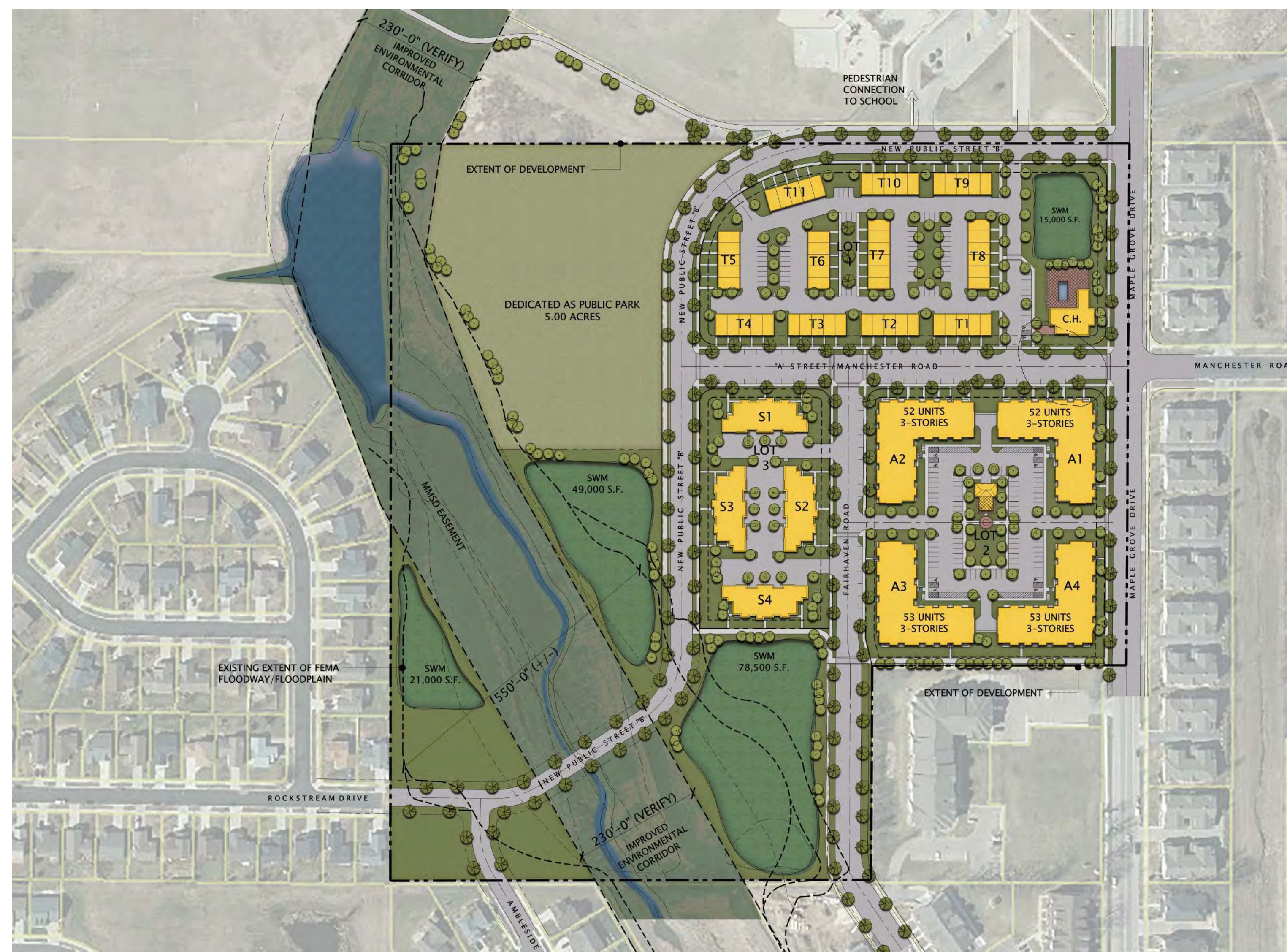


# MAPLE GROVE DRIVE RESIDENTIAL

MADISON, WISCONSIN



## REZONING SUBMITTAL

JANUARY 9, 2019



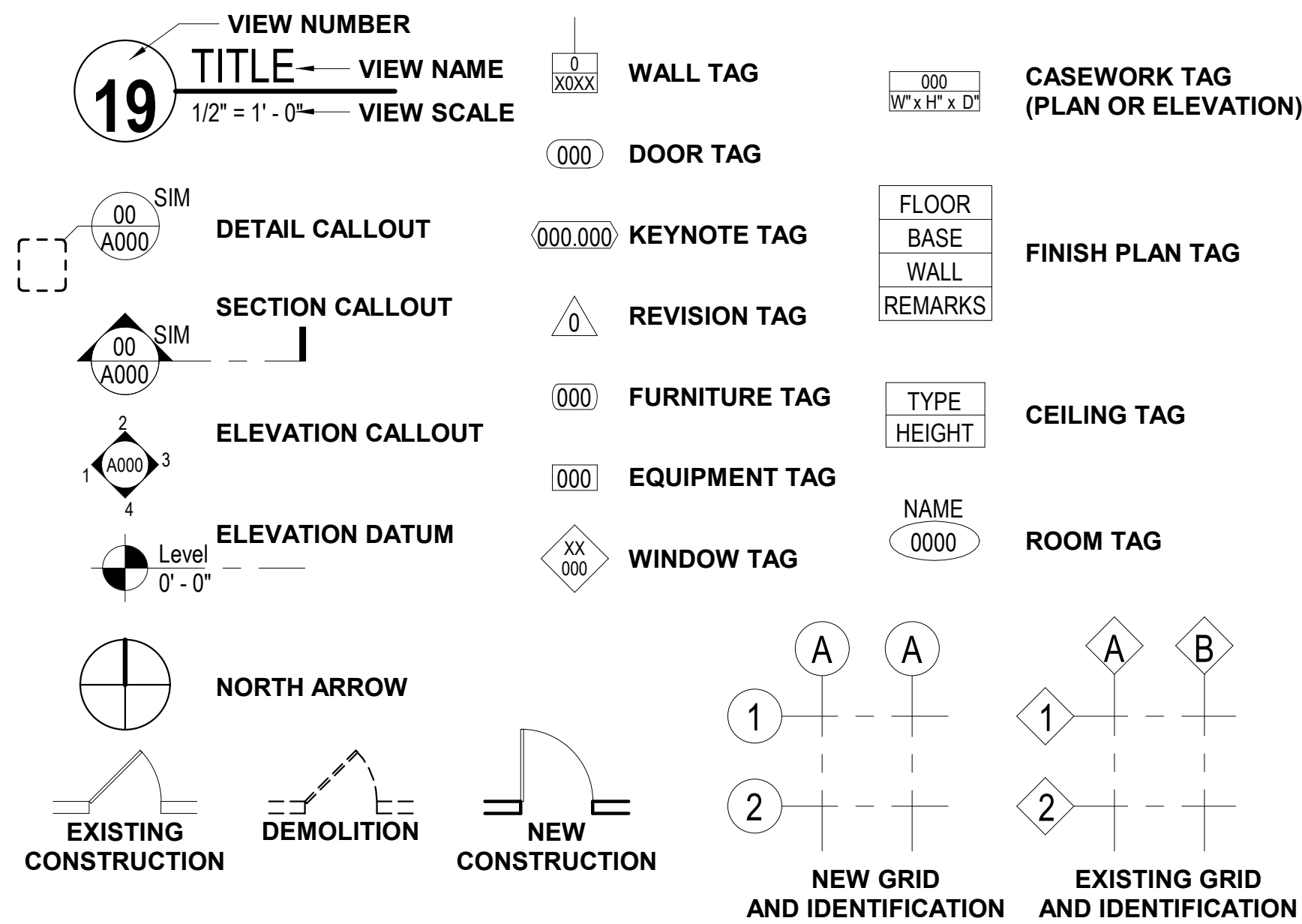
**JLA**  
ARCHITECTS

JLA PROJECT NUMBER: 17-1018

# ABBREVIATIONS

<b>A</b> air condition	<b>D</b> DEMO demolition	<b>G</b> GALV gage	<b>N</b> north	<b>T</b> T&M time & materials
<b>AE</b> Architect/Engineer	<b>DEPT</b> department	<b>GB</b> galvanized	<b>NA</b> not applicable	<b>TEMP</b> temperature
<b>ACT</b> acoustical ceiling tile	<b>DF</b> drinking fountain	<b>GC</b> general contractor	<b>NIC</b> not in contract	<b>TER</b> terrazzo
<b>ADOL</b> additional	<b>DPS</b> Door and Frame Schedule	<b>GL</b> glass	<b>NO</b> number	<b>TERB</b> terrazzo base
<b>ADUM</b> addendum	<b>DIA</b> double hung	<b>GLT</b> glass tile	<b>NSM</b> nominal	<b>TF</b> top of finish floor
<b>AFC</b> above finished counter	<b>DR</b> diameter	<b>GLU LAM</b> glued laminated wood	<b>NTS</b> not to scale	<b>TK BD</b> tackboard
<b>AFF</b> above finished floor	<b>DR FR</b> door frame	<b>GR</b> granite	<b>TO</b> top of	<b>TO</b> top of beam
<b>AFS</b> above finished slab	<b>DTL</b> detail	<b>GRAN</b> granite	<b>TOC</b> top of concrete	<b>TOI</b> top of joist
<b>ALT</b> alternate	<b>DW</b> dishwasher	<b>GT</b> grout	<b>TOC</b> top of concrete	<b>TOI</b> top of joist
<b>ALUM</b> aluminum	<b>DWG</b> drawing	<b>GW</b> glazed wall tile	<b>TOPO</b> topography	<b>TOS</b> top of slab
<b>APFD</b> approved		<b>GYP BD</b> gypsum board	<b>TOS</b> top of steel	<b>TV</b> television
<b>APT</b> apartment			<b>TV</b> television	<b>TYP</b> typical
<b>ASC</b> above suspended ceiling				
<b>B</b> baseboard	<b>E</b> east	<b>H</b> hose bibb	<b>U</b> unless noted otherwise	<b>V</b> vinyl composition tile
<b>BB</b> bulletin board	<b>EFS</b> exterior insulation & finish system	<b>HC</b> hollow core	<b>UON</b> unless otherwise note	<b>VFCI</b> vendor furnished, contractor installed
<b>BLDG</b> building	<b>EL</b> elevation	<b>HCP</b> handicapped		<b>VFI</b> vendor furnished, owner installed
<b>BL</b> blinds (window)	<b>ELEC</b> electric, electrical	<b>HM</b> hollow metal		<b>VFI</b> vendor furnished, owner installed
<b>BLT</b> borrowed light	<b>ELV</b> elevator	<b>HORIZ</b> horizontal		<b>VFI</b> vendor furnished, owner installed
<b>BLW</b> below	<b>EP</b> epoxy base	<b>HORZ</b> horizontal		
<b>BPL</b> base plate	<b>EPS</b> expanded polystyrene board	<b>HSKPG</b> housekeeping		
<b>BO</b> bottom of	<b>EQ</b> equal	<b>HT</b> height, ventilating & air conditioning		
<b>BOS</b> bottom of steel	<b>EQ</b> existing	<b>HVAC</b> heating, ventilating & air conditioning		
	<b>EXIST</b> existing	<b>HW</b> hot water		
	<b>EXP</b> expand, expansion	<b>HWF</b> hardwood floor		
	<b>EXT</b> exterior	<b>HWY</b> highway		
<b>C</b> catch basin	<b>F</b> female	<b>I</b> inside diameter	<b>Q</b> quarry tile	<b>W</b> west
<b>CB</b> construction bulletin	<b>F</b> filler	<b>INSUL</b> insulation	<b>QTB</b> quarry tile base	<b>W</b> with
<b>CFCI</b> contractor furnished, contractor installed	<b>FA</b> fire alarm	<b>INT</b> interior	<b>R</b> resilient base	<b>W/O</b> without
<b>CFIOI</b> contractor furnished, owner installed	<b>FAB</b> fabric	<b>R</b> interior	<b>RCP</b> reflected ceiling plan	<b>WC</b> well covering
<b>CFM</b> contractor furnished, vendor installed	<b>FAC</b> facsimile	<b>R</b> interior	<b>RD</b> roof drain	<b>WD</b> wood
<b>CG</b> corner guard	<b>FC</b> fire cabinet	<b>R</b> interior	<b>RF</b> room finish schedule	<b>WDB</b> wood base
<b>CH BD</b> cast-in-place	<b>FCD</b> fire hose cabinet	<b>R</b> interior	<b>RFS</b> room finish schedule	<b>WDV</b> wood veneer
<b>CJ</b> control joint	<b>FG</b> foot grille	<b>R</b> interior	<b>RO</b> rough opening	<b>WH</b> water heater
<b>CJ</b> construction joint	<b>FLR</b> floor	<b>R</b> interior		<b>WP</b> workpoint
<b>CL</b> centerline	<b>FM</b> fire extinguisher cabinet	<b>R</b> interior		
<b>CLG</b> ceiling	<b>FHC</b> fire hose cabinet	<b>R</b> interior		
<b>CLM</b> clear	<b>FG</b> foot grille	<b>R</b> interior		
<b>CM</b> construction management	<b>FLR</b> floor	<b>R</b> interior		
<b>CMU</b> concrete masonry unit	<b>FM</b> fire mutual	<b>R</b> interior		
<b>CO</b> cleanout	<b>FR</b> fire retardant	<b>R</b> interior		
<b>COL</b> column	<b>FRP</b> fireproof	<b>R</b> interior		
<b>CONC</b> concrete	<b>FT</b> fire retardant	<b>R</b> interior		
<b>CORR</b> corridor	<b>FTG</b> foaming	<b>R</b> interior		
<b>CONT</b> continuous	<b>FWP</b> fabric wrapped panel	<b>R</b> interior		
<b>CPT</b> carpet		<b>R</b> interior		
<b>CSWK</b> casework		<b>R</b> interior		
<b>CT</b> ceramic tile		<b>R</b> interior		
<b>CTB</b> ceramic tile base		<b>R</b> interior		

# SYMBOL LEGEND



# PROJECT ADDRESS

MAPLE GROVE DRIVE RESIDENTIAL  
MADISON, WISCONSIN

# OWNER INFORMATION

FIDUCIARY REAL ESTATE DEVELOPMENT, INC.  
789 NORTH WATER STREET - SUITE 200  
MILWAUKEE, WISCONSIN 53202  
CONTACT: MR. CRAIG RADDATZ  
CRADDATZ@FRED-INC.COM  
P 414.226.4535

# PROJECT TEAM

## ARCHITECTURAL

JLA ARCHITECTS & PLANNERS  
2418 CROSSROADS DRIVE - SUITE 2300  
MADISON, WISCONSIN 53718  
CONTACT: MR. MARC OTT  
MOTT@JLA-AP.COM  
OFFICE: 608.241.9500 DIRECT: 608.442.3867

## CIVIL ENGINEERING

D'ONOFRIO KOTTKE AND ASSOCIATES  
7530 WESTWARD WAY  
MADISON, WISCONSIN 53717  
CONTACT: MR. BRUCE HOLLAR  
BHOLLAR@DONOFRIO.CC  
608.833.7530

# SET ISSUE

REZONING SUBMITTAL  
JANUARY 9, 2019

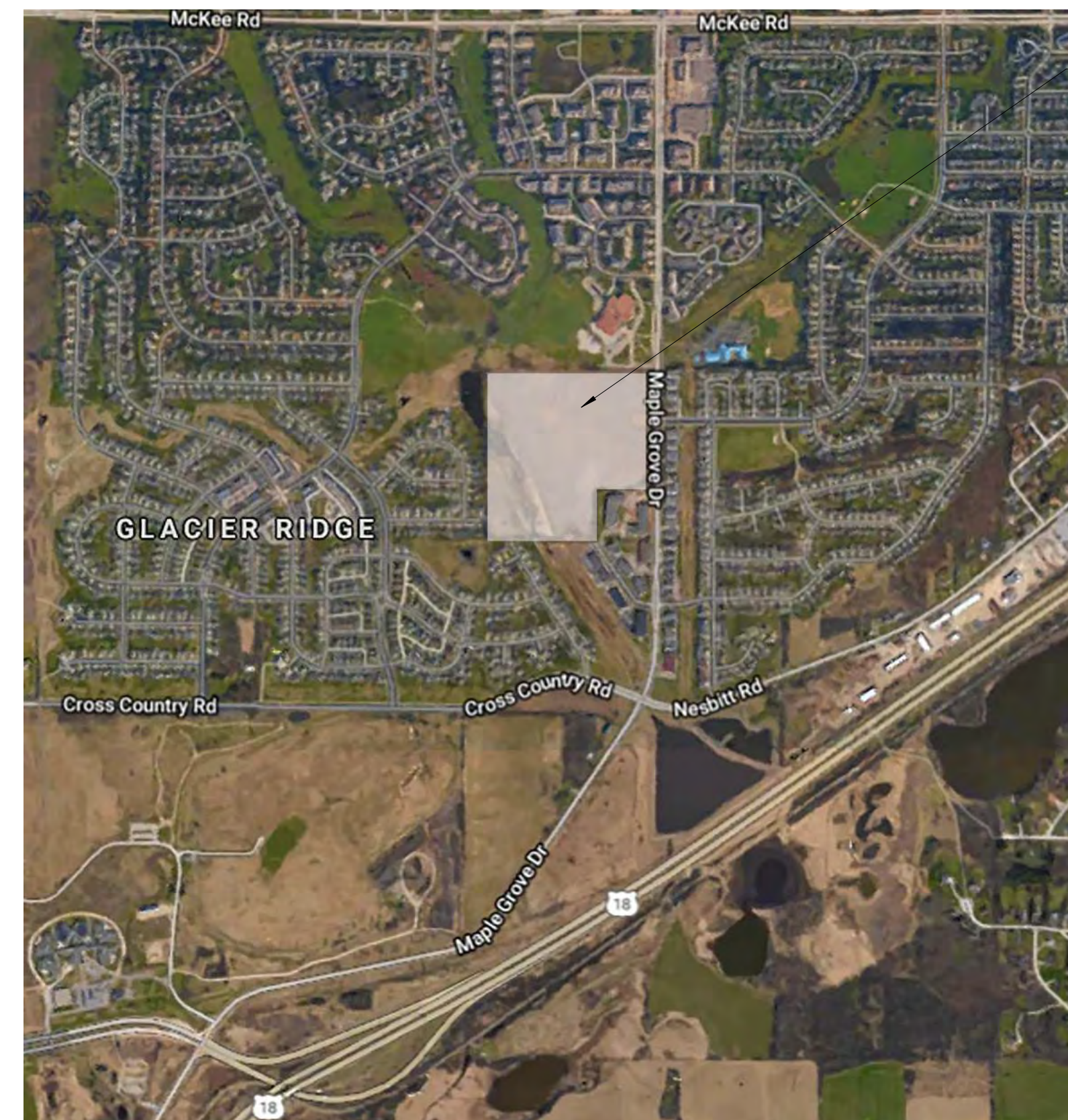
# SHEET INDEX

<b>GENERAL</b>	<b>COVER</b>
G000	INDEX
G001	
<b>CIVIL</b>	<b>EXISTING CONDITIONS SURVEY</b>
1 OF 1	PRELIMINARY PLAT
1 OF 1	

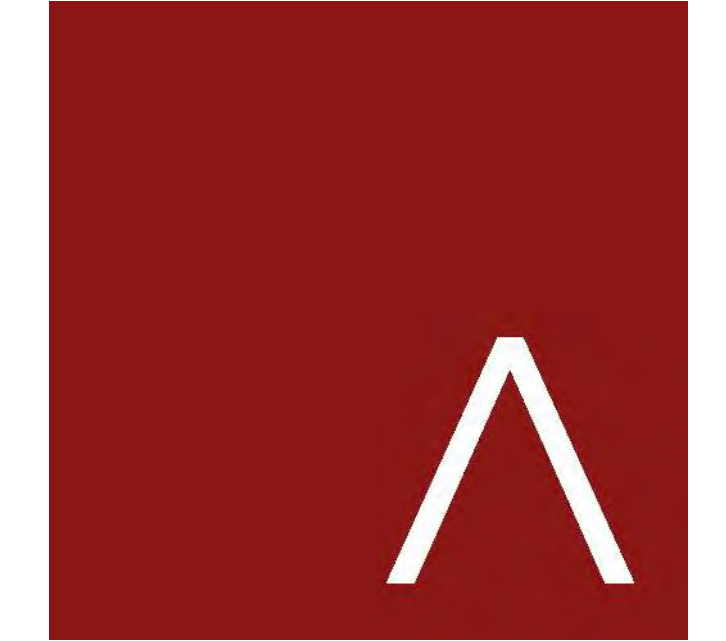
## ARCHITECTURAL

ASP-000	ZONING PLAN
ASP-100	ARCHITECTURAL SITE PLAN - OVERALL
ASP-101	ARCHITECTURAL SITE PLAN - LOT 1
ASP-102	ARCHITECTURAL SITE PLAN - LOTS 2 & 3
ASP-103	ARCHITECTURAL SITE PLAN - DATA

# VICINITY MAP



EXTENTS OF DEVELOPMENT



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 17-1018



MAPLE GROVE DRIVE  
RESIDENTIAL

REZONING SUBMITTAL

## PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE JANUARY 9, 2019

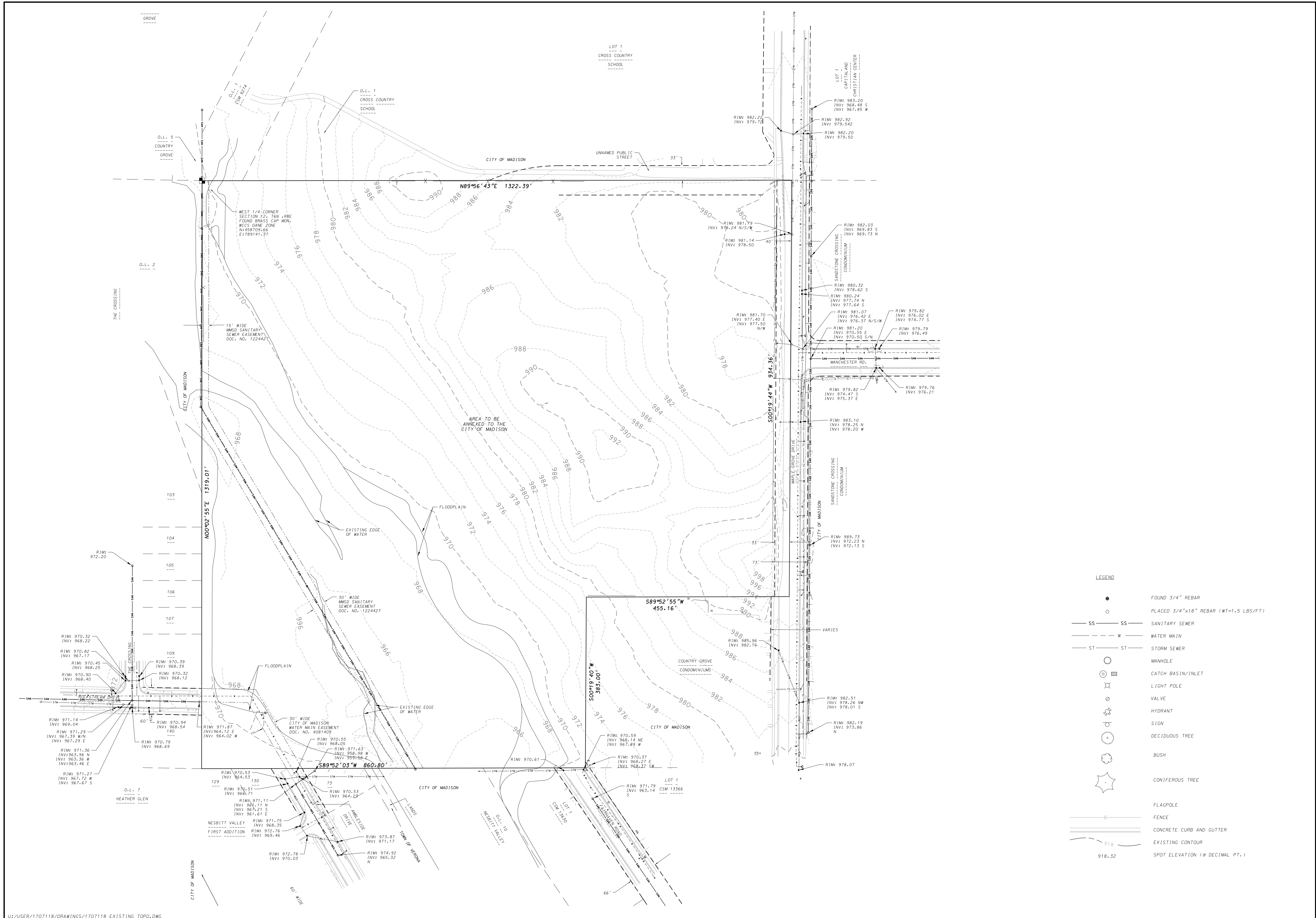
REVISION SCHEDULE		
MARK	DESCRIPTION	DATE

SHEET TITLE

INDEX SHEET

SHEET NUMBER

G001



**D'ONFRIO KOTTKE AND ASSOCIATES, INC.**  
 7530 Westward Way, Madison, WI 53717  
 Phone: 608.833.7530 • Fax: 608.833.1089  
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

EXISTING CONDITIONS SURVEY  
**MAPLE GROVE DRIVE**  
 CITY OF MADISON, DANE COUNTY, WISCONSIN

- LEGEND**
- FOUND 3/4" REBAR
  - PLACED 3/4"x18" REBAR (WT=1.5 LBS/FT)
  - SS SS SANITARY SEWER
  - W W WATER MAIN
  - ST ST STORM SEWER
  - MANHOLE
  - CATCH BASIN/INLET
  - LIGHT POLE
  - VALVE
  - HYDRANT
  - SIGN
  - DECIDUOUS TREE
  - BUSH
  - CONIFEROUS TREE
  - FLAGPOLE
  - FENCE
  - CONCRETE CURB AND GUTTER
  - EXISTING CONTOUR
  - SPOT ELEVATION (@ DECIMAL PT.)

SCALE: 1" = 100'

DATE: 12-04-17  
 REVISED:

FN: 17-07-118  
 Sheet Number:  
 1 of 1

LEGEND	
●	FOUND 3/4" REBAR
○	PLACED 3/4"x18" REBAR (WT=1.5 LBS/FT)
— SAN —	SANITARY SEWER
— W —	WATER MAIN
— STM —	STORM SEWER
— TV —	TELECOMMUNICATION
○	MANHOLE
○	DECIDUOUS TREE
○	CONIFEROUS TREE
○	CATCH BASIN/INLET
○	LIGHT POLE
○	VALVE
○	HYDRANT
○	SIGN
— X —	FENCE
—	CONCRETE CURB AND GUTTER
— 918 —	EXISTING CONTOUR

**SURVEYOR'S CERTIFICATE**

I, Brett T. Stoffregan, Professional Land Surveyor S-2742, hereby certify that this preliminary plat is a true representation of all the adjacent existing land divisions and of the boundary of the preliminary plat and features and that I have fully complied with the City of Madison Subdivision Ordinance.

Dated this 14th day of January, 2019.

*Brett T. Stoffregan*  
Brett T. Stoffregan, Professional Land Surveyor S-2742

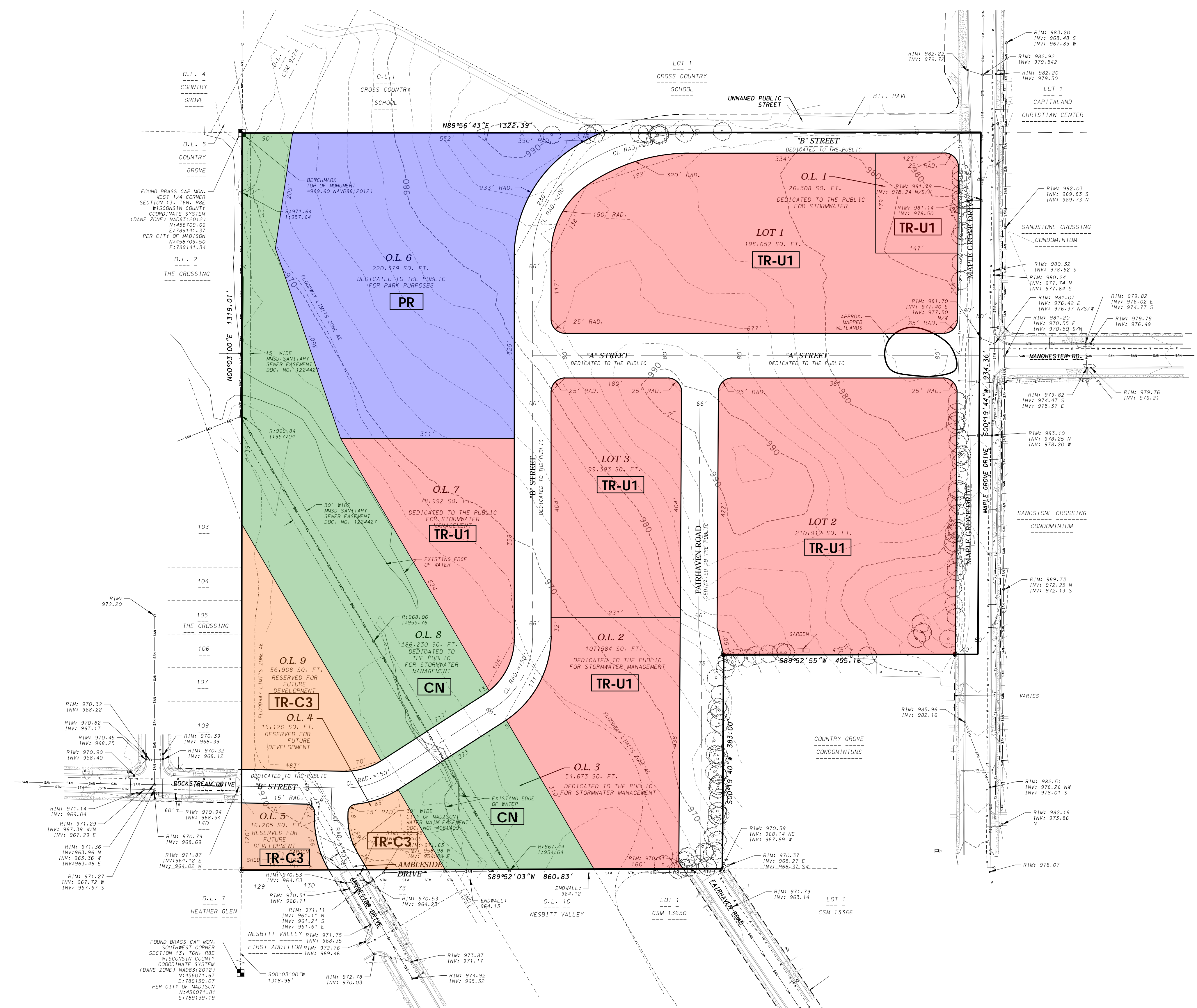


**NOTES**

- Existing Zoning: A  
Proposed Zoning: Lots 1, 2, 3, Outlots 1, 2 and 7 - TR-U1  
Outlot 6 - PR  
Outlots 3 and 8 - CN  
Outlots 4, 5 and 9 - TR-C3
- Outlot designation:  
1 - Dedicated to the Public for Stormwater Management and Drainage purposes.  
2 - Dedicated to the Public for Stormwater Management and Drainage purposes.  
3 - Dedicated to the Public for Stormwater Management and Drainage purposes.  
4 - Reserved for future development  
5 - Reserved for future development  
6 - Dedicated to the Public for Park purposes.  
7 - Dedicated to the Public for Stormwater Management and Drainage purposes.  
8 - Dedicated to the Public for Stormwater Management and Drainage purposes.  
9 - Reserved for future development
- Subdivider:  
Fiduciary Real Estate Development, Inc.  
789 N. Water Street, Suite 200  
Milwaukee, WI 53202

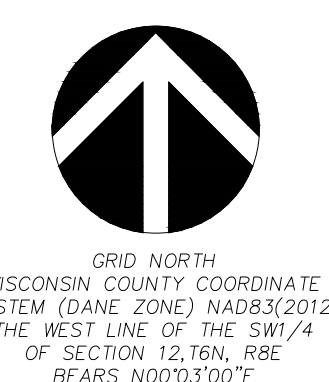
**LEGAL DESCRIPTION**

A parcel of land located in the NW1/4 of the SW1/4 of Section 12, T6N, R8E, City of Madison, Dane County, Wisconsin to-wit:  
Beginning at the West 1/4 corner of said Section 12; thence N89°56'43"E, 1322.39 feet along the South line of Outlot 1, Certified Survey Map No. 2274, Outlot 1, Cross Country School and an unnamed public street to the Northeast corner of said NW1/4 of the SW1/4; thence S00°19'44"W, 934.36 feet along the East line of said NW1/4 of the SW1/4; thence S89°52'55"W, 455.16 feet along the North line of Country Grove Condominiums and the Easterly extension thereof, to the Northwest corner of said Country Grove Condominiums; thence S00°19'40"W, 383.00 feet along the West line of said Country Grove Condominiums and the Southerly extension thereof, to point on the North right-of-way line of Fairhaven Road; thence S89°52'03"W, 860.83 feet along said North right-of-way line and the North lines of Lot 1, Certified Survey Map No. 13630, Outlot 10, Nesbitt Valley, Lands, Lots 73, 129 and 130, Nesbitt Valley First Addition and the Northerly right-of-way line of Ambleside Drive to the Northeast corner of said Lot 129, also being the Northeast corner of Outlot 7, Heather Glen and the Southeast corner of Lot 140. The Crossing; thence N00°03'00"E, 1319.01 feet along East lines of Outlot 2, Lots 103 through 109 and Lot 140. The Crossing and the East right-of-way line of Rockstream Drive to the point of beginning, containing 1,564,536 square feet (35.917 acres)



**D'ONOFRIO KOTKE AND ASSOCIATES, INC.**  
7530 Westward Way, Madison, WI 53717  
Phone: 608.883.7530 • Fax: 608.883.1089  
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

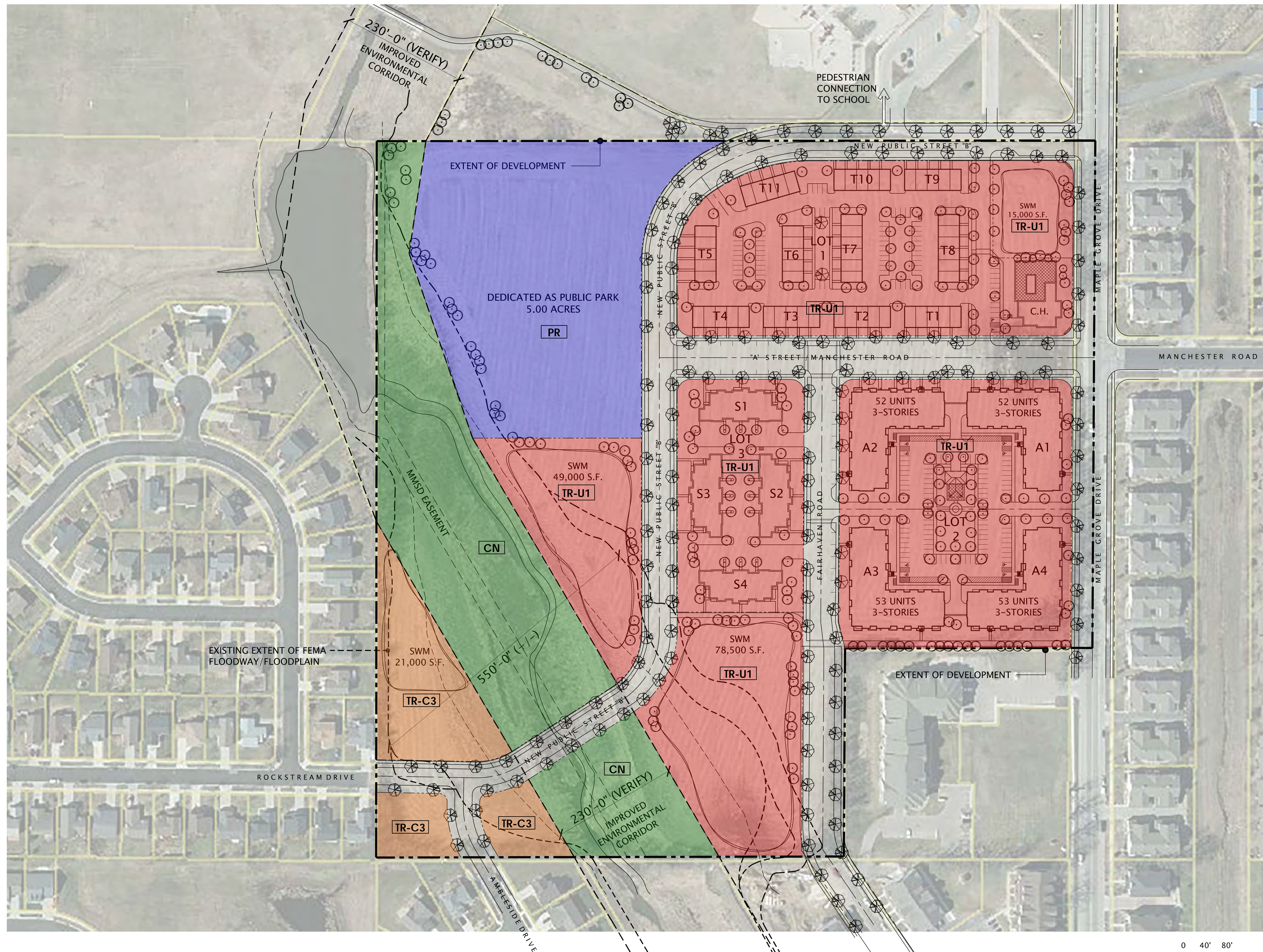
PRELIMINARY PLAT  
**FRED - MAPLE GROVE DRIVE**  
LOCATED IN THE NW1/4 OF THE SW1/4 OF SECTION 12, T6N, R8E  
CITY OF MADISON, DANE COUNTY, WISCONSIN



SCALE: 1" = 100'

DATE: 01-14-19  
REVISED:  
X

FN: 17-07-118  
Sheet Number:  
1 of 1



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 17-1018



**MAPLE GROVE DRIVE  
RESIDENTIAL**

REZONING SUBMITTAL

**PROGRESS DOCUMENTS**

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DATE OF ISSUANCE: JANUARY 14, 2019

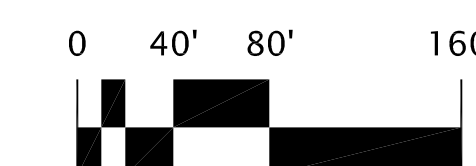
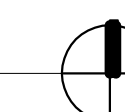
REVISION SCHEDULE		
Mark	Description	Date

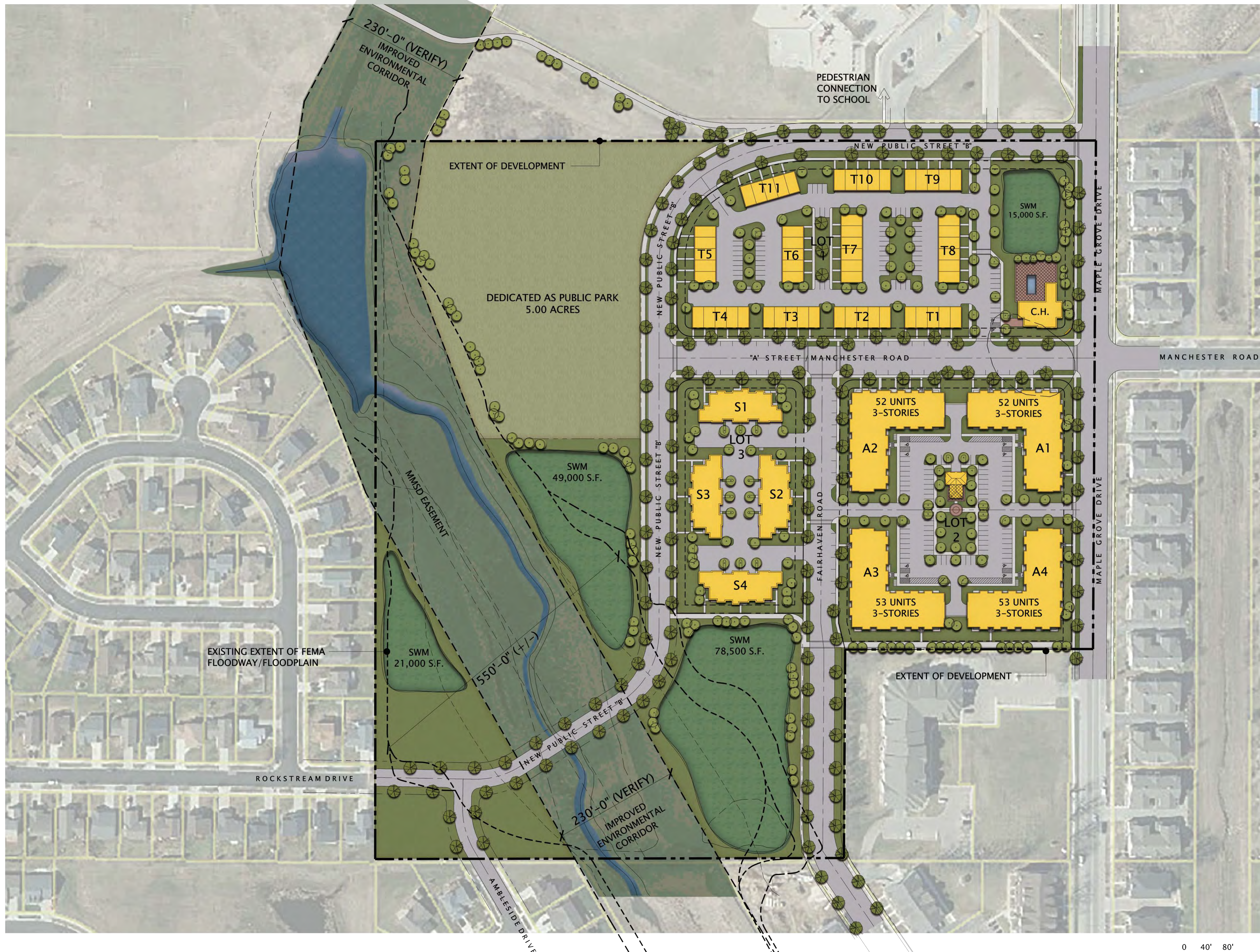
SHEET TITLE

ZONING PLAN

SHEET NUMBER

ASP-000





**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 17-1018



**MAPLE GROVE DRIVE  
RESIDENTIAL**

REZONING SUBMITTAL

**PROGRESS DOCUMENTS**

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DATE OF ISSUANCE JANUARY 9, 2019

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE  
**ARCHITECTURAL SITE  
PLAN - OVERALL**

SHEET NUMBER  
**ASP-100**

