in 1863 by Madison architect, August Kutzbock in the Romanesque Revival Style. The building was relocated to James Madison Park in 1971 after being threatened with demolition.

City Engineering recently managed the repointing of the apse and the installation of a historically appropriate cedar shingle roof.

The exterior restoration project scope of work includes, but is not limited to, the following:

- Clean existing Madison sandstone using best historic preservation practices which may include laser cleaning, steam/mist cleaning, poultice cleaning, and combinations of these cleaning types. Power washing will not be utilized.
- Apply consolidant to existing stone to bind friable particles and delaminating portions to the solid material.
- Removal of existing mortar joints in stone using hand tools and reciprocating tools only at head and bed joints. Grinders will not be utilized.
- Repointing of mortar joints in stone using mortar mixed on site to match historic appearance, texture, pointing profile, and formulation.
- Cleaning of existing brick using best historic preservation practices which may include steam/mist cleaning, poultice cleaning, and combinations of these cleaning types. Power washing will not be utilized.
- Removal of existing mortar joints in brick using hand tools, reciprocating tools and grinders (center cut only) on head joints. Hand tools only at bed joints. No grinders will be utilized at bed joints.
- Repointing of mortar joints in brick using mortar mixed on site to match historic appearance, texture, pointing profile, and formulation.
- Deconstruct and reconstruct finials above roof using existing historic materials to match existing appearance.
- Remove existing historic windows and doors and non-historic storm windows. Provide secure boarded coverings at each opening.
- Remove existing glass and hardware and salvage for reinstallation.
- Strip sash and doors using historic preservation best practices for paint removal.
- Repair damaged areas of wood using historic preservation best practices.
- Repair existing window trim and prepare surfaces for paint.
- Prepare window and door surfaces for paint and glass/hardware reinstallation.
- Install glass using specified glazing compound.
- Repair existing hardware and reinstall. Provide missing hardware where applicable.
- Reinstall windows and doors in historic openings.
- Install new exterior storm windows for all openings.



Gates of Heaven Southwest corner.



Gates of Heaven detail of stone condition and appearance. Also note window condition.



Gates of Heaven detail of stone condition and appearance at the front entrance.



Gates of Heaven southeast portion of front facade showing condition of stone and discoloration. Also note condition of windows and lack of protective storm windows on some windows.



Gates of Heaven east elevation showing condition of stone and brick and windows.



Gates of Heaven northwest corner showing condition of brick and windows. Brick of apse was recently repointed.



2020 HISTORIC RESTORATION OF GATES OF HEAVEN

302 E GORHAM ST, MADISON WI, 53706

THE FOLLOWING GENERAL NOTES SHALL APPLY:

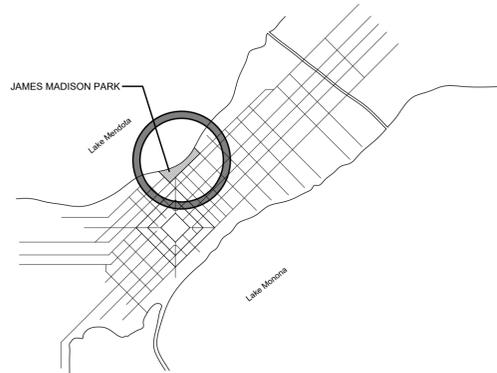
- | | | |
|--|---|--|
| <p>1. ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL LOCAL AND STATE OF WISCONSIN BUILDING CODE LATEST EDITION.</p> <p>2. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF, AND COORDINATION WITH, ALL DIMENSIONS SHOWN ON THESE DRAWINGS RELATIVE TO EXISTING CONDITIONS PRIOR TO SUBMITTING BID.</p> <p>3. THE DRAWINGS REPRESENT THE ON-SITE CONDITIONS TO THE EXTENT KNOWN. THE BIDDERS ARE REQUIRED TO INFORM THE ARCHITECT AND OWNER OF ANY OBSERVED DISCREPANCIES BETWEEN THE DRAWINGS AND THE ON-SITE CONDITIONS PRIOR TO SUBMITTING THEIR BID.</p> <p>4. CONTRACTOR SHALL REPORT IMMEDIATELY TO THE ARCHITECT ALL DISCREPANCIES VERBALLY, A WRITTEN REPORT SHOULD PROMPTLY FOLLOW. CONTRACTOR SHALL CEASE WORK IN THE AFFECTED AREA UNTIL DIRECTED BY THE ARCHITECT. IF A CHANGE IN SCOPE OR TIME IS EXPECTED PROVIDE A DETAILED CHANGE REQUEST FOR ARCHITECT'S REVIEW.</p> <p>5. THE CONTRACTOR SHALL PROVIDE ALL METHODS AND EQUIPMENT FOR PROTECTING THE BUILDING, ALL MATERIALS, AND PERSONNEL FROM FIRE OR OTHER DAMAGE PRIOR TO STARTING. THE CONTRACTOR SHALL SUBMIT THE APPROVED METHODS AND EQUIPMENT IN WRITING FOR THE OWNER AND ARCHITECT'S REVIEW PRIOR TO STARTING WORK.</p> | <p>6. THE CONTRACTOR SHALL COMPLY WITH ALL SAFETY AND HEALTH LAWS AND REGULATIONS.</p> <p>7. PROTECT TREES, SHRUBS, LAWNS, AND OTHER FEATURES WITHIN PROJECT LIMITS. RESTORE DAMAGED FEATURES TO ORIGINAL CONDITION. THE CONTRACTOR SHALL DOCUMENT ALL EXISTING CONDITIONS THAT MAY BE IMPACTED BY THE CONTRACTOR'S OPERATIONS.</p> <p>8. THE CONTRACTOR SHALL COORDINATE WITH BUILDING FACILITY MANAGER(S) PRIOR TO SCHEDULED SYSTEM SHUT DOWNS.</p> <p>9. BY SUBMITTING BID, THE BIDDERS ACKNOWLEDGE THAT THEY HAVE VERIFIED ALL DIMENSIONS, DETAILS AND OTHER CONDITIONS PRIOR TO SUBMITTING THEIR BID.</p> <p>10. THE BIDDERS SHALL INCLUDE IN THEIR BID ALL WORK, MATERIALS, SERVICES, ETC., NECESSARY TO THE SUCCESSFUL COMPLETION OF THE PROJECT.</p> <p>11. ALL FLOOR PROTECTION AND CLEANUP SHALL BE BY CONTRACTOR.</p> <p>12. THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SHEATHING, REQUIRED FOR THE SAFETY AND PROPER EXECUTION OF THE WORK.</p> | <p>13. EXECUTION OF THE WORK WILL INVOLVE CONSIDERATION FOR ALLOWING THE OWNER TO CONTINUE THE OPERATION OF THE BUILDING AND THE BUSINESS IN THE FACILITY AND ADJACENT FACILITIES. PRIOR TO THE AWARD OF THE CONTRACT, THE CONSTRUCTION SCHEDULE PREPARED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE ARCHITECT AND SHALL BE COORDINATED WITH THE FACILITIES DEPARTMENT. OWNER'S APPROVAL OF THE PROPOSED SCHEDULE SHALL SUPERCEDE THE CONTRACT, PROVIDED THE OVERALL TIME IS NOT CHANGED.</p> <p>14. THE CONTRACTOR SHALL REVIEW ALL EXISTING CONDITIONS TO DETERMINE ALL SERVICES (ELECTRICAL, MECHANICAL AND PLUMBING) AFFECTED BY THE REPAIR WORK. THE CONTRACTOR SHALL MAKE NECESSARY TEMPORARY CONNECTIONS TO MAINTAIN EXISTING SERVICES TO ALL AREAS OF THE BUILDING DIRECTLY AND INDIRECTLY AFFECTED BY THE WORK. THE CONTRACTOR SHALL SUBMIT METHODS AND SCHEDULE OF CONNECTIONS TO THE OWNER FOR APPROVAL PRIOR TO BEGINNING WORK.</p> <p>15. ALL WORK MUST BE COMPLETED BY WORKERS WHO ARE SPECIFICALLY TRAINED FOR ALL WORK INCLUDED HEREIN - SEE SPECIFICATIONS FOR MORE INFORMATION.</p> |
|--|---|--|

SHEET INDEX

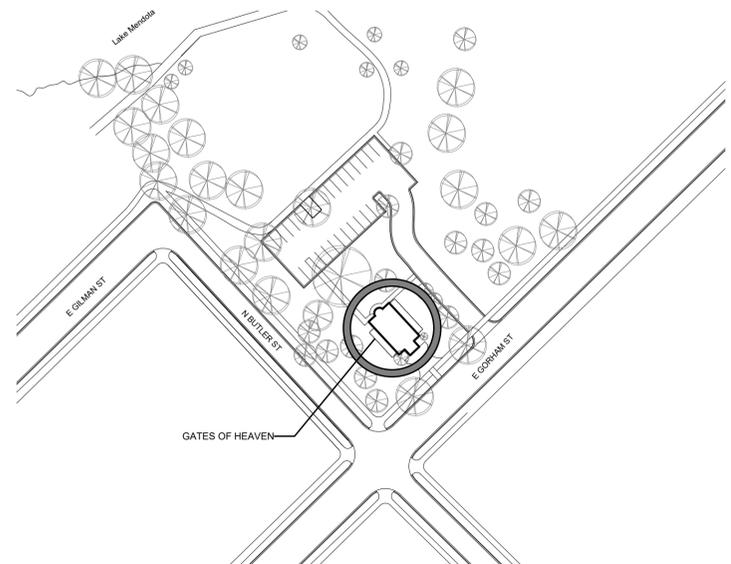
TS	TITLE SHEET
A100	SITE PLAN
A200	WEST EXTERIOR ELEVATION
A200a	WEST ENLARGED EXTERIOR ELEVATIONS
A201	SOUTH EXTERIOR ELEVATION
A201a	SOUTH ENLARGED EXTERIOR ELEVATIONS
A201b	SOUTH ENLARGED EXTERIOR ELEVATIONS
A201c	SOUTH ENLARGED EXTERIOR ELEVATIONS
A202	EAST EXTERIOR ELEVATION
A202a	EAST ENLARGED EXTERIOR ELEVATIONS
A203	NORTH EXTERIOR ELEVATION
A203a	NORTH ENLARGED EXTERIOR ELEVATIONS
A301	WINDOW ELEVATIONS
A302	WINDOW ELEVATIONS
A303	WINDOW ELEVATIONS
A304	WINDOW ELEVATIONS
A305	WINDOW ELEVATIONS
A306	WINDOW ELEVATIONS
A307	WINDOW ELEVATIONS
A308	WINDOW ELEVATIONS
A309	WINDOW ELEVATIONS
A310	WINDOW ELEVATIONS
A311	WINDOW ELEVATIONS
A312	WINDOW ELEVATIONS
A313	DOOR ELEVATIONS
A314	DOOR ELEVATIONS



VICINITY MAP



PROJECT LOCATION
SCALE: NONE



LOCATION MAP
SCALE: NONE



InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
608-531-1533 (fax)
info@icsarc.com

City of Madison
City-County Bldg., Rm. 115
210 Martin Luther King, Jr. Blvd.
Madison, WI 53701

2020 HISTORIC RESTORATION OF GATES OF HEAVEN
302 E GORHAM ST, MADISON WI, 53706

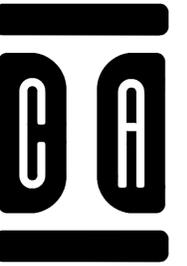
NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "V.I.F." OR VERIFY-IN-FIELD

ICA NO. COM 20-001

TITLE SHEET

LANDMARKS REVIEW
05-08-2020

TS



InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
608-531-1533 (fax)
info@icsarc.com

City of Madison
City-County Bldg., Rm. 115
210 Martin Luther King, Jr. Blvd.
Madison, WI 53701

2020 HISTORIC RESTORATION OF
GATES OF HEAVEN
302 E GORHAM ST, MADISON WI, 53706

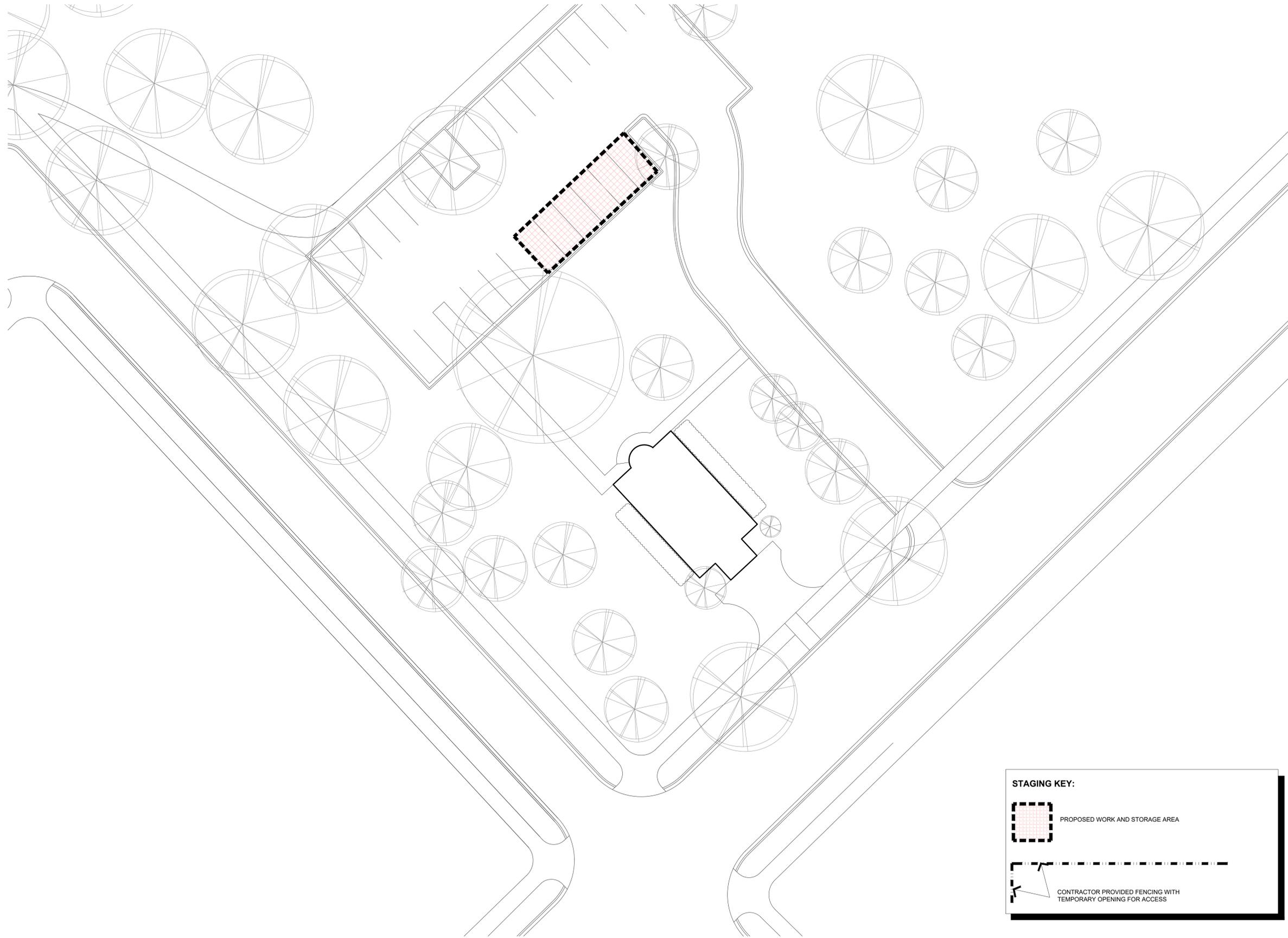
NOTE: ALL DIMENSIONS GIVEN
SHALL BE CONSIDERED TO BE
"V.I.F." OR VERIFY-IN-FIELD

ICA NO. COM 20-001

SITE PLAN

LANDMARKS REVIEW
05-08-2020

A100



STAGING KEY:

 PROPOSED WORK AND STORAGE AREA

 CONTRACTOR PROVIDED FENCING WITH TEMPORARY OPENING FOR ACCESS

1
A100

SITE PLAN

SCALE: 1/32" = 1'-0"

STONE GENERAL NOTES:

1. ALL BRICK AND STONE SURFACES SHALL BE INSPECTED AND CLEANED
2. ALL BRICK AND STONE MASONRY SHALL BE REPOINTED 100%. HAND TOOLS AND RECIPROCATING CUTTERS MAY BE USED. NO ROTARY SAWS WILL BE PERMITTED. CENTER CUT ONLY WITH MECHANICAL MEANS. ALL MORTAR IN CONTACT WITH STONE AND BRICK SHALL BE REMOVED WITH HAND TOOLS ONLY. ALTERNATE METHODS FOR MORTAR REMOVAL MAY BE CONSIDERED, BUT WILL REQUIRE SPECIAL PERMISSION FROM THE OWNER AND ARCHITECT

STONE RESTORATION NOTES:

A INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

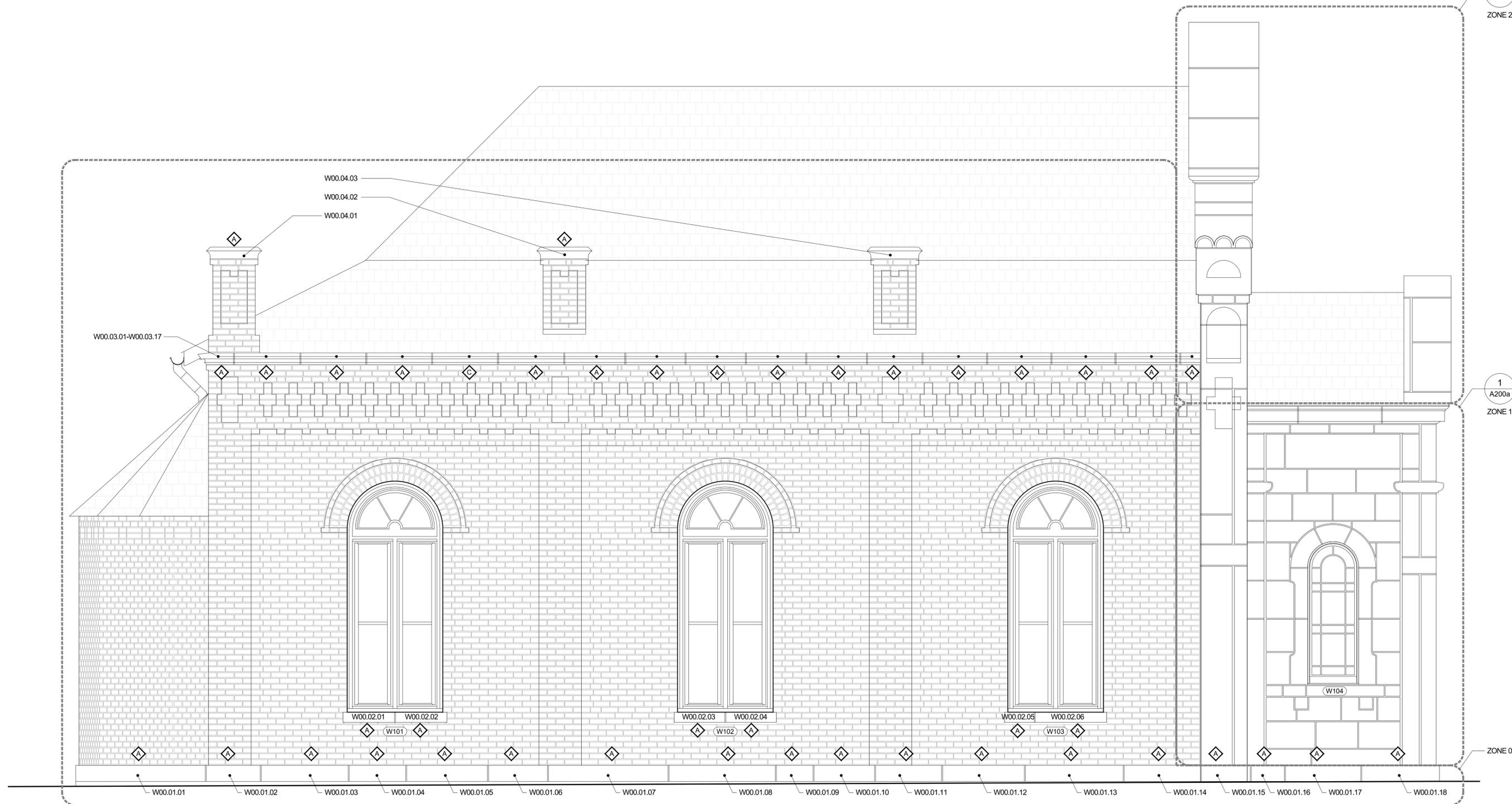
B REMOVE, REVERSE, REDRESS, RESET. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

C REDRESS IN-SITU. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

D REMOVE PATCH. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

E REMOVE, REVERSE, REDRESS, REPLACE BACKING. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

F REMOVE FERROUS ANCHORMENT AND REPAIR. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT



1
A200
WEST ELEVATION
SCALE: 1/2" = 1'-0"

2
A200a
ZONE 2

1
A200a
ZONE 1

ZONE 0

InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
608-531-1533 (fax)
info@icsarc.com

City of Madison
City-County Bldg., Rm. 115
210 Martin Luther King, Jr. Blvd.
Madison, WI 53701

2020 HISTORIC RESTORATION OF
GATES OF HEAVEN
302 E GORHAM ST, MADISON WI, 53706

NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "V.I.F." OR VERIFY-IN-FIELD

ICA NO. COM 20-001

WEST EXTERIOR ELEVATION

LANDMARKS REVIEW
05-08-2020

A200

STONE GENERAL NOTES:

1. ALL BRICK AND STONE SURFACES SHALL BE INSPECTED AND CLEANED
2. ALL BRICK AND STONE MASONRY SHALL BE REPOINTED 100%. HAND TOOLS AND RECIPROCATING CUTTERS MAY BE USED. NO ROTARY SAWS WILL BE PERMITTED. CENTER CUT ONLY WITH MECHANICAL MEANS. ALL MORTAR IN CONTACT WITH STONE AND BRICK SHALL BE REMOVED WITH HAND TOOLS ONLY. ALTERNATE METHODS FOR MORTAR REMOVAL MAY BE CONSIDERED, BUT WILL REQUIRE SPECIAL PERMISSION FROM THE OWNER AND ARCHITECT

STONE RESTORATION NOTES:

A INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

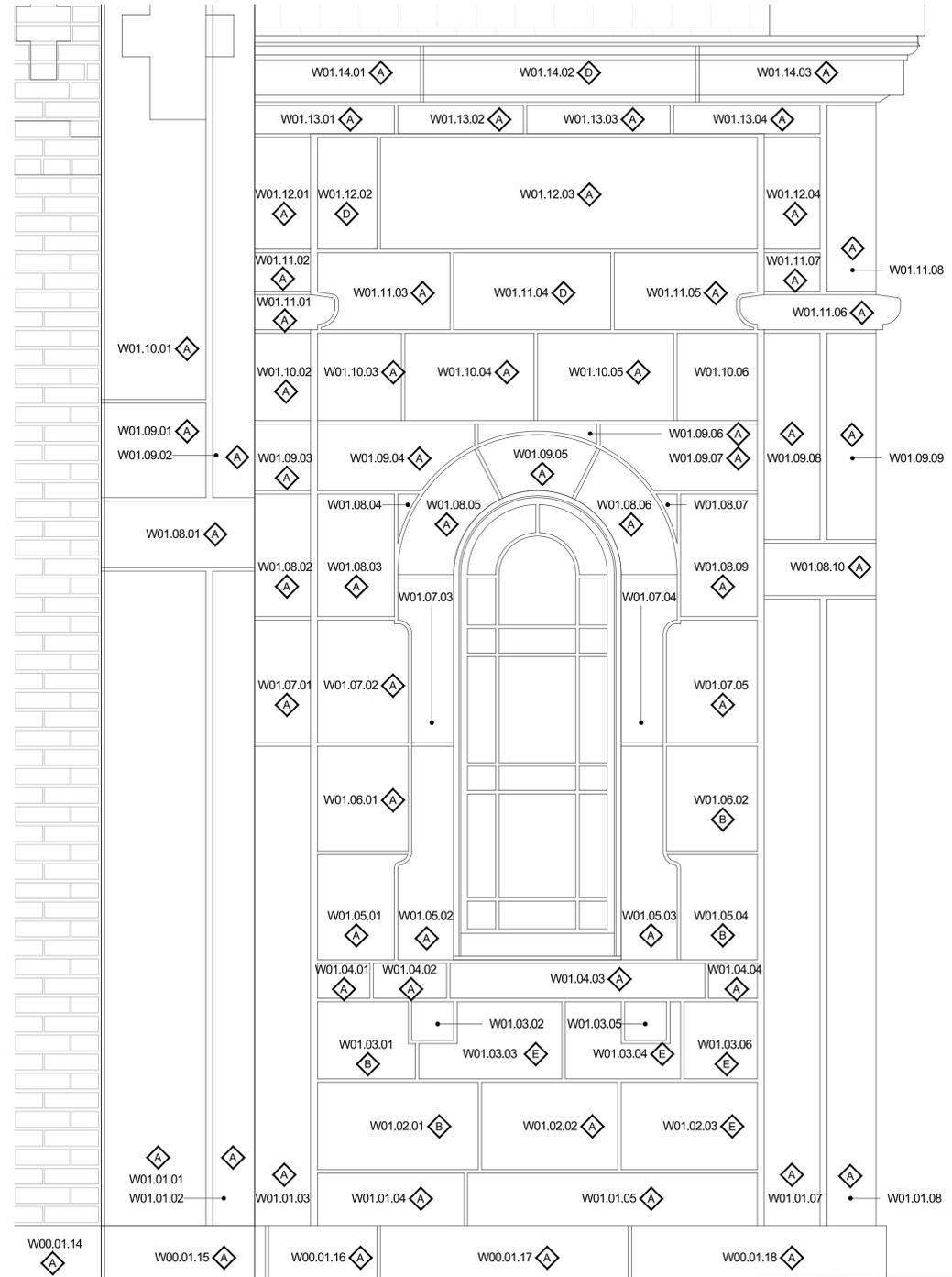
B REMOVE, REVERSE, REDRESS, RESET. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

C REDRESS IN-SITU. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

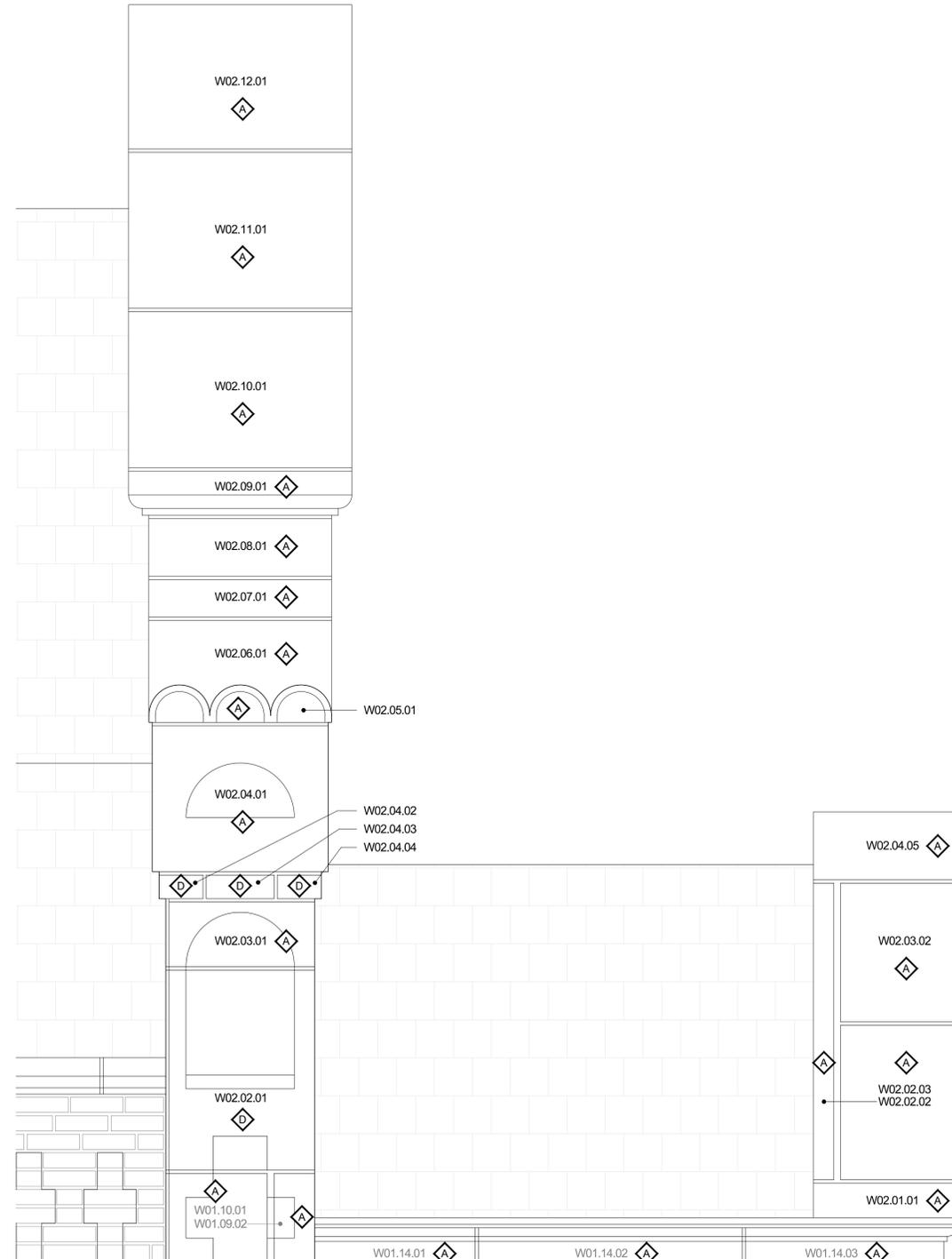
D REMOVE PATCH. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

E REMOVE, REVERSE, REDRESS, REPLACE BACKING. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

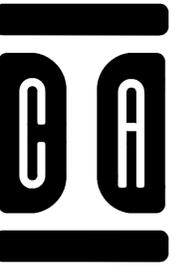
F REMOVE FERROUS ANCHORMENT AND REPAIR. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT



1 WEST ELEVATION - ZONE 1
A200a SCALE: 1" = 1'-0"



2 WEST ELEVATION - ZONE 2
A200a SCALE: 1" = 1'-0"



InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
608-531-1533 (fax)
info@icsarc.com

City of Madison
City-County Bldg., Rm. 115
210 Martin Luther King, Jr. Blvd.
Madison, WI 53701

2020 HISTORIC RESTORATION OF
GATES OF HEAVEN
302 E GORHAM ST, MADISON WI, 53706

NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "V.I.F." OR VERIFY-IN-FIELD

ICA NO. COM 20-001

WEST ENLARGED EXTERIOR ELEVATION

LANDMARKS REVIEW
05-08-2020

A200a

STONE GENERAL NOTES:

1. ALL BRICK AND STONE SURFACES SHALL BE INSPECTED AND CLEANED
2. ALL BRICK AND STONE MASONRY SHALL BE REPOINTED 100%. HAND TOOLS AND RECIPROCATING CUTTERS MAY BE USED. NO ROTARY SAWS WILL BE PERMITTED. CENTER CUT ONLY WITH MECHANICAL MEANS. ALL MORTAR IN CONTACT WITH STONE AND BRICK SHALL BE REMOVED WITH HAND TOOLS ONLY. ALTERNATE METHODS FOR MORTAR REMOVAL MAY BE CONSIDERED, BUT WILL REQUIRE SPECIAL PERMISSION FROM THE OWNER AND ARCHITECT

STONE RESTORATION NOTES:

A INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

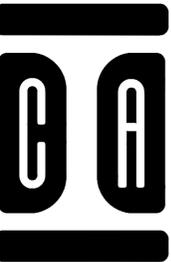
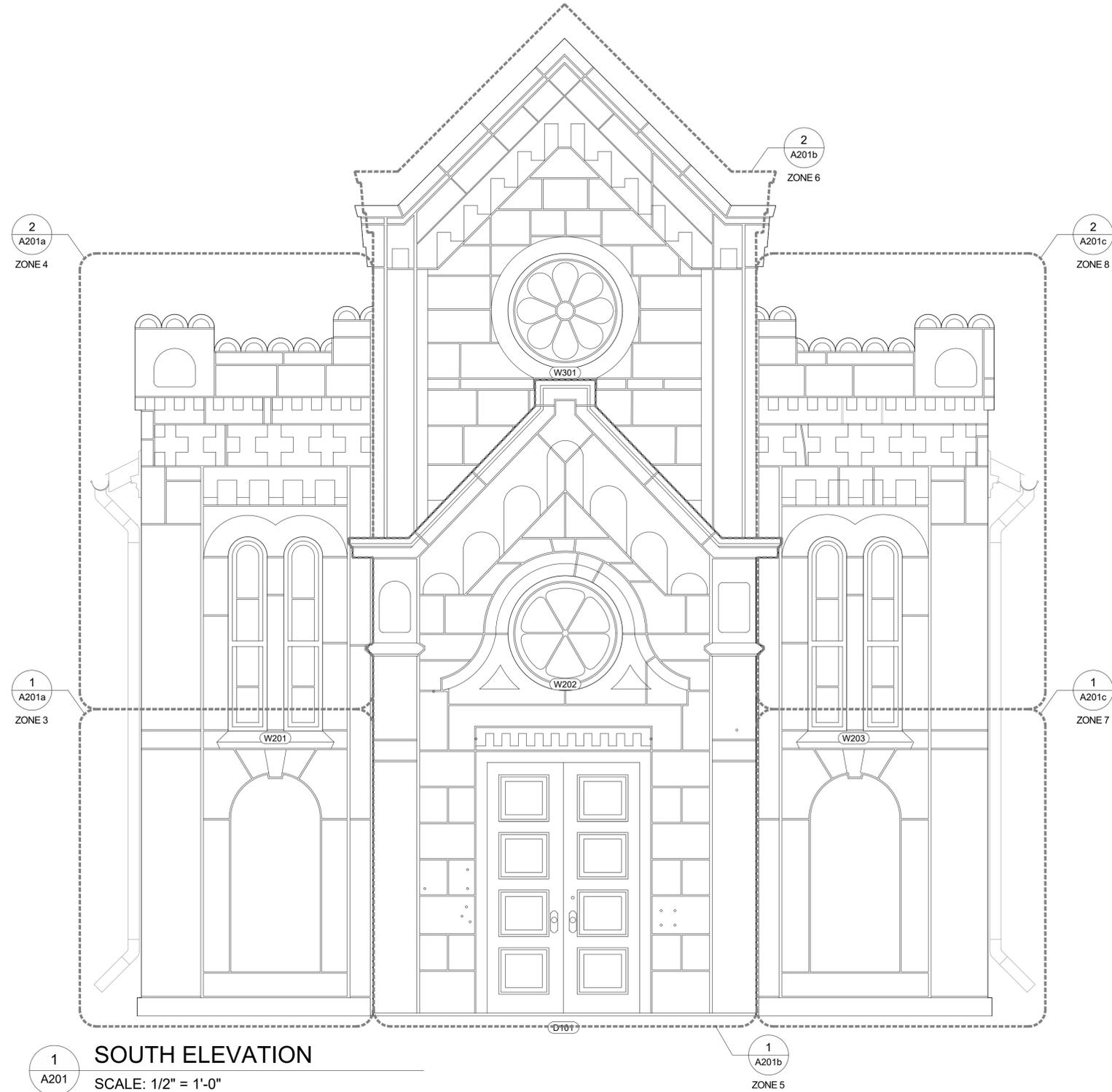
B REMOVE, REVERSE, REDRESS, RESET. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

C REDRESS IN-SITU. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

D REMOVE PATCH. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

E REMOVE, REVERSE, REDRESS, REPLACE BACKING. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

F REMOVE FERROUS ANCHORMENT AND REPAIR. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT



InSite Consulting Architects
 115 E. Main / STE 200
 Madison, Wisconsin 53703
 608-204-0825
 608-531-1533 (fax)
 info@icsarc.com

City of Madison
 City-County Bldg., Rm. 115
 210 Martin Luther King, Jr. Blvd.
 Madison, WI 53701

**2020 HISTORIC RESTORATION OF
 GATES OF HEAVEN
 302 E GORHAM ST, MADISON WI, 53706**

NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "V.I.F." OR VERIFY-IN-FIELD

ICA NO. COM 20-001

**SOUTH EXTERIOR
 ELEVATION**

LANDMARKS REVIEW
 05-08-2020

A201

STONE GENERAL NOTES:

1. ALL BRICK AND STONE SURFACES SHALL BE INSPECTED AND CLEANED
2. ALL BRICK AND STONE MASONRY SHALL BE REPOINTED 100%. HAND TOOLS AND RECIPROCATING CUTTERS MAY BE USED. NO ROTARY SAWS WILL BE PERMITTED. CENTER CUT ONLY WITH MECHANICAL MEANS. ALL MORTAR IN CONTACT WITH STONE AND BRICK SHALL BE REMOVED WITH HAND TOOLS ONLY. ALTERNATE METHODS FOR MORTAR REMOVAL MAY BE CONSIDERED, BUT WILL REQUIRE SPECIAL PERMISSION FROM THE OWNER AND ARCHITECT

STONE RESTORATION NOTES:

A INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

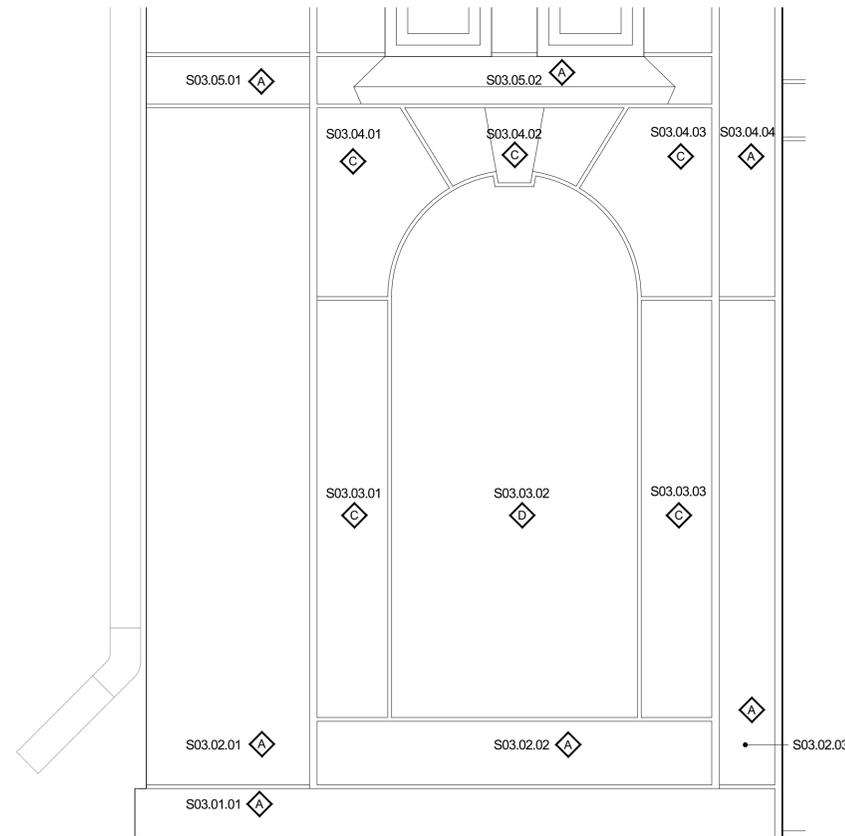
B REMOVE, REVERSE, REDRESS, RESET. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

C REDRESS IN-SITU. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

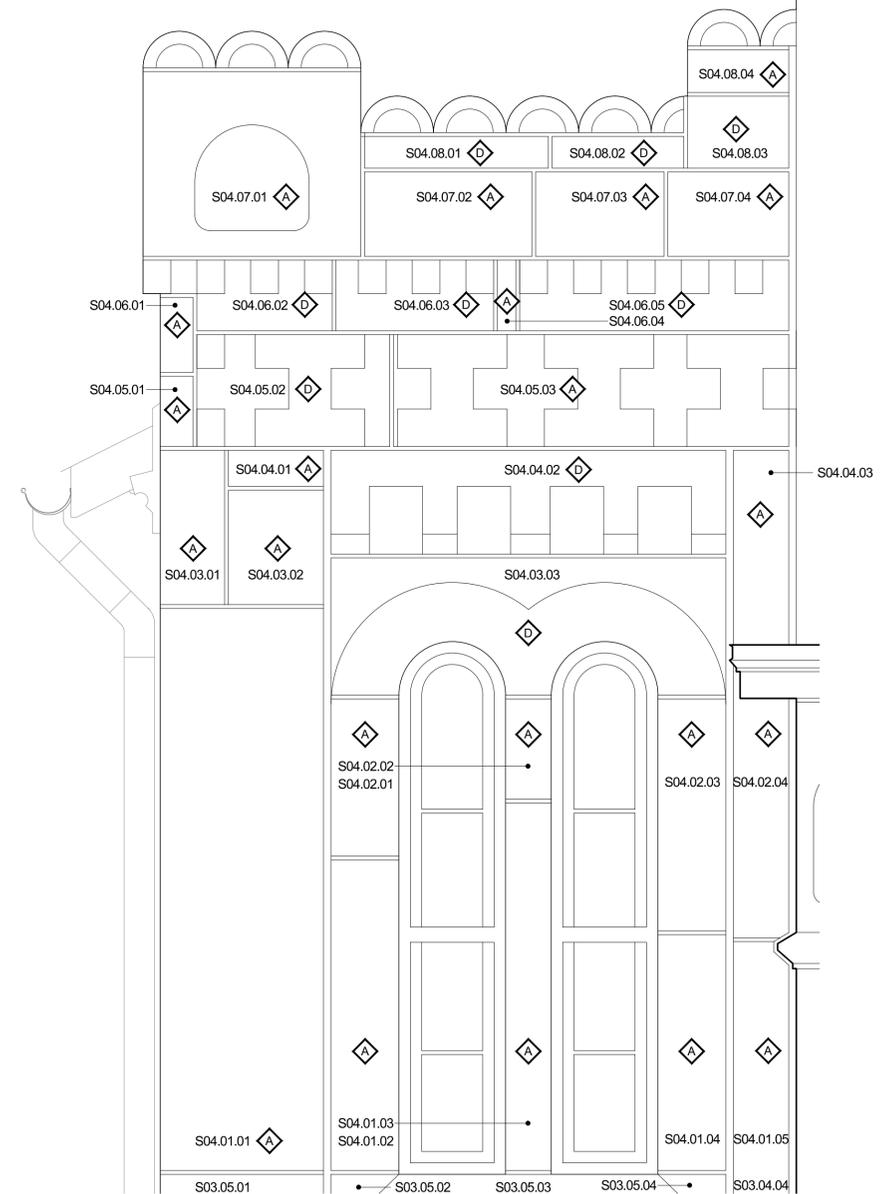
D REMOVE PATCH. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

E REMOVE, REVERSE, REDRESS, REPLACE BACKING. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

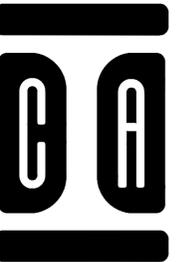
F REMOVE FERROUS ANCHORMENT AND REPAIR. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT



1 SOUTH ELEVATION - ZONE 3
A201a SCALE: 1" = 1'-0"



2 SOUTH ELEVATION - ZONE 4
A201a SCALE: 1" = 1'-0"



InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
608-531-1533 (fax)
info@icsarc.com

City of Madison
City-County Bldg., Rm. 115
210 Martin Luther King, Jr. Blvd.
Madison, WI 53701

**2020 HISTORIC RESTORATION OF
GATES OF HEAVEN
302 E GORHAM ST, MADISON WI, 53706**

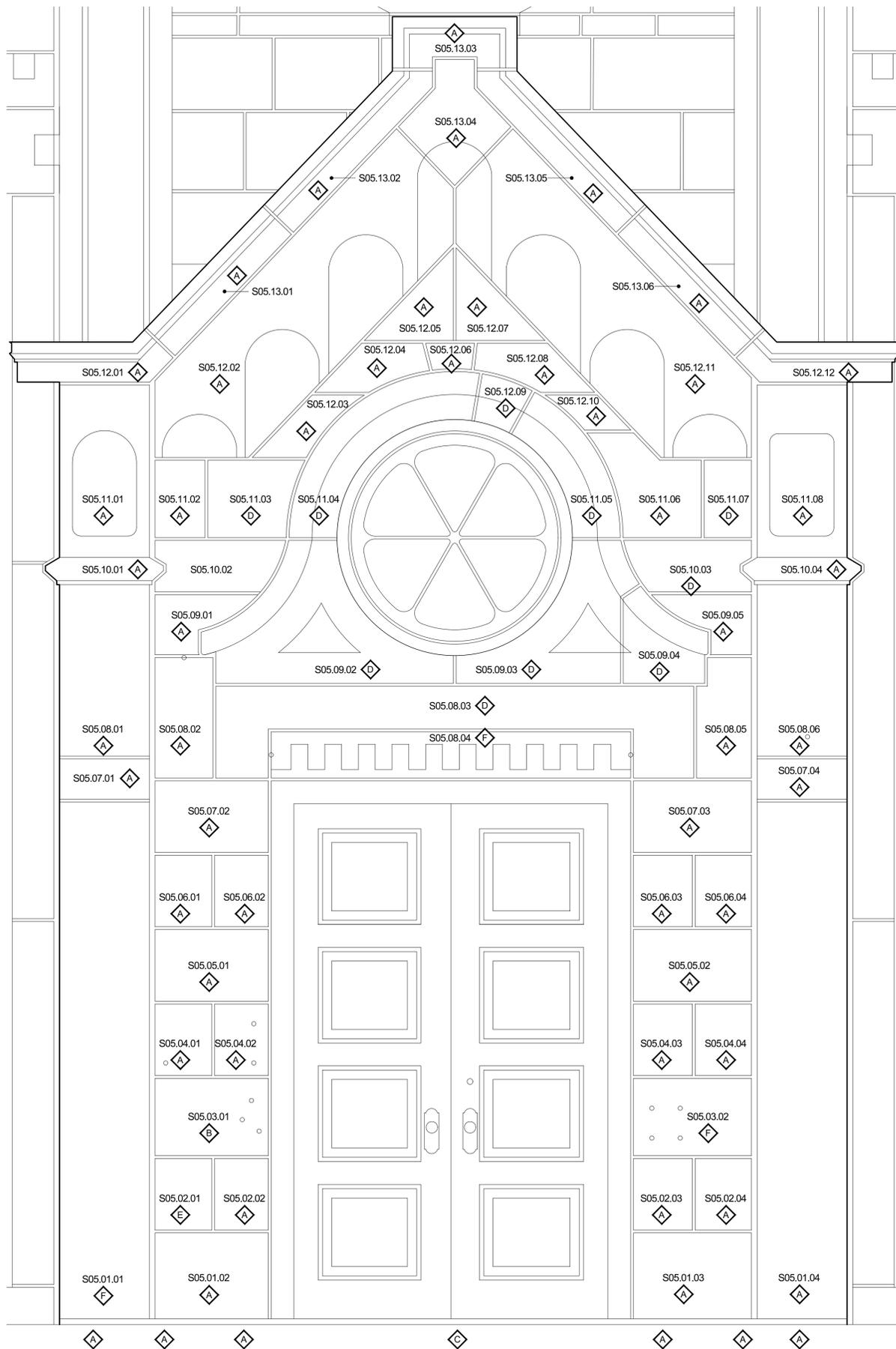
NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "V.I.F." OR VERIFY-IN-FIELD

ICA NO. COM 20-001

**SOUTH ENLARGED
EXTERIOR ELEVATION**

LANDMARKS REVIEW
05-08-2020

A201a



1 SOUTH ELEVATION - ZONE 5
SCALE: 1" = 1'-0"

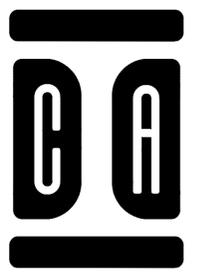
STONE GENERAL NOTES:

1. ALL BRICK AND STONE SURFACES SHALL BE INSPECTED AND CLEANED
2. ALL BRICK AND STONE MASONRY SHALL BE REPOINTED 100%. HAND TOOLS AND RECIPROCATING CUTTERS MAY BE USED, NO ROTARY SAWS WILL BE PERMITTED. CENTER CUT ONLY WITH MECHANICAL MEANS. ALL MORTAR IN CONTACT WITH STONE AND BRICK SHALL BE REMOVED WITH HAND TOOLS ONLY. ALTERNATE METHODS FOR MORTAR REMOVAL MAY BE CONSIDERED, BUT WILL REQUIRE SPECIAL PERMISSION FROM THE OWNER AND ARCHITECT

STONE RESTORATION NOTES:

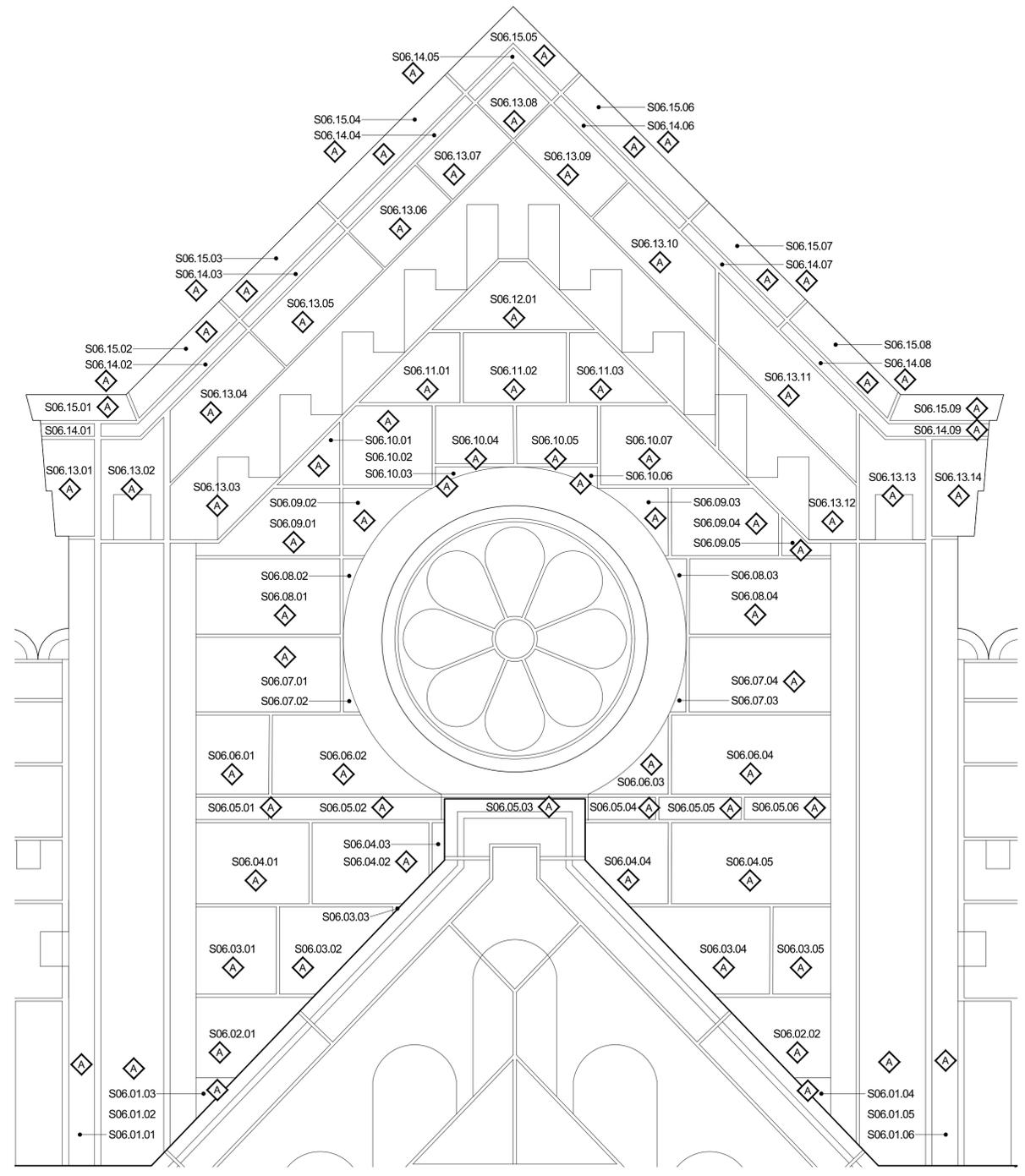
- INSPECT, CLEAN, STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE;
- STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL;
- STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

SEE SHEET A201a FOR STONE RESTORATION NOTES B, C, D, E & F



InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
608-531-1533 (fax)
info@icsarc.com

City of Madison
City-County Bldg., Rm. 115
210 Martin Luther King, Jr. Blvd.
Madison, WI 53701



2 SOUTH ELEVATION ZONE 6
SCALE: 1" = 1'-0"

2020 HISTORIC RESTORATION OF
GATES OF HEAVEN
302 E GORHAM ST, MADISON WI, 53706

NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "V.I.F." OR VERIFY-IN-FIELD

ICA NO. COM 20-001

SOUTH ENLARGED EXTERIOR ELEVATION

LANDMARKS REVIEW
05-08-2020

A201b

STONE GENERAL NOTES:

1. ALL BRICK AND STONE SURFACES SHALL BE INSPECTED AND CLEANED
2. ALL BRICK AND STONE MASONRY SHALL BE REPOINTED 100%. HAND TOOLS AND RECIPROCATING CUTTERS MAY BE USED. NO ROTARY SAWS WILL BE PERMITTED. CENTER CUT ONLY WITH MECHANICAL MEANS. ALL MORTAR IN CONTACT WITH STONE AND BRICK SHALL BE REMOVED WITH HAND TOOLS ONLY. ALTERNATE METHODS FOR MORTAR REMOVAL MAY BE CONSIDERED, BUT WILL REQUIRE SPECIAL PERMISSION FROM THE OWNER AND ARCHITECT

STONE RESTORATION NOTES:

A INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

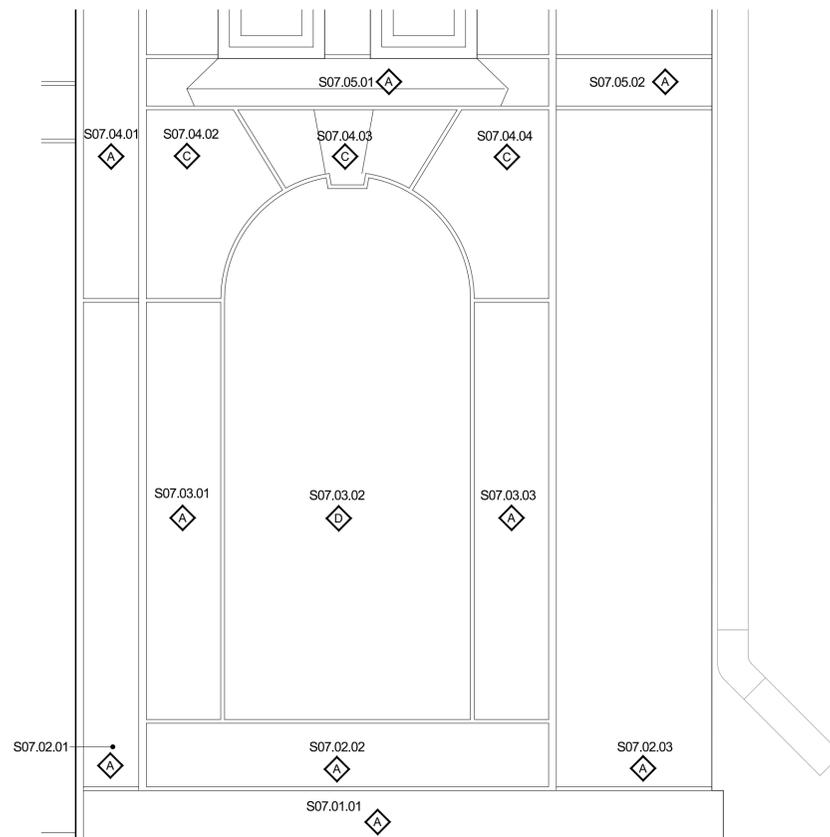
B REMOVE, REVERSE, REDRESS, RESET. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

C REDRESS IN-SITU. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

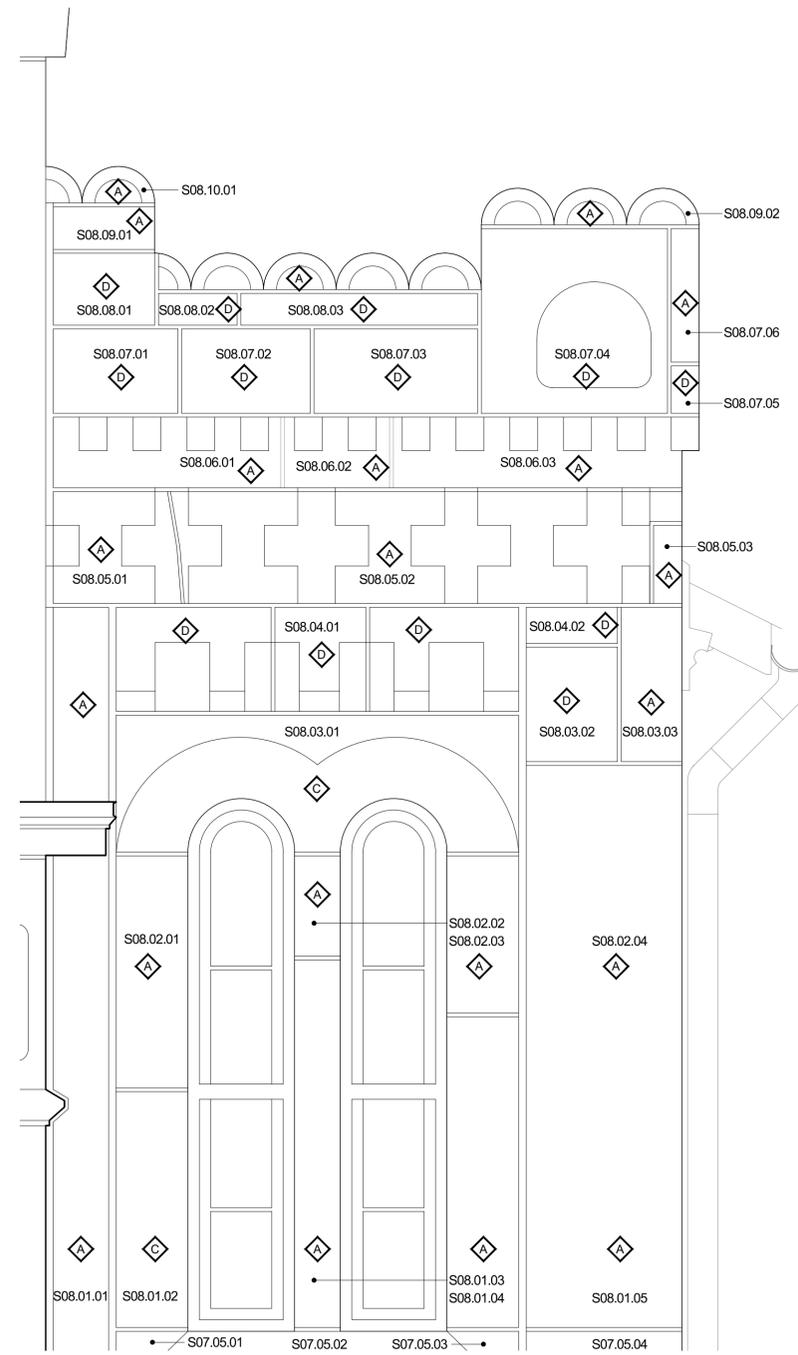
D REMOVE PATCH. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

E REMOVE, REVERSE, REDRESS, REPLACE BACKING. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

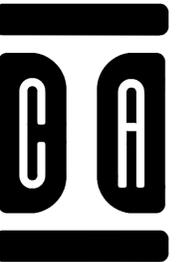
F REMOVE FERROUS ANCHORMENT AND REPAIR. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT



1
A201c
SOUTH ELEVATION - ZONE 7
SCALE: 1" = 1'-0"



2
A201c
SOUTH ELEVATION - ZONE 8
SCALE: 1" = 1'-0"



InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
608-531-1533 (fax)
info@icsarc.com

City of Madison
City-County Bldg., Rm. 115
210 Martin Luther King, Jr. Blvd.
Madison, WI 53701

**2020 HISTORIC RESTORATION OF
GATES OF HEAVEN
302 E GORHAM ST, MADISON WI, 53706**

NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "V.I.F." OR VERIFY-IN-FIELD

ICA NO. COM 20-001

**SOUTH ENLARGED
EXTERIOR ELEVATION**

LANDMARKS REVIEW
05-08-2020

A201c

STONE GENERAL NOTES:

1. ALL BRICK AND STONE SURFACES SHALL BE INSPECTED AND CLEANED
2. ALL BRICK AND STONE MASONRY SHALL BE REPOINTED 100%. HAND TOOLS AND RECIPROCATING CUTTERS MAY BE USED. NO ROTARY SAWS WILL BE PERMITTED. CENTER CUT ONLY WITH MECHANICAL MEANS. ALL MORTAR IN CONTACT WITH STONE AND BRICK SHALL BE REMOVED WITH HAND TOOLS ONLY. ALTERNATE METHODS FOR MORTAR REMOVAL MAY BE CONSIDERED, BUT WILL REQUIRE SPECIAL PERMISSION FROM THE OWNER AND ARCHITECT

STONE RESTORATION NOTES:

A INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

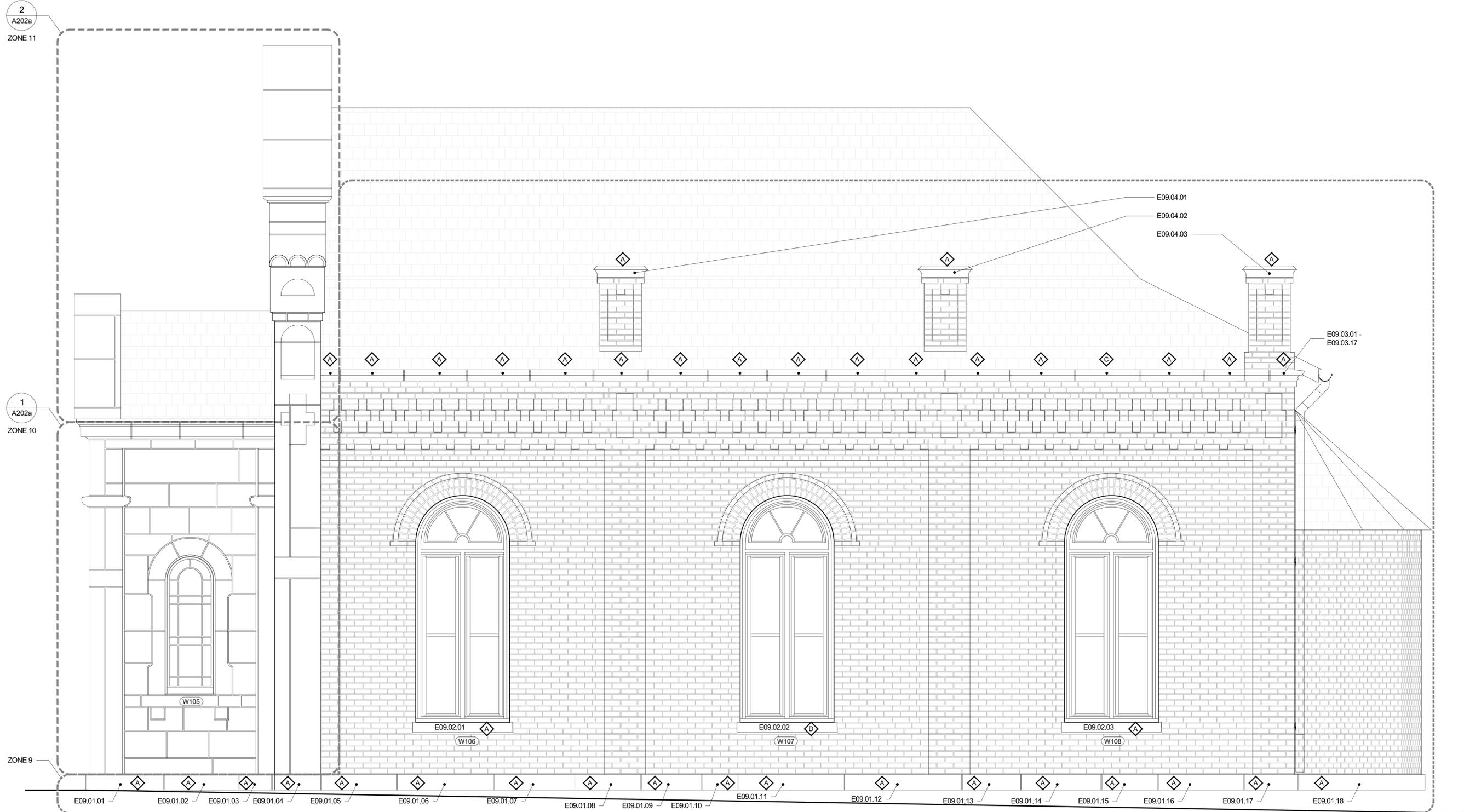
B REMOVE, REVERSE, REDRESS, RESET. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

C REDRESS IN-SITU. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

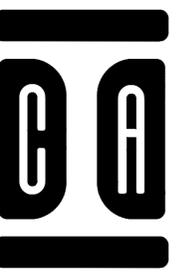
D REMOVE PATCH. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

E REMOVE, REVERSE, REDRESS, REPLACE BACKING. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

F REMOVE FERROUS ANCHORMENT AND REPAIR. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT



1 WEST ELEVATION
SCALE: 1/2" = 1'-0"



InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
608-531-1533 (fax)
info@icsarc.com

City of Madison
City-County Bldg., Rm. 115
210 Martin Luther King, Jr. Blvd.
Madison, WI 53701

**2020 HISTORIC RESTORATION OF
GATES OF HEAVEN
302 E GORHAM ST, MADISON WI, 53706**

NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "V.I.F." OR VERIFY-IN-FIELD

ICA NO. COM 20-001

EAST EXTERIOR ELEVATION

LANDMARKS REVIEW
05-08-2020

A202

STONE GENERAL NOTES:

1. ALL BRICK AND STONE SURFACES SHALL BE INSPECTED AND CLEANED
2. ALL BRICK AND STONE MASONRY SHALL BE REPOINTED 100%. HAND TOOLS AND RECIPROCATING CUTTERS MAY BE USED. NO ROTARY SAWS WILL BE PERMITTED. CENTER CUT ONLY WITH MECHANICAL MEANS. ALL MORTAR IN CONTACT WITH STONE AND BRICK SHALL BE REMOVED WITH HAND TOOLS ONLY. ALTERNATE METHODS FOR MORTAR REMOVAL MAY BE CONSIDERED, BUT WILL REQUIRE SPECIAL PERMISSION FROM THE OWNER AND ARCHITECT

STONE RESTORATION NOTES:

A INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

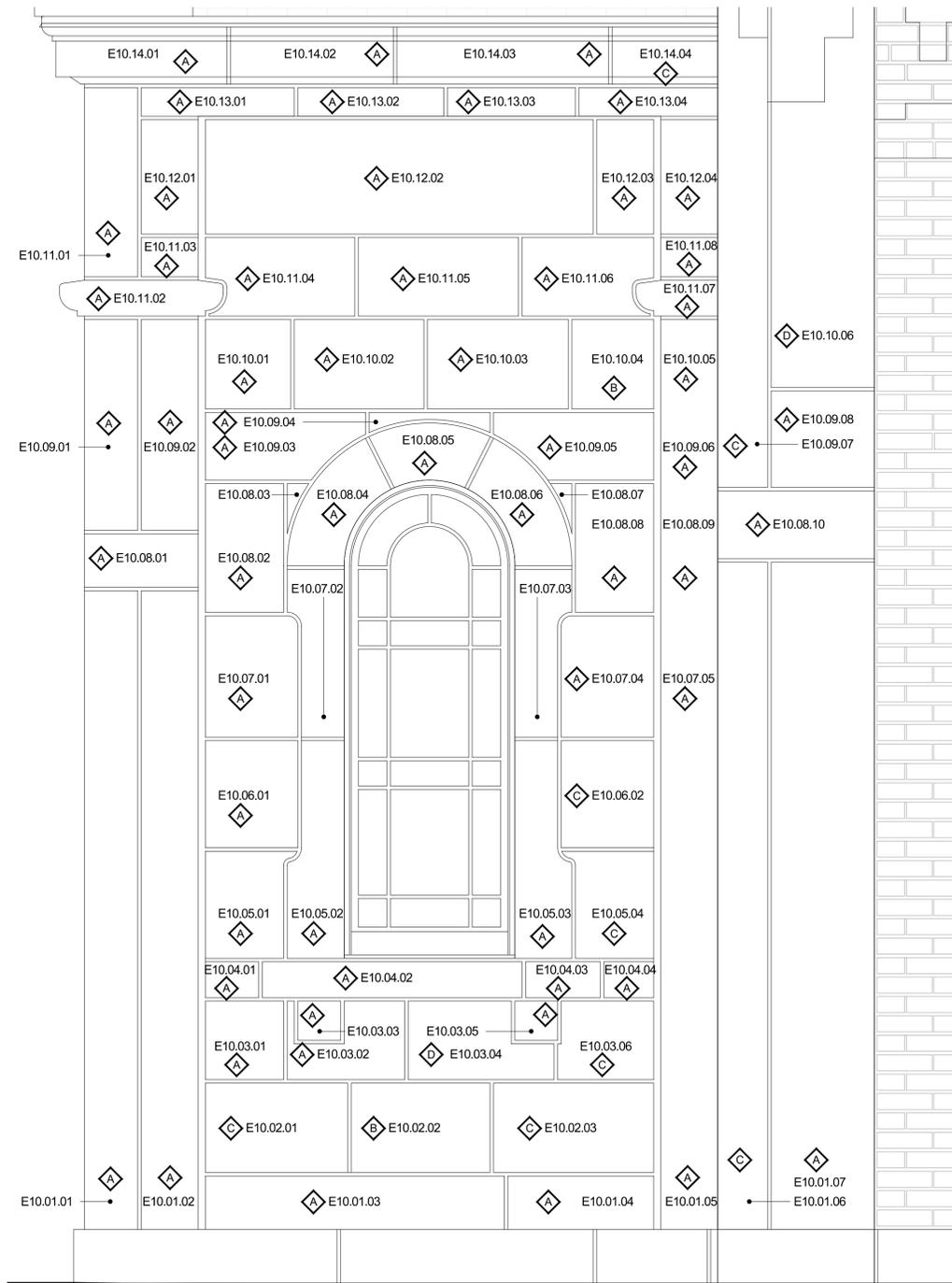
B REMOVE, REVERSE, REDRESS, RESET, INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

C REDRESS IN-SITU. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

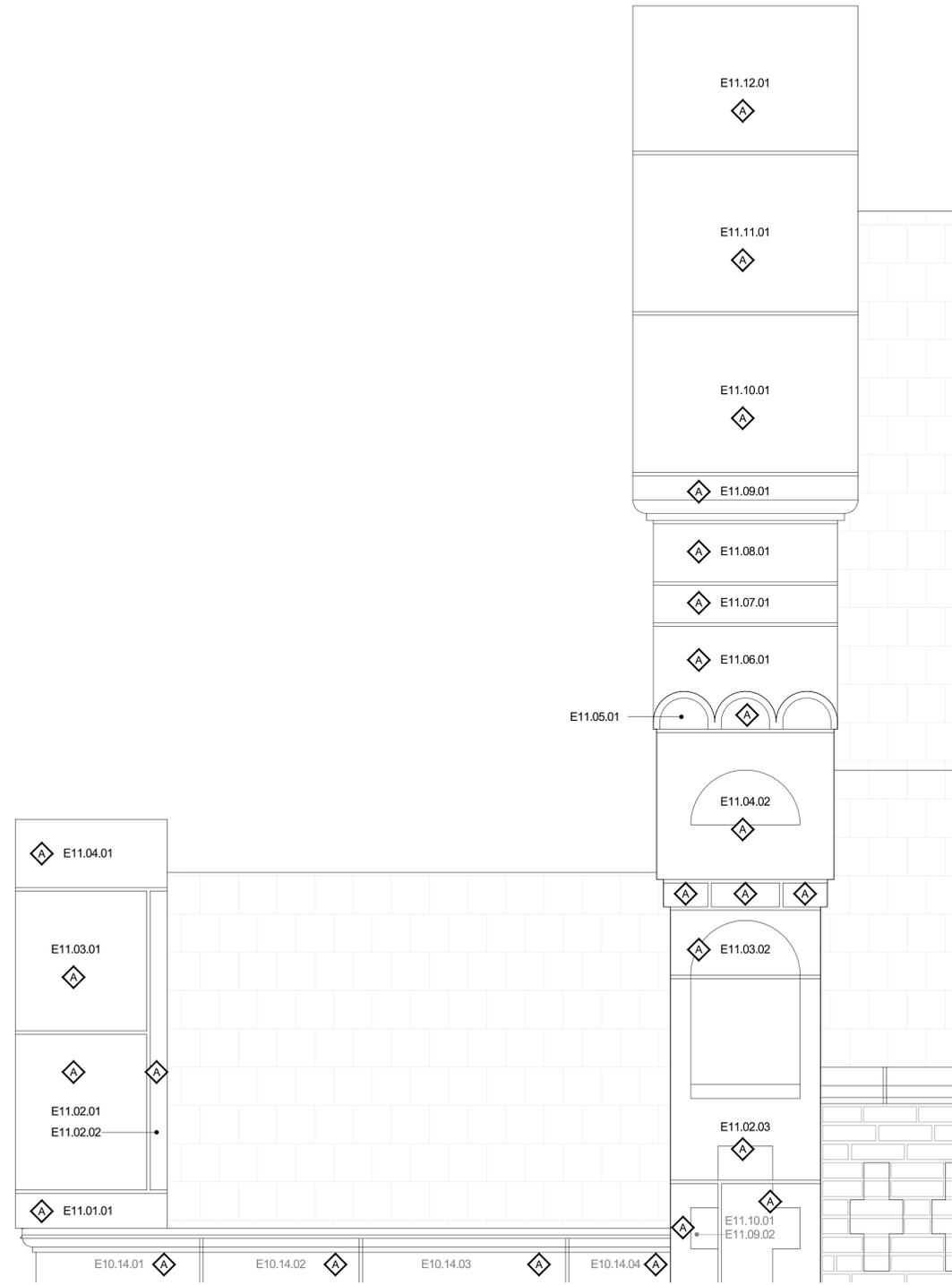
D REMOVE PATCH. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

E REMOVE, REVERSE, REDRESS, REPLACE BACKING. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

F REMOVE FERROUS ANCHORMENT AND REPAIR. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT



2 EAST ELEVATION - ZONE 10
SCALE: 1/2" = 1'-0"



1 EAST ELEVATION - ZONE 11
SCALE: 1/2" = 1'-0"

InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
608-531-1533 (fax)
info@icsarc.com

City of Madison
City-County Bldg., Rm. 115
210 Martin Luther King, Jr. Blvd.
Madison, WI 53701

2020 HISTORIC RESTORATION OF
GATES OF HEAVEN
302 E GORHAM ST, MADISON WI, 53706

NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "V.I.F." OR VERIFY-IN-FIELD

ICA NO. COM 20-001

EAST ENLARGED EXTERIOR ELEVATION

LANDMARKS REVIEW
05-08-2020

A202a

STONE GENERAL NOTES:

1. ALL BRICK AND STONE SURFACES SHALL BE INSPECTED AND CLEANED
2. ALL BRICK AND STONE MASONRY SHALL BE REPOINTED 100%. HAND TOOLS AND RECIPROCATING CUTTERS MAY BE USED. NO ROTARY SAWS WILL BE PERMITTED. CENTER CUT ONLY WITH MECHANICAL MEANS. ALL MORTAR IN CONTACT WITH STONE AND BRICK SHALL BE REMOVED WITH HAND TOOLS ONLY. ALTERNATE METHODS FOR MORTAR REMOVAL MAY BE CONSIDERED, BUT WILL REQUIRE SPECIAL PERMISSION FROM THE OWNER AND ARCHITECT

STONE RESTORATION NOTES:

A INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

B REMOVE, REVERSE, REDRESS, RESET. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

C REDRESS IN-SITU. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

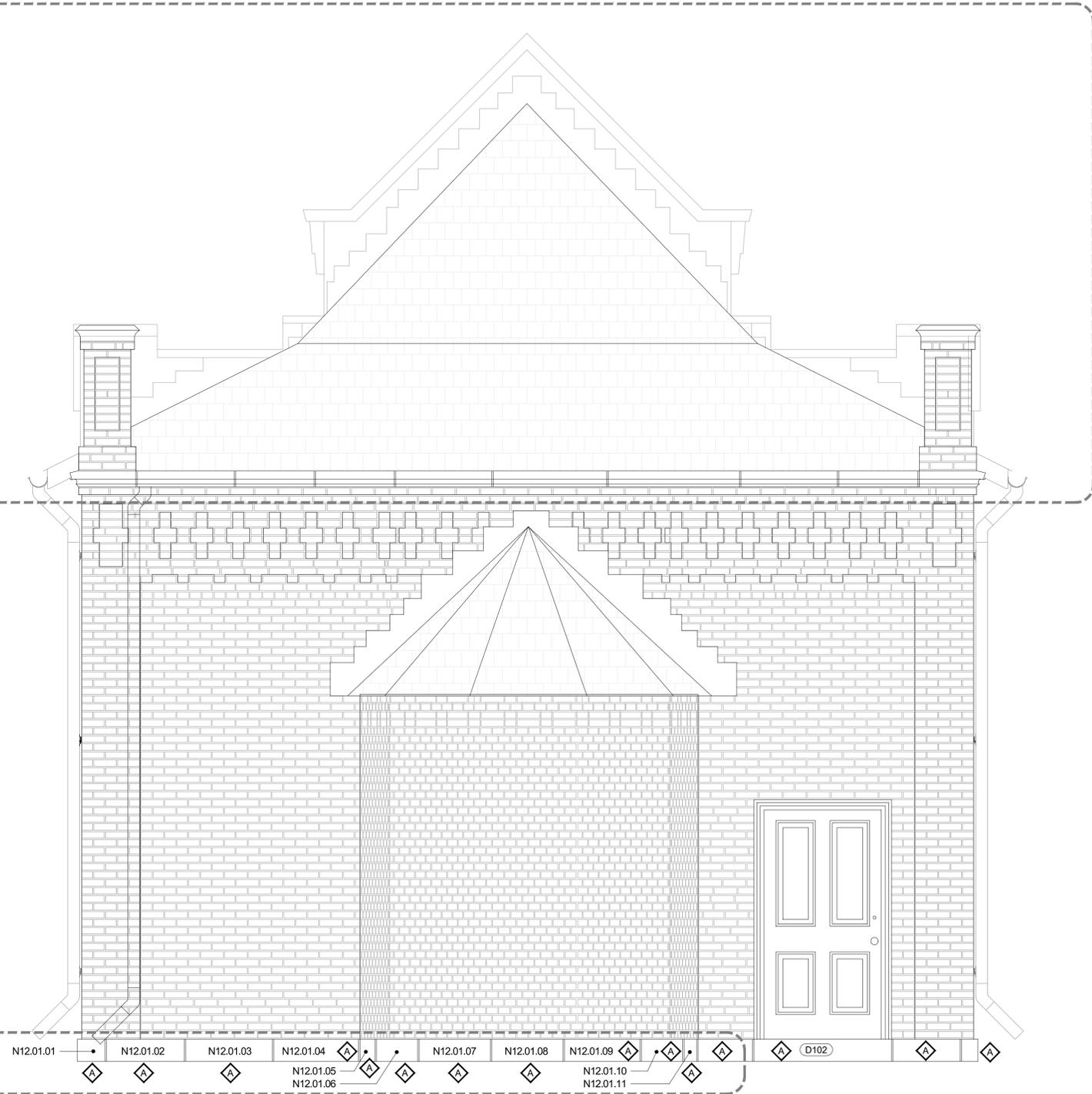
D REMOVE PATCH. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

E REMOVE, REVERSE, REDRESS, REPLACE BACKING. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

F REMOVE FERROUS ANCHORMENT AND REPAIR. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT

1
A203a
ZONE 13

ZONE 12



1
A203

NORTH ELEVATION - ZONE 12

SCALE: 1/2" = 1'-0"

InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
608-531-1533 (fax)
info@icsarc.com

City of Madison
City-County Bldg., Rm. 115
210 Martin Luther King, Jr. Blvd.
Madison, WI 53701

2020 HISTORIC RESTORATION OF
GATES OF HEAVEN
302 E GORHAM ST, MADISON WI, 53706

NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "V.I.F." OR VERIFY-IN-FIELD

ICA NO. COM 20-001

NORTH EXTERIOR
ELEVATION

LANDMARKS REVIEW
05-08-2020

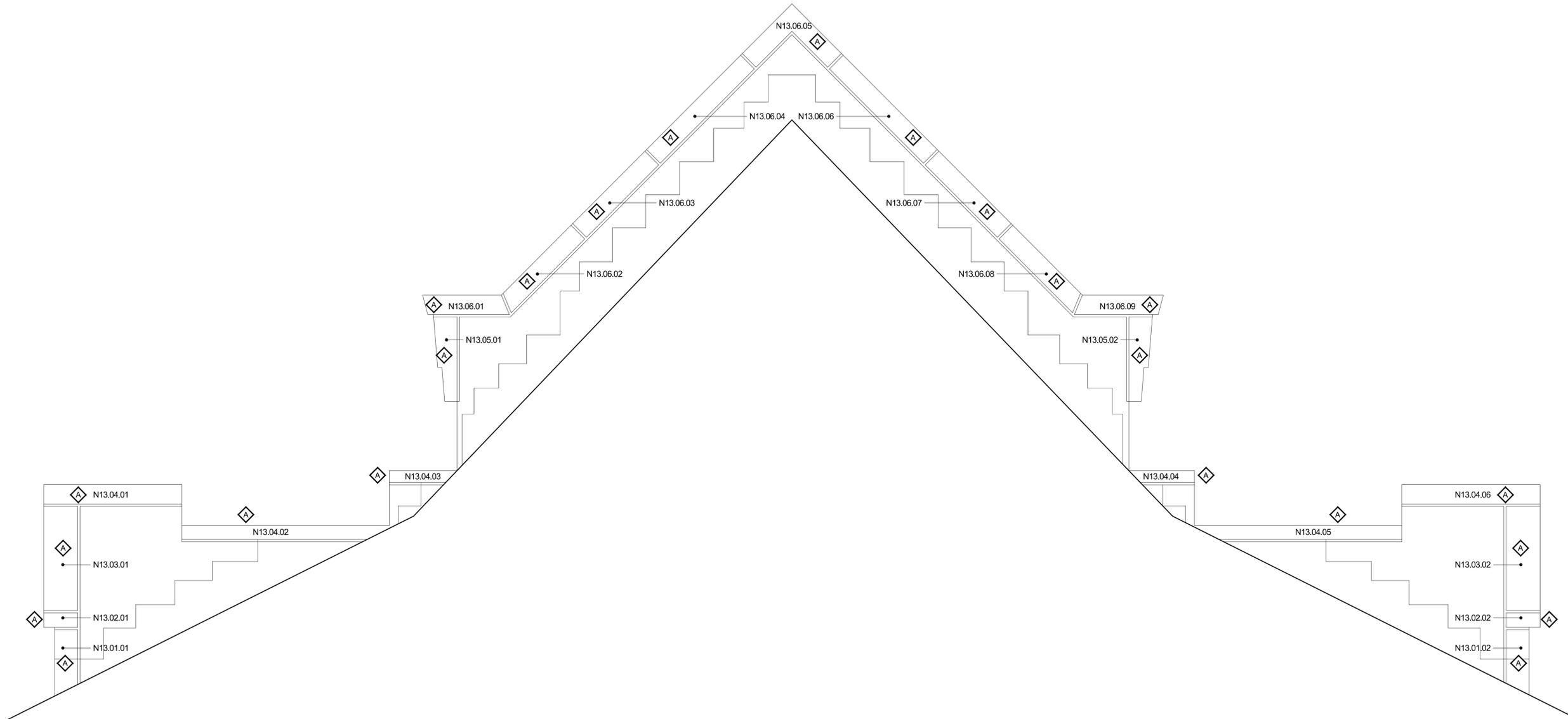
A203

STONE GENERAL NOTES:

1. ALL BRICK AND STONE SURFACES SHALL BE INSPECTED AND CLEANED
2. ALL BRICK AND STONE MASONRY SHALL BE REPOINTED 100%. HAND TOOLS AND RECIPROCATING CUTTERS MAY BE USED. NO ROTARY SAWS WILL BE PERMITTED. CENTER CUT ONLY WITH MECHANICAL MEANS. ALL MORTAR IN CONTACT WITH STONE AND BRICK SHALL BE REMOVED WITH HAND TOOLS ONLY. ALTERNATE METHODS FOR MORTAR REMOVAL MAY BE CONSIDERED, BUT WILL REQUIRE SPECIAL PERMISSION FROM THE OWNER AND ARCHITECT

STONE RESTORATION NOTES:

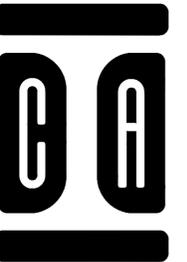
- A** INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT
- B** REMOVE, REVERSE, REDRESS, RESET. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT
- C** REDRESS IN-SITU. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT
- D** REMOVE PATCH. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT
- E** REMOVE, REVERSE, REDRESS, REPLACE BACKING. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT
- F** REMOVE FERROUS ANCHORMENT AND REPAIR. INSPECT; CLEAN. STEP 1: D/2 SOLUTION (ANTI-ORGANIC), REASSESS STONE; STEP 2: REPAIR ALL DEFECTS THAT CAN BE IMPACTED BY WATER OR WILL ALLOW WATER TO ENTER THE WALL; STEP 3: VERY LOW PRESSURE STEAM POWER WASH; STEP 4: REMOVE ERRANT MORTAR AND OTHER MATERIALS; STEP 5: REPEAT AS REQUIRED TO PREPARE STONE FOR CONSOLIDATION; CONSOLIDATE STONE WITH CUSTOM PROSOCO CONSOLIDANT (DEVELOPED SPECIFICALLY FOR MADISON SANDSTONE) PROVIDE MOCK-UP ON ONE STONE PRIOR TO FULL COMMENCEMENT



1 NORTH ELEVATION - PARAPET STONES - ZONE 13
A203a SCALE: 1" = 1'-0"



2 NORTH ELEVATION - PARAPET STONES - ZONE 13
A203a SCALE: 1" = 1'-0"



InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
608-531-1533 (fax)
info@icsarc.com

City of Madison
City-County Bldg., Rm. 115
210 Martin Luther King, Jr. Blvd.
Madison, WI 53701

2020 HISTORIC RESTORATION OF
GATES OF HEAVEN
302 E GORHAM ST, MADISON WI, 53706

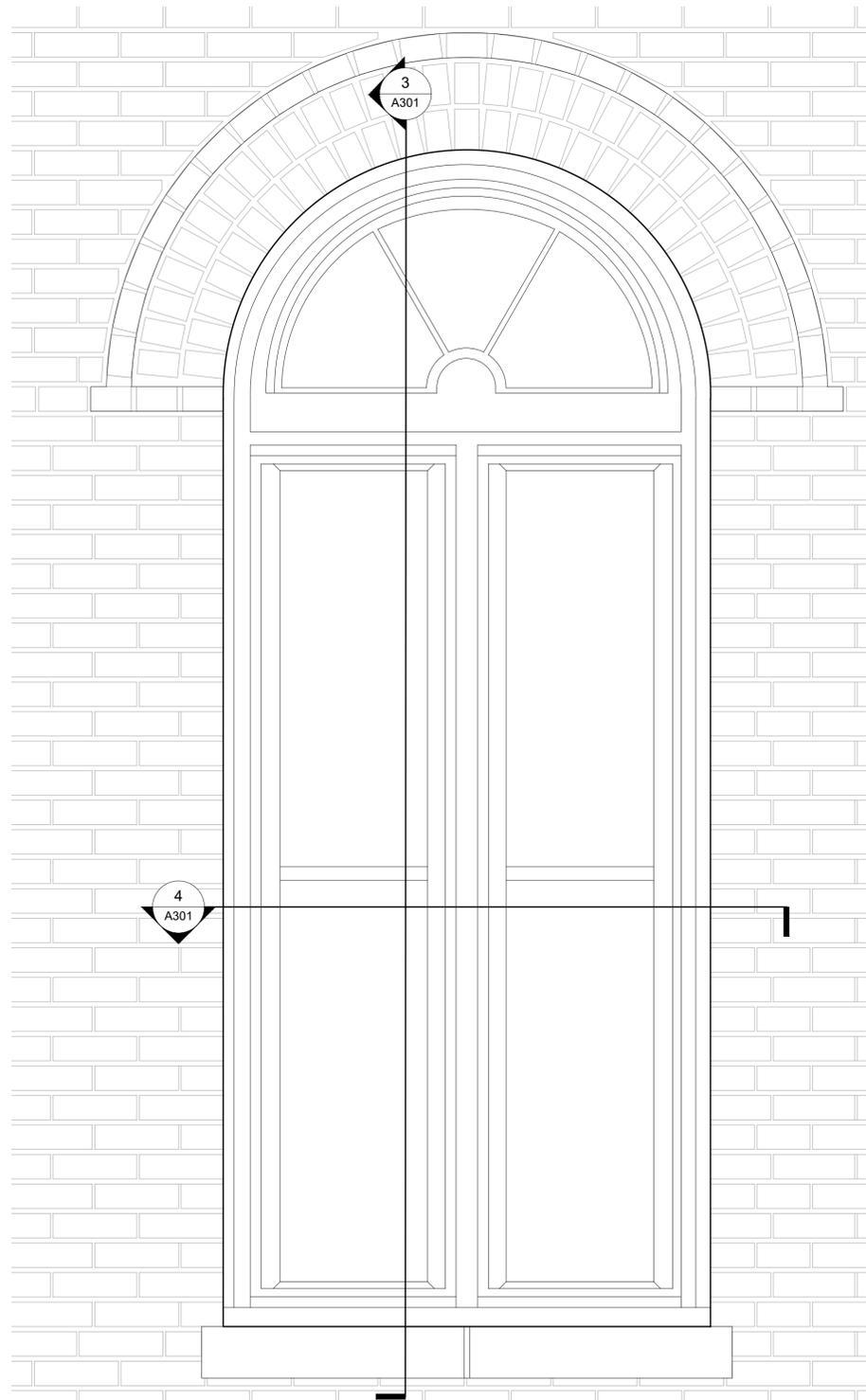
NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "V.I.F." OR VERIFY-IN-FIELD

ICA NO. COM 20-001

NORTH ENLARGED EXTERIOR ELEVATION

LANDMARKS REVIEW
05-08-2020

A203a



1
A301
EXTERIOR ELEVATION - W101
SCALE: 1 1/2" = 1'-0"

4
A301
PLAN SECTION
SCALE: 1 1/2" = 1'-0"



2
A301
INTERIOR ELEVATION - W101
SCALE: 1 1/2" = 1'-0"

3
A301
WALL SECTION
SCALE: 1 1/2" = 1'-0"

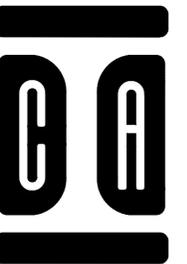
WINDOW RESTORATION NOTES:

WINDOWS 101-103/106-108

REMOVE AND DISPOSE OF EXISTING ALUMINUM STORM/SCREEN COMBINATION

REMOVE EXISTING SASHES AND PERFORM THE FOLLOWING REPAIR PROCEDURES:

- DOCUMENT ALL EXISTING HARDWARE
- DOCUMENT ALL EXISTING WEATHERSTRIPPING
- DOCUMENT EXISTING GLASS
- DOCUMENT CONDITION OF EXISTING WOOD SASH
- REMOVE AND DISPOSE OF EXISTING GLAZING – IF STOPS ARE PRESENT, PRESERVE THE STOPS FOR FUTURE USE IF POSSIBLE OTHERWISE REPLACE
- RETAIN EXISTING WEATHERSTRIPPING IF POSSIBLE, REPLACE WITH REPLICA WEATHERSTRIPPING AS NEEDED
- REMOVE, REPAIR AND RESTORE FINISH OF ALL EXISTING HARDWARE ANY RESERVE FOR REINSTALLATION AS REQUIRED DURING THE FULL RESTORATION PROCESS
- NUMBER AND RESERVE EXISTING GLASS PIECES FOR REINSTALLATION IN THEIR PROPER PLACE AT THE END OF THE PROCESS
- REMOVE ALL PAINT FROM THE EXISTING SASHES
- PERFORM SASH REPAIRS AS REQUIRED INCLUDING BUT NOT LIMITED TO WOOD CONSOLIDATION, DUTCHMAN INSTALLATION, FULL RAIL REPLACEMENT (USE QUARTERSAWN DOUGLAS FIR FOR ALL WOOD REPLACEMENT)
- RE-GLUE AND RE-FASTENED ALL SASH MEMBERS TO AN ORIGINAL CONDITION
- REINSTALL EXISTING GLASS INTO RESTORED FRAME/SASH
- INSTALL NEW GLAZING AND/OR WOOD STOPS
- PRIME AND PAINT SASH PRIOR TO RE-INSTALLATION
- REINSTALL EXISTING SASH WHEN EXISTING FRAME IS FULLY PREPARED TO RECEIVE IT
- FULLY SCRAPE, PRIME AND PAINT ALL EXISTING WINDOW FRAME COMPONENTS THAT ARE TO REMAIN IN-SITU
- PERFORM ALL WOOD REPAIR REQUIRED TO FULLY RESTORE THE EXISTING FRAMES, INCLUDING BUT NOT LIMITED TO WOOD CONSOLIDATION, LIMITED PATCHING, AND DUTCHMAN REPAIRS
- INSTALL NEW FRAMELESS VENTED FIXED EXTERIOR STORM WINDOW SUCH AS FLOVENT BY WILLET HAUSER OR APPROVED EQUAL

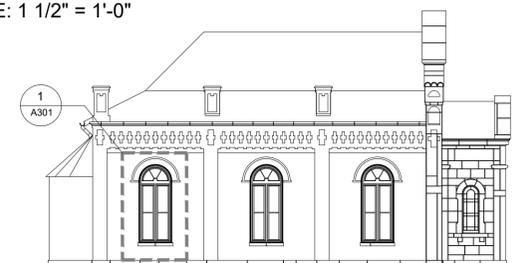


InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
608-531-1533 (fax)
info@icsarc.com

City of Madison
City-County Bldg., Rm. 115
210 Martin Luther King, Jr. Blvd.
Madison, WI 53701

**2020 HISTORIC RESTORATION OF
GATES OF HEAVEN
302 E GORHAM ST, MADISON WI, 53706**

NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "V.I.F." OR VERIFY-IN-FIELD



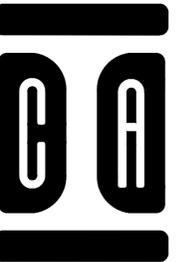
KEY ELEVATION - WEST
SCALE: NONE

ICA NO. COM 20-001

WINDOW ELEVATIONS

LANDMARKS REVIEW
05-08-2020

A301



InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
608-531-1533 (fax)
info@icsarc.com

City of Madison
City-County Bldg., Rm. 115
210 Martin Luther King, Jr. Blvd.
Madison, WI 53701

2020 HISTORIC RESTORATION OF
GATES OF HEAVEN
302 E GORHAM ST, MADISON WI, 53706

WINDOW RESTORATION NOTES:

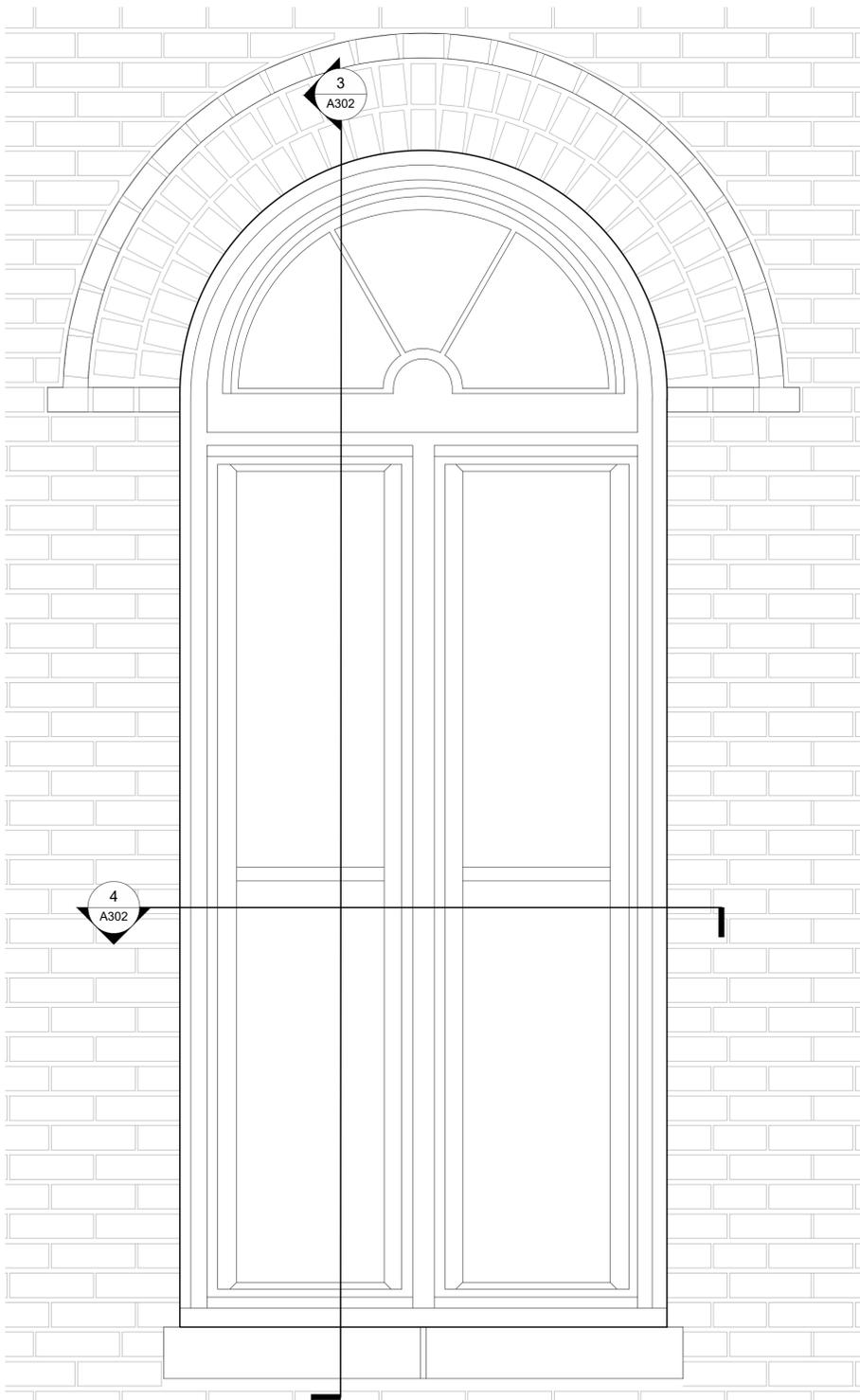
WINDOWS 101-103/106-108

REMOVE AND DISPOSE OF EXISTING ALUMINUM
STORM/SCREEN COMBINATION

REMOVE EXISTING SASHES AND PERFORM THE
FOLLOWING REPAIR PROCEDURES:

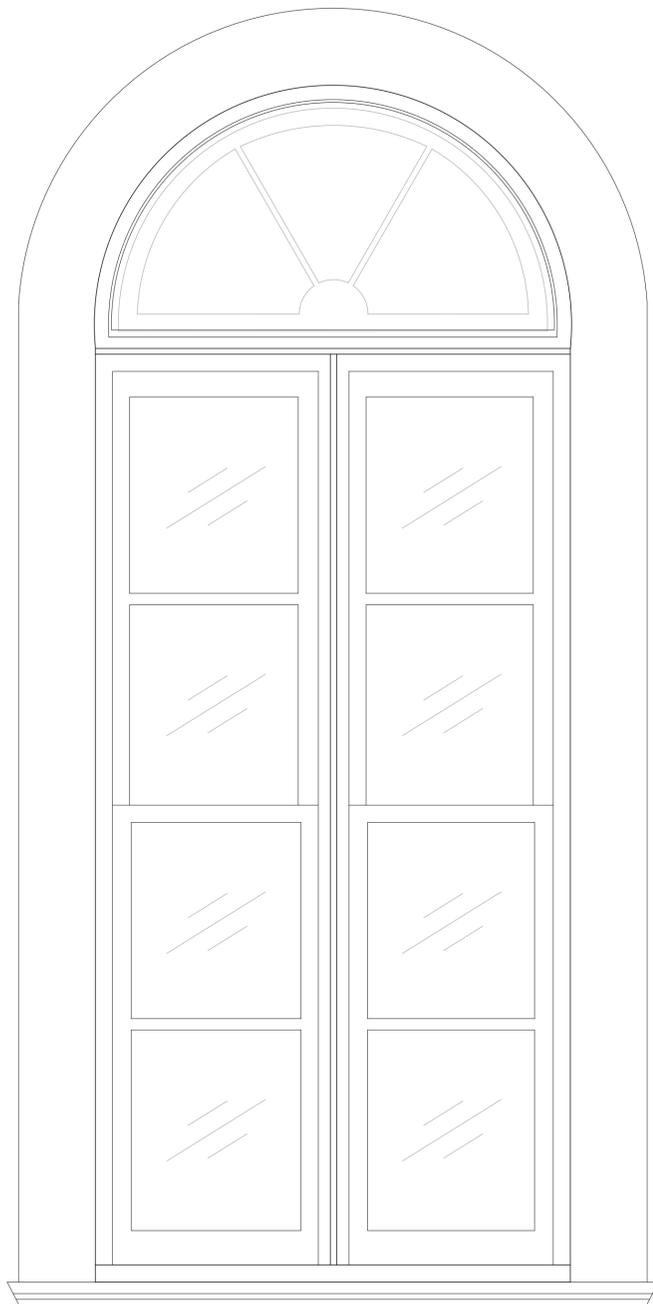
- DOCUMENT ALL EXISTING HARDWARE
- DOCUMENT ALL EXISTING WEATHERSTRIPPING
- DOCUMENT EXISTING GLASS
- DOCUMENT CONDITION OF EXISTING WOOD SASH
- REMOVE AND DISPOSE OF EXISTING GLAZING – IF STOPS ARE PRESENT, PRESERVE THE STOPS FOR FUTURE USE IF POSSIBLE OTHERWISE REPLACE
- RETAIN EXISTING WEATHERSTRIPPING IF POSSIBLE, REPLACE WITH REPLICA WEATHERSTRIPPING AS NEEDED
- REMOVE, REPAIR AND RESTORE FINISH OF ALL EXISTING HARDWARE ANY RESERVE FOR REINSTALLATION AS REQUIRED DURING THE FULL RESTORATION PROCESS
- NUMBER AND RESERVE EXISTING GLASS PIECES FOR REINSTALLATION IN THEIR PROPER PLACE AT THE END OF THE PROCESS
- REMOVE ALL PAINT FROM THE EXISTING SASHES INCLUDING BUT NOT LIMITED TO WOOD CONSOLIDATION, DUTCHMAN INSTALLATION, FULL RAIL REPLACEMENT (USE QUARTERSAWN DOUGLAS FIR FOR ALL WOOD REPLACEMENT)
- RE-GLUE AND RE-FASTENED ALL SASH MEMBERS TO AN ORIGINAL CONDITION
- REINSTALL EXISTING GLASS INTO RESTORED FRAME/SASH
- INSTALL NEW GLAZING AND/OR WOOD STOPS
- PRIME AND PAINT SASH PRIOR TO RE-INSTALLATION
- REINSTALL EXISTING SASH WHEN EXISTING FRAME IS FULLY PREPARED TO RECEIVE IT
- FULLY SCRAPE, PRIME AND PAINT ALL EXISTING WINDOW FRAME COMPONENTS THAT ARE TO REMAIN IN-SITU
- PERFORM ALL WOOD REPAIR REQUIRED TO FULLY RESTORE THE EXISTING FRAMES; INCLUDING BUT NOT LIMITED TO WOOD CONSOLIDATION, LIMITED PATCHING, AND DUTCHMAN REPAIRS
- INSTALL NEW FRAMELESS VENTED FIXED EXTERIOR STORM WINDOW SUCH AS FLOVENT BY WILLET HAUSER OR APPROVED EQUAL

NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "V.I.F." OR VERIFY-IN-FIELD



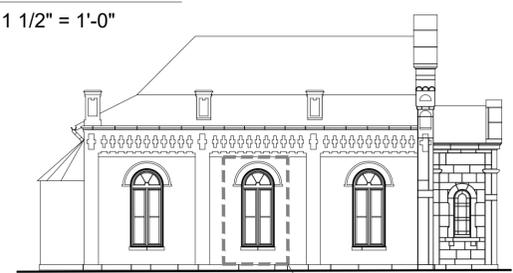
1 EXTERIOR ELEVATION - W102
A302 SCALE: 1 1/2" = 1'-0"

4 PLAN SECTION
A302 SCALE: 1 1/2" = 1'-0"



2 INTERIOR ELEVATION - W102
A302 SCALE: 1 1/2" = 1'-0"

3 WALL SECTION
A302 SCALE: 1 1/2" = 1'-0"



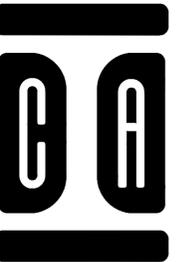
KEY ELEVATION - WEST
SCALE: NONE

ICA NO. COM 20-001

WINDOW ELEVATIONS

LANDMARKS REVIEW
05-08-2020

A302



InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
608-531-1533 (fax)
info@icsarc.com

City of Madison
City-County Bldg., Rm. 115
210 Martin Luther King, Jr. Blvd.
Madison, WI 53701

2020 HISTORIC RESTORATION OF
GATES OF HEAVEN
302 E GORHAM ST, MADISON WI, 53706

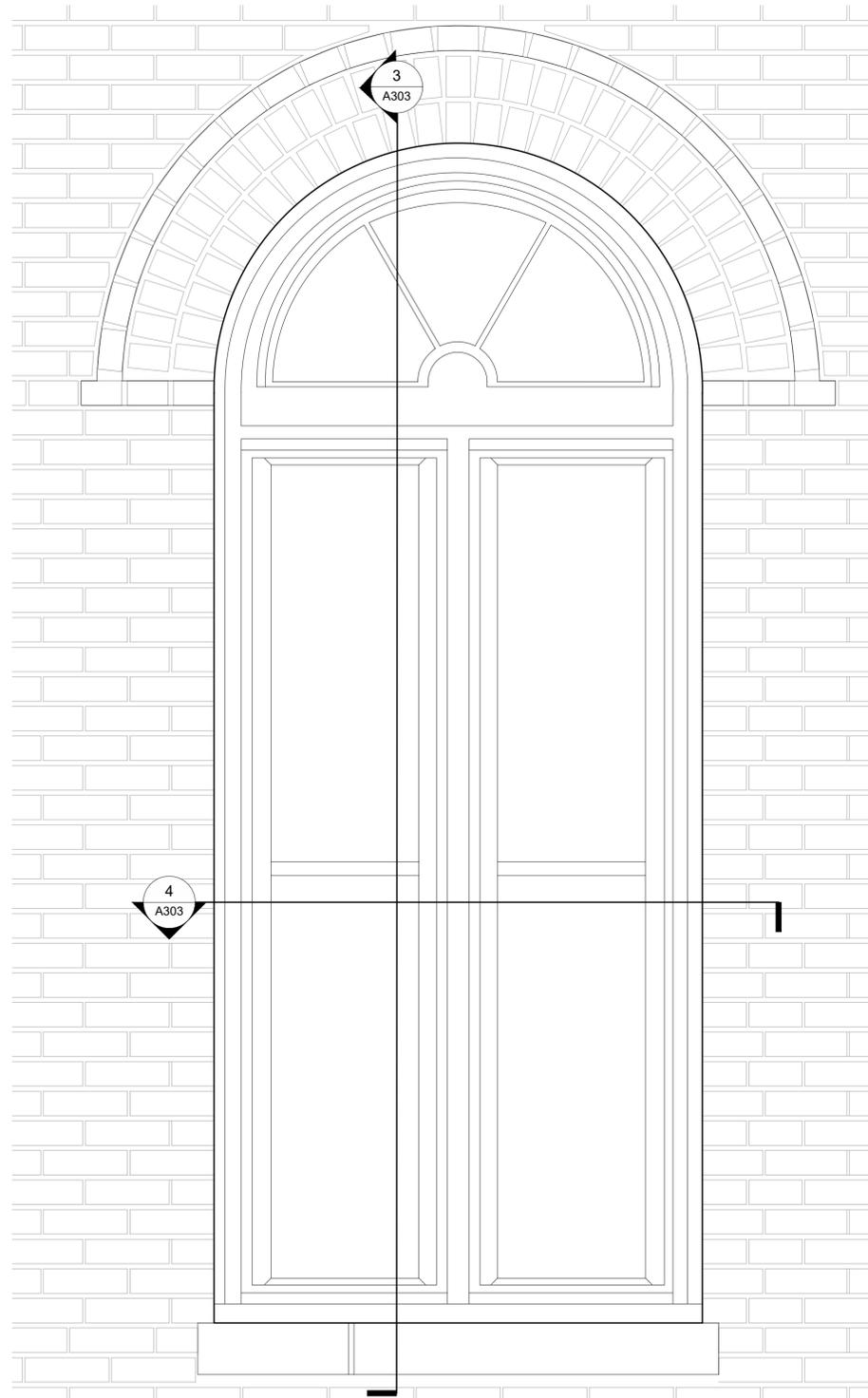
NOTE: ALL DIMENSIONS GIVEN
SHALL BE CONSIDERED TO BE
"V.I.F." OR VERIFY-IN-FIELD

ICA NO. COM 20-001

WINDOW ELEVATIONS

LANDMARKS REVIEW
05-08-2020

A303



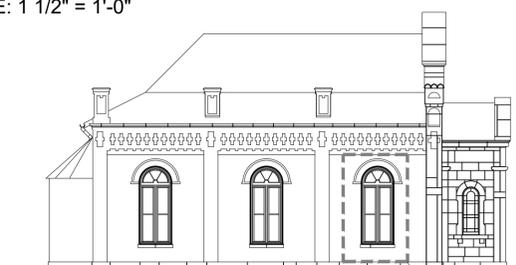
1 EXTERIOR ELEVATION - W103
A303 SCALE: 1 1/2" = 1'-0"

4 PLAN SECTION
A303 SCALE: 1 1/2" = 1'-0"



2 INTERIOR ELEVATION - W103
A303 SCALE: 1 1/2" = 1'-0"

3 WALL SECTION
A303 SCALE: 1 1/2" = 1'-0"



KEY ELEVATION - WEST
SCALE: NONE

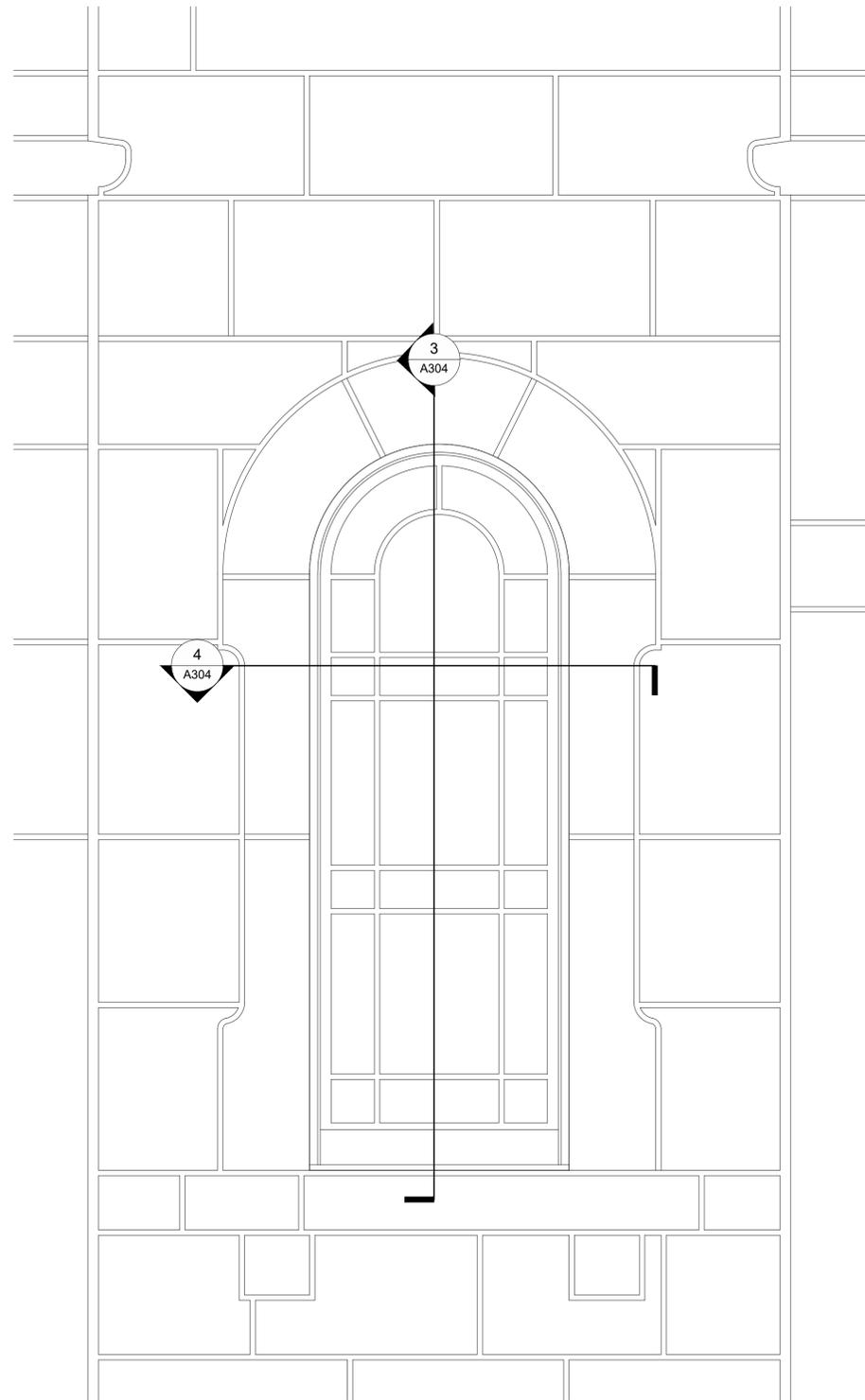
WINDOW RESTORATION NOTES:

WINDOWS 101-103/106-108

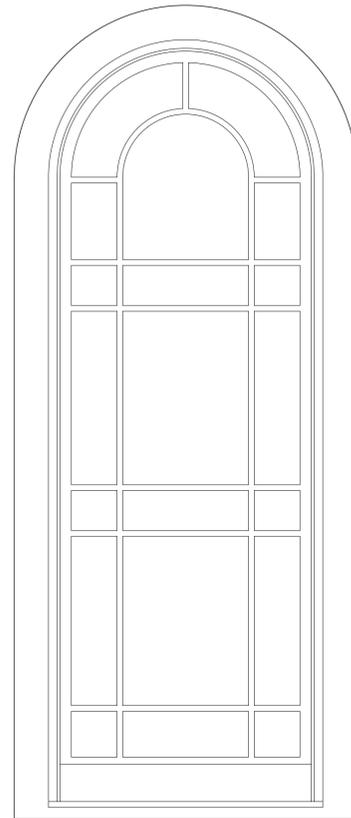
REMOVE AND DISPOSE OF EXISTING ALUMINUM
STORM/SCREEN COMBINATION

REMOVE EXISTING SASHES AND PERFORM THE
FOLLOWING REPAIR PROCEDURES:

- DOCUMENT ALL EXISTING HARDWARE
- DOCUMENT ALL EXISTING WEATHERSTRIPPING
- DOCUMENT EXISTING GLASS
- DOCUMENT CONDITION OF EXISTING WOOD SASH
- REMOVE AND DISPOSE OF EXISTING GLAZING – IF STOPS ARE PRESENT, PRESERVE THE STOPS FOR FUTURE USE IF POSSIBLE OTHERWISE REPLACE
- RETAIN EXISTING WEATHERSTRIPPING IF POSSIBLE, REPLACE WITH REPLICA WEATHERSTRIPPING AS NEEDED
- REMOVE, REPAIR AND RESTORE FINISH OF ALL EXISTING HARDWARE ANY RESERVE FOR REINSTALLATION AS REQUIRED DURING THE FULL RESTORATION PROCESS
- NUMBER AND RESERVE EXISTING GLASS PIECES FOR REINSTALLATION IN THEIR PROPER PLACE AT THE END OF THE PROCESS
- REMOVE ALL PAINT FROM THE EXISTING SASHES
- PERFORM SASH REPAIRS AS REQUIRED INCLUDING BUT NOT LIMITED TO WOOD CONSOLIDATION, DUTCHMAN INSTALLATION, FULL RAIL REPLACEMENT (USE QUARTERSAWN DOUGLAS FIR FOR ALL WOOD REPLACEMENT)
- RE-GLUE AND RE-FASTENED ALL SASH MEMBERS TO AN ORIGINAL CONDITION
- REINSTALL EXISTING GLASS INTO RESTORED FRAME/SASH
- INSTALL NEW GLAZING AND/OR WOOD STOPS
- PRIME AND PAINT SASH PRIOR TO RE-INSTALLATION
- REINSTALL EXISTING SASH WHEN EXISTING FRAME IS FULLY PREPARED TO RECEIVE IT
- FULLY SCRAPE, PRIME AND PAINT ALL EXISTING WINDOW FRAME COMPONENTS THAT ARE TO REMAIN IN-SITU
- PERFORM ALL WOOD REPAIR REQUIRED TO FULLY RESTORE THE EXISTING FRAMES, INCLUDING BUT NOT LIMITED TO WOOD CONSOLIDATION, LIMITED PATCHING, AND DUTCHMAN REPAIRS
- INSTALL NEW FRAMELESS VENTED FIXED EXTERIOR STORM WINDOW SUCH AS FLOVENT BY WILLET HAUSER OR APPROVED EQUAL

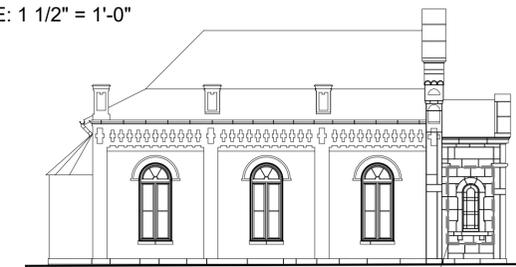


1
A304
EXTERIOR ELEVATION - W104
SCALE: 1 1/2" = 1'-0"



2
A304
INTERIOR ELEVATION - W104
SCALE: 1 1/2" = 1'-0"

3
A304
WALL SECTION
SCALE: 1 1/2" = 1'-0"



KEY ELEVATION - WEST
SCALE: NONE

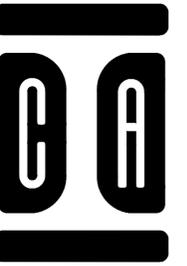
4
A304
PLAN SECTION
SCALE: 1 1/2" = 1'-0"

WINDOW RESTORATION NOTES:

WINDOWS 104-105

REMOVE EXISTING SASHES AND PERFORM THE FOLLOWING REPAIR PROCEDURES:

- DOCUMENT ALL EXISTING HARDWARE
- DOCUMENT EXISTING GLASS
- DOCUMENT CONDITION OF EXISTING WOOD SASH
- REMOVE AND DISPOSE OF EXISTING GLAZING – IF STOPS ARE PRESENT, PRESERVE THE STOPS FOR FUTURE USE IF POSSIBLE OTHERWISE REPLACE
- REMOVE, REPAIR AND RESTORE FINISH OF ALL EXISTING HARDWARE ANY RESERVE FOR REINSTALLATION AS REQUIRED DURING THE FULL RESTORATION PROCESS
- NUMBER AND RESERVE EXISTING GLASS PIECES FOR REINSTALLATION IN THEIR PROPER PLACE AT THE END OF THE PROCESS
- REMOVE ALL PAINT FROM THE EXISTING SASHES
- PERFORM SASH REPAIRS AS REQUIRED INCLUDING BUT NOT LIMITED TO WOOD CONSOLIDATION, DUTCHMAN INSTALLATION, FULL RAIL REPLACEMENT (USE QUARTERSAWN DOUGLAS FIR FOR ALL WOOD REPLACEMENT)
- RE-GLUE AND RE-FASTENED ALL SASH MEMBERS TO AN ORIGINAL CONDITION
- REINSTALL EXISTING GLASS INTO RESTORED FRAME/SASH
- INSTALL NEW GLAZING AND/OR WOOD STOPS
- PRIME AND PAINT SASH PRIOR TO RE-INSTALLATION
- REINSTALL EXISTING SASH WHEN EXISTING FRAME IS FULLY PREPARED TO RECEIVE IT
- FULLY SCRAPE, PRIME AND PAINT ALL EXISTING WINDOW FRAME COMPONENTS THAT ARE TO REMAIN IN-SITU
- PERFORM ALL WOOD REPAIR REQUIRED TO FULLY RESTORE THE EXISTING FRAMES, INCLUDING BUT NOT LIMITED TO WOOD CONSOLIDATION, LIMITED PATCHING, AND DUTCHMAN REPAIRS
- INSTALL NEW FRAMELESS VENTED FIXED EXTERIOR STORM WINDOW SUCH AS FLOVENT BY WILLET HAUSER OR APPROVED EQUAL



InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
608-531-1533 (fax)
info@icsarc.com

City of Madison
City-County Bldg., Rm. 115
210 Martin Luther King, Jr. Blvd.
Madison, WI 53701

2020 HISTORIC RESTORATION OF
GATES OF HEAVEN
302 E GORHAM ST, MADISON WI, 53706

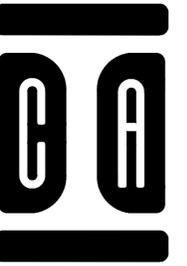
NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "V.I.F." OR VERIFY-IN-FIELD

ICA NO. COM 20-001

WINDOW ELEVATIONS

LANDMARKS REVIEW
05-08-2020

A304



InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
608-531-1533 (fax)
info@icsarc.com

City of Madison
City-County Bldg., Rm. 115
210 Martin Luther King, Jr. Blvd.
Madison, WI 53701

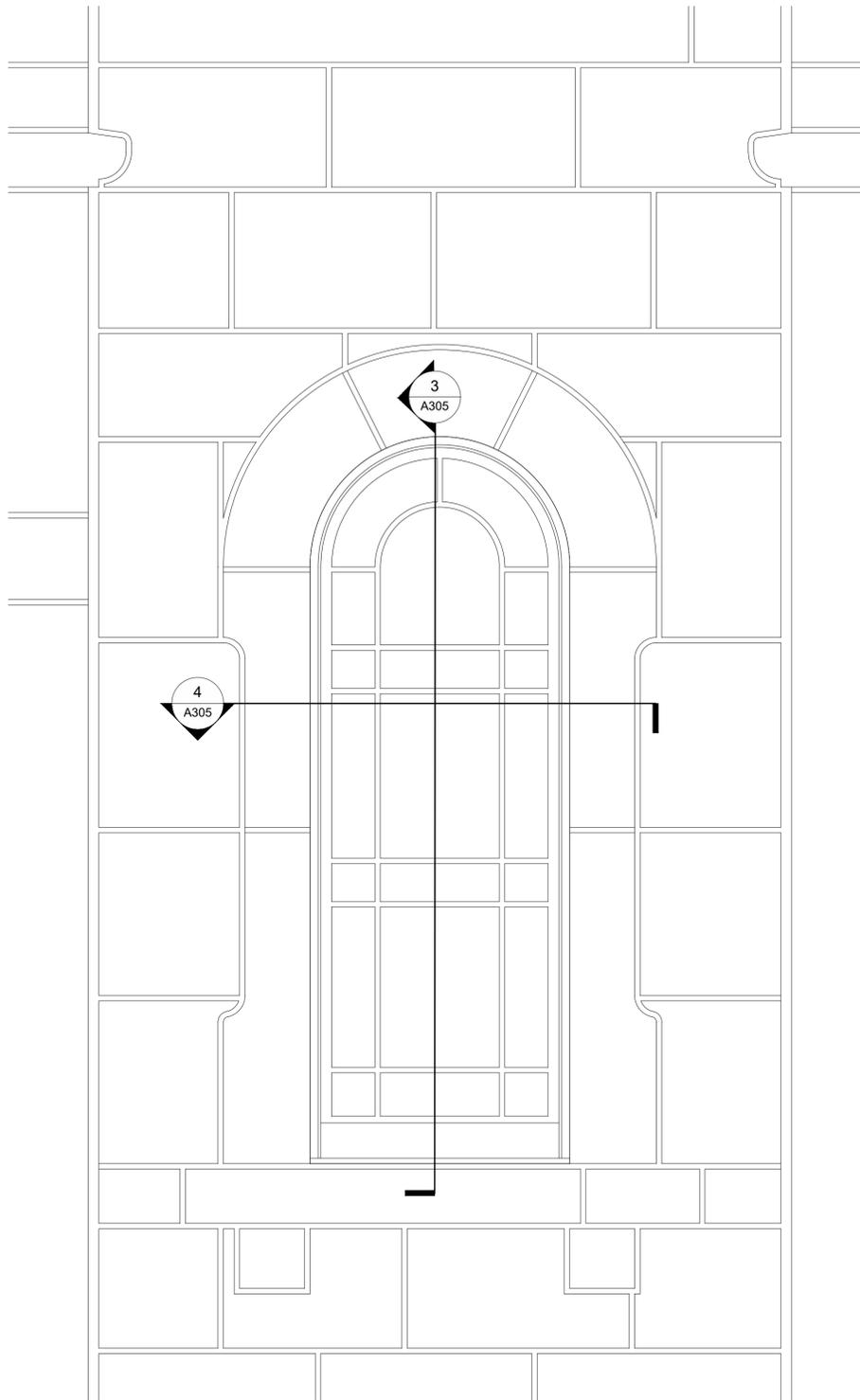
2020 HISTORIC RESTORATION OF
GATES OF HEAVEN
302 E GORHAM ST, MADISON WI, 53706

WINDOW RESTORATION NOTES:

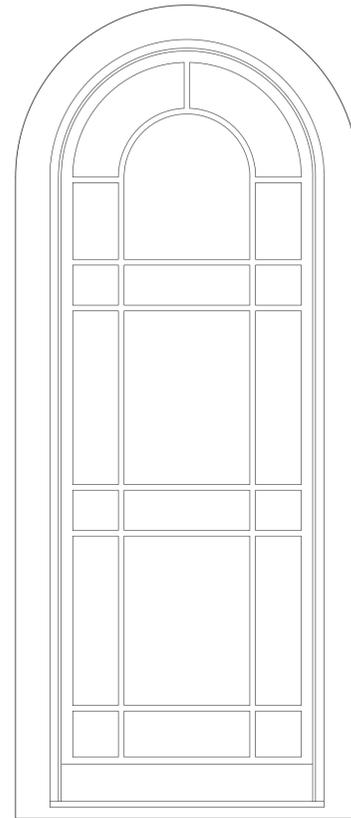
WINDOWS 104-105

REMOVE EXISTING SASHES AND PERFORM THE FOLLOWING REPAIR PROCEDURES:

- DOCUMENT ALL EXISTING HARDWARE
- DOCUMENT EXISTING GLASS
- DOCUMENT CONDITION OF EXISTING WOOD SASH
- REMOVE AND DISPOSE OF EXISTING GLAZING – IF STOPS ARE PRESENT, PRESERVE THE STOPS FOR FUTURE USE IF POSSIBLE OTHERWISE REPLACE
- REMOVE, REPAIR AND RESTORE FINISH OF ALL EXISTING HARDWARE ANY RESERVE FOR REINSTALLATION AS REQUIRED DURING THE FULL RESTORATION PROCESS
- NUMBER AND RESERVE EXISTING GLASS PIECES FOR REINSTALLATION IN THEIR PROPER PLACE AT THE END OF THE PROCESS
- REMOVE ALL PAINT FROM THE EXISTING SASHES
- PERFORM SASH REPAIRS AS REQUIRED INCLUDING BUT NOT LIMITED TO WOOD CONSOLIDATION, DUTCHMAN INSTALLATION, FULL RAIL REPLACEMENT (USE QUARTERSAWN DOUGLAS FIR FOR ALL WOOD REPLACEMENT)
- RE-GLUE AND RE-FASTENED ALL SASH MEMBERS TO AN ORIGINAL CONDITION
- REINSTALL EXISTING GLASS INTO RESTORED FRAME/SASH
- INSTALL NEW GLAZING AND/OR WOOD STOPS
- PRIME AND PAINT SASH PRIOR TO RE-INSTALLATION
- REINSTALL EXISTING SASH WHEN EXISTING FRAME IS FULLY PREPARED TO RECEIVE IT
- FULLY SCRAPE, PRIME AND PAINT ALL EXISTING WINDOW FRAME COMPONENTS THAT ARE TO REMAIN IN-SITU
- PERFORM ALL WOOD REPAIR REQUIRED TO FULLY RESTORE THE EXISTING FRAMES, INCLUDING BUT NOT LIMITED TO WOOD CONSOLIDATION, LIMITED PATCHING, AND DUTCHMAN REPAIRS
- INSTALL NEW FRAMELESS VENTED FIXED EXTERIOR STORM WINDOW SUCH AS FLOVENT BY WILLET HAUSER OR APPROVED EQUAL



1 EXTERIOR ELEVATION - W105
A305 SCALE: 1 1/2" = 1'-0"



2 INTERIOR ELEVATION - W105
A305 SCALE: 1 1/2" = 1'-0"



3 WALL SECTION
A305 SCALE: 1 1/2" = 1'-0"

4 PLAN SECTION
A305 SCALE: 1 1/2" = 1'-0"

NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "V.I.F." OR VERIFY-IN-FIELD



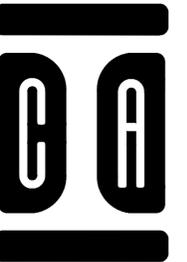
KEY ELEVATION - EAST
SCALE: NONE

ICA NO. COM 20-001

WINDOW ELEVATIONS

LANDMARKS REVIEW
05-08-2020

A305



InSite Consulting Architects
 115 E. Main / STE 200
 Madison, Wisconsin 53703
 608-204-0825
 608-531-1533 (fax)
 info@icsarc.com

City of Madison
 City-County Bldg., Rm. 115
 210 Martin Luther King, Jr. Blvd.
 Madison, WI 53701

**2020 HISTORIC RESTORATION OF
 GATES OF HEAVEN
 302 E GORHAM ST, MADISON WI, 53706**

WINDOW RESTORATION NOTES:

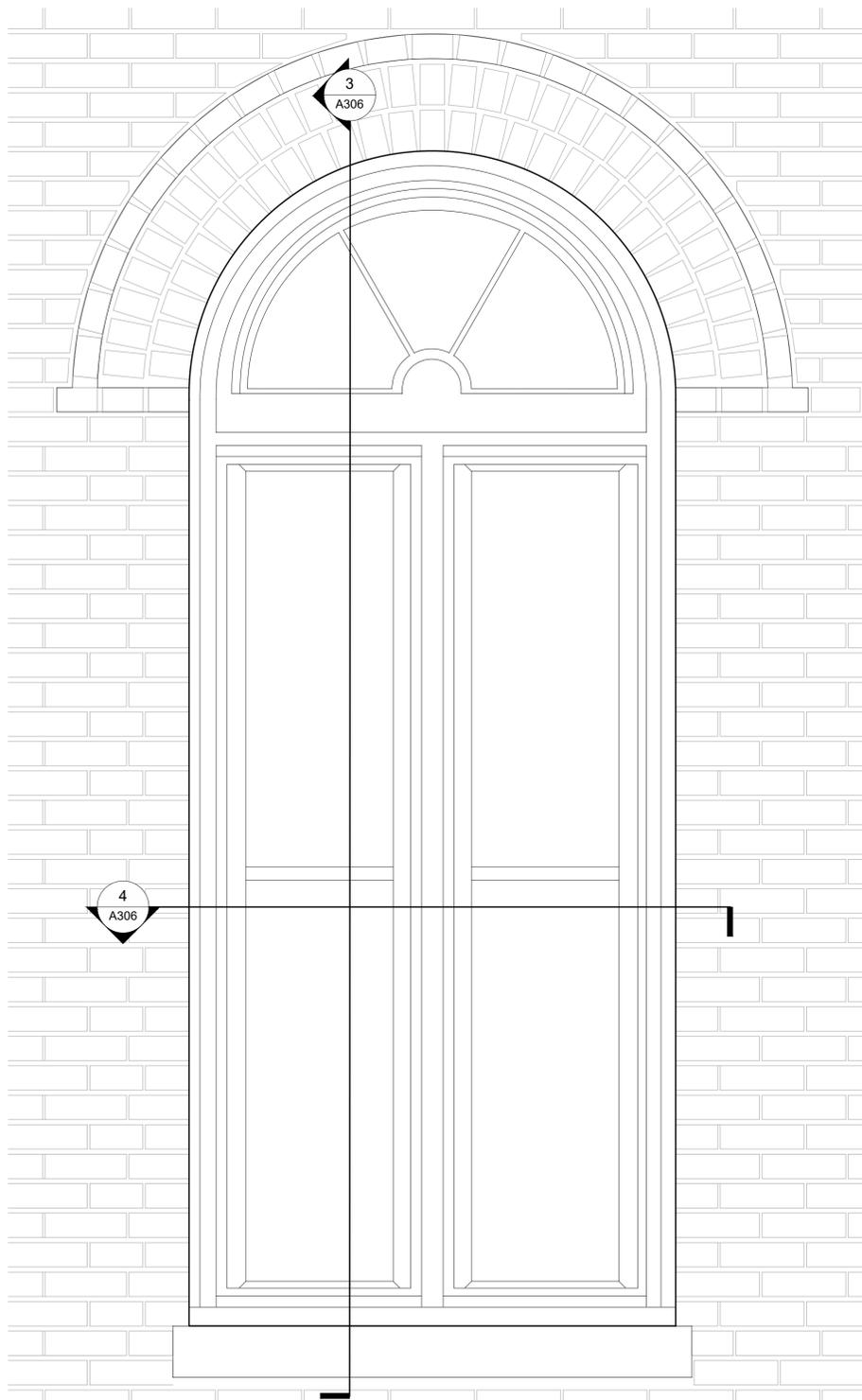
WINDOWS 101-103/106-108

REMOVE AND DISPOSE OF EXISTING ALUMINUM
 STORM/SCREEN COMBINATION

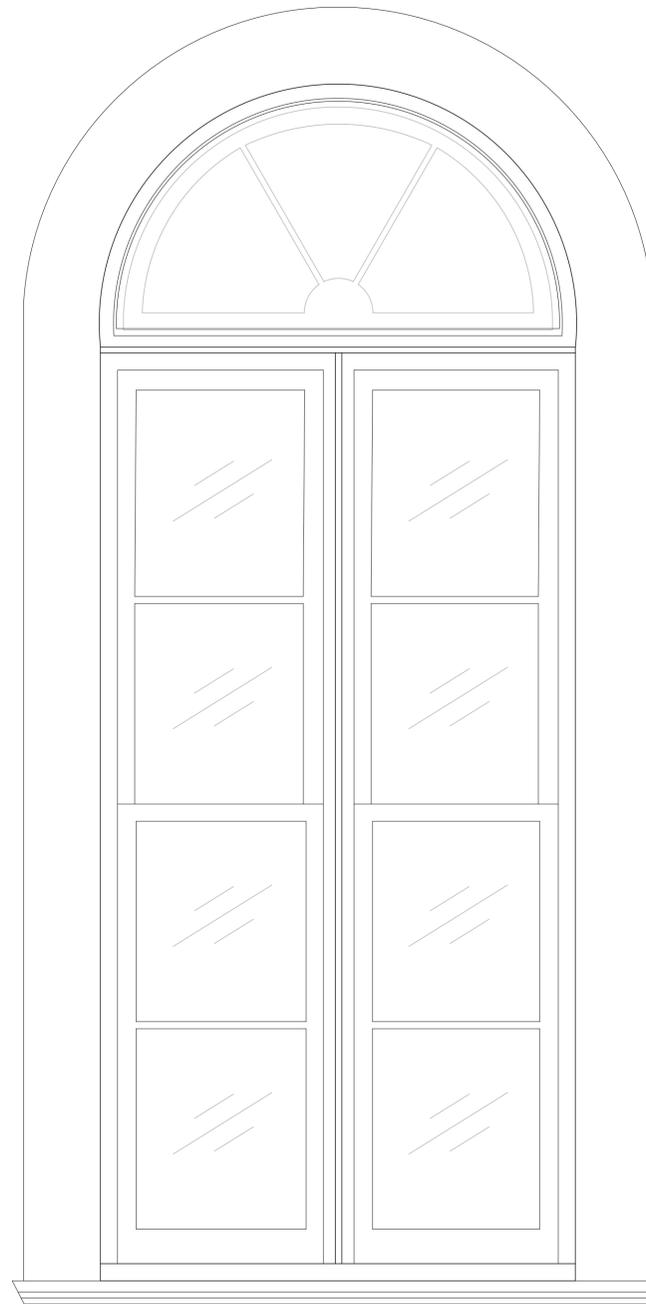
REMOVE EXISTING SASHES AND PERFORM THE
 FOLLOWING REPAIR PROCEDURES:

- DOCUMENT ALL EXISTING HARDWARE
- DOCUMENT ALL EXISTING WEATHERSTRIPPING
- DOCUMENT EXISTING GLASS
- DOCUMENT CONDITION OF EXISTING WOOD SASH
- REMOVE AND DISPOSE OF EXISTING GLAZING – IF STOPS ARE PRESENT, PRESERVE THE STOPS FOR FUTURE USE IF POSSIBLE OTHERWISE REPLACE
- RETAIN EXISTING WEATHERSTRIPPING IF POSSIBLE, REPLACE WITH REPLICA WEATHERSTRIPPING AS NEEDED
- REMOVE, REPAIR AND RESTORE FINISH OF ALL EXISTING HARDWARE ANY RESERVE FOR REINSTALLATION AS REQUIRED DURING THE FULL RESTORATION PROCESS
- NUMBER AND RESERVE EXISTING GLASS PIECES FOR REINSTALLATION IN THEIR PROPER PLACE AT THE END OF THE PROCESS
- REMOVE ALL PAINT FROM THE EXISTING SASHES INCLUDING BUT NOT LIMITED TO WOOD CONSOLIDATION, DUTCHMAN INSTALLATION, FULL RAIL REPLACEMENT (USE QUARTERSAWN DOUGLAS FIR FOR ALL WOOD REPLACEMENT)
- RE-GLUE AND RE-FASTENED ALL SASH MEMBERS TO AN ORIGINAL CONDITION
- REINSTALL EXISTING GLASS INTO RESTORED FRAME/SASH
- INSTALL NEW GLAZING AND/OR WOOD STOPS
- PRIME AND PAINT SASH PRIOR TO RE-INSTALLATION
- REINSTALL EXISTING SASH WHEN EXISTING FRAME IS FULLY PREPARED TO RECEIVE IT
- FULLY SCRAPE, PRIME AND PAINT ALL EXISTING WINDOW FRAME COMPONENTS THAT ARE TO REMAIN IN-SITU
- PERFORM ALL WOOD REPAIR REQUIRED TO FULLY RESTORE THE EXISTING FRAMES, INCLUDING BUT NOT LIMITED TO WOOD CONSOLIDATION, LIMITED PATCHING, AND DUTCHMAN REPAIRS
- INSTALL NEW FRAMELESS VENTED FIXED EXTERIOR STORM WINDOW SUCH AS FLOVENT BY WILLET HAUSER OR APPROVED EQUAL

NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "V.I.F." OR VERIFY-IN-FIELD



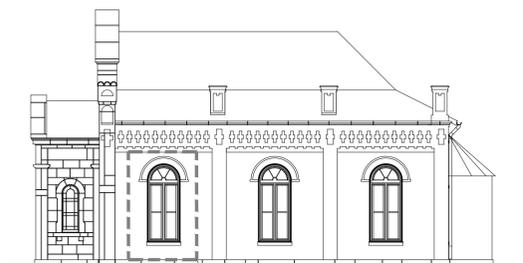
1 EXTERIOR ELEVATION - W106
 A306 SCALE: 1 1/2" = 1'-0"



2 INTERIOR ELEVATION - W106
 A306 SCALE: 1 1/2" = 1'-0"

3 WALL SECTION
 A306 SCALE: 1 1/2" = 1'-0"

4 PLAN SECTION
 A306 SCALE: 1 1/2" = 1'-0"



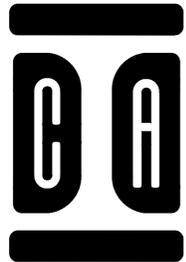
KEY ELEVATION - EAST
 A306 SCALE: NONE

ICA NO. COM 20-001

WINDOW ELEVATIONS

LANDMARKS REVIEW
 05-08-2020

A306



InSite Consulting Architects
 115 E. Main / STE 200
 Madison, Wisconsin 53703
 608-204-0825
 608-531-1533 (fax)
 info@icsarc.com

City of Madison
 City-County Bldg., Rm. 115
 210 Martin Luther King, Jr. Blvd.
 Madison, WI 53701

**2020 HISTORIC RESTORATION OF
 GATES OF HEAVEN
 302 E GORHAM ST, MADISON WI, 53706**

WINDOW RESTORATION NOTES:

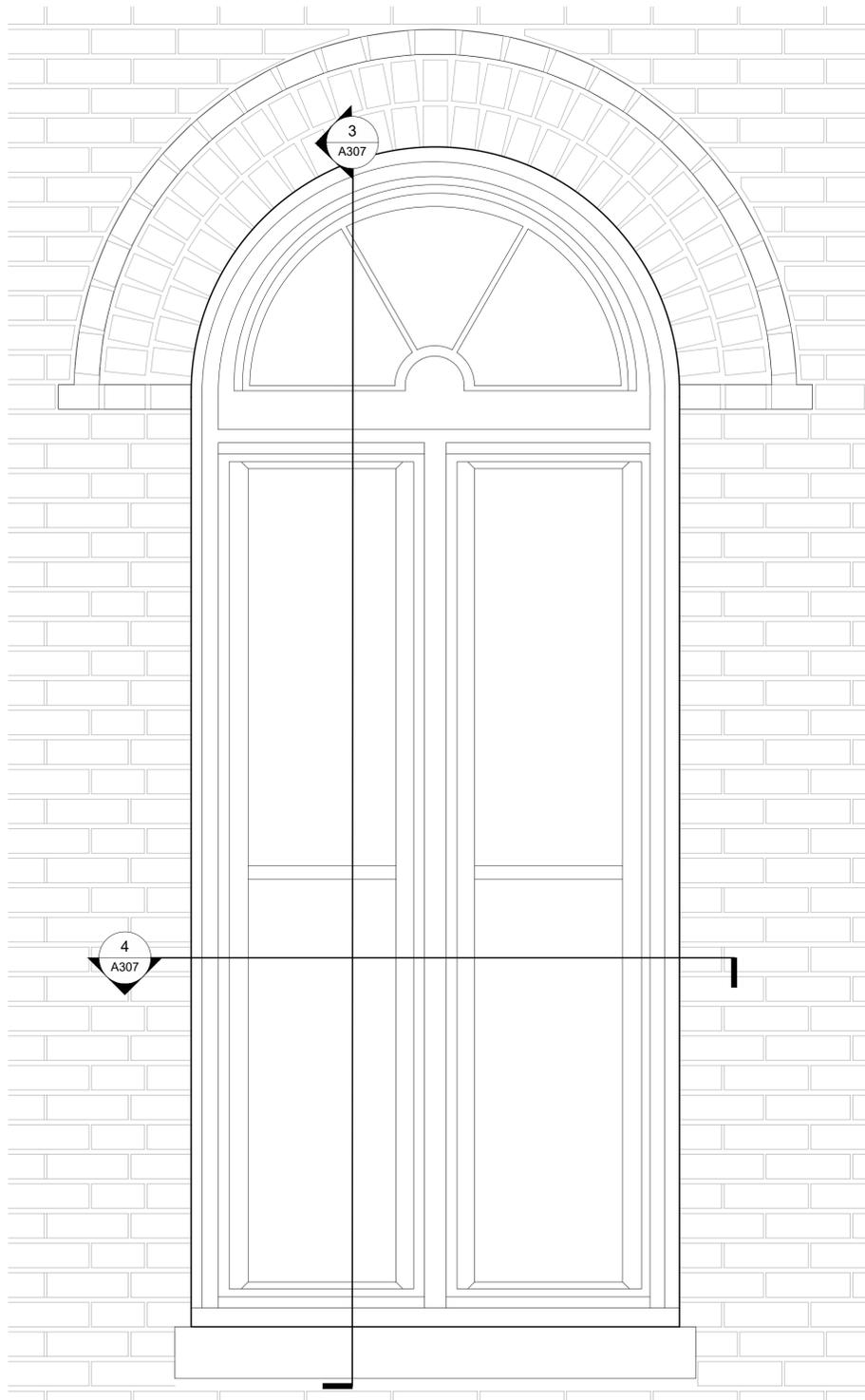
WINDOWS 101-103/106-108

REMOVE AND DISPOSE OF EXISTING ALUMINUM STORM/SCREEN COMBINATION

REMOVE EXISTING SASHES AND PERFORM THE FOLLOWING REPAIR PROCEDURES:

- DOCUMENT ALL EXISTING HARDWARE
- DOCUMENT ALL EXISTING WEATHERSTRIPPING
- DOCUMENT EXISTING GLASS
- DOCUMENT CONDITION OF EXISTING WOOD SASH
- REMOVE AND DISPOSE OF EXISTING GLAZING – IF STOPS ARE PRESENT, PRESERVE THE STOPS FOR FUTURE USE IF POSSIBLE OTHERWISE REPLACE
- RETAIN EXISTING WEATHERSTRIPPING IF POSSIBLE, REPLACE WITH REPLICA WEATHERSTRIPPING AS NEEDED
- REMOVE, REPAIR AND RESTORE FINISH OF ALL EXISTING HARDWARE ANY RESERVE FOR REINSTALLATION AS REQUIRED DURING THE FULL RESTORATION PROCESS
- NUMBER AND RESERVE EXISTING GLASS PIECES FOR REINSTALLATION IN THEIR PROPER PLACE AT THE END OF THE PROCESS
- REMOVE ALL PAINT FROM THE EXISTING SASHES
- PERFORM SASH REPAIRS AS REQUIRED INCLUDING BUT NOT LIMITED TO WOOD CONSOLIDATION, DUTCHMAN INSTALLATION, FULL RAIL REPLACEMENT (USE QUARTERSAWN DOUGLAS FIR FOR ALL WOOD REPLACEMENT)
- RE-GLUE AND RE-FASTENED ALL SASH MEMBERS TO AN ORIGINAL CONDITION
- REINSTALL EXISTING GLASS INTO RESTORED FRAME/SASH
- INSTALL NEW GLAZING AND/OR WOOD STOPS
- PRIME AND PAINT SASH PRIOR TO RE-INSTALLATION
- REINSTALL EXISTING SASH WHEN EXISTING FRAME IS FULLY PREPARED TO RECEIVE IT
- FULLY SCRAPE, PRIME AND PAINT ALL EXISTING WINDOW FRAME COMPONENTS THAT ARE TO REMAIN IN-SITU
- PERFORM ALL WOOD REPAIR REQUIRED TO FULLY RESTORE THE EXISTING FRAMES, INCLUDING BUT NOT LIMITED TO WOOD CONSOLIDATION, LIMITED PATCHING, AND DUTCHMAN REPAIRS
- INSTALL NEW FRAMELESS VENTED FIXED EXTERIOR STORM WINDOW SUCH AS FLOVENT BY WILLET HAUSER OR APPROVED EQUAL

NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "V.I.F." OR VERIFY-IN-FIELD



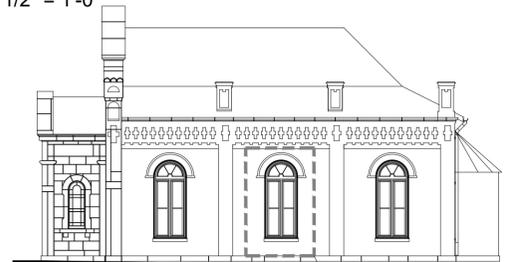
1 EXTERIOR ELEVATION - W107
 A307 SCALE: 1 1/2" = 1'-0"



2 INTERIOR ELEVATION - W107
 A307 SCALE: 1 1/2" = 1'-0"

3 WALL SECTION
 A307 SCALE: 1 1/2" = 1'-0"

4 PLAN SECTION
 A307 SCALE: 1 1/2" = 1'-0"



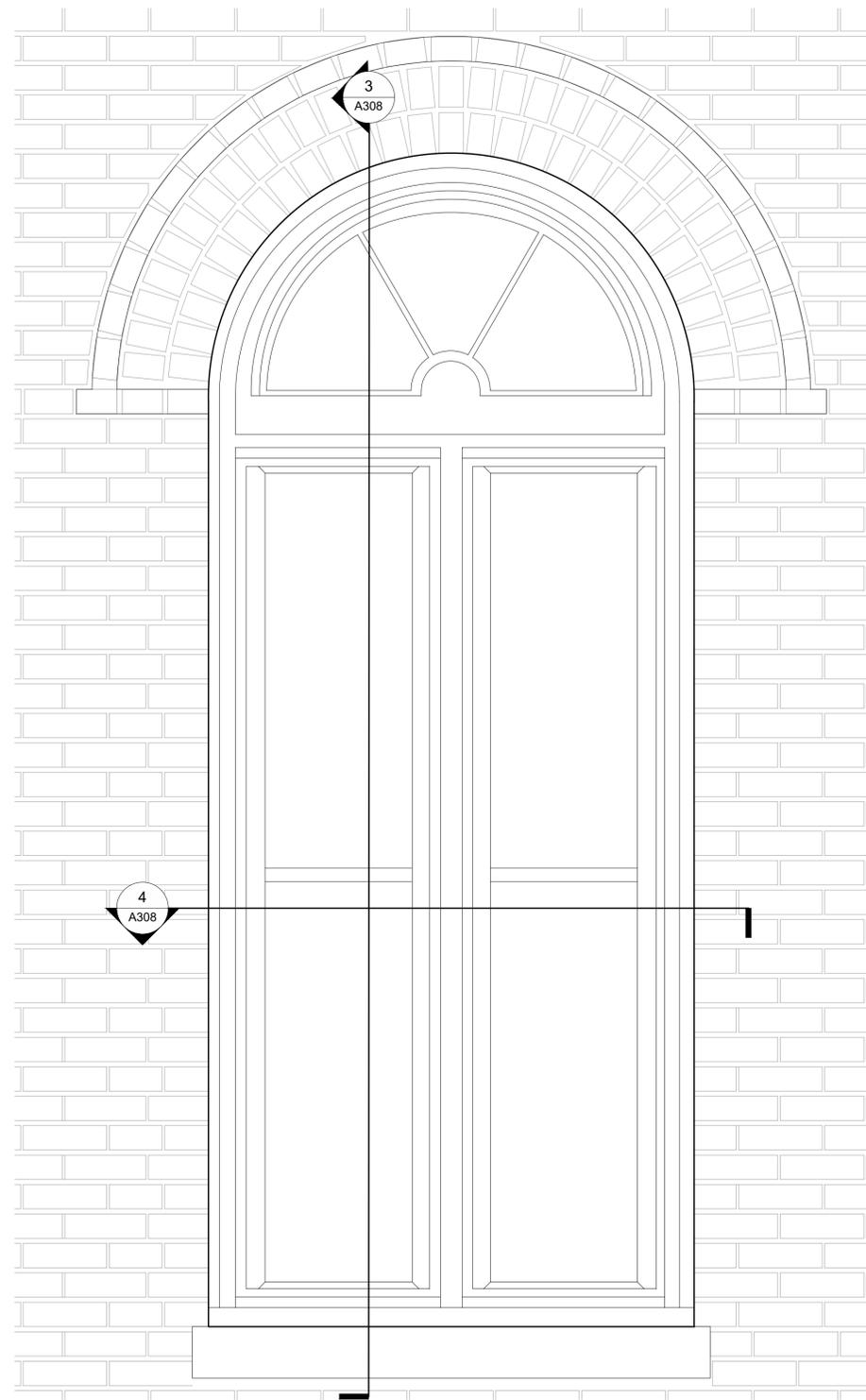
KEY ELEVATION - EAST
 A307 SCALE: NONE

ICA NO. COM 20-001

WINDOW ELEVATIONS

LANDMARKS REVIEW
 05-08-2020

A307



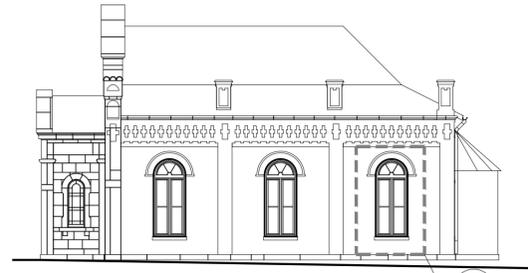
1
A308
EXTERIOR ELEVATION - W108
SCALE: 1 1/2" = 1'-0"



2
A308
INTERIOR ELEVATION - W108
SCALE: 1 1/2" = 1'-0"

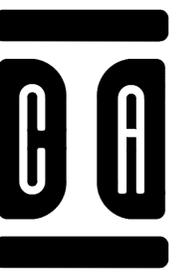
3
A308
WALL SECTION
SCALE: 1 1/2" = 1'-0"

4
A308
PLAN SECTION
SCALE: 1 1/2" = 1'-0"



KEY ELEVATION - EAST
SCALE: NONE

- WINDOW RESTORATION NOTES:**
- WINDOWS 101-103/106-108
- REMOVE AND DISPOSE OF EXISTING ALUMINUM STORM/SCREEN COMBINATION
- REMOVE EXISTING SASHES AND PERFORM THE FOLLOWING REPAIR PROCEDURES:
- DOCUMENT ALL EXISTING HARDWARE
 - DOCUMENT ALL EXISTING WEATHERSTRIPPING
 - DOCUMENT EXISTING GLASS
 - DOCUMENT CONDITION OF EXISTING WOOD SASH
 - REMOVE AND DISPOSE OF EXISTING GLAZING - IF STOPS ARE PRESENT, PRESERVE THE STOPS FOR FUTURE USE IF POSSIBLE OTHERWISE REPLACE
 - RETAIN EXISTING WEATHERSTRIPPING IF POSSIBLE, REPLACE WITH REPLICA WEATHERSTRIPPING AS NEEDED
 - REMOVE, REPAIR AND RESTORE FINISH OF ALL EXISTING HARDWARE ANY RESERVE FOR REINSTALLATION AS REQUIRED DURING THE FULL RESTORATION PROCESS
 - NUMBER AND RESERVE EXISTING GLASS PIECES FOR REINSTALLATION IN THEIR PROPER PLACE AT THE END OF THE PROCESS
 - REMOVE ALL PAINT FROM THE EXISTING SASHES
 - PERFORM SASH REPAIRS AS REQUIRED INCLUDING BUT NOT LIMITED TO WOOD CONSOLIDATION, DUTCHMAN INSTALLATION, FULL RAIL REPLACEMENT (USE QUARTERSAWN DOUGLAS FIR FOR ALL WOOD REPLACEMENT)
 - RE-GLUE AND RE-FASTENED ALL SASH MEMBERS TO AN ORIGINAL CONDITION
 - REINSTALL EXISTING GLASS INTO RESTORED FRAME/SASH
 - INSTALL NEW GLAZING AND/OR WOOD STOPS
 - PRIME AND PAINT SASH PRIOR TO RE-INSTALLATION
 - REINSTALL EXISTING SASH WHEN EXISTING FRAME IS FULLY PREPARED TO RECEIVE IT
 - FULLY SCRAPE, PRIME AND PAINT ALL EXISTING WINDOW FRAME COMPONENTS THAT ARE TO REMAIN IN-SITU
 - PERFORM ALL WOOD REPAIR REQUIRED TO FULLY RESTORE THE EXISTING FRAMES, INCLUDING BUT NOT LIMITED TO WOOD CONSOLIDATION, LIMITED PATCHING, AND DUTCHMAN REPAIRS
 - INSTALL NEW FRAMELESS VENTED FIXED EXTERIOR STORM WINDOW SUCH AS FLOVENT BY WILLET HAUSER OR APPROVED EQUAL



InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
608-531-1533 (fax)
info@icsarc.com

City of Madison
City-County Bldg., Rm. 115
210 Martin Luther King, Jr. Blvd.
Madison, WI 53701

**2020 HISTORIC RESTORATION OF
GATES OF HEAVEN
302 E GORHAM ST, MADISON WI, 53706**

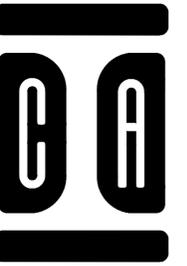
NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "V.I.F." OR VERIFY-IN-FIELD

ICA NO. COM 20-001

WINDOW ELEVATIONS

LANDMARKS REVIEW
05-08-2020

A308



InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
608-531-1533 (fax)
info@icsarc.com

City of Madison
City-County Bldg., Rm. 115
210 Martin Luther King, Jr. Blvd.
Madison, WI 53701

2020 HISTORIC RESTORATION OF
GATES OF HEAVEN
302 E GORHAM ST, MADISON WI, 53706

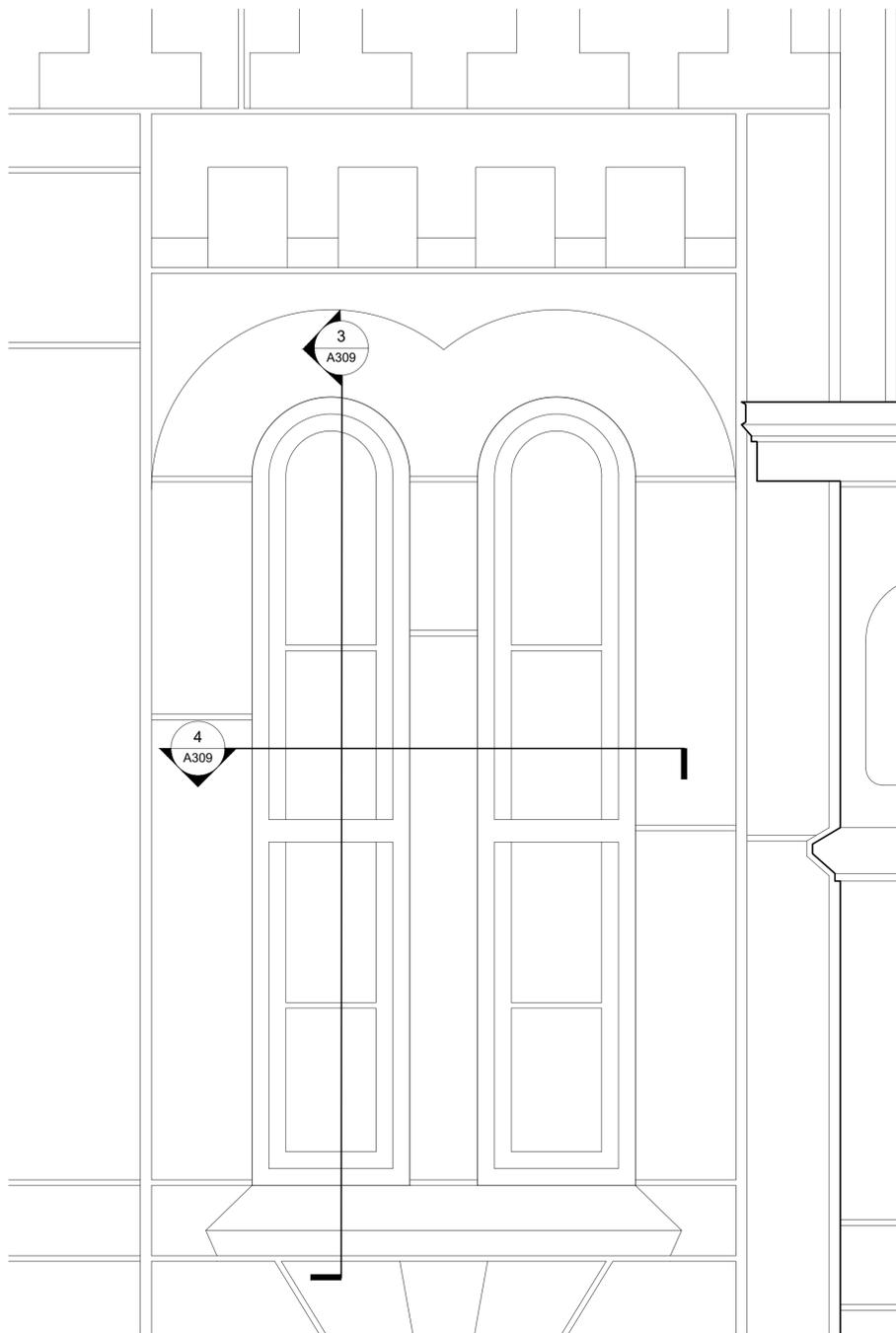
WINDOW RESTORATION NOTES:

WINDOWS 201, 203

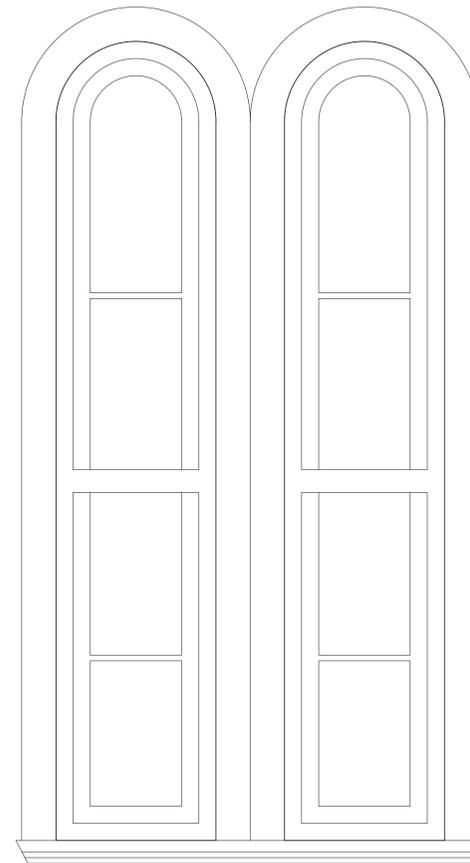
REMOVE AND DISPOSE OF EXISTING INTERIOR ALUMINUM STORM/SCREEN COMBINATION

REMOVE EXISTING SASHES AND PERFORM THE FOLLOWING REPAIR PROCEDURES:

- DOCUMENT ALL EXISTING HARDWARE
- DOCUMENT EXISTING GLASS
- DOCUMENT CONDITION OF EXISTING WOOD SASH
- REMOVE AND DISPOSE OF EXISTING GLAZING - IF STOPS ARE PRESENT. PRESERVE THE STOPS FOR FUTURE USE IF POSSIBLE OTHERWISE REPLACE
- REMOVE, REPAIR AND RESTORE FINISH OF ALL EXISTING HARDWARE ANY RESERVE FOR REINSTALLATION AS REQUIRED DURING THE FULL RESTORATION PROCESS
- NUMBER AND RESERVE EXISTING GLASS PIECES FOR REINSTALLATION IN THEIR PROPER PLACE AT THE END OF THE PROCESS
- REMOVE ALL PAINT FROM THE EXISTING SASHES
- PERFORM SASH REPAIRS AS REQUIRED INCLUDING BUT NOT LIMITED TO WOOD CONSOLIDATION, DUTCHMAN INSTALLATION, FULL RAIL REPLACEMENT (USE QUARTERSAWN DOUGLAS FIR FOR ALL WOOD REPLACEMENT)
- RE-GLUE AND RE-FASTENED ALL SASH MEMBERS TO AN ORIGINAL CONDITION
- REINSTALL EXISTING GLASS INTO RESTORED FRAME/SASH
- INSTALL NEW GLAZING AND/OR WOOD STOPS
- PRIME AND PAINT SASH PRIOR TO RE-INSTALLATION
- REINSTALL EXISTING SASH WHEN EXISTING FRAME IS FULLY PREPARED TO RECEIVE IT
- FULLY SCRAPE, PRIME AND PAINT ALL EXISTING WINDOW FRAME COMPONENTS THAT ARE TO REMAIN IN-SITU
- PERFORM ALL WOOD REPAIR REQUIRED TO FULLY RESTORE THE EXISTING FRAMES; INCLUDING BUT NOT LIMITED TO WOOD CONSOLIDATION, LIMITED PATCHING, AND DUTCHMAN REPAIRS
- INSTALL NEW FRAMELESS VENTED FIXED EXTERIOR STORM WINDOW SUCH AS FLOVENT BY WILLET HAUSER OR APPROVED EQUAL



1 EXTERIOR ELEVATION - W201
A309 SCALE: 1 1/2" = 1'-0"



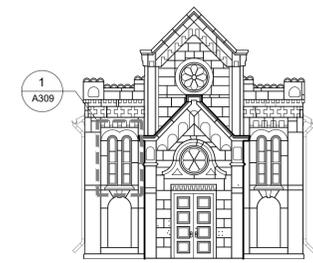
2 INTERIOR ELEVATION - W201
A309 SCALE: 1 1/2" = 1'-0"



3 WALL SECTION
A309 SCALE: 1 1/2" = 1'-0"

4 PLAN SECTION
A309 SCALE: 1 1/2" = 1'-0"

NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "V.I.F." OR VERIFY-IN-FIELD



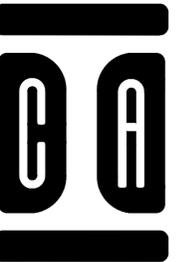
KEY ELEVATION - SOUTH
SCALE: NONE

ICA NO. COM 20-001

WINDOW ELEVATIONS

LANDMARKS REVIEW
05-08-2020

A309



InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
608-531-1533 (fax)
info@icsarc.com

City of Madison
City-County Bldg., Rm. 115
210 Martin Luther King, Jr. Blvd.
Madison, WI 53701

2020 HISTORIC RESTORATION OF
GATES OF HEAVEN
302 E GORHAM ST, MADISON WI, 53706

WINDOW RESTORATION NOTES:

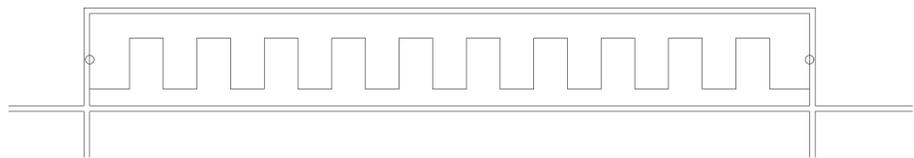
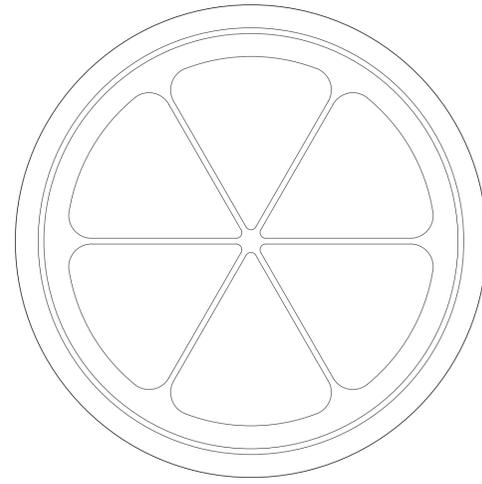
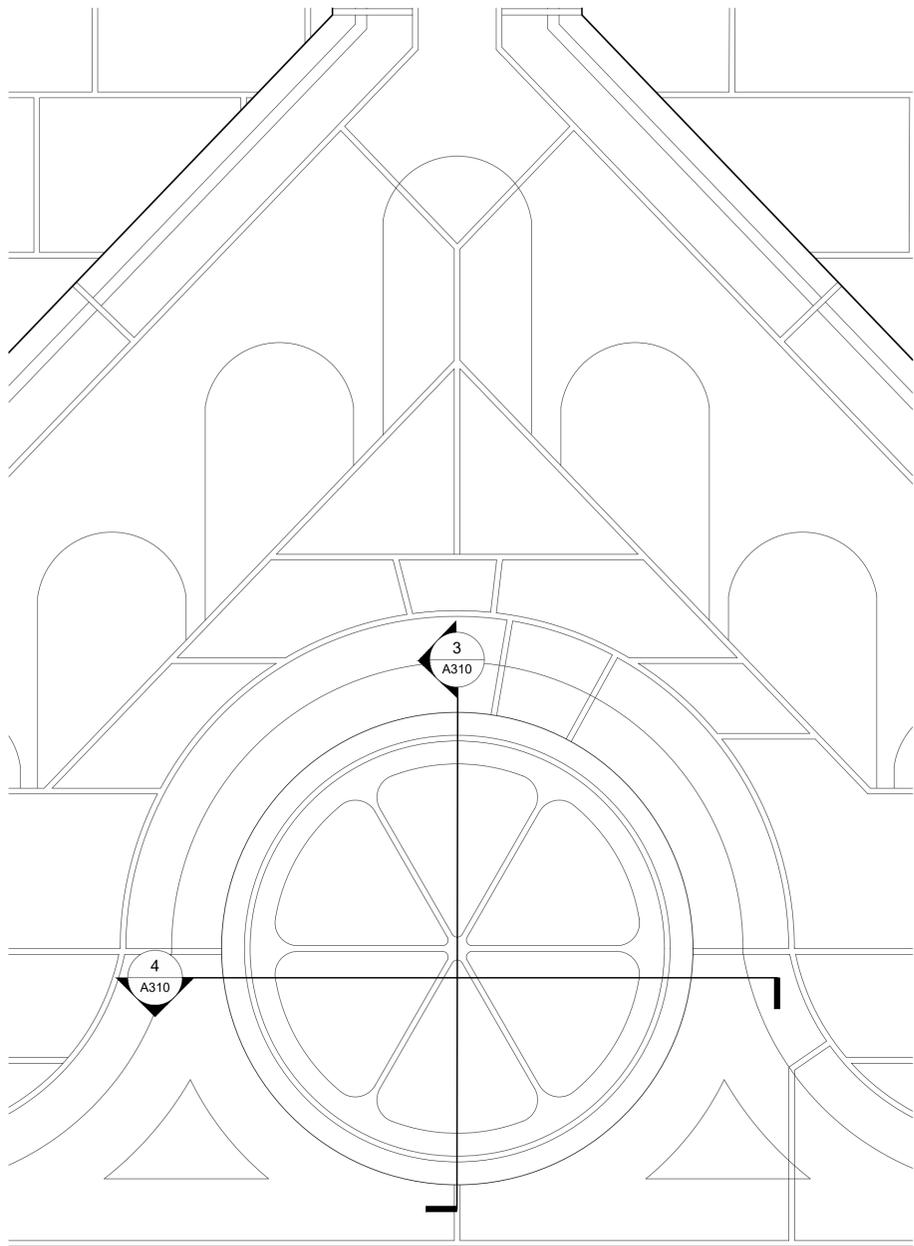
WINDOW 202

REMOVE AND DISPOSE OF EXISTING ALUMINUM STORM/SCREEN COMBINATION

REMOVE EXISTING SASHES AND PERFORM THE FOLLOWING REPAIR PROCEDURES:

- DOCUMENT ALL EXISTING HARDWARE
- DOCUMENT ALL EXISTING WEATHERSTRIPPING
- DOCUMENT EXISTING GLASS
- DOCUMENT CONDITION OF EXISTING WOOD SASH
- REMOVE AND DISPOSE OF EXISTING GLAZING – IF STOPS ARE PRESENT, PRESERVE THE STOPS FOR FUTURE USE IF POSSIBLE OTHERWISE REPLACE
- RETAIN EXISTING WEATHERSTRIPPING IF POSSIBLE, REPLACE WITH REPLICA WEATHERSTRIPPING AS NEEDED
- REMOVE, REPAIR AND RESTORE FINISH OF ALL EXISTING HARDWARE ANY RESERVE FOR REINSTALLATION AS REQUIRED DURING THE FULL RESTORATION PROCESS
- NUMBER AND RESERVE EXISTING GLASS PIECES FOR REINSTALLATION IN THEIR PROPER PLACE AT THE END OF THE PROCESS
- REMOVE ALL PAINT FROM THE EXISTING SASHES
- PERFORM SASH REPAIRS AS REQUIRED INCLUDING BUT NOT LIMITED TO WOOD CONSOLIDATION, DUTCHMAN INSTALLATION, FULL RAIL REPLACEMENT (USE QUARTERSAWN DOUGLAS FIR FOR ALL WOOD REPLACEMENT)
- RE-GLUE AND RE-FASTENED ALL SASH MEMBERS TO AN ORIGINAL CONDITION
- REINSTALL EXISTING GLASS INTO RESTORED FRAME/SASH
- INSTALL NEW GLAZING AND/OR WOOD STOPS
- PRIME AND PAINT SASH PRIOR TO RE-INSTALLATION
- REINSTALL EXISTING SASH WHEN EXISTING FRAME IS FULLY PREPARED TO RECEIVE IT
- FULLY SCRAPE, PRIME AND PAINT ALL EXISTING WINDOW FRAME COMPONENTS THAT ARE TO REMAIN IN-SITU
- PERFORM ALL WOOD REPAIR REQUIRED TO FULLY RESTORE THE EXISTING FRAMES, INCLUDING BUT NOT LIMITED TO WOOD CONSOLIDATION, LIMITED PATCHING, AND DUTCHMAN REPAIRS
- INSTALL NEW FRAMELESS VENTED FIXED EXTERIOR STORM WINDOW SUCH AS FLOVENT BY WILLET HAUSER OR APPROVED EQUAL

NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "I.F." OR VERIFY-IN-FIELD

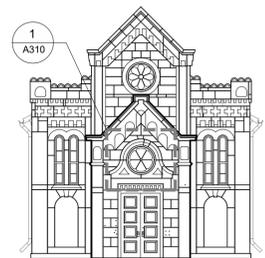


1 EXTERIOR ELEVATION - W202
A310 SCALE: 1 1/2" = 1'-0"

2 INTERIOR ELEVATION - W202
A310 SCALE: 1 1/2" = 1'-0"

3 WALL SECTION
A310 SCALE: 1 1/2" = 1'-0"

4 PLAN SECTION
A310 SCALE: 1 1/2" = 1'-0"



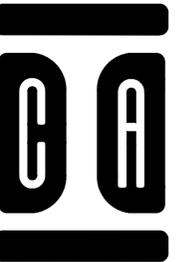
KEY ELEVATION - SOUTH
SCALE: NONE

ICA NO. COM 20-001

WINDOW ELEVATIONS

LANDMARKS REVIEW
05-08-2020

A310



InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
608-531-1533 (fax)
info@icsarc.com

City of Madison
City-County Bldg., Rm. 115
210 Martin Luther King, Jr. Blvd.
Madison, WI 53701

2020 HISTORIC RESTORATION OF
GATES OF HEAVEN
302 E GORHAM ST, MADISON WI, 53706

WINDOW RESTORATION NOTES:

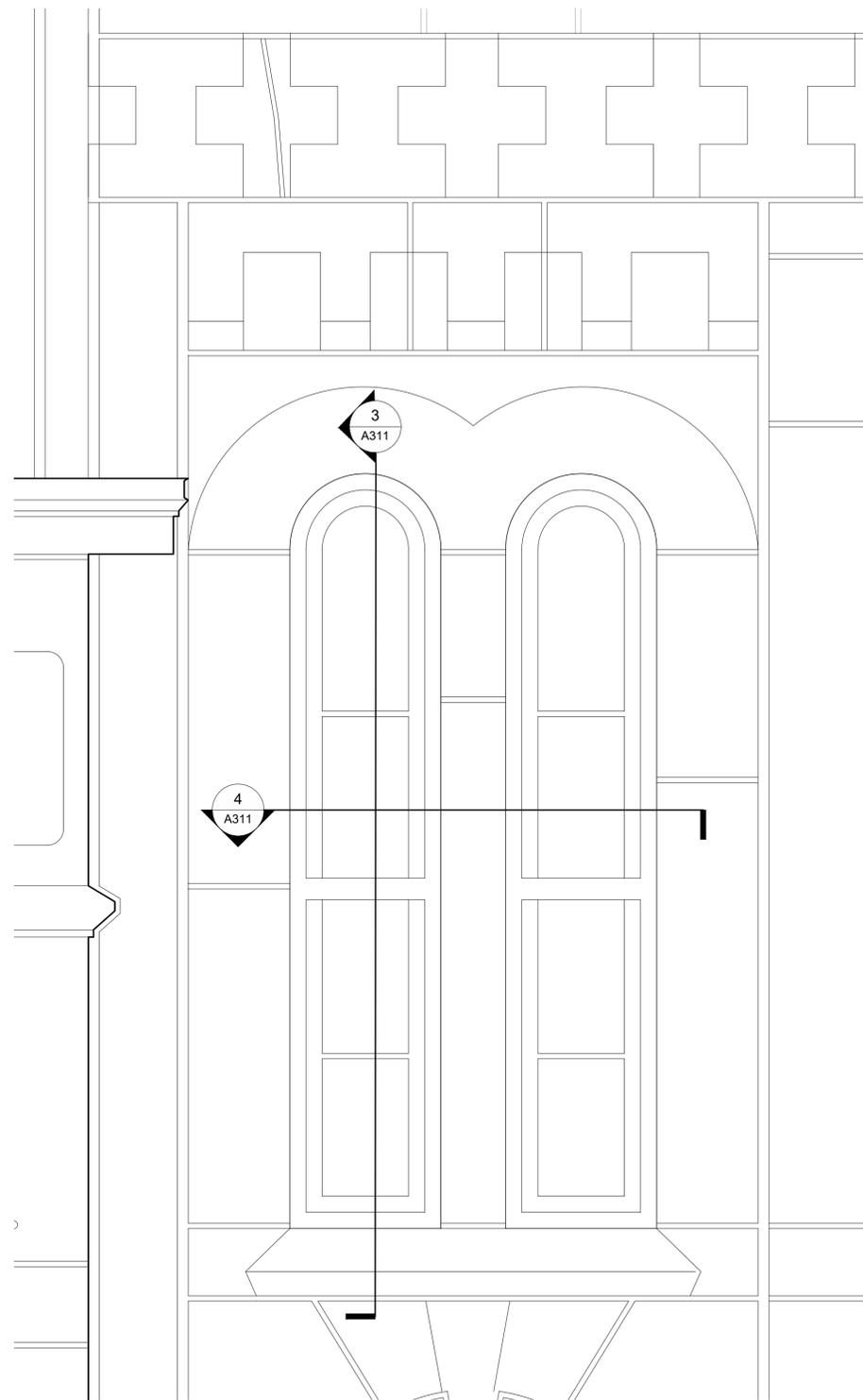
WINDOWS 201, 203

REMOVE AND DISPOSE OF EXISTING INTERIOR ALUMINUM STORM/SCREEN COMBINATION

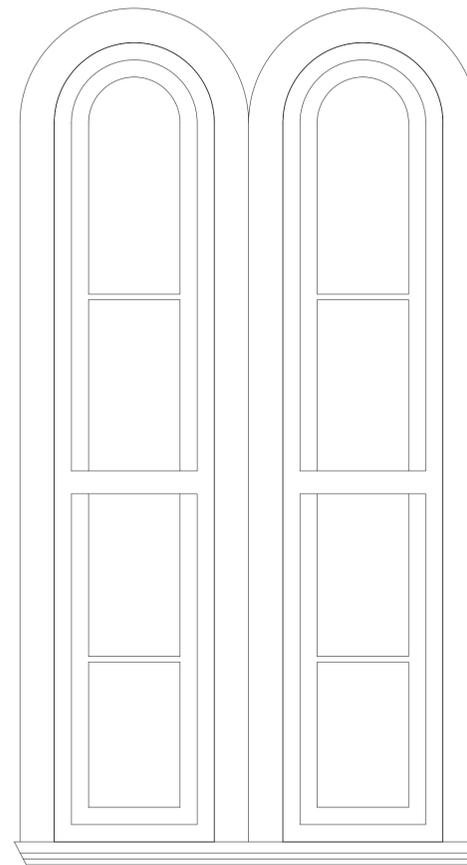
REMOVE EXISTING SASHES AND PERFORM THE FOLLOWING REPAIR PROCEDURES:

- DOCUMENT ALL EXISTING HARDWARE
- DOCUMENT EXISTING GLASS
- DOCUMENT CONDITION OF EXISTING WOOD SASH
- REMOVE AND DISPOSE OF EXISTING GLAZING - IF STOPS ARE PRESENT. PRESERVE THE STOPS FOR FUTURE USE IF POSSIBLE OTHERWISE REPLACE
- REMOVE, REPAIR AND RESTORE FINISH OF ALL EXISTING HARDWARE ANY RESERVE FOR REINSTALLATION AS REQUIRED DURING THE FULL RESTORATION PROCESS
- NUMBER AND RESERVE EXISTING GLASS PIECES FOR REINSTALLATION IN THEIR PROPER PLACE AT THE END OF THE PROCESS
- REMOVE ALL PAINT FROM THE EXISTING SASHES
- PERFORM SASH REPAIRS AS REQUIRED INCLUDING BUT NOT LIMITED TO WOOD CONSOLIDATION, DUTCHMAN INSTALLATION, FULL RAIL REPLACEMENT (USE QUARTERSAWN DOUGLAS FIR FOR ALL WOOD REPLACEMENT)
- RE-GLUE AND RE-FASTENED ALL SASH MEMBERS TO AN ORIGINAL CONDITION
- REINSTALL EXISTING GLASS INTO RESTORED FRAME/SASH
- INSTALL NEW GLAZING AND/OR WOOD STOPS
- PRIME AND PAINT SASH PRIOR TO RE-INSTALLATION
- REINSTALL EXISTING SASH WHEN EXISTING FRAME IS FULLY PREPARED TO RECEIVE IT
- FULLY SCRAPE, PRIME AND PAINT ALL EXISTING WINDOW FRAME COMPONENTS THAT ARE TO REMAIN IN-SITU
- PERFORM ALL WOOD REPAIR REQUIRED TO FULLY RESTORE THE EXISTING FRAMES; INCLUDING BUT NOT LIMITED TO WOOD CONSOLIDATION, LIMITED PATCHING, AND DUTCHMAN REPAIRS
- INSTALL NEW FRAMELESS VENTED FIXED EXTERIOR STORM WINDOW SUCH AS FLOVENT BY WILLET HAUSER OR APPROVED EQUAL

NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "V.I.F." OR VERIFY-IN-FIELD



1 EXTERIOR ELEVATION - W203
A311 SCALE: 1 1/2" = 1'-0"

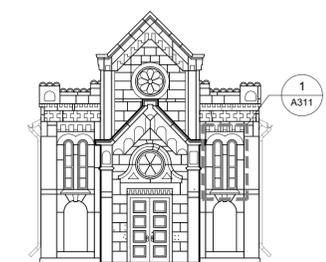


2 INTERIOR ELEVATION - W203
A311 SCALE: 1 1/2" = 1'-0"



3 WALL SECTION
A311 SCALE: 1 1/2" = 1'-0"

4 PLAN SECTION
A311 SCALE: 1 1/2" = 1'-0"



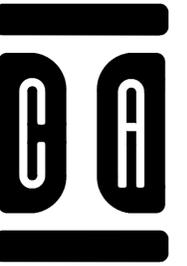
KEY ELEVATION - SOUTH
SCALE: NONE

ICA NO. COM 20-001

WINDOW ELEVATIONS

LANDMARKS REVIEW
05-08-2020

A311



InSite Consulting Architects
 115 E. Main / STE 200
 Madison, Wisconsin 53703
 608-204-0825
 608-531-1533 (fax)
 info@icsarc.com

City of Madison
 City-County Bldg., Rm. 115
 210 Martin Luther King, Jr. Blvd.
 Madison, WI 53701

2020 HISTORIC RESTORATION OF
 GATES OF HEAVEN
 302 E GORHAM ST, MADISON WI, 53706

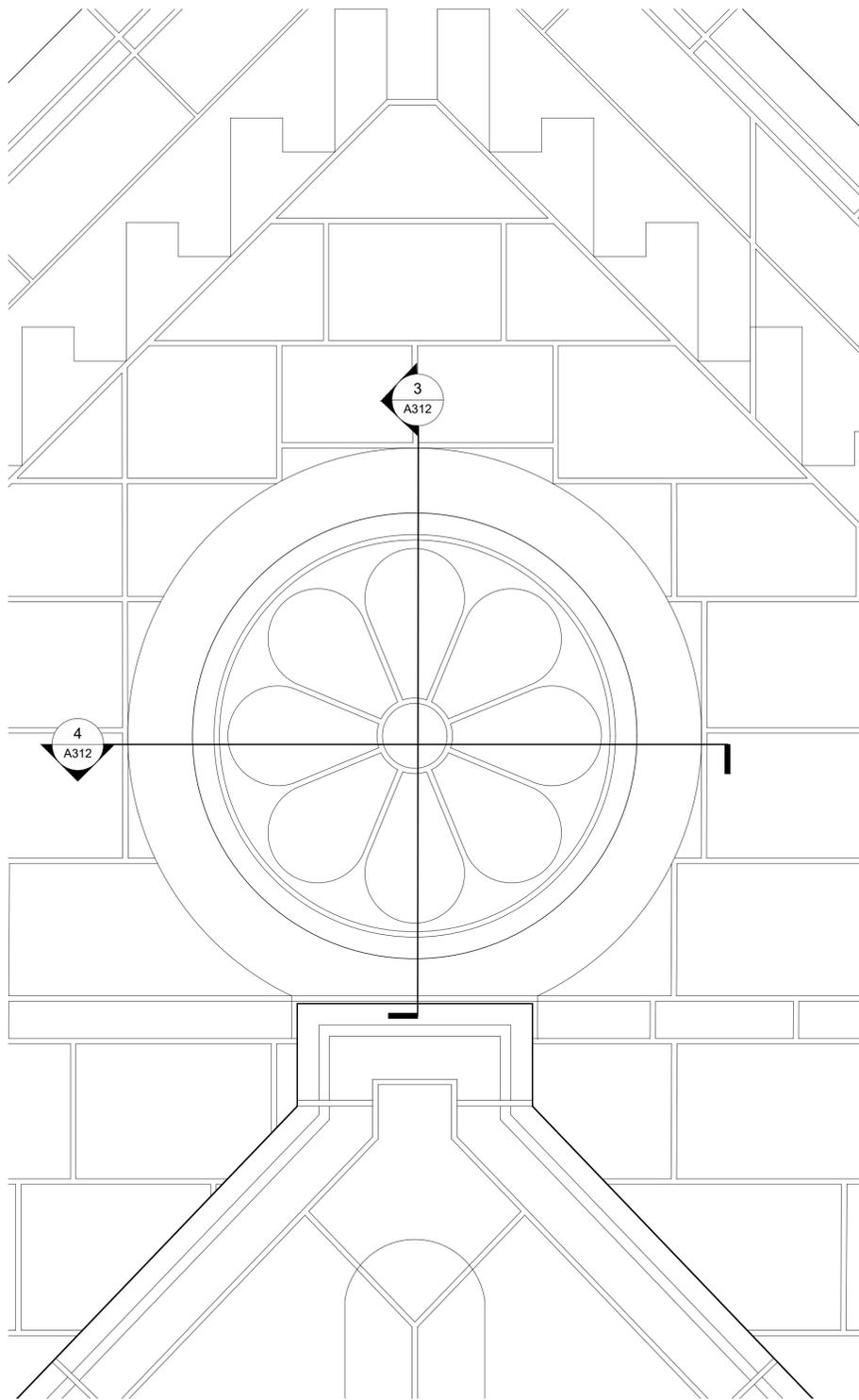
WINDOW RESTORATION NOTES:

WINDOW 301

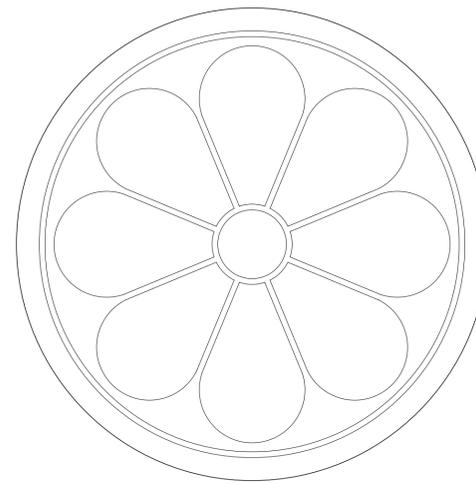
REMOVE EXISTING SASHES AND PERFORM THE FOLLOWING REPAIR PROCEDURES:

- DOCUMENT ALL EXISTING HARDWARE
- DOCUMENT ALL EXISTING WEATHERSTRIPPING
- DOCUMENT EXISTING GLASS
- DOCUMENT CONDITION OF EXISTING WOOD SASH
- REMOVE AND DISPOSE OF EXISTING GLAZING – IF STOPS ARE PRESENT, PRESERVE THE STOPS FOR FUTURE USE IF POSSIBLE OTHERWISE REPLACE
- RETAIN EXISTING WEATHERSTRIPPING IF POSSIBLE, REPLACE WITH REPLICA WEATHERSTRIPPING AS NEEDED
- REMOVE, REPAIR AND RESTORE FINISH OF ALL EXISTING HARDWARE ANY RESERVE FOR REINSTALLATION AS REQUIRED DURING THE FULL RESTORATION PROCESS
- NUMBER AND RESERVE EXISTING GLASS PIECES FOR REINSTALLATION IN THEIR PROPER PLACE AT THE END OF THE PROCESS
- REMOVE ALL PAINT FROM THE EXISTING SASHES
- PERFORM SASH REPAIRS AS REQUIRED INCLUDING BUT NOT LIMITED TO WOOD CONSOLIDATION, DUTCHMAN INSTALLATION, FULL RAIL REPLACEMENT (USE QUARTERSAWN DOUGLAS FIR FOR ALL WOOD REPLACEMENT)
- RE-GLUE AND RE-FASTENED ALL SASH MEMBERS TO AN ORIGINAL CONDITION
- REINSTALL EXISTING GLASS INTO RESTORED FRAME/SASH
- INSTALL NEW GLAZING AND/OR WOOD STOPS
- PRIME AND PAINT SASH PRIOR TO RE-INSTALLATION
- REINSTALL EXISTING SASH WHEN EXISTING FRAME IS FULLY PREPARED TO RECEIVE IT
- FULLY SCRAPE, PRIME AND PAINT ALL EXISTING WINDOW FRAME COMPONENTS THAT ARE TO REMAIN IN-SITU
- PERFORM ALL WOOD REPAIR REQUIRED TO FULLY RESTORE THE EXISTING FRAMES: INCLUDING BUT NOT LIMITED TO WOOD CONSOLIDATION, LIMITED PATCHING, AND DUTCHMAN REPAIRS
- INSTALL NEW FRAMELESS VENTED FIXED EXTERIOR STORM WINDOW SUCH AS FLOVENT BY WILLET HAUSER OR APPROVED EQUAL

NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "V.I.F." OR VERIFY-IN-FIELD



1 EXTERIOR ELEVATION - W301
 A312 SCALE: 1 1/2" = 1'-0"

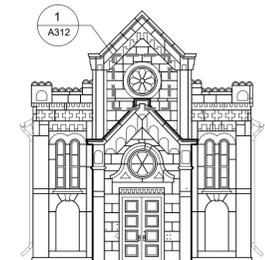


2 INTERIOR ELEVATION - W301
 A312 SCALE: 1 1/2" = 1'-0"



3 WALL SECTION
 A312 SCALE: 1 1/2" = 1'-0"

4 PLAN SECTION
 A312 SCALE: 1 1/2" = 1'-0"



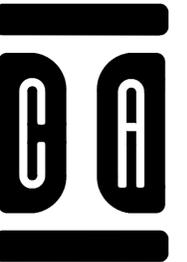
KEY ELEVATION - SOUTH
 SCALE: NONE

ICA NO. COM 20-001

WINDOW ELEVATIONS

LANDMARKS REVIEW
 05-08-2020

A312



InSite Consulting Architects
115 E. Main / STE 200
Madison, Wisconsin 53703
608-204-0825
608-531-1533 (fax)
info@icsarc.com

City of Madison
City-County Bldg., Rm. 115
210 Martin Luther King, Jr. Blvd.
Madison, WI 53701

**2020 HISTORIC RESTORATION OF
GATES OF HEAVEN
302 E GORHAM ST, MADISON WI, 53706**

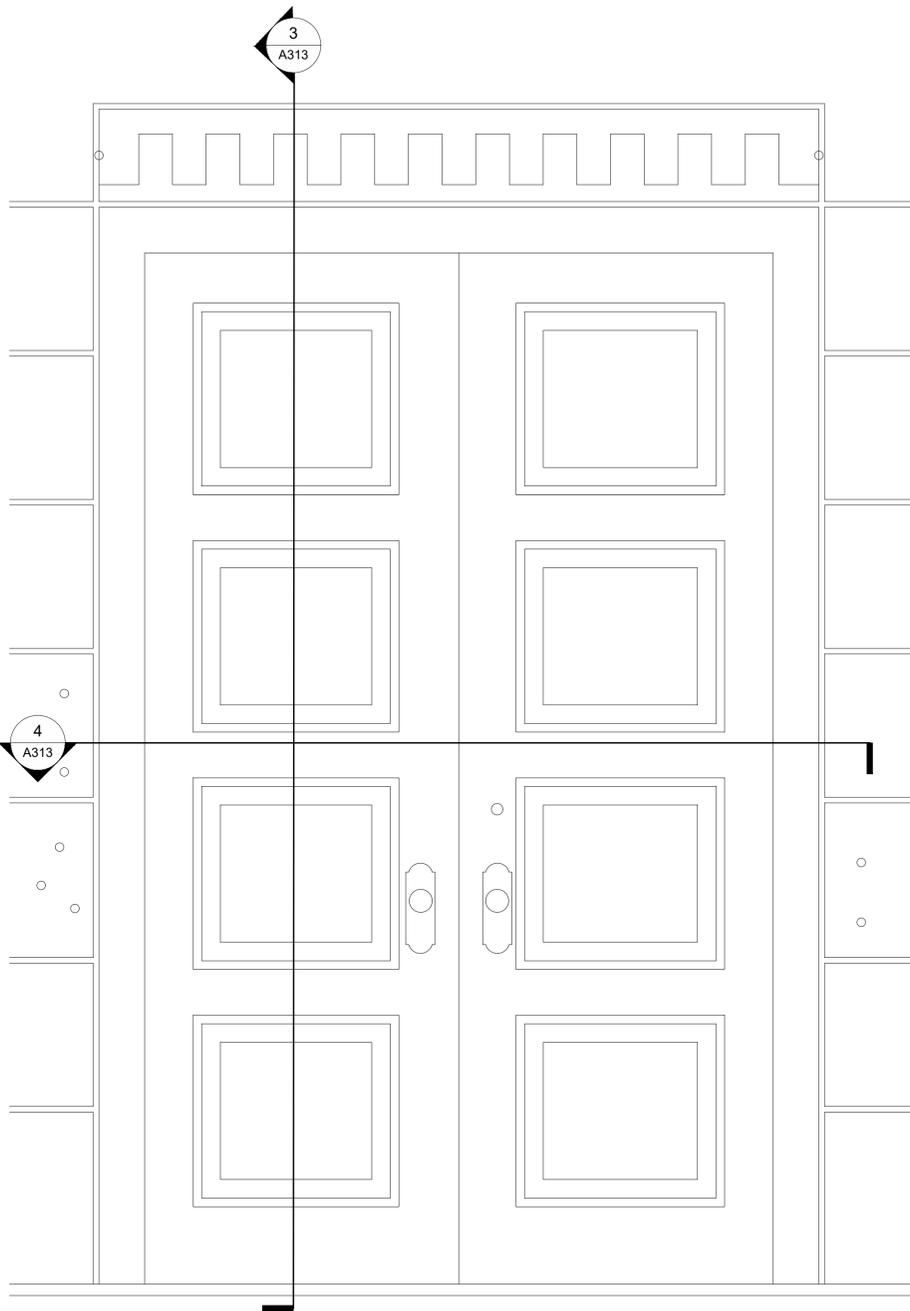
WINDOW RESTORATION NOTES:

WINDOWS 101-103/106-108

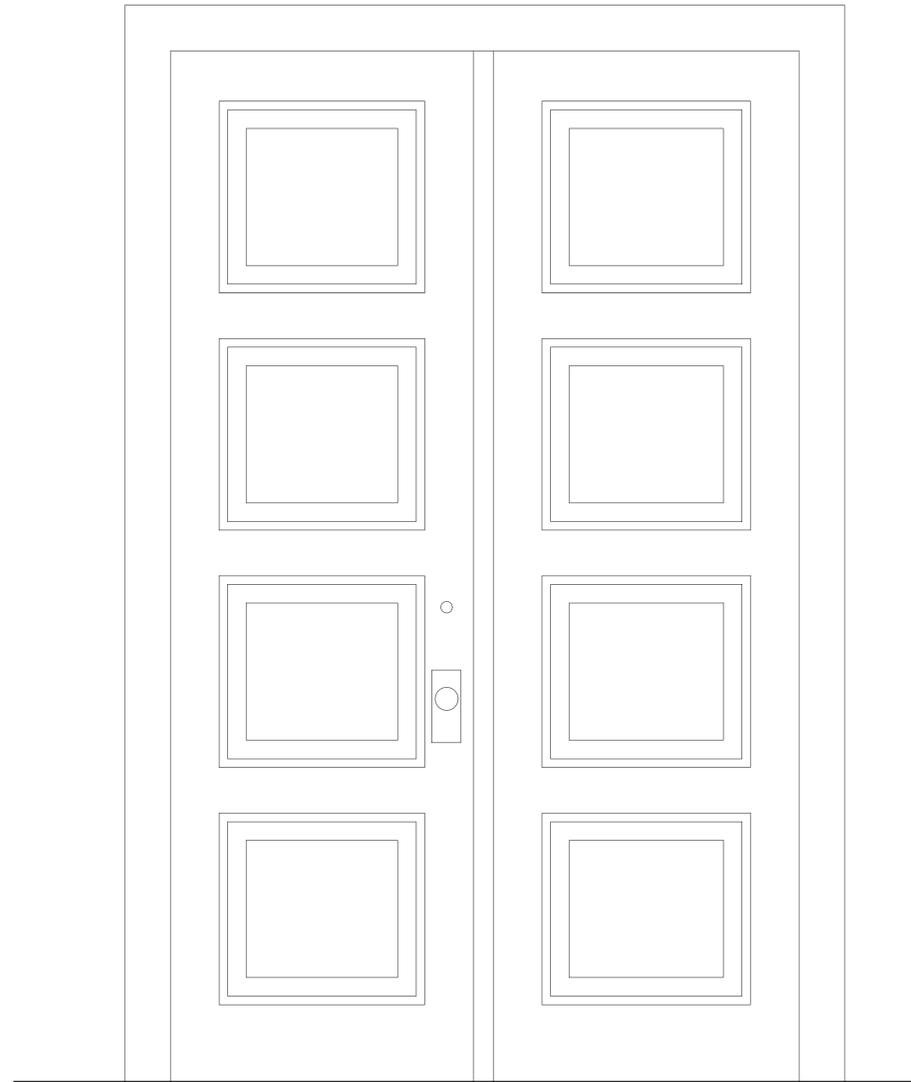
REMOVE AND DISPOSE OF EXISTING ALUMINUM STORM/SCREEN COMBINATION

REMOVE EXISTING SASHES AND PERFORM THE FOLLOWING REPAIR PROCEDURES:

- DOCUMENT ALL EXISTING HARDWARE
- DOCUMENT ALL EXISTING WEATHERSTRIPPING
- DOCUMENT EXISTING GLASS
- DOCUMENT CONDITION OF EXISTING WOOD SASHES
- REMOVE AND DISPOSE OF EXISTING GLAZING - STOPS ARE PRESENT. PRESERVE THE STOPS FOR FUTURE USE IF POSSIBLE OTHERWISE REPLACE
- RETAIN EXISTING WEATHERSTRIPPING IF POSSIBLE, REPLACE WITH REPLICA WEATHERSTRIPPING AS NEEDED
- REMOVE, REPAIR AND RESTORE FINISH OF ALL EXISTING HARDWARE ANY RESERVE FOR REINSTALLATION AS REQUIRED DURING THE FL RESTORATION PROCESS
- NUMBER AND RESERVE EXISTING GLASS PIECE FOR REINSTALLATION IN THEIR PROPER PLACE AT THE END OF THE PROCESS
- REMOVE ALL PAINT FROM THE EXISTING SASH
- PERFORM SASH REPAIRS AS REQUIRED INCLUDING BUT NOT LIMITED TO WOOD CONSOLIDATION, DUTCHMAN INSTALLATION, FL RAIL REPLACEMENT (USE QUARTERSAWN DOUGLAS FIR FOR ALL WOOD REPLACEMENT)
- RE-GLUE AND RE-FASTENED ALL SASH MEMBER TO AN ORIGINAL CONDITION
- REINSTALL EXISTING GLASS INTO RESTORED FRAME/SASH
- INSTALL NEW GLAZING AND/OR WOOD STOPS
- PRIME AND PAINT SASH PRIOR TO RE-INSTALLATION
- REINSTALL EXISTING SASH WHEN EXISTING FRAME IS FULLY PREPARED TO RECEIVE IT
- FULLY SCRAPE, PRIME AND PAINT ALL EXISTING WINDOW FRAME COMPONENTS THAT ARE TO REMAIN IN-SITU
- PERFORM ALL WOOD REPAIR REQUIRED TO FULLY RESTORE THE EXISTING FRAMES, INCLUDING BUT NOT LIMITED TO WOOD CONSOLIDATION, LIMITED PATCHING, AND DUTCHMAN REPAIRS
- INSTALL NEW FRAMELESS VENTED FIXED EXTERIOR STORM WINDOW SUCH AS FLOVENT WILLET HAUSER OR APPROVED EQUAL



1 EXTERIOR ELEVATION - D101
A313 SCALE: 1 1/2" = 1'-0"



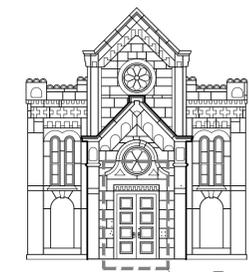
2 INTERIOR ELEVATION - A101
A313 SCALE: 1 1/2" = 1'-0"

3 WALL SECTION
A313 SCALE: 1 1/2" = 1'-0"



4 PLAN SECTION
A313 SCALE: 1 1/2" = 1'-0"

NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "V.I.F." OR VERIFY-IN-FIELD



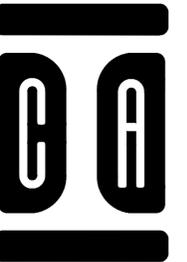
KEY ELEVATION - SOUTH
SCALE: NONE

ICA NO. COM 20-001

DOOR ELEVATIONS

LANDMARKS REVIEW
05-08-2020

A313



InSite Consulting Architects
 115 E. Main / STE 200
 Madison, Wisconsin 53703
 608-204-0825
 608-531-1533 (fax)
 info@icsarc.com

City of Madison
 City-County Bldg., Rm. 115
 210 Martin Luther King, Jr. Blvd.
 Madison, WI 53701

WINDOW RESTORATION NOTES:

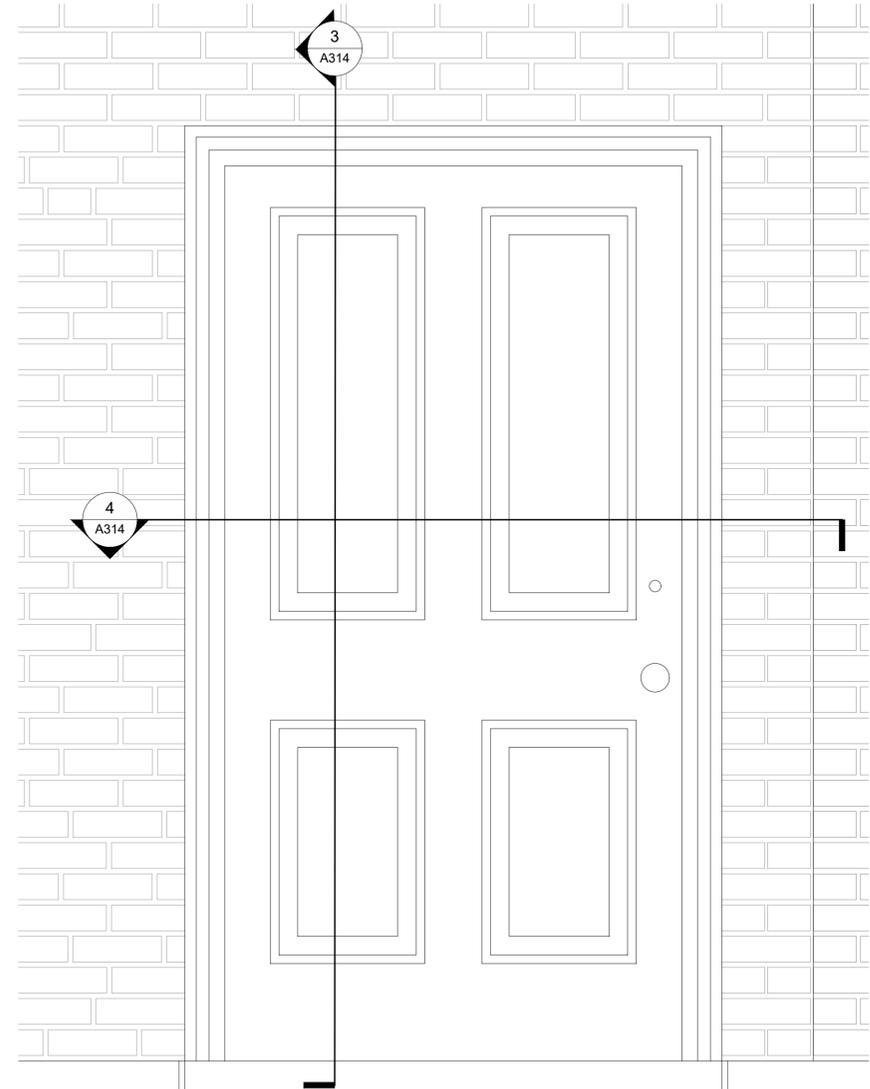
WINDOWS 101-103/106-108

REMOVE AND DISPOSE OF EXISTING ALUMINUM STORM/SCREEN COMBINATION

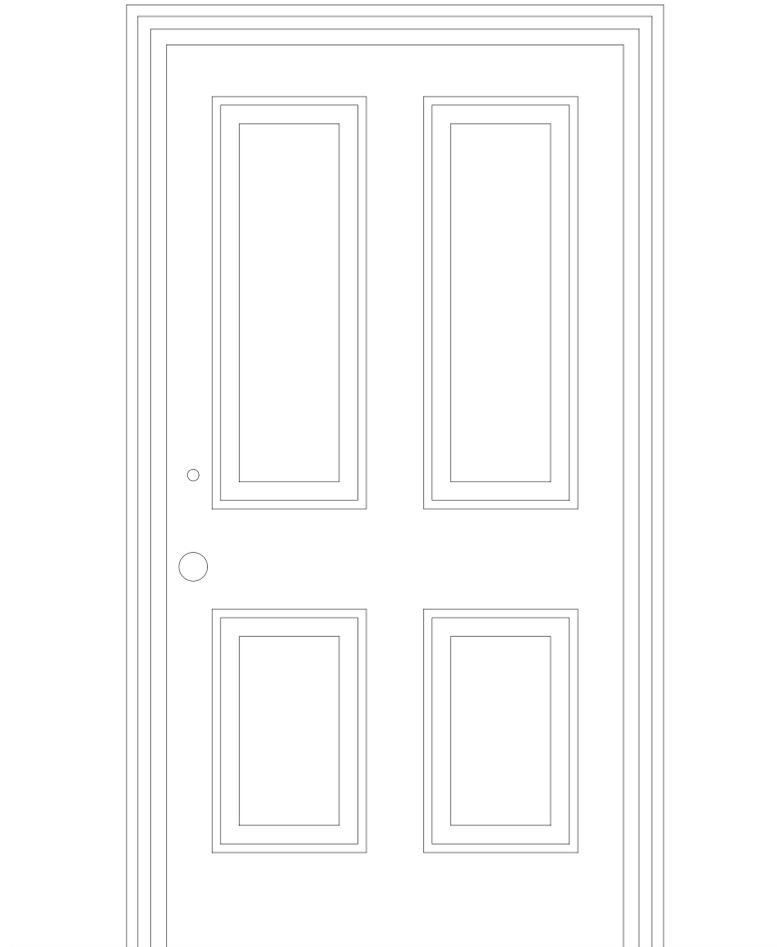
REMOVE EXISTING SASHES AND PERFORM THE FOLLOWING REPAIR PROCEDURES:

- DOCUMENT ALL EXISTING HARDWARE
- DOCUMENT ALL EXISTING WEATHERSTRIPPING
- DOCUMENT EXISTING GLASS
- DOCUMENT CONDITION OF EXISTING WOOD SASHES
- REMOVE AND DISPOSE OF EXISTING GLAZING - STOPS ARE PRESENT. PRESERVE THE STOPS FOR FUTURE USE IF POSSIBLE OTHERWISE REPLACE
- RETAIN EXISTING WEATHERSTRIPPING IF POSSIBLE, REPLACE WITH REPLICA WEATHERSTRIPPING AS NEEDED
- REMOVE, REPAIR AND RESTORE FINISH OF ALL EXISTING HARDWARE ANY RESERVE FOR REINSTALLATION AS REQUIRED DURING THE FL RESTORATION PROCESS
- NUMBER AND RESERVE EXISTING GLASS PIECE FOR REINSTALLATION IN THEIR PROPER PLACE AT THE END OF THE PROCESS
- REMOVE ALL PAINT FROM THE EXISTING SASH
- PERFORM SASH REPAIRS AS REQUIRED INCLUDING BUT NOT LIMITED TO WOOD CONSOLIDATION, DUTCHMAN INSTALLATION, FL RAIL REPLACEMENT (USE QUARTERSAWN DOUGLAS FIR FOR ALL WOOD REPLACEMENT)
- RE-GLUE AND RE-FASTENED ALL SASH MEMBER TO AN ORIGINAL CONDITION
- REINSTALL EXISTING GLASS INTO RESTORED FRAME/SASH
- INSTALL NEW GLAZING AND/OR WOOD STOPS
- PRIME AND PAINT SASH PRIOR TO RE-INSTALLATION
- REINSTALL EXISTING SASH WHEN EXISTING FRAME IS FULLY PREPARED TO RECEIVE IT
- FULLY SCRAPE, PRIME AND PAINT ALL EXISTING WINDOW FRAME COMPONENTS THAT ARE TO REMAIN IN-SITU
- PERFORM ALL WOOD REPAIR REQUIRED TO FULLY RESTORE THE EXISTING FRAMES, INCLUDING BUT NOT LIMITED TO WOOD CONSOLIDATION, LIMITED PATCHING, AND DUTCHMAN REPAIRS
- INSTALL NEW FRAMELESS VENTED FIXED EXTERIOR STORM WINDOW SUCH AS FLOVENT WILLET HAUSER OR APPROVED EQUAL

2020 HISTORIC RESTORATION OF
 GATES OF HEAVEN
 302 E GORHAM ST, MADISON WI, 53706



1 EXTERIOR ELEVATION - D102
 A314 SCALE: 1 1/2" = 1'-0"

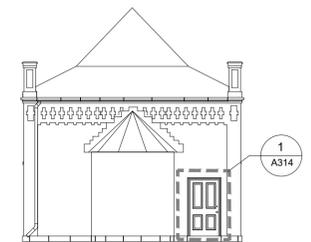


2 INTERIOR ELEVATION - D102
 A314 SCALE: 1 1/2" = 1'-0"

3 WALL SECTION
 A314 SCALE: 1 1/2" = 1'-0"

4 PLAN SECTION
 A314 SCALE: 1 1/2" = 1'-0"

NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "V.I.F." OR VERIFY-IN-FIELD



KEY ELEVATION - NORTH
 SCALE: NONE

ICA NO. COM 20-001

DOOR ELEVATIONS

LANDMARKS REVIEW
 05-08-2020

A314