

# LANDMARKS COMMISSION APPLICATION

LC

Complete all sections of this application, making sure to note the requirements on the accompanying checklist (reverse).

*If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call (608) 266-4635*

City of Madison  
Planning Division  
215 Martin Luther King Jr Blvd, Ste 017  
PO Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



## 1. LOCATION

Project Address: 2118 Regent Street Madison, WI 53726 Aldermanic District: \_\_\_\_\_

## 2. PROJECT

Project Title/Description: Demolition of existing 1-car garage and construction of new 2-car garage

This is an application for: (check all that apply)

- ☒ **Alteration/Addition to a building in a Local Historic District or Designated Landmark (specify)\*\*:**
- |  |  |   |
|--|--|---|
| <input type="checkbox"/> Mansion Hill                  | <input type="checkbox"/> Third Lake Ridge    | <input type="checkbox"/> First Settlement |
| <input checked="" type="checkbox"/> University Heights | <input type="checkbox"/> Marquette Bungalows | <input type="checkbox"/> Landmark         |
- ☐ **Land Division/Combination in a Local Historic District or to Designated Landmark Site (specify)\*\*:**
- |   |  |   |
|---|--|---|
| <input type="checkbox"/> Mansion Hill       | <input type="checkbox"/> Third Lake Ridge    | <input type="checkbox"/> First Settlement |
| <input type="checkbox"/> University Heights | <input type="checkbox"/> Marquette Bungalows | <input type="checkbox"/> Landmark         |
- ☒ **Demolition**
- ☐ **Alteration/Addition to a building adjacent to a Designated Landmark**
- ☐ **Variance from the Historic Preservation Ordinance (Chapter 41)**
- ☐ **Landmark Nomination/Rescission of Historic District Nomination/Amendment**  
(Please contact the Historic Preservation Planner for specific Submission Requirements.)
- ☐ **Other (specify):**

DPCED USE ONLY	Registrar #:
	<b>DATE STAMP</b>
	<b>Preliminary Zoning Review</b> Zoning Staff Initial:  Date:        /        /

## 3. APPLICANT

Applicant's Name: Katie & Stephen Kilgus Company: \_\_\_\_\_

Address: 2118 Regent Street Madison WI 53726  
Street City State Zip

Telephone: 303-246-1968 Email: katie.eklund@wisc.edu

Property Owner (if not applicant): \_\_\_\_\_

Address: \_\_\_\_\_  
Street City State Zip

Property Owner's Signature: Katie Kilgus Stephen Kilgus Date: 4/26/19

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

## 4. APPLICATION SUBMISSION REQUIREMENTS (see checklist on reverse)

All applications must be filed by 12:00 pm on the submission date with the Preservation Planner, the Department of Planning & Community & Economic Development, Planning Division, located at 215 Martin Luther King Jr Blvd, Suite 017. Applications submitted after the submission date or incomplete applications will be postponed to the next scheduled filing time. Submission deadlines can be viewed here: <https://www.cityofmadison.com/dpced/planning/documents/2019-LCMeetingScheduleDates.pdf>

## APPLICATION SUBMISSION REQUIREMENTS CHECKLIST:

In order to be considered complete, every application submission shall include at least the following information unless otherwise waived by the Preservation Planner.

- ☒ Landmarks Commission Application w/signature of the property owner (1 copy only).
- ☒ Twelve (12) collated paper copies 11" x 17" or smaller (via mail or drop-off) of submission materials (see below).
- ☒ Electronic files (via email) of submission materials (see below).
- ☒ Narrative Description/Letter of Intent addressed to the Landmarks Commission, describing the location of the property and the scope of the proposed project.
  - ☒ Photographs of existing conditions;
  - ☒ Photographs of existing context;
- ☒ Architectural drawings reduced to 11" x 17" or smaller pages which may include:
  - ☒ Dimensioned site plans showing siting of structures, grading, landscaping, pedestrian and vehicular access, lighting, signage, and other features;
  - ☒ Elevations of all sides showing exterior features and finishes, subsurface construction, floor and roof;
  - ☒ Floor Plan views of levels and roof;
  - ☐ For proposals of more than two (2) commercial or residential or combination thereof units, a minimum of two (2) accurate street-view normal perspectives shown from a viewpoint of no more than five (5) feet above existing grade.
- ☒ **\*\***Landmarks Commission staff will preliminarily review projects related to the construction of additions and/or new construction with Zoning staff in order to determine the completeness of the submission materials. Applicants are encouraged to contact Zoning staff to discuss projects early in the process;
- ☐ Any other information requested by the Preservation Planner to convey the aspects of the project which may include:
  - ☐ Perspective drawing
  - ☐ Photographs of examples on another historic resource
  - ☐ Manufacturer's product information showing dimensions and materials;
  - ☐ Other \_\_\_\_\_

## CONTACT THE PRESERVATION PLANNER:

Please contact the Preservation Planner with any questions.

City of Madison Planning Division  
 215 Martin Luther King Jr Blvd, Suite 017  
 PO Box 2985 (mailing address)  
 Madison, WI 53701-2985  
[landmarkscommission@cityofmadison.com](mailto:landmarkscommission@cityofmadison.com)  
 (608) 266-6552

## Letter of Interest

April 26, 2019

Dear Landmarks Commission,

We are proposing to remove the existing one-car detached garage and to replace it with a 22' x 22' two-car garage. The size and condition of the existing garage limit its utility and function. It currently floods when it rains and snows, the side boards are deteriorating, and it doesn't fit the owner's vehicle.

The new detached garage will improve the overall appearance and create a functional, usable garage. It will be located in the same area of the rear yard as the existing garage. The new proposed construction uses permissible exterior wall materials as set forth in Madison general Ordinance Sec 41.24(4)(a)2 that will match the exterior of the existing home as well as materials that match other structures within 200 feet of the location of the proposed garage. We have included pictures of the current garage, the current home, and a picture of the neighbor's garage. The proposed garage will match the architecture and color of our current home, as well as the vinyl materials and dimensions of our neighbor's garage, which is located 6 feet away from the proposed garage.

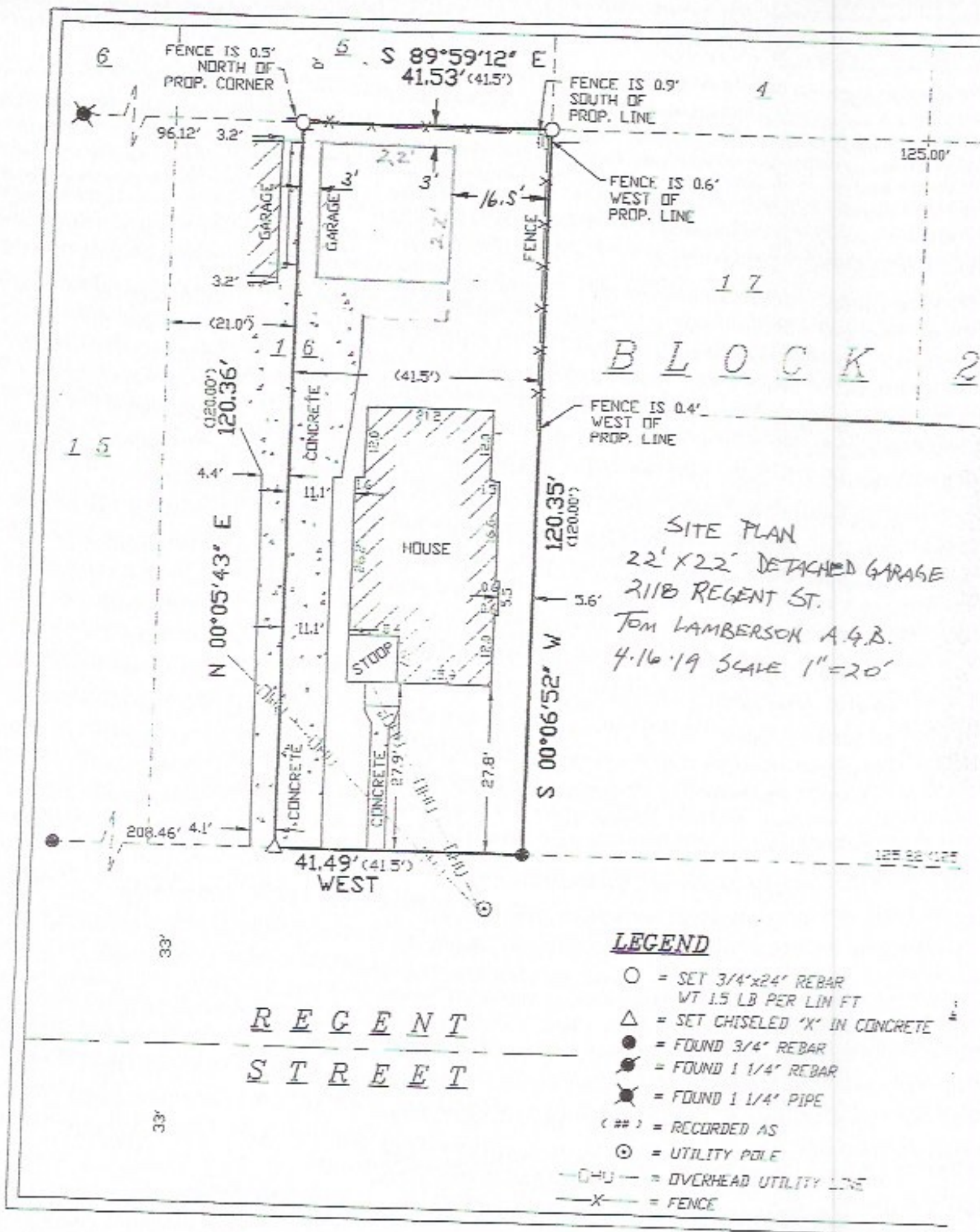
We are happy to answer any questions you may have.

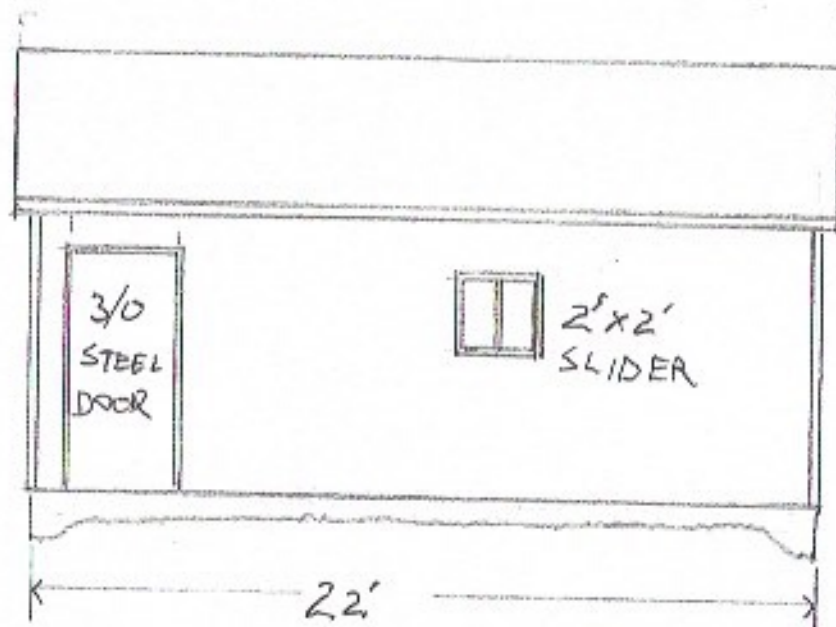
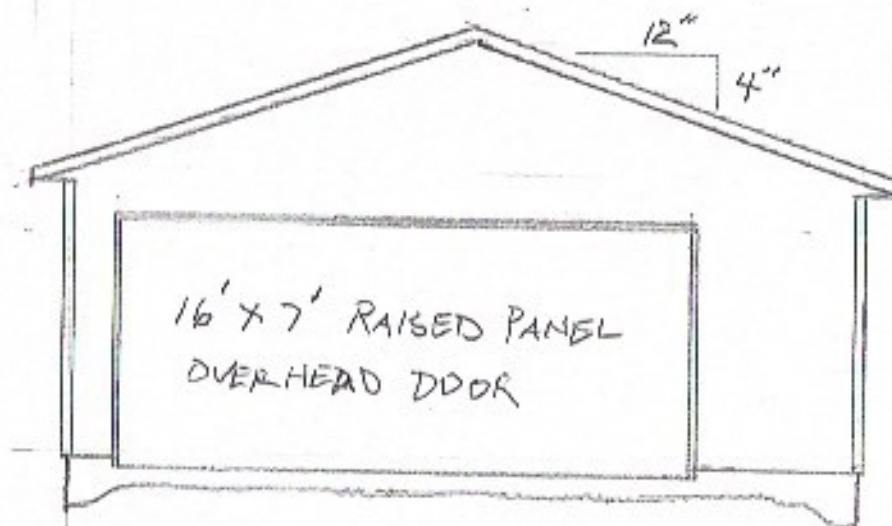
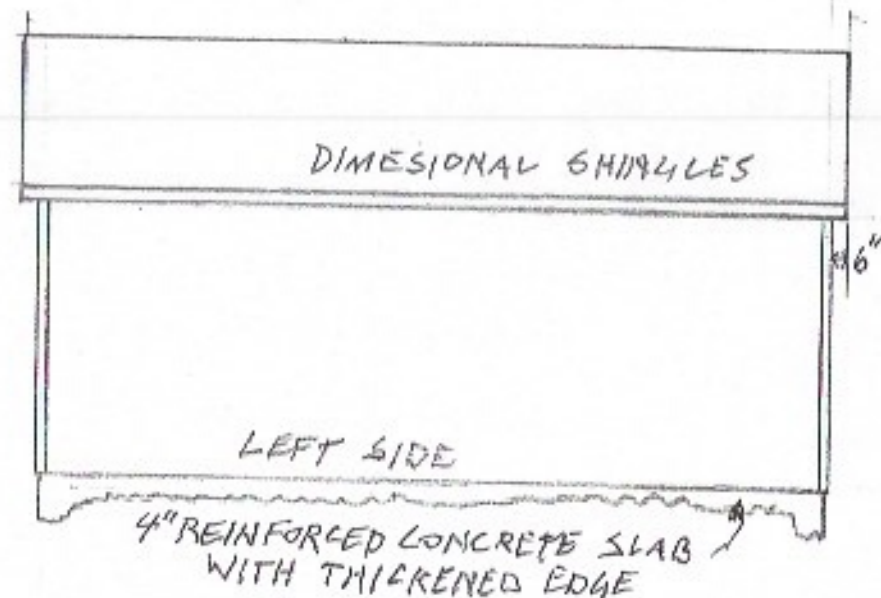
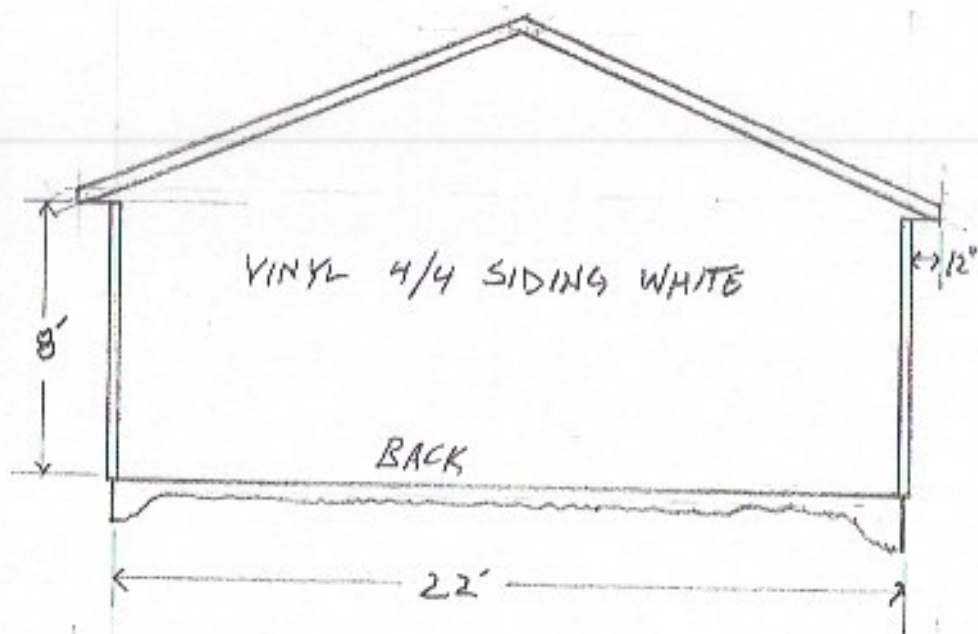
Thank you for your consideration.

Sincerely,

Handwritten signatures of Katie Eklund and Stephen Kilgus in blue ink.

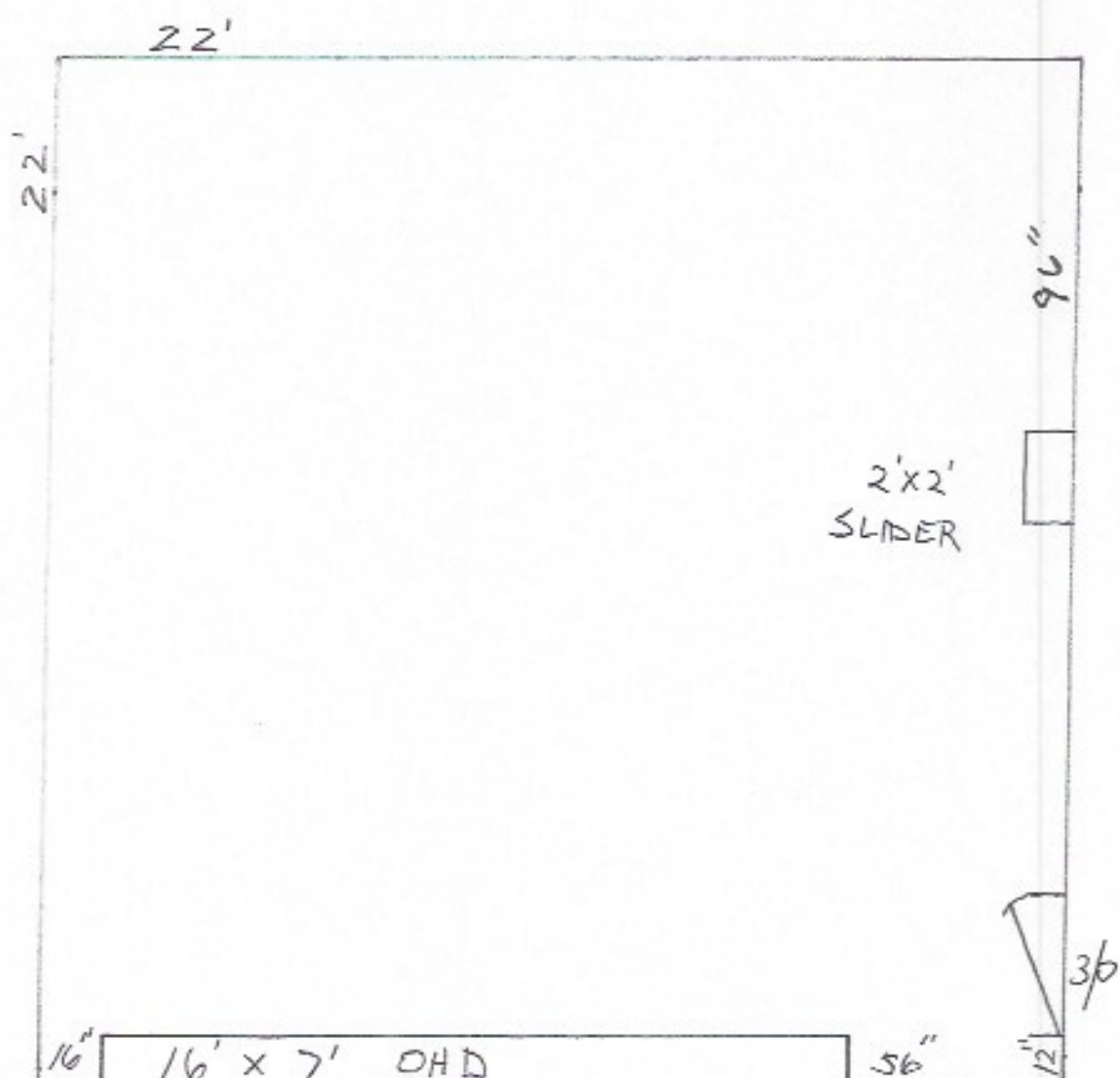
Katie Eklund Kilgus & Stephen Kilgus  
Current Owners  
2118 Regent Street  
Madison, WI 53726  
(303) 246-1968  
[Katie.eklund@wisc.edu](mailto:Katie.eklund@wisc.edu)





ELEVATIONS  
22' X 22' DETACHED GARAGE  
2118 REGENT ST.

TOM LAMBERSON A.G.B. 4.26.19 SCALE 3/16" = 1'



FLOOR PLAN  
 22' x 22' DETACHED GARAGE  
 2118 REGENT ST.  
 TOM LAMBERSON A.G.B.  
 4.16.19 SCALE 1/4" = 1'

# AMERICAN GARAGE BUILDERS

Tom Lamberson  
608-235-1868

April 27, 2019

RE: 22' x 22' Detached Garage

Steve & Katie Kilgus  
2118 Regent St.

## Concrete Construction

22' x 22' reinforced concrete floating slab with 3 1/2" raised curb, 8" x 8" thickened edge perimeter/footing, 1/2" re-rod around perimeter of the slab, 6' x 22' concrete apron, compacted stone base, six bag mix rated at 4000 psi., air-entrained, 6 x 6 wire mesh reinforcement and/or rebar, includes all excavation.

## Garage Construction

- ^ 8' Walls with Premium Quality 2 x 4 Studs 16" o.c.
- ^ Treated Bottom Plate and Double Top Plates.
- ^ OSB Structural Wall Sheathing.
- ^ 4/4 Vinyl Siding with Building Wrap.
- ^ Aluminum Fascia with Vinyl Vented Soffit.
- ^ 12" Eave Overhangs and 6" Gable Overhangs.
- ^ OSB Roof Sheathing with Steel H-Clips.
- ^ 4/12 Engineered Common House Trusses with Hurricane Anchors.
- ^ Dimensional Shingles with Lifetime Warranty and 15# ASTM Felt Paper.
- ^ Ridge Vent
- ^ One 2VS Insulated Sliding Window with Security Lock and Removable Screen.
- ^ 16' x 7' Raised Panel Steel Insulated Overhead Garage Door.
- ^ 3' x 6'8" Raised Panel Steel Service Door with Knob Lock and Two Keys.





