

PROJECT INFORMATION

ASSOCIATED PHYSICIANS PARKING FACILITY- CONDITIONAL USE PERMIT SET

215 PRICE PLACE
MADISON, WISCONSIN 53705



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PROJECT LOCATION

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PROJECT/BUILDING DATA

BUILDING AREAS:
LOWER LEVEL = 15,563 GSF
FIRST FLOOR = 15,563 GSF
SECOND FLOOR = 12,431 GSF

PARKING RAMP TOTAL = 43,557 GSF

LOT PARCEL NUMBER: 070920118019

PARKING GENERAL NOTES

VEHICLE PARKING REQUIREMENT-
CLINICS: 1/2 EMPLOYEES OR 1/200 SF
85 EMPLOYEES = 43 STALLS REQUIRED

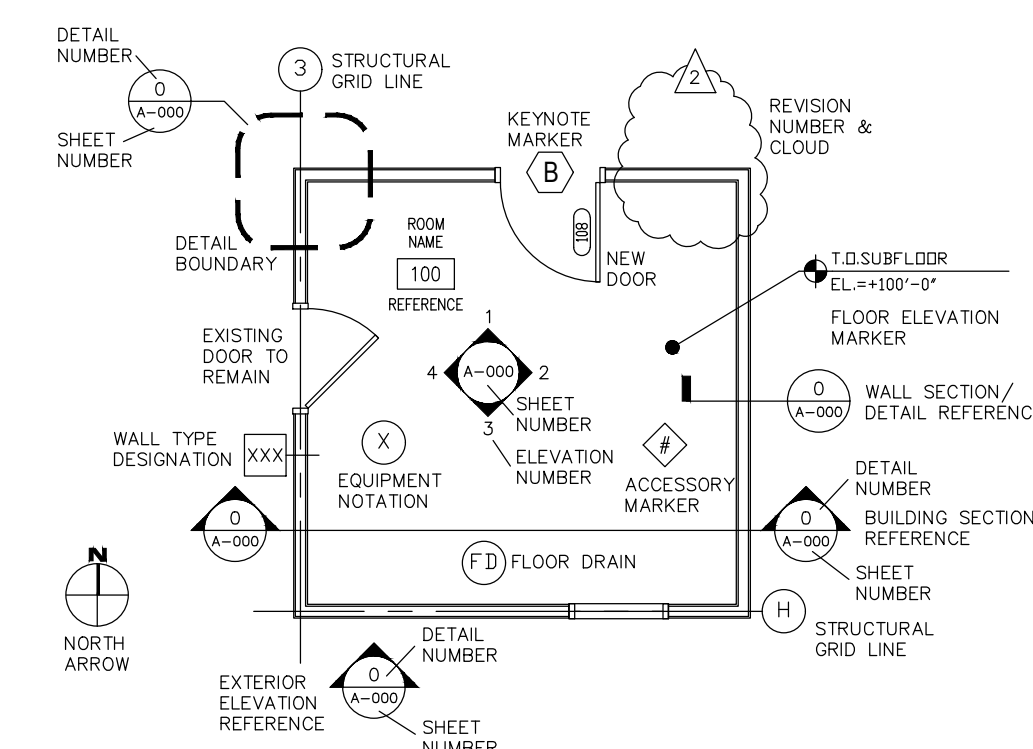
BIKE PARKING REQUIREMENT-
CLINICS: 1/5 EMPLOYEES - 85/5 = 17 REQUIRED

PARKING COUNT SUMMARY

LEVEL	SMALL CAR	LARGE CAR	TOTAL	BIKE STALLS
LOWER	8	33	41	5
FIRST	8	33	41	10
SECOND	6	27	33	0
RAMP TOTAL	22 (19%)	93	115	15
4406 REGENT STREET:				
SURFACE	4	0	4	7
TOTALS	26	93	119	22



ARCHITECTURAL SYMBOLS LEGEND



CONTACT INFORMATION

DESIGN BUILDER:
TRI-NORTH BUILDERS
2525 RESEARCH PARK DRIVE
FITCHBURG, WI 53711
P: 608-271-8718
www.tri-north.com

CIVIL ENGINEER:
SNYDER & ASSOCIATES, INC
5010 VOGES ROAD
MADISON, WI 53718
P: 608-838-0444
www.snyder-associates.com

LANDSCAPE ARCHITECT:
PAUL SKIDMORE, ASLA
LANDSCAPE ARCHITECT, LLC
13 RED MAPLE TRAIL
MADISON, WI 53717
P: 608-826-0032

PROJECT:
ASSOCIATED PHYSICIANS
215 PRICE PLACE
MADISON, WI 53705

TITLE:

TITLE SHEET

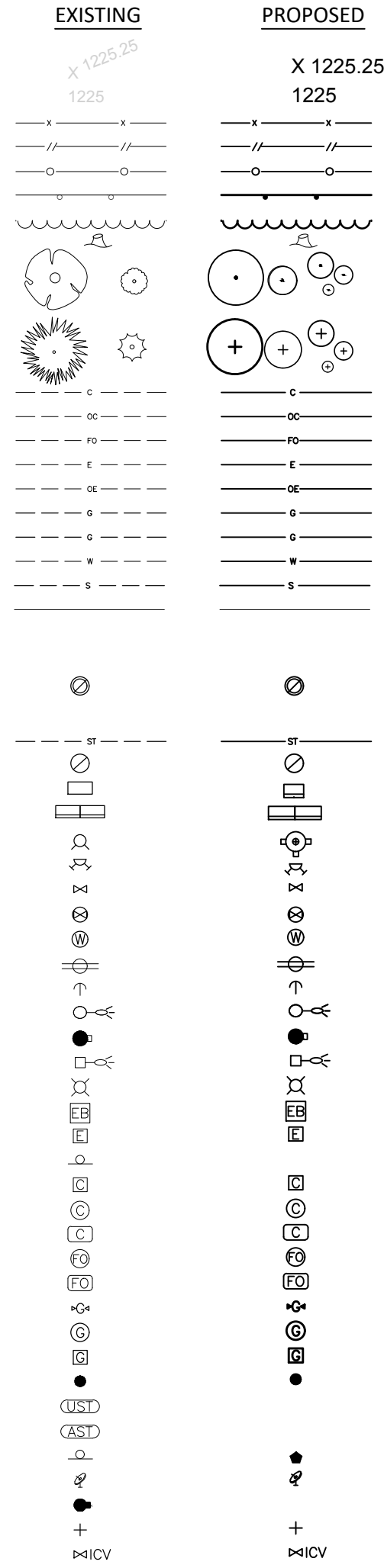
DRAWN BY: SH CHECKED BY: SH
PROJECT NO: 20550 DATE: 06/16/2020

T1.0

LEGEND

FEATURES

- Spot Elevation
- Contour Elevation
- Fence (Barbed, Field, Hog)
- Fence (Chain Link)
- Fence (Wood)
- Fence (Silt)
- Tree Line
- Tree Stump
- Deciduous Tree \ Shrub
- Coniferous Tree \ Shrub
- Communication
- Overhead Communication
- Fiber Optic
- Underground Electric
- Overhead Electric
- Gas Main
- High Pressure Gas Main
- Water Main
- Sanitary Sewer
- Duct Bank
- Test Hole Location for SUE w/ID



CONSTRUCTION SEQUENCE

- 1.0 INSTALL AND MAINTAIN THE TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT'S AS DESCRIBED IN THE DANE COUNTY EROSION CONTROL AND STORMWATER MANAGEMENT MANUAL. ADDITIONALLY INSTALL CONSTRUCTION EQUIPMENT PARKING AREAS. STABILIZE BARE AREAS IMMEDIATELY WITH GRAVEL AND TEMPORARY VEGETATION AS CONSTRUCTION TAKES PLACE. THE TEMPORARY ACCESS POINT SHALL BE PLACED IN THE LOCATION SHOWN ON THE GRADING AND EROSION CONTROL PLAN. THE ENTRANCE/EXIT'S WILL BE INSPECTED DAILY. IF THE AGGREGATE WITHIN THE TEMPORARY ACCESS PADS BECOMES COVERED WITH SOIL OR IF SIGNIFICANT QUANTITIES OF SOIL ARE TRACKED ONTO THE EXISTING ROADWAY THEN ADDITIONAL AGGREGATE WILL BE INSTALLED TO ALLOW THE ENTRANCE/EXIT'S TO FUNCTION PROPERLY.
2. INSTALL EROSION AND SEDIMENT CONTROL BARRIERS (SILT FENCE) IMMEDIATELY DOWNSLOPE OF AREAS TO BE DISTURBED DURING CONSTRUCTION AS SHOWN ON THE APPROVED GRADING PLAN. THE BARRIERS MUST BE INSTALLED PARALLEL TO THE SITE CONTOURS TO THE EXTENT PRACTICABLE WITH THE ENDS EXTENDED UPSLOPE ONE TO TWO FEET TO PREVENT FLANKING OF THE RUNOFF. AT NO TIME FROM THE START OF ROUGH GRADING UNTIL SITE STABILIZATION SHALL AN UNBROKEN SLOPE EXIST BETWEEN DISTURBED AREAS AND THE RECEIVING WATERS. THE DANE COUNTY EROSION CONTROL AND STORMWATER MANAGEMENT MANUAL WILL BE REFERENCED FOR THE PROPER INSTALLATION AND MAINTENANCE OF SILT FENCE AND ALL OTHER EROSION CONTROL MEASURES ON THE SITE.
3. STRIP TOPSOIL FROM THE AREAS OF THE SITE THAT WILL BE GRADED WITHIN 48 HOURS. ANY AREAS THAT WILL NOT BE IMMEDIATELY GRADED MUST NOT BE STRIPPED OF TOPSOIL UNTIL THE PRECEDING AREAS ARE TOPSOILED, SEEDED AND MULCHED. PLACE SOIL STOCKPILES AT LEAST 25 FEET AWAY FROM ANY DOWNSLOPE STREET, DRIVEWAY, OR DITCH. ALL TOPSOIL PILES WILL HAVE SILT FENCE PLACED ON THEIR DOWNSLOPE SIDES. TOPSOIL PILES WILL BE SEEDED WITH ANNUAL RYE IF THEY ARE IN PLACE FOR MORE THAN 7 DAYS. ANY AREAS LEFT INACTIVE FOR MORE THAN 7 DAYS WILL BE STABILIZED IMMEDIATELY WITH SEED AND MULCH.
4. GRADING WILL BE PHASED TO THE EXTENT PRACTICABLE TO LIMIT THE AMOUNT OF THE EXPOSED SOIL AT ANY ONE TIME AND TO PROVIDE A BUFFER BETWEEN THE GRADED AREAS AND THE RECEIVING WATERS. THE INTENT OF THESE GRADING RESTRICTIONS IS TO PROVIDE AN UNDISTURBED BUFFER AREA ALLOWING ADDITIONAL EROSION AND SEDIMENTATION PROTECTION DURING CONSTRUCTION.
5. TOPSOIL, SEED AND MULCH ALL AREAS WHICH ARE AT FINAL GRADE AND WHICH WILL NOT BE DISTURBED DURING SUBSEQUENT PHASES OF CONSTRUCTION. ANY AREAS LEFT INACTIVE FOR MORE THAN 7 DAYS MUST BE STABILIZED IMMEDIATELY.
6. INSTALL SANITARY SEWER, WATER MAIN, & STORM SEWER.
7. COMPLETE FINAL GRADING FOR PARKING LOT & ROADWAY AND STABILIZE WITH GRAVEL.
8. COMPLETE FINAL GRADE OF THE SITE.
9. UTILITY TRENCHES SHALL BE FILLED WITH SUITABLE BACKFILL MATERIAL AND COMPACTED AS NEEDED. TOPSOIL SHALL BE REPLACED, FERTILIZED, SEEDED AND PROTECTED AS CALLED FOR BELOW IN ITEMS 11 AND 12. UTILITY CONSTRUCTION SHALL BE COORDINATED WITH OTHER GRADING ACTIVITIES SO THAT RESTORATION CAN BE COMPLETED AS SOON AS POSSIBLE AFTER CONSTRUCTION.
9. WITHIN 7 DAYS OF THE COMPLETION OF FINAL GRADING, A MINIMUM OF 4 INCHES OF TOPSOIL SHALL BE REPLACED ON ALL DISTURBED SURFACES THAT ARE TO BE REVEGETATED. TOPSOIL SHALL BE UNIFORMLY PLACED, GRADED SMOOTH AND SCARIFIED FOR SEEDING.
10. FERTILIZE ALL AREAS TO BE SEEDED OR SODDED WITH 500LBS. PER ACRE OF 16-8-8 (MINIMUM). INCORPORATE THE FERTILIZER INTO THE SOIL BY SCARIFYING AS INDICATED ABOVE IN ITEM 11. SEED ALL DISTURBED AREAS WITH THE FOLLOWING SEEDING MIXTURE:
 - 30.50 LBS/ACRE OF KENTUCKY BLUEGRASS
 - 17.50 LBS/ACRE OF RED FESCUE
 - 17.50 LBS/ACRE OF HARD FESCUE
 - 22.00 LBS/ACRE OF PERENNIAL RYE GRASS
11. MULCH ALL SEEDED AREAS WITH 1.5 TONS PER ACRE OF CLEAN STRAW. STRAW SHALL BE ANCHORED IN PLACE WITH SUITABLE EQUIPMENT OR STAKING WITH TWINE.
12. FOR AREAS ON WHICH GRADING IS COMPLETED AFTER SEPTEMBER 30.
13. TEMPORARY SEED SHALL INCLUDE A SOIL STABILIZING POLYMER AND COVER CROP OF WINTER RYE (AT A RATE OF 75#/ACRE) AND MUST BE APPLIED AS SOON AS THESE AREAS REACH THEIR FINAL GRADE. ADDITIONAL EROSION CONTROL BARRIERS MAY BE NEEDED DOWNSLOPE OF THESE AREAS UNTIL FINAL SEEDING OR SODDING IS COMPLETED IN SPRING (BY JUNE 1). ANY AREAS WITH SLOPES GREATER THAN 6:1 MUST BE SEEDED AND MULCHED BUT NOT TOPSOILED. AREAS WITH SLOPED LESS THAN 6:1 MUST BE TOPSOILED, SEEDED AND MULCHED. ALL AREAS MUST BE TOPSOILED, SEEDED AND MULCHED AS DESCRIBED ABOVE IN THE FOLLOWING SPRING.
14. WHENEVER POSSIBLE, PRESERVE EXISTING TREES, SHRUBS, AND OTHER VEGETATION. TO PREVENT ROOT DAMAGE, DO NOT GRADE, PLACE SOIL PILES, OR PARK VEHICLES NEAR TREES MARKED FOR PRESERVATION.
15. SILT FENCE MAINTENANCE: EROSION CONTROL BARRIERS (SILT FENCE) MUST BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OF 0.5-INCHES OR MORE, AND DAILY DURING PERIODS OF PROLONGED RAINFALL. REPAIRS OR REPLACEMENT SHALL BE MADE IMMEDIATELY. SEDIMENT DEPOSITS ON THE UPSLOPE SIDE ON THE SILT FENCES SHALL BE REMOVED WHEN THE DEPOSITS REACH HALF THE HEIGHT OF THE SILT FENCE.
16. GRAVEL TRACKING PAD MAINTENANCE: ADDITIONAL STONE IS REQUIRED IF EXISTING STONE BECOMES BURIED OR IF SEDIMENT IS NOT BEING REMOVED EFFECTIVELY FROM TIRES. SEDIMENT THAT IS TRACKED ONTO THE ROADWAY MUST BE REMOVED IMMEDIATELY. TRACKING PADS MAY REQUIRE PERIODIC CLEANING TO MAINTAIN THE EFFECTIVENESS OF THE PRACTICE, WHICH MAY INCLUDE THE REMOVAL AND RE-INSTALLATION OF THE STONE.

NOTES

1. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY TWO WORKING DAYS (48 HOURS) PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
3. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
4. THE BIDDER WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN HIS PROPOSAL. HE SHALL BASE HIS BID ON HIS OWN ESTIMATE OF THE WORK REQUIRED AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.
5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT IS AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
6. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.
7. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
8. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
9. CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES.
10. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL, AND SHOULD BE INCLUDED IN THE BID PRICES.

SANITARY SEWER

1. PIPE: USE SOLID-CORE, SDR-35, ASTM D3034 (OR APPROVED EQUAL) POLYVINYL CHLORIDE (PVC) PLASTIC PIPE FOR ALL DESIGNATED PVC SANITARY SEWER SERVICES. JOINTS FOR ALL SANITARY SEWER SHALL HAVE PUSH-ON JOINTS WITH ELASTOMERIC GASKETS. USE OF SOLVENT CEMENT JOINTS IS ALLOWED FOR BUILDING SERVICES. SOLVENT CEMENT JOINTS IN PVC PIPE MUST INCLUDE USE OF A PRIMER WHICH IS OF CONTRASTING COLOR TO THE PIPE AND CEMENT. PIPE WITH SOLVENT CEMENT JOINTS SHALL BE JOINED WITH PVC CEMENT CONFORMING TO ASTM D2564. LAY ALL PVC PIPE ON A CONTINUOUS GRANULAR BED. INSTALLATION MUST COMPLY WITH ASTM D2321.
2. CLEANOUTS: INSTALL CLEANOUTS ON ALL SANITARY SEWER SERVICES. THE DISTANCE BETWEEN CLEANOUTS IN HORIZONTAL PIPING SHALL NOT EXCEED 100 FEET FOR PIPES 4-INCH AND OVER IN SIZE. CLEANOUTS SHALL BE OF THE SAME NOMINAL SIZE AS THE PIPES THEY SERVE. INCLUDE FROST SLEEVES AND CONCRETE FRAME AND PIPE SUPPORT. INSTALL A METER BOX FRAME AND SOLID LID (NEENAH R-1914-A, OR APPROVED EQUAL) OVER ALL CLEANOUTS.
3. TESTING: PRESSURE TEST ALL SANITARY SEWER LINES. TEST ALL FLEXIBLE SANITARY SEWER LINES FOR DEFLECTION AFTER THE SEWER LINE HAS BEEN INSTALLED AND BACKFILL HAS BEEN IN PLACE FOR AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE TEST FAILS, MAKE NECESSARY REPAIRS AND RETEST.
4. UNLESS OTHERWISE INDICATED, USE REINFORCED, PRECAST, CONCRETE MAINTENANCE HOLES CONFORMING TO ASTM C478, FURNISHED WITH PRECAST BASES. SANITARY SEWER MAINTENANCE HOLES SHALL BE SUPPLIED WITH PRE-FORMED INVERTS AND FLEXIBLE NEOPRENE SLEEVE CONNECTIONS FOR ALL LATERAL LINES 3/8" (15 INCHES) IN DIAMETER OR LESS, UNLESS OTHERWISE INDICATED. JOINTS FOR ALL PRECAST MAINTENANCE HOLE SECTIONS SHALL HAVE CONFINED, RUBBER "O"-RING GASKETS IN ACCORDANCE WITH ASTM C923. THE INSIDE BARREL DIAMETER SHALL NOT BE LESS THAN 48 INCHES.
5. INSTALL FLEXIBLE WATERTIGHT FRAME/CHIMNEY SEALS ON ALL SANITARY SEWER MAINTENANCE HOLES. USE EITHER MANUFACTURED MAINTENANCE HOLE FRAME/CHIMNEY SEALS OR ELASTOMERIC WATERPROOFING FRAME/CHIMNEY SEALS.
6. USE NEENAH FOUNDRY CO. R-1642 CASTING WITH SELF-SEALING, SOLID, TYPE B LID, OR APPROVED EQUAL, ON ALL SANITARY SEWER MAINTENANCE HOLES. COVERS SHALL BEAR THE "SANITARY SEWER" LABEL.
7. THE MINIMUM DEPTH OF COVER FOR SANITARY SEWER WITHOUT INSULATION IS 5 FEET. INSULATE SANITARY SEWER SERVICES AT LOCATIONS WHERE THE DEPTH OF COVER IS LESS THAN 5 FEET. PROVIDE A MINIMUM INSULATION THICKNESS OF 2 INCHES. THE INSULATION MUST BE AT LEAST 4 FEET WIDE AND CENTERED ON THE PIPE. INSTALL THE INSULATION BOARDS 6 INCHES ABOVE THE TOPS OF THE PIPES ON MECHANICALLY COMPACTED AND LEVELED PIPE BEDDING MATERIAL. USE HIGH DENSITY, CLOSED CELL, RIGID BOARD MATERIAL EQUIVALENT TO DOW STYROFOAM HI-40 PLASTIC FOAM INSULATION.
8. TRACER WIRE: LOCATING REQUIREMENTS - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THE WISCONSIN STATUTES 182.0175(2R) AND THE WISCONSIN DEPARTMENT OF COMMERCE COMM 82.30(11)(H).

STORM DRAINAGE

1. UNLESS OTHERWISE INDICATED, USE REINFORCED, PRECAST, CONCRETE MAINTENANCE HOLES AND CATCHBASINS CONFORMING TO ASTM C478, FURNISHED WITH WATER STOP RUBBER GASKETS AND PRECAST BASES. JOINTS FOR ALL PRECAST MAINTENANCE HOLE SECTIONS SHALL HAVE CONFINED, RUBBER "O"-RING GASKETS IN ACCORDANCE WITH ASTM C923. THE INSIDE BARREL DIAMETER SHALL NOT BE LESS THAN 48 INCHES.
2. ALL JOINTS AND CONNECTIONS TO CATCHBASINS OR MANHOLES SHALL BE WATERTIGHT. USE RESILIENT RUBBER SEALS, WATERSTOP GASKETS, OR APPROVED EQUAL. CEMENT MORTAR JOINTS ARE NOT ALLOWED.
3. INSTALL CATCHBASIN CASTINGS WITH SPECIFIED TOP ELEVATION AT THE FRONT RIM.
4. USE HDPE SOLID WALL PIPE WHEN CALLED OUT ON THE PLANS.
5. PVC PIPE: USE SOLID-CORE, SDR-35, ASTM D3034 POLYVINYL CHLORIDE (PVC) PIPE FOR DESIGNATED PVC STORM SEWER SERVICES 4 TO 15-INCHES IN DIAMETER. USE SOLID-CORE, SDR-35, ASTM F679 POLYVINYL CHLORIDE (PVC) PIPE FOR DESIGNATED PVC STORM SEWER SERVICES 18 TO 27-INCHES IN DIAMETER. JOINTS FOR ALL STORM SEWER SHALL HAVE PUSH-ON JOINTS WITH ELASTOMERIC GASKETS. USE OF SOLVENT CEMENT JOINTS IS ALLOWED FOR BUILDING SERVICES. SOLVENT CEMENT JOINTS IN PVC PIPE MUST INCLUDE USE OF A PRIMER WHICH IS OF CONTRASTING COLOR TO THE PIPE AND CEMENT. PIPE WITH SOLVENT CEMENT JOINTS SHALL BE JOINED WITH PVC CEMENT CONFORMING TO ASTM D2564. LAY ALL PVC PIPE ON A CONTINUOUS GRANULAR BED. INSTALLATION MUST COMPLY WITH ASTM D2321.
6. TESTING: TEST ALL PORTIONS OF STORM SEWER THAT ARE WITHIN 10 FEET OF BUILDINGS, WITHIN 10 FEET OF BURIED WATER, LINES, WITHIN 50 FEET OF WATER WELLS, OR THAT PASS THROUGH SOIL OR WATER IDENTIFIED AS BEING CONTAMINATED. TEST ALL FLEXIBLE STORM SEWER LINES FOR DEFLECTION AFTER THE SEWER LINE HAS BEEN INSTALLED AND BACKFILL HAS BEEN IN PLACE FOR AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE TEST FAILS, MAKE NECESSARY REPAIRS AND RETEST.
7. INSTALL DETECTABLE UNDERGROUND MARKING TAPE DIRECTLY ABOVE ALL PVC, POLYETHYLENE, AND OTHER NONCONDUCTIVE UNDERGROUND UTILITIES AT A DEPTH OF 457 MM (18 INCHES) BELOW FINISHED GRADE, UNLESS OTHERWISE INDICATED. BRING THE TAPE TO THE SURFACE AT VARIOUS LOCATIONS IN ORDER TO PROVIDE CONNECTION POINTS FOR LOCATING UNDERGROUND UTILITIES. INSTALL BLUE RHINO TRIVIEW FLEX TEST STATIONS, OR APPROVED EQUAL, WITH BLACK CAPS AT EACH SURFACE LOCATION.
8. TRACER WIRE: LOCATING REQUIREMENTS - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 182.0715(2R) OF THE STATUTES.
9. THE MINIMUM DEPTH OF COVER FOR BUILDING AND CANOPY ROOF DRAIN LEADERS WITHOUT INSULATION IS 5 FEET. INSULATE ROOF DRAIN LEADERS AT LOCATIONS WHERE THE DEPTH OF COVER IS LESS THAN 5 FEET. PROVIDE A MINIMUM INSULATION THICKNESS OF 2 INCHES. THE INSULATION MUST BE AT LEAST 4 FEET WIDE AND CENTERED ON THE PIPE. INSTALL THE INSULATION BOARDS 6 INCHES ABOVE THE TOPS OF THE PIPES ON MECHANICALLY COMPACTED AND LEVELED PIPE BEDDING MATERIAL. USE HIGH DENSITY, CLOSED CELL, RIGID BOARD MATERIAL EQUIVALENT TO DOW STYROFOAM HI-40 PLASTIC FOAM INSULATION.
10. CLEANOUTS: INSTALL CLEANOUTS ON ALL ROOF DRAINS IN ACCORDANCE WITH S.P.S 382.35 (3)(C)(1). THE DISTANCE BETWEEN CLEANOUTS IN HORIZONTAL PIPING SHALL NOT EXCEED 100 FEET FOR PIPES 10-INCHES AND UNDER IN SIZE. CLEANOUTS SHALL BE OF THE SAME NOMINAL SIZE AS THE PIPES THEY SERVE. INSTALL A METER BOX FRAME AND SOLID LID (NEENAH R-1914-A, OR APPROVED EQUAL) OVER ALL CLEANOUTS.
11. INSTALL ALL PIPE WITH THE ASTM IDENTIFICATION NUMBERS ON THE TOP FOR INSPECTION. COMMENCE PIPE LAYING AT THE LOWEST POINT IN THE PROPOSED SEWER LINE. LAY THE PIPE WITH THE BELL END OR RECEIVING GROOVE END OF THE PIPE POINTING UPGRADE. WHEN CONNECTING TO AN EXISTING PIPE, UNCOVER THE EXISTING PIPE IN ORDER TO ALLOW ANY ADJUSTMENTS IN THE PROPOSED LINE AND GRADE BEFORE LAYING ANY PIPE. DO NOT LAY PIPES IN WATER OR WHEN THE TRENCH CONDITIONS ARE UNSUITABLE FOR SUCH WORK.

ZONING

SE - SUBURBAN EMPLOYMENT DISTRICT

PROPERTY DESCRIPTION

LOT 7, BLOCK 35, UNIVERSITY HILL FARMS - COMMERCIAL RESEVE ADDITION, RECORDED IN VOLUME 21, PAGES 6-7, DANE COUNTY REGISTRY, LOCATED IN SECTION 20, TOWNSHIP 7 NORTH, RANGE 9 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

PROPERTY ADDRESS

215 PRICE PLACE
MADISON, WI 53705

UTILITY CONTACT INFORMATION

UTILITY CONTACT FOR MAPPING INFORMATION SHOWN AS RECEIVED FROM THE DIGGERS HOTLINE SYSTEM, TICKET NUMBER 20200905499

NATURAL GAS - MG&E	608-252-7373
ELECTRICITY - MG&E	608-252-7373
SANITARY SEWER - CITY OF MADISON	608-266-4751
WATER SERVICE - CITY OF MADISON	608-266-4651

BENCHMARKS

BM #1 (PK NAIL IN ASPHALT) AS SHOWN ON C 200
ELEV = 898.33

BM #2 (PK NAIL IN ASPHALT) AS SHOWN ON C 200
ELEV = 904.35

DATE OF SURVEY

MARCH 25, 2020

MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: LAO		
Technician: LAO	Date: 4-21-2020	Field Bk:	Pg:
Project No: 1120.0265.30			

REGENT STREET PARKING GARAGE
 LEGEND AND NOTES
 CITY OF MADISON, WISCONSIN
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-638-0444 | www.snyder-associates.com

SNYDER & ASSOCIATES

C 100

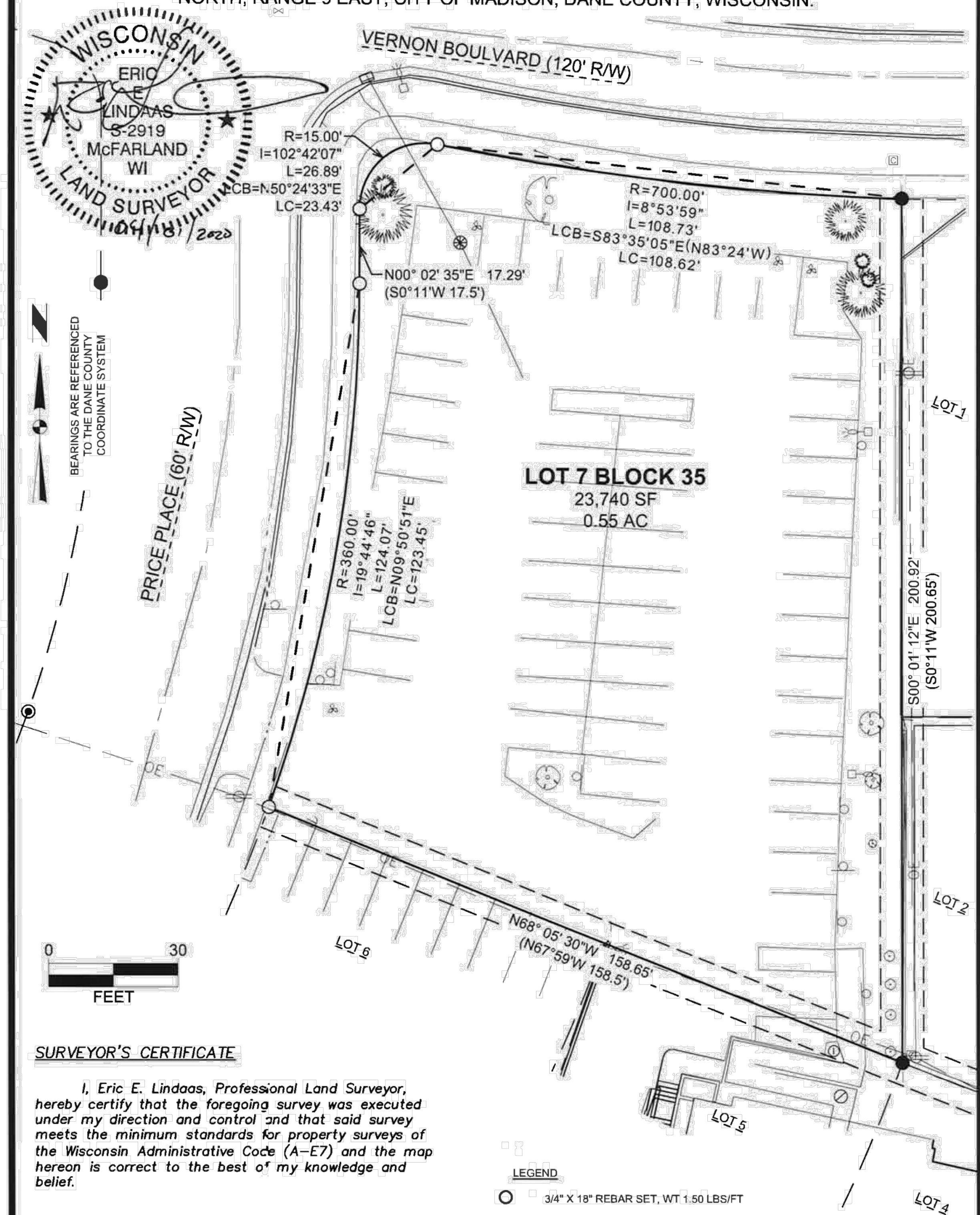
TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

PLAT OF SURVEY

LOT 7, BLOCK 35, UNIVERSITY HILL FARMS - COMMERCIAL RESEVE ADDITION, RECORDED IN VOLUME 21, PAGES 6-7, DANE COUNTY REGISTRY, LOCATED IN SECTION 20, TOWNSHIP 7 NORTH, RANGE 9 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.



SURVEYOR'S CERTIFICATE

I, Eric E. Lindaas, Professional Land Surveyor, hereby certify that the foregoing survey was executed under my direction and control and that said survey meets the minimum standards for property surveys of the Wisconsin Administrative Code (A-E7) and the map hereon is correct to the best of my knowledge and belief.

Dated this 1st day of April, 2020

Signed: 
Eric E. Lindaas, P.L.S. No. 2919



SURVEYED FOR:
Tri - North Builders
2625 Research Park Dr.
Fitchburg, WI 53711

SURVEYED BY:
Snyder & Associates, Inc.
5010 Voges Road
Madison, WI 53718
(608) 838-0444
www.snyder-associates.com

FN: 120.0265.30
DATE: 03-31-2020
REVISIONS:
REV1
REV2
REV3

SHEET 1 OF 1

REGENT STREET PARKING GARAGE

PLAT OF SURVEY MAP



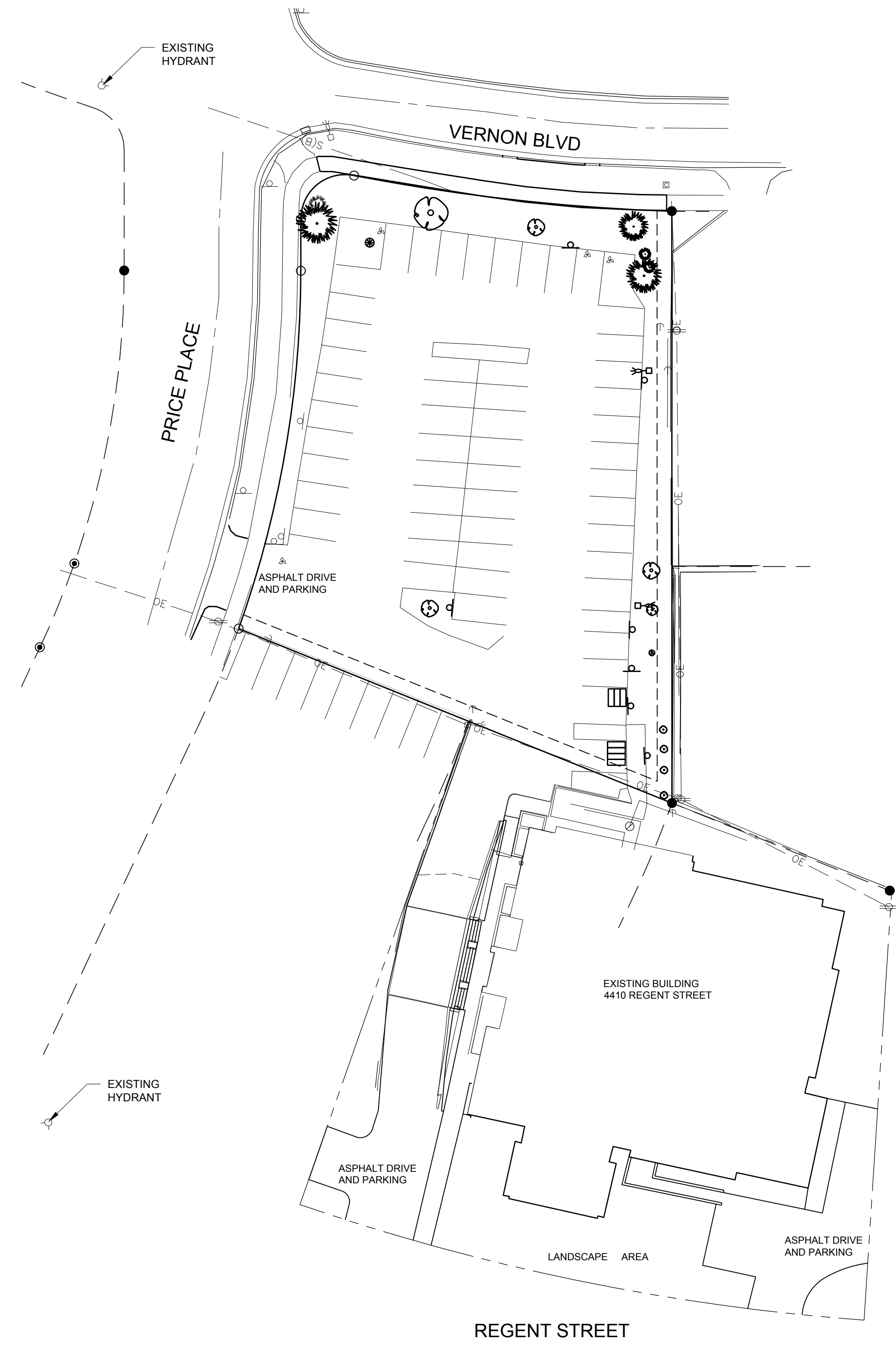
C 101

CITY OF MADISON, WISCONSIN

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

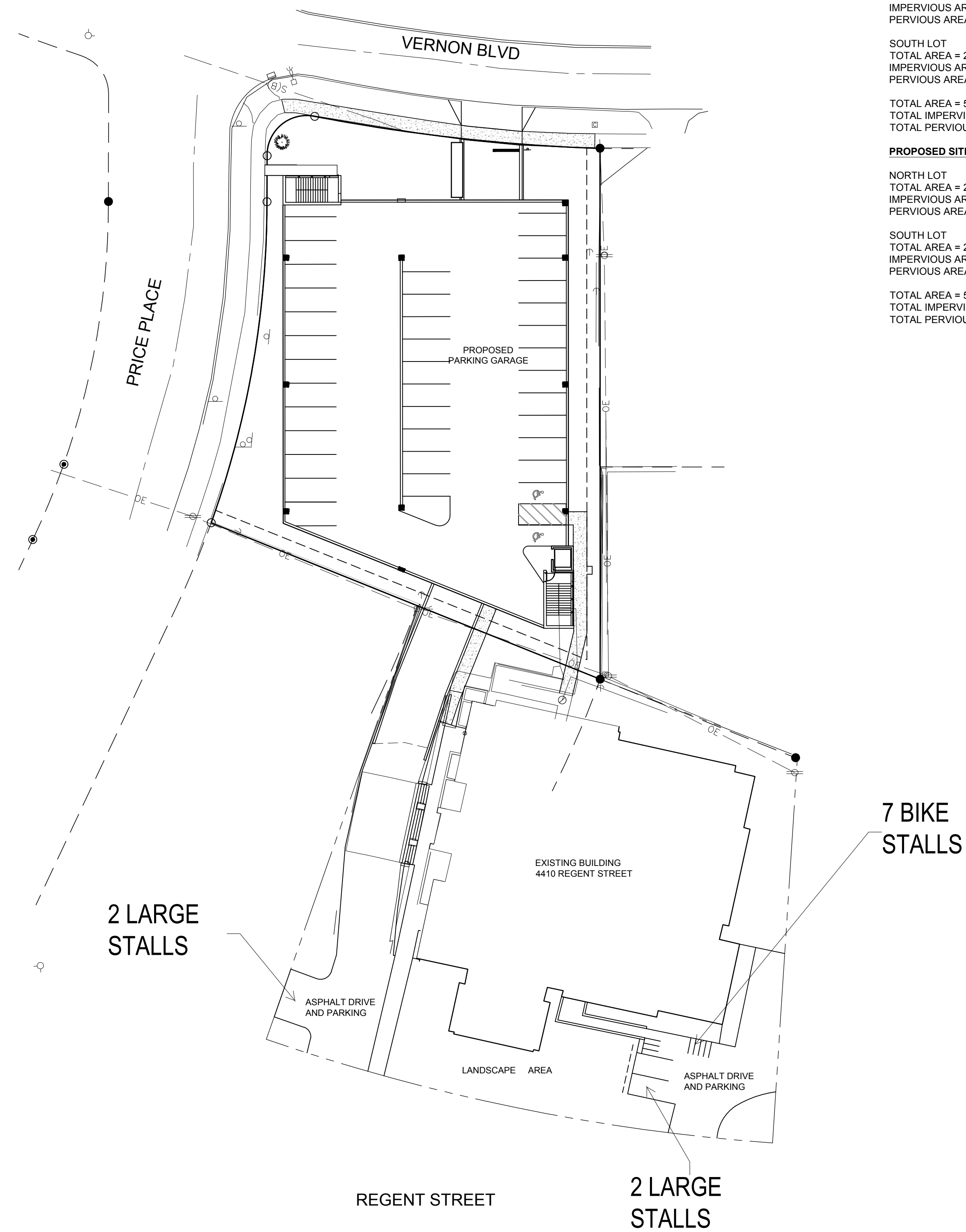
SNYDER & ASSOCIATES, INC.

MARK	REVISION	DATE	BY
Engineer: LAO	Checked By: LAO		
Technician: LAO	Date: 4-21-2020	Field Bk:	
Project No: 1120.0265.30			



EXISTING SITE PLAN

SCALE: 1" = 30'



PROPOSED SITE PLAN

SCALE: 1" = 30'



LOT COVERAGE CALCULATIONS:

EXISTING SITE

NORTH LOT
 TOTAL AREA = 23,736
 IMPERVIOUS AREA = 18,887
 PERVIOUS AREA = 4,849

SOUTH LOT
 TOTAL AREA = 28,364
 IMPERVIOUS AREA = 21,123
 PERVIOUS AREA = 7,241

TOTAL AREA = 52,100
 TOTAL IMPERVIOUS = 40,010 (76.8%)
 TOTAL PERVIOUS = 12,090 (23.2%)

PROPOSED SITE

NORTH LOT
 TOTAL AREA = 23,736
 IMPERVIOUS AREA = 17,656
 PERVIOUS AREA = 6,080

SOUTH LOT
 TOTAL AREA = 28,364
 IMPERVIOUS AREA = 20,885
 PERVIOUS AREA = 7,479

TOTAL AREA = 52,100
 TOTAL IMPERVIOUS = 38,541 (74.0%)
 TOTAL PERVIOUS = 13,559 (26.0%)

REGENT STREET PARKING GARAGE

PROPOSED SITE UTILITY PLAN

CITY OF MADISON, WISCONSIN

SNYDER & ASSOCIATES, INC.

5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-636-0444 | www.snyder-associates.com




 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: LAO		
Technician: LAO	Date: 4-21-2020	Field Bk:	Pg:

Project No: 1120.0265.30

SITE PLAN KEYNOTES

- 1 EXISTING GRAVEL, CONCRETE AND ASPHALT TO BE REMOVED
- 2 EXISTING VEGETATION (TREES AND SHRUBS) TO BE REMOVED
- 3 EXISTING SIGNAGE TO BE REMOVED
- 4 EXISTING CURB TO BE SAWCUT FOR NEW DRIVEWAY ENTRANCE
- 5 REMOVE EXISTING SIDEWALK
- 6 REMOVE EXISTING CONCRETE RAMP
- 7 REMOVE EXISTING STORM SEWER PIPE AND STRUCTURES
- 8 REMOVE EXISTING LIGHT POLES (INCLUDING CONC. BASE) AND TERMINATE WIRING BELOW GROUND.
- 9 SAW-CUT AND REMOVE EXISTING ASPHALT

CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCING WORK ON SITE

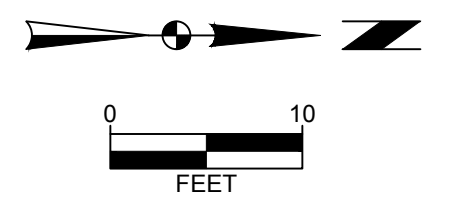
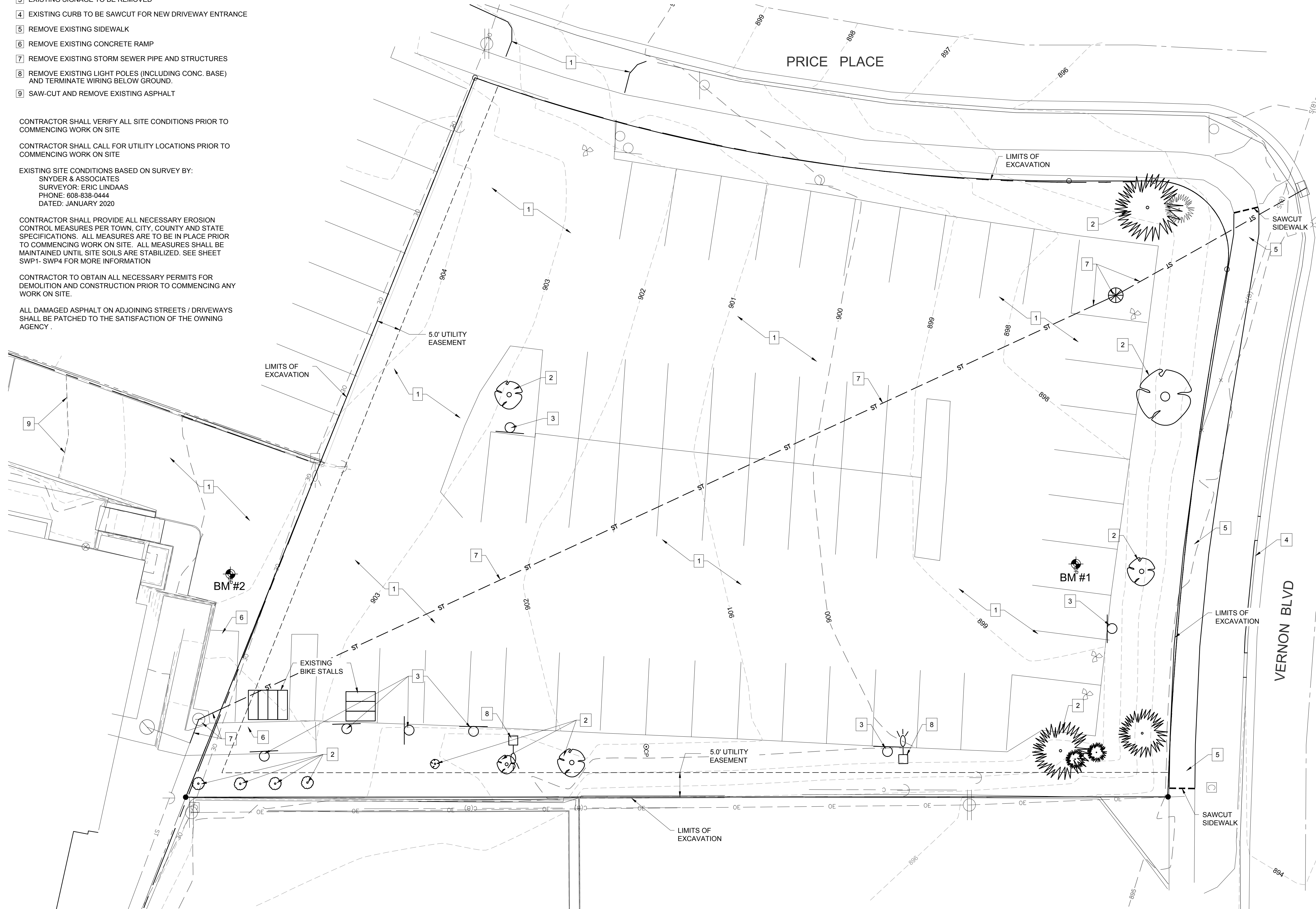
CONTRACTOR SHALL CALL FOR UTILITY LOCATIONS PRIOR TO COMMENCING WORK ON SITE

EXISTING SITE CONDITIONS BASED ON SURVEY BY:
 SNYDER & ASSOCIATES
 SURVEYOR: ERIC LINDAAS
 PHONE: 608-838-0444
 DATED: JANUARY 2020

CONTRACTOR SHALL PROVIDE ALL NECESSARY EROSION CONTROL MEASURES PER TOWN, CITY, COUNTY AND STATE SPECIFICATIONS. ALL MEASURES ARE TO BE IN PLACE PRIOR TO COMMENCING WORK ON SITE. ALL MEASURES SHALL BE MAINTAINED UNTIL SITE SOILS ARE STABILIZED. SEE SHEET SWP1- SWP4 FOR MORE INFORMATION

CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FOR DEMOLITION AND CONSTRUCTION PRIOR TO COMMENCING ANY WORK ON SITE.

ALL DAMAGED ASPHALT ON ADJOINING STREETS / DRIVEWAYS SHALL BE PATCHED TO THE SATISFACTION OF THE OWNING AGENCY.



CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

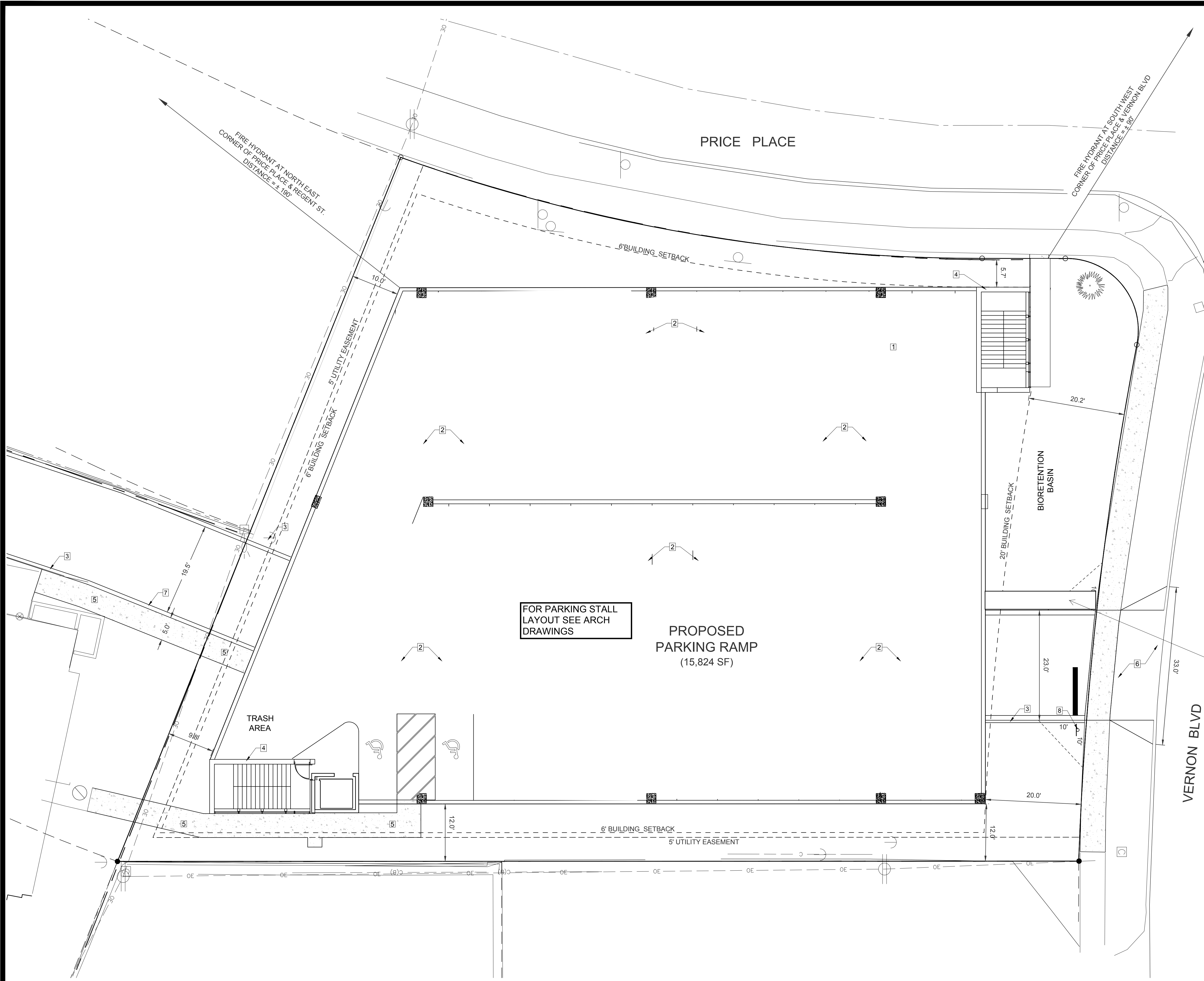
WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE

MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: LAO		
Technician: LAO	Date: 4-21-2020		Field Bk:
			Project No: 1120.0265.30

REGENT STREET PARKING GARAGE
 EXISTING SITE & DEMOLITION PLAN
 CITY OF MADISON, WISCONSIN
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com



C 200



SITE PLAN KEYNOTES

1. OFF-STREET PARKING STALLS (STALL SIZES VARY)
STRIPING - 4" WIDE STALL LINES, USE HIGH VISIBILITY YELLOW PAINT.
PAINT SHALL BE SHERWIN WILLIAMS SET FAST PREMIUM ALKYD ZONE MARKING PAINT
2. 5" DEPTH (MIN.) CONCRETE PAVING WITH #3 REBAR 3' O.C. CONCRETE SEALER: TK-26UV
3. CONCRETE CURB AND GUTTER PER DETAIL ON SHEET C 600.
4. PARKING RAMP WALLS, STAIRWELLS AND ELEVATOR, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
5. 5" INTEGRAL CONCRETE SIDEWALK. SEE DETAILS ON SHEET C 600. CONCRETE SEALER: TK-26UV
6. CITY OF MADISON APPROVED DRIVEWAY APPROACH, SEE DETAIL ON SHEET C 600
7. CONCRETE RETAINING WALL BY OTHERS
8. NEW STOP SIGN

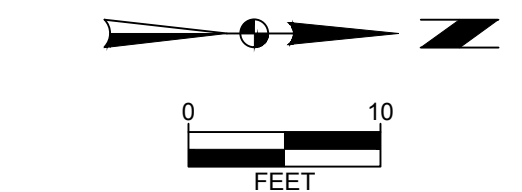
PARKING COUNT

COMPACT STALLS = 18
STANDARD STALLS = 95
TOTAL PARKING STALLS = 113
FOR PARKING SUMMARY BREAKDOWN, SEE ARCHITECTURAL PLANS

FOR PARKING STALL LAYOUT SEE ARCH DRAWINGS

PROPOSED PARKING RAMP
(15,824 SF)

ADDED SIDEWALK FOR PEDESTRIAN & BIKE ACCESS



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MARK	REVISION	DATE	BY

Checked By: LAO
Engineer: SJA
Technician: LAO
Date: 4-21-2020
Field Bk:
Project No: 1120.0265.30

REGENT STREET PARKING GARAGE

SITE PLAN

CITY OF MADISON, WISCONSIN

SNYDER & ASSOCIATES, INC.
5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-638-0444 | www.snyder-associates.com



C 300

NOTES:

ENGINEER TO OBTAIN RIGHT-OF-WAY EXCAVATION PERMIT PRIOR TO BEGINNING SITE WORK.

CONSTRUCTION FENCING TO BE INSTALLED AROUND ENTIRE CONSTRUCTION SITE. COORDINATE WITH OWNER FOR FENCING AND GATE LOCATION AND APPROPRIATE SIGNAGE LOCATION.

PLAN PREPARED FROM PLAT OF SURVEY BY:

SNYDER & ASSOCIATES
 SURVEYOR: ERIC LINDAAS
 PHONE: 608-838-0444
 DATED: MARCH 30, 2020

CONTRACTOR SHALL LOCATE ALL UTILITIES WHICH MAY AFFECT THIS WORK NOTIFY THE OWNER OF ANY POTENTIAL CONFLICTS.

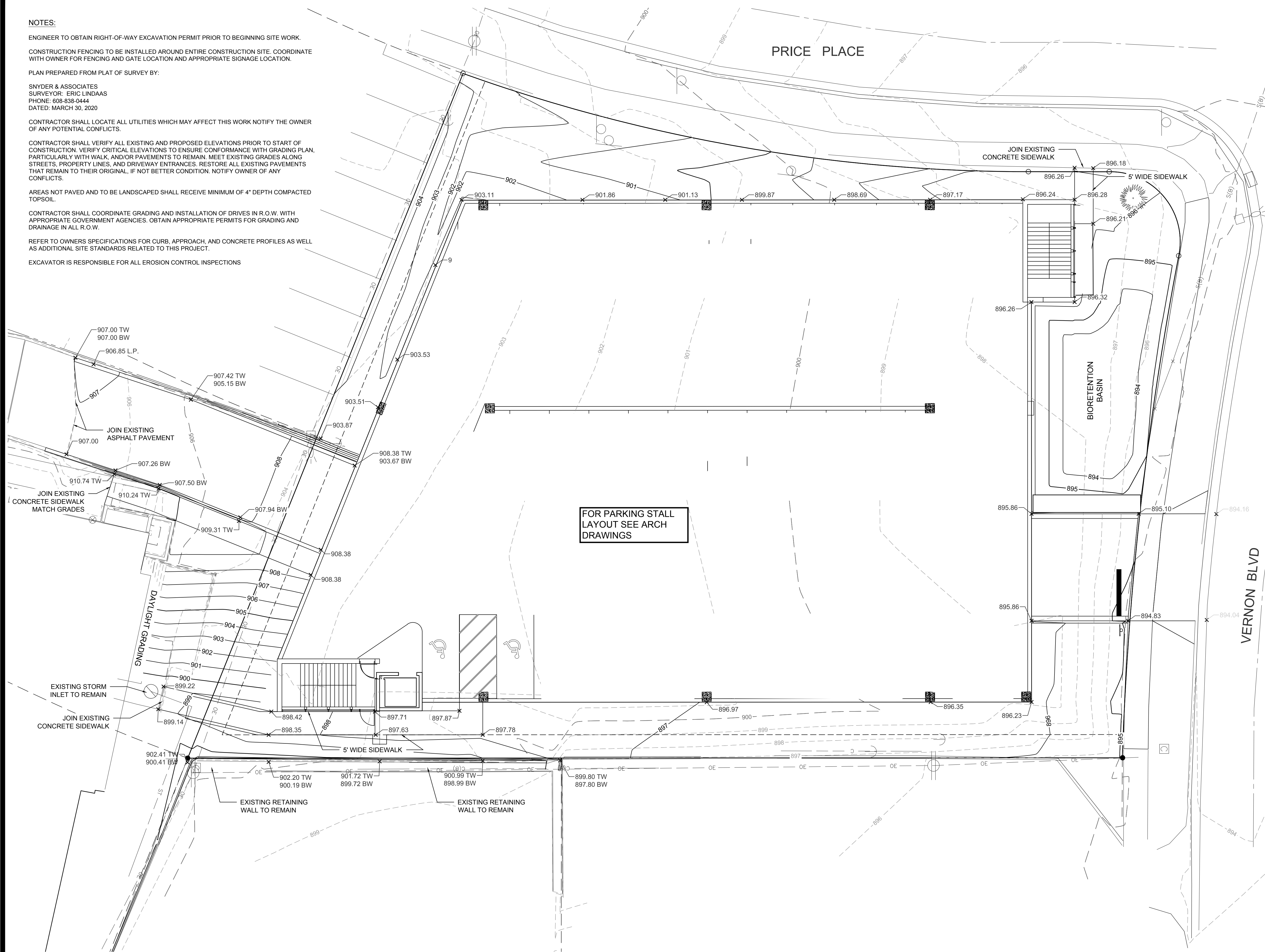
CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED ELEVATIONS PRIOR TO START OF CONSTRUCTION. VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN, PARTICULARLY WITH WALK, AND/OR PAVEMENTS TO REMAIN. MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES, AND DRIVEWAY ENTRANCES. RESTORE ALL EXISTING PAVEMENTS THAT REMAIN TO THEIR ORIGINAL, IF NOT BETTER CONDITION. NOTIFY OWNER OF ANY CONFLICTS.

AREAS NOT PAVED AND TO BE LANDSCAPED SHALL RECEIVE MINIMUM OF 4" DEPTH COMPACTED TOPSOIL.

CONTRACTOR SHALL COORDINATE GRADING AND INSTALLATION OF DRIVES IN R.O.W. WITH APPROPRIATE GOVERNMENT AGENCIES. OBTAIN APPROPRIATE PERMITS FOR GRADING AND DRAINAGE IN ALL R.O.W.

REFER TO OWNERS SPECIFICATIONS FOR CURB, APPROACH, AND CONCRETE PROFILES AS WELL AS ADDITIONAL SITE STANDARDS RELATED TO THIS PROJECT.

EXCAVATOR IS RESPONSIBLE FOR ALL EROSION CONTROL INSPECTIONS



MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: LAO		
Technician: LAO	Date: 4-21-2020		Field Bk:

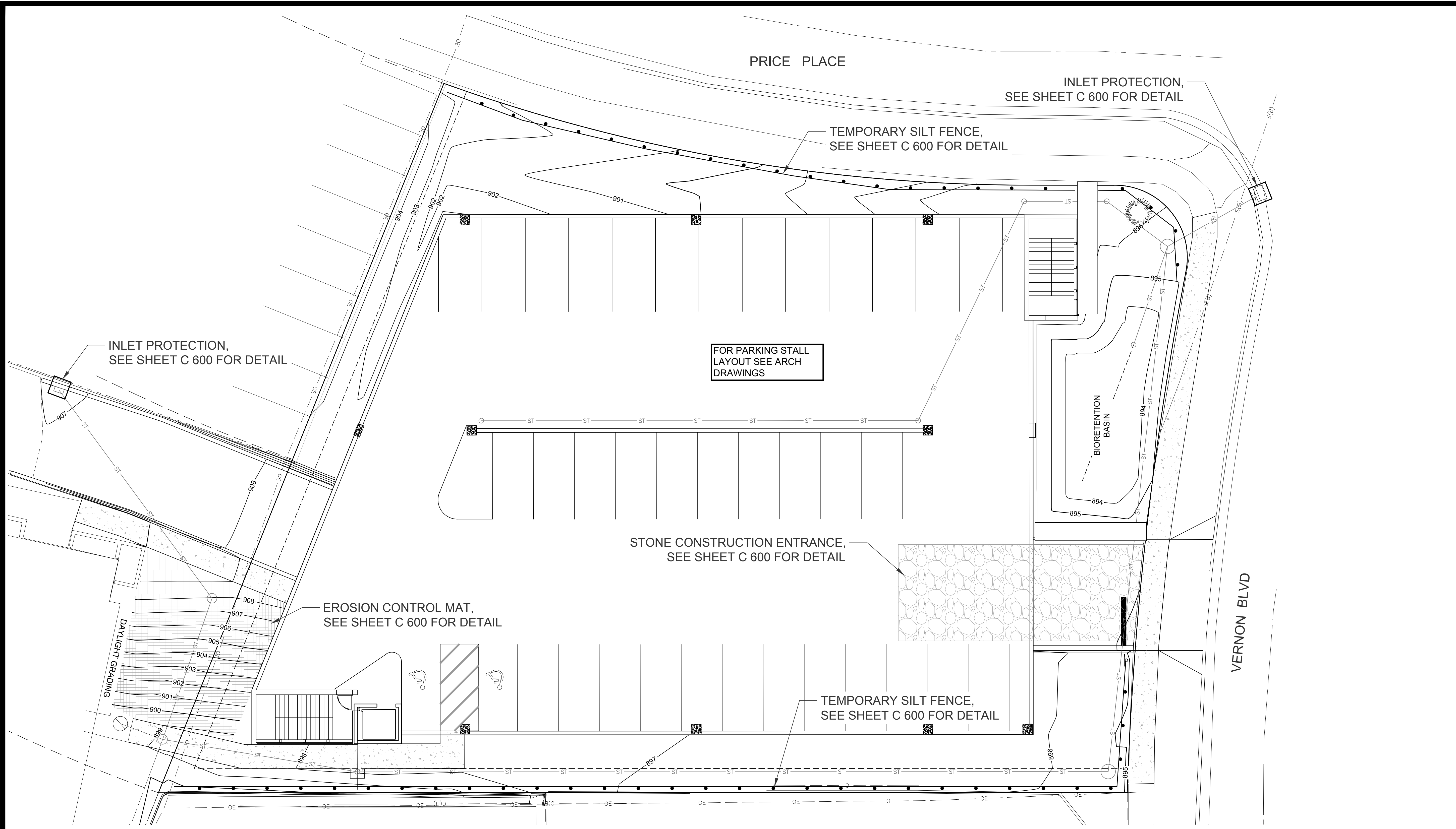
Project No: 1120.0265.30

REGENT STREET PARKING GARAGE
 GRADING PLAN
 CITY OF MADISON, WISCONSIN
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com



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C 400



PRICE PLACE

INLET PROTECTION,
SEE SHEET C 600 FOR DETAIL

TEMPORARY SILT FENCE,
SEE SHEET C 600 FOR DETAIL

INLET PROTECTION,
SEE SHEET C 600 FOR DETAIL

FOR PARKING STALL
LAYOUT SEE ARCH
DRAWINGS


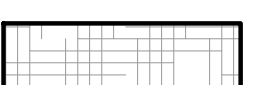
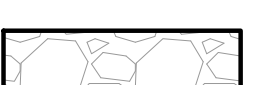

STONE CONSTRUCTION ENTRANCE,
SEE SHEET C 600 FOR DETAIL

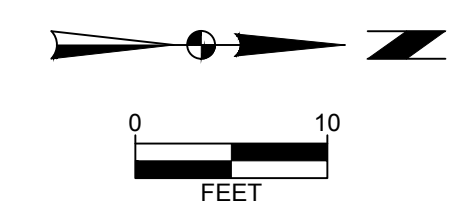
EROSION CONTROL MAT,
SEE SHEET C 600 FOR DETAIL

TEMPORARY SILT FENCE,
SEE SHEET C 600 FOR DETAIL

VERNON BLVD

EROSION CONTROL KEY

-  INLET PROTECTION TYPE D (FLEXSTORM)
-  AREA TO RECEIVE EROSION MAT
-  STONE CONSTRUCTION ENTRANCE
-  SILT FENCE



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Engineer: SJA	Checked By: LAO		
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Project No: 1120.0265.30

REGENT STREET PARKING GARAGE

EROSION CONTROL PLAN

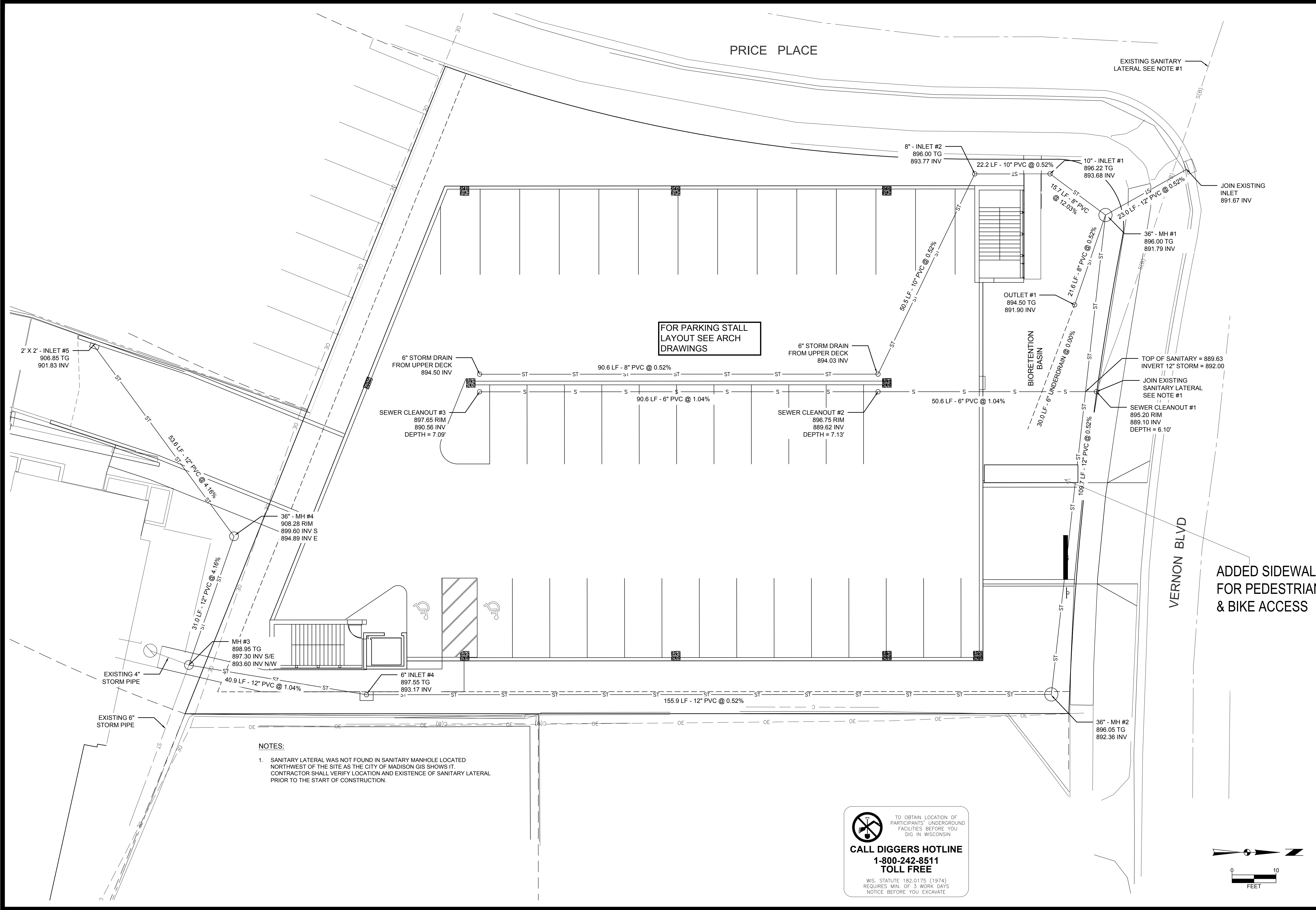
CITY OF MADISON, WISCONSIN

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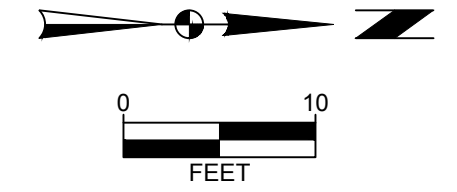
C:\Users\mwahl\appdata\local\temp\AcPublish_4596\1200265 - PLAN.dwg



FOR PARKING STALL LAYOUT SEE ARCH DRAWINGS

- NOTES:
- SANITARY LATERAL WAS NOT FOUND IN SANITARY MANHOLE LOCATED NORTHWEST OF THE SITE AS THE CITY OF MADISON GIS SHOWS IT. CONTRACTOR SHALL VERIFY LOCATION AND EXISTENCE OF SANITARY LATERAL PRIOR TO THE START OF CONSTRUCTION.


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 Date: 4-21-2020
 Field Bk:
 Project No: 1120.0265.30

REGENT STREET PARKING GARAGE

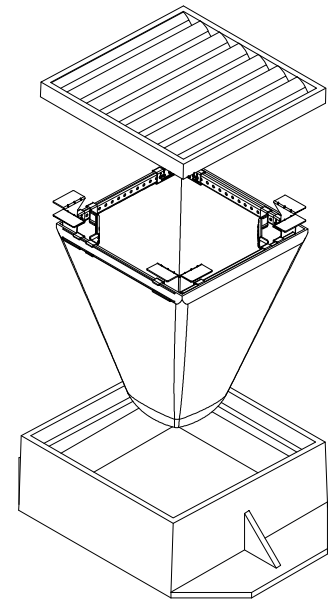
UTILITY PLAN

CITY OF MADISON, WISCONSIN

SNYDER & ASSOCIATES, INC.
5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-638-0444 | www.snyder-associates.com


SNYDER & ASSOCIATES
C 500

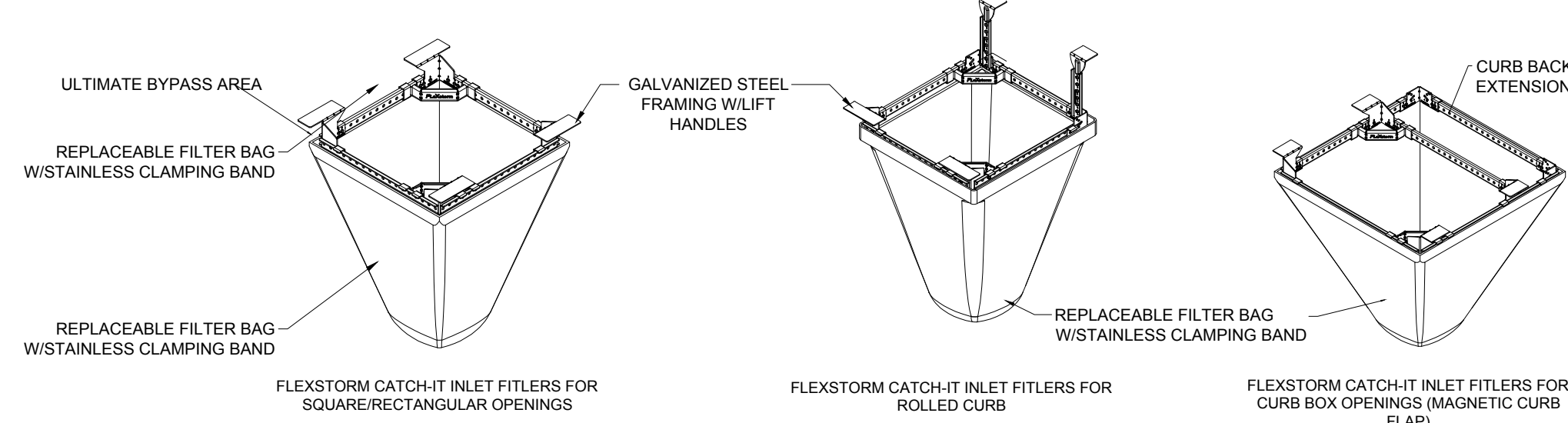
FLEXSTORM CATCH-IT FILTERS FOR TEMPORARY INLET PROTECTION PRODUCT SELECTION AND SPECIFICATION DRAWING



INSTALLATION:

1. REMOVE GRATE
2. DROP FLEXSTORM INLET FILTER ONTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE
3. REPLACE GRATE

Product selection for FLEXSTORM CATCH-IT Filters (Temporary Inlet Protection)							
Neenah Casting	Inlet Type	Grate Size	Opening Size	Bag Cap (ft ²)	Flow Ratings (CFS)		ADS P/N
					FX	Bypass	
1040/1642/1733	Round	26	24	1.9	1.5	5.4	62MRDFX
3067 w/FLAP	Curb Box	35.25 x 17.75	33.0 x 15.0	3.8	1.9	5.6	62LCBEXTFX
3067 EXTENDED BACK	Curb Box	35.25 x 17.75	33.0 x 15.0	4.4	2.3	5.8	62LCBEXTFX
3246A	Curb Box	35.75 x 23.875	33.5 x 21.0	4.2	2.2	3.3	62LCBFX
3030	Square/Rect (SQ)	23 x 16	20.5 x 13.5	1.6	1.4	2.2	62MCBFX
3067-C	Square/Rect (SQ)	35.25 x 17.75	33 x 15	3.2	2.0	5.2	62LSQFX

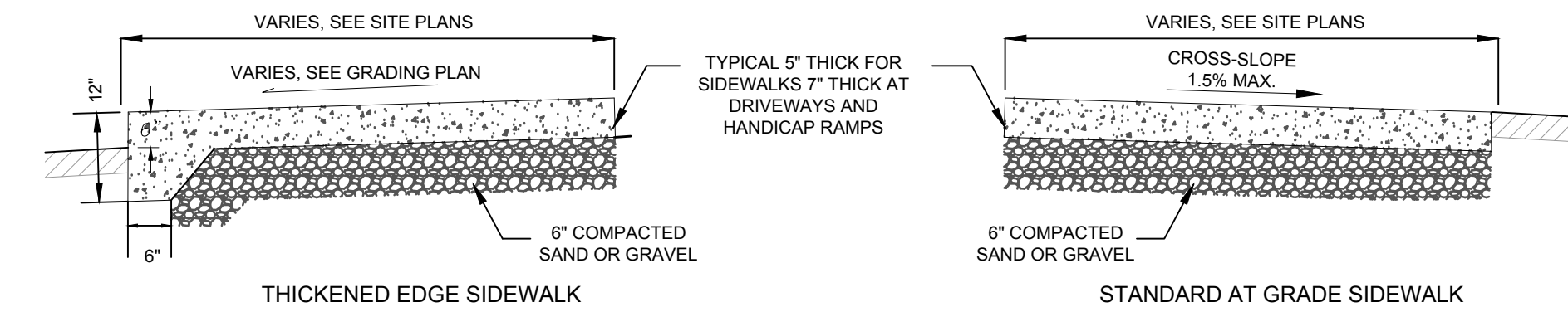
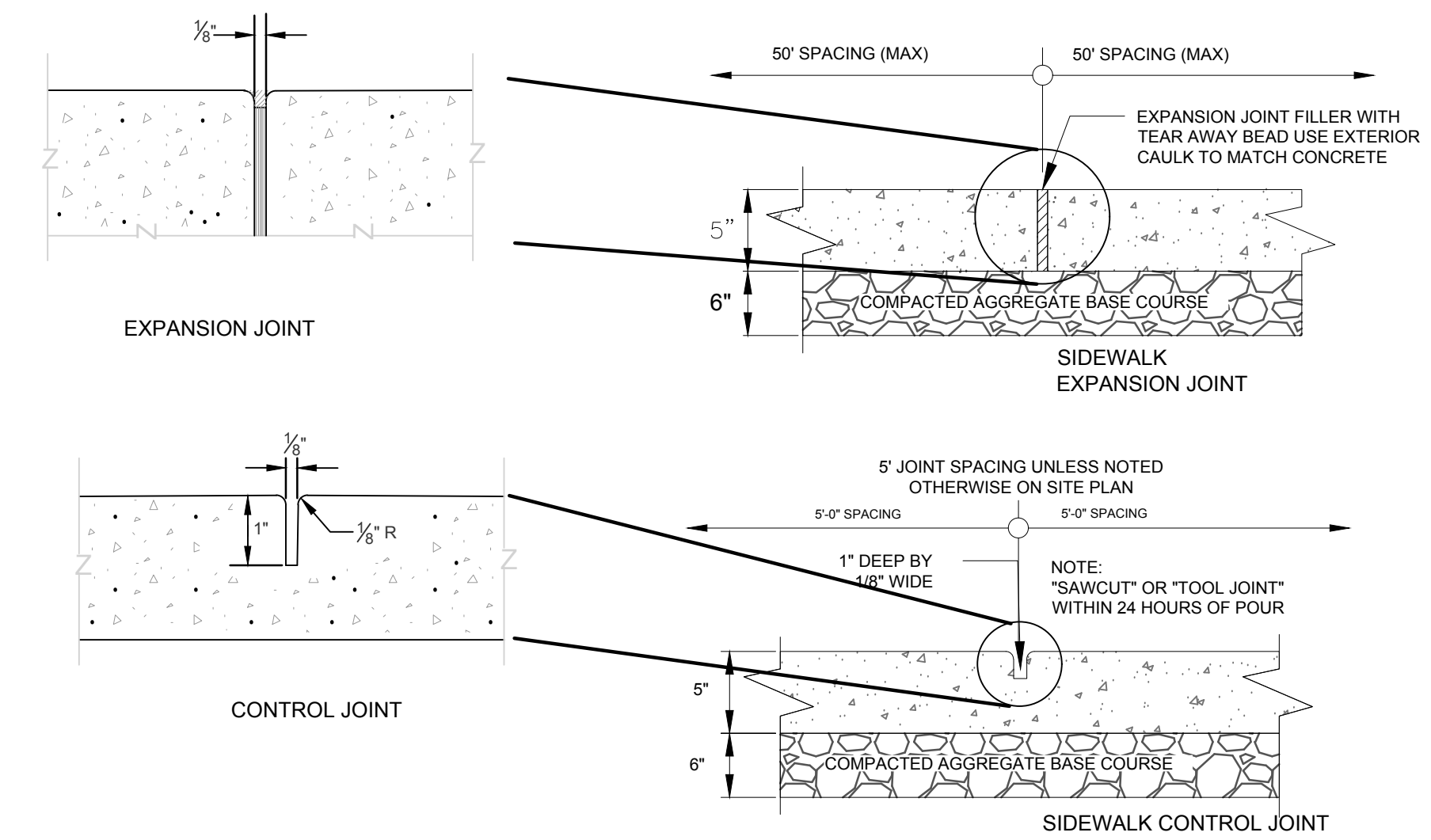


NOTES:

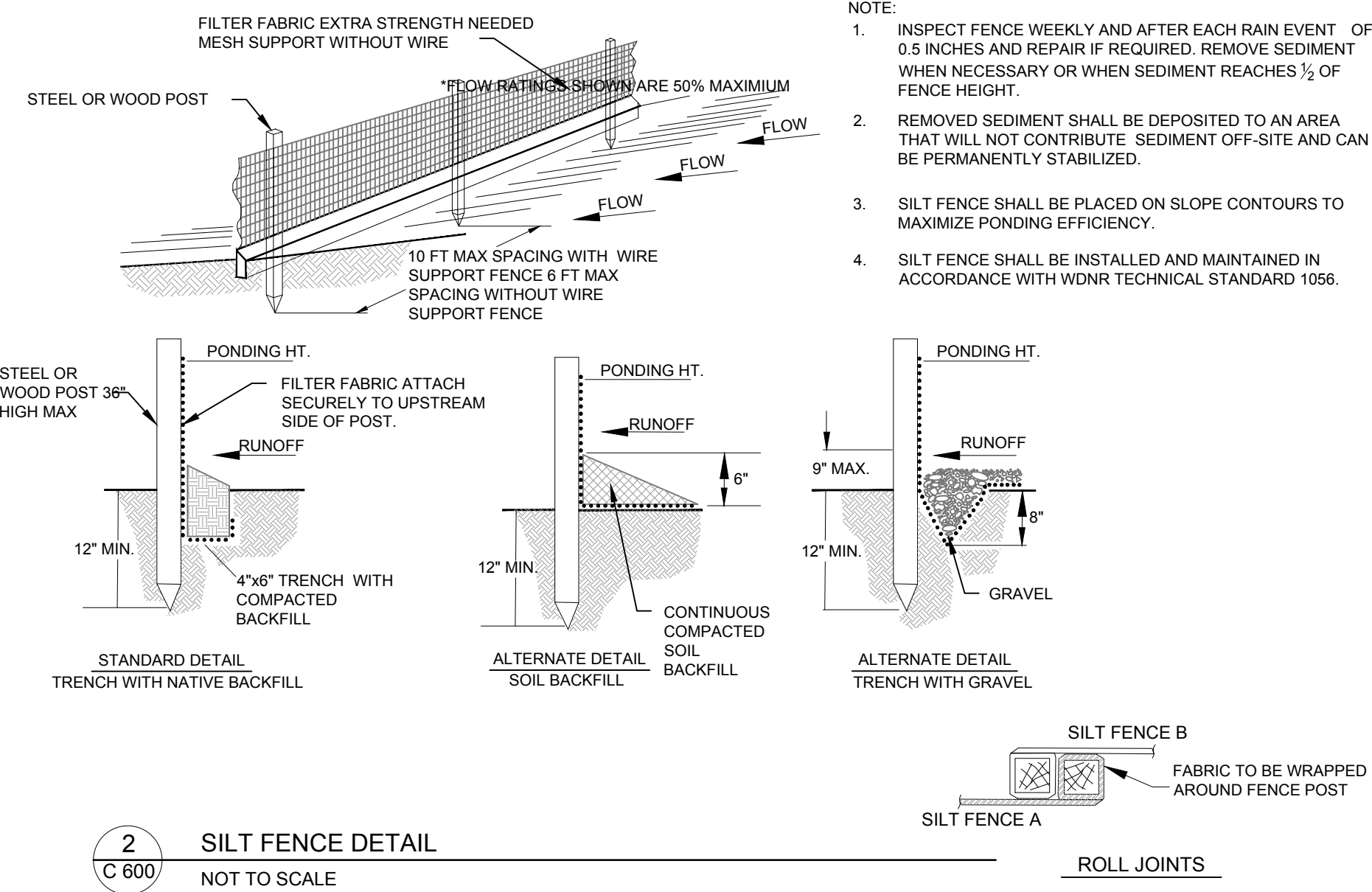
1. ALL FRAMING IS CONSTRUCTED OF CORROSION RESISTANT STEEL FRAMING FOR PROLONGED PRODUCT LIFE.
2. TOTAL BYPASS CAPACITY WILL VARY WITH EACH SIZED DRAINAGE STRUCTURE. FLEXSTORM DESIGNS FRAMING BYPASS TO MEET OR EXCEED THE DESIGN FLOW OF THE PARTICULAR DRAINAGE STRUCTURE. CONCRETE STRUCTURES MAY REQUIRE ADDITIONAL REVIEW.
3. UPON ORDERING THE ADS P/N CONFIRMATION OF THE DOT CALLOUT, FLEXSTORM ITEM CODE, CASTING MAKE AND MODEL, OR DETAILED DIMENSIONAL FORMS MUST BE PROVIDED.
4. FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM

1 INLET PROTECTION DETAIL
C 600 NOT TO SCALE

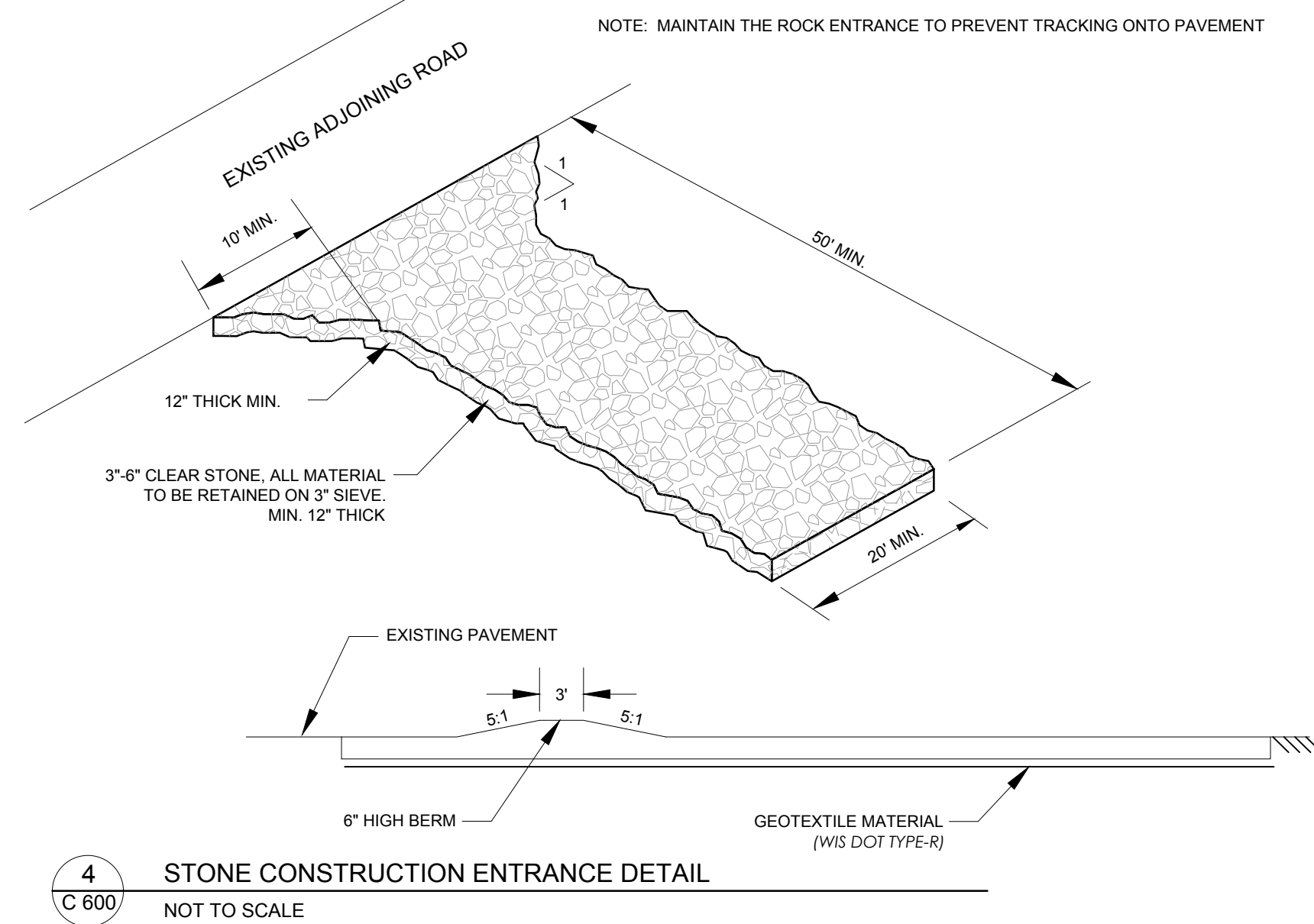
WISCONSIN



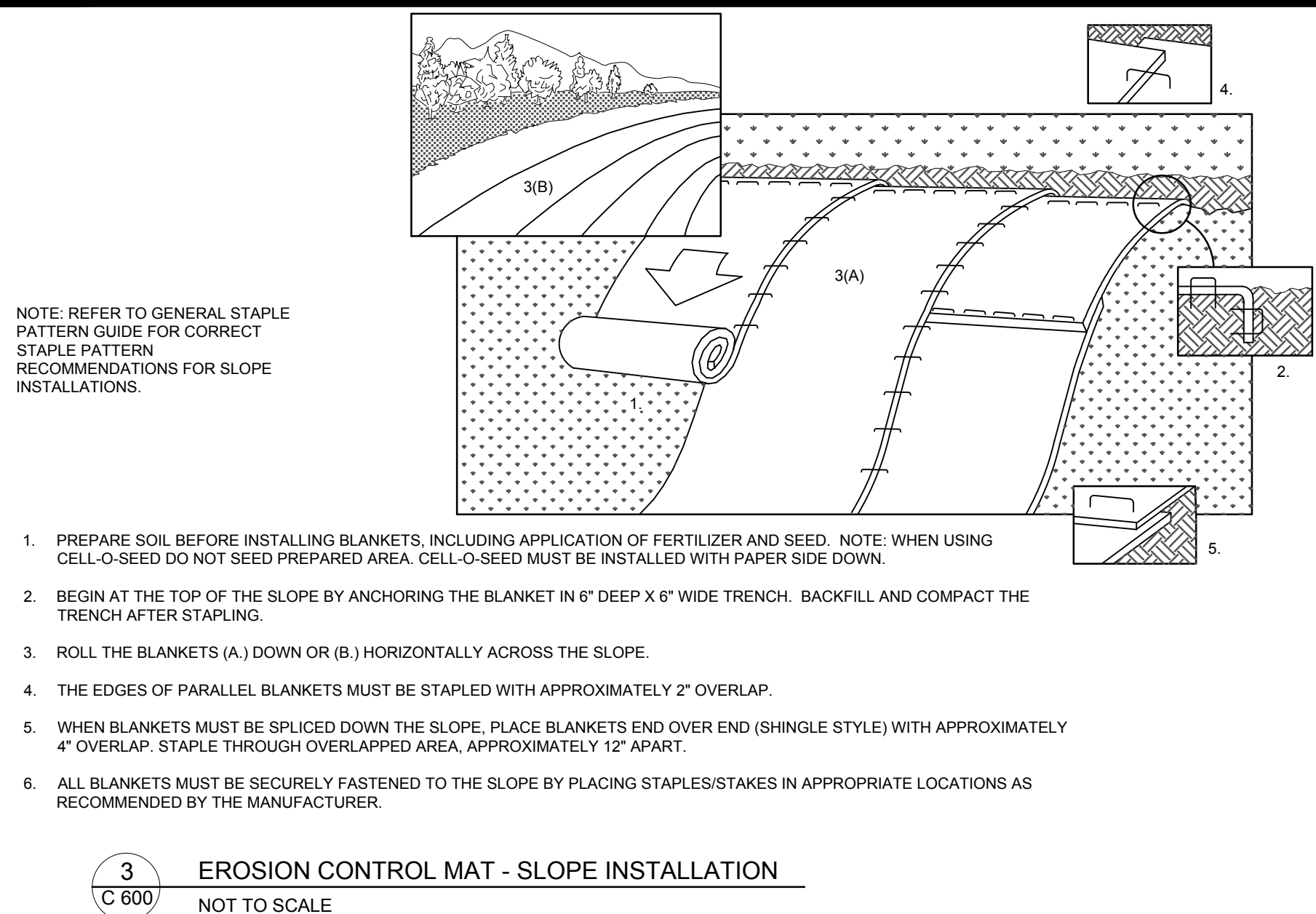
6 CONCRETE SIDEWALK DETAILS
C 600 NOT TO SCALE



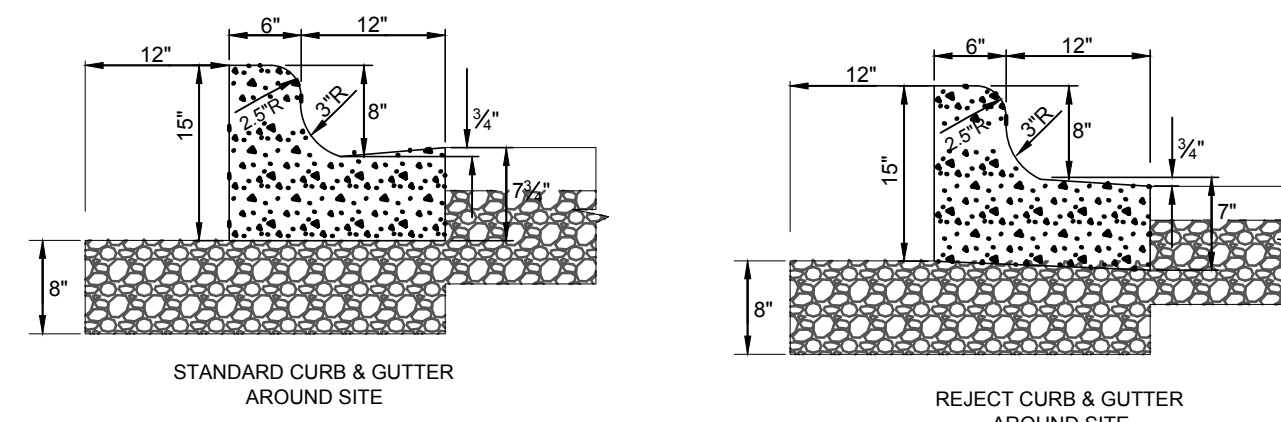
2 SILT FENCE DETAIL
C 600 NOT TO SCALE



4 STONE CONSTRUCTION ENTRANCE DETAIL
C 600 NOT TO SCALE



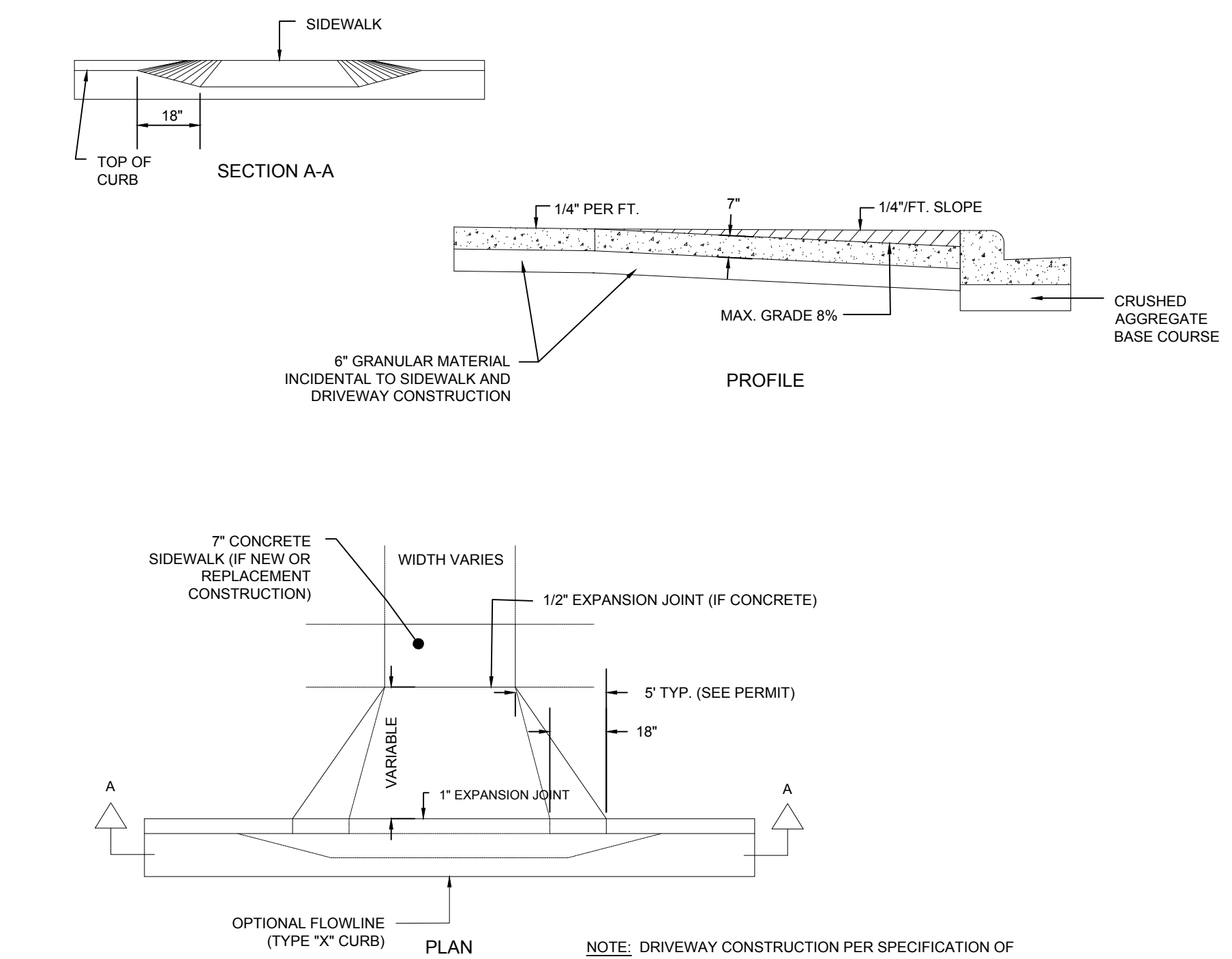
3 EROSION CONTROL MAT - SLOPE INSTALLATION
C 600 NOT TO SCALE



NOTES:

1. LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER.
2. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

5 CONCRETE CURB DETAILS
C 600 NOT TO SCALE



7 COMMERCIAL DRIVEWAY DETAIL
C 600 NOT TO SCALE

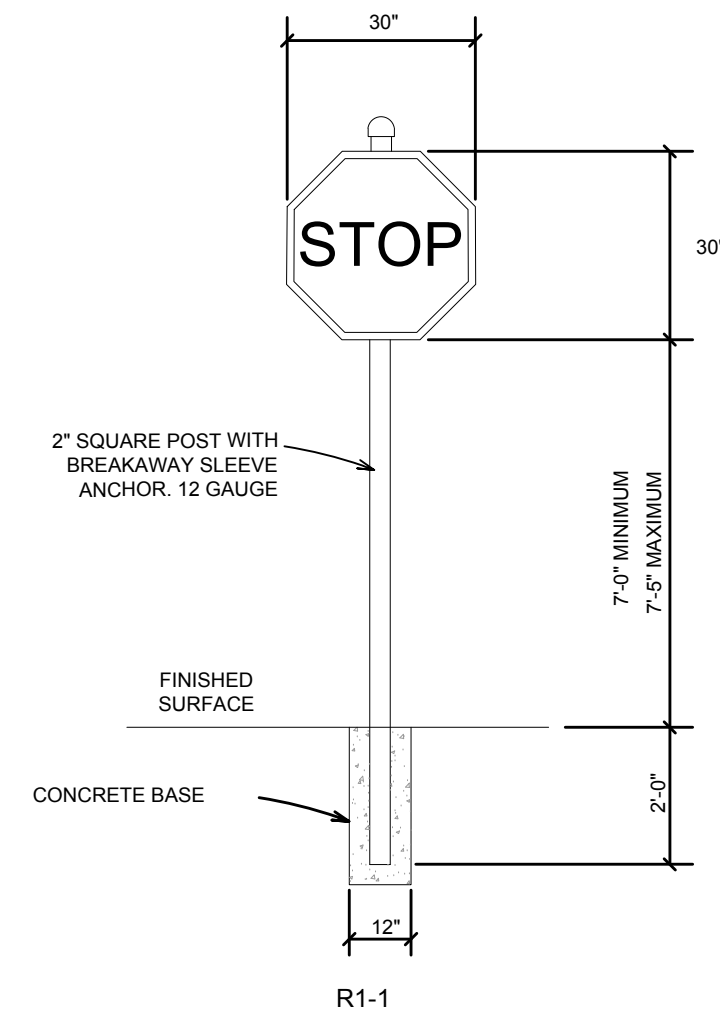
MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: LAO		
Technician: LAO	Date: 4-21-2020	Field Bk:	Pg:

CITY OF MADISON, WISCONSIN
5010 VOGES ROAD
MADISON, WISCONSIN 53718
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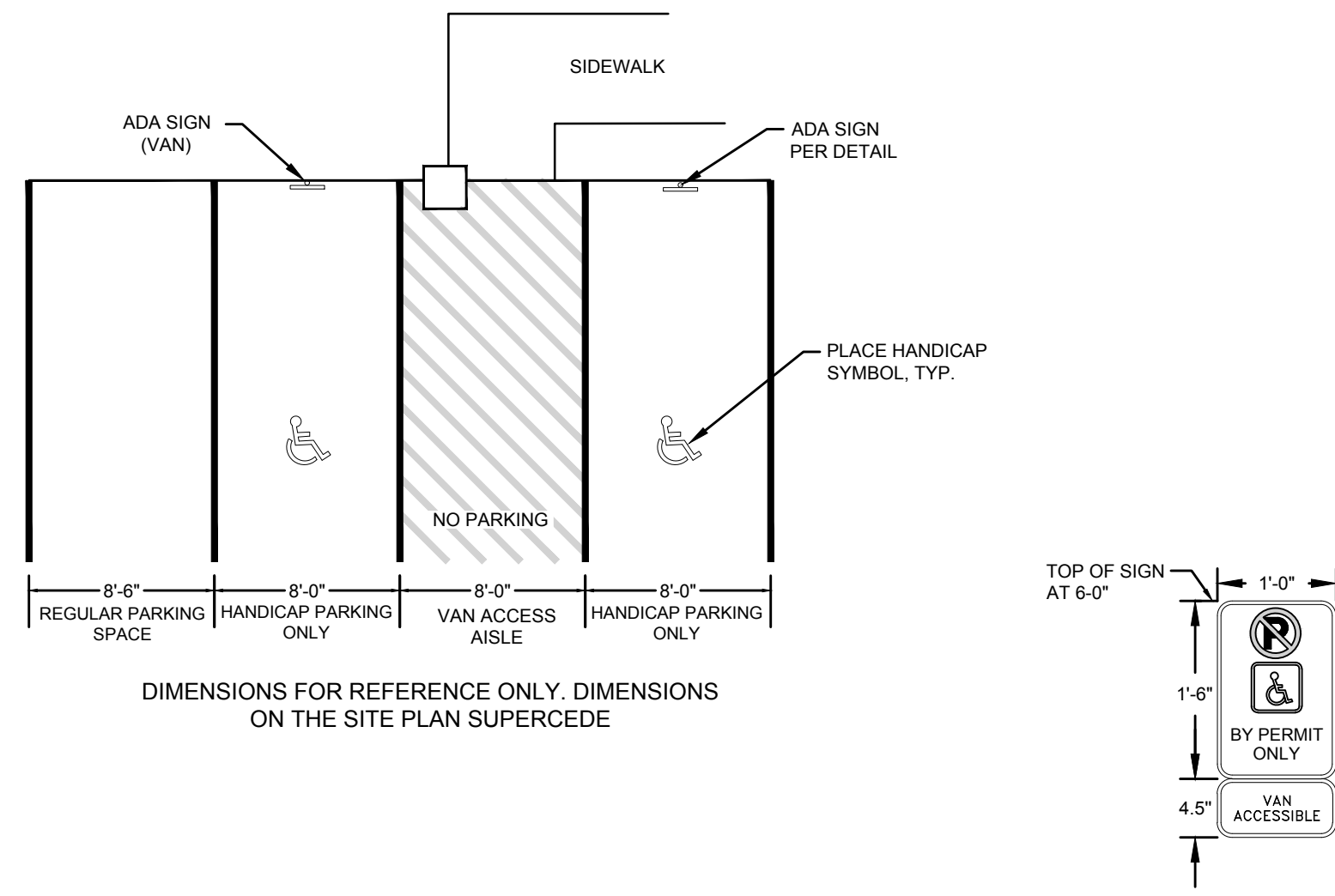
REGENT STREET PARKING GARAGE
MISC. DETAILS
SNYDER & ASSOCIATES, INC.



C 600

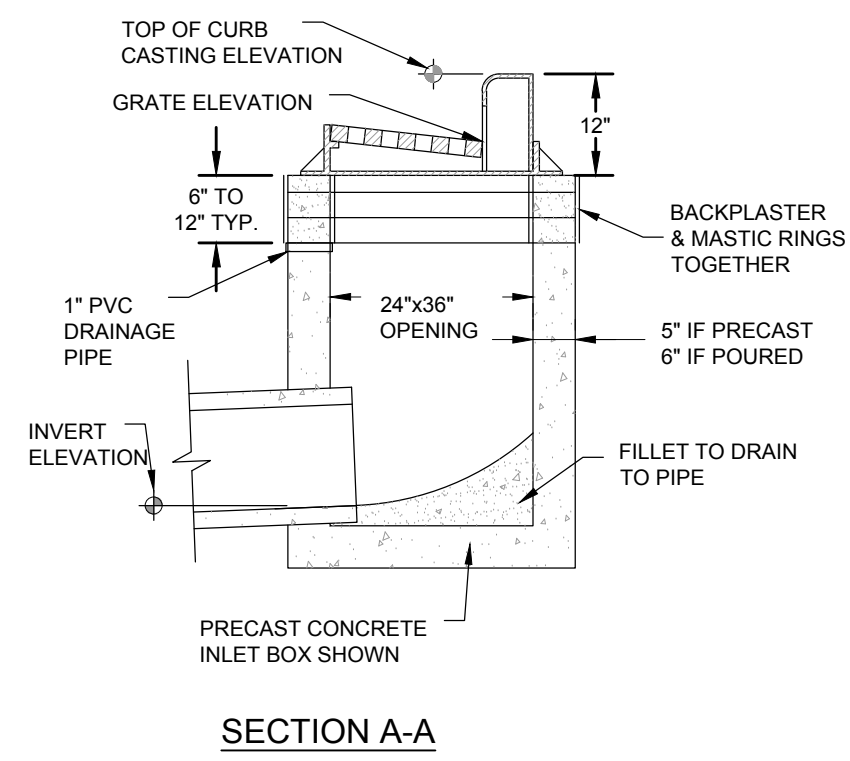


1 STOP SIGN DETAIL
C 601 NOT TO SCALE

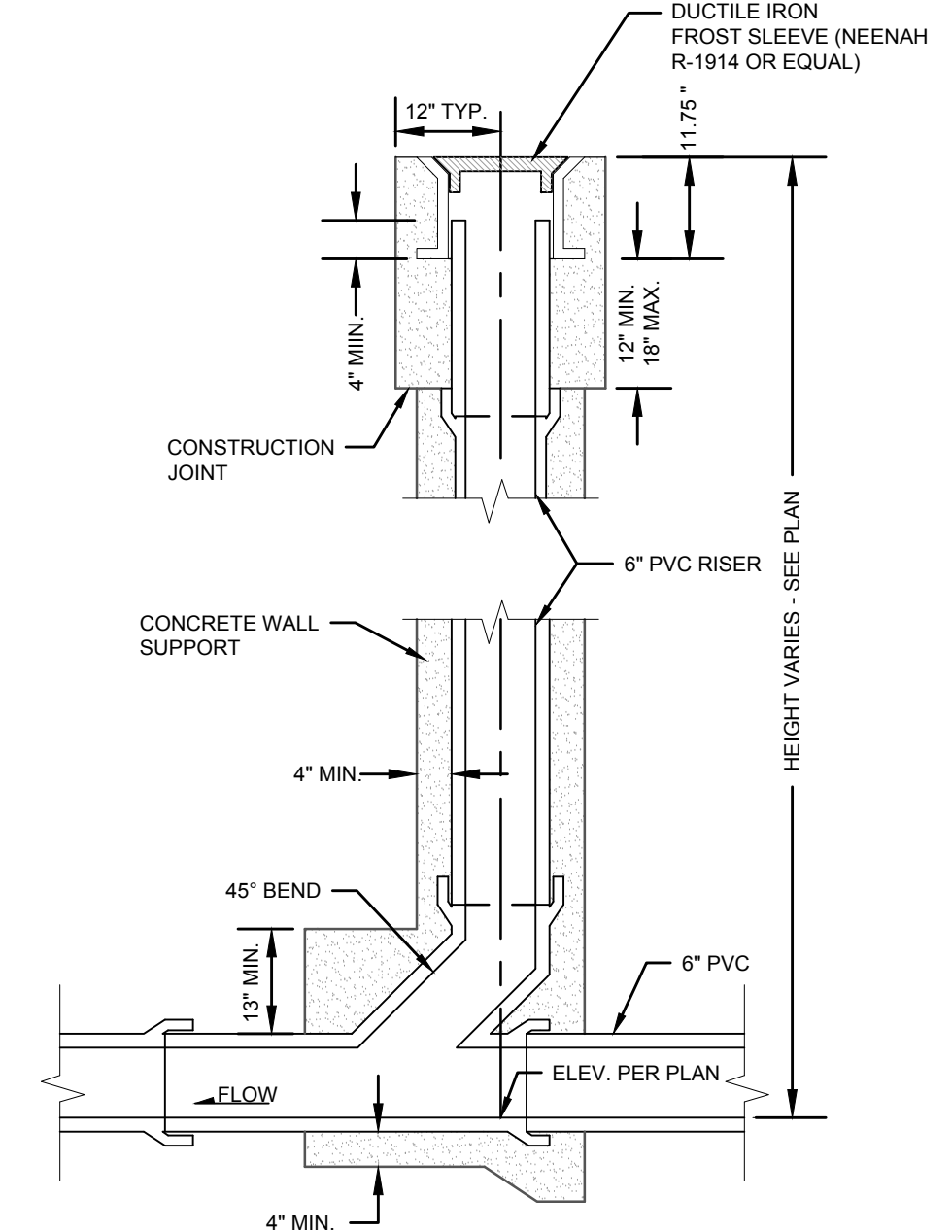


3 ADA PARKING SPACE DETAIL
C 601 NOT TO SCALE

6 NOT USED
C 601 NOT TO SCALE

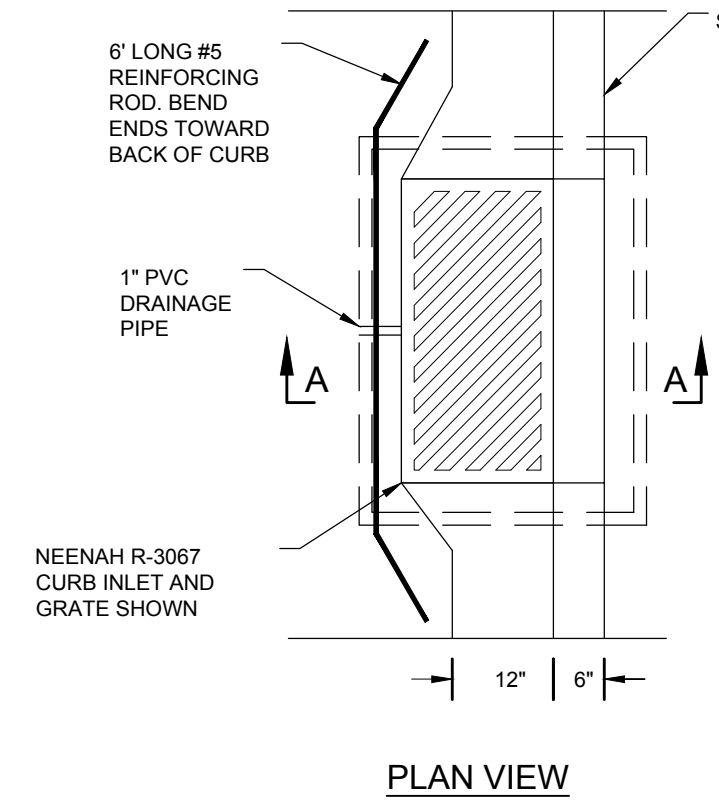


SECTION A-A



4 SANITARY SEWER CLEANOUT
C 601 NOT TO SCALE

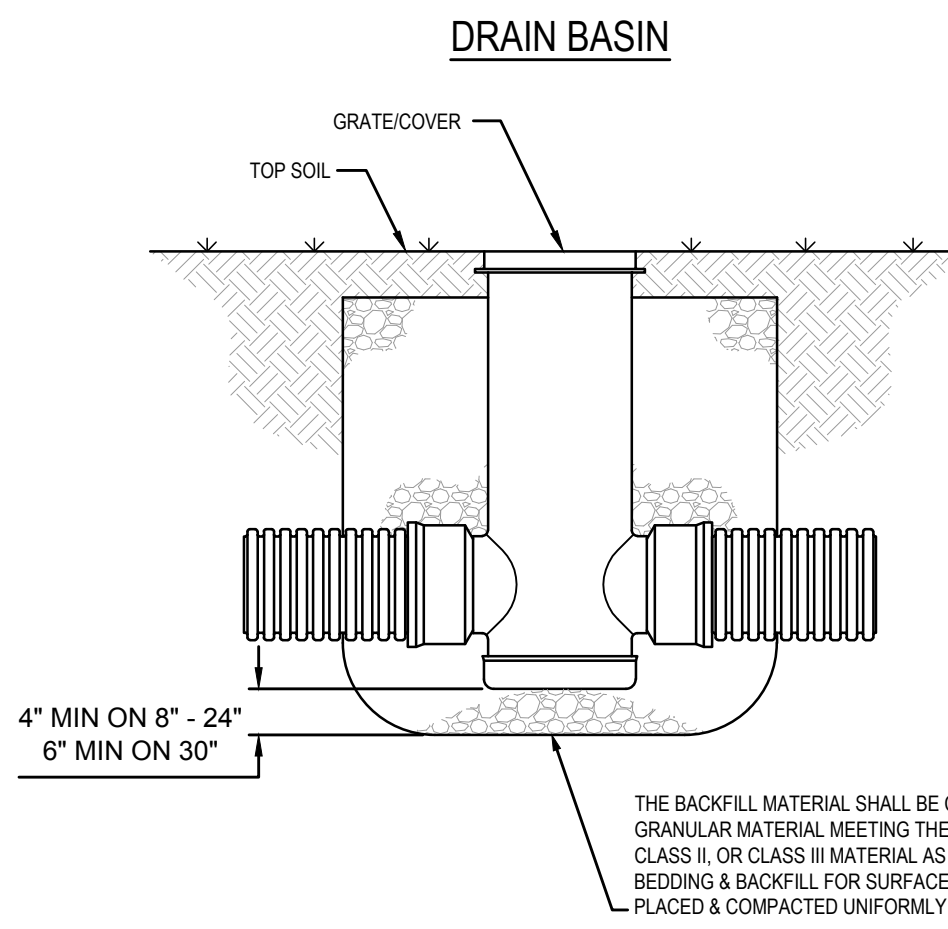
7 NOT USED
C 601 NOT TO SCALE



PLAN VIEW

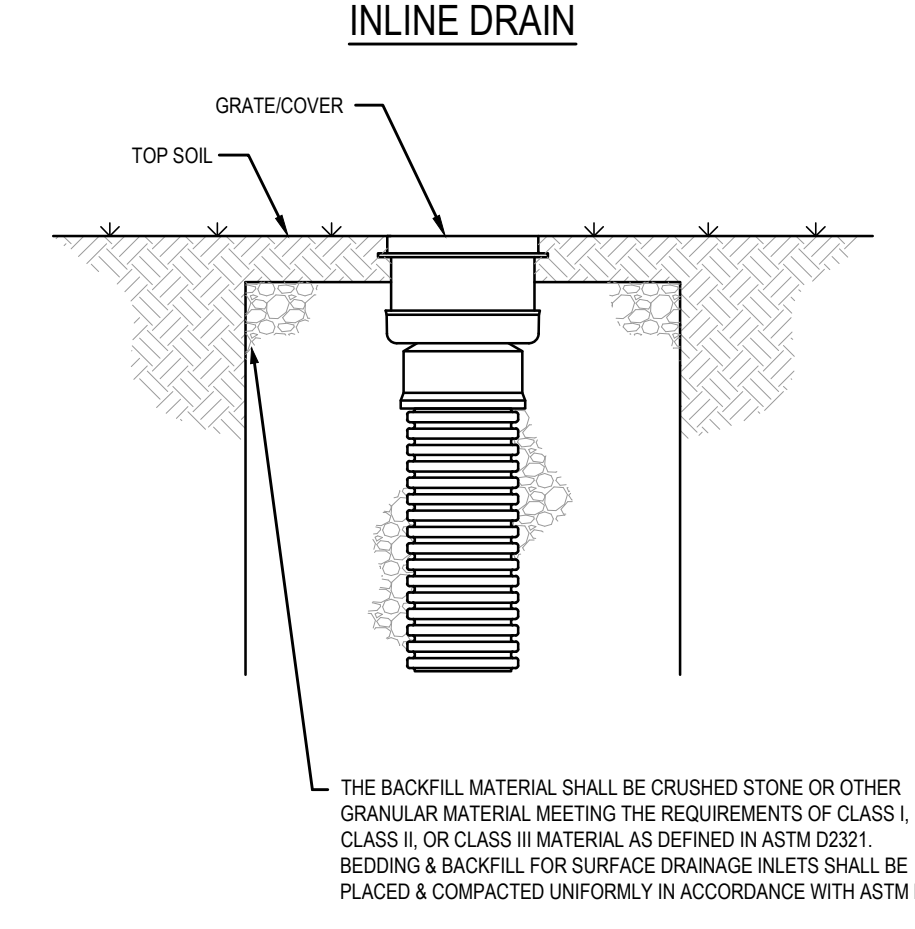
NOTES:
- TOP OF CURB AND PIPE INVERT ELEVATIONS ARE SHOWN ON THE PLANS.
- THE GRATE ELEVATION SHALL BE DEPRESSED 0.1' FROM STRAIGHT GUTTER GRADE STARTING FROM THE INLET AND EXTENDING IN BOTH DIRECTIONS.
- THE CASTING SHALL BE NEENAH FOUNDRY R-3067 CURB INLET WITH REVERSIBLE GRATES WHERE RUNOFF REACHES THE INLET FROM BOTH DIRECTIONS. WHERE RUNOFF REACHES THE INLET FROM ONE DIRECTION A NEENAH R-3067-L CASTING SHALL BE USED. DIRECTIONAL SLOTS TO BE LOCATED TO DIRECT THE FLOW INTO THE STREET INLET.
- FRAME ADJUSTING RINGS SHALL BE AT LEAST TWO CONCRETE RINGS OF VARIABLE THICKNESS. MASTIC BETWEEN RINGS AND BACKPLASTER A SMOOTH LAYER OF GROUT OVER THE ENTIRE INNER AND OUTER SURFACES OF THE RINGS.

2 STORM DRAIN CURB INLET DETAIL
C 601 NOT TO SCALE



5 STORM DRAIN BASIN
C 601 NOT TO SCALE

NON TRAFFIC INSTALLATION



THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II, OR CLASS III MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

REGENT STREET PARKING GARAGE

BIO-RETENTION POND DETAILS

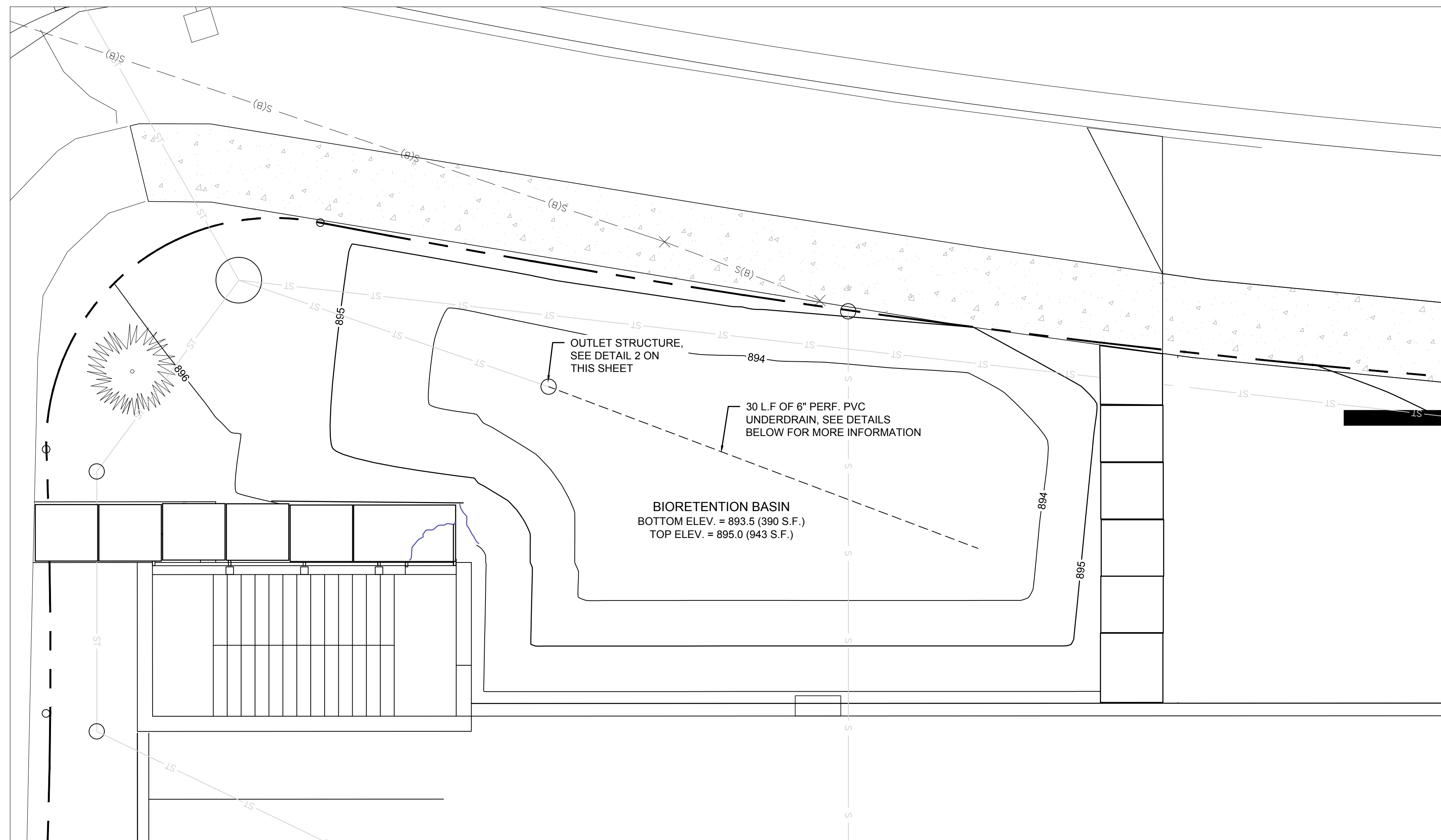
CITY OF MADISON, WISCONSIN

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C 601

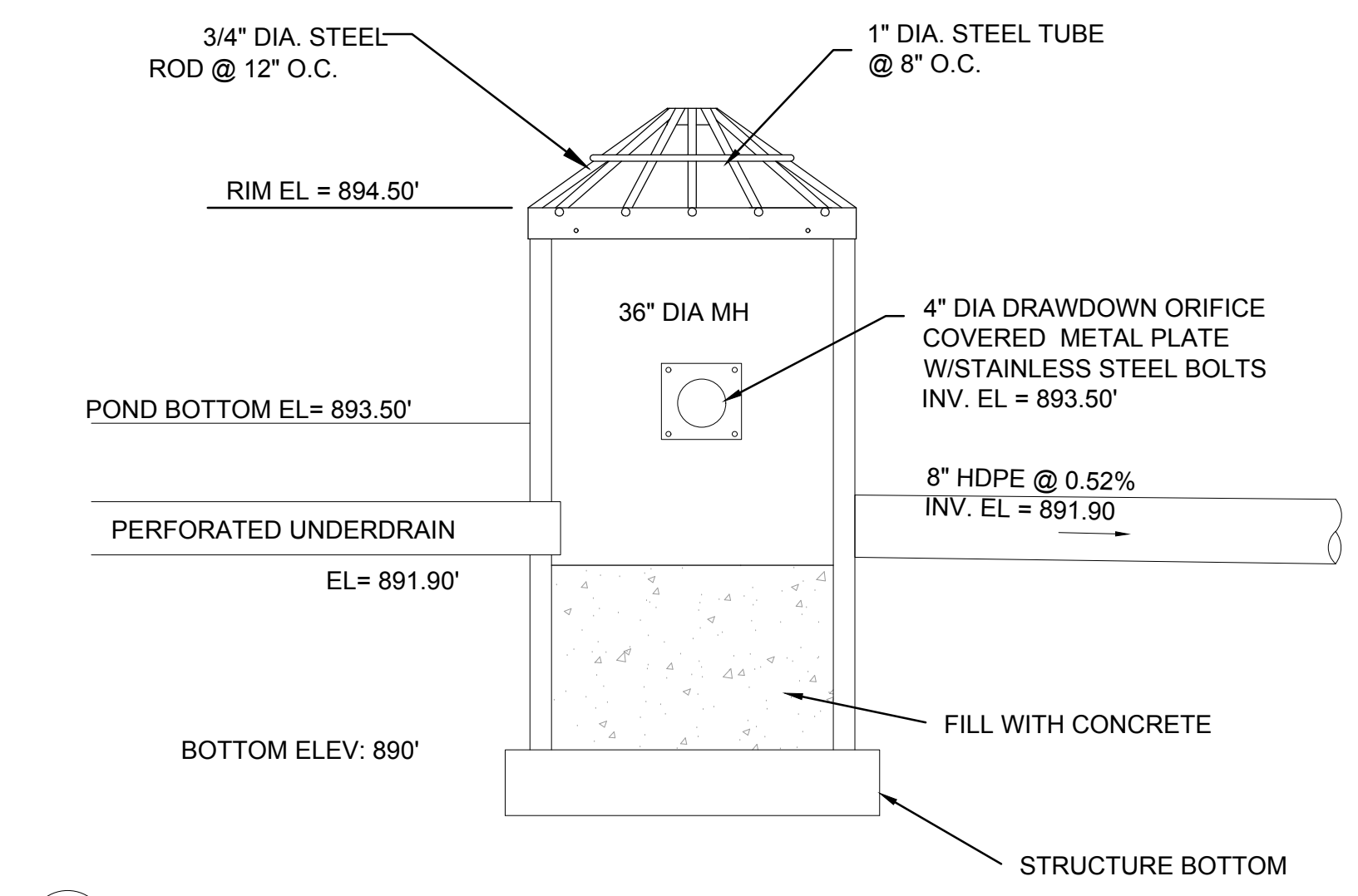
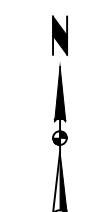
MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: LAO		
Technician: LAO	Date: 4-21-2020		Field Bk:
			Project No: 1120.0265.30



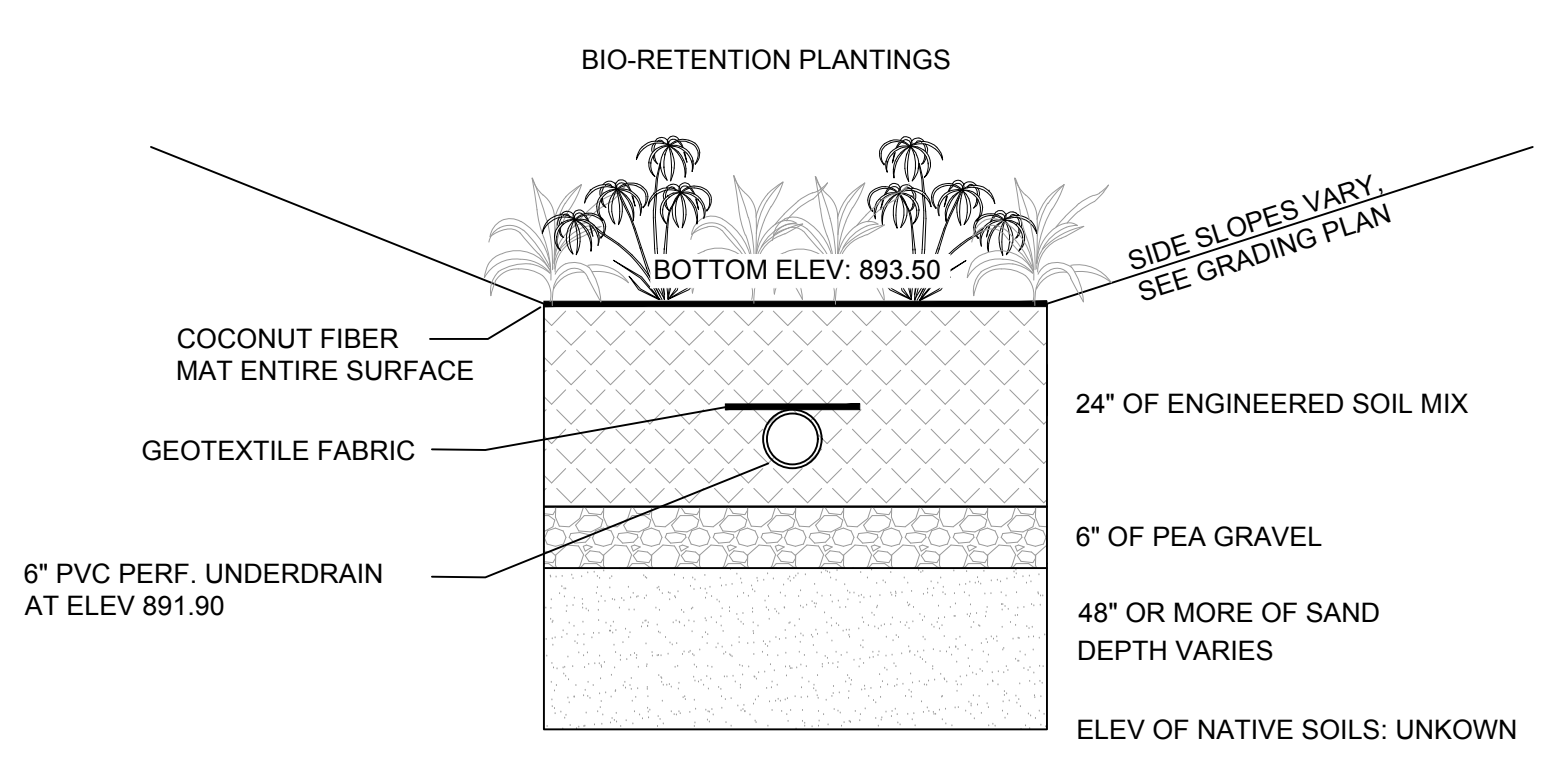
BIO-RETENTION NOTES

1. BIORETENTION SHALL CONFORM TO WIS. DNR TECH STANDARD 1004.
2. ENGINEERED SOIL SHALL CONSIST OF 70%-85% SILICA SAND AND 15%-30% COMPOST WITH A PH OF 5.5-6.5
3. BIORETENTION BASINS SHALL BE EXCAVATED AND USED AS SEDIMENT TRAPS DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION AND SITE STABILIZATION, THE BASINS SHALL BE OVER-EXCAVATED 3 FEET MINIMUM AND THEN THE SAND LAYER AND ENGINEERED SOIL SHALL BE PLACED TO WITHIN THREE INCHES OF FINAL GRADE. ONCE THE ENGINEERED SOIL IS PLACED, THREE INCHES OF HARDWOOD MULCH SHALL BE ADDED ON TOP OF THE ENGINEERED SOIL.
4. FIELD INFILTRATION TESTING: IMMEDIATELY AFTER ROUGH GRADING OF STORMWATER BIOINFILTRATION AND INFILTRATION DEVICES, PROVIDE FIELD INFILTRATION TESTING CONDUCTED BY A THIRD-PARTY TESTING AGENCY TO VERIFY INFILTRATION RATES FOR ALL STORMWATER BIOINFILTRATION AND INFILTRATION DEVICES. DETERMINE INFILTRATION RATES IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) SITE EVALUATION FOR STORMWATER INFILTRATION, STANDARD 1002. FREQUENCY OF TESTING SHALL BE 1 TEST PER 5000 SQUARE FEET OF SURFACE AREA OF THE STORMWATER INFILTRATION DEVICE MEASURED AT THE DESIGN HIGH WATER LEVEL AND AT LEAST ONE TEST PER DEVICE. FURNISH A REPORT OF THE TEST RESULTS TO ARCHITECT/ENGINEER.
5. SPECIFIC SPECIES OR CONTAINER SIZE SUGGESTED SUBSTITUTIONS SHALL BE PRESENTED TO CONSULTANT ALONG WITH THE REASONS FOR THE SUGGESTIONS. WITH CONSULTANT OR PROJECT ENGINEER'S APPROVAL, SUBSTITUTIONS MAY BE MADE.
6. LIVE PLANTS CAN BE PLANTED IN THE FIELD DURING THE GROWING SEASON FROM MAY 1 THROUGH OCTOBER 1. ANY SUGGESTED PLANTING TIMES NOT IN THIS WINDOW SHALL BE APPROVED BY CONSULTANT OR ENGINEER. IF PLANTING OCCURS OUTSIDE OF THIS WINDOW ADDITIONAL MEASURES MAY NEED TO BE TAKEN (I.E. MULCH) TO ENSURE PLANT SURVIVAL. IN THESE INSTANCES, THE CONTRACT PRICE MAY NEED TO BE ADJUSTED ACCORDINGLY.
7. PLANT SPECIES PLANTED SHALL FOLLOW THE LANDSCAPE PLAN.
8. ALL PLANTED MATERIALS WILL BE WARRANTED BY INSTALLATION CONTRACTOR TO BE IN HEALTHY CONDITION WITH A REPLACEMENT GUARANTEE FOR A PERIOD OF ONE YEAR FROM THE DATE OF PLANTING.
9. NATIVE PLANTS SHOULD BE WATERED IN AFTER INSTALLATION TO ENSURE THEIR SURVIVAL. THIS TYPICALLY INVOLVES WATERING AT TIME OF INSTALLATION AND 2 TIMES WEEKLY FOR A ONE MONTH PERIOD OR UNTIL GROUND FREEZE UP IF NATURAL RAINFALLS ARE INSUFFICIENT. A SINGLE WATERING EVENT INVOLVES WATERING THE SOIL IN THE PLANTED AREAS TO THE POINT OF SATURATION BUT STOPPING SHORT OF SOIL DISPLACEMENT. SHOULD VERY DRY CONDITIONS DEVELOP WITHIN ONE YEAR OF PLANTING, ADDITIONAL WATERINGS MAY BE NECESSARY. CONSULTANT OR PROJECT ENGINEER WILL DETERMINE THIS AND CONTRACT PRICES MAY BE ADJUSTED TO ACCOMMODATE THIS ACTION.
10. PLANTS SHALL BE PLANTED IN THE BIORETENTION AREA AT A MINIMUM OF ONE PLANT PER EVERY 12" ON CENTER.
11. UPON COMPLETION OF EXCAVATING & GRADING OPERATIONS, A LOOSE, FRIABLE PLANT BED SHALL BE PREPARED FOR INSTALLATION OF NATIVE PLANT PLUGS.
12. CARE SHALL BE TAKEN TO MINIMIZE SOIL COMPACTION DURING CONSTRUCTION ACTIVITY. BY EXAMPLE OF A STANDARD SOIL PENETROMETER (COMPACTION TESTER), THE TOPSOIL COMPACTION READINGS SHALL BE LESS THAN 200 PSI AT THE 0-6 INCH DEPTH AND LESS THAN 250 PSI AT THE 6-18 INCH DEPTHS IN ALL AREAS TO BE PLANTED.
13. UNDULATIONS OR IRREGULARITIES IN THE PLANT BED WHICH WOULD INTERFERE WITH A CONSISTENT SEEDING OPERATION SHALL BE LEVELED PRIOR TO FINAL SEEDING.
14. FINAL PLANTING AREA SHOULD BE GRADED SUCH THAT THE AREAS TO BE PLANTED SHALL CONSIST OF A SMOOTH, FREE DRAINING, EVEN SURFACE WITH A LOOSE POROUS TEXTURE.

1 BIO-RETENTION POND DETAIL
SCALE: 1" = 5'



2 BIORETENTION BASIN OUTLET STRUCTURE DETAIL
NOT TO SCALE



NATIVE SOIL
CONTRACTOR SHALL OVER EXCAVATE UNTIL NATIVE SOILS CONDUCTIVE OF 0.5 IN/HR INFILTRATION RATE IS FOUND. BACK FILL WITH SAND

3 BIORETENTION BASIN CROSS SECTION
NOT TO SCALE

4 NOT USED
NOT TO SCALE

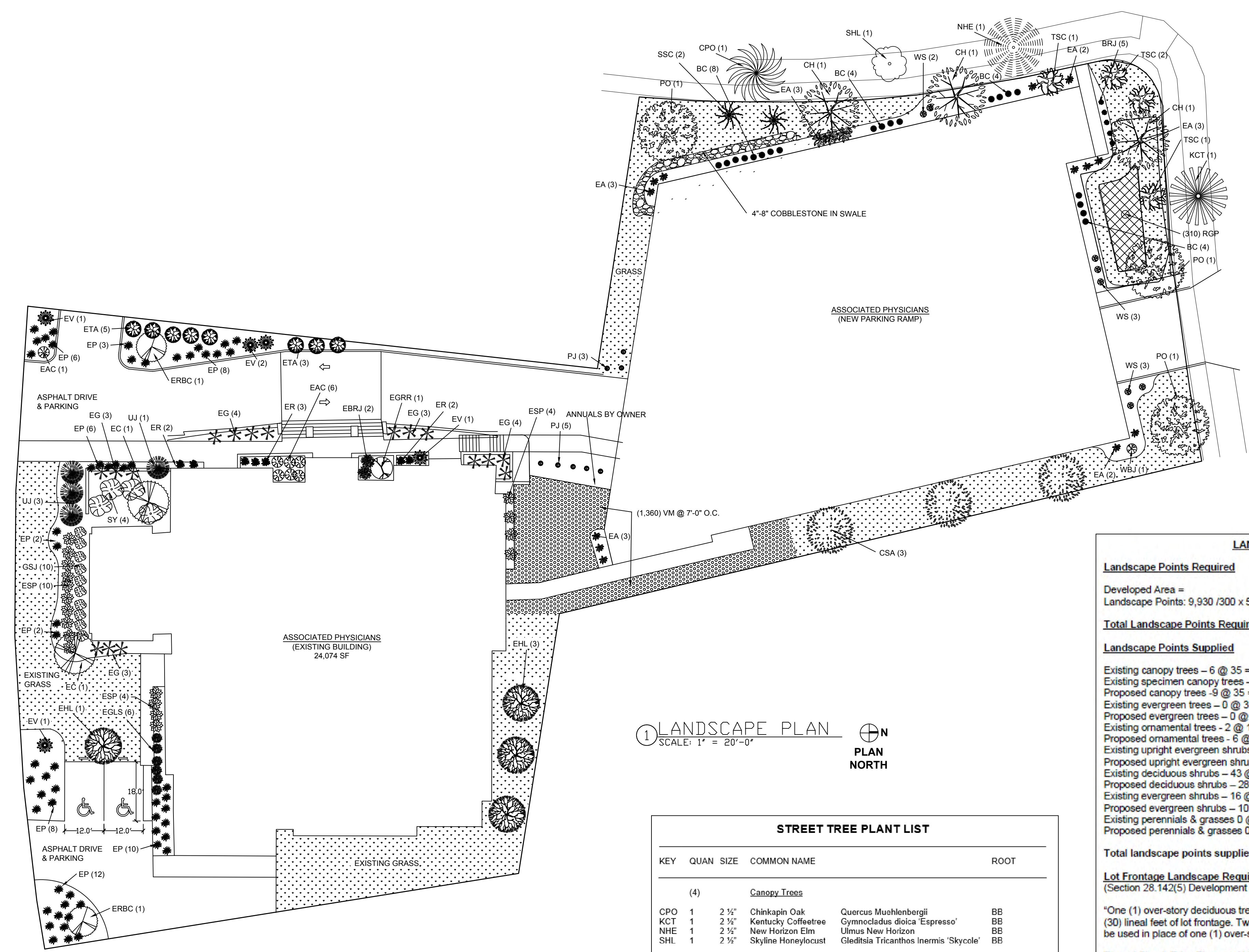
MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: LAO		
Technician: LAO	Date: 4-21-2020		
Project No: 1120.0265.30			Pg:

REGENT STREET PARKING GARAGE
 CITY OF MADISON, WISCONSIN
 BIO-RETENTION POND DETAILS
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-638-0444 | www.snyder-associates.com



C 602

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LANDSCAPE PLAN
SCALE: 1" = 20'-0"

KEY	QUAN	SIZE	COMMON NAME	ROOT	
(4) Canopy Trees					
CPO	1	2 1/2"	Chinkapin Oak	Quercus Muehlenbergii	BB
KCT	1	2 1/2"	Kentucky Coffeetree	Gymnocladus dioica 'Espresso'	BB
NHE	1	2 1/2"	New Horizon Elm	Ulmus New Horizon	BB
SHL	1	2 1/2"	Skyline Honeylocust	Gleditsia Tricanthos Inermis 'Skycole'	BB

- City of Madison Forestry Notes:
- All proposed street tree removals within the right of way shall be reviewed by City Forestry before the Plan Commission meeting. Street tree removals require approval and a tree removal permit issued by City Forestry. Any street tree removals requested after the development plan is approved by the Plan Commission or the Board of Public Works and City Forestry will require a minimum of a 72-hour review period which shall include the notification of the Alderperson within who's district is affected by the street tree removal(s) prior to a tree removal permit being issued.
 - As defined by the Section 107.13 of City of Madison Standard Specifications for Public Works Construction: No excavation is permitted within 5 feet of the trunk of the street tree or when cutting roots over 3 inches in diameter. If excavation is necessary, the Contractor shall contact Madison City Forestry (266-4816) prior to excavation. City of Madison Forestry personnel shall assess the impact to the tree and to its root system prior to work commencing. Tree protection specifications can be found on the following website: <https://www.cityofmadison.com/business/pw/specs.cfm>
 - Contractor shall take precautions during construction to not disfigure, scar, or impair the health of any street tree. Contractor shall operate equipment in a manner as to not damage the branches of the street tree(s). This may require using smaller equipment and loading and unloading materials in a designated space away from trees on the construction site. Any damage or injury to existing street trees (either above or below ground) shall be reported immediately to City Forestry at 266-4816. Penalties and remediation shall be required.
 - Section 107.13(g) of City of Madison Standard Specifications for Public Works Construction addresses soil compaction near street trees and shall be followed by Contractor. The storage of parked vehicles, construction equipment, building materials, refuse, excavated spoils or dumping of poisonous materials on or around trees and roots within five (5) feet of the tree or within the protection zone is prohibited.
 - On this project, street tree protection zone fencing is required. The fencing shall be erected before the demolition, grading or construction begins. The fence shall include the entire width of terrace and, extend at least 5 feet on both sides of the outside edge of the tree trunk. Do not remove the fencing to allow for deliveries or equipment access through the tree protection zone.
 - Street tree pruning shall be coordinated with Madison Forestry at a minimum of two weeks prior to the start of construction for this project. All pruning shall follow the American National Standards Institute (ANSI) A300 - Part 1 Standards for pruning.

LANDSCAPE WORKSHEET	
Landscape Points Required	
Developed Area =	9,930 SF
Landscape Points: 9,930 / 300 x 5 =	166 points
Total Landscape Points Required	166 points
Landscape Points Supplied	
Existing canopy trees - 6 @ 35 =	210 points
Existing specimen canopy trees - 0 @ 200 =	0 points
Proposed canopy trees - 9 @ 35 =	315 points
Existing evergreen trees - 0 @ 35 =	0 points
Proposed evergreen trees - 2 @ 35 =	70 points
Existing ornamental trees - 6 @ 15 =	90 points
Existing upright evergreen shrubs - 13 @ 10 =	130 points
Proposed upright evergreen shrubs - 17 @ 10 =	170 points
Existing deciduous shrubs - 43 @ 3 =	129 points
Proposed deciduous shrubs - 28 @ 3 =	84 points
Existing evergreen shrubs - 16 @ 4 =	64 points
Proposed evergreen shrubs - 10 @ 4 =	40 points
Existing perennials & grasses 0 @ 2 =	76 points
Proposed perennials & grasses 0 @ 0 =	0 points
Total landscape points supplied =	1,330 points
Lot Frontage Landscape Required (Section 28.142(5) Development Frontage Landscaping)	
One (1) over-story deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) over-story deciduous tree.	
Regent Street, Price Place and Vernon Boulevard =	470 LF
Over story trees required 470/30' = 15.6	16 trees
Shrubs required (470/30') x 5 = 78.3	78 shrubs
Over story trees supplied	9 trees
Ornamental/Evergreen trees supplied	12 trees
Shrubs supplied	78 shrubs

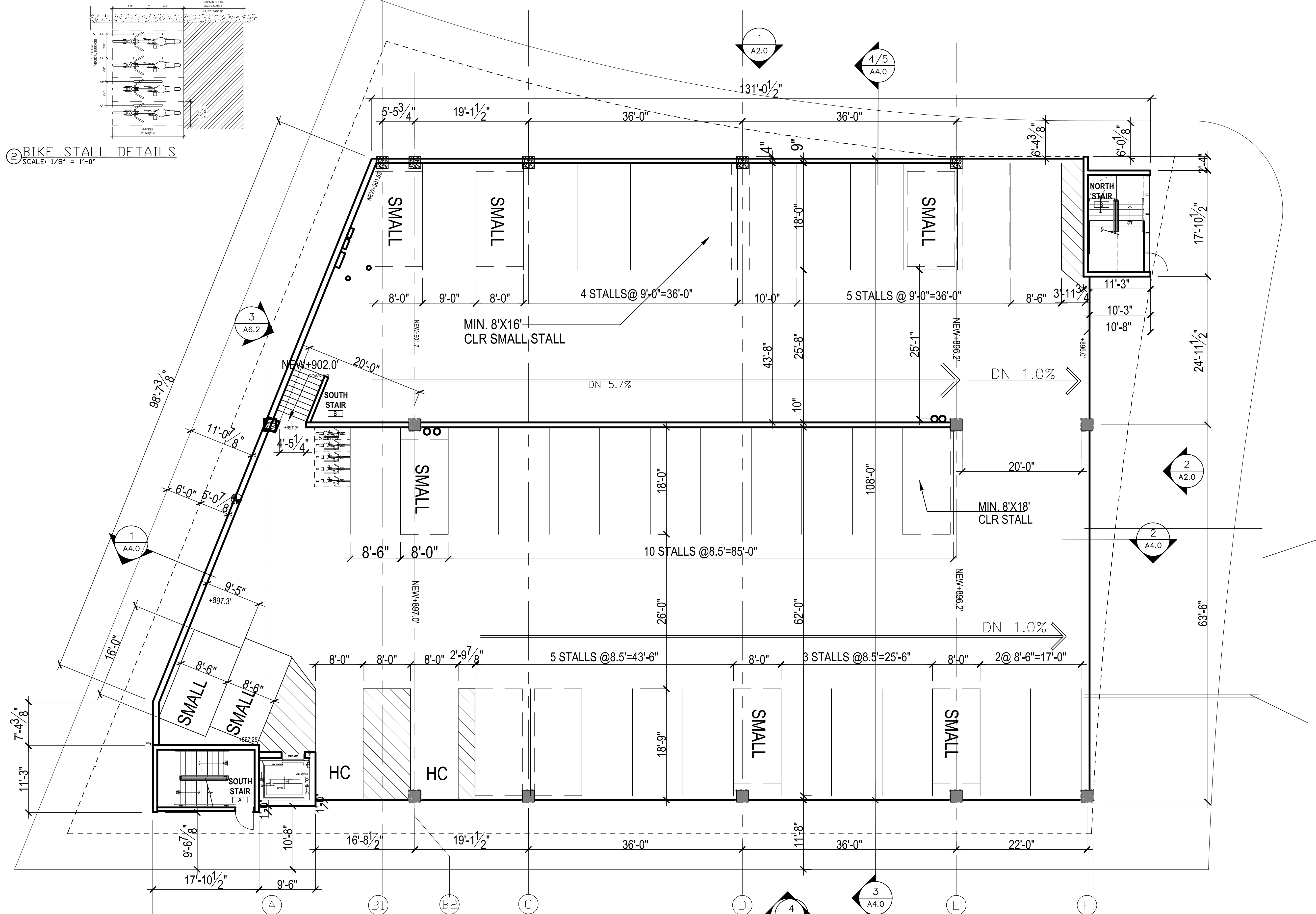
PLANT LIST				
KEY	QUAN	COMMON NAME	ROOT	
(15) Canopy Trees				
CH	3	2 1/2"	Hackberry	BB
CSA	3	2 1/2"	Columnar Swedish Aspen	BB
EHL	4	8" +	Existing Honeylocust	EX
PO	3	2 1/2"	Exclamation Planetree	BB
ERBC	2	20'	Existing River Birch Clump	EX
(8) Ornamental Trees				
EC	2	6" +	Existing Flowering Crab	EX
SSC	2	2"	Spring Snow Crab	BB
TSC	4	2"	Tina Sargent Crab	BB
(71) Deciduous Shrubs				
BC	20	24"	Black Chokeberry	Pot
EAC	7	24"	Existing Alpine Currant	EX
EGLS	6	24"	Existing Gro Low Sumac	EX
ER	7	18"	Existing Shrub Rose	EX
ESP	14	24"	Existing Spirea	EX
EV	5	36"	Existing Viburnum	EX
WS	8	24"	White Snowberry	Pot
(30) Upright evergreen Shrubs				
EA	16	4'	Emerald Arborvitae	BB
EGRR	1	8'	Existing Gold Rush Redwood	EX
ETA	8	10'	Existing Techny Arborvitae	EX
UJ	4	15'	Existing Upright Juniper	EX
WBJ	1	5'	Wichita Blue Juniper	BB
(26) Evergreen Shrubs				
BRJ	5	2 G	Blue Rug Juniper	Con
EBRJ	2	2 G	Existing Blue Rug Juniper	EX
EGSJ	10	5 G	Existing Green Sargent Juniper	EX
SY	4	48" +	Existing Spreading Yew	EX
PJ	5	24"	Pfitzer Juniper	BB
(1,434) Perennials				
EG	17	36"	Existing Ornamental Grass	EX
EP	57	24"	Existing Perennial	EX
VM	1,360	1"	Vinca Minor	Plug
Bio-retention Plantings (Planted 12" on center)				
RGP	310	2 1/2"	Common Blue Star	plug
			Bottle Gentian	
			Obedient Plant	
			Columbine	
			Switchgrass	
			Black Eyed Susan	
			Wild Iris	
			Swamp Milkweed	
			White Turtlehead	
			Cardinal Flower	
			Turk's Cap Lily	
			Little Bluestem	
			Canada Wild Rye	
			Nodding Onion	
NOTES:				
1) New lawn areas and existing lawn areas disturbed by construction shall receive a minimum of 4" of topsoil, seed (Madison Parks mix), starter fertilizer, and mulch (straw or straw mat).				
2) Lawn areas in drainage swales and Vinca planting beds with slopes 3:1 and greater shall be mulched with erosion control fabric (installed per manufacturer's specifications).				
3) Designated planting beds to be mulched with #2 shredded hardwood bark spread to a depth of 3".				
4) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4' diameter) spread to a depth of 3".				
5) Designated planting beds to be separated from lawn areas with 5" black vinyl edging.				
6) Rain garden to receive coconut mat mulch.				
7) Rain garden plants (RGP) to be installed 12" on center.				
8) Rain garden to be constructed per WDNR specifications.				
9) Owner will be responsible for landscape maintenance after completion and acceptance of the project.				

PROJECT:
ASSOCIATED PHYSICIANS
215 PRICE PLACE
MADISON, WI 53705

TITLE:
LANDSCAPE PLAN

DRAWN BY: TT CHECKED BY: SH
PROJECT NO: 20550 DATE: 06/16/2020

L1.0



2 BIKE STALL DETAILS
SCALE: 1/8" = 1'-0"

158'-2 3/8"

1 LOWER LEVEL PARKING PLAN
SCALE: 1/8" = 1'-0"



PROJECT:
ASSOCIATED PHYSICIANS
215 PRICE PLACE
MADISON, WI 53705

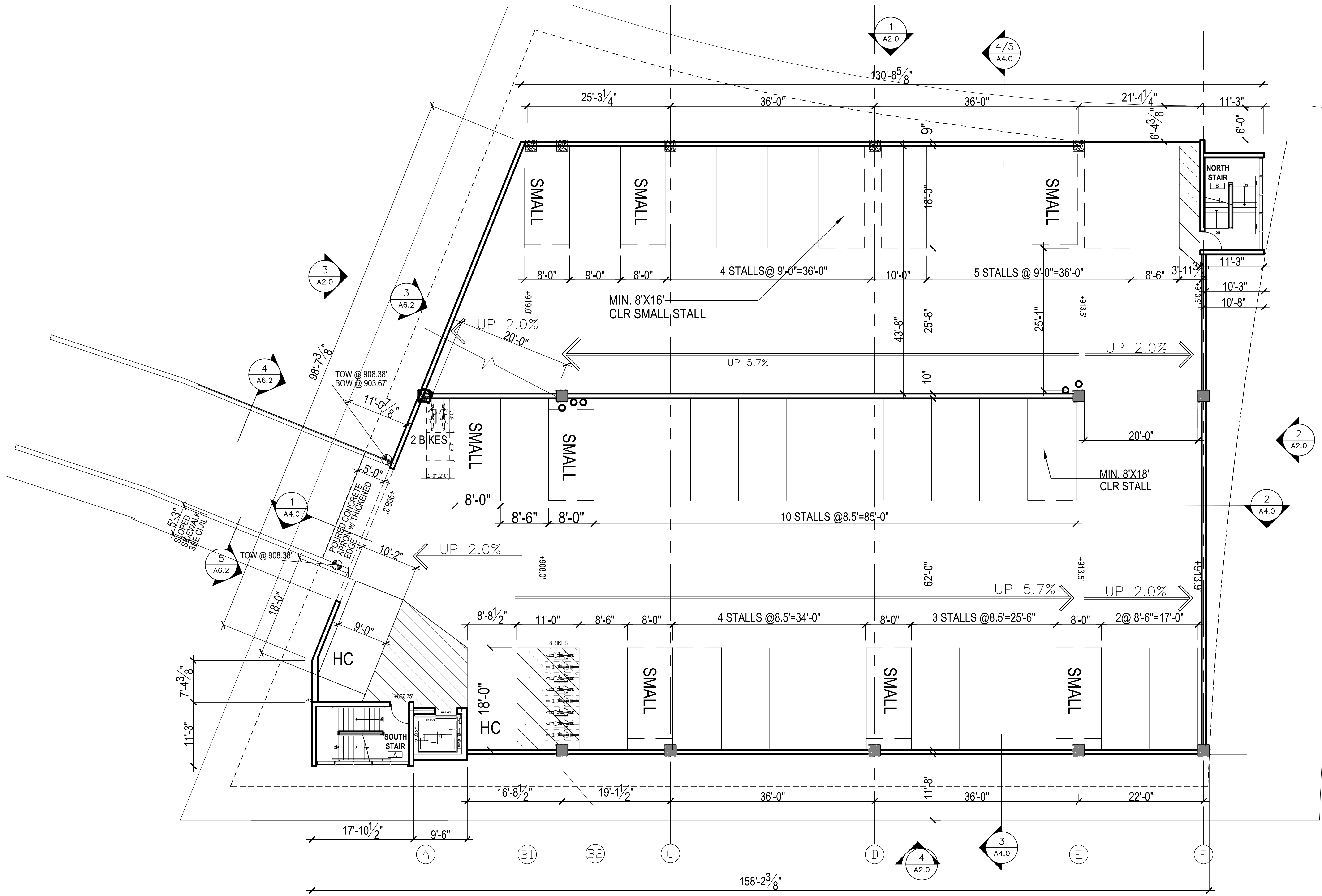
TITLE:

LOWER LEVEL
PARKING PLAN

DRAWN BY: SH CHECKED BY: SH
PROJECT NO: 20550 DATE: 06/16/2020

A1.0

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① FIRST FLOOR PARKING PLAN
SCALE: 1/8" = 1'-0"
PLAN NORTH

PROJECT:
ASSOCIATED PHYSICIANS
215 PRICE PLACE
MADISON, WI 53705

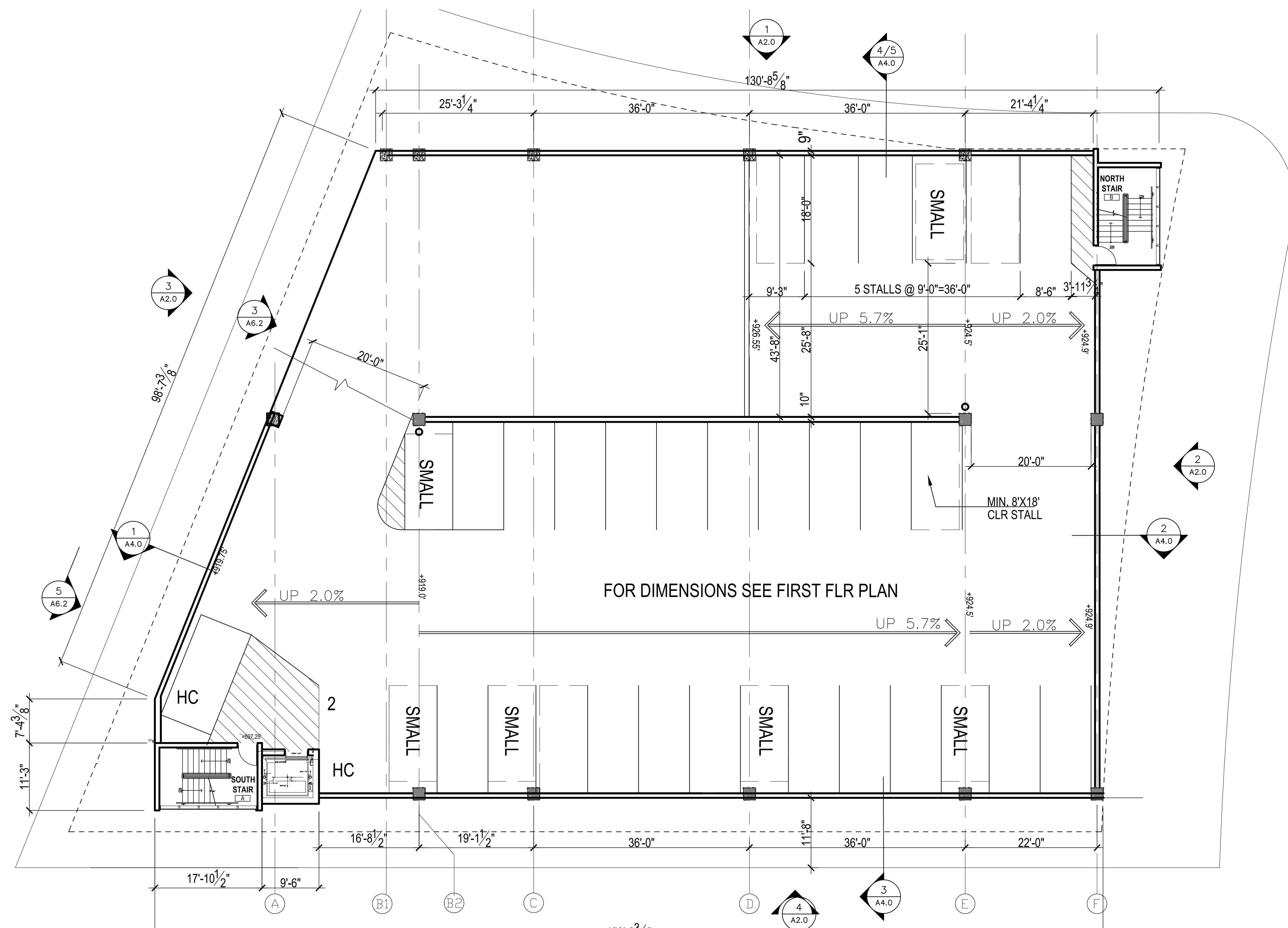
TITLE:

**FIRST FLOOR
PARKING PLAN**

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PROJECT NO: 20550 DATE: 06/16/2020

A1.1

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FOR DIMENSIONS SEE FIRST FLR PLAN

1/8" = 1'-0"

① SECOND FLOOR PARKING PLAN
SCALE: 1/8" = 1'-0"
PLAN NORTH

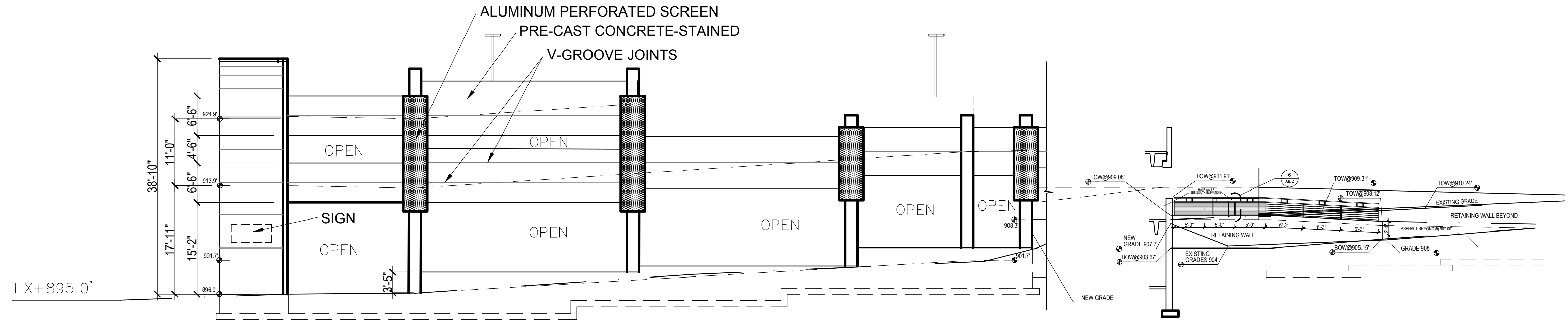
PROJECT:
ASSOCIATED PHYSICIANS
215 PRICE PLACE
MADISON, WI 53705

TITLE:
**SECOND FLOOR
PARKING PLAN**

DRAWN BY: SH CHECKED BY: SH
PROJECT NO: 20550 DATE: 06/16/2020

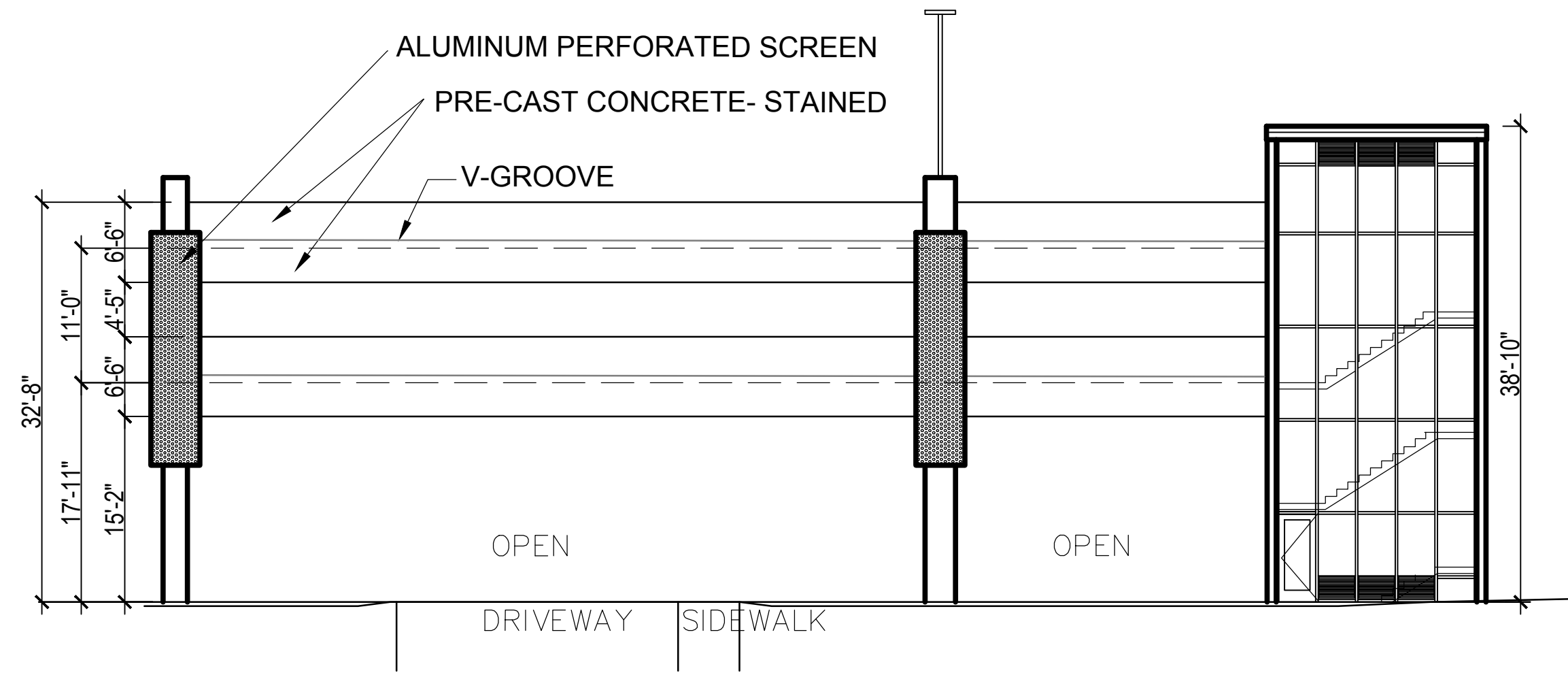
A1.2

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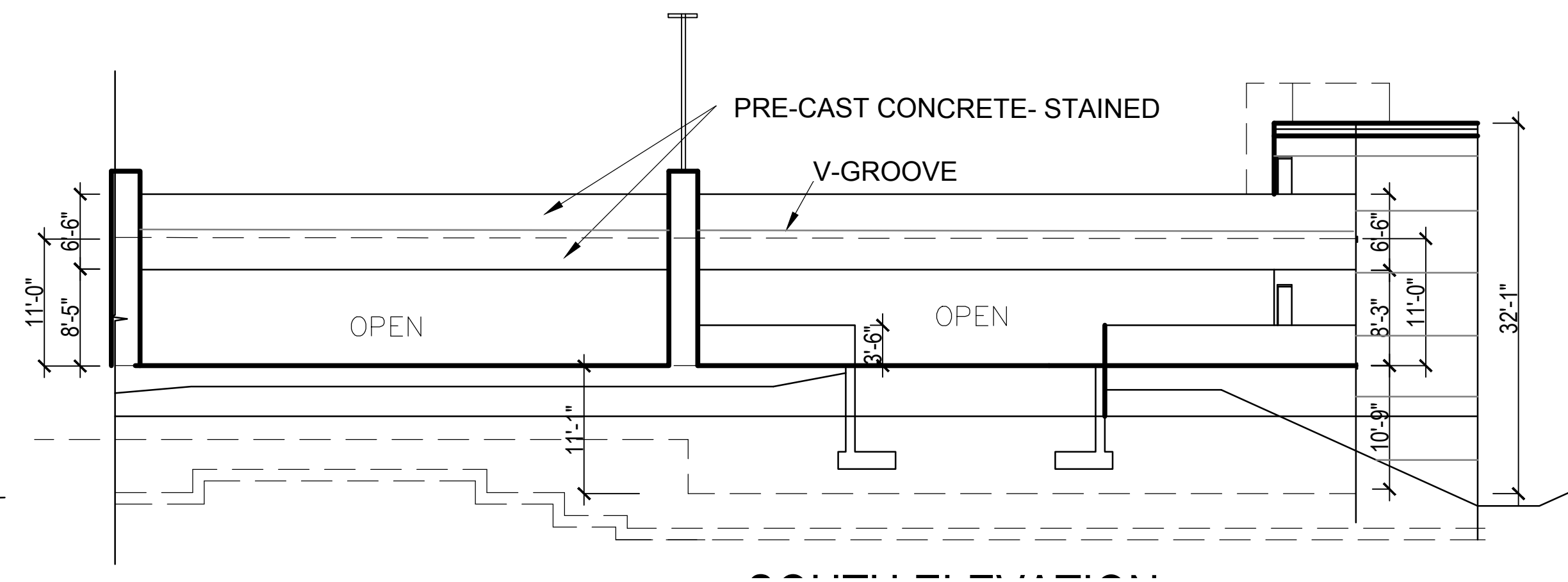


① WEST ELEVATION
SCALE: 3/64" = 1'-0"

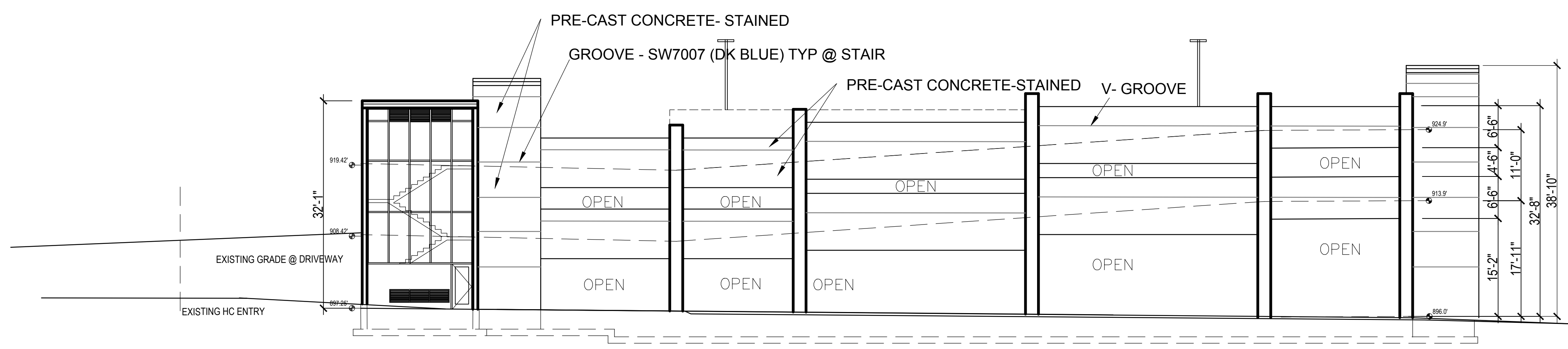
SOUTH ELEVATION



② NORTH ELEVATION
SCALE: 3/64" = 1'-0"



③ SOUTH ELEVATION
SCALE: 3/64" = 1'-0"



④ EAST ELEVATION
SCALE: 3/64" = 1'-0"

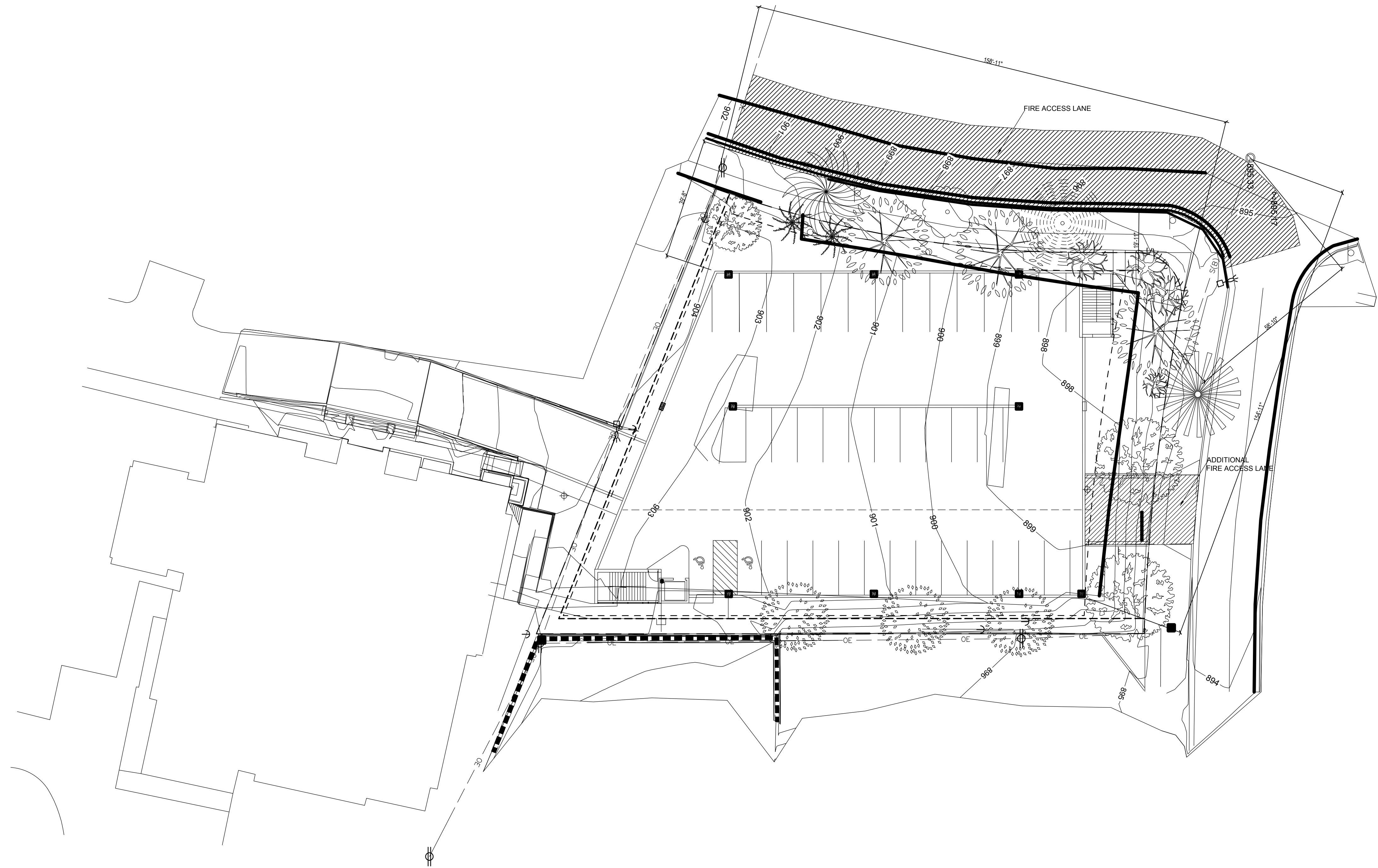
PROJECT:
ASSOCIATED PHYSICIANS
215 PRICE PLACE
MADISON, WI 53705

TITLE:

**EXTERIOR
ELEVATIONS**

DRAWN BY: SH CHECKED BY: SH
PROJECT NO: 20550 DATE: 06/16/2020

A2.0



① FIRE ACCESS PLAN
SCALE: 1" = 40'-0"



PROJECT:
ASSOCIATED PHYSICIANS
215 PRICE PLACE
MADISON, WI 53705

TITLE:

FIRE ACCESS PLAN

DRAWN BY: SH	CHECKED BY: SH
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A3.0

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PROJECT:
ASSOCIATED PHYSICIANS
215 PRICE PLACE
MADISON, WI 53705

TITLE:
3D RENDERINGS

DRAWN BY: SH CHECKED BY: SH
PROJECT NO: 20550 DATE: 06/16/2020

A6.3