

# GreenbergFarrow



3455 Salt Creek Lane  
Suite 100  
Arlington Heights, IL 60005  
t: 847 788 9200  
f: 847 788 9536

ATLANTA  
NEW YORK  
CHICAGO  
LOS ANGELES  
BOSTON  
DALLAS  
NEW JERSEY

January 30, 2006

Mr. Al Martin  
Dept. of Planning & Development  
Room LL-100  
City of Madison  
215 Martin Luther King, Jr. Blvd.  
Madison, WI 53701-2985  
Tel 608.267.8740, ext. 221

Project Texas Roadhouse Madison, WI  
Project # 20050922.2  
Re Resubmittal: Urban Design Review

Dear Mr. Martin,

On behalf of Texas Roadhouse, we hereby resubmit the attached "Application for Urban Design Commission Review and Approval" and fourteen (14) sets of the following plans/documents as requested:

- 1) Location Map, dated 12/28/05, as prepared by GreenbergFarrow (8½x11)
- 2) Site Photo Board, dated 12/28/05, as prepared by GreenbergFarrow (11x17)
- 3) Recorded Certified Survey Map, Sheets 1 thru 4 of 4, dated 01/03/05, as prepared by D'Onofrio, Kottke & Associates (11x17)
- 4) Approved Concept Plan, dated 10/12/04, as prepared by Dimension IV Madison (11x17 copies)
- 5) ALTA Survey, dated 01/30/06, as prepared by D'Onofrio, Kottke & Associates (11x17)
- 6) Site Plan WI-50922A5, Sheets 1 & 2 of 2, dated 01/30/06, as prepared by GreenbergFarrow (11x17)
- 7) Civil Engineering Plans, Sheets C-0.0 thru C-7.1; as prepared by GreenbergFarrow
- 8) Landscape Plan L-1.0, L1.1 & L1.2, dated 01/30/06, as prepared by Schreiber/Anderson Associates (11x17)
- 9) Landscape Worksheet, revised
- 10) Building Elevations A2.1, dated 01/30/06, as prepared by GreenbergFarrow (11x17)
- 11) Building Elevations A2.2, dated 01/30/06, as prepared by GreenbergFarrow (11x17)
- 12) Floor Plan Exhibit A1.0, dated 12/21/05, as prepared by GreenbergFarrow (11x17)
- 13) Signage Exhibit Sheets 1, 2 & 3, dated 01/18/06, as prepared by Federal Heath Sign Company
- 14) Seating Plan Exhibit A1.1, dated 12/21/05, as prepared by GreenbergFarrow (11x17)
- 15) Site Lighting Cut Sheets Versalux, as prepared by USA Architectural Lighting; Texas Roadhouse Exterior Specification (Wall Lighting Type F12; Exterior Floodlighting Type F9A & Type F15; Exterior Decorative Lighting Type F16; and Exterior Soffit Recessed Lighting Type F18)
- 16) Letter addressed to Santiago Rosas, 17<sup>th</sup> District Alderperson, dated 11/01/05, as prepared by GreenbergFarrow
- 17) Letter of Intent to Plan Commission Members, dated 12/21/05, as prepared by GreenbergFarrow
- 18) Contact List, as prepared by GreenbergFarrow

Please note the following revisions to the documents listed above:

1. The photometric plan (Sheets C7.0 & C7.1 of the Civil Engineering Plan Set) has been revised to reduce the overall site lighting height from 27.5 ft. to 22.5 ft. (20' pole plus 2.5' base). Light levels have been adjusted accordingly and are more uniform throughout the site, thus reducing "hot spots."
2. Building exterior lighting has been revised to:
  - Eliminate the floodlights that up-light the roof and flags.
  - Eliminate the LED stripe that outlines the building.
3. Remaining building exterior lighting is as follows:
  - 100-175 watt MH wall packs at emergency exits (Cut Sheet "Type F12").

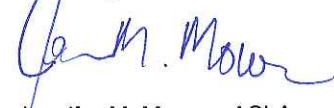
Mr. Al Martin  
Dept. of Planning & Development, City of Madison

Texas Roadhouse Madison, WI  
01/30/06  
2 of 2 pages

- 100 watt MH gooseneck fixtures (Cut Sheet "Type F16").
  - 100 watt metal halide (MH) recessed can lights in the exterior soffit (Cut Sheet "Type F18").
- All fixtures are positioned to accent the building façade and minimize spillage.
4. The signage exhibit has been revised to show that the exposed neon of the large wall sign is recessed within the "can." Also, the pylon sign and small wall sign above the entrance door were revised to be internally lit cabinets.
  5. The site plan has been revised to add permeable pavement for the fourteen (14) parking stalls by the detention area and six (6) spaces in the off-site parking area.
  6. The landscape plan has been revised to show additional plant material in the off-site parking area and a "detention mix" proposed in the detention basin area at the southern end of the site.
  7. The architectural elevations have been revised to:
    - Remove the U.S. and State of Texas flags.
    - Incorporate full height brick with stone wainscoting.
    - Incorporate architectural detailing such as accent banding, soldier courses and a trellis type structure along the east elevation.
    - Incorporate additional casements within the windows along the west elevation.

With this submission, we look forward to the February 8, 2006 Urban Design Review meeting. Please confirm that we are on the agenda as scheduled. Thank you for your continued help with this project. If you have any questions or require additional information, please contact me at 847.788.9200, ext. 225.

Sincerely,



Jennifer M. Mowen, ASLA  
Site Development Coordinator

Enclosures

Copies

- Santiago Rosas, 17<sup>th</sup> District Alderperson (w/encl.) (via FedEx Standard)
- Peter Olson, City Planner, City of Madison (w/encl.) (via FedEx Standard)
- Kerri Smith, Texas Roadhouse (w/encl.) (via FedEx Standard)
- Raymond & Loraine Zieir, Annamark Group Z, LLC (w/encl.) (via FedEx Standard)
- John Frank, Lathrop & Clark LLP (w/encl.) (via FedEx Standard)
- Chris Thiel, Schreiber/Anderson Assoc. (w/encl.) (via FedEx Standard)
- Dave Behrens, GreenbergFarrow MW (w/encl.)
- Jennifer Mowen, GreenbergFarrow MW (w/encl.)
- Julie Wehmeyer, GreenbergFarrow MW (w/elev., site plan, signage)

APPLICATION FOR  
URBAN DESIGN COMMISSION  
REVIEW AND APPROVAL

AGENDA ITEM # \_\_\_\_\_  
Project # \_\_\_\_\_

02680

DATE SUBMITTED: _____	Action Requested
	Informational Presentation
UDC MEETING DATE: February 8, 2006	<input checked="" type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 4841 Annamark Drive

ALDERMANIC DISTRICT: 17th District (Santiago Rosas)

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:  
Raymond & Loraine Zeier Jennifer Mowen, agent for Texas Roadhouse  
c/o Annamark Corporation c/o GreenbergFarrow  
2211 N. Stoughton Road 3455 Salt Creek Lane, Suite 100  
Madison, WI 53704 Arlington Heights, IL 60005

CONTACT PERSON: Jennifer Mowen, GreenbergFarrow  
Address: 3455 Salt Creek Lane, Suite 100  
Arlington Heights, IL 60005  
Phone: (847) 788-9200  
Fax: (847) 788-9537  
E-mail address: jmowen@greenbergfarrow.com

TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District \* (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 50,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review\* (Fee required)
- Street Graphics Variance\* (Fee required)
- Other \_\_\_\_\_

\*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)



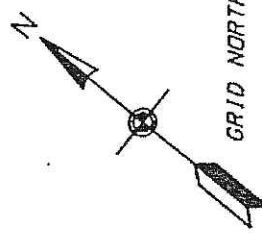
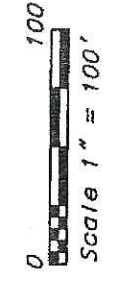


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# CERTIFIED SURVEY MAP

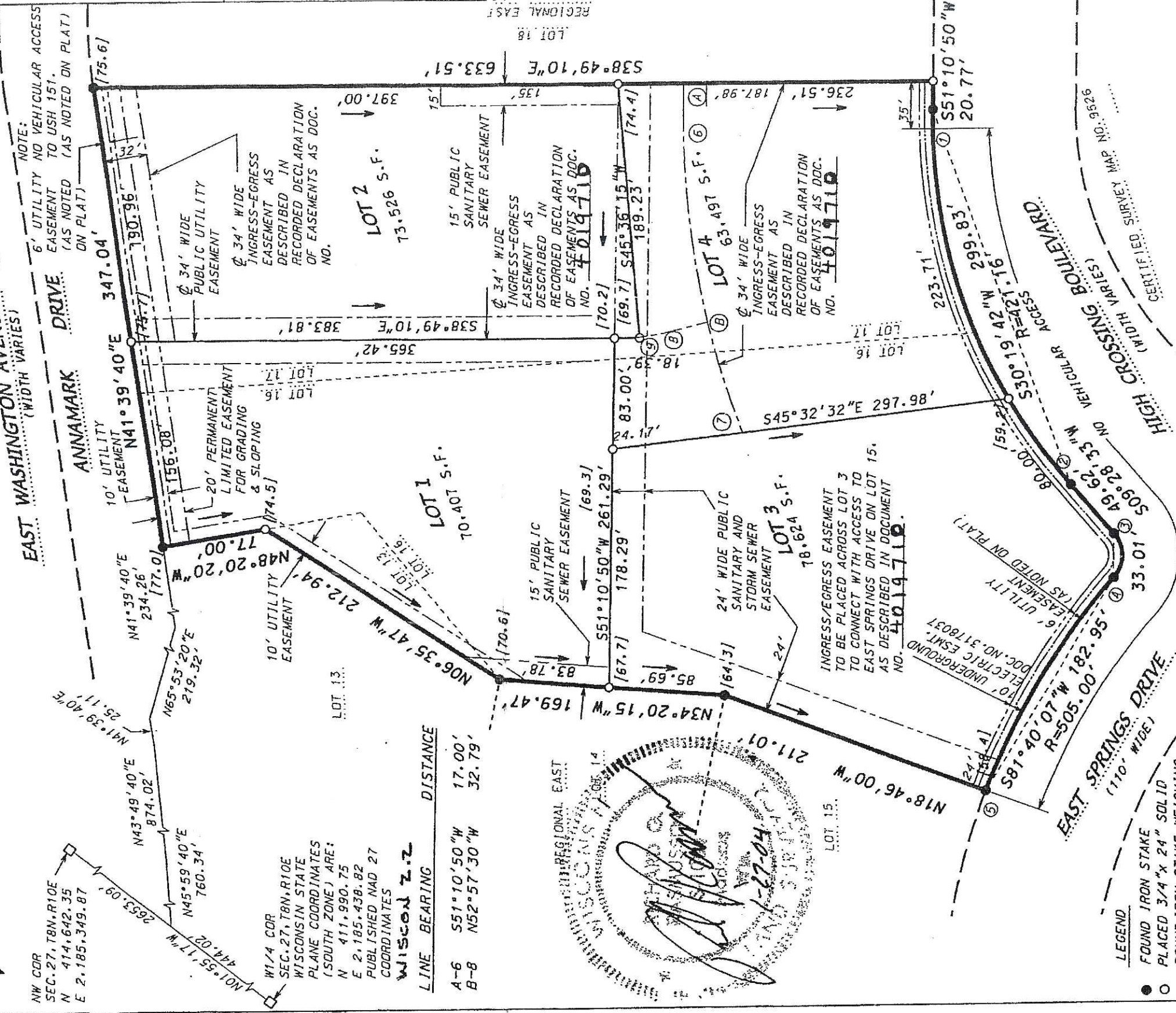
## LOTS 16, 17, AND PART OF 13, REGIONAL EAST

Located in the NE1/4 & SE1/4 of the NW1/4 of Section 27, T8N, R10E,  
City of Madison, Dane County, Wisconsin



NW COR  
SEC. 27, T8N, R10E  
N 414.642.35  
E 2,185.349.87

(U.S.H. 151)

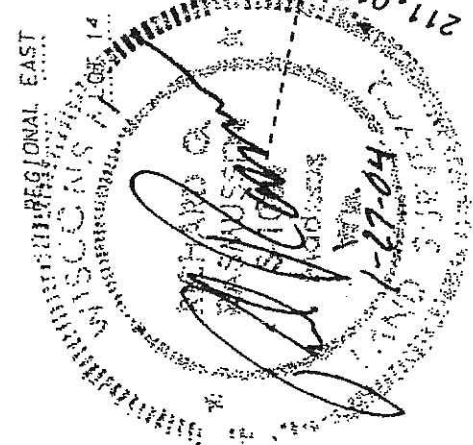


NOTE:  
6' UTILITY NO VEHICULAR ACCESS  
EASEMENT TO USH 151,  
(AS NOTED (AS NOTED ON PLAT)  
ON PLAT)

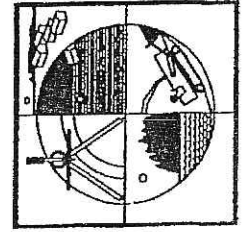
W1/4 COR  
SEC. 27, T8N, R10E  
WISCONSIN STATE  
PLANE COORDINATES  
(SOUTH ZONE) ARE:  
N 411,990.75  
E 2,185,438.82  
PUBLISHED NAD 27  
COORDINATES

WISCONSIN Z.R.

LINE	BEARING	DISTANCE
A-6	S51°10'50"W	17.00'
B-8	N52°57'30"W	32.79'



- LEGEND
- FOUND IRON STAKE
  - PLACED 3/4" x 24" SOLID ROUND IRON STAKE WEIGHING 1.50 lbs/ft.
  - CONCRETE MONUMENT W/ BRASS CAP
  - ( ) LOT CORNER ELEVATION



D'ONOFRIO, KOTTKE  
AND ASSOCIATES, INC.

7530 WESTWARD WAY  
MADISON, WISCONSIN 53717  
TEL: 608-833-7530  
FAX: 608-833-1089

- REV.: FEB. 4, 2004
- REV.: FEB. 6, 2004
- REV.: FEB. 16, 2004
- REV.: MAR. 31, 2004
- REV.: APR. 21, 2004
- REV.: SEP. 27, 2004
- REV.: OCT. 7, 2004
- REV.: DEC. 22, 2004
- REV.: JAN. 3, 2005

DATE: JAN. 27, 2004

F.N.: 03-02-176

C.S.M. NO. 11320

DOC. NO. 4019709

VOL. 68 SHEET 252

SHEET 1 OF 4

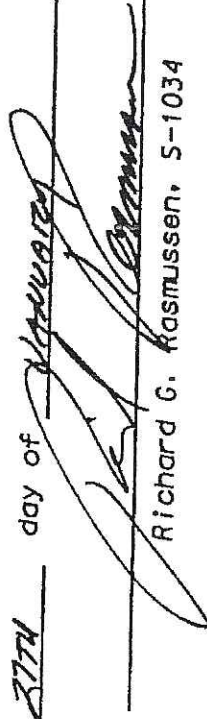
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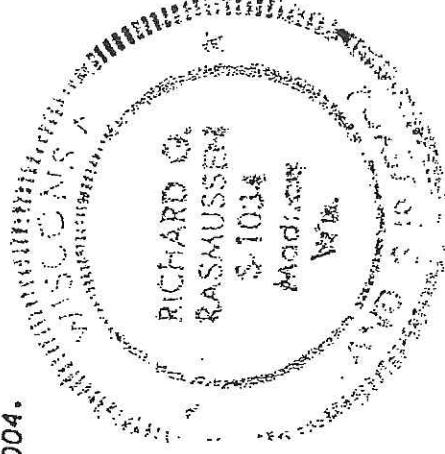
# CERTIFIED SURVEY MAP

## SURVEYOR'S CERTIFICATE

I, Richard G. Rasmussen, Registered Land Surveyor, S-1034, do hereby certify that this survey is in full compliance with Chapter 236.34 of the Wisconsin Statutes and the Subdivision Regulations of the City of Madison and under the direction of the owners listed below. I have surveyed, divided, and mapped the lands described herein and that the map is a correctly dimensioned representation in accordance with the information furnished.

Dated this 27th day of January, 2004.

  
Richard G. Rasmussen, S-1034



## LEGAL DESCRIPTION

Lots 16 and 17 and part of Lot 13, Regional East, recorded in Volume 56-6B of plats on pages 13-15, as DOC. No. 1952891, Dane County Registry, located in the NE1/4 and SE1/4 of the NW1/4 of Section 27, T8N, R10E, City of Madison, Dane County, Wisconsin, to-wit: Commencing at the west quarter corner of said Section 27; thence N01°55'17"W, 444.02 feet; thence N45°59'40"E, 760.34 feet; thence N43°49'40"E, 874.02 feet; thence N41°39'40"E, 25.11 feet; thence N65°53'20"E, 219.32 feet; thence N41°39'40"E, 234.26 feet to the point of beginning; thence continuing N41°39'40"E, 347.04 feet; thence S38°49'10"E, 633.51 feet; thence S51°10'50"W, 20.77 feet to a point of curve; thence southwesterly on a curve to the left which has a radius of 421.16 feet and a chord which bears S30°19'42"W, 299.83 feet; thence S09°28'34"W, 49.62 feet to a point of curve; thence southwesterly on a curve to the right which has a radius of 25.00 feet and a chord which bears S50°47'25"W, 33.01 feet to a point of reverse curve; thence southwesterly on a curve to the left which has a radius of 505.00 feet and a chord which bears S81°40'07"W, 182.95 feet; thence N18°46'00"W, 211.01 feet; thence N34°20'15"W, 169.47 feet; thence N06°35'47"W, 212.94 feet; thence N48°20'20"W, 77.00 feet to the point of beginning. Containing 6.567 acres.

## OWNER'S CERTIFICATE

Annmark Group Z, LLC, a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, Owner, does hereby certify that said limited liability company caused the lands described on the Certified Survey to be surveyed, divided and mapped as represented on this Certified Survey Map.

IN WITNESS WHEREOF, said Annmark Group Z, LLC has caused these presents to be signed by its member listed below, and its seal to be hereunto affixed on this 6th day of January, 2005.

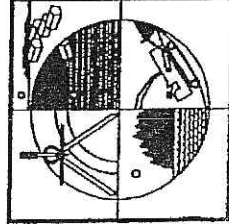
ANNAMARK GROUP Z, LLC

Raymond Zeier Raymond C Zeier member  
Lorraine A Zeier Lorraine A Zeier, Member

STATE OF WISCONSIN )  
COUNTY OF DANE ) S.S.

Personally came before me this 6th day of January, 2005, the above named member to me known to be the person who executed the foregoing instrument and acknowledged the same.

My Commission is permanet  
John C Frank  
Notary Public, Dane County, Wisconsin



D'ONOFRIO, KOTKKE  
AND ASSOCIATES, INC.

7530 WESTWARD WAY  
MADISON, WISCONSIN 53717  
TEL: 608-833-7530  
FAX: 608-833-1089

REV.: FEB. 4, 2004  
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REV.: JAN. 3, 2005

DATE: JAN. 27, 2004

F.N.: 03-02-176

C.S.M. NO. 11320

DOC. NO. 4019709

VOL. 68 SHEET 253

SHEET 2 OF 4

000765

# CERTIFIED SURVEY MAP

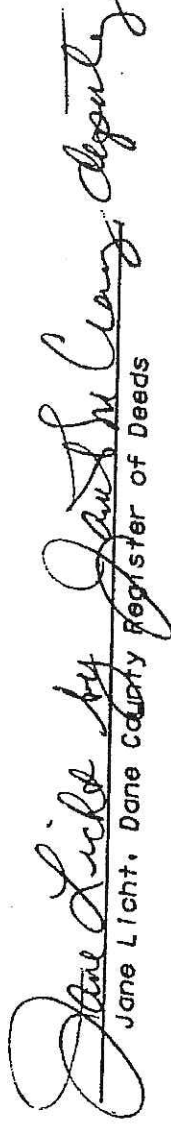
## CITY OF MADISON APPROVAL

Approved for recording per City of Madison Plan Commission Action of FEBRUARY 8, 2005.

  
Secretary, City of Madison Plan Commission

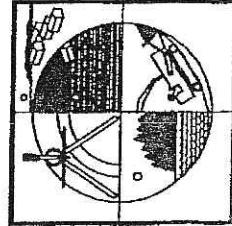
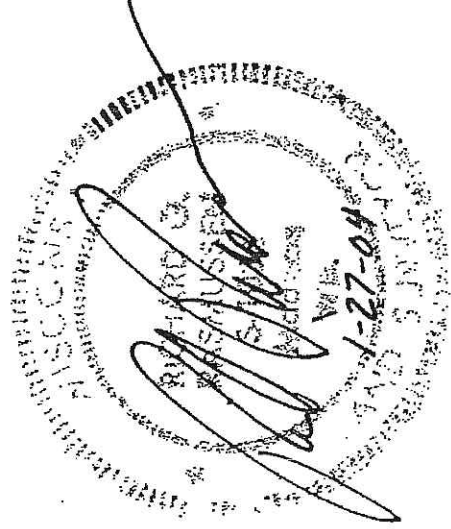
## REGISTER OF DEEDS CERTIFICATE

Received for recording this 8<sup>th</sup> day of February, 2005, at 7:34 clock  
A.M. in Volume 68 of Certified Surveys on pages 252-255, as  
Document Number 4019709.

  
Jane Licht, Dane County Register of Deeds

## CURVE DATA

CURVE NUMBER	LOT	RADIUS (FEET)	CHORD (FEET)	ARC (FEET)	CHORD BEARING	CENTRAL ANGLE	TANGENT BEARING
1-2		421.16	299.83	306.55	S30°19'42"W	41°42'16"	
	4	421.16	223.71	226.43	S35°46'42"W	30°48'16"	
	3	421.16	80.00	80.12	S14°55'34"W	10°54'00"	
3-4		25.00	33.01	36.05	S50°47'25"W	82°37'42"	4-N87°53'44"W
4-5		505.00	182.95	183.96	S81°40'07"W	20°52'18"	5-S71°13'58"W
6-7		650.00	247.61	249.13	S40°12'02"W	21°57'36"	7-S29°13'14"W
6-B		650.00	161.14	161.55	S44°03'37"W	14°14'26"	8-S36°56'24"W
8-7		650.00	87.51	87.57	S33°04'49"W	07°43'10"	
8-9		150.00	18.47	18.48	N49°25'44"W	07°03'32"	9-N45°53'58"W



D'ONOFRIO, KOTKKE  
AND ASSOCIATES, INC.

7590 WESTWARD WAY  
MADISON, WISCONSIN 53717  
TEL: 608-833-7530  
FAX: 608-833-1089

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DATE: JAN. 27, 2004

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C.S.M. NO. 11320

DOC. NO. 4019709

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SHEET 3 OF 4

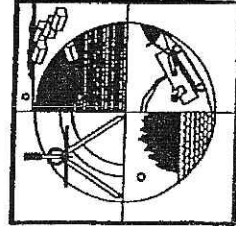
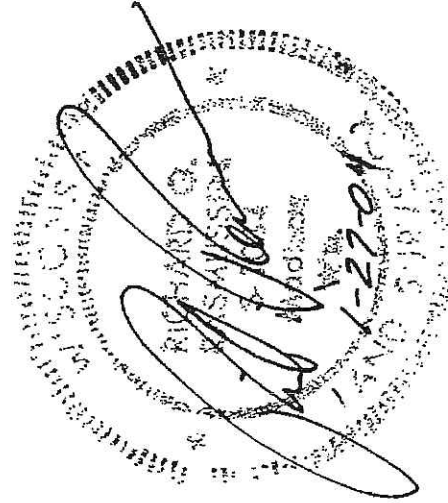


000766

## CERTIFIED SURVEY MAP

NOTES:

1. These lots are individually responsible for compliance with Chapter 37 of the Madison General Ordinances in regard to storm water detention at the time is develops.
2. The lands within this certified survey map are subject to a Declaration of Conditions and Covenants as Doc. No. 1960296.
3. The lands within this certified survey map are subject to a Declaration of Conditions and Covenants as Doc. No. 1960297.
4. The lands within this certified survey map are subject to a Restrictive Covenant as Doc. No. 1987523.
5. The lands within this Certified Survey Map are subject to a Declaration of Covenants, Conditions, and Restrictions as Doc. No. 2013034.
6. The lands within this Certified Survey Map are subject to the First Amendment to Declaration of Covenants, Conditions and Restrictions as Doc. No. 2273112.
7. The lands within this Certified Survey Map are subject to the Second Amendment to Declaration of Covenants, Conditions and Restrictions as Doc. No. 2316295.
8. The lands within this Certified Survey Map are subject to a Declaration of Use Restriction as Doc. No. 2517162.
9. The lands within this Certified Survey Map are subject to a Declaration Covenant as Doc. No. 3172798.
10. The lands within this Certified Survey Map are subject to a Declaration of Use Restriction as Doc. No. 3173174.
11. The lands within this Certified Survey Map are subject to the Third Amendment to Declaration of Covenants, Conditions and Restrictions as Doc. No. 3172800 & 3181461.
12. The lands within this Certified Survey Map are subject to a Termination of Use Restriction as Doc. No. 3173153.
13. Arrows indicate the direction of surface drainage swale at individual property lines. Said drainage swale shall be graded with the construction of each principal structure and maintained by the lot owner unless modified with the approval of the City Engineer. Elevations given are for property corners at ground level and shall be maintained by the lot owner.
14. All lots within this survey are subject to a non-exclusive easement for drainage purposes which shall be a minimum of 6 feet in width measured from the property line to the interior of each lot except that the easement shall be 12 feet in width on the perimeter of the survey. Easements shall not be required on property lines shared with greenways or public streets.
15. The lands within the Certified Survey are subject to a joint driveway agreement as Doc. No. 3173175.



D'ONOFRIO, KOTTKE  
AND ASSOCIATES, INC.

7580 WESTWARD WAY  
MADISON, WISCONSIN 53717  
TEL: 608-833-7530  
FAX: 608-833-1089

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C.S.M. NO. 11320

DOC. NO. 4019709

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SHEET 4 OF 4

**DIMENSION IV  
MADISON**

Architecture  
Engineering  
Interior Design

313 West Beltline Hwy., Suite 161  
Madison, WI 53713  
phone (608) 229-4444 fax (608) 229-4445

**ZEIER  
PLANNED  
COMMERCIAL  
SITE**

HIGH CROSSING/ANNAMARK  
MADISON, WISCONSIN

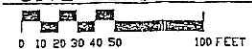
DATE OF ISSUE: 10/12/04

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

PROJECT #: 03030



**SITE CONCEPT PLAN**



- EXISTING DEVELOPMENT SHADED
- PAVERS
- INDICATES 20' FIRE ACCESS LANE W/28' MIN. INSIDE TURNING RADII

HOME DEPOT

TGI FRIDAYS

HARDEES

EAST WASHINGTON AVENUE (U.S.H. 151)  
(WIDTH VARIES)

U.S.H. 151 & I 39-90-94  
INTERCHANGE

ANNAMARK DRIVE

ANNAMARK DRIVE  
(65' WID)

HIGH CROSSING BOULEVARD  
(WIDTH VARIES)

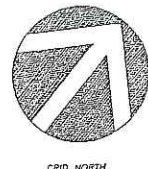
EAST SPRINGS DRIVE  
(110' WID)

ANNAMARK DRIVE

EAST WASHINGTON AVENUE (U.S.H. 151)  
(WIDTH VARIES)

LEGEND

•	FOUND IRON STAKE
—S—	SANITARY SEWER
—W—	WATER MAIN
—G—	GAS MAIN
—ST—	STORM SEWER
—E—	ELECTRIC TRANSFORMER
—M—	MANHOLE
—C—	CATCH BASIN-INLET
—L—	LATERAL LOCATION POST
—H—	HYDRANT
—V—	VALVE
—S—	SIGN
—	LOT CORNER ELEVATIONS AS RECORDED ON CERTIFIED SURVEY MAP NO. 11320
—TC—	TOP OF CASTING
—E—	INVERT ELEVATION
—	CHAIN-LINK FENCE
—	CONCRETE CURB & GUTTER
—	EXIST. CONTOUR
—	SPOT ELEVATION (O DECIMAL PT.)
—	NOTE: ELEVATIONS ARE IN CITY OF MADISON DATUM

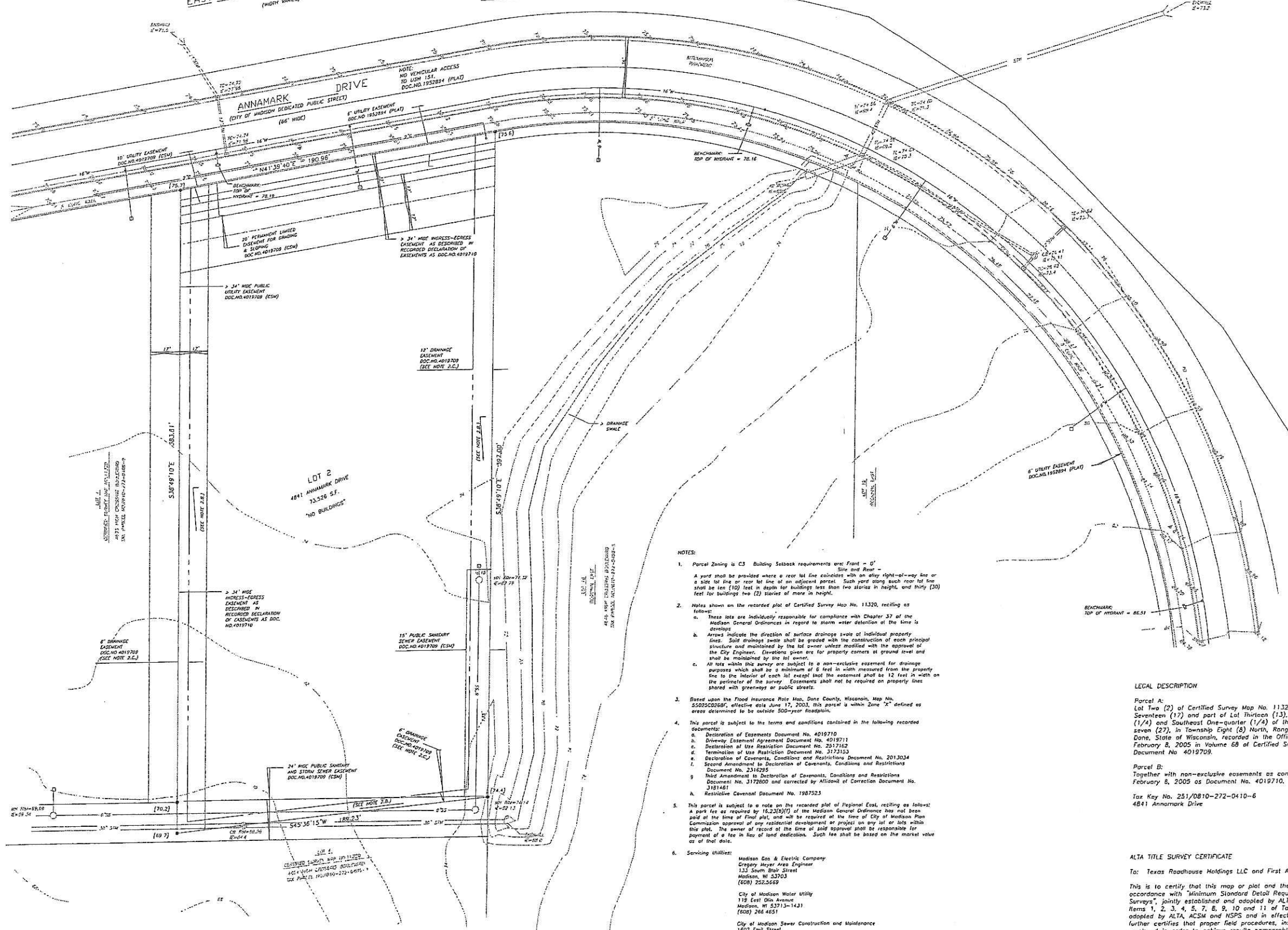
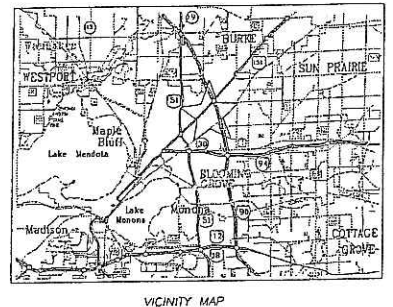


DATE: 11-15-05

SCALE: 1" = 30'

LOCATED IN THE NE1/4 AND SE1/4 OF THE NW1/4 OF SECTION 27, T8N, R10E, FN: 05-02-163

DRAWN BY: KMG



- NOTES:
- Parcel Zoning is C3 Building setback requirements are: Front - 0' Side and Rear - 0'. A yard shall be provided where a rear lot line coincides with an alley right-of-way line or a side lot line or rear lot line of an adjacent parcel. Such yard along such rear lot line shall be ten (10) feet in depth for buildings less than two stories in height, and thirty (30) feet for buildings two (2) stories or more in height.
  - Notes shown on the recorded plat of Certified Survey Map No. 11320, reciting as follows:
    - These lots are individually responsible for compliance with Chapter 37 of the Madison General Ordinances in regard to storm water detention of the time is drainage.
    - Arrows indicate the direction of surface drainage swale of individual property lines. Said drainage swale shall be graded with the construction of each principal structure and maintained by the lot owner unless modified with the approval of the City Engineer. Elevations given are for property corners at ground level and shall be maintained by the lot owner.
    - All lots within this survey are subject to a non-exclusive easement for drainage purposes which shall be a minimum of 6 feet in width measured from the property line to the interior of each lot except that the easement shall be 12 feet in width on the perimeter of the survey. Easements shall not be required on property lines shared with greenways or public streets.
  - Based upon the Flood Insurance Rate Map, Dane County, Wisconsin, Map No. S502500269, effective date June 17, 2003, this parcel is within Zone "X" defined as areas determined to be outside 500-year floodplain.
  - This parcel is subject to the terms and conditions contained in the following recorded documents:
    - Declaration of Easements Document No. 4019710
    - Driveway Easement Agreement Document No. 4019711
    - Declaration of Use Restriction Document No. 2517162
    - Termination of Use Restriction Document No. 3173123
    - Declaration of Covenants, Conditions and Restrictions Document No. 2013034
    - Second Amendment to Declaration of Covenants, Conditions and Restrictions Document No. 2316295
    - Third Amendment to Declaration of Covenants, Conditions and Restrictions Document No. 3172800 and corrected by Affidavit of Correction Document No. 3181461
    - Restrictive Covenants Document No. 1987523
  - This parcel is subject to a note on the recorded plat of Regional East, reciting as follows: A park fee as required by 16.23(5)(f) of the Madison General Ordinance has not been paid at the time of final plat, and will be required at the time of City of Madison Plan Commission approval of any residential development or project on any lot or lots within this plat. The owner of record at the time of said approval shall be responsible for payment of a fee in lieu of land dedication. Such fee shall be based on the market value as of that date.
  - Service Utilities:
    - Madison Gas & Electric Company  
Gregory Meyer Area Engineer  
133 South Blair Street  
Madison, WI 53703  
(608) 262-6429
    - City of Madison Water Utility  
119 East Olin Avenue  
Madison, WI 53713-1431  
(608) 266-4651
    - City of Madison Sewer Construction and Maintenance  
1602 Emil Street  
Madison, WI 53713  
(608) 266-4430
    - Charter Communications  
2701 Donkey Street  
Madison, WI 53718  
(608) 274-3222
    - SBC  
152 Dixon Street  
Madison, WI 53704  
(608) 232-5473
  - Parcel area 73,526 square feet (1.69 acres)
  - Surveyed for: GreenbergFarrow  
3455 Salt Creek Lane, Suite 100  
Arlington Heights, IL 60005

LEGAL DESCRIPTION

Parcel A:  
Lot Two (2) of Certified Survey Map No. 11320, being a redivision of Lots Sixteen (16), Seventeen (17) and part of Lot Thirteen (13), Regional East, located in the Northeast One-quarter (1/4) and Southeast One-quarter (1/4) of the Northwest One-quarter (1/4) of Section Twenty-seven (27), in Township Eight (8) North, Range Ten (10) East, in the City of Madison, County of Dane, State of Wisconsin, recorded in the Office of the Register of Deeds for Dane County on February 8, 2005 in Volume 68 of Certified Survey Maps, of Pages 252 to 255, inclusive, as Document No. 4019709.

Parcel B:  
Together with non-exclusive easements as contained in a Declaration of Easements recorded on February 8, 2005 as Document No. 4019710.

Tax Key No. 251/0810-272-0410-6  
4841 Annamark Drive

ALTA TITLE SURVEY CERTIFICATE

To: Texas Roadhouse Holdings LLC and First American Title Insurance Company

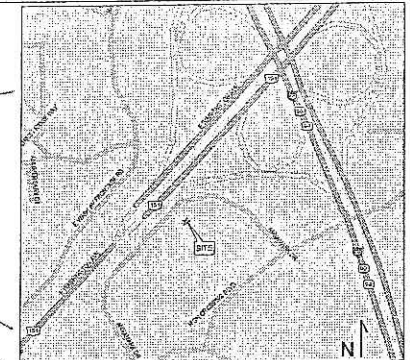
This is to certify that this map or plat and the survey on which it is based were made in accordance with Minimum Standards Detail Requirements for ALTA / ACSM Land Title Surveys, jointly established and adopted by ALTA, ACSM and NSPS in 1999, and includes Items 1, 2, 3, 4, 5, 7, 8, 9, 10 and 11 of Table A thereof. Pursuant to the accuracy standards as adopted by ALTA, ACSM and NSPS and in effect on the date of this certification, undersigned further certifies that proper field procedures, instrumentation and adequate survey personnel were employed in order to achieve results comparable to those outlined in the "Minimum Angle, Distance, and Closure Requirements which control land boundaries for ALTA / ACSM Land Title Surveys."

Dated at Madison, Wisconsin, this \_\_\_\_\_ day of November, 2005.

Wayne D. Baisness, Registered Land Surveyor, S-1561

ALTA/ACSM LAND TITLE SURVEY  
**4841 ANNAMARK DRIVE**  
Lot 2 Certified Survey Map No. 11320  
Located in the NE1/4 and SE1/4 of the NW1/4 of Section 27, T8N, R10E, FN: 05-02-163  
City of Madison, Dane County, Wisconsin

**D'ONDRIO, KOTTKE AND ASSOCIATES, INC.**  
7530 WESTWARD WAY  
MILWAUKEE, WISCONSIN 53178  
TEL: 414-353-1000  
FAX: 414-353-1069



# GreenbergFarrow

3455 Salt Creek Lane, Suite 100  
Arlington Heights, Illinois 60005  
t: 847 788 9200 f: 847 788 9536

## PROJECT INFORMATION

**SITE AREA**  
TEXAS ROADHOUSE 1.688 ACRES

**BUILDING AREA**  
TEXAS ROADHOUSE 7,135 SF

**PARKING SUMMARY**

USER	RATIO REQUIRED	SPACES REQ'D	SPACES PROV'D
TEXAS ROADHOUSE	SEE NOTE*	83	115
OFFSITE CONSTRUCTION PARKING			31

PARKING RATIO PROVIDED 16.2 SP/1,000 SF

\* 30% OF THE CAPACITY IN PERSONS OF DINING/ BAR/WAITING AREAS CAPACITY= 275

**ZONING CLASSIFICATION**  
JURISDICTION CITY OF MADISON, WI  
EXISTING ZONING C-3: PLANNED COMMERCIAL  
REQUIRED ZONING C-3: PLANNED COMMERCIAL

**SIGNAGE REGULATIONS**  
TBV

**LANDSCAPE REGULATIONS**  
TBV

**BUILDING SETBACKS**  
FRONT TBV  
SIDE TBV  
REAR TBV

**LEGEND**

- EXISTING DEVELOPMENT
- PROPOSED FUTURE DEVELOPMENT
- PROPOSED PERMEABLE AREA

- PROJECT NOTES**
1. THIS CONCEPTUAL SITE PLAN IS FOR PLANNING PURPOSES ONLY. SITE SPECIFIC INFORMATION SUCH AS EXISTING CONDITIONS, ZONING, PARKING LANDSCAPE REQUIREMENTS MUST BE VERIFIED.
  2. THIS SITE PLAN IS BASED ON A SITE CONCEPT PLAN BY DIMENSION IV MADISON DATED 06-28-04.
  3. ALL CURB CUTS AND TRAFFIC SIGNALS SHOWN, EXISTING AND PROPOSED, MUST BE VERIFIED.

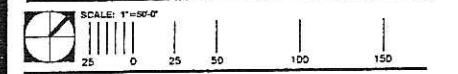
**DRAWING ISSUE/REVISION RECORD**

DATE	NARRATIVE	INITIALS
09/07/05	INITIAL RELEASE	BM
09/13/05	CUL-DE-SAC	BM
11/07/05	REVISED PARKING, SURVEY INFO	RCM
12/28/05	INSERTED REVISED SITE PLAN & SURVEY	RCM
01/30/06	SHOW PROP. PERMEABLE AREA	BM

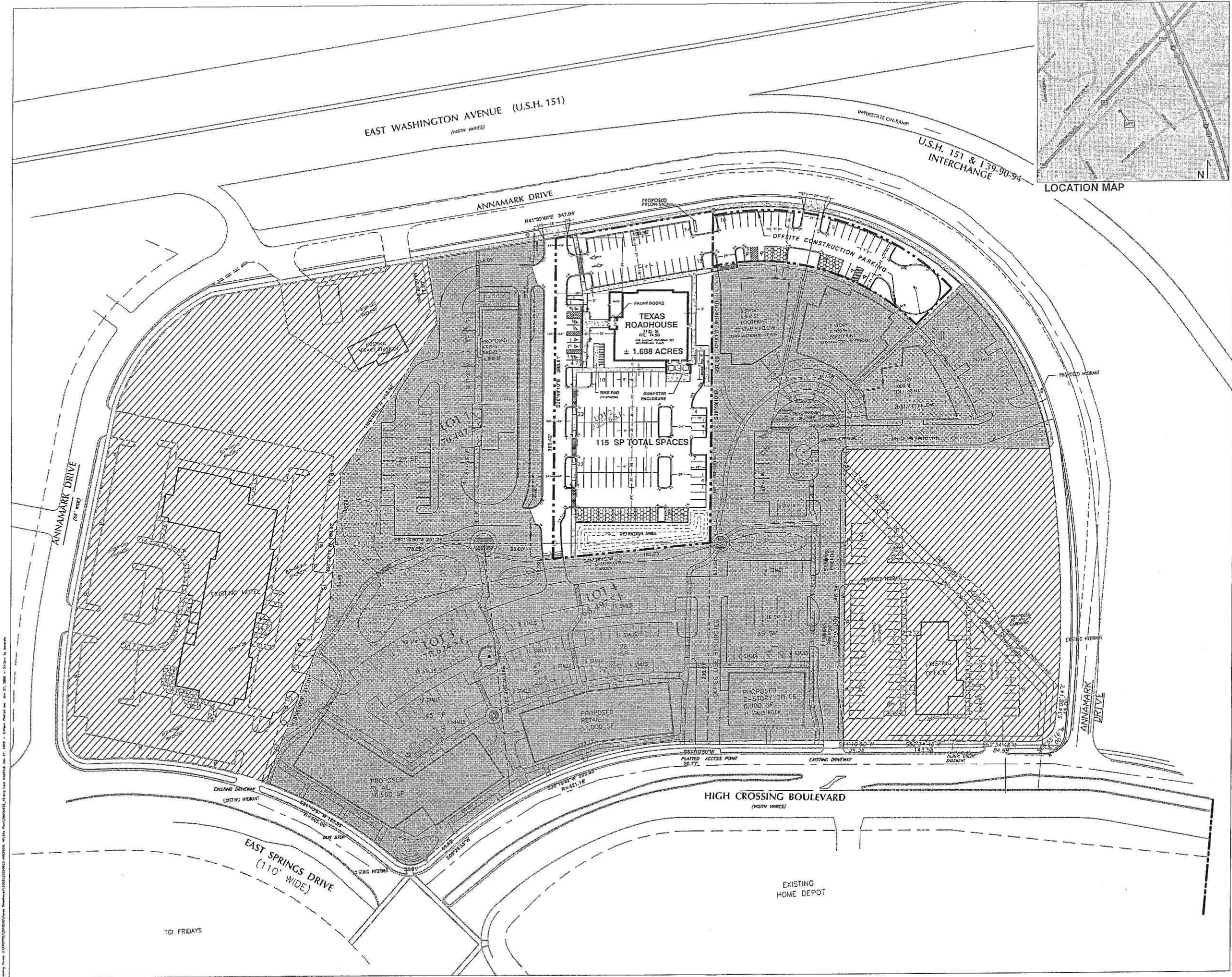


**TEXAS ROADHOUSE**  
MADISON, WI  
(SWQ) US 151 (Washington Ave) & I-39

GFA PROJECT NUMBER 20050922.2



**WI-50922A5**  
SHEET 1 of 2



Drawing Title: WI-50922A5 (Site Plan) Date: 01/30/06  
 Drawing Number: WI-50922A5 (Site Plan) Date: 01/30/06  
 Drawing Scale: 1"=100'-0" Date: 01/30/06  
 Drawing Author: [Name] Date: 01/30/06  
 Drawing Checker: [Name] Date: 01/30/06  
 Drawing Approver: [Name] Date: 01/30/06

ANNAMARK DRIVE

PROPOSED PYLON SIGN

OFFSITE CONSTRUCTION PARKING

FRONT DOORS  
**TEXAS ROADHOUSE**  
7135 SF  
FFE: 74.50  
FOR BUILDING FOOTPRINT SEE ARCHITECTURAL PLANS

± 1.688 ACRES

2 STORY  
6,500 SF  
FOOTPRINT  
22 STALLS BELOW  
CONSTRUCTION BY OTHERS

3 STORY  
8,000 SF  
FOOTPRINT  
CONSTRUCTION BY OTHERS

2 STORY  
7,000 SF  
FOOTPRINT

20 STALLS BELOW

115 SP TOTAL SPACES

DRIVE-THROUGH DROPOFF

LANDSCAPE FEATURE

OFFICE USE RESTRICTED

DETENTION AREA

GREENWAY/RAIN GARDEN

BITUMINOUS PAVEMENT

PROPOSED KRISPY KREME  
4,800 SF

LIMITS OF IMPROVEMENTS  
CONSTRUCTION BY OTHERS

LIMITS OF IMPROVEMENTS  
CONSTRUCTION BY OTHERS

OFFICE USE RESTRICTED

OFFICE USE RESTRICTED

**GreenbergFarrow**

3455 Salt Creek Lane, Suite 100  
Arlington Heights, Illinois 60005  
t: 847 788 9200 f: 847 788 9536

**PROJECT INFORMATION**

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TEXAS ROADHOUSE 1.688 ACRES

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TEXAS ROADHOUSE 7,135 SF

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PARKING RATIO PROVIDED 16.2 SP/1,000 SF

\* 30% OF THE CAPACITY IN PERSONS OF DINING/ BAR/WAITING AREAS  
CAPACITY= 275

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JURISDICTION CITY OF MADISON, WI  
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REQUIRED ZONING C-3: PLANNED COMMERCIAL

**SIGNAGE REGULATIONS**

TBV

**LANDSCAPE REGULATIONS**

TBV

**BUILDING SETBACKS**

FRONT TBV  
SIDE TBV  
REAR TBV

**LEGEND**

 PROPOSED PERMEABLE AREA

**PROJECT NOTES**

1. THIS CONCEPTUAL SITE PLAN IS FOR PLANNING PURPOSES ONLY. SITE SPECIFIC INFORMATION SUCH AS EXISTING CONDITIONS, ZONING, PARKING LANDSCAPE REQUIREMENTS MUST BE VERIFIED.
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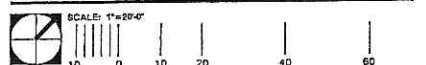
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12/28/05	INSERTED REVISED SITE PLAN & SURVEY	RCM
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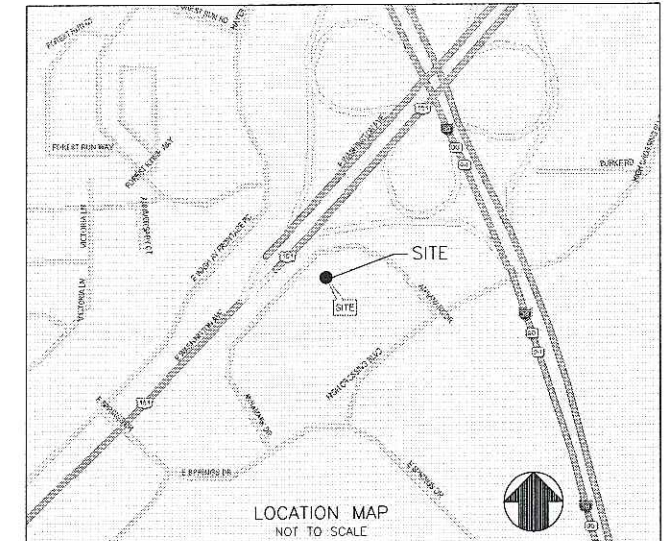
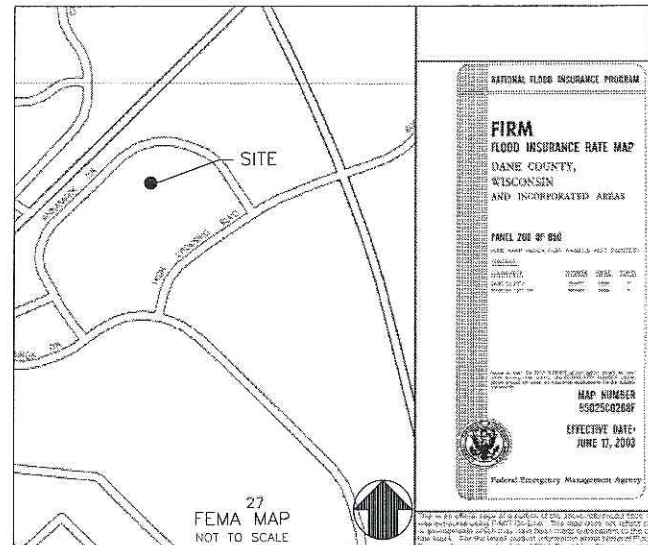


**TEXAS ROADHOUSE**  
MADISON, WI  
(SWQ) US 151 (Washington Ave) & I-39

GFA PROJECT NUMBER 20050922.2



**WI-50922A5**  
SHEET 2 of 2



## MADISON, WISCONSIN

4841 ANNAMARK DRIVE  
(SWQ) US 151 (WASHINGTON AVENUE) & I-39

ZONING: C3

OWNER/DEVELOPER:

## TEXAS ROADHOUSE

CONTACT: KERRI SMITH  
(24 HR EMERGENCY CONTACT)  
TEXAS ROADHOUSE HOLDING, LLC  
6060 DUTCHMANS LANE, SUITE 400  
LOUISVILLE, KENTUCKY 40205  
(502) 515-7301

ENGINEER:

## GreenbergFarrow

CONTACT: JOHN NOURZAD, PE (VICE-PRESIDENT)  
ALFONSO INCHAUSTI, PE (PROJECT MANAGER)  
1755 THE EXCHANGE  
ATLANTA, GEORGIA 30339  
770-303-1033

JENNIFER MOWEN  
(SITE DEVELOPMENT COORDINATOR)  
3455 SALT CREEK LANE, SUITE 100  
ARLINGTON, IL 60005  
(847) 788-9200



CALL DIGGERS HOTLINE  
1-800-242-8511  
TOLL FREE  
MILW. AREA 259-1181

## UTILITIES

### SEWERS:

CITY OF MADISON PUBLIC WORKS  
ENGINEERING DIVISION  
CONTACT: GREG FRIES  
210 MARTIN LUTHER KING, JR. BOULEVARD  
ROOM 115  
MADISON, WISCONSIN 53703  
PH: (608) 266-4751  
FAX: (608) 264-9273  
EMAIL: GFRIES@CITYOFMADISON.COM

### WATER UTILITY:

CITY OF MADISON  
119 EAST OLIN AVENUE  
MADISON, WISCONSIN 53713  
PH: (608) 266-4651  
FAX: (608) 266-4644

### ELECTRICITY AND GAS:

MADISON GAS AND ELECTRIC COMPANY  
GREGORY MEYER, AREA ENGINEER  
133 SOUTH BLAIR STREET  
MADISON, WISCONSIN 53703  
PH: (608) 252-5669  
FAX: (608) 252-5623  
CELL: (608) 444-9617  
EMAIL: GMEYER@MGE.COM

### TELEPHONE:

SBC  
152 DIXON STREET  
MADISON, WISCONSIN 53704  
PH: (608) 252-5423

## SHEET INDEX

- C-0.0 COVER SHEET
- EXISTING CONDITIONS (TOPOGRAPHIC SURVEY)
- C-1.0 GENERAL NOTES
- C-2.0 LAYOUT PLAN
- C-3.0 GRADING & DRAINAGE PLAN
- C-4.0 UTILITY PLAN
- C-5.0 EROSION CONTROL PLAN
- C-6.0 DETAILS 1
- C-6.1 DETAILS 2
- C-7.0 SITE LIGHTING PLAN
- C-7.1 SITE LIGHTING PLAN
- L-1.0 LANDSCAPE LAYOUT PLAN
- L-1.1 LANDSCAPE PLANT LEGEND

### LAND TITLE SURVEY:

D'ONOFRIO, KOTTKE AND ASSOCIATES, INC.

7530 WESTWARD WAY  
MADISON, WISCONSIN 53717  
PH: (608) 833-7530  
FAX: (608) 833-1089

### SITE LIGHTING CONSULTANT: ACCU SERV LIGHTING AND EQUIPMENT

CONTACT: KEVIN LOEHLE  
PH: (877) 707-7378  
FAX: (502) 961-0357  
EMAIL: KLOEHLE@ACCU-SERV.COM

UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS. THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, OF WHICH THE EXISTENCE IS PRESENTLY NOT KNOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UTILITIES LOCATED IN THE FIELD PRIOR TO CONSTRUCTION.

### REVISION RECORD

NO.	DATE	SHT No.	DESCRIPTION

JOB NO. 20050922  
DATE: 1-30-06

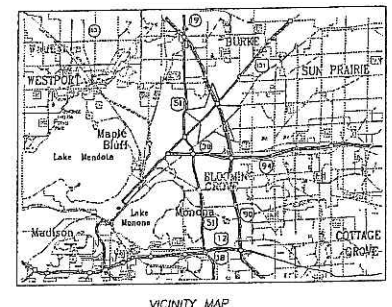
EAST WASHINGTON AVENUE (U.S.H. 151)  
(WIDTH VARIES)

ANNAMARK DRIVE  
(CITY OF MADISON DEDICATED PUBLIC STREET)  
(66' WIDE)

LOT 2  
4841 ANNAMARK DRIVE  
73,526 S.F.  
"NO BUILDINGS"

LEGEND

	FOUND IRON STAKE
	SANITARY SEWER
	WATER MAIN
	GAS MAIN
	STORM SEWER
	ELECTRIC TRANSFORMER
	MANHOLE
	CATCH BASIN-INLET
	LATERAL LOCATION POST
	HYDRANT
	VALVE
	SIGN
	LOT CORNER ELEVATIONS AS RECORDED ON CERTIFIED SURVEY MAP NO. 11320
	TOP OF CASTING
	INVERT ELEVATION
	CHAIN-LINK FENCE
	CONCRETE CURB & GUTTER
	EXIST. CONTOUR
	SPOT ELEVATION (0 DECIMAL P.)
	NOTE: ELEVATIONS ARE IN CITY OF MADISON DATUM



- NOTES:
- Parcel Zoning is C3 Building Setback requirements are: Front - 0' Side and Rear - 10' A yard shall be provided where a rear lot line coincides with an alley right-of-way line or a side lot line or rear lot line of an adjacent parcel. Such yard along such rear lot line shall be ten (10) feet in depth for buildings less than two stories in height, and thirty (30) feet for buildings two (2) stories or more in height.
  - Notes shown on the recorded plot of Certified Survey Map No. 11320, reciting as follows:
    - These lots are individually responsible for compliance with Chapter 27 of the Madison General Ordinances in regard to storm water detention at the time it develops
    - Arrows indicate the direction of surface drainage swale at individual property lines. Solid drainage swales shall be graded with the construction of each principal structure and maintained by the lot owner unless modified with the approval of the City Engineer. Deviations from the lot property corners at ground level and shall be maintained by the lot owner.
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    - Driveway Easement Agreement Document No. 4019711
    - Declaration of Use Restriction Document No. 2317162
    - Termination of Use Restriction Document No. 3173153
    - Declaration of Covenants, Conditions and Restrictions Document No. 2013034
    - Second Amendment to Declaration of Covenants, Conditions and Restrictions Document No. 2316295
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  - This parcel is subject to a note on the recorded plot of Regional East, reciting as follows: A park fee as required by 16.23(9)(f) of the Madison General Ordinance has not been paid at the time of final plat, and will be required at the time of City of Madison Plan Commission approval of any residential development or project on any lot or lots within this plat. The owner of record at the time of said approval shall be responsible for payment of a fee in lieu of land dedication. Such fee shall be based on the market value of the lots.
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Gregory Meyer Area Engineer  
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    - City of Madison Water Utility  
119 East Oak Avenue  
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Madison, WI 53718  
(608) 274.3622
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159 Dixon Street  
Madison, WI 53704  
(608) 252.5423
  - Parcel area 73,526 square feet (1.69 acres)
  - Surveyed for: GreenbergFarms  
3455 Soil Creek Lane, Suite 100  
Arlington Heights, IL 60005

LEGAL DESCRIPTION

Parcel A:  
Lot Two (2) of Certified Survey Map No. 11320, being a redivision of Lots Sixteen (16), Seventeen (17) and part of Lot Thirteen (13), Regional East, located in the Northeast One-quarter (1/4) and Southwest One-quarter (1/4) of the Northwest One-quarter (1/4) of Section Twenty-seven (27), in Township Eight (8) North, Range Ten (10) East, in the City of Madison, County of Dane, State of Wisconsin, recorded in the Office of the Register of Deeds for Dane County on February 8, 2005 in Volume 68 of Certified Survey Maps, at Pages 252 to 255, inclusive, as Document No. 4019709.

Parcel B:  
Together with non-exclusive easements as contained in a Declaration of Easements recorded on February 8, 2005 as Document No. 4019710.

Tax Key No. 251/0810-272-0410-6  
4841 Annamark Drive

ALTA TITLE SURVEY CERTIFICATE

To: Texas Roadhouse Holdings LLC and First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with "Minimum Standards Detail Requirements for ALTA / ACSM Land Title Surveys", jointly established and adopted by ALTA, ACSM and NSPS in 1999, and includes Items 1, 2, 3, 4, 5, 7, 8, 9, 10 and 11 of Table A thereof. Pursuant to the accuracy standards as adopted by ALTA, ACSM and NSPS and in effect on the date of this certification, undersigned further certifies that proper field procedures, instrumentation and adequate survey personnel were employed in order to achieve results comparable to those outlined in the "Minimum Angle, Distance, and Closure Requirements which control land boundaries for ALTA / ACSM Land Title Surveys."

Dated at Madison, Wisconsin, this \_\_\_\_\_ day of November, 2005.

Wayne D. Barsness, Registered Land Surveyor, S-1561

DATE: 11-15-05  
SCALE: 1" = 30'  
RIDE.FN: 05-02-163  
DRAWN BY: ATC

ALTA/ACSM LAND TITLE SURVEY  
4841 ANNAMARK DRIVE  
Lot 2 Certified Survey Map No. 11320  
Located in the NE1/4 and SE1/4 of the NW1/4 of Section 27, T8N, R10E, FN: 05-02-163  
City of Madison, Dane County, Wisconsin

D'ONOFRIO, KOTKKE  
AND ASSOCIATES, INC.  
7530 WESTWARD WAY  
MADISON, WISCONSIN 53717  
TEL: 608-833-7530  
FAX: 608-833-1089

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY AND WAYS, MEANS AND METHODS OF CONSTRUCTION.

2. THE CONTRACTOR SHALL COMPLY WITH APPLICABLE STATE, FEDERAL, AND LOCAL CODES AND OBTAIN ALL NECESSARY LICENSES AND PERMITS.

3. THE GENERAL SPECIFICATION WHICH APPLY TO THE CONSTRUCTION WORK AS SHOWN ON THE ENGINEERING PLANS, ARE CONTAINED IN STANDARD SPECIFICATIONS, CONSTRUCTION DETAILS, AND/OR THE CITY'S ENGINEERING DEPARTMENT.

4. GENERAL GRADING

THE GRADING CONTRACTOR SHALL:

A. MAINTAIN PROPER SITE DRAINAGE AT ALL TIMES DURING THE COURSE OF CONSTRUCTION, AND PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.

B. SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS (EARTHWORK CONTRACTOR SHALL MAKE APPROPRIATE ADJUSTMENTS IN ROUGH GRADING TO ACCOMMODATE TRENCH SPOIL).

C. PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.

D. BACKFILL THE CURB AND GUTTER AFTERS ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL.

E. UNSUITABLE MATERIAL SHALL BE CONSIDERED AS MATERIAL WHICH IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION, AND IS ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUB-GRADE ELEVATION. THE DECISION TO REMOVE SAID MATERIAL, AND TO WHAT EXTENT, SHALL BE MADE BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.

5. GENERAL PAVING

THE PAVING CONTRACTOR SHALL:

A. REPAIR ANY BASE COURSE AND BINDER COURSE FAILURES PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS/ CONCRETE SURFACE COURSE.

B. SWEEP CLEAN THE BINDER COURSE PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS CONCRETE SURFACE COURSE. EXCESSIVE CLEANING OF THE BINDER COURSE THAT MAY BE REQUIRED, AND IS NOT THE FAULT OF THE PAVING CONTRACTOR, SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

6. INCIDENTAL TO CONSTRUCTION

THE CONTRACTOR SHALL:

A. ADHERE TO THE CRITERIA FOR THE SEPARATION BETWEEN WATERMAINS AND THE STORM AND SANITARY SEWER LINES AS DESCRIBED: WHEREVER A SANITARY/COMBINED SEWER CROSSES UNDER A WATERMAIN, THE MINIMUM VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATERMAIN SHALL BE 18 INCHES. FURTHERMORE, A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN SANITARY/COMBINED SEWERS AND WATERMAIN SHALL BE MAINTAINED UNLESS: THE SEWER IS LAID IN A SEPARATE TRENCH, KEEPING A MINIMUM 18 INCH VERTICAL SEPARATION; OR THE SEWER IS LAID IN THE SAME TRENCH WITH THE WATERMAIN LOCATED AT THE OPPOSITE SIDE ON A BENCH OF UNDISTURBED EARTH, KEEPING A MINIMUM 18 INCH VERTICAL SEPARATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF EITHER THE VERTICAL OR HORIZONTAL DISTANCES DESCRIBED ABOVE CANNOT BE MAINTAINED.

B. BE RESPONSIBLE TO PLACE GRADE AND COORDINATE WITH OTHER CONTRACTORS, ALL UNDERGROUND UTILITY STRUCTURE FRAMES SUCH AS MANHOLES, CATCH BASINS, AND INLETS.

C. BE AWARE OF POTENTIAL CONFLICTS WITH EXISTING UTILITIES. THE CONTRACTOR SHALL EXCAVATE AROUND THE EXISTING UTILITIES TO DETERMINE THEIR EXACT LOCATIONS AND ELEVATIONS PRIOR TO THE CONSTRUCTION OF THE PROPOSED UTILITY IMPROVEMENTS.

D. PROVIDE POURED CONCRETE FILLETS CONFORMING TO THE SHAPE OF THE PIPE IN ALL SANITARY AND STORM MANHOLES, AND INLETS.

E. BE RESPONSIBLE FOR MAINTAINING THE TOP OF ANY UTILITY TRENCH AT LEAST TWO (2) FEET AWAY FROM ANY EXISTING OR PROPOSED CURB OR PAVEMENT, IN THOSE INSTANCES WHERE THE TRENCH RUNS PARALLEL TO THE SAID CURB OR PAVEMENT.

F. BE RESPONSIBLE FOR THE DE-WATERING OF UTILITY TRENCHES DURING CONSTRUCTION AND PROVIDING THE NECESSARY TRENCH BRACING THAT MAY BE REQUIRED IN ORDER TO ADHERE TO CURRENT SAFETY STANDARDS.

G. REMOVE SOFT MATERIAL THAT MAY BE ENCOUNTERED AT THE PIPE INVERT ELEVATION TO A DEPTH OF AT LEAST ONE (1) FOOT BELOW THE BOTTOM OF THE PIPE, AND BACKFILL WITH COMPACTED BEDDING MATERIAL.

H. REMOVE ALL EXCESS MATERIAL OFF THE SITE OR TO AN APPROVED LOCATIONS DESIGNATED BY THE OWNER.

I. COMPLETE ANY REQUIRED ADJUSTMENTS OR RECONSTRUCTION TO ANY EXISTING UTILITY STRUCTURES TO THE SATISFACTION OF THE UTILITY OWNER. ADJUSTMENTS AND/OR RECONSTRUCTION NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. NO MORE THAN A TOTAL OF EIGHT (8) INCHES OF ADJUSTING RINGS SHALL BE ALLOWED.

7. TESTING AND FINAL ACCEPTANCE

A. THE CONTRACTOR SHALL PROVIDE AS A MINIMUM, A FULLY LOADED SIX-WHEEL TRUCK FOR PROOF ROLLING THE PAVEMENT SUB-GRADE PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND THE BASE MATERIAL.

B. SPECIFIC COMPACTION TESTING MAY BE REQUIRED BY THE OWNER IN SELECTED FILL AREAS. THE CONTRACTOR SHALL BEAR THE COST OF COMPACTION TESTING AS WELL AS THE RESPONSIBILITY FOR THE NECESSARY CORRECTIONS.

C. APPROVAL OF THE PAVEMENT SUB-GRADE BY THE OWNER'S GEOTECHNICAL ENGINEER SHALL BE REQUIRED PRIOR TO THE PLACEMENT OF THE PAVEMENT MATERIAL.

D. SANITARY SEWER MAINS AND SERVICES SHALL BE TESTED FOR LEAKAGE AND DEFLECTION IN ACCORDANCE WITH THE REQUIREMENT OF THE LOCAL JURISDICTIONAL AUTHORITIES PRIOR TO THEIR FINAL ACCEPTANCE. ALLOWABLE TESTING LIMITS SHALL BE AS DESCRIBED IN THE "GENERAL SPECIFICATIONS" UNLESS THE LOCAL REQUIREMENTS ARE MORE RESTRICTIVE. SERVICE STUBS MUST BE PROPERLY PLUGGED AND SEALED AND CLEARLY LOCATED AT THEIR TERMINATION POINTS PRIOR TO TESTING. ALL SEWER MAINS, SERVICE LINES, AND MANHOLES SHALL BE CLEAN AND FREE OF DEBRIS PRIOR TO THEIR FINAL ACCEPTANCE.

E. WATERMAINS SHALL BE TESTED IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL REQUIREMENTS PRIOR TO ITS FINAL ACCEPTANCE. THE PRESSURE AND LEAKAGE TESTS AND DISINFECTION OF THE MAINS SHALL BE DESCRIBED IN THE SPECIFICATIONS OR FROM THE LOCAL REQUIREMENTS, WHICH EVER ARE MORE RESTRICTIVE. ALL VALVE VAULTS SHALL BE CLEAN AND FREE OF DEBRIS AND WATER PRIOR TO THEIR FINAL ACCEPTANCE. THE INDIVIDUAL SERVICE BOXES SHALL BE VISIBLE AND CLEARLY LOCATED PRIOR TO THEIR FINAL ACCEPTANCE.

F. SPECIAL CONDITIONS - ALTERNATE SOLUTIONS SHALL BE PRESENTED TO THE CITY OR STATE APPLICABLE AGENCIES WHEN EXTREME TOPOGRAPHICAL, GEOLOGICAL OR EXISTING STRUCTURAL CONDITIONS MAKE STRICT COMPLIANCE WITH THE ABOVE (D) OR (E) TECHNICALLY AND ECONOMICALLY IMPRACTICAL. ALTERNATE SOLUTIONS WILL BE APPROVED PROVIDED WATERTIGHT CONSTRUCTION STRUCTURALLY EQUIVALENT TO APPROVED WATERMAIN MATERIAL IS PROPOSED.

G. WATERMAINS AND WATER SERVICE LINES SHALL BE PROTECTED AGAINST ENTRANCE OF HYDROCARBONS THROUGH DIFFUSION AND THROUGH ANY MATERIAL USED IN CONSTRUCTION OF THE LINE.

B. MINIMUM REQUIREMENT FOR MANHOLE STRUCTURES

A. THE FRAME LIP SHALL BE CLEANED OF ALL MUD AND DERRIS TO PROVIDE WATERTIGHT SEAL BETWEEN THE FRAME AND THE MANHOLE COVER GASKET.

B. MORTAR SHALL BE USED BETWEEN THE FRAME AND ADJUSTING RINGS AND BETWEEN ADJUSTING RINGS AND THE CONE SECTION IN ALL PAVED AREAS. E-2 STICK MAY BE USED IN LANDSCAPE AREAS.

C. ALL STEPS MUST BE INSTALLED, ALIGNED AND CLEANED.

D. ALL PINHOLES MUST BE MORTARED WITH BRUSH FINISH TO PROVIDE A WATERTIGHT SEAL.

E. THE UPSTREAM AND DOWNSTREAM PIPE CAVITIES MUST BE FILLED WITH MORTAR AND SMOOTHED WITH A BRUSH FINISH.

F. THE UPSTREAM AND DOWNSTREAM FLOW LINES (INVERTS) SHALL HAVE A SMOOTH TRANSITION FROM THE PIPE TO THE MANHOLE INVERT.

G. ALL MANHOLE STRUCTURES SHALL BE FREE OF ANY TYPE OF INFILTRATION (WATER LEAKING INTO THE STRUCTURE).

H. IF THERE IS AN INTERNAL DROP IN THE STRUCTURE THERE MUST BE A SMOOTH TRANSITION FROM THE PIPE TO THE INVERT (I.E. CHANNEL THE FLOW FROM THE PIPE TO THE MANHOLE INVERT).

I. ALL MANHOLES SHALL BE CLEANED OF ANY ACCUMULATION OF SILT, DEBRIS, OR FOREIGN MATTER OF ANY KIND, AND SHALL BE FREE FROM SUCH ACCUMULATIONS AT THE TIME OF FINAL INSPECTION.

GreenbergFarrow

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PROFESSIONAL SEAL

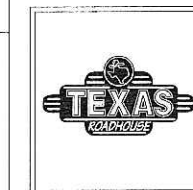
PROFESSIONAL IN CHARGE  
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PROJECT MANAGER  
ALFONSO INCASATI, PE  
QUALITY CONTROL  
SOMSAK KACSWASTI, PE  
DRAWN BY  
DAN ANGSPATT, EIT

PROJECT NAME

TEXAS ROADHOUSE

MADISON WISCONSIN

(SQ) US 151  
(WASHINGTON AVENUE)  
& I-39



PROJECT NUMBER

20050922.8

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

C-1.0

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PRELIMINARY



**GENERAL LAYOUT NOTES**

1. CONTRACTOR MUST SECURE ALL NECESSARY PERMITS PRIOR TO STARTING WORK.
2. IF THE CONTRACTOR, IN THE COURSE OF THE WORK, FINDS ANY DISCREPANCIES BETWEEN THE PLANS AND THE PHYSICAL CONDITIONS OF THE LOCALITY, OR ANY ERRORS OR OMISSIONS IN THE PLANS OR IN THE LAYOUT AS GIVEN BY THE ENGINEER, IT SHALL BE THEIR DUTY TO IMMEDIATELY INFORM THE ENGINEER, IN WRITING, AND THE ENGINEER WILL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH A DISCOVERY, UNTIL AUTHORIZED, WILL BE AT THE CONTRACTOR'S RISK.
3. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
5. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES FOR EXECUTION OF ALL MATERIALS, AND THE EXCLUSION OF THE WORK SHALL BE IN ACCORDANCE WITH THE STATE AND LOCAL CODES, RULES AND REGULATIONS.
6. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE STATE AND LOCAL GOVERNMENT AGENCY LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
7. ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODE.
8. NOTIFY THE CITY INSPECTOR TWENTY-FOUR (24) HOURS BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
9. THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS, AND STAKES.
10. ARCHITECTURAL PLANS ARE TO BE USED FOR BUILDING STAKE OUT.
11. ALL DIMENSIONS ARE FROM FACE OF BUILDING, CURB, AND WALL UNLESS OTHERWISE SPECIFIED ON PLANS.
12. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY, AND THAT THE ADJOINING PROPERTY SHALL BE PROTECTED FROM DAMAGE.
13. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATION.
14. THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
15. THE CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
16. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
17. ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE AND LOCAL GOVERNMENT AGENCY SPECIFICATIONS.

**PROJECT INFORMATION**

SITE ADDRESS: 4841 ANNAMARK DRIVE  
MADISON, WISCONSIN

TEXAS ROADHOUSE SITE AREA: 1.688 ACRES  
OFFSITE PARKING SITE AREA: 0.409 ACRES

TOTAL AREA: 2.097 ACRES

# OF BUILDING STORIES (ABOVE GRADE): 1

BUILDING HEIGHT: 27.5 FT

TOTAL SQUARE FOOTAGE OF BUILDING: 7135 SF

USE OF PROPERTY: RESTAURANT

CAPACITY OF RESTAURANT: 239 SEATS

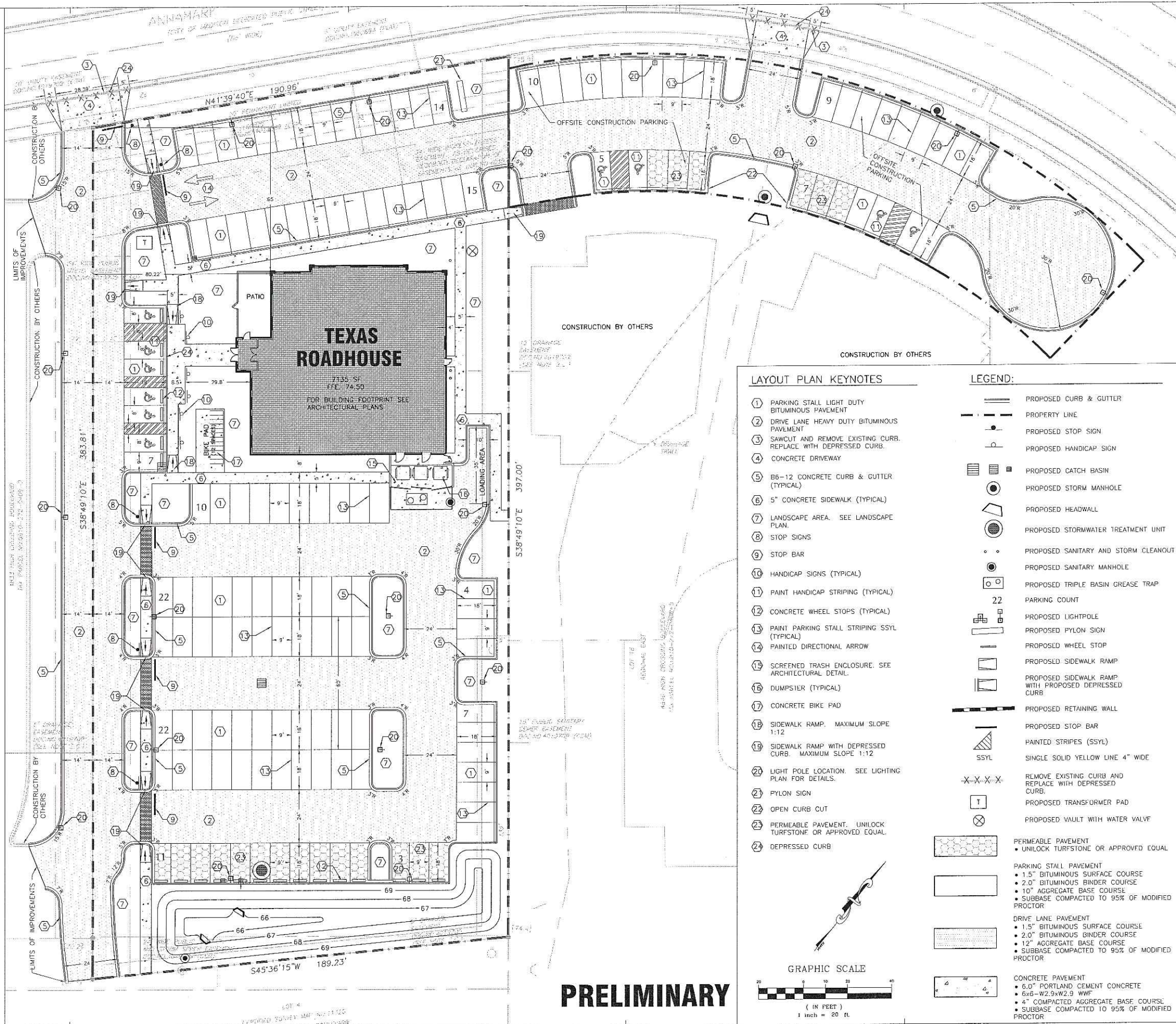
NUMBER OF BICYCLE STALLS: 12

PARKING:

- TRH SITE STALLS: 109
- HANDICAP ACCESSIBLE: 6
- TOTAL TRH SITE STALLS: 115

OFFSITE PARKING STALLS: 27

- HANDICAP ACCESSIBLE: 4
- TOTAL OFFSITE PARKING STALLS: 31



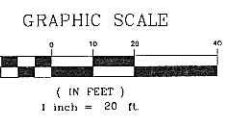
**PRELIMINARY**

**LAYOUT PLAN KEYNOTES**

1. PARKING STALL LIGHT DUTY BITUMINOUS PAVEMENT
2. DRIVE LANE HEAVY DUTY BITUMINOUS PAVEMENT
3. SAWCUT AND REMOVE EXISTING CURB. REPLACE WITH DEPRESSED CURB.
4. CONCRETE DRIVEWAY
5. B6-12 CONCRETE CURB & GUTTER (TYPICAL)
6. 5" CONCRETE SIDEWALK (TYPICAL)
7. LANDSCAPE AREA. SEE LANDSCAPE PLAN.
8. STOP SIGNS
9. STOP BAR
10. HANDICAP SIGNS (TYPICAL)
11. PAINT HANDICAP STRIPING (TYPICAL)
12. CONCRETE WHEEL STOPS (TYPICAL)
13. PAINT PARKING STALL STRIPING SSYL (TYPICAL)
14. PAINTED DIRECTIONAL ARROW
15. SCREENED TRASH ENCLOSURE. SEE ARCHITECTURAL DETAIL.
16. DUMPSTER (TYPICAL)
17. CONCRETE BIKE PAD
18. SIDEWALK RAMP. MAXIMUM SLOPE 1:12
19. SIDEWALK RAMP WITH DEPRESSED CURB. MAXIMUM SLOPE 1:12
20. LIGHT POLE LOCATION. SEE LIGHTING PLAN FOR DETAILS.
21. PYLON SIGN
22. OPEN CURB CUT
23. PERMEABLE PAVEMENT. UNILOCK TURFSTONE OR APPROVED EQUAL.
24. DEPRESSED CURB

**LEGEND:**

- PROPOSED CURB & GUTTER
- - - PROPERTY LINE
- PROPOSED STOP SIGN
- PROPOSED HANDICAP SIGN
- PROPOSED CATCH BASIN
- PROPOSED STORM MANHOLE
- ▭ PROPOSED HEADWALL
- PROPOSED STORMWATER TREATMENT UNIT
- PROPOSED SANITARY AND STORM CLEANOUT
- PROPOSED SANITARY MANHOLE
- PROPOSED TRIPLE BASIN GREASE TRAP
- 22 PARKING COUNT
- PROPOSED LIGHTPOLE
- PROPOSED PYLON SIGN
- ▭ PROPOSED WHEEL STOP
- ▭ PROPOSED SIDEWALK RAMP
- ▭ PROPOSED SIDEWALK RAMP WITH PROPOSED DEPRESSED CURB
- ▭ PROPOSED RETAINING WALL
- ▭ PROPOSED STOP BAR
- SSYL PAINTED STRIPES (SSYL)
- SSYL SINGLE SOLID YELLOW LINE 4" WIDE
- X-X-X- REMOVE EXISTING CURB AND REPLACE WITH DEPRESSED CURB.
- T PROPOSED TRANSFORMER PAD
- ⊗ PROPOSED VAULT WITH WATER VALVE
- PERMEABLE PAVEMENT
- UNILOCK TURFSTONE OR APPROVED EQUAL
- PARKING STALL PAVEMENT
- 1.5" BITUMINOUS SURFACE COURSE
- 2.0" BITUMINOUS BINDER COURSE
- 10" AGGREGATE BASE COURSE
- SUBBASE COMPACTED TO 95% OF MODIFIED PROCTOR
- DRIVE LANE PAVEMENT
- 1.5" BITUMINOUS SURFACE COURSE
- 2.0" BITUMINOUS BINDER COURSE
- 12" AGGREGATE BASE COURSE
- SUBBASE COMPACTED TO 95% OF MODIFIED PROCTOR
- CONCRETE PAVEMENT
- 6.0" PORTLAND CEMENT CONCRETE
- 6x6-W2.9xW2.9 WWF
- 4" COMPACTED AGGREGATE BASE COURSE
- SUBBASE COMPACTED TO 95% OF MODIFIED PROCTOR



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**PROJECT MANAGER**  
ALONSO INCHAUSTI, PE  
**QUALITY CONTROL**  
SONIAK KACSMASI, PE  
**DRAWN BY**  
DAN ANGSPATT, EIT

**PROJECT NAME**  
**TEXAS ROADHOUSE**

**MADISON WISCONSIN**

**(SWQ) US 151 (WASHINGTON AVENUE) & I-39**



**PROJECT NUMBER**  
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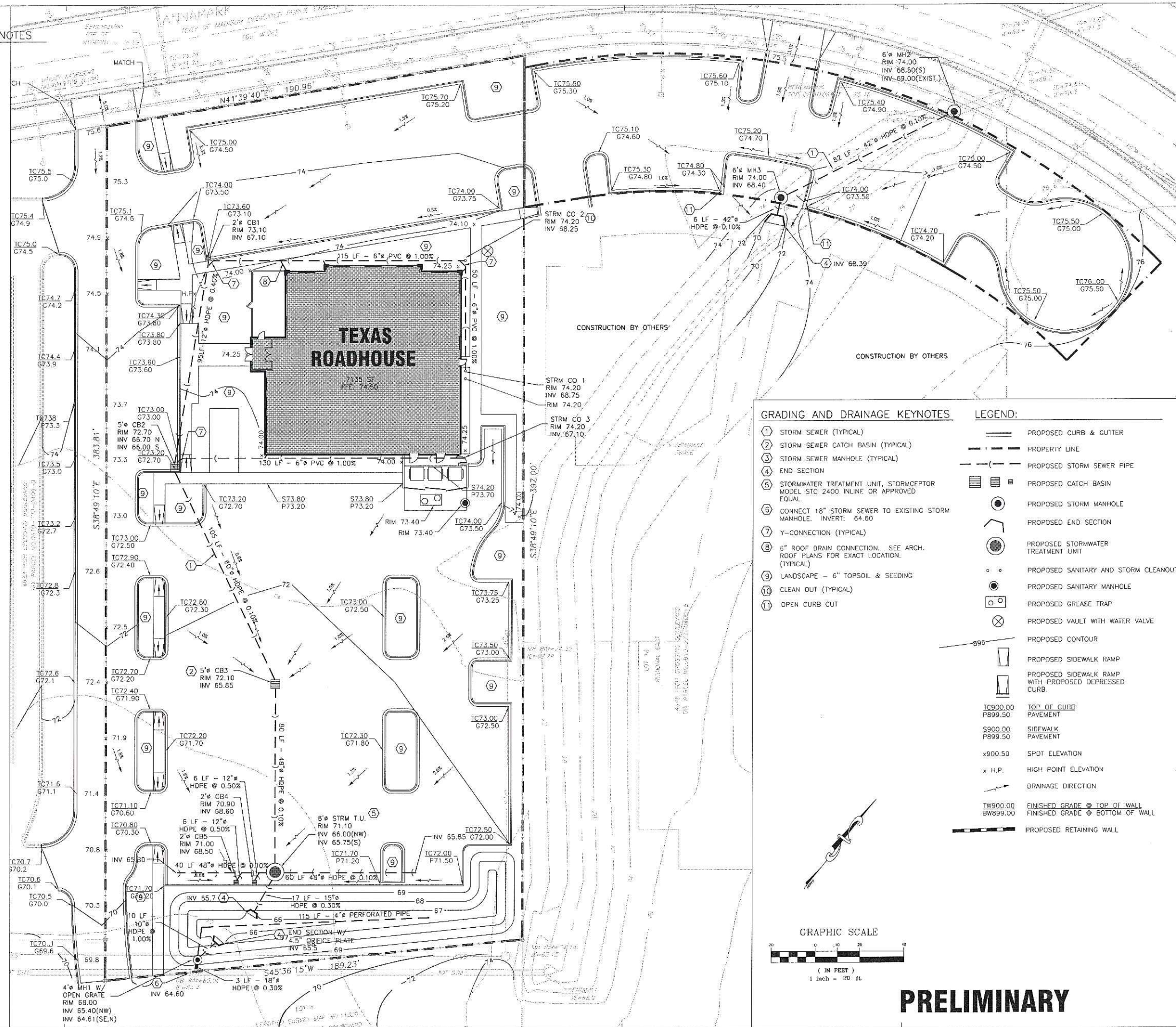
**SHEET TITLE**  
**LAYOUT PLAN**

**SHEET NUMBER**  
**C-2.0**

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**GENERAL GRADING AND DRAINAGE NOTES**

1. ALL GRADING AND SITE PREPARATION SHALL CONFORM WITH SPECIFICATIONS CONTAINED IN THE GEOTECHNICAL REPORT.
2. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE CITY LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
3. PRIOR TO ANY EXCAVATION OF THE PROJECT SITE, THE CONTRACTOR SHALL NOTIFY THE CITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS AND STAKES.
5. ALL INDICATED ELEVATIONS ARE FINISHED ELEVATIONS.
6. FIELD VERIFY LOCATIONS, SIZES AND IF APPLICABLE INVERTS OF EXISTING UTILITIES FOR PROPOSED CONNECTIONS PRIOR TO CONSTRUCTION.
7. LOCATE AND PROTECT ALL UTILITIES ASSOCIATED WITH THE PROJECT PRIOR TO CONSTRUCTION.
8. INSTALL SILT CONTROL MEASURES BEFORE BEGINNING SITE WORK. THESE MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
9. MAINTAIN PROPER SITE DRAINAGE AT ALL TIMES DURING CONSTRUCTION. PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.
10. INSTALL ALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO GRADING.
11. CUT AND FILL SLOPES SHALL HAVE A MAXIMUM SLOPE OF 2:1.
12. ALL EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, THE CONSTRUCTION OF EMBANKMENTS, CONSTRUCTION FILLS, AND THE FINAL SHAPING AND TRIMMING TO THE LINES AND GRADES SHOWN ON THE PLANS.
13. ALL TREES, BRUSH, AND ORGANIC TOPSOIL AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED, UNLESS OTHERWISE SPECIFIED, AND DISPOSED OF AT AN OFF-SITE LOCATION, WITH THE EXCEPTION THAT ENOUGH TOPSOIL SHALL BE RETAINED FOR RESURFACING AND GENERAL LANDSCAPING. AREAS WHICH ARE TO BE FILLED SHALL BE COMPACTED TO A MAXIMUM DENSITY OF 95% AS DETERMINED BY THE MODIFIED AASHTO COMPACTION TEST IN THE PAVED AREAS AND 85% IN THE OTHER AREAS.
14. STRIP AND STOCKPILE TOPSOIL. SPREAD FOUR (4) INCHES MINIMUM OF TOPSOIL ON LANDSCAPE AREAS AND REMOVE EXCESS TOPSOIL FROM SITE. PREPARE SUB-GRADE FOR PAVEMENT AND CURBS AND BACKFILL CURBS AFTER CURB CONSTRUCTION.
15. PROVIDE SUPPLY OF TOPSOIL FOR LANDSCAPE CONTRACTOR FOR INSTALLATION IN ALL LANDSCAPE ISLANDS.
16. PROVIDE AND INSTALL TOPSOIL IN DISTURBED AREAS TO BE GRASSED, TO INCLUDE PAVEMENT SHOULDERS AND DETENTION AREAS.
17. ALL EARTHWORK AND BASE COURSE FOR THE PARKING AREA SHALL BE COMPACTED TO A MINIMUM OF 95% MODIFIED LABORATORY DENSITY. CERTIFICATION SAID CONTRACTOR SHALL BE SUBMITTED BY THE CONTRACTOR TO THE ENGINEER, OR HIS/HER REPRESENTATIVE, PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL. BOTH PROOF ROLLING AND COMPACTION TESTING MUST BE APPROVED AND WITNESSED BY THE ENGINEER OR OWNER REPRESENTATIVE.
18. THE PAVEMENT SUBGRADE AND BASE COURSE MATERIAL SHALL BE INSPECTED AND APPROVED BY THE ENGINEER OR OWNER REPRESENTATIVE PRIOR TO CONSTRUCTING THE BASE AND SURFACE COURSES THEREON.
19. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO ALL INLETS AND CATCH BASINS. AREAS OF SURFACE OPENINGS SHALL BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
20. IF AREAS ARE DISTURBED BEYOND PROPOSED GRADES BY NEGLIGENCE OF THE CONTRACTOR, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY REGRADING OR REPAIR TO MATCH ORIGINAL EXISTING CONDITIONS.
21. SHORING SHALL BE DONE AS NECESSARY FOR THE PROTECTION OF THE WORK AND FOR THE SAFETY OF PERSONNEL. SHORING SHALL BE IN ACCORDANCE WITH ALL O.S.H.A. AND LOCAL REGULATIONS.
22. SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.

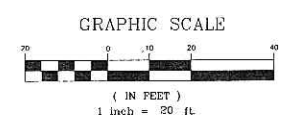


**GRADING AND DRAINAGE KEYNOTES**

- ① STORM SEWER (TYPICAL)
- ② STORM SEWER CATCH BASIN (TYPICAL)
- ③ STORM SEWER MANHOLE (TYPICAL)
- ④ END SECTION
- ⑤ STORMWATER TREATMENT UNIT, STORMCEPTOR MODEL STC 2400 INLINE OR APPROVED EQUAL
- ⑥ CONNECT 18" STORM SEWER TO EXISTING STORM MANHOLE. INVERT: 64.60
- ⑦ Y-CONNECTION (TYPICAL)
- ⑧ 6" ROOF DRAIN CONNECTION. SEE ARCH. ROOF PLANS FOR EXACT LOCATION. (TYPICAL)
- ⑨ LANDSCAPE - 6" TOPSOIL & SEEDING
- ⑩ CLEAN OUT (TYPICAL)
- ⑪ OPEN CURB CUT

**LEGEND:**

- PROPOSED CURB & GUTTER
- - - PROPERTY LINE
- - - PROPOSED STORM SEWER PIPE
- ▭ PROPOSED CATCH BASIN
- PROPOSED STORM MANHOLE
- ⌋ PROPOSED END SECTION
- PROPOSED STORMWATER TREATMENT UNIT
- PROPOSED SANITARY AND STORM CLEANOUT
- PROPOSED SANITARY MANHOLE
- PROPOSED GREASE TRAP
- ⊗ PROPOSED VAULT WITH WATER VALVE
- PROPOSED CONTOUR
- ▭ PROPOSED SIDEWALK RAMP
- ▭ PROPOSED SIDEWALK RAMP WITH PROPOSED DEPRESSED CURB
- IC900.00 P899.50 TOP OF CURB PAVEMENT
- S900.00 P899.50 SIDEWALK PAVEMENT
- x900.50 SPOT ELEVATION
- x H.P. HIGH POINT ELEVATION
- DRAINAGE DIRECTION
- TH900.00 BW899.00 FINISHED GRADE @ TOP OF WALL
- FINISHED GRADE @ BOTTOM OF WALL
- PROPOSED RETAINING WALL



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**PROJECT MANAGER**  
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**QUALITY CONTROL**  
SOMSAK KAGSMAST, PE  
**DRAWN BY**  
DAN ANGSPAT, EIT

**PROJECT NAME**  
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**MADISON WISCONSIN**

**(SWQ) US 151 (WASHINGTON AVENUE) & I-39**



**PROJECT NUMBER**  
20050922.8

**SHEET TITLE**  
GRADING AND DRAINAGE PLAN

**SHEET NUMBER**  
**C-3.0**

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**PROJECT NUMBER**  
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**SHEET TITLE**

**UTILITY PLAN**

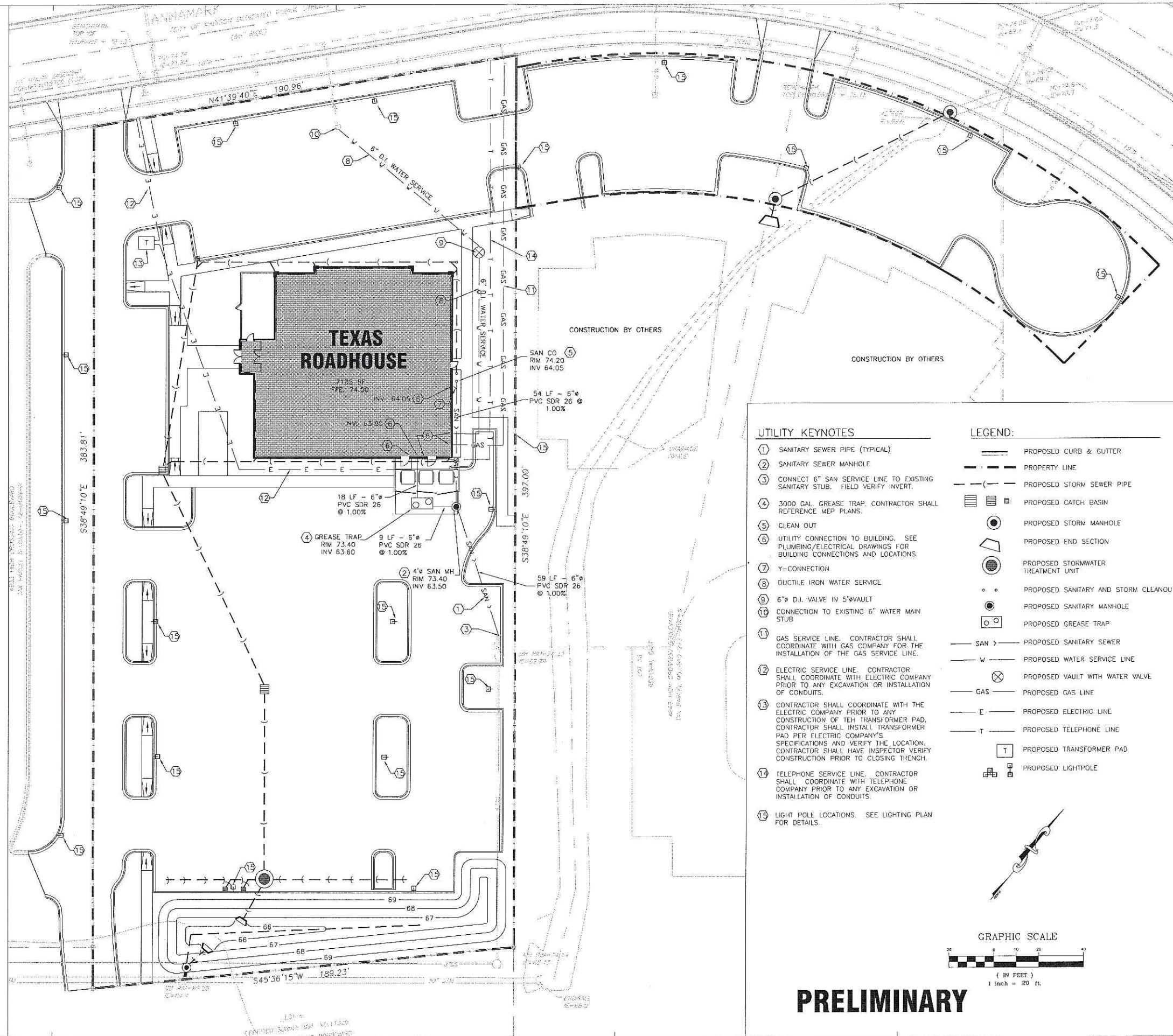
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**C-4.0**

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**GENERAL UTILITY NOTES**

- CONTRACTOR IS TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND ENSURE NO CONFLICTS EXIST WITH PROPOSED IMPROVEMENTS. NOTIFY ENGINEER IMMEDIATELY IF UTILITIES ARE LOCATED DIFFERENTLY THAN SHOWN. THE CONTRACTOR SHALL COORDINATE WITH EACH RESPECTIVE UTILITY COMPANY IN ORDER TO RELOCATE IF NEEDED IN CONFORMANCE WITH THEIR GUIDELINES.
- CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO THE REMOVAL OF INDICATED UTILITIES ON SITE. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ANY PERMITS REQUIRED FOR DEMOLITION AND HAUL OFF FROM THE APPROPRIATE AUTHORITIES.
- THE CITY OF SHALL BE NOTIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION BEGINS, AND AT THE VARIOUS STAGES IN CONSTRUCTION. THE AUTHORITY SHALL BE GIVEN A 24 HOUR ADVANCE NOTICE BEFORE AN INSPECTION IS NEEDED.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY, PRIOR TO CONSTRUCTION, ALL EXISTING LOCATIONS AND INVERT ELEVATIONS OF SANITARY SEWERS, STORM DRAINAGE, AND WATER MAINS. IF ANY INVERT ELEVATION VARIES MORE THAN 0.1 FT. FROM RECORD ELEVATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. WORK SHALL NOT PROCEED UNTIL THE CONTRACTOR IS NOTIFIED BY THE ENGINEER.
- LOCATE AND PROTECT ALL UTILITIES ASSOCIATED WITH THE PROJECT PRIOR TO CONSTRUCTION. REPAIR ALL DAMAGES MADE TO EXISTING UTILITIES AT NO COST TO THE OWNER.
- CONNECT TO EXISTING UTILITIES AND INSTALL UTILITIES IN COMPLIANCE WITH REQUIREMENTS OF APPROPRIATE JURISDICTIONAL AGENCIES.
- COORDINATE WITH BUILDING PLANS TO ASSURE ACCURACY OF UTILITY CONNECTIONS AND COMPLIANCE WITH LOCAL CODES.
- ALL SEWERS TO BE MAINTAINED THROUGHOUT CONSTRUCTION, INCLUDING CLEANING OF ANY SILT OR DEBRIS ACCUMULATED IN STRUCTURES.
- ALL TRENCHES FOR THE CONSTRUCTION OF SEWERS AND THE EXCAVATION AROUND STRUCTURES AND OTHER APPURTENANCES WHICH OCCUR WITH THE LIMITS OF EXISTING OR PROPOSED PAVEMENTS, OR WHERE THE EDGE OF THE TRENCH SHALL BE WITHIN TWO (2) FEET OF SAID IMPROVEMENTS, SHALL BE BACKFILLED WITH COMPACTED GRANULAR TRENCH BACKFILL.
- ALL SURPLUS EXCAVATED MATERIAL FROM THE TRENCH SHALL BE DISPOSED OFF THE SITE BY CONTRACTOR.
- COORDINATE EXACT TRENCHING, ROUTING, AND POINT OF TERMINATION WITH ALL UTILITY COMPANIES.
- SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.



**UTILITY KEYNOTES**

- SANITARY SEWER PIPE (TYPICAL)
- SANITARY SEWER MANHOLE
- CONNECT 6" SAN SERVICE LINE TO EXISTING SANITARY STUB. FIELD VERIFY INVERT.
- 3000 GAL. GREASE TRAP. CONTRACTOR SHALL REFERENCE MEP PLANS.
- CLEAN OUT
- UTILITY CONNECTION TO BUILDING. SEE PLUMBING/ELECTRICAL DRAWINGS FOR BUILDING CONNECTIONS AND LOCATIONS.
- Y-CONNECTION
- DUCTILE IRON WATER SERVICE
- 6" D.I. VALVE IN 5' VAULT
- CONNECTION TO EXISTING 6" WATER MAIN STUB
- GAS SERVICE LINE. CONTRACTOR SHALL COORDINATE WITH GAS COMPANY FOR THE INSTALLATION OF THE GAS SERVICE LINE.
- ELECTRIC SERVICE LINE. CONTRACTOR SHALL COORDINATE WITH ELECTRIC COMPANY PRIOR TO ANY EXCAVATION OR INSTALLATION OF CONDUITS.
- CONTRACTOR SHALL COORDINATE WITH THE ELECTRIC COMPANY PRIOR TO ANY CONSTRUCTION OF THE TRANSFORMER PAD. CONTRACTOR SHALL INSTALL TRANSFORMER PAD PER ELECTRIC COMPANY'S SPECIFICATIONS AND VERIFY THE LOCATION. CONTRACTOR SHALL HAVE INSPECTOR VERIFY CONSTRUCTION PRIOR TO CLOSING TRENCH.
- TELEPHONE SERVICE LINE. CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY PRIOR TO ANY EXCAVATION OR INSTALLATION OF CONDUITS.
- LIGHT POLE LOCATIONS. SEE LIGHTING PLAN FOR DETAILS.

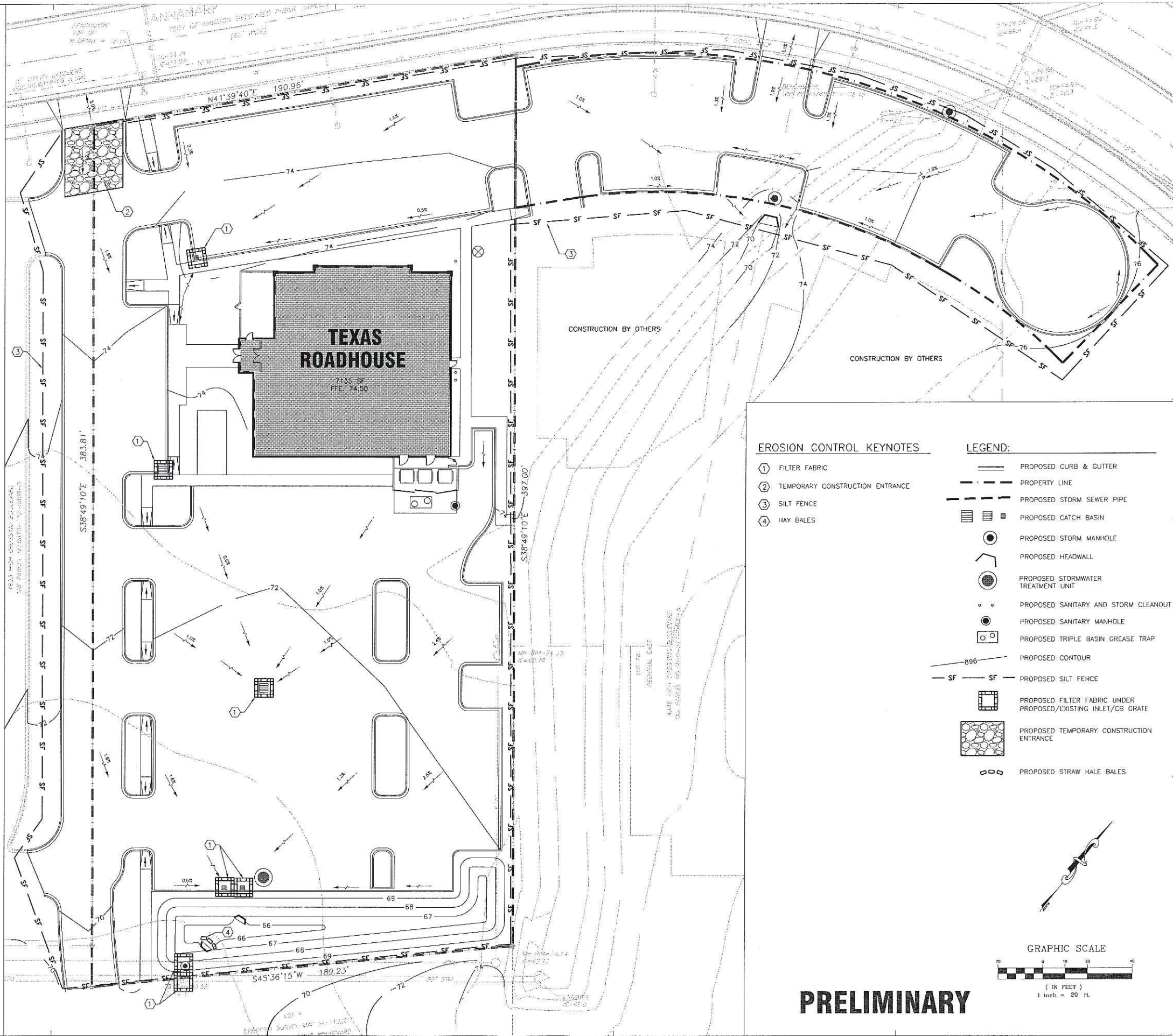
**LEGEND:**

- PROPOSED CURB & GUTTER
- PROPERTY LINE
- PROPOSED STORM SEWER PIPE
- PROPOSED CATCH BASIN
- PROPOSED STORM MANHOLE
- PROPOSED END SECTION
- PROPOSED STORMWATER TREATMENT UNIT
- PROPOSED SANITARY AND STORM CLEANOUT
- PROPOSED SANITARY MANHOLE
- PROPOSED GREASE TRAP
- PROPOSED SANITARY SEWER
- PROPOSED WATER SERVICE LINE
- PROPOSED VAULT WITH WATER VALVE
- PROPOSED GAS LINE
- PROPOSED ELECTRIC LINE
- PROPOSED TELEPHONE LINE
- PROPOSED TRANSFORMER PAD
- PROPOSED LIGHTPOLE

**PRELIMINARY**

**GENERAL EROSION CONTROL NOTES**

1. PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS.
2. INSTALL SEDIMENTATION AND EROSION CONTROL MEASURES PRIOR TO CLEARING, GRADING AND DEMOLITION WORK. MAINTAIN ALL SEDIMENT AND EROSION CONTROL, AND TREE PROTECTION MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
3. ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATIONS AT THE DIRECTION OF THE CITY'S ENGINEERING DEPARTMENT.
4. PRIOR TO ANY OTHER CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT EACH ENTRY TO OR EXIT FROM THE SITE. CONTRACTOR SHALL MAINTAIN CONSTRUCTION ENTRANCE UNTIL SITE PAVING IS COMPLETE.
5. THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO THE PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN-OUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED BY VEHICLE OFF-SITE ONTO PUBLIC ROADWAY OR INTO STORM DRAINS MUST BE REMOVED.
6. IMMEDIATELY AFTER THE ESTABLISHMENT OF CONSTRUCTION ENTRANCES/EXITS, ALL PERIMETER EROSION CONTROL DEVICES AND STORM WATER MANAGEMENT DEVICES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
7. EROSION CONTROL DEVICES SHALL BE INSTALLED IMMEDIATELY AFTER GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
8. THE CONSTRUCTION OF THE SITE WILL INITIATE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. ALL SEDIMENT CONTROL WILL BE MAINTAINED UNTIL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION AND ALL ROADS/DRIVES HAVE BEEN PAVED.
9. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES WHILE IMPROVEMENTS ARE BEING MADE. TRAFFIC CONTROL MEASURES TO BE IN ACCORDANCE WITH MUTCD.
10. ALL SILT BARRIERS MUST BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL SILT BARRIER INSTALLATION AND DETENTION FACILITIES, IF REQUIRED, ARE CONSTRUCTED.
11. CONTRACTOR SHALL PERFORM EROSION CONTROL INSPECTIONS REGULARLY AND IMMEDIATELY FOLLOWING HEAVY RAIN STORMS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY. REPAIR OR REPLACE FAILED SYSTEMS AT THE EARLIEST POSSIBLE DATE.
12. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.
13. ALL DISTURBED AREAS, WITH NO SPECIFIED GROUND COVER ARE TO BE RESTORED WITH MINIMUM SIX (6) INCHES OF TOPSOIL AND SEEDING.
14. ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATIONS AT THE DIRECTION OF THE CITY'S ENGINEERING DEPARTMENT.

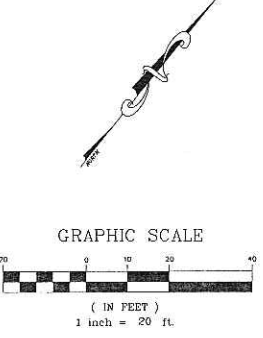


**EROSION CONTROL KEYNOTES**

- ① FILTER FABRIC
- ② TEMPORARY CONSTRUCTION ENTRANCE
- ③ SILT FENCE
- ④ HAY BALES

**LEGEND:**

- PROPOSED CURB & GUTTER
- - - PROPERTY LINE
- - - PROPOSED STORM SEWER PIPE
- ▢ PROPOSED CATCH BASIN
- PROPOSED STORM MANHOLE
- ◡ PROPOSED HEADWALL
- PROPOSED STORMWATER TREATMENT UNIT
- PROPOSED SANITARY AND STORM CLEANOUT
- PROPOSED SANITARY MANHOLE
- PROPOSED TRIPLE BASIN GREASE TRAP
- 896 — PROPOSED CONTOUR
- SF - SF - PROPOSED SILT FENCE
- ▣ PROPOSED FILTER FABRIC UNDER PROPOSED/EXISTING INLET/CB GRATE
- ▨ PROPOSED TEMPORARY CONSTRUCTION ENTRANCE
- PROPOSED STRAW HALE BALES



**PRELIMINARY**

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 Atlanta, GA 30339  
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**ISSUE/REVISION RECORD**

DATE	DESCRIPTION
12-21-05	90% CITY SUBMITTAL
01-30-06	CITY RESUBMITTAL

**PROFESSIONAL SEAL**

**PROFESSIONAL IN CHARGE**  
 JOHN MOURZAD, PE  
**PROJECT MANAGER**  
 ALFONSO INCHASTI, PE  
**QUALITY CONTROL**  
 SOMSAK KASOMAST, PE  
**DRAWN BY**  
 DAN ANGSPATT, EIT

**PROJECT NAME**  
**TEXAS ROADHOUSE**

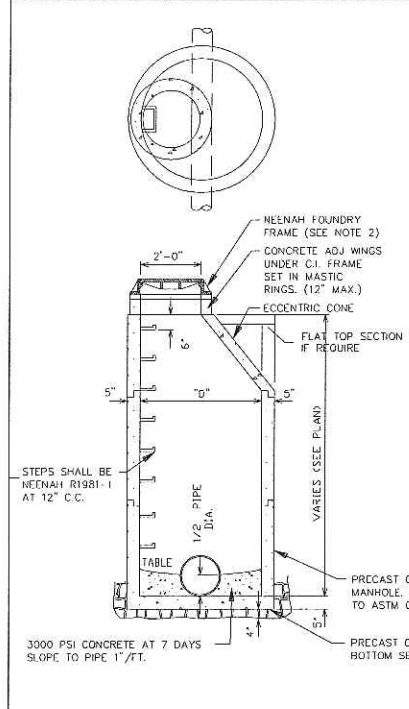
**MADISON WISCONSIN**  
 (SWQ) US 151  
 (WASHINGTON AVENUE) & I-39



**PROJECT NUMBER**  
 20050922.8

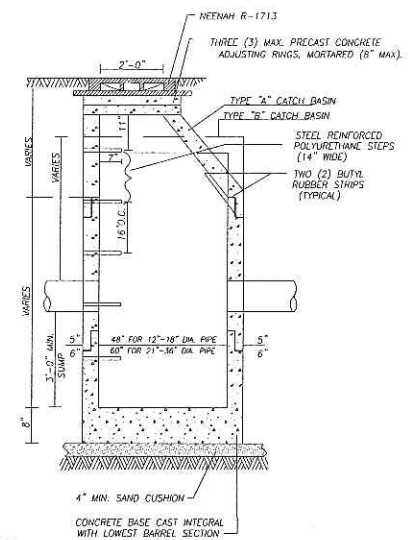
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**EROSION CONTROL PLAN**

**SHEET NUMBER**  
**C-5.0**  
 NOT ISSUED FOR CONSTRUCTION



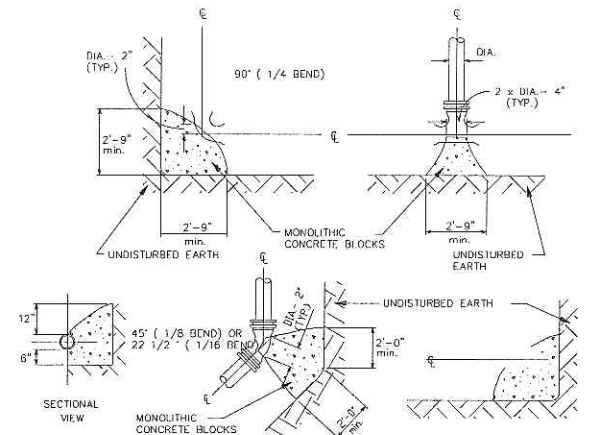
**STORM & SAN SEWER MANHOLE, TYPE A**  
SCALE: NONE

- NOTES:**
1. PROVIDE MINIMUM 4" OF PIPE BEDDING MATERIAL UNDER MANHOLE BOTTOM SECTION & FILL ENTIRE EXCAVATION ALL AROUND MANHOLE UP TO C OF SEWER WITH BEDDING MATERIAL.
  2. FRAME & GRATE SHALL BE ONE OF THE FOLLOWING:  
R-1015 FOR SANITARY MANHOLES  
R-2014 TYPE "D" GRATE FOR INLETS IN PAVED AREAS.  
R-2050-EB FOR INLETS IN NON-PAVED AREAS.  
SEE PLAN FOR SPECIFIC.
  3. PIPE SECTION SHALL BE LAID THRU MANHOLE TO FORM CHANNEL & TOP HALF BROKEN OUT EVEN WITH CONCRETE TABLE.
  4. PROVIDE BITUMINOUS MASTIC JOINT BETWEEN ALL SECTIONS, RINGS & FRAME - SEE SPECS.
  5. PROVIDE SMOOTH "Y" TRANSITIONS FOR ALL BRANCHES AND BENDS IN LINE.
  6. WHERE SEWER DEPTH IS 8'-0" OR LESS USE "FLAT" TOP IN PLACE OF CONE DESIGNED TO SUPPORT AASHTO H20 LOADING.  
D = 4'-0" FOR 24" DIA. & UNDER  
5'-0" FOR 27" TO 36" DIA.  
6'-0" FOR 36" TO 48"



**CATCH BASIN, TYPE A DETAIL**  
SCALE: NONE

- NOTES:**
1. MANHOLES MUST CONFORM TO ASTM C-478.
  2. MANHOLE SECTIONS TO BE TONGUE AND GROOVED.
  3. NON-PRESSURE OPENINGS SHALL BE CORDED AND RUBBER BOOTED.
  4. MORTAR ALL PENETRATIONS INSIDE AND OUTSIDE OF STRUCTURE.
  5. IN "SUBMERGED" CONDITIONS, ALL PIPE PENETRATIONS TO BE CORDED, RUBBER BOOTED AND INTERIOR MORTARED.

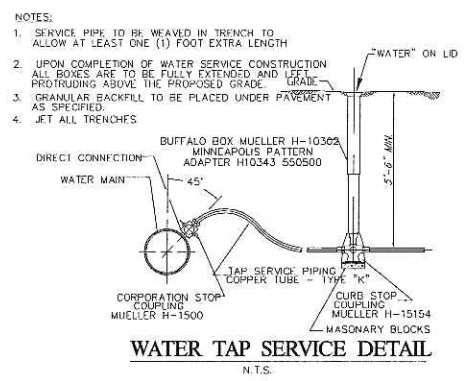


- NOTES:**
1. THRUST BLOCK CONCRETE SHALL 2500 PSI STRENGTH AT 3 DAYS.
  2. BEARING AREAS OF UNDISTURBED EARTH SHALL HAVE A MINIMUM ALLOWABLE BEARING CAPACITY OF 2000 PSI.
  3. BEARING AREA OF SOIL BASED ON 65 PSI WATER MAIN PRESSURE.
  4. BLOCKING SHALL BE APPLIED FOR ALL TEES, PLUGS, CAPS & 22 1/2° OR MORE BENDS.

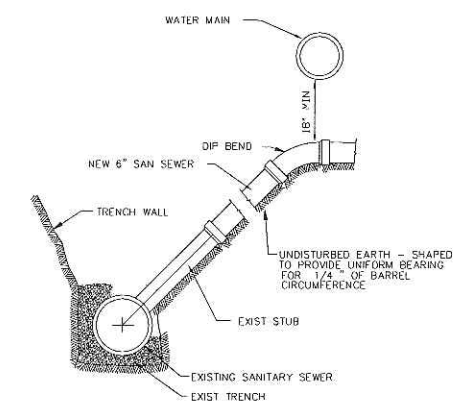
**AREA OF BEARING FACE OF CONCRETE THRUST BLOCKS**

PIPE SIZE IN.	1/4 BEND SQ. FT.	M <sup>2</sup>	1/8 BEND SQ. FT.	M <sup>2</sup>	TEES, PLUGS, CAPS AND HYDRANTS SQ. FT.	M <sup>2</sup>
4	2	0.18	2	0.18	2	0.19
6	5	0.46	5	0.46	4	0.37
8	8	0.74	5	0.46	6	0.56
10	13	1.21	7	0.65	8	0.84
12	18	1.67	10	0.93	13	1.21
14	25	2.32	14	1.30	18	1.67
16	32	2.97	18	1.67	23	2.14

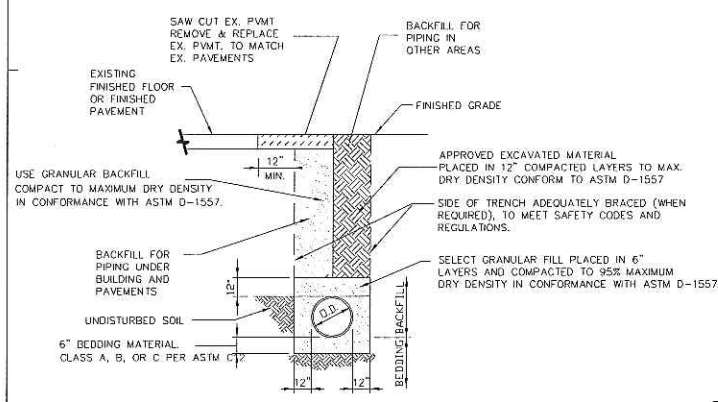
**THRUST BLOCK DETAILS**  
SCALE: NONE



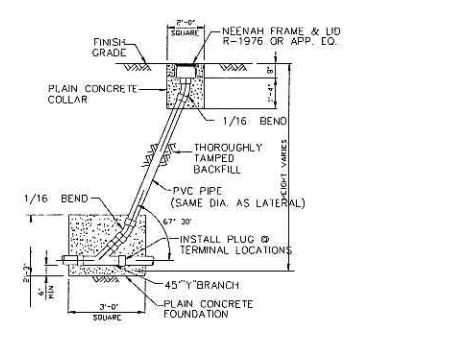
**WATER TAP SERVICE DETAIL**  
N.T.S.



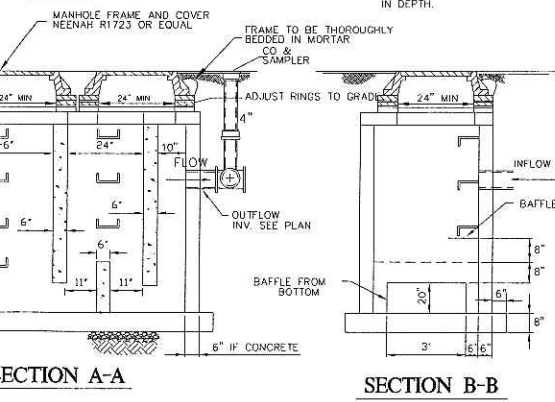
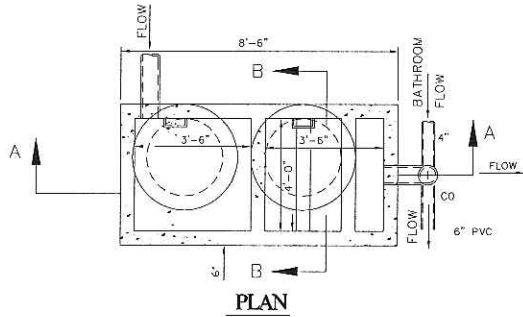
**SANITARY SEWER CONNECTION & TRENCH DETAIL**  
N.T.S.



**DETAIL OF TYPICAL PIPE BEDDING AND BACKFILL**  
N.T.S.

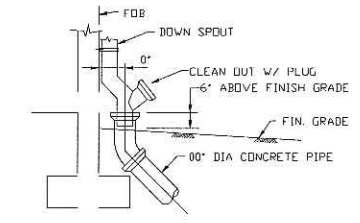


**SEWER CLEANOUT DETAIL**  
N.T.S.

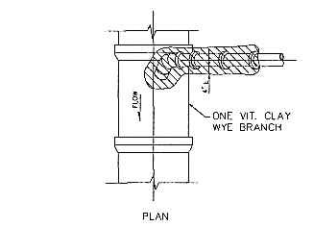


**1000 GAL GREASE TRAP**  
NIT TO SCALE

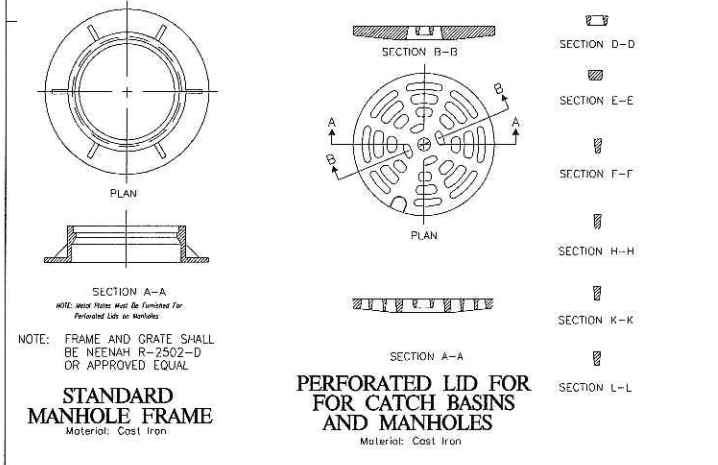
- NOTES:**
1. IF WALL CONSTRUCTION IS OTHER THAN CONCRETE, THE WALLS SHALL BE PLASTERED BOTH INSIDE AND OUTSIDE WITH 1/2" THICK CEMENT PLASTER.
  2. PROVIDE 3/4" DIA. ALUM. LADDER RUNGS 18" O.C.
  3. WHEN ADDITIONAL DEPTH IS SCHEDULED WALLS BELOW THE DEPTH OF 8'-0" MEASURED FROM THE INLET OUTLET TO INVERT, SHALL BE 12" THICK. THE FOUNDATION DIMENSIONS SHALL BE INCREASED TO 12" IN WIDTH AND TO 12" IN DEPTH.



**TYPICAL DOWNSPOUT LEADER**  
N.T.S.

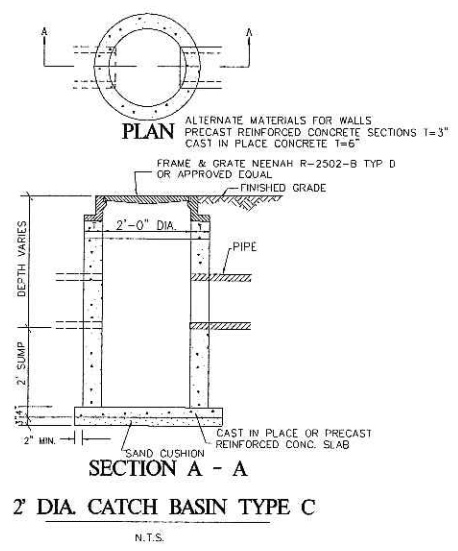


**TYPICAL VITRIFIED CLAY PIPE DRAIN CONNECTIONS**  
N.T.S.



**STANDARD MANHOLE FRAME**  
Material: Cast Iron

**PERFORATED LID FOR CATCH BASINS AND MANHOLES**  
Material: Cast Iron



**2" DIA. CATCH BASIN TYPE C**  
N.T.S.

**PRELIMINARY**

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**PROFESSIONAL IN CHARGE**  
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**QUALITY CONTROL**  
SOMAK ANGMASRI, PE

**DRAWN BY**  
DAN ANGSTATT, DT

**PROJECT NAME**  
**TEXAS ROADHOUSE**

**MADISON WISCONSIN**

**(SWQ) US 151 (WASHINGTON AVENUE) & I-39**

**PROJECT NUMBER**  
20050927.8

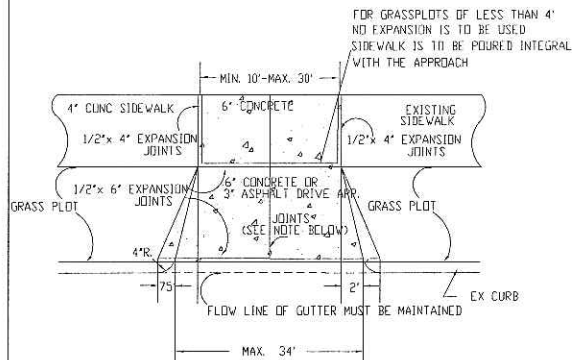
**SHEET TITLE**  
**DETAILS SHEET 1**

**SHEET NUMBER**  
**C-6.0**

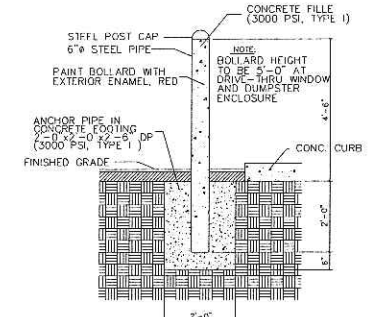
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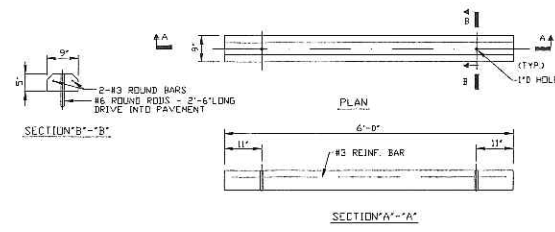
ISSUE/REVISION RECORD	
DATE	DESCRIPTION
12-21-05	90% CITY SUBMITTAL
01-30-06	CITY RESUBMITTAL



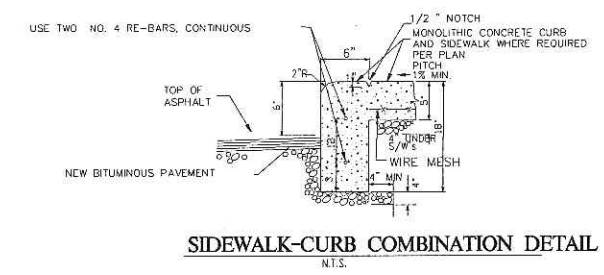
**CONCRETE DRIVEWAY DETAIL**  
N.T.S.



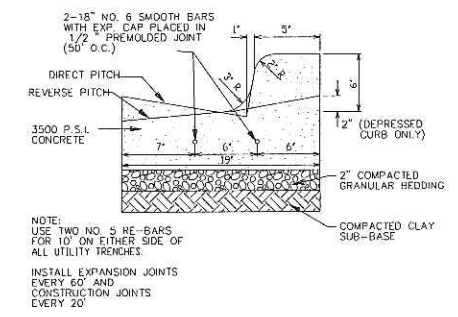
**STEEL PIPE BOLLARD DETAIL**  
N.T.S.



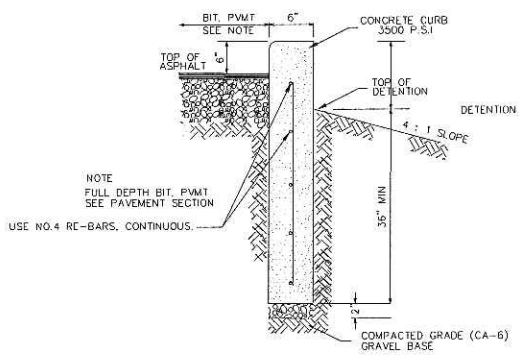
**PRECAST CONCRETE PARKING STOP**  
N.T.S.



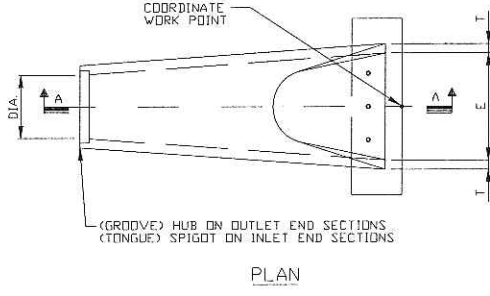
**SIDEWALK-CURB COMBINATION DETAIL**  
N.T.S.



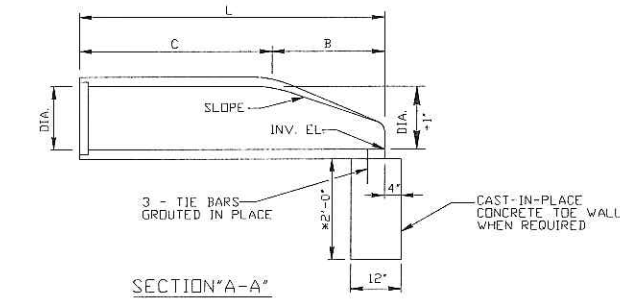
**B6-12 CURB & GUTTER CURB**  
N.T.S.



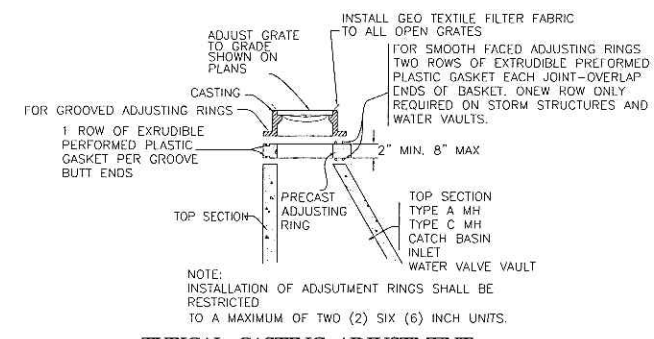
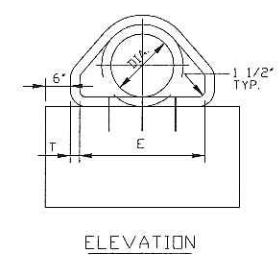
**TYPE "B" CONCRETE CURB/WALL**  
N.T.S.



*PRECAST CONCRETE FLARED END PIPE SECTION (REINFORCED)						
DIA.	SLOPE	"B"	"C"	"L"	"E"	"T"
15"	3:1	2'-3"	3'-10"	6'-1"	2'-6"	2 1/2"
18"	3:1	2'-3"	3'-10"	6'-1"	3'-0"	2 1/2"
24"	3:1	3'-8"	2'-6"	6'-2"	4'-0"	3"
30"	3:1	4'-6"	1'-6"	6'-2"	5'-0"	3 1/2"
36"	3:1	5'-3"	2'-11"	8'-2"	6'-0"	4"
42"	3:1	5'-3"	2'-11"	8'-2"	6'-4"	4 1/2"
48"	3:1	6'-0"	2'-2"	8'-2"	7'-0"	5"
54"	3:1	6'-6"	1'-10"	8'-4"	7'-6"	5 1/2"
60"	3:1	6'-6"	1'-10"	8'-4"	8'-0"	6"
72"	3:1	6'-6"	1'-10"	8'-4"	9'-0"	7"

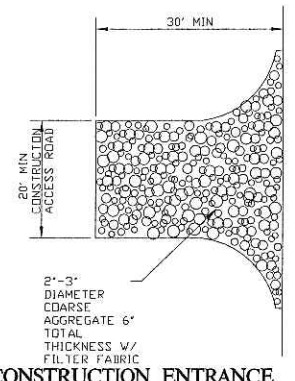


**TYPICAL PRECAST CONCRETE FLARED END SECTION**  
N.T.S.

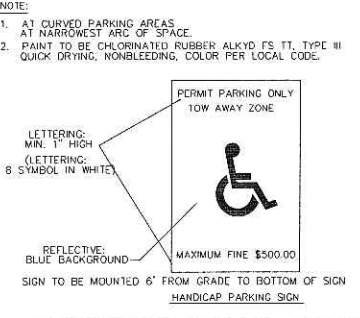
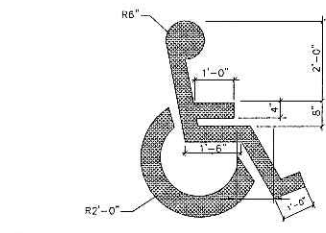


**TYPICAL CASTING ADJUSTMENT & FILTER FABRIC INSTALLATION DETAIL**  
NOT TO SCALE

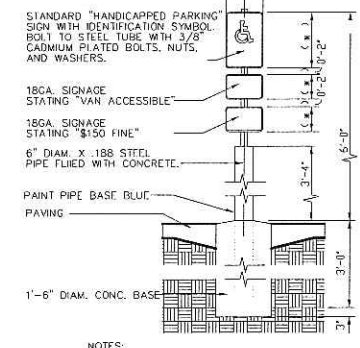
NOTE: GRAVEL PAD IS REQUIRED TO PROVIDE BUFFER AREA WHERE VEHICLES CAN DROP MUD AND SEDIMENT TO AVOID TRANSPORTING IT ONTO PAVED ROADS, TO CONTROL EROSION FROM SURFACE RUNOFF AND TO HELP CONTROL DUST.



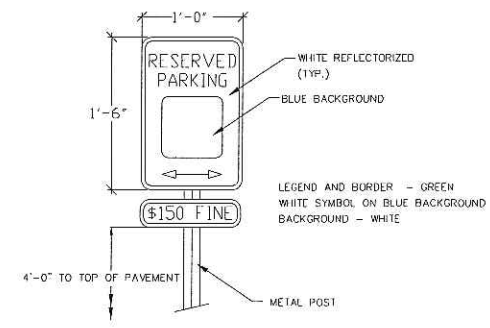
**ROCK CONSTRUCTION ENTRANCE DETAIL**  
NOT TO SCALE



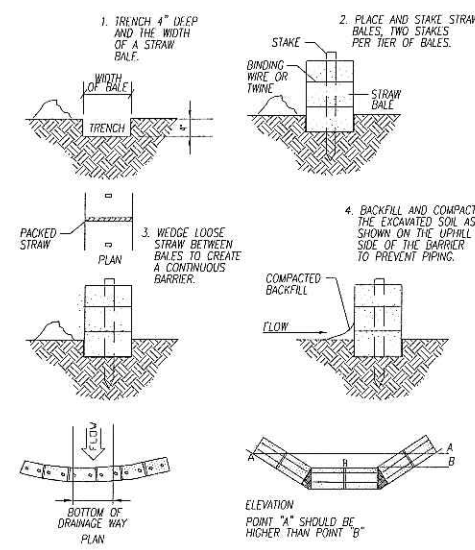
**HANDICAPPED PAINTED SYMBOL AND PARKING STALL DIMENSIONS**  
N.T.S.



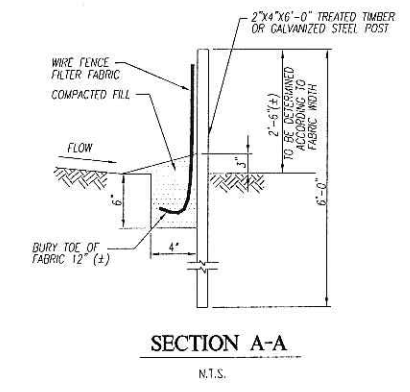
**HANDICAP SIGN**  
N.T.S.



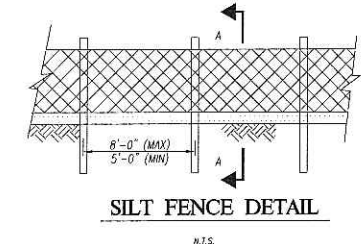
**HANDICAP PARKING SIGN DETAIL**  
N.T.S.



**STRAW BALE BARRIER DETAIL**  
N.T.S.



**SILT FENCE DETAIL**  
N.T.S.



**PRELIMINARY**

PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE  
JOHN NOURZAD, PE  
PROJECT MANAGER  
ALFONSO INCHAUSTI, PE  
QUALITY CONTROL  
SOMSAK KAGSMASTI, PE  
DRAWN BY  
DAN ANGSPAT, DT

PROJECT NAME  
**TEXAS ROADHOUSE**

**MADISON WISCONSIN**

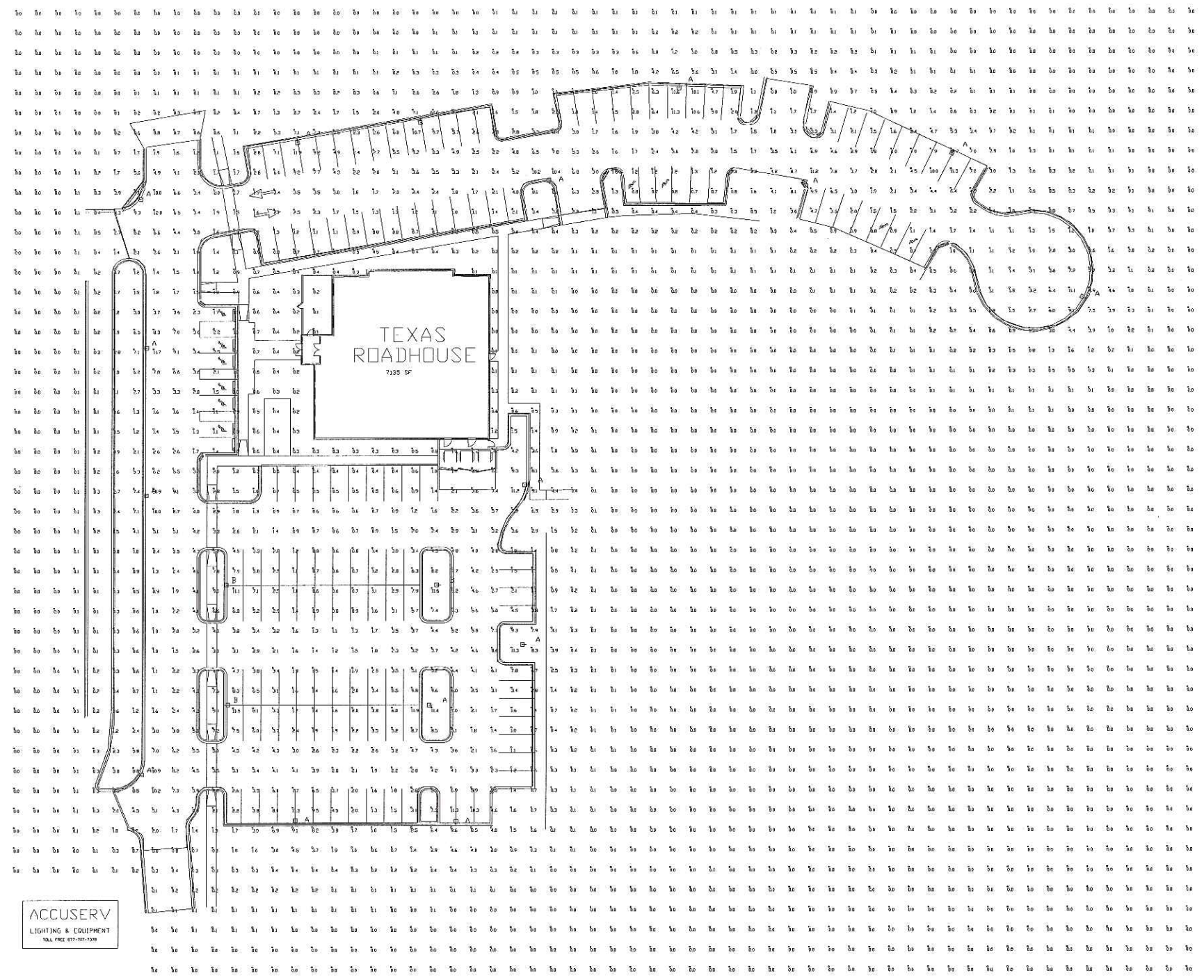
(SWQ) US 151 (WASHINGTON AVENUE) & I-39



PROJECT NUMBER  
20050922.8

SHEET TITLE  
**DETAILS SHEET 2**

SHEET NUMBER  
**C-6.1**  
NOT ISSUED FOR CONSTRUCTION



ACCUSERV  
LIGHTING & EQUIPMENT  
TOLL FREE 877-707-7378

Statistical Area Summary					
Project: All Projects					
Label	Avg	Max	Min	Avg/Min	Max/Min
TRH PARKING AREA	3.48	12.0	0.4	8.70	30.00

Luminaire Schedule						
Project: All Projects						
Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
+	16	A	SINGLE	36000	0.700	ACCVRIV400MH2081DBM (2.5' BASE+20' POLE=22.5 MH) SNTS2557TRI@90DBM
+	3	B	SINGLE	36000	0.700	ACCVRV400MH2081DBM (2.5' BASE+20' POLE=22.5 MH) SNTS2557TRI@90DBM

TEXAS ROADHOUSE  
MADISON, WI  
PREPARED BY: KEVIN LOEHLE  
ACCUSERV LIGHTING & EQUIPMENT  
TF: 877-707-7378  
FX: 502-961-0357  
kloehle@accu-serv.com  
JANUARY 23, 2006

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t: 770 303 1033 f: 770 303 2333

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ISSUE/REVISION RECORD	
DATE	DESCRIPTION
12-21-05	90% CITY SUBMITTAL
01-30-06	CITY RESUBMITTAL

PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE  
JOHN NOURIZAD, PE  
PROJECT MANAGER  
ALFONSO INCHAUSTI, PE  
QUALITY CONTROL  
SOMSAK KACSWASTI, PE  
DRAWN BY  
DAN ANCSPATI, EIT

PROJECT NAME  
**TEXAS ROADHOUSE**

MADISON WISCONSIN

(SWQ) US 151  
(WASHINGTON AVENUE)  
& I-39



PROJECT NUMBER  
20050922.8

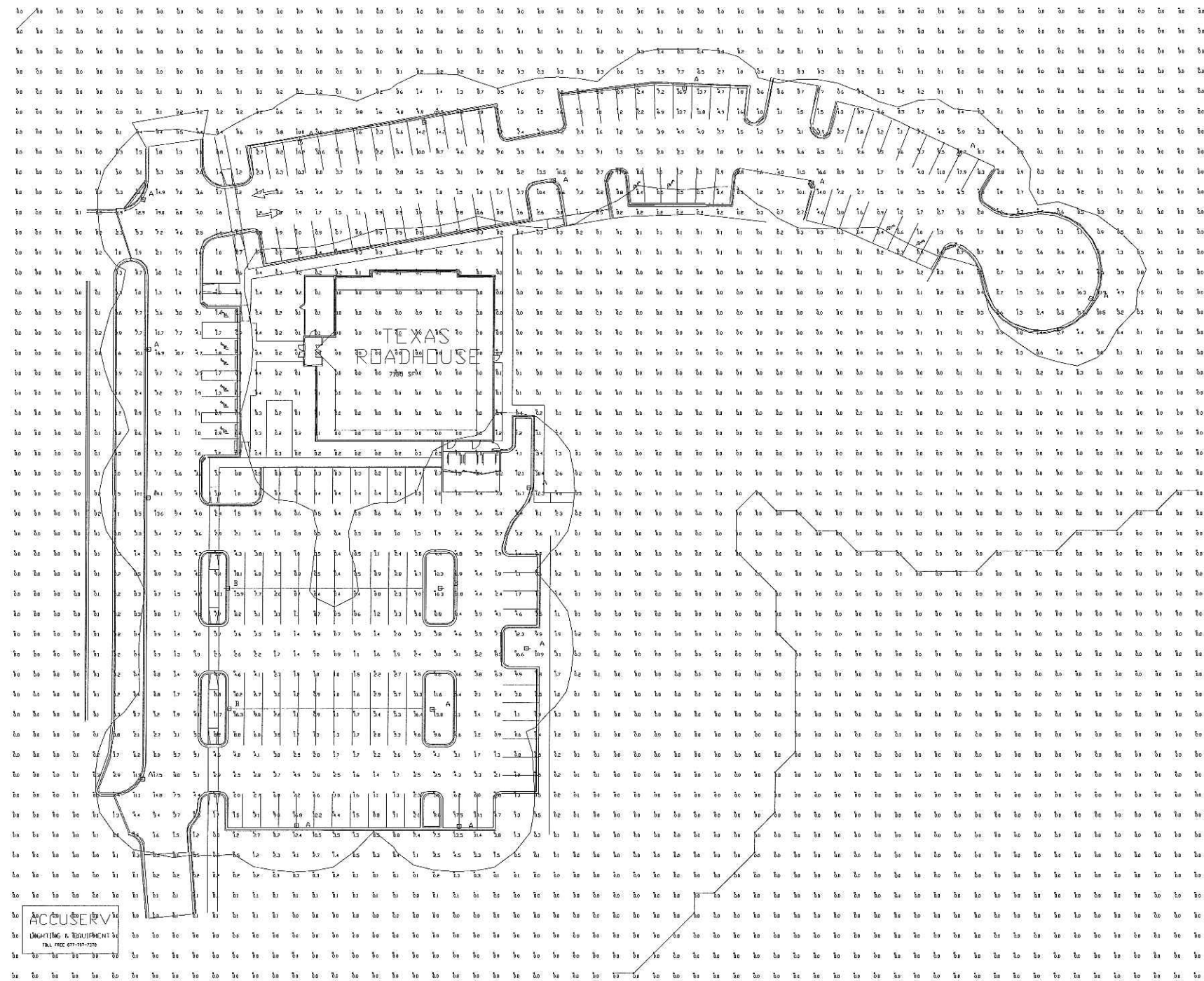
SHEET TITLE

SITE LIGHTING PLAN

SHEET NUMBER

**C-7.0**

NOT ISSUED FOR CONSTRUCTION



TEXAS ROADHOUSE  
 MADISON, WI  
 PREPARED BY: KEVIN LOEHLE  
 ACCUSERV LIGHTING & EQUIPMENT  
 TF: 877-707-7378  
 FX: 502-961-0357  
 kloehle@accu-serv.com  
 JANUARY 23, 2006



Statistical Area Summary					
Project: All Projects					
Label	Avg	Max	Min	Avg/Min	Max/Min
TRH PARKING AREA	3.60	19.0	0.2	18.00	95.00

Luminaire Schedule						
Project: All Projects						
Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
+	16	A	SINGLE	36000	0.700	ACCVR51V400MH2081DBM <2.5' BASE+20' POLE=22.5 MH> SNTS2557TRI@90DBM
□	3	B	SINGLE	36000	0.700	ACCVR5V400MH2081DBM <2.5' BASE+20' POLE=22.5 MH> SNTS2557TRI@90DBM

**GreenbergFarrow**

1755 The Exchange  
 Atlanta, GA 30339  
 t: 770 303 1033 f: 770 303 2333

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 DRAWN BY  
 DAN ANGSAPAT, EIT

PROJECT NAME  
**TEXAS ROADHOUSE**

MADISON WISCONSIN

(SW) US 151 (WASHINGTON AVENUE) & I-39



PROJECT NUMBER  
 20050922.8

SHEET TITLE

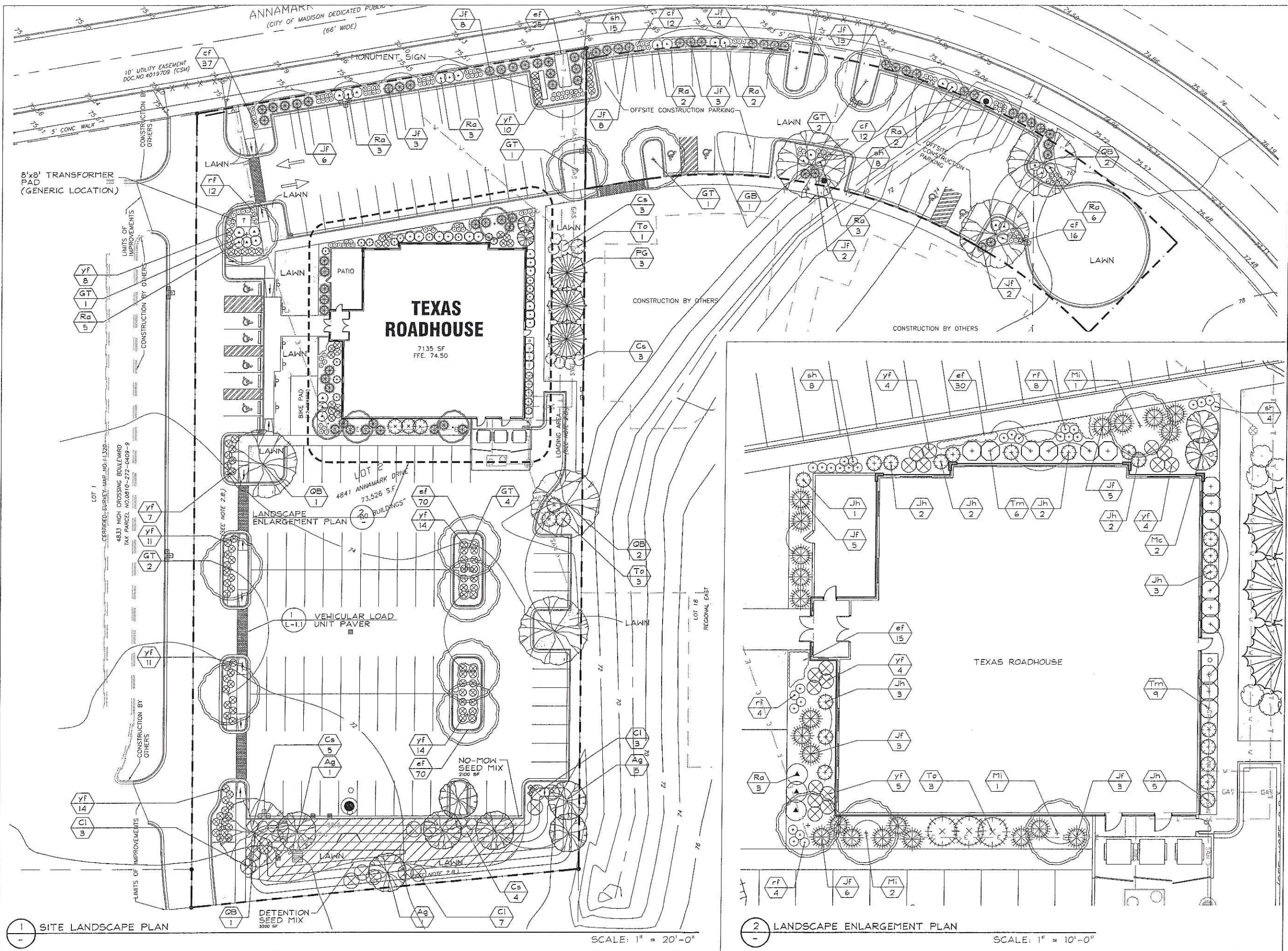
SITE LIGHTING PLAN

SHEET NUMBER

**C-7.1**

NOT ISSUED FOR CONSTRUCTION





**SAA**  
 SCHREIBER / ANDERSON  
 ASSOCIATES, INC.  
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 Madison, WI 53713  
 Ph: 608.255.0800  
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 www.saa-madison.com

**GreenbergFarrow**  
 1755 The Exchange  
 Atlanta, GA 30339  
 t: 770 303 1033 f: 770 303 2333  
 Professional Seal

Revision	Date
UDC	2/8/2006

Project Name

TEXAS  
 ROADHOUSE



4841 Annamark Drive  
 MADISON,  
 WISCONSIN

Drawn By: AW  
 Checked By: CT  
 File: P-LS  
 Issued For: UDC  
 Issue Date: 02/08/2005  
 Project No. 2141

OPTION  
 LANDSCAPE  
 LAYOUT PLAN

Scale Indicated for 24x36" Sheet Size  
 0 10 20 40

Sheet Number

**L-1.0**

**LANDSCAPE PLANT LEGEND**

Symbol	Botanical name	Common Name	Size	Root	Quantity	Comments	Suppliers #
<b>SHADE TREES</b>							
GT	Gleditsia triacanthos var. inermis Skyline	Skyline Honeylocust	3" Cal.	B4B	11	Small leaves	JN, BC, MC
QB	Quercus bicolor	Swamp White Oak	3" Cal.	B4B	7	Tolerant to salt	JN, BC, MC, LI
<b>ORNAMENTAL TREES</b>							
Ag	Amelanchier x Grand 'Autumn Brilliance'	Autumn Brill Serviceberry	6' MS	B4B	7	20' O.C. spacing, Multi-stem	JN, BC, MC, LI
Mc (1)	Malus sp. 'Camelot'	Camzani (Camelot) Crabapple	2" Cal.	B4B	2	10'Hx8'W, Rose pink flowers	JN, BC
Mi (1)	Malus sp. 'Indian Magic'	Indian Magic Crabapple	2" Cal.	B4B	4	15'Hx15'W, Rose pink flowers	JN, MC, MI, LI
<b>EVERGREEN TREES</b>							
PG	Picea glauca var. densata	Black Hills Spruce	6' Ht.	Cont.	3	15' O.C. spacing	JN, BC, MC, LI
<b>EVERGREEN SHRUBS</b>							
JF	Juniperus chinensis 'Fruitlandii'	Fruitland Juniper	18" Ht.	Cont.	69	3'Hx6'W, bright green foliage	See Alts.
Jh (1)	Juniperus chinensis 'Hooks'	Hooks' Juniper	4' Ht.	Cont.	20	15'Hx3'W, AKA - Hooks #6	JN, MI
Tm (1)	Taxus x media 'Densiflora'	Dense Yew	24" Ht.	Cont.	15	5'Hx6'W, dark green foliage	JN, BC, LI, MI
To (1)	Thuja occidentalis 'Holmstrup'	Holmstrup Arborvitae	3' Ht.	Cont.	7	12'Hx4'W, upright pyramidal	JN, MC, MI
<b>DECIDUOUS SHRUBS</b>							
Cl	Clethra alnifolia 'Ruby Spice'	Ruby Spice Clethra	5 Gal.	Cont.	13	5' O.C. spacing	JN, BC
Cs	Cornus sericea 'Isanti'	Isanti Redtwig Dogwood	5 Gal.	Cont.	15	5' O.C. spacing	JN, MC, LI, MI
Ra	Rhus aromatica 'Gro Lo'	Grow Lo Sumac	5 Gal.	Cont.	31	5' O.C. spacing	JN, MC, LI, MI
<b>PERENNIALS / GRASSES</b>							
cf	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	2 Gal.	Cont.	77	2' O.C. spacing	JN, BC, MC, LI
rf	Rudbeckia hirta	Black-Eyed Susan	2 Gal.	Cont.	28	2'-6" O.C. spacing	JN, BC, MC, LI
sh	Sporobolus heterolepis	Prairie Dropseed	2 Gal.	Cont.	35	3' O.C. spacing	JN, BC, MC, LI
Yf	Yucca filamentosa	Adam's-needle Yucca	2 Gal.	Cont.	106	3' O.C. spacing	BC, MC, LI
<b>GROUNDCOVERS</b>							
ef (1)	Euonymus fortunei var. 'Coloratus'	Purpleleaf Wintercreeper	2" P.P.	Cont.	215	12" O.C. spacing	JN, BC, MC
	Detention Basin Prairie Mix	wildflowers, grasses, mix	5 lbs. min	#50062		Install per supplied directions	Prairie Nursery

**NOTES:**

(1) VEGETATION PER TEXAS ROADHOUSE LANDSCAPE MANUAL (OHIO VALLEY LIST)

(2) ALTERNATIVES / SUPPLIERS FOR FRUITLAND JUNIPER

- Juniperus chinensis 'Sea Green' Sea Green Juniper 4'Hx6'W, mint green JN, MC, MI
- Juniperus x Pfitzeriana 'Kallo's Compacta' Kallay's Compact Pfitzer 3'Hx6'W, bright green JN, MC, MI

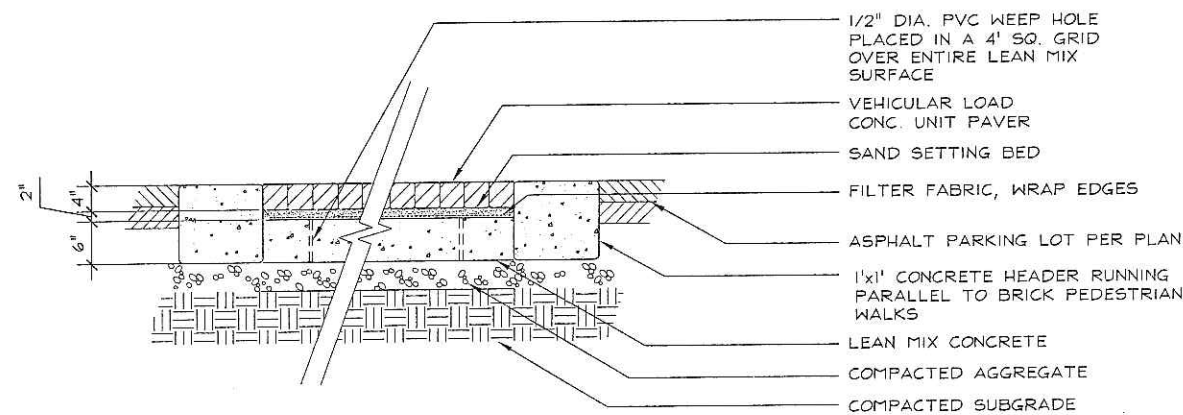
**\* SUPPLIER INFORMATION:**

- |   |  |
|---|--|
| JN - JOHNSON'S NURSERY, INC<br>W180 N6257 MARCY ROAD<br>MENDOTA, WI 53051<br>262.252.4980 P<br>262.252.4495 F     | MI - MINOR'S GARDEN CENTER<br>7777 NORTH 76TH ST.<br>MILWAUKEE, WI 53223<br>414.354.4830 P<br>414.354.5205 F |
| BC - THE BRUCE COMPANY OF WISCONSIN<br>P.O. BOX 620330<br>MIDDLETON, WI 53562<br>608.836.7041 P<br>608.836.0920 F | LI - LIEDS NURSERY FARMS, INC.<br>N63 W22039 HWY 74<br>SUSSEX, WI 53089<br>262.246.6901 P<br>262.246.3822 F  |
| MC - MCKAY NURSERY<br>750 SOUTH MONROE STREET<br>WATERLOO, WI 53594<br>800.236.4242 P<br>920.476.3615 F           |  |

- THE GENERAL CONTRACTOR SHALL LEAVE THE SITE AT FINISH GRADE. THE LANDSCAPE CONTRACTOR SHALL REVISE GRADES AT A MINIMUM TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND LAWN AREAS
- PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS AND REPRESENTATIVE OF SPECIES SPECIFIED. ALL PLANTS SHALL BE WELL BRANCHED AND PROPORTIONED AND FREE OF ALL INSECTS AND DISEASES.
- PLANT GUARANTEE: ALL PLANTS SHALL BE GUARANTEED TO LIVE FOR TWELVE (12) MONTHS. THE GUARANTEE SHALL COMMENCE UPON FINAL ACCEPTANCE OF THE PROJECT. IF ANY PLANTS ARE DEAD OR IN AN UNHEALTHY CONDITION BEFORE FINAL ACCEPTANCE, THE LANDSCAPE CONTRACTOR SHALL REPLACE THEM AT HIS EXPENSE. THE REPLACEMENT SHALL NOT BE CONSIDERED A "GUARANTEED" REPLACEMENT.
- TOPSOIL REQUIREMENTS FOR PLANTING OPERATIONS AND GRADING/MOUNDS SHALL BE NATURAL FRIABLE, FERTILE SOIL CHARACTERISTIC OF PRODUCTIVE SOIL IN THE VICINITY. IT SHALL BE FREE OF CLAY LUMPS, STONES, ROOTS AND OTHER FOREIGN MATTER.
- MULCH: ALL PLANTING BEDS SHALL BE MULCHED WITH CRUSHED RED BRICK MULCH OR APPROVED EQUAL - 3" DEEP OVER WEED PREV. FABRIC. MULCH ALONG THE PERIMETER OF THE BUILDING SHALL BE 3/4" - 1 1/4" WASHED RIVER GRAVEL 3" DEEP OVER WEED PREV. FABRIC.
- PLANTING PERIOD: EXECUTE ALL LAWNWORK AND PLANTING BETWEEN MARCH 15TH AND MAY 15TH OR BETWEEN SEPTEMBER 1ST AND NOVEMBER 15TH, OR AS OTHERWISE DIRECTED BY OWNER.
- INSTALLATION OF PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS AND WITH THE GENERAL PLANTING SPECIFICATIONS AS SET FORTH BY THE GOVERNING MUNICIPALITY.
- ALL PLANT MATERIAL SHALL BE PLACED WITHIN A MULCHED PLANTING BED AS INDICATED IN NOTE NO. 5, AND ALL BEDS (EXCLUDING INDIVIDUAL TREE PLANTINGS) SHALL BE "EDGED" W/STEEL EDGING.
- LAWN AND PLANT BEDS WILL BE IRRIGATED. THE IRRIGATION SYSTEM WILL INCLUDE ALL PIPING, HEADS, CONTROLLER, BACKFLOW PREVENTER, WIRING, SLEEVES UNDER HARD SURFACES AND OTHER NORMAL EQUIPMENT TO PROVIDE 100% COVERAGE OF ALL PLANTED AND LAWN AREAS.
- ALL PLANT MATERIAL SHALL BE TREATED WITH A 'PREEN' APPLICATION
- 'LAWN' AREAS SHALL BE FINISH-GRADED AND SEEDED AT A RATE OF 4 LBS. PER 1,000 SQ. FT.
- AREAS LABELED 'LAWN' SHALL RECEIVE A MIXTURE OF THE FOLLOWING TYPES:  
40% PALMER RYEGRASS 20% BARON BLUEGRASS  
20% NASSAU BLUEGRASS 20% PENNLAWN CREEPING RED FESCUE
- AREA LABELED 'DETENTION SEED MIX' SHALL BE SEEDED WITH PRAIRIE NURSERY (OR APPROVED EQUAL) "DETENTION BASIN MIX" ITEM # 50062 - 1,800.476.9453 (SEE LANDSCAPE PLANT LEGEND)

**LANDSCAPE POINTS / BUILDING DATA**

CITY OF MADISON REQUIREMENTS			
Parking Stalls Provided Total			146 stalls
Texas Roadhouse Parking			115 stalls
Offsite Construction Parking			31 stalls
Loading Area			75 points
Canopy Trees Required			11 trees
Required Landscape Points			712 points
TEXAS ROADHOUSE LANDSCAPE POINTS			
Required Canopy Trees	11 Trees	x 0 Pts.	= 0
Canopy Trees 2-2.5"	7 Trees	x 35 Pts.	= 245
Canopy Trees 1.5"-2"	11 Trees	x 15 Pts.	= 165
Evergreen Trees 3'+ Ht.	30 Trees	x 15 Pts.	= 450
Deciduous Shrub	59 Shrubs	x 2 Pts.	= 118
Evergreen Shrub	111 Shrubs	x 3 Pts.	= 333
<b>TOTAL LANDSCAPE POINTS</b>	<b>229 Units</b>		<b>1301 Pts.</b>
Required Landscape Pts.			712 Pts.
Additional Pts.			589 Pts.



**1 VEHICULAR LOAD UNIT PAVER - SECTION**  
L-1.1

SCALE 1"=1'-0"



SCHREIBER / ANDERSON ASSOCIATES, INC.  
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www.saa-madison.com

**GreenbergFarrow**

1755 The Exchange  
Atlanta, GA 30339  
t. 770.303.1033 f. 770.303.2333

Professional Seal

Revision	Date
UDC	2/8/2006

Project Name

TEXAS ROADHOUSE



4841 Annamark Drive  
MADISON, WISCONSIN

Drawn By: AW  
Checked By: CT  
File: P-LS  
Issued For: UDC  
Issue Date: 02/08/2005  
Project No. 2141

OPTION

**LANDSCAPE PLANT LEGEND**

Scale Indicated for 24x36" Sheet Size  
0

Sheet Number

**L-1.1**



1 SITE LANDSCAPE PLAN  
L1.0

SCALE: 1" = 20'-0"

2 LANDSCAPE ENLARGEMENT PLAN  
L1.0

SCALE: 1" = 10'-0"

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1755 The Exchange  
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T: 770 303 1033 F: 770 303 2333

Professional Seal

Revision	Date
UDC	2/8/2006

Project Name

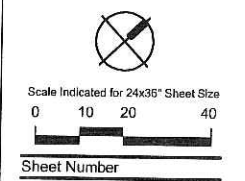
TEXAS  
ROADHOUSE



4841 Annamark Drive  
MADISON,  
WISCONSIN

Drawn By: AW  
Checked By: CT  
File: P-LS  
Issued For: UDC  
Issue Date: 02/08/2005  
Project No. 2141

OPTION  
ILLUSTRATIVE



**L1.2**

**LANDSCAPE WORKSHEET**  
 Parking Lots, Storage Areas and Loading Areas  
 (Section 28.04 Madison General Ordinance)

Project Location/Address:	4841 ANNAMARK DR.
Name of Project:	TEXAS ROADHOUSE
Owner/Contact:	GREENBERGFAREWELL
Address:	1755 THE EXCHANGE, ATLANTA, GA 30339

FOR PARKING LOTS WITH GREATER THAN 20 STALLS, LANDSCAPE PLANS MUST BE STAMPED BY A REGISTERED LANDSCAPE ARCHITECT

**I. Number of Trees Required**

The number of trees required for a parking lot is based on the number of parking stalls. Using the Schedule for Required Trees on the reverse side of this worksheet, determine the number of trees required. (Example: One tree is required for 10 parking stalls).

Landscape requirements for storage areas are determined by dividing the total square footage of the storage area by (300) square feet. This converts area to stalls. [Example: 10,000 square feet is equivalent to (33) stalls or (3) trees and (160) points].

Number of Parking Stalls \_\_\_\_\_ **140**

Total Square Footage of the Storage Area  
 Divided by Three Hundred (300) Square Feet \_\_\_\_\_ **-**

Number of Canopy Shade Trees Required (2" - 2 1/2" Caliper)  
 (See Schedule on reverse side) \_\_\_\_\_ **11**

TOTAL

**II. Number of Landscape Points Required**

The number of points required is also based on the number of parking stalls. Using the Point Schedule for Landscape Elements on the reverse side of this worksheet, determine the number of points required. (Example: 49.5 points are required for 10 stalls). A point fraction of (.5) or less may be disregarded, while a fraction in excess of (.5) must be counted as one point. Thus: 49.5 points would be rounded down to 49.0 points required.

The number of points required for loading areas is (75) points for each loading berth.  
 (See Schedule on reverse side) \_\_\_\_\_ **75**

Number of Points Required (See Schedule on reverse side) \_\_\_\_\_ **712**

TOTAL

**Tabulation of Points and Credits**

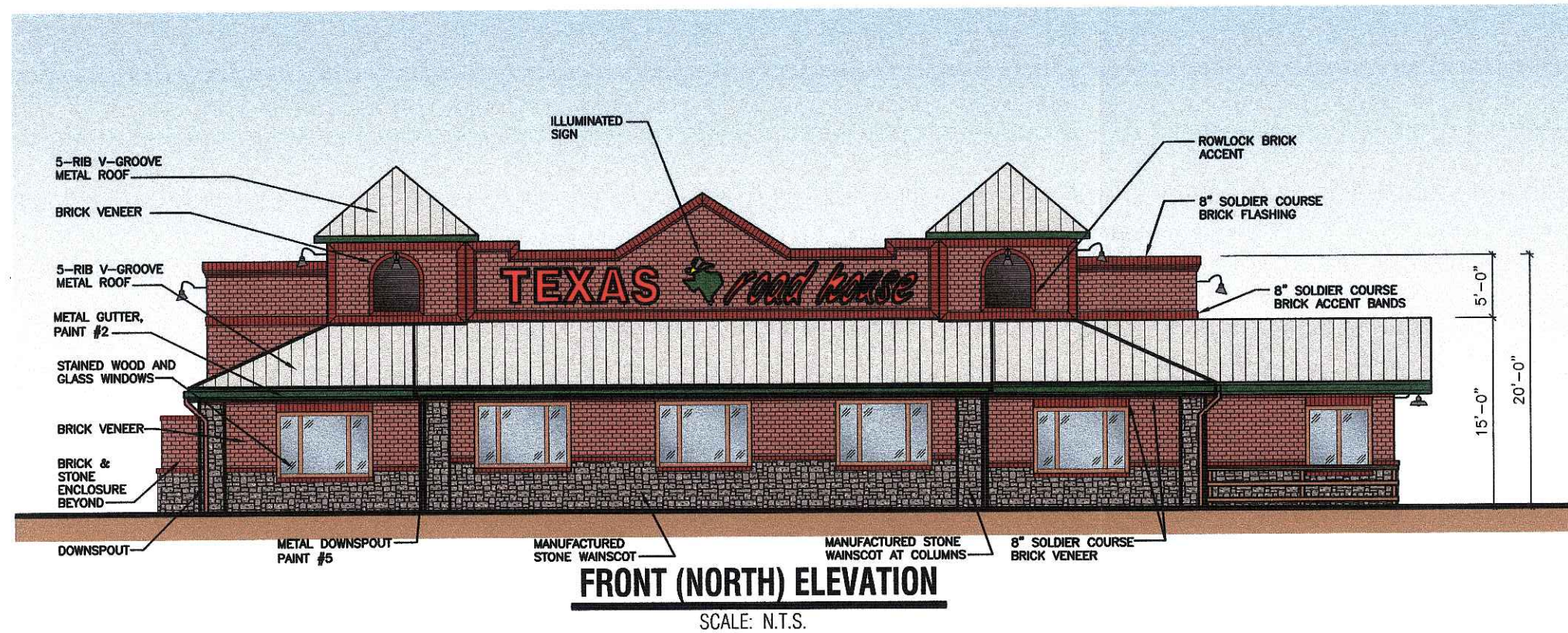
Indicate below the quantity and points for all pertinent landscape elements. Also, credit information for boundary screening and any existing elements to be retained.

ELEMENT	POINT VALUE	QUANTITY	POINTS ACHIEVED	CREDITS	
				QUANTITY	POINTS
Canopy Tree: 2" - 2 1/2"	35	7	245		
Deciduous Shrub	2	59	118		
Evergreen Shrub	3	111	333		
Decorative Wall or Fence (per 10 L.F.)	5	-	-		
Earth Berm (per 10 L.F.) Avg. Height 30"	5	-	-		
Avg. Height 15"	2	-	-		
Evergreen Trees 3' height minimum	15	30	450		
Canopy Tree or Small Tree 1 1/2" - 2" Caliper (i.e., Crab, Hawthorn)	15	11	165		
Sub Totals			1301	+	0
TOTAL					<b>1301</b>

Total No. of Points Provided  
 (Equal to or greater than points required)

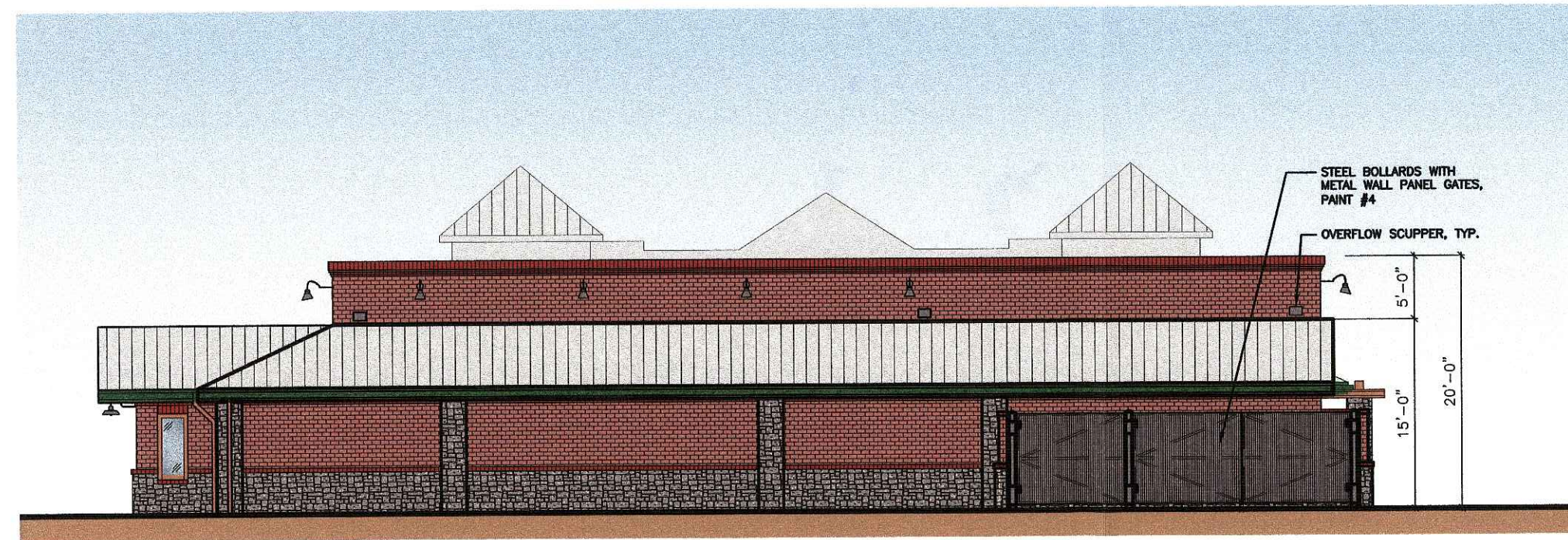
\*Trees required in Part I above, are not to be included in the point count.

Approved by: \_\_\_\_\_ Date: \_\_\_\_\_



**FRONT (NORTH) ELEVATION**

SCALE: N.T.S.



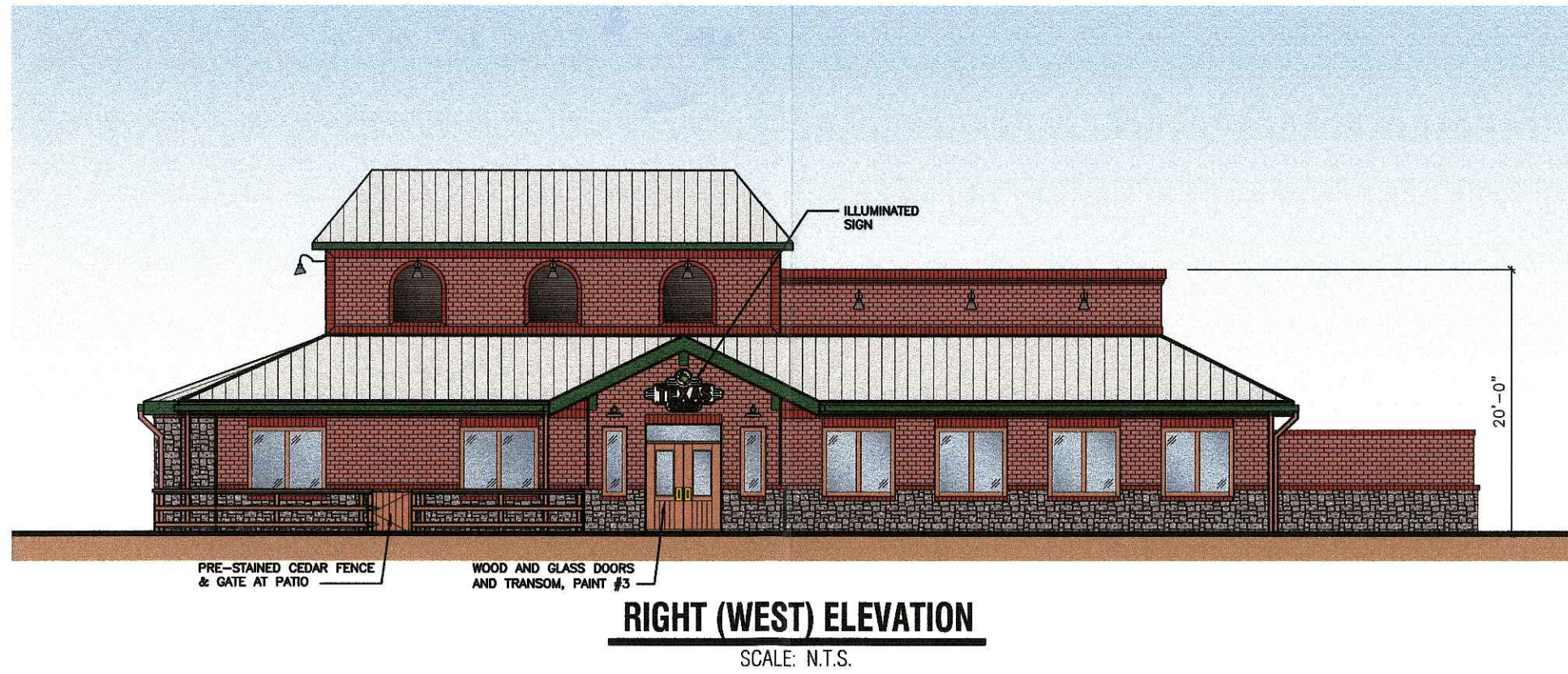
**REAR (SOUTH) ELEVATION**

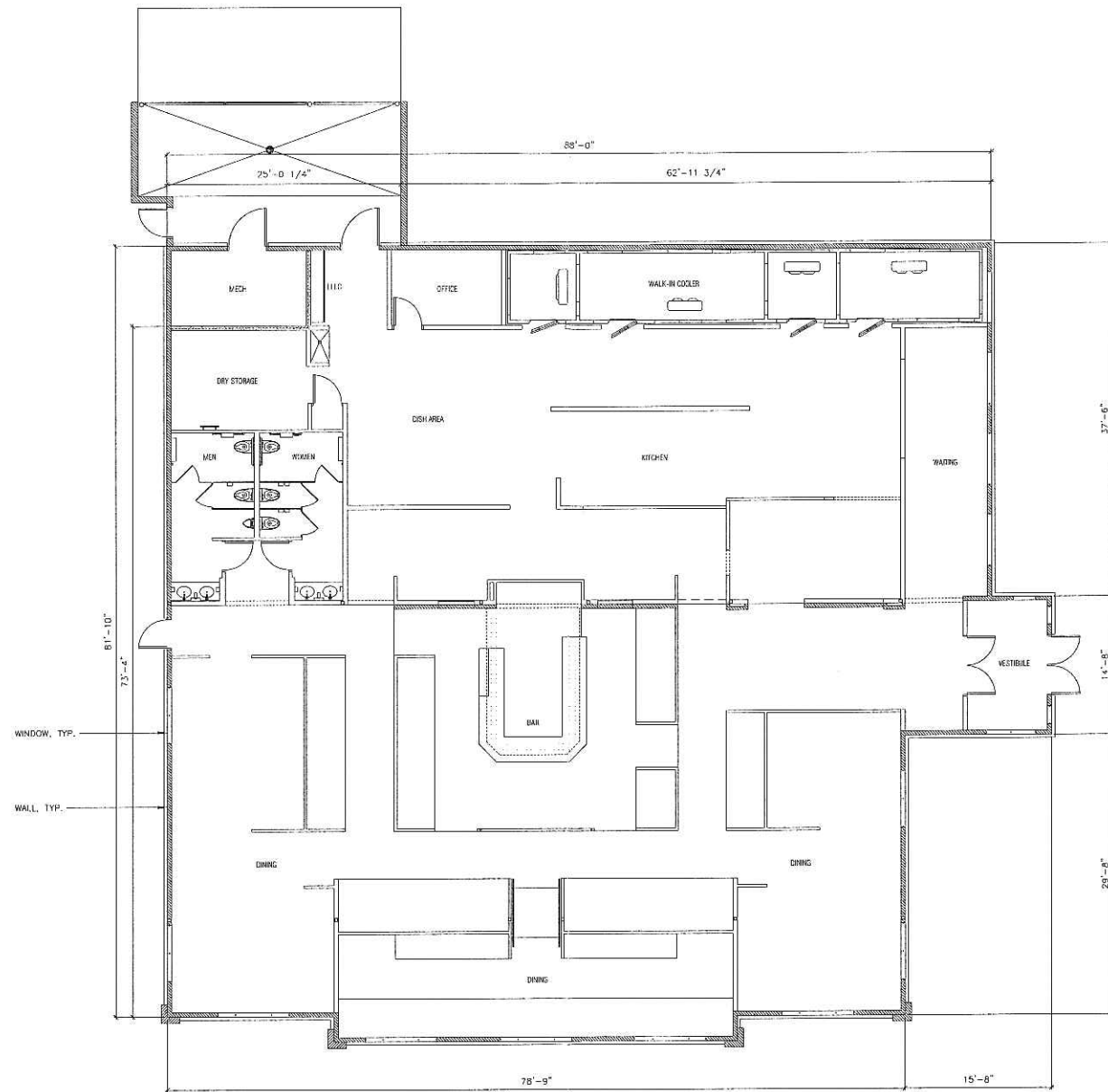
SCALE: N.T.S.

EXTERIOR FINISH SCHEDULE	
BUILDING ITEMS	DESCRIPTION
WOOD AND TRIM	PRE-STAINED CEDAR HENRY POOR LUMBER 3200 REAGAN DRIVE LAFAYETTE, IN 47906 CONTACT: DOUG MILLER PHONE: 800-255-7913  AMTECO #510 STAIN FORMULA
FRONT ENTRANCE WOOD DOORS	AMTECO TWP510 STAIN FORMULA AND TWO COATS OF URETHANE
TRIM	PAINT #1: PORTER PAINTS #617 "EXTERIOR GLOSS" FINISH COLOR - DARK GREEN FORMULA: 2Y16E/2Y13L/8Y10P/1Y24C/2YV NOTE: TWO COATS-BRUSH APPLIED (DO NOT SPRAY)
METAL FLASHING AND GUTTERS	PAINT #2: PORTER PAINTS #617 "EXTERIOR GLOSS" FINISH COLOR - DARK GREEN FORMULA: 2Y16E/2Y13L/8Y10P/1Y24C/2YV
WOOD DOOR FRAME	PAINT #3: PORTER PAINTS #610 "EXTERIOR GLOSS" FINISH COLOR TO MATCH PRE-STAINED CEDAR - PRIMER/TWO FINISH COATS #614 BASE 14YJ/2Y3M/1424K/4P/2Y-V
STONE WAINSCOT	HERITAGE STONE "OTTAWA DRYSTACK" 4" THICK VENEER HERITAGE STONE 3819 OLD WHEELING RD. ZANESVILLE, OH 43701 PHONE: 740-450-4236
BRICK VENEER	CHEROKEE SANFORD BRICK COMPANY "PHOENIX" #143 OVERSIZE SANFORD, NORTH CAROLINA 1-800-277-2700
METAL ROOF	5 RIBBED V GROOVED COLOR: GALVALUME
DUMPSTER GATES, BOLLARDS, METAL DOORS & FRAMES	PAINT #4: PORTER PAINTS "EXTERIOR GLOSS" BLACK - PRIMER/TWO FINISH COATS
DOWNSPOUTS	PAINT #5: PORTER PAINTS "EXTERIOR GLOSS" FINISH COLOR TO MATCH BRICK

**DISCLAIMER**

NOTE:  
THE COLORS DEPICTED ON THESE ELEVATIONS ARE FOR GRAPHIC REPRESENTATION PURPOSES ONLY. PLEASE REFER TO MATERIAL BOARD FOR ACTUAL SAMPLE OF COLORS AND TEXTURES

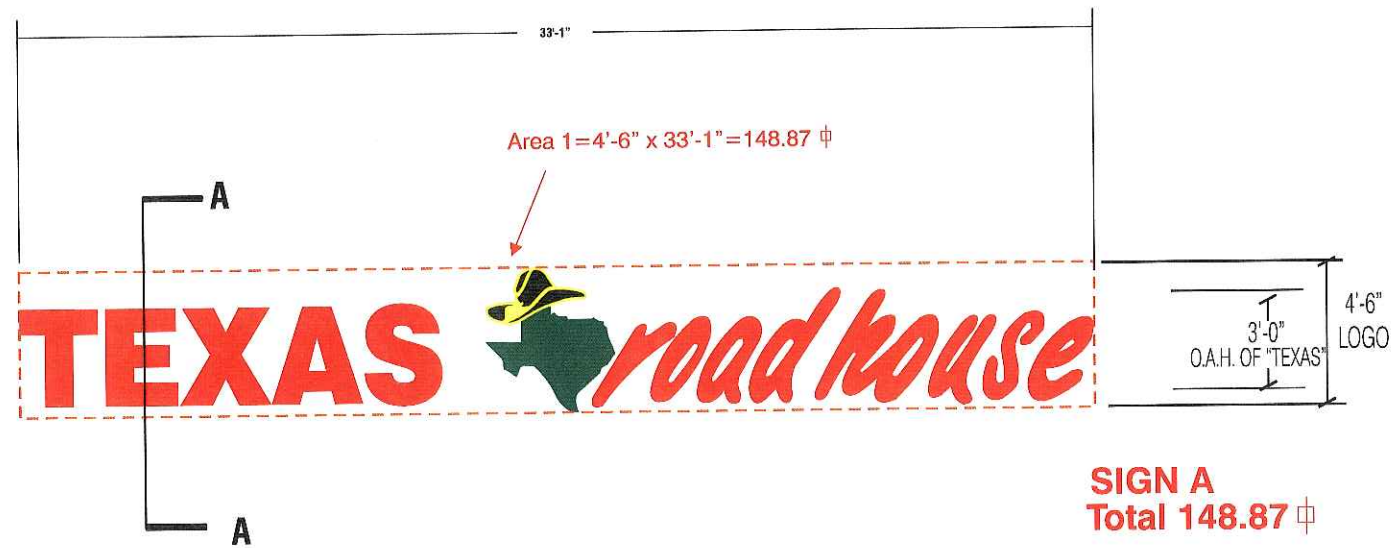




**FLOOR PLAN**

SCALE: 1/8" = 1'-0"





**SIGN A** {1} SET OF EXPOSED NEON CHANNEL LETTERS READING "TEXAS roadhouse" PAINTED T/M GRIP GARD #108 D5 GLOSS-RED, WITH DOUBLE-TUBE CLEAR RED NEON IN "TEXAS" AS WELL AS "roadhouse". REMOTE 30 M.A. TRANSFORMERS LOCATED BEHIND THE FASCIA WALL. LETTERS TO BE MOUNTED FLUSH ON THE BUILDING FASCIA. LOGO: {1} EXPOSED NEON CHANNEL LOGO WITH ARLON #2500-76 HOLLY GREEN VINYL BACKGROUND, WITH A 1.25" EDGE BORDER ON THE "STATE OF TEXAS" WHITE, PAINT RETURNS WHITE. "HAT" IS EXPOSED NEON CHANNEL WITH ARLON #2500-22 BLACK VINYL. "ACCENT, 1.25" EDGE BORDER & INSIDE LINES" ARE #2500-15 YELLOW VINYL.

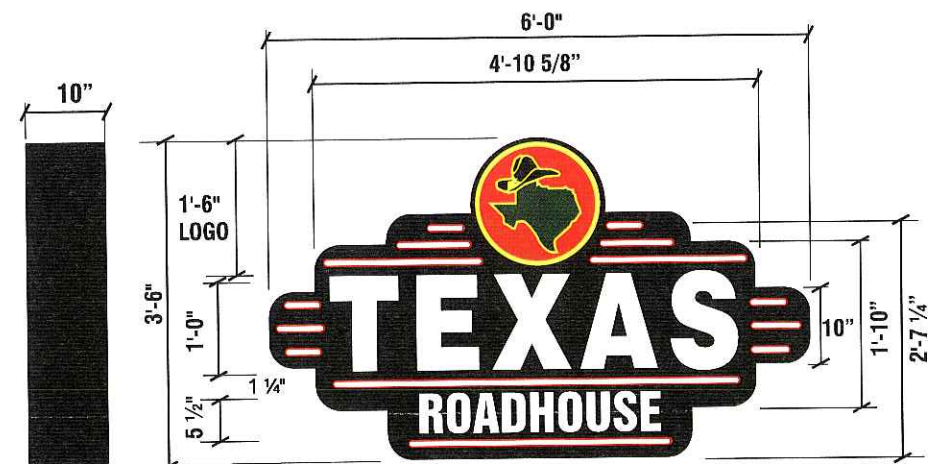
**STOREFRONT ELEVATION**

3/16" = 1'-0"

**DEDICATED CIRCUITS**

**SIGN "A" - 2 (TWO) 120V -20 AMP CIRCUITS**

ALL BRANCH CIRCUITS SHALL BE DEDICATED TO SIGNS (INCLUDING GROUND AND NEUTRAL) AND SHALL NOT BE SHARED WITH OTHER LOADS



**SIGN B**  
**S/F WALL SIGN ELEVATION**

1/2" = 1'-0" Total Enveloped Sq. Footage = 21 S.F.

**SIGN B** Fabricated S/F Aluminum Cabinet Painted Semi-Gloss Black Finish On Face and Filler. "Texas Logo" Circle To Be Routed And Backed With White Acrylic Having Vinyl Color Applied To Face Surface. Bkg'd Is Arlon 2500-43 Light Tomato Red W/ 3/4" 2500-15 Yellow Border. "Hat" Is 2500-22 Black W/ 2500-15 Yellow Outline. State Is 2500-76 Holly Green W/ 2500-15 Yellow Outline. "Texas Roadhouse" Copy To Be Routed Out Of Face And Backed W/ 7328 White Acrylic "Accent Stripes" To Be Routed Out And Backed W/ #7328 White Acrylic W/ 2500-43 Red Vinyl 1/2" Outline On first Surface of Acrylic Face. Internally Illuminated With 800 MA Cool White Fluorescent Lamps. Flush Mount To Wall.

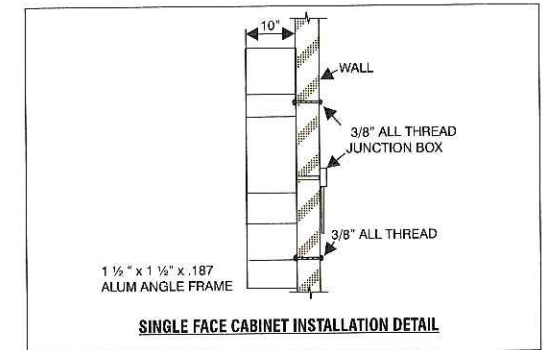
**SIDE ELEVATION**

1/8" = 1'-0"

**DEDICATED CIRCUITS**

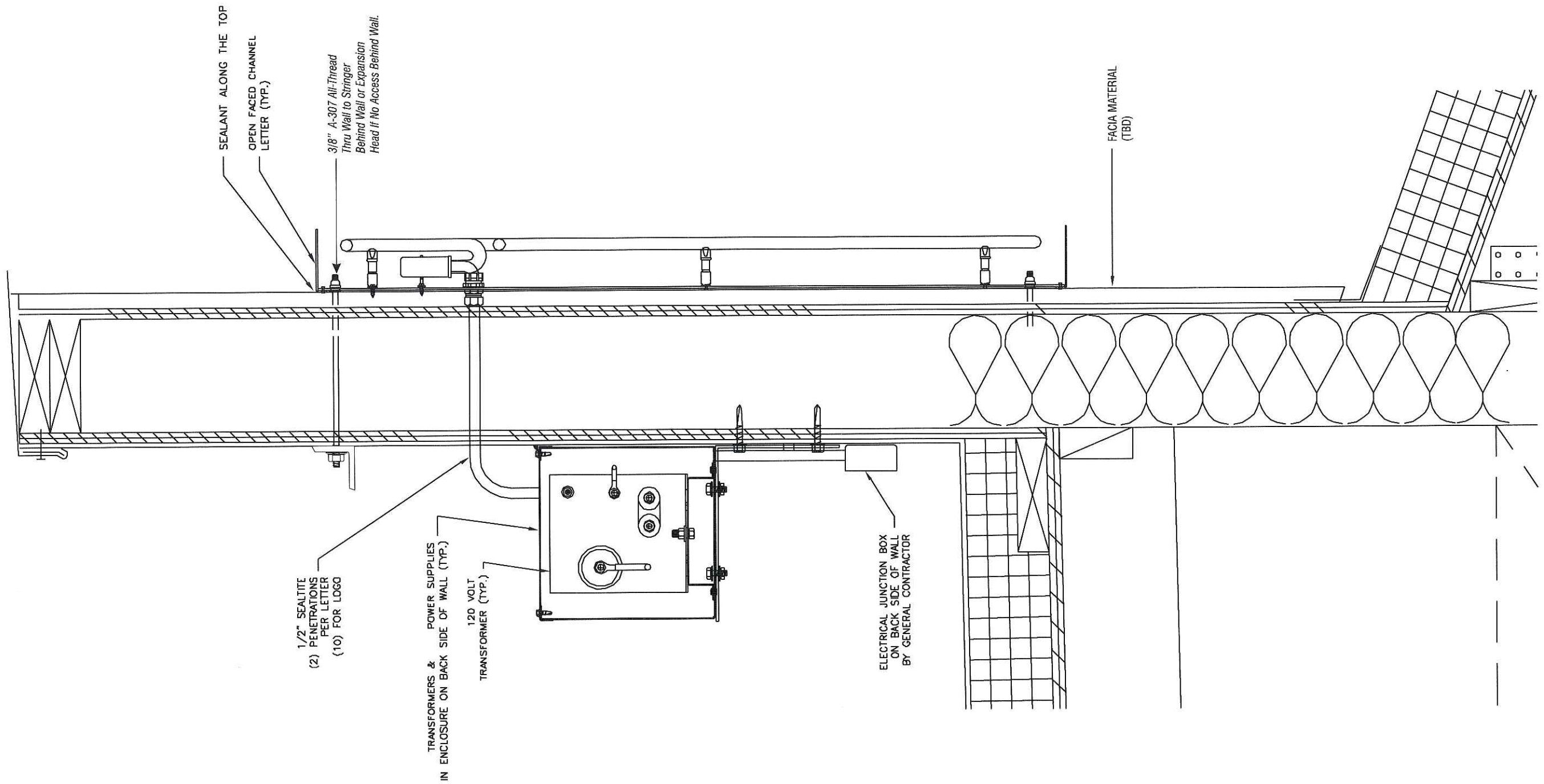
**SIGN "B" - 1(ONE) 120V-20 AMP CIRCUIT**

ALL BRANCH CIRCUITS SHALL BE DEDICATED TO SIGNS (INCLUDING GROUND AND NEUTRAL) AND SHALL NOT BE SHARED WITH OTHER LOADS



**NON-STANDARD SIGNAGE:  
ROUTED COPY W/ ACRYLIC BACKUP**





**SECTION @ A-A**



**SIGN COMPANY**  
www.FederalHeath.com

160 W. Carmel Drive, Suite 236 Carmel, IN 46032  
(317) 581-7790 Fax (317) 581-7783

Other Office Locations:

Oceanside - Las Vegas - Tacoma  
Kansas City - Willowbrook  
Eules - Houston - San Antonio  
Corpus Christi - Milwaukee  
Tampa - Atlanta - Daytona Beach

Building Quality Signage For American Business

Revisions:

**12/13/05- REDUCED FRONT SIGN LOGO TO CONFORM WITH URBAN DESIGN.**

**1/18/06- REMOVED LED PER URBAN DESIGN COMMENTS CHANGED OVERDOOR AND PYLON TO INTERNALLY ILLUM. .**

Account Rep: **R. Cearlock**

Project Manager: **S. Maeser**

Drawn By: **J. Carpenter**

File Name:

Project / Location:

**TEXAS**  
*road abuse*  
PROTO 4 RIGHT HAND  
4841 ANNAMARK DR.  
MADISON, WI 53704-7402

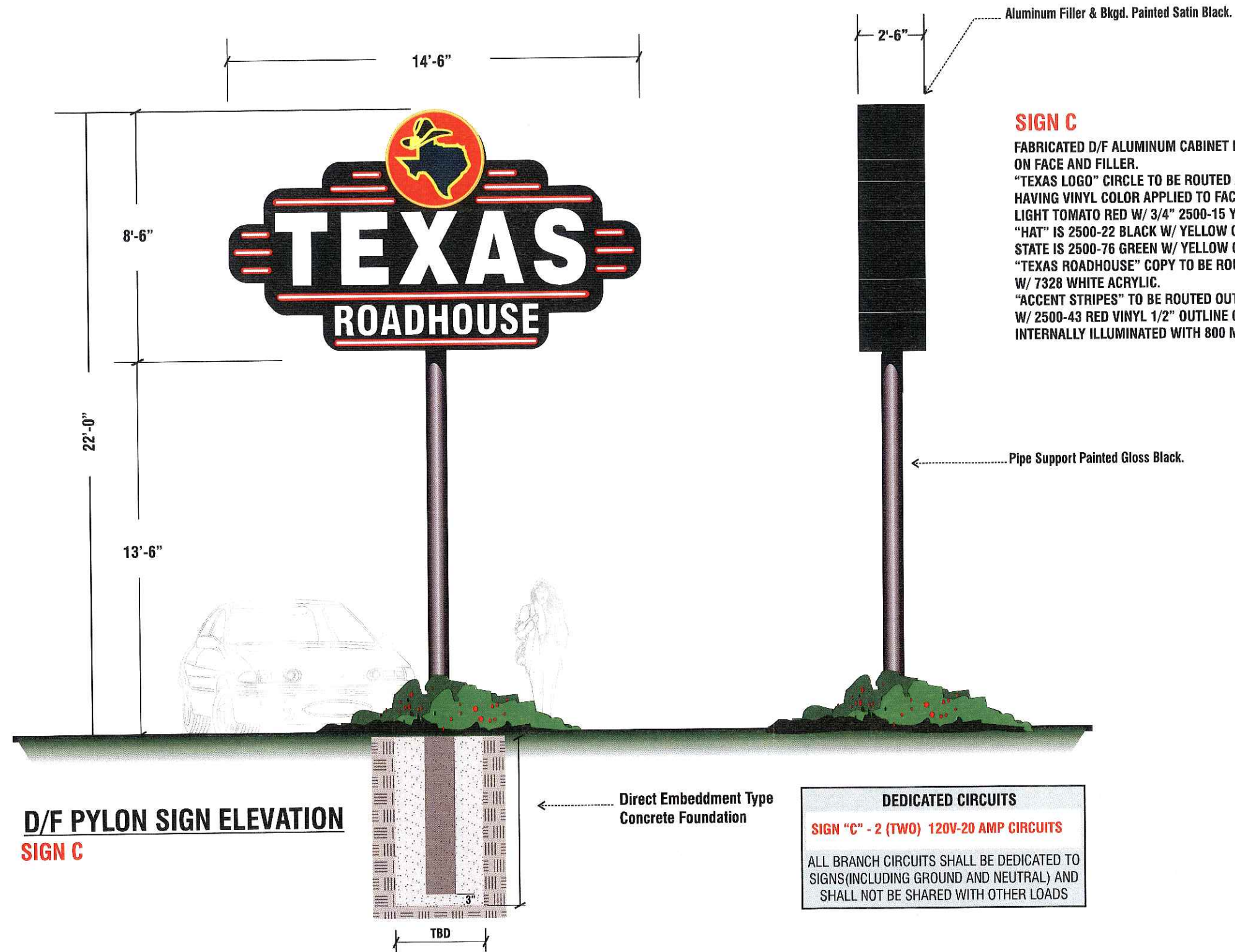
Job Number: **23-58583**

Date: **10/10/05**

Sheet Number: **2** Of **3**

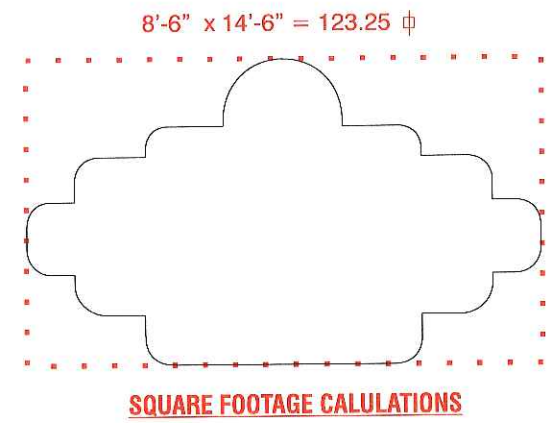
Design Number: **23-58583R2**

This original drawing is provided as part of a planned project and is not to be exhibited, copied or reproduced without the written permission of Federal Heath Sign Company, LLC or its authorized agent.



**SIGN C**

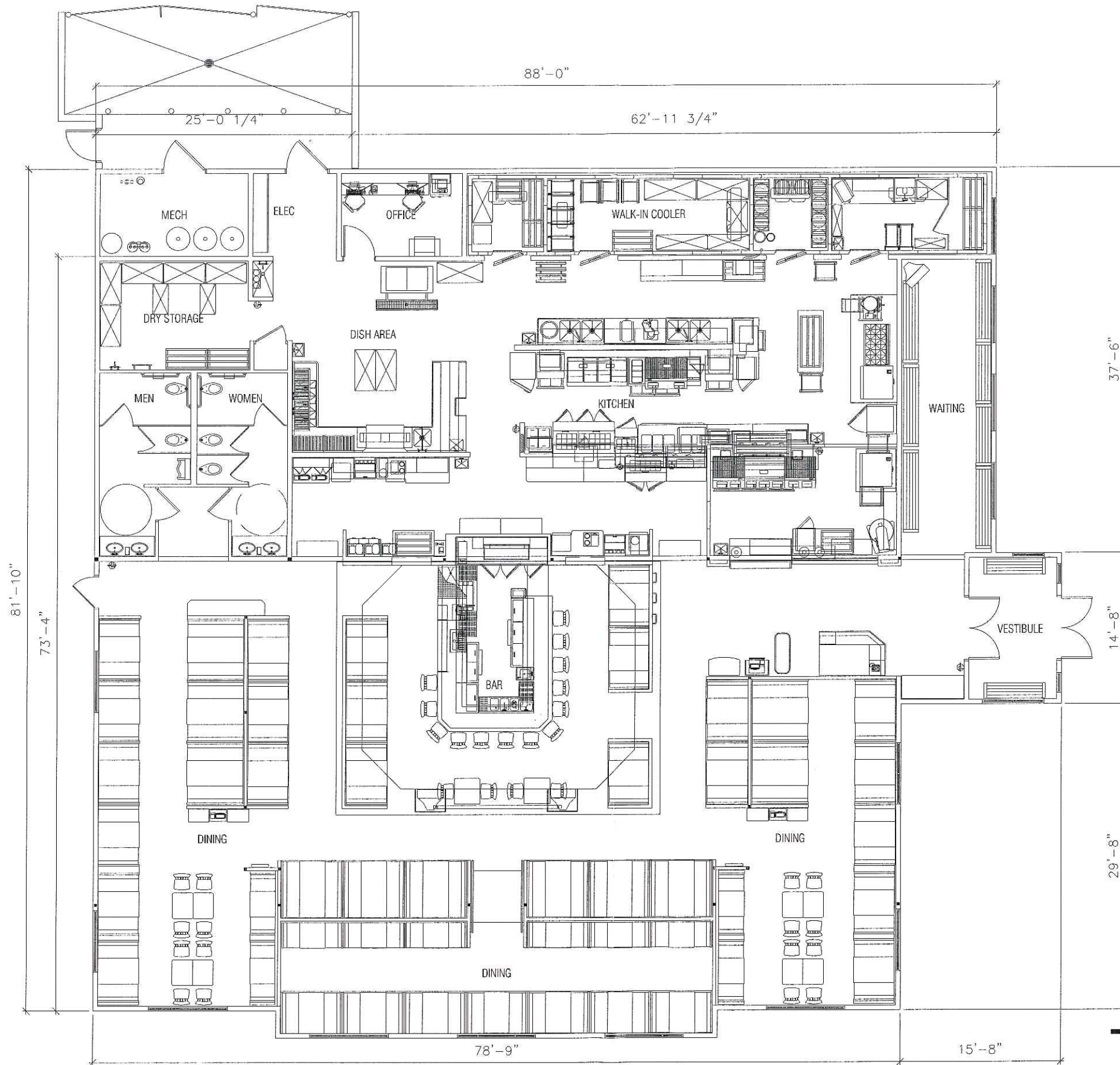
FABRICATED D/F ALUMINUM CABINET PAINTED SEMI-GLOSS BLACK FINISH ON FACE AND FILLER.  
 "TEXAS LOGO" CIRCLE TO BE ROUTED AND BACKED WITH WHITE ACRYLIC HAVING VINYL COLOR APPLIED TO FACE SURFACE. BKG'D IS ARLON 2500-43 LIGHT TOMATO RED W/ 3/4" 2500-15 YELLOW BORDER.  
 "HAT" IS 2500-22 BLACK W/ YELLOW OUTLINE.  
 STATE IS 2500-76 GREEN W/ YELLOW OUTLINE.  
 "TEXAS ROADHOUSE" COPY TO BE ROUTED OUT OF FACE AND BACKED W/ 7328 WHITE ACRYLIC.  
 "ACCENT STRIPES" TO BE ROUTED OUT AND BACKED W/ 7328 WHITE ACRYLIC W/ 2500-43 RED VINYL 1/2" OUTLINE ON FIRST SURFACE OF ACRYLIC FACE.  
 INTERNALLY ILLUMINATED WITH 800 MA COOL WHITE FLUORESCENT LAMPS.



**D/F PYLON SIGN ELEVATION**  
SIGN C

**DEDICATED CIRCUITS**  
 SIGN "C" - 2 (TWO) 120V-20 AMP CIRCUITS  
 ALL BRANCH CIRCUITS SHALL BE DEDICATED TO SIGNS (INCLUDING GROUND AND NEUTRAL) AND SHALL NOT BE SHARED WITH OTHER LOADS

**NON-STANDARD SIGNAGE:  
 ROUTED COPY W/ ACRYLIC BACKUP**



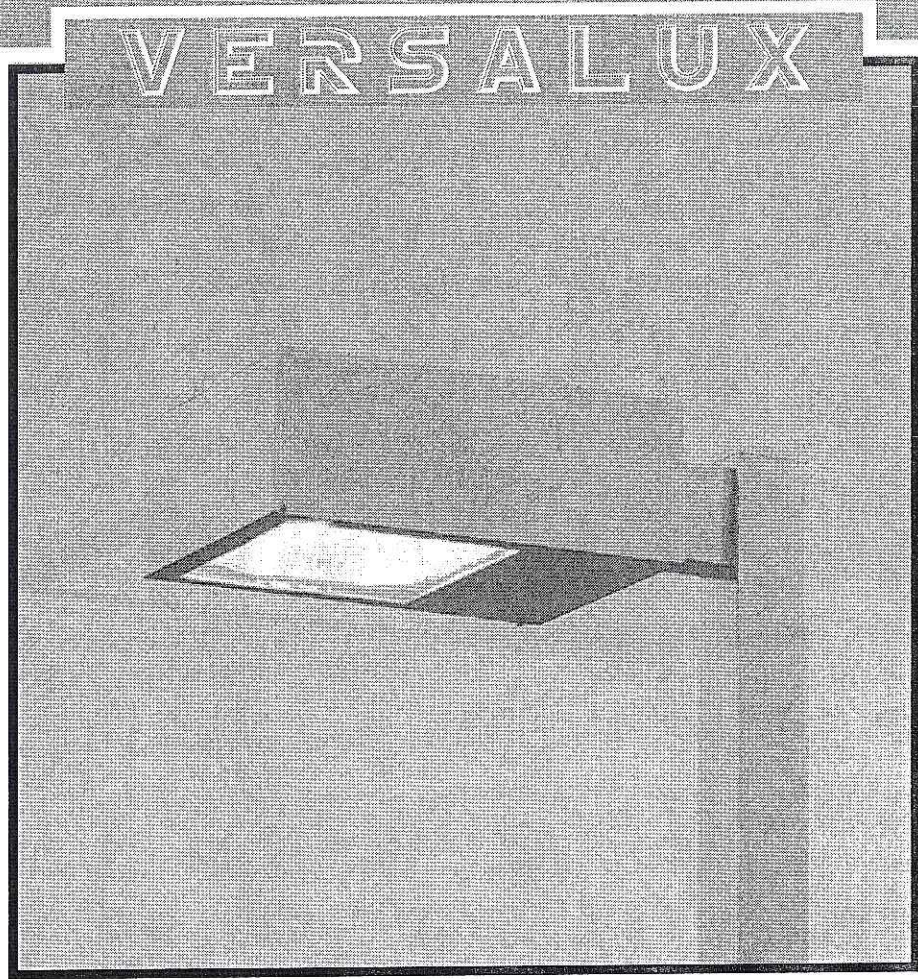
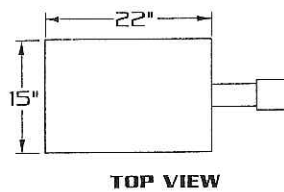
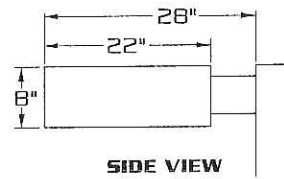
**SEATING PLAN**

SCALE: N.T.S.

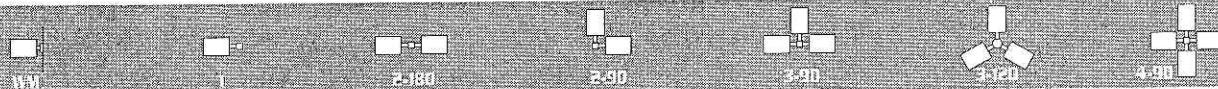


# VERSALUX

[400 WATT MAX.]



E.P.A.- 1.72

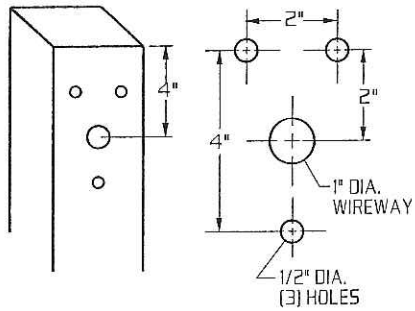


## SPECIFICATIONS

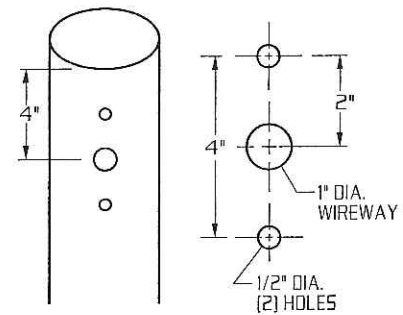
- HOUSING:** ONE PIECE HEAVY GAUGE DIE FORMED ALUMINUM CONSTRUCTION WITH SEPARATE BALLAST COMPARTMENT.
- LENS ASS'Y:** ONE PIECE HINGED HEAVY GAUGE DIE FORMED ALUMINUM DOOR FRAME SURROUNDS 3/16" CLEAR TEMPERED GLASS LENS. GLASS IS SEALED TO DOOR WITH HIGH TEMPERATURE SILICONE SEAL. TWO CAPTIVE THUMB SCREWS DISENGAGE LENS ASSEMBLY FROM HOUSING WITHOUT THE USE OF TOOLS.
- OPTICS:** COMPUTER DESIGNED ONE PIECE SEMI SPECULAR HYDROFORMED REFLECTOR COMBINES WITH LENS TO PRODUCE A HIGHLY EFFICIENT, SHARP CUTOFF. OPTICS ARE FIELD ROTATABLE.
- GASKETING:** CLOSED CELL EPDM GASKETING COMPRESSED BETWEEN DOOR AND HOUSING SEALS OPTICAL CHAMBER.
- LAMP HOLDER:** M06UL BASE PORCELAIN.
- LAMP:** (BY OTHERS)
- BALLAST:** H.P.F./C.W.A. AUTOTRANSFORMER, -20° STARTING TEMPERATURE. ELECTRICAL COMPONENTS ARE MOUNTED TO HINGED REMOVABLE TRAY FOR EASY ACCESS.
- ARM:** 3"X5"X6" LONG HEAVY WALL EXTRUDED ALUMINUM. ARM IS SECURED TO HOUSING AND TO POLE WITH STAINLESS STEEL RODS.
- FINISH:** POLYESTER POWDER COAT-STATE OF THE ART 20 PSI PRESSURE POWER WASH AT 140° TEMPERATURE INCORPORATES FOUR STEP IRON PHOSPHATE PROCESS TO CLEANSE AND PRETREAT THE METAL SURFACE FOR MAXIMUM PAINT ADHESION. ELECTROSTATICALLY APPLIED TEXTURED POLYESTER POWDER TOP COAT IS BAKED AT 400° TEMPERATURE FOR MAXIMUM HARDNESS AND EXTERIOR DURABILITY.



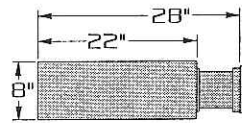
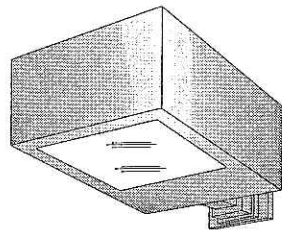
**TYPICAL SQUARE POLE TEMPLATE**



**TYPICAL ROUND POLE TEMPLATE**

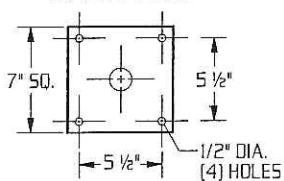


**WALL MOUNT**

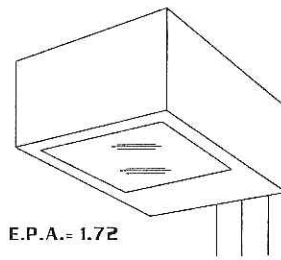


EXTRUDED ALUMINUM ARM AND CAST ALUMINUM WALL BRACKET ASSEMBLY PROVIDED WITH BUILT IN GASKETED WIRE ACCESS FOR FIXTURE/SUPPLY WIRE CONNECTION.

**WALL PLATE**



**LAMP SIZE:  
100 - 400 WATT**



E.P.A.- 1.72

RECTILINEAR HEAVY GAUGE ALUMINUM HOUSING.

FIELD ROTATABLE OPTICS.

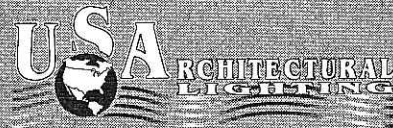
FIELD ADJUSTABLE OPTICS, TYPE II AND III LIGHT DISTRIBUTION.

HINGED BALLAST TRAY, WITH QUICK DISCONNECT PLUG FOR EASY ACCESS TO ELECTRICAL COMPONENTS.

TOOLESS LUMINAIRE ACCESS.

**ORDERING INFORMATION**

MODEL NO. :	OPTICS	WATTAGE TYPE VOLTAGE	MOUNTING	FINISH	OPTIONS
VRS					
MODEL NO. :	OPTICS	LAMP	MOUNTING	FINISH	OPTIONS
<b>VRS</b>	<input type="checkbox"/> TYPE I I..... (hydroform)	<input checked="" type="checkbox"/> 400 <input type="checkbox"/> HPS <input type="checkbox"/> 120	<input type="checkbox"/> 1..... STREET LIGHTING ARM MOUNT	<input type="checkbox"/> DARK BRONZE <b>DBM</b>	<input type="checkbox"/> CLEAR POLYCARBONATE DIFFUSER.....LEX
	<input type="checkbox"/> TYPE II II..... (hydroform)	<input type="checkbox"/> 250 <input checked="" type="checkbox"/> MH <input checked="" type="checkbox"/> 208	<input type="checkbox"/> ST 23..... (TO FIT OVER 2 3/8" O.D. ARM)	<input type="checkbox"/> MEDIUM BRONZE <b>MBM</b>	<input type="checkbox"/> HOUSE SIDE SHIELD.....HS
	<input type="checkbox"/> TYPE III III..... (hydroform)	<input type="checkbox"/> 200 <input type="checkbox"/> MV <input type="checkbox"/> 240	<input type="checkbox"/> ADJUSTABLE KNUCKLE	<input type="checkbox"/> BLACK <b>BKM</b>	<input type="checkbox"/> PHOTO CELL + VOLTAGE (EXAMPLE: PC120V).....PC+V
	<input type="checkbox"/> TYPE IV (FORWARD THROW) IV..... (segmented)	<input type="checkbox"/> 175 <input type="checkbox"/> 277	<input type="checkbox"/> NKLE23..... (TO FIT OVER 2 3/8" O.D.)	<input type="checkbox"/> WHITE <b>WTM</b>	<input type="checkbox"/> TWIST LOCK PHOTO CELL+VOLTAGE (EXAMPLE TPC120V).....TPC+V
	<input type="checkbox"/> TYPE V (FORWARD THROW) V..... (segmented)	<input type="checkbox"/> 150 <input type="checkbox"/> 480	<input type="checkbox"/> NKLE27..... (TO FIT OVER 2 7/8" O.D.)	<input type="checkbox"/> SILVER <b>SLM</b>	<input type="checkbox"/> TWIST LOCK RECEPTACLE ONLY.....TPR
<input type="checkbox"/> TYPE V-SQ V-SQ..... (segmented)	<input type="checkbox"/> 100 <input type="checkbox"/> MT	<input type="checkbox"/> WALL MOUNT <input type="checkbox"/> WM.....	<input type="checkbox"/> ANODIZED <b>AZ</b> ANODIZED HOUSING MUST HAVE PAINT FINISH COAT EXAMPLE: AZDBM	<input type="checkbox"/> SINGLE FUSE (120V., 277V).....SF	
		METAL HALIDE UNITS ONLY USE ED28 LAMP FOR 400 W. USE MEDIUM BASE LAMP FOR 100 W.	SEE ACCESSORIES SECTION FOR ST23 AND NKLE DETAILS	SEE PAGE 3 FOR ADDITIONAL COLORS	<input type="checkbox"/> DOUBLE FUSE (208V., 240V).....DF
					<input type="checkbox"/> TAMPER PROOF.....TP



100 WEST AVENUE OF PALM BEACH, PALM BEACH, FL 33480  
TEL: 561-845-2100  
FAX: 561-845-2101  
www.usalighting.com

**Texas Roadhouse**  
EXTERIOR SPECIFICATION



**Wall Mounted Lighting**

**PROJECT:**  
Texas Roadhouse

**Provided By:**



**Type F12**

3865 Produce Rd  
Suite 208  
Louisville, KY 40218  
Toll Free: 877-707-7378  
Phone: 502-961-0096  
Fax: 502-961-0357  
Web: www.accu-serv.com

**Item #: TWAC 100M 120 PE LPI**

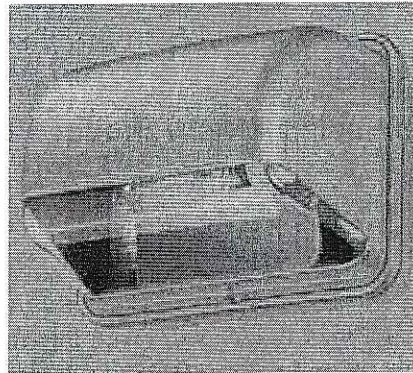
**DESCRIPTION**

**Classification:** Wall Pack

**Description:** Wall Mounted Area  
Light

**Dimensions:** 10"H x 11.5"W x 8 15/16"D

**Lamp Type:** 100 Watt MH

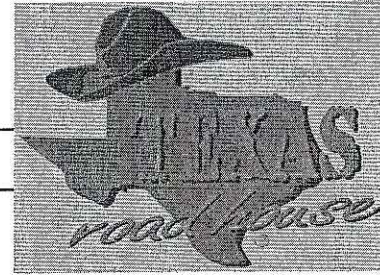


**Lamp:**



**Quantity per Store: 2**

**Texas Roadhouse**  
EXTERIOR SPECIFICATION



**Exterior Decorative Lighting**

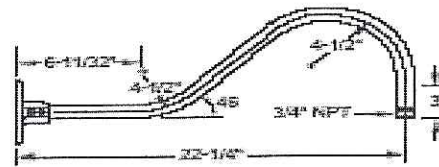
**PROJECT:**  
Texas Roadhouse

**Provided By:**



3865 Produce Rd  
Suite 208  
Louisville, KY 40218  
Toll Free: 877-707-7378  
Phone: 502-961-0096  
Fax: 502-961-0357  
Web: www.accu-serv.com

**Type F16**

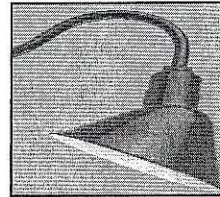
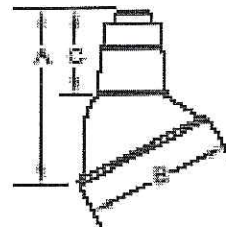


**Arm Detail**

**Item #: KB 686BK**

**DESCRIPTION**

**Classification:** Exterior Gooseneck  
**Description:** Black Angled Dome Gooseneck  
w/ Remote Ballast  
**Dimensions:** A: 10 Inches  
**Dimensions:** B: 7 Inches  
C: 5 Inches



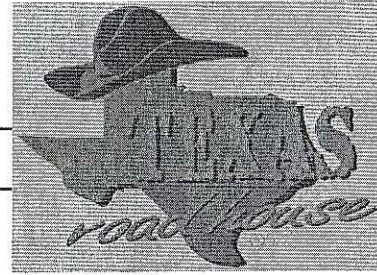
**Lamp Type:** 100 W MH

**Lamp:**



**Quantity per Store:** 18

**Texas Roadhouse**  
EXTERIOR SPECIFICATION



**Exterior Soffit Recessed Lighting**

**PROJECT:**

Texas Roadhouse

**Provided By:**



**Type F18**

3865 Produce Rd  
Suite 208  
Louisville, KY 40218  
Toll Free: 877-707-7378  
Phone: 502-961-0096  
Fax: 502-961-0357  
Web: www.accu-serv.com

**Item #: LP6H100M120/277 / 6B3**

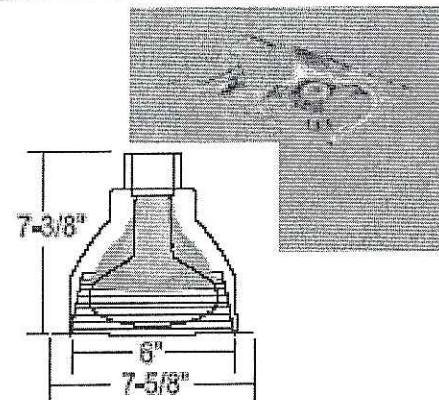
**DESCRIPTION**

**Classification:** Recessed Soffit

**Description:** Recessed Frame w/ Ballast and  
Black Baffle Trim

**Dimensions:** 13"L x 12 1/4"W x 6 7/8" Diameter  
of Opening

**Lamp Type:** 100 W MH



*Trim Dimensions*

**Lamp:**



**Quantity per Store: 21**



3455 Salt Creek Lane  
Suite 100  
Arlington Heights, IL 60005  
t: 847 788 9200  
f: 847 788 9536

**GreenbergFarrow**

ATLANTA  
NEW YORK  
CHICAGO  
LOS ANGELES  
BOSTON  
DALLAS  
NEW JERSEY

November 1, 2005

**(VIA FED-EX STANDARD)**

Santiago Rosas  
17<sup>th</sup> District Alderperson  
Council Office  
210 Martin Luther King, Jr. Blvd., Room 417  
Madison, WI 53704-3345  
Tel: (608) 266-4071

Re: Proposed Texas Roadhouse Restaurant

Dear Ald. Rosas:

On behalf of my client Texas Roadhouse Inc. (TXRH), I would like to take this opportunity to introduce our proposal for construction of a new 7,135 square foot Texas Roadhouse sit-down restaurant to be located within the southwest quadrant of the East Washington Avenue / Interstate 39 interchange.

For your review, I am forwarding a copy of our preliminary site plan (SP2, dated 09/13/05) and a copy of Texas Roadhouse's prototypical building elevations and sign package. There are a couple of items to note with the site plan:

- Texas Roadhouse intends to lease the property and contractually they have the authorization to install the area labeled as "Offsite Construction Parking" and the drive aisle between the TXRH and Krispy Kreme lots at the time of development of their lot.
- A 22-foot tall pylon sign is proposed along Annamark Drive.

Also for your reference, I am forwarding a copy of the recorded CSM indicating the Texas Roadhouse lot (Lot 2).

I am available at (847) 788-9200 Ext. 225 to answer any questions you may have concerning this project and am intending to make a formal submission to the City's Planning Department in December for Plan Commission and Urban Design review.

I look forward to working with you and the City of Madison on this project.

Respectfully,

Jennifer M. Mowen, ASLA

3455 Salt Creek Lane  
Suite 100  
Arlington Heights, IL 60005  
t: 847 788 9200  
f: 847 788 9536

**GreenbergFarrow**

ATLANTA  
NEW YORK  
CHICAGO  
LOS ANGELES  
BOSTON  
DALLAS  
NEW JERSEY

December 21, 2005

Plan Commission Members  
City of Madison  
210 Martin Luther King, Jr. Blvd.  
Madison, WI 53704-3345

Re: Proposed Texas Roadhouse Restaurant

Dear Commissioners:

On behalf of my client Texas Roadhouse Inc. (TXRH), I would like to take this opportunity to introduce our proposal for construction of a new 7,135 square foot Texas Roadhouse sit-down restaurant to be located within the southwest quadrant of the East Washington Avenue / Interstate 39 interchange at 4841 Annamark Drive.

The Texas Roadhouse site is part of a larger commercial development entitled the "Zeier Planned Commercial Site." The approved concept plan, dated 10/12/04, has been included with this submission. Texas Roadhouse intends to lease approximately 1.688 acres and contractually they have the authorization to install the approximate 0.404-acre area labeled as "Offsite Construction Parking." This area will provide for a temporary cul-de-sac turnaround until the adjacent properties to the east are developed, at which time the cul-de-sac will be removed and the parking lot will be built out according to the concept plan.

Contractually, Texas Roadhouse is required to install the drive aisle between the TXRH and Krispy Kreme lots at the time of development of their lot. The property line dividing the TXRH and Krispy Kreme lots is located on the centerline of this drive aisle, and as such approximately 0.142 acres of this drive aisle will be located on the Krispy Kreme site. Therefore, TXRH will develop a total of 2.234 acres of land (1.688 acres strictly for their lease lot + 0.404 acres for the "Offsite Construction Parking" area + 0.142 acres for the portion of the drive aisle that is located off of their lease lot.)

The 1.688 acre TXRH lot is noted as Lot 2 on the Recorded "Certified Survey Map Lots 16, 17, And Part of 13, Regional East." A copy of this CSM has been included with this submission. The site is vacant and is relatively flat. A copy of the ALTA survey further denoting existing conditions has also been included with this submission.

115 parking stalls are proposed for the 1.688 acre TXRH lot. This is consistent with the approved concept plan. An additional 31 parking stalls are proposed in the "Offsite Construction Parking" area. A bike pad, sized to accommodate parking for 12 bicycles is proposed near the front door of the restaurant. An outdoor patio is also provided near the front entrance. A trash enclosure sized to accommodate three (3) roll-out trash bins and a loading area are provided adjacent to the service entrances near the southeast corner of the building.

Landscaping, site lighting, and exterior signage are designed to meet code. The City's Planning Department has indicated that Washington Avenue can be used to determine the maximum allowable amount of signage.

The occupancy load as determined by the building code is 287 occupants. Seating capacity is 239 seats, including the bar area, and the overall square footage of the building is broken down as follows:

Foyer	481.70 SF
Office	107.49 SF
Chemical Storage	9.50 SF
Mechanical Room	115.93 SF
Rest Rooms	358.53 SF
Coolers	416.67 SF
Waiting	250.93 SF
Bar	184.49 SF
Kitchen	1,965.43 SF
Dinning	3,083.80 SF
Dry Storage	160.53 SF
<b>TOTAL</b>	<b>7,135.00 SF</b>

*Square footages are approximate.*

In general, Texas Roadhouse's hours of operation are Monday thru Thursday from 4:00 PM to 10:00 PM, Friday from 4:00 PM to 11:00 PM, Saturday from 11:00 AM to 11:00 PM, and Sunday from 11:00 AM to 10:00 PM. Typically, 40 employees are required for the peak shift.

Texas Roadhouse desires to have all approvals and permits in hand with construction under way around the 1<sup>st</sup> of April 2006 with a Grand Opening scheduled for late August 2006. Per the City's request, a project contact list is also included with this submission.

On behalf of Texas Roadhouse, I look forward to a successful development in the City of Madison and appreciate your consideration of this project.

Respectfully,

Jennifer M. Mowen, ASLA

**MADISON, WI - TEXAS ROADHOUSE  
CONTACT LIST  
(SWQ U.S. 151 & I-39)  
GF #: 20050922.2**

<p><b><u>TXRH – DIR. OF DEVELOPMENT</u></b></p> <p>Michael Keaton Senior Director of Development Texas Roadhouse 6040 Dutchmans Lane, Suite 400 Louisville, KY 40205</p> <p>Tel: (502) 515-7250 Mobile: (317) 701-4404 Fax: (240) 250-7122 Email: <a href="mailto:mikek@texasroadhouse.com">mikek@texasroadhouse.com</a></p>	<p><b><u>TXRH – DEVELOPMENT MANAGER</u></b></p> <p>Kerri Smith Development Manager Texas Roadhouse 6040 Dutchmans Lane, Suite 400 Louisville, KY 40205</p> <p>Tel: (502) 515-7301 Mobile: (502) 741-5175 Fax: (859) 422-5006 Email: <a href="mailto:kerri.smith@texasroadhouse.com">kerri.smith@texasroadhouse.com</a></p>
<p><b><u>TXRH –REAL ESTATE MANAGER</u></b></p> <p>Michael Keaton Senior Director of Development Texas Roadhouse 6040 Dutchmans Lane, Suite 400 Louisville, KY 40205</p> <p>Tel: (502) 515-7250 Mobile: (317) 701-4404 Fax: (240) 250-7122 Email: <a href="mailto:mikek@texasroadhouse.com">mikek@texasroadhouse.com</a></p>	<p><b><u>TXRH –CONSTRUCTION</u></b></p> <p>David Banet Senior Estimator/Construction Manager Texas Roadhouse 6040 Dutchmans Lane, Suite 400 Louisville, KY 40205</p> <p>Tel: (502) 515-7212 Fax: (502) 515-7229 Email: <a href="mailto:david.banet@texasroadhouse.com">david.banet@texasroadhouse.com</a></p>
<p><b><u>TXRH - ATTORNEY</u></b></p> <p>Thomas H. Stewart, Jr. Thomas H. Stewart, Jr. &amp; Associates, PLLC 500 N. Akard St., Suite 2840 Dallas, TX 75201</p> <p>Tel: (214) 740-4290 Fax: (214) 740-4266 Email: <a href="mailto:tstewart@stewartlegal.com">tstewart@stewartlegal.com</a></p>	<p><b><u>SITE DEVELOPMENT</u></b></p> <p>Jennifer Mowen Site Development Coordinator Greenberg Farrow 3455 Salt Creek Lane, Suite 100 Arlington Heights, IL 60005</p> <p>Tel: (847) 788-9200 Fax: (847) 788-9537 Email: <a href="mailto:jmowen@greenbergfarrow.com">jmowen@greenbergfarrow.com</a></p>

<p><b><u>LANDLORD</u></b></p> <p>Raymond &amp; Loraine Zeier  Annamark Group Z, LLC  2211 North Stoughton Road  Madison, WI 53704</p>	<p><b><u>LANDLORD'S ATTORNEY</u></b></p> <p>John Frank  Lathrop &amp; Clark LLP  P.O. Box 1507  Madison, WI 53701-1507</p> <p>Tel: (608) 257-7766  Email: <a href="mailto:jfrank@lathropclark.com">jfrank@lathropclark.com</a></p>
<p><b><u>GEOTECH</u></b></p> <p>Troy Giles  Giles Engineering Associates, Inc.  N8 W22350 Johnson Drive  Waukesha, WI 53186</p> <p>Tel: (262) 544-0118  Fax: (262) 549-5868  Email: <a href="mailto:tegiles@gilesengr.com">tegiles@gilesengr.com</a></p>	<p><b><u>SIGN CONSULTANT</u></b></p> <p>Steve Maeser  Sr. Program Manager  Federal Heath Sign Company  6040 Dutchmans Lane, Suite 400  Louisville, KY 40205</p> <p>Tel: (502) 515-7328  Fax: (502) 459-4420  Email: <a href="mailto:smaeser@federalheath.com">smaeser@federalheath.com</a></p>
<p><b><u>SURVEYOR</u></b></p> <p>Wayne Barsness / Karen Gagnon  D'Onofrio, Kottke, &amp; Assoc., Inc.  7530 Westward Way  Madison, WI 53717</p> <p>Tel: (608) 833-7530  Fax: (608) 833-1089  Email: <a href="mailto:wbarsness@donofrio.cc">wbarsness@donofrio.cc</a>  <a href="mailto:kgagnon@donofrio.cc">kgagnon@donofrio.cc</a></p>	<p><b><u>CIVIL ENGINEER</u></b></p> <p>Dan Angspatt / Alfonso Inchausti  Greenberg Farrow  3455 Salt Creek Lane, Suite 100  Arlington Heights, IL 60005</p> <p>Tel: (847) 788-9200  Fax: (847) 788-9536  Email: <a href="mailto:vangspatt@greenbergfarrow.com">vangspatt@greenbergfarrow.com</a>  <a href="mailto:ainchausti@greenbergfarrow.com">ainchausti@greenbergfarrow.com</a></p>
<p><b><u>LANDSCAPE ARCHITECT</u></b></p> <p>Christopher Thiel  Schreiber/Anderson Associates, Inc.  717 John Nolen Drive  Madison, WI 53713</p> <p>Tel: (608) 255-0800  Tel Direct: (608) 441-3592  Fax: (608) 255-7750  E-mail: <a href="mailto:cthiel@saa-madison.com">cthiel@saa-madison.com</a></p>	<p><b><u>SITE LIGHTING CONSULTANT</u></b></p> <p>Kevin Loehle  AccuServ Lighting &amp; Equipment  3865 Produce Road, Suite 208  Louisville, KY 40218</p> <p>Tel: (877) 707-7378 (Toll Free)  Tel: (502) 961-0096  Fax: (502)961-0357  Email: <a href="mailto:kloehle@accu-serv.com">kloehle@accu-serv.com</a></p>

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