

901 E Washington Hotel

901 Hospitality, LLC
 901 E Washington Ave
 Madison, WI
 2016.36.01

October 04, 2017 Urban Design Submittal

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Architect:
 749 University Row Suite
 300
 608-274-2741/3705

PRELIMINARY
 NOT FOR CONSTRUCTION

901 E Washington Hotel
 901 Hospitality, LLC
 901 E Washington Ave
 Madison, WI

2016.36.01

Date	Issuance/Revisions	By/Rev
10/04/17	Urban Design Submittal	

Cover Drawing

CD01



Site Plan



View from East



Demolition Site Plan



View from North

G001 - Site Context Images
901 E. Washington Ave. - 2016.36.01
July 19, 2017



To be Demolished - 939 East Washington Ave.



To be Demolished - 925 East Washington Ave.



To be Demolished - 905 East Washington Ave.



To be Renovated - Kleuter Building at 901 East Washington Ave.



To be Renovated - Kleuter Building at 901 East Washington Ave.



To be Demolished - 910 East Main Street, View from South Paterson Street



To be Demolished - 910 East Main Street

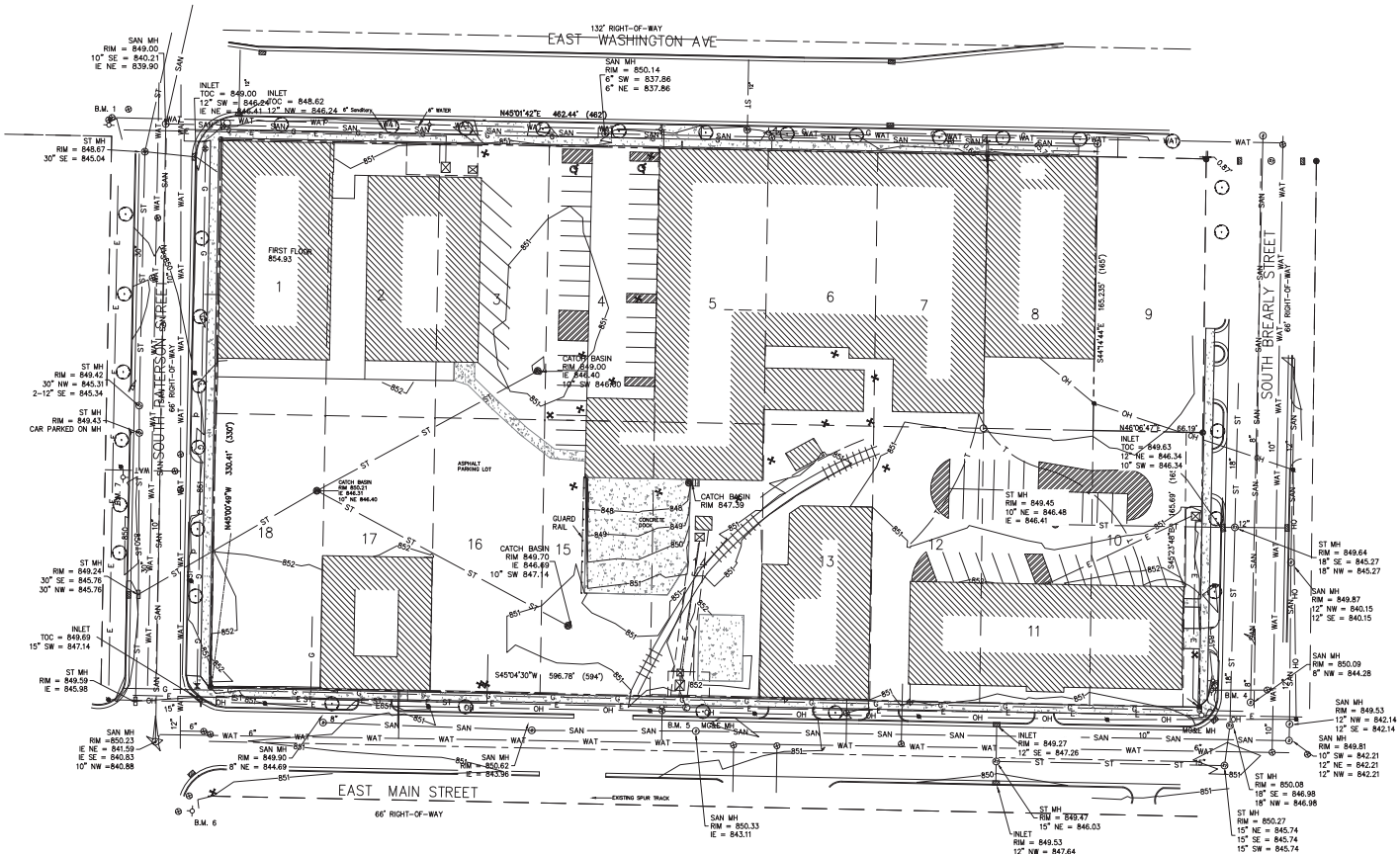


To be Demolished - 925 East Washington Ave. View from East Main Street



To be Demolished - 922, 924 East Main Street

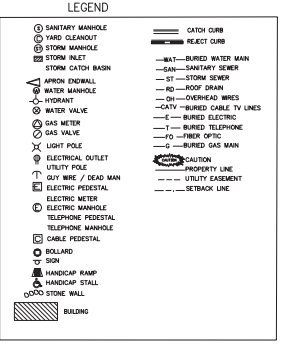
Notes:



901 E Washington
Hotel

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Madison, Wisconsin

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DESCRIPTION:
PARCELS A, LOT 13, BLOCK 158, ORIGINAL PLAT OF THE CITY OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN TOGETHER WITH A NON-EXCLUSIVE EASEMENT FOR RAILROAD SPUR TRACK AS SET FORTH IN VOLUME 295 OF DEEDS, PAGE 287, AS DOCUMENT NO. 42863, AND EXCEPT GRANT TO WHITE PANT AND GLASS COMPANY AS SET FORTH IN VOLUME 83 OF MSC, PAGE 337, AS DOCUMENT NO. 44073, PARCELS B, LOTS 1 THROUGH 6 INCLUSIVE, LOTS 10 THROUGH 12 INCLUSIVE, AND LOTS 14 THROUGH 18 INCLUSIVE, BLOCK 158, ORIGINAL PLAT OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE C. AREAS OF MANUAL FLOODING AS INDICATED ON FLOOD INSURANCE RATE MAP - CITY OF MADISON, DANE COUNTY, WISCONSIN, PANEL 10 OF 30, COMMUNITY-PANEL NO. 300083 0010 D - MAP REVISED SEPTEMBER 18, 1986.

the locations of existing utilities installations as shown on this drawing were obtained from the records of municipality and local utility records. The accuracy of these records cannot be guaranteed or certified to. There may be other underground utility installations within the project area that are not shown.

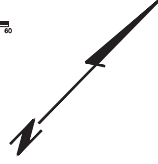
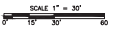
NOTES:
ALL BEARINGS ARE REFERENCED TO THE NORTHWESTERLY LINE OF BLOCK 158, N45°01'42"E ASSUMED.

GAS AND ELECTRIC INFORMATION IS FROM MADISON GAS AND ELECTRIC COMPANY. SANITARY SEWER, WATER AND STORM SEWER INFORMATION IS FROM CITY OF MADISON ENGINEERING DIVISION.

ZONING DISTRICT IS TRADITIONAL EMPLOYMENT.

ALL BENCH MARKS ARE TOP OF HYDRANT AND ARE CITY OF MADISON DATUM

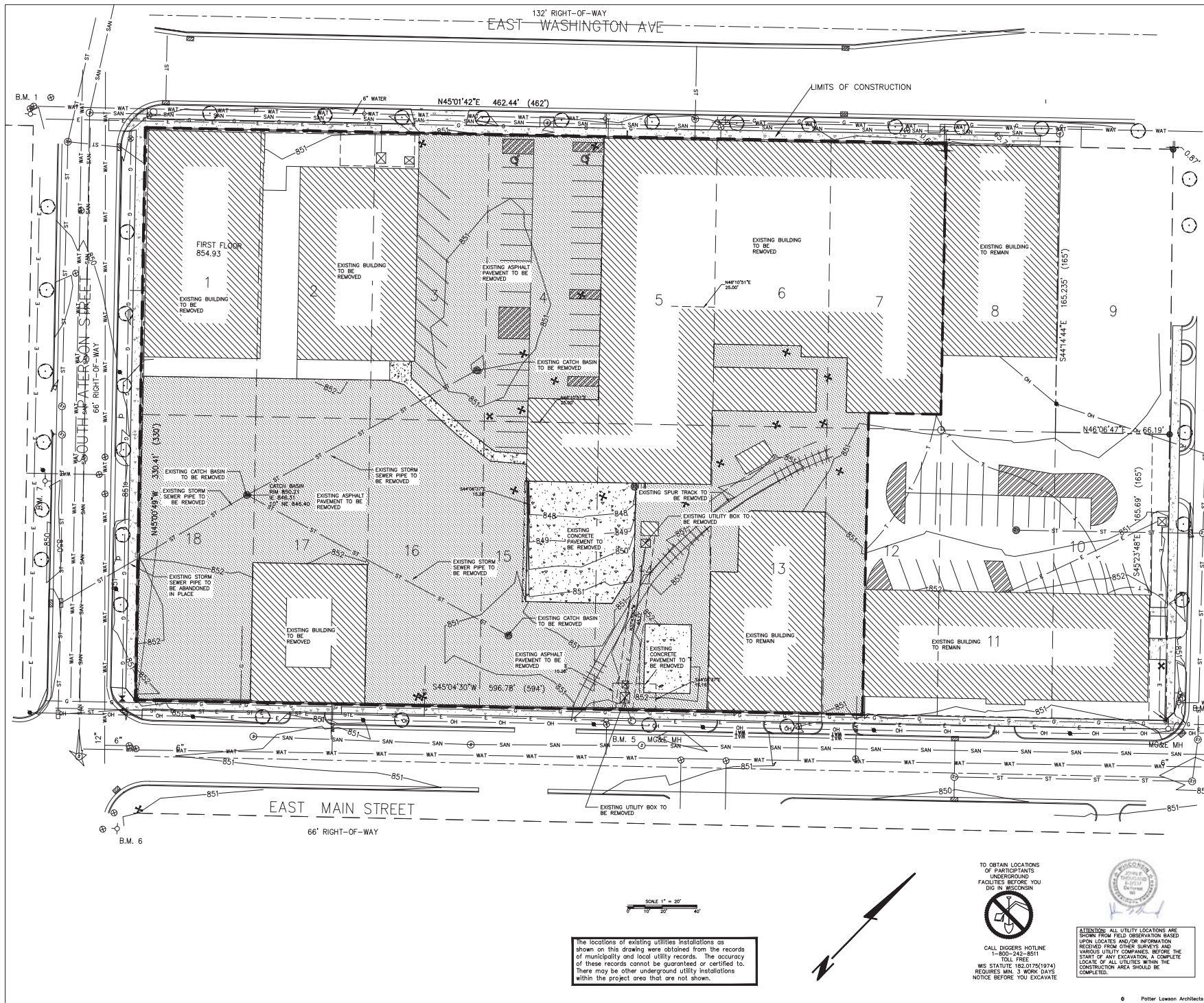
BENCH MARKS
B.M. 1 = HYDRANT AT THE SOUTHERLY CORNER OF EAST WASHINGTON AVE. AND PATERSON STREET
B.M. 2 = 863.39 HYDRANT MID-BLOCK ON EAST WASHINGTON AVE.
B.M. 4 = 852.82 HYDRANT AT THE WESTERLY CORNER OF BREARLY STREET AND MAIN STREET
B.M. 5 = 854.12 MID-BLOCK ON EAST MAIN STREET
B.M. 6 = 852.74 EASTERLY CORNER OF MAIN STREET AND PATERSON STREET
B.M. 7 = 852.21 MID-BLOCK ON SOUTH PATERSON STREET



TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL-FREE
WS STATUTE 182.075(1974)
REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

ATTENTION: ALL UTILITY LOCATIONS ARE SHOWN FROM FIELD OBSERVATION BASED UPON LOCATED AND/OR INFORMATION RECEIVED FROM OTHER SURVEYS AND VARIOUS UTILITY COMPANIES. BEFORE THE START OF ANY EXCAVATION, A COMPLETE LOCATE OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA SHOULD BE COMPLETED.




Note: _____


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10/4/17	Urban Design Submittal	

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SITE DEMOLITION PLAN

Notes: _____

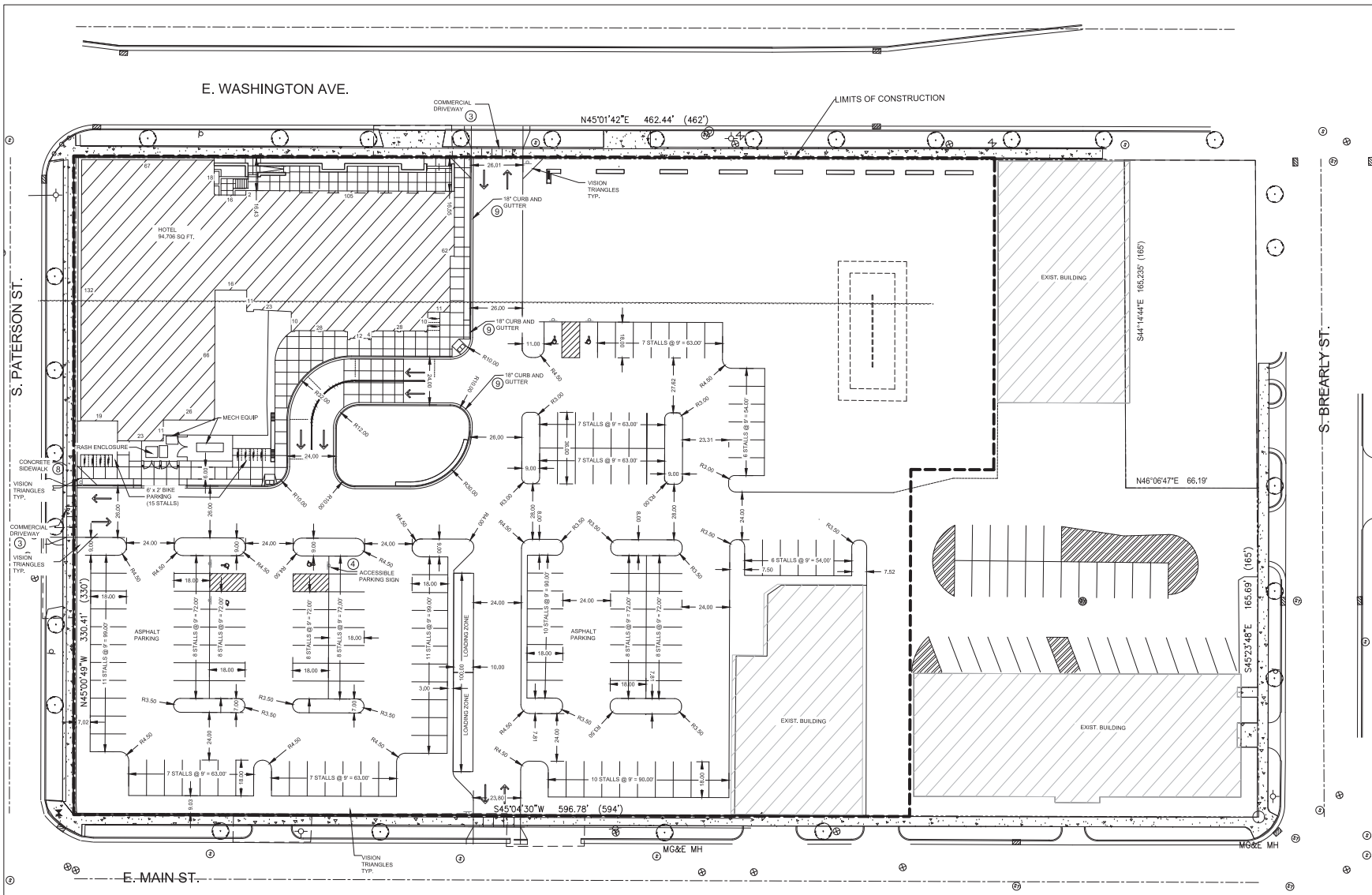
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SITE LAYOUT PLAN



GENERAL

1. THE LOCATION OF ALL STRUCTURES, OBSTACLES, AND EXISTING FACILITIES SHALL NOT BE TAKEN AS CONCLUSIVE. IT SHALL BE ASSUMED THAT THE CONTRACTOR HAS VERIFIED SAID LOCATIONS AS A CONDITION OF HIS BID AND THEREFORE THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES RESULTING FROM HIS ACTIVITIES.
2. ALL ELEVATIONS ARE REFERENCED TO THE LOCAL DATUM AND BASED ON A SURVEY PERFORMED BY WERSCHEP AND ASSOCIATES ON NOVEMBER 8, 2017.
3. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO CARRY OUT THEIR WORK.
4. ALL UTILITY LOCATIONS NECESSARY FOR THE CONTRACTOR TO DETERMINE LOCATION AND/OR GRADES FOR ANY SECTION OF THE WORK HEREIN DESCRIBED SHALL BE BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
5. THE CONTRACTOR SHALL SUBMIT FOR APPROVAL, BY THE OWNER A LIST OF ALL MATERIALS PROPOSED TO BE USED PRIOR TO ORDERING OR DELIVERY.
6. MATERIAL TESTS CONDUCTED BY AN INDEPENDENT TESTING LAB MAY BE ORDERED BY THE ENGINEER OR OWNER, IF SUCH TESTING IS ORDERED, THE CONTRACTOR SHALL FURNISH THE SAMPLES AND THE COST OF TESTING SHALL BE PAID BY THE OWNER. RETESTING OF ANY FAILING TESTS SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE.
7. ALL CONTRACTORS SHALL HAVE A COMPETENT FOREMAN, SUPERINTENDENT, OR OTHER REPRESENTATIVE AT THE SITE AT ALL TIMES WHO HAS AUTHORITY TO ACT FOR THE CONTRACTOR.
8. A PRE CONFERENCE MAY BE HELD PRIOR TO CONSTRUCTION START UP.
9. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATELY BARRICADING AREAS OF CONSTRUCTION AS MAY BE REQUIRED TO PROTECT AGAINST PERSONAL INJURY AS WELL AS WAIVE TRAFFIC OF THE CONSTRUCTION SITE WHERE NECESSARY. SIGNING SHALL BE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION MANUAL OF TRAFFIC CONTROL DEVICES. ALL OTHER SIGNS MUST BE PRE-APPROVED BY OWNER.
10. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING.
11. ALL ROAD AND PAVING CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION - EDITION OF 2009, HEREIN REFERRED TO AS THE STANDARD SPECIFICATIONS, EXCEPT AS MODIFIED HEREIN.
12. WHERE SPECIFIC PORTIONS OF THESE SPECIFICATIONS ARE IN CONFLICT WITH THE STANDARD SPECIFICATIONS, THESE SPECIFICATIONS SHALL GOVERN.
13. THERE ARE NO FRONT OR SIDE YARD SETBACKS.

Land Use Summary Table

Site Area	Lot 4.27 Ac / Disturbed 1.07Ac
Total Building Sq. Ft.	94,705 G.S.F.
Building Footprint Sq. Ft.	35,988 Sq. Ft.
Number and Size of Units	See Notes
Unit Type	Hotel Rooms
Lot Coverage	72%
Usable Open Space	53,534 Sq. Ft.
Landscaping Area	4,747 Sq. Ft.
Proposed Area	80,460 Sq. Ft.

Parking Lot Site Plan

Site Address	901 East Washington Ave.
Site Address	Lot 4.27 Ac / Disturbed 1.07Ac
Number of Stories Above Grade	5 Ex. Bldg.
Building Height	Approximately 101'
CDTR Type of Construction	Addition Type 2B
Total Square Footage of Building	94,705 G.S.F.
Use of Property	Hotel
Ground Surface Level of Office	N/A
Gross Square Feet of Retail Area	N/A
Number of Employees in Warehouse	N/A
Number of Employees in Production Area	N/A
Capacity of Restaurant/Place of Assembly	100 People
Number of Bicycle Stalls Shown	15
Number of Parking Stalls Shown	238
Small Car	0
Large Car	133
Truck	3
Accessible	138
Vanpool	0
Number of Trees Shown	57

- CURB, GRADE, BEAM CURB, SEWERWALK AND MISCELLANEOUS**
1. WHERE INDICATED ON THE PLANS INSTALL CONCRETE SIDEWALK IN ACCORDANCE WITH SECTION 601 OF THE STANDARD SPECIFICATIONS.
 2. CONCRETE CURBS SHALL BE INSTALLED WHERE INDICATED ON THE PLANS. INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 601 OF THE STANDARD SPECIFICATIONS. DIMENSIONS SHALL BE AS SHOWN ON THE DETAIL SHEET.
 3. ALL SURPLUS EXCAVATED MATERIAL SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR FOR ITS TEMPORARY LOCATION.
 4. ALL INTRUSERS SHALL HAVE THE EXISTING VERTICAL FACE SAWED AND REMOVED OR THE ENTIRE CURB AND GUTTER LENGTH REMOVED AND REPLACED WITH CONCRETE GUTTER SECTION.

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

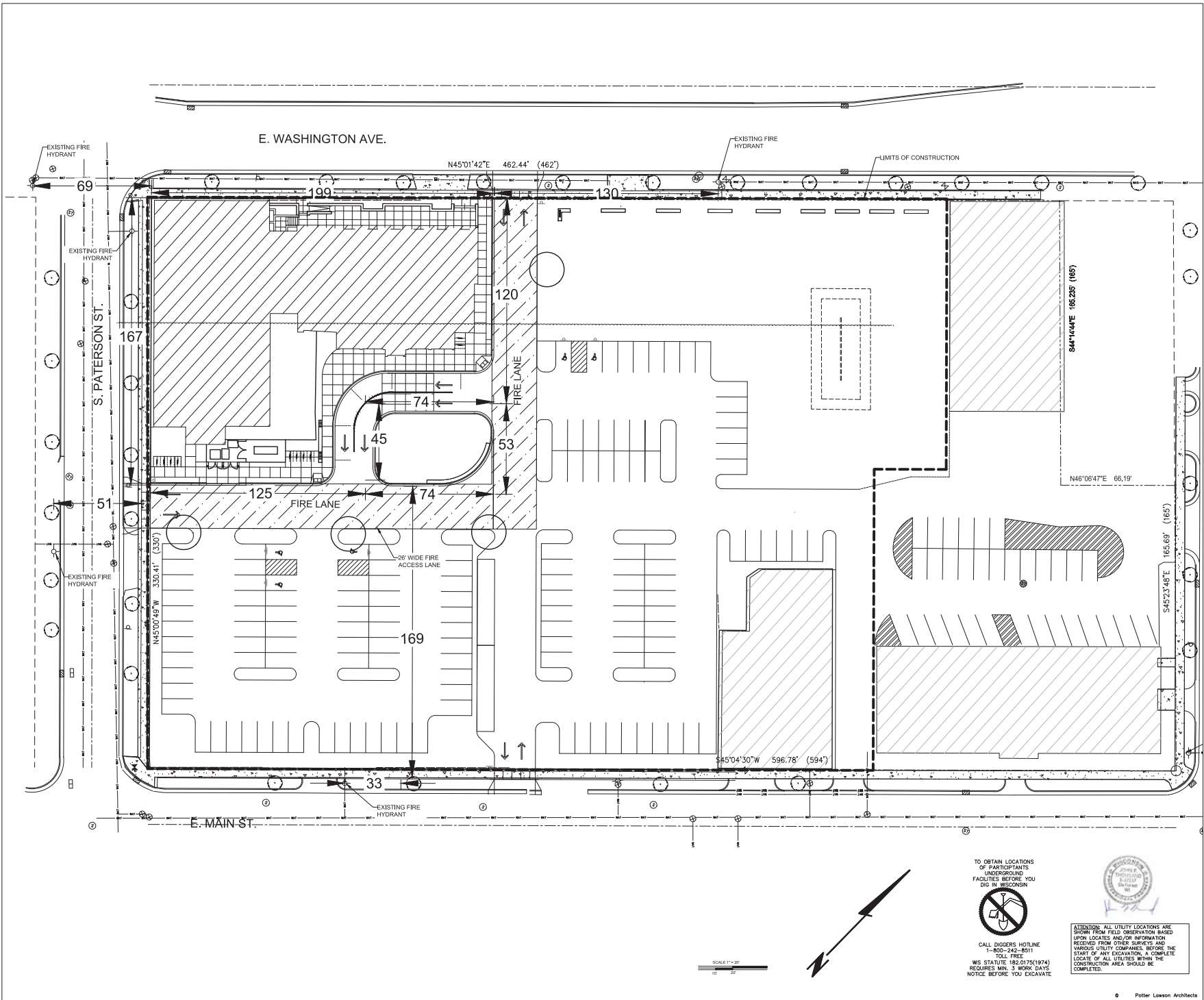


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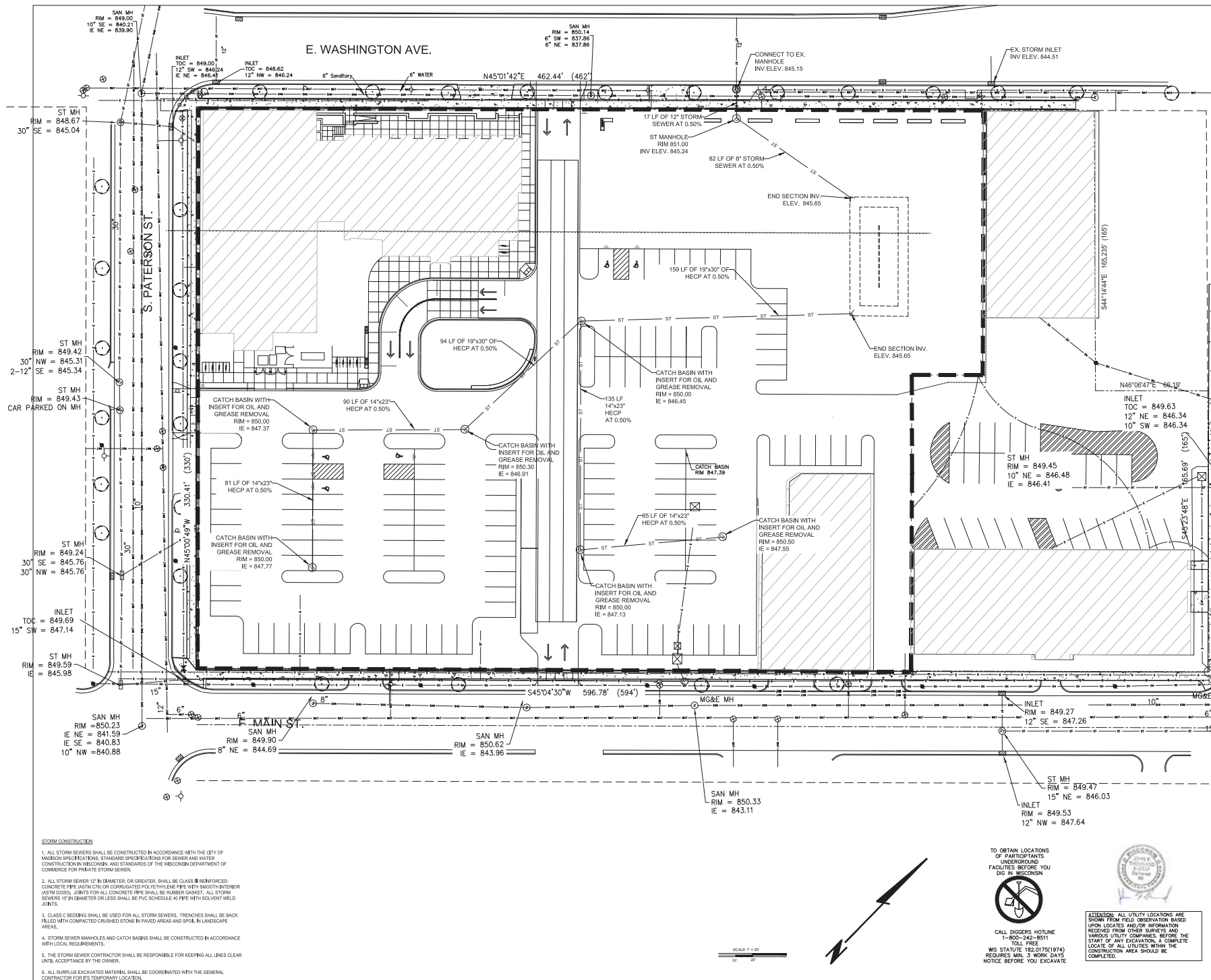
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Site Fire Protection Plan



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- STORM CONSTRUCTION**
1. ALL STORM SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MADISON SPECIFIC TRENCH, STANDARD SPECIFICATIONS FOR SEWERS AND WATER CONSTRUCTION IN WISCONSIN, AND STANDARDS OF THE WISCONSIN DEPARTMENT OF COMMERCE FOR PRIVATE STORM SEWER.
 2. ALL STORM SEWER 12" IN DIAMETER, OR GREATER, SHALL BE CLASS II REINFORCED CONCRETE PIPE (ASTM C754) OR CORRUGATED POLYETHYLENE PIPE WITH SMOOTH INTERIOR (ASTM D3330). JOINTS FOR ALL CONCRETE PIPE SHALL BE RUBBER GASKET. ALL STORM SEWERS 18" IN DIAMETER OR LESS SHALL BE PVC SCHEDULE 40 PIPE WITH SOLVENT WELD JOINTS.
 3. CLASS C BEDDING SHALL BE USED FOR ALL STORM SEWERS. TRENCHES SHALL BE BACK FILLED WITH COMPACTED CRUSHED STONE IN PAVED AREAS AND SOIL IN LANDSCAPE AREAS.
 4. STORM SEWER MANHOLES AND CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL REQUIREMENTS.
 5. THE STORM SEWER CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ALL LINES CLEAR UNTIL ACCEPTANCE BY THE OWNER.
 6. ALL SURPLUS EXCAVATED MATERIAL SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR FOR ITS TEMPORARY LOCATION.

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

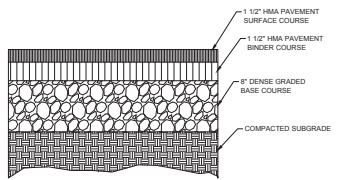


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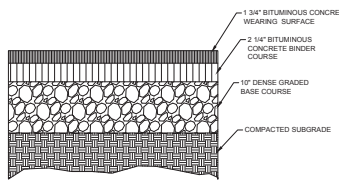
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Site Utility Plan



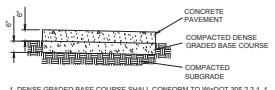
- NOTES**
- HMA PAVEMENT WIDTH SUPERPAVE TYPE E-0.3 MIX DESIGN WITH A MAXIMUM NOMINAL AGGREGATE SIZE OF 9.5MM COMPACTED TO 92% OF THE MAXIMUM SPECIFIC GRAVITY AS DETERMINED BY ASTM D2924.
 - DENSE GRADED BASE COURSE SHALL CONFORM TO WADOT STANDARD SPECIFICATIONS 305.2.2.1, 1 1/4-INCH MAXIMUM DIAMETER SPECIFICATION.
 - BASE COURSE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM 1557).

1 HMA PAVEMENT - PARKING AND DRIVE AREAS
NTS



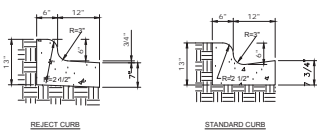
- NOTES**
- HMA PAVEMENT WIDTH SUPERPAVE TYPE S-1 MIX DESIGN WITH A MAXIMUM NOMINAL AGGREGATE SIZE OF 12.5MM COMPACTED TO 92% OF THE MAXIMUM SPECIFIC GRAVITY AS DETERMINED BY ASTM D2924.
 - DENSE GRADED BASE COURSE SHALL CONFORM TO WADOT STANDARD SPECIFICATIONS 305.2.2.1, 1 1/4-INCH MAXIMUM DIAMETER SPECIFICATION.
 - BASE COURSE MATERIAL SHALL BE PLACED IN INDIVIDUAL 7' LIFTS COMPACTED TO A MINIMUM 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM 1557).

2 HMA PAVEMENT - HEAVY DUTY DRIVE AREAS
NTS



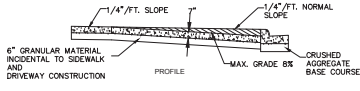
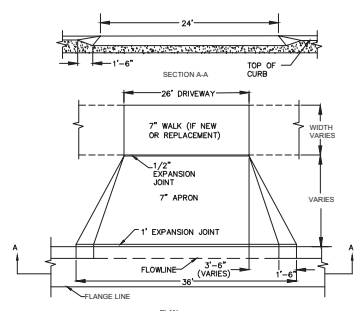
- DENSE GRADED BASE COURSE SHALL CONFORM TO WADOT 305.2.2.1, 1 1/4-INCH MAXIMUM DIAMETER SPECIFICATION.
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7 CONCRETE PAVEMENT
NTS

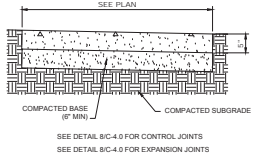


- GENERAL NOTES**
- LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.
 - EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS OF 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.
 - IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

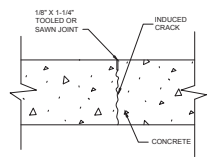
9 18" CURB AND GUTTER
NTS



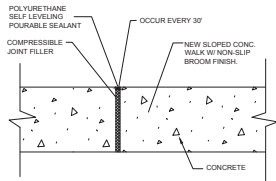
3 COMMERCIAL DRIVEWAY
NTS



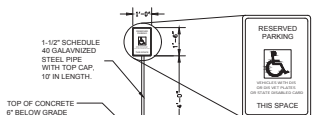
8 CONCRETE SIDEWALK
NTS



10 CONTROL JOINT
NTS

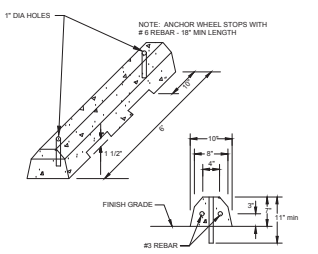


13 EXPANSION JOINT
NTS

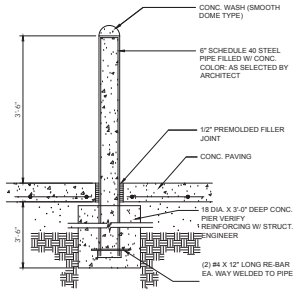


- NOTES**
- SIGNS TO BE BOLTED THROUGH PIPE.
 - SEE DETAILS BOUND TO SPECIFICATIONS FOR SIGN SPECIFICATIONS.
 - PLACE HANDICAP SIGNS 2' BEYOND THE EDGE OF THE HMA PAVEMENT CENTERED ON THE HANDICAP DESIGNATED PARKING DETAILS.

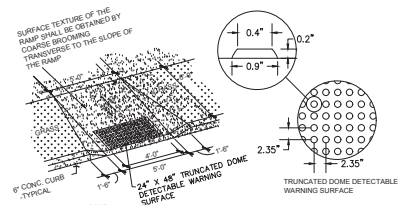
4 ACCESSIBLE PARKING SIGN
NTS



5 CONCRETE WHEEL STOP
NTS



11 BOLLARD
NTS



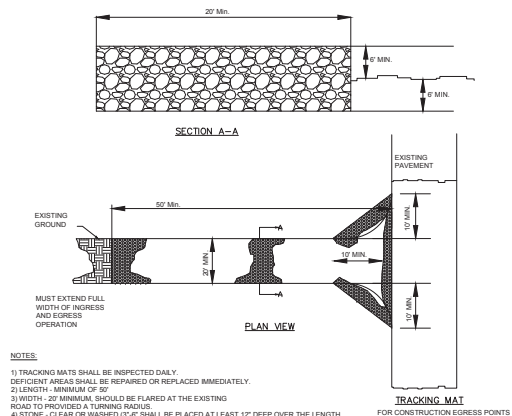
- NOTES**
- DETECTABLE WARNING SURFACE SHALL BE STAMPED INTO THE CONCRETE OR ARMOR-TILE MODEL ADA-C248RW MAY BE CAST IN PLACE RAMP AT THE TIME OF CONSTRUCTION. ARMOR-TILE MODEL ADA-S248RW MAY BE USED AFTER THE RAMP IS POURED.
 - DETECTABLE WARNING SURFACE SHALL BE PAINTED YELLOW.
 - ALTERNATE METHODS OF CREATING THE DETECTABLE WARNING SURFACE MUST BE APPROVED BY THE ENGINEER.
 - SURFACE TEXTURE OF THE RAMP SHALL BE OBTAINED BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP.

14 CURB RAMP
NTS

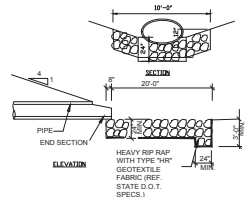
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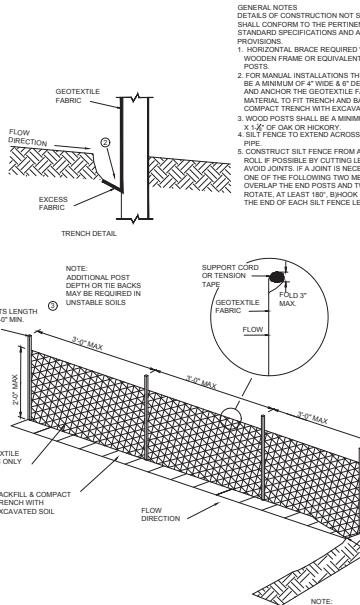
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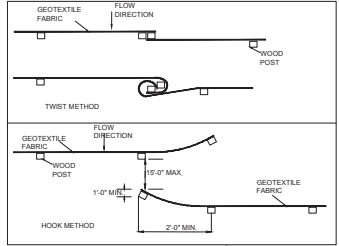
NOTES:
 1) TRACKING MATS SHALL BE INSPECTED DAILY. DEFICIENT AREAS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
 2) LENGTH - MINIMUM OF 50'
 3) WIDTH - 20' MINIMUM. SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDED A TURNING RADIUS.
 4) STONE - CLEAR OR WASHED 3/4" SHALL BE PLACED AT LEAST 12" DEEP OVER THE LENGTH AND WIDTH OF ENTRANCE.
 5) SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BEAM WITH 6:1 SLOPES AND MINIMUM OF 6" OF STONE OVER THE PIPE TO BE SIZED ACCORDING TO THE DRAINAGE. WHEN THE PIPE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE WILL NOT BE NECESSARY. PIPE SHOULD BE SIZED ACCORDING TO THE AMOUNT OF RUNOFF TO BE CONVEYED. A 4" MINIMUM WILL BE REQUIRED.
 6) LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE STABILIZED CONSTRUCTION ENTRANCE.



1 STABILIZED CONST. ENTRANCE
NTS



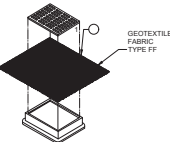
GENERAL NOTES:
 DETAILS OF CONSTRUCTION NOT SHOWN SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.
 1. HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
 2. FOR MANUAL INSTALLATIONS THE TRENCH SHALL BE A MINIMUM OF 4" WIDE & 8" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
 3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/2" X 1 1/2" OF OAK OR HICKORY.
 4. SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
 5. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180° BEHIND THE END OF EACH SILT FENCE LENGTH.



2 SILT FENCE
NTS

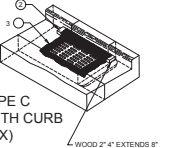
GENERAL NOTES:
 CONCRETE CULVERT ENDWALLS MAY NOT BE USED WITH GALVANIZED STEEL OR ALUMINUM CULVERT PIPE OR VISE VERSA. GALVANIZED STEEL OR ALUMINUM ENDWALLS SHALL NORMALLY BE INSTALLED ON CULVERT PIPE OF THE SAME METAL.
 WHERE TWO OR MORE PIPES WITH APRON ENDWALLS ARE LAID ADJACENT TO EACH OTHER, THEY SHALL BE SEPARATED BY A DISTANCE SUFFICIENT TO PROVIDE A MINIMUM CLEARANCE OF 6" BETWEEN APRON ENDWALLS.

4 RIPRAP OUTFALL
NTS

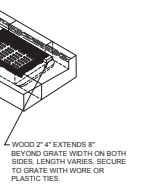


GENERAL NOTES:
 INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
 MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
 WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
 1) SIZED, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 1' AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 2) OR INLET PROTECTION, TYPE C (WITH CURB BOX) AN ADDITIONAL 1/8" OF FABRIC IS WRAPPED AROUND THE CURB BOX OPENING.
 3) FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2 X 4.
INSTALLATION NOTES:
 TYPE B & C: TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
 THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

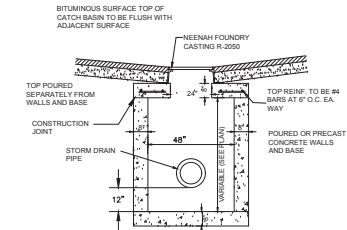
TYPE B (WITHOUT CURB BOX)
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



TYPE C (WITH CURB BOX)



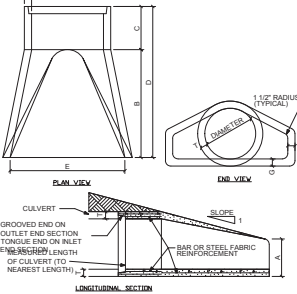
3 INLET PROTECTION
NTS



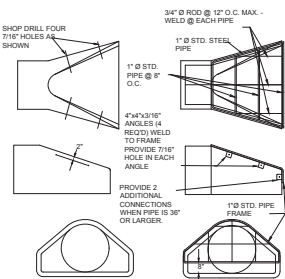
NOTES:
 1. ALL CATCH BASINS SHALL INCLUDE STEPS ON 1/4" CENTERS WHEN DEPTH (GRATE TO BOTTOM) IS 5.0' OR GREATER.
 2. STRUCTURE TO BE PLACED ON 6" OF MECHANICALLY COMPACTED CRUSHED STONE.
 3. FLO-GARD PLUS (TOP-RIP25) INLET INSERTS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS IN CATCH BASINS RECEIVING PARKING LOT RUNOFF.

5 CATCH BASIN
NTS

APPROX. SLOPE	DIMENSIONS (INCHES)						APPROX. SLOPE				
	T	A	B	C	D	E		G			
18	2	1/2	9	27	46	73	36	2	1/2	3	1



6 CONCRETE ENDWALL
NTS



THE CONTRACTOR SHALL BOLT THE PIPE GATE TO THE CONCRETE ENDWALL WITH SIX (6) 3/8" MACHINE BOLTS WITH NUTS ON INSIDE WALL.
PAINTING SPECIFICATIONS: THE PIPE GATE SHALL RECEIVE THE FOLLOWING PREPARATION & PAINTING: AFTER THOROUGH SCAMPING, WIRE BRUSHING & CLEANING, APPLY THE THREE COAT SYSTEM LISTED.
 1. BARE SURFACES - AFTER THOROUGH SCAMPING, WIRE BRUSHING & CLEANING, APPLY THE THREE COAT SYSTEM LISTED.
 2. GIVE EACH SURFACE AN OVERALL COAT.
 3. ALLOW 24 - 48 HOURS DRYING TIME BETWEEN COATS.

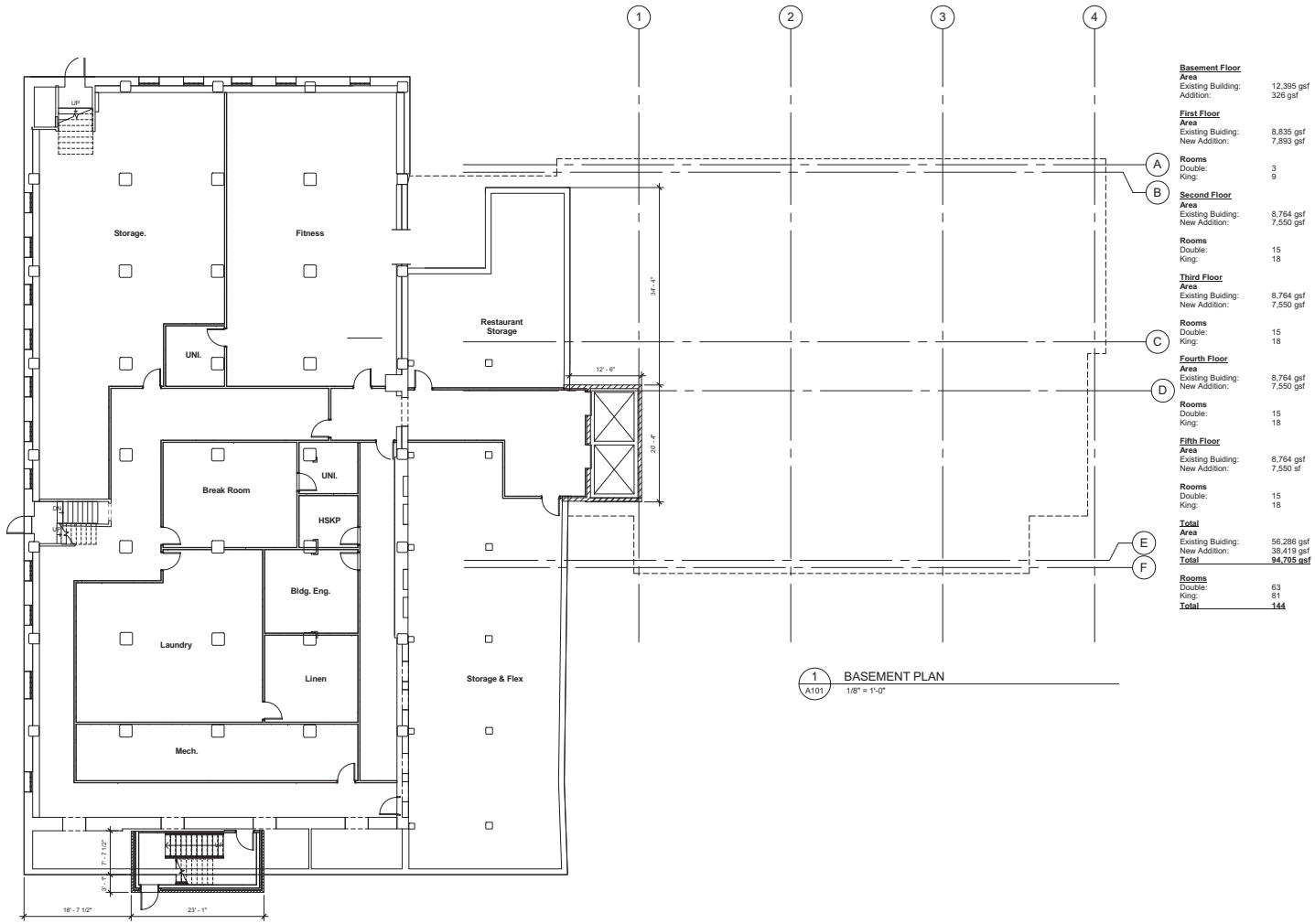
7 PIPE GATE
NTS

901 E Washington
Hotel
 901 Hospitality, LLC
 901 E Washington Ave
 Madison, Wisconsin
 Project #: 2016.36.01

Date	Issuance/Revisions	Symbol
7/25/17	Madison Land Use Application	
10/4/17	Urban Design Submittal	

Site Details

Notes:



PRELIMINARY
NOT FOR CONSTRUCTION

901 E Washington Hotel
901 Hospitality, LLC
901 E Washington Ave
Madison, WI

2016.36.01

Date	Issued/Revisions	System
07/23/17	Notation used for Application	
08/12/17	Notation used for Application	
10/23/17	IFC Submission - additional information	

Basement Plan

A101



Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

901 E Washington Hotel
901 Hospitality, LLC
901 E Washington Ave
Madison, WI

2016.36.01

Date	Issuance/Revisions	By/For
07/28/17	Madison Land Use Application	

Perspectives

Notes:



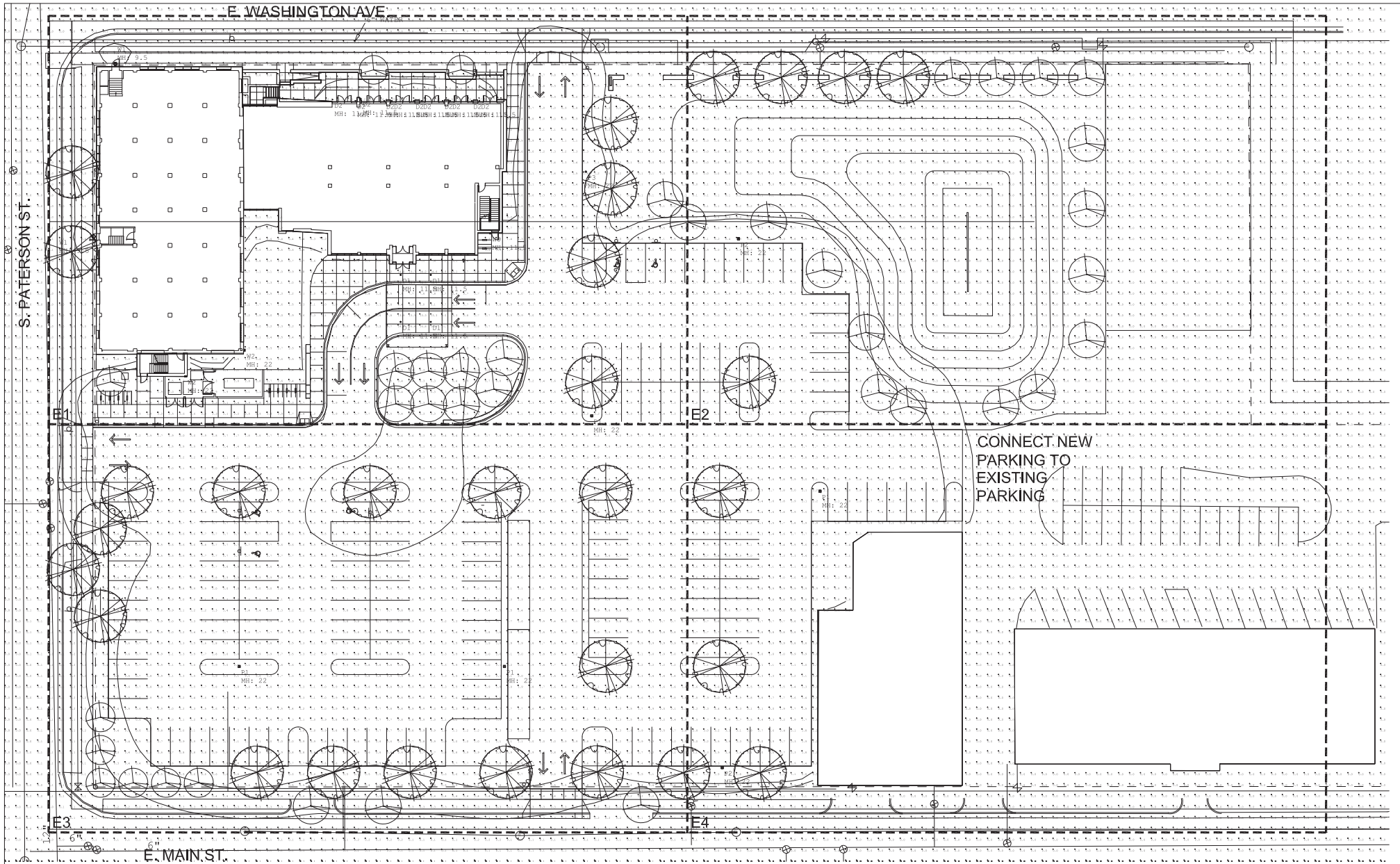
PRELIMINARY
NOT FOR CONSTRUCTION

901 E Washington Hotel
901 Hospitality, LLC
901 E Washington Ave
Madison, WI

2016.36.01

Date	Issuance/Revisions	By/For
02/23/17	Madison Land Use Application	

Perspectives




PARKING LOT AND DRIVES

10' FROM PROPERTY LINE
 Illuminance (Fc)
 Average = 1.22
 Maximum = 16.9
 Minimum = 0.3
 Avg/Min Ratio = 4.07
 Max/Min Ratio = 56.33

10' FROM PROPERTY LINE

Illuminance (Fc)
 Average = 0.05
 Maximum = 0.4
 Minimum = 0.0
 Avg/Min Ratio = N.A.
 Max/Min Ratio = N.A.

Luminaire Schedule							
Symbol	Qty	Tag	Label	Description	Lum. Watts	Lum. Lumens	LLF
○	4	D1	R6NC630K12D-C6322R-CLR	R6NC630K12D-C6322R-CLR	43.3	3539	0.900
○	11	D2	R2RM130RWV9S-CST232L-CLR-GLV	R2RM130RWV9S-CST232L-CLR	10	899	1.000
○	4	F1	GLEON-AP-03-LED-E1-SWQ-7030	FULL CUTOFF AREA LIGHT, TYPE 5 DISTRIBUTION, 22' POLE, FLUSH BASE	166	16944	0.900
○	2	F2	GLEON-AP-03-LED-E1-SL4-7030-H	GLEON-AP-03-LED-E1-SL4-7030-HSS	166	13056	0.900
○	1	F3	GLEON-AP-01-LED-E1-SL2-7030	GLEON-AP-01-LED-E1-SL2-7030	59	5404	0.900
○	2	W1	GLRWALDDP-UP-3545TLFA	GLRWALDDP-UP-3545TLFA RL BRT XT-E	10	1416	0.450
○	2	W2	GW-AP-02-LED-E1-74FT-7030	GW-AP-02-LED-E1-74FT-7030	113	11062	0.900
○	1	W3	ISC-AP-350-LED-E1-74FT-7030	ISC-AP-350-LED-E1-74FT-7030	20.89	2089	0.900



Enterprise Lighting LTD

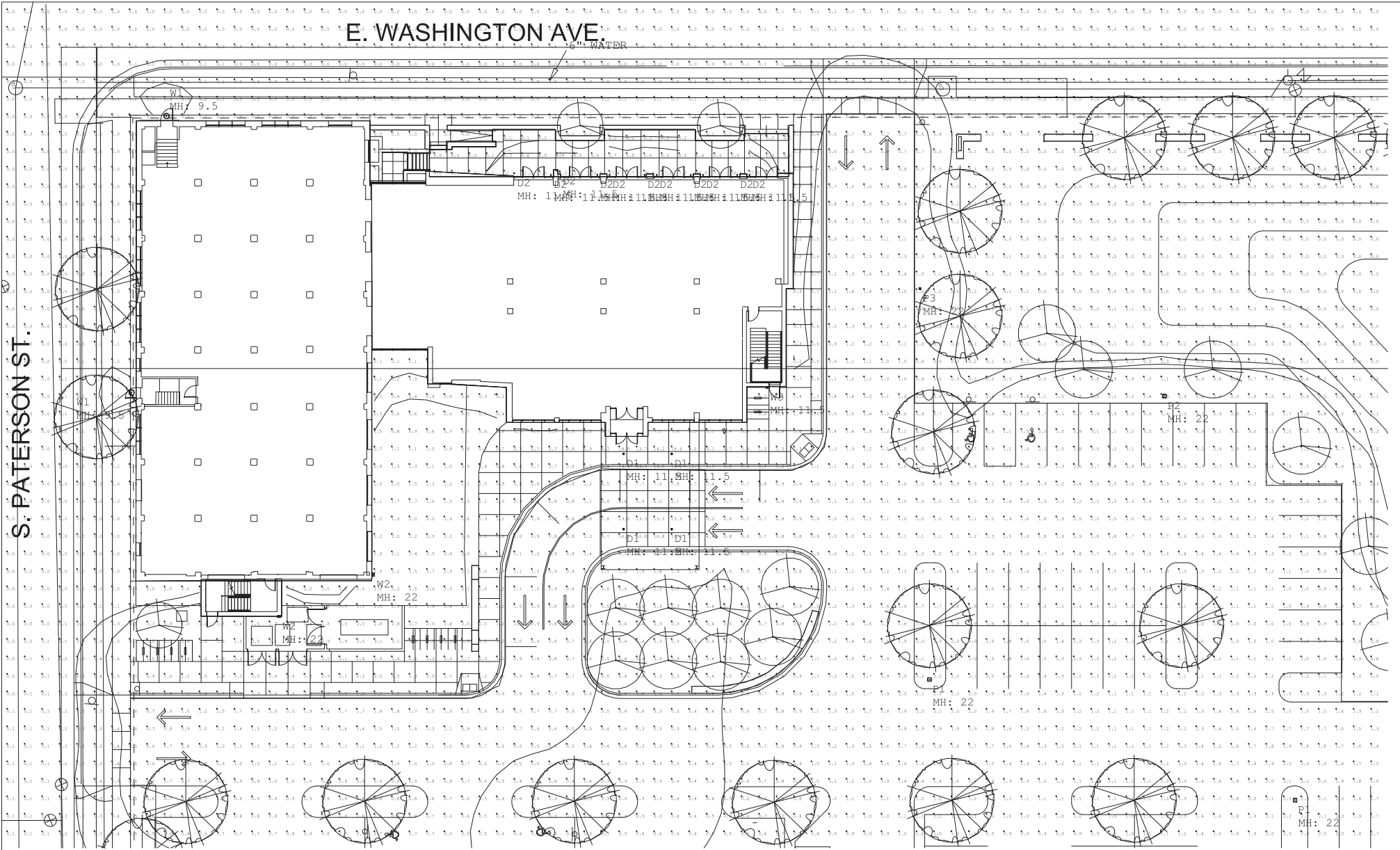
901 HOTEL

SITE LIGHTING

DATE: Oct 04, 2017 SCALE: 1" = 16'-0" SHEET NUMBER: E0

E. WASHINGTON AVE.

S. PATERSON ST.




PARKING LOT AND DRIVES

10' FROM PROPERTY LINE

Illuminance (Fc)
 Average = 1.22
 Maximum = 16.9
 Minimum = 0.3
 Avg/Min Ratio = 4.07
 Max/Min Ratio = 56.33

Illuminance (Fc)
 Average = 0.05
 Maximum = 0.4
 Minimum = 0.0
 Avg/Min Ratio = N.A.
 Max/Min Ratio = N.A.

Luminaire Schedule							
Symbol	Qty	Tag	Label	Description	Lum. Watts	Lum. Lumens	LLF
○	4	D1	R6NC630K12D-C6322R-CLR	R6NC630K12D-C6322R-CLR	43.3	3539	0.900
○	11	D2	R2RM130RWV9S-CST232L-CLR-PLV	R2RM130RWV9S-CST232L-CLR	10	809	1.000
○	4	F1	GLEON-AP-03-LED-E1-SL2-7030	FULL CUTOFF AREA LIGHT, TYPE 5 DISTRIBUTION, 22' POLE, FLUSH BASE	166	16944	0.900
○	2	F2	GLEON-AP-03-LED-E1-SL4-7030-H	GLEON-AP-03-LED-E1-SL4-7030-HSS	166	13056	0.900
○	1	F3	GLEON-AP-01-LED-E1-SL2-7030	GLEON-AP-01-LED-E1-SL2-7030	59	5404	0.900
○	2	W1	GRWALDDP-UP-3545TFA	GRWALDDP-UP-3545TFA RL BRT XT-E	10	1416	0.450
○	2	W2	GW-AP-02-LED-E1-74FT-7030	GW-AP-02-LED-E1-74FT-7030	113	11062	0.900
○	1	W3	ISC-AP-350-LED-E1-74FT-7030	ISC-AP-350-LED-E1-74FT-7030	20.09	2089	0.900

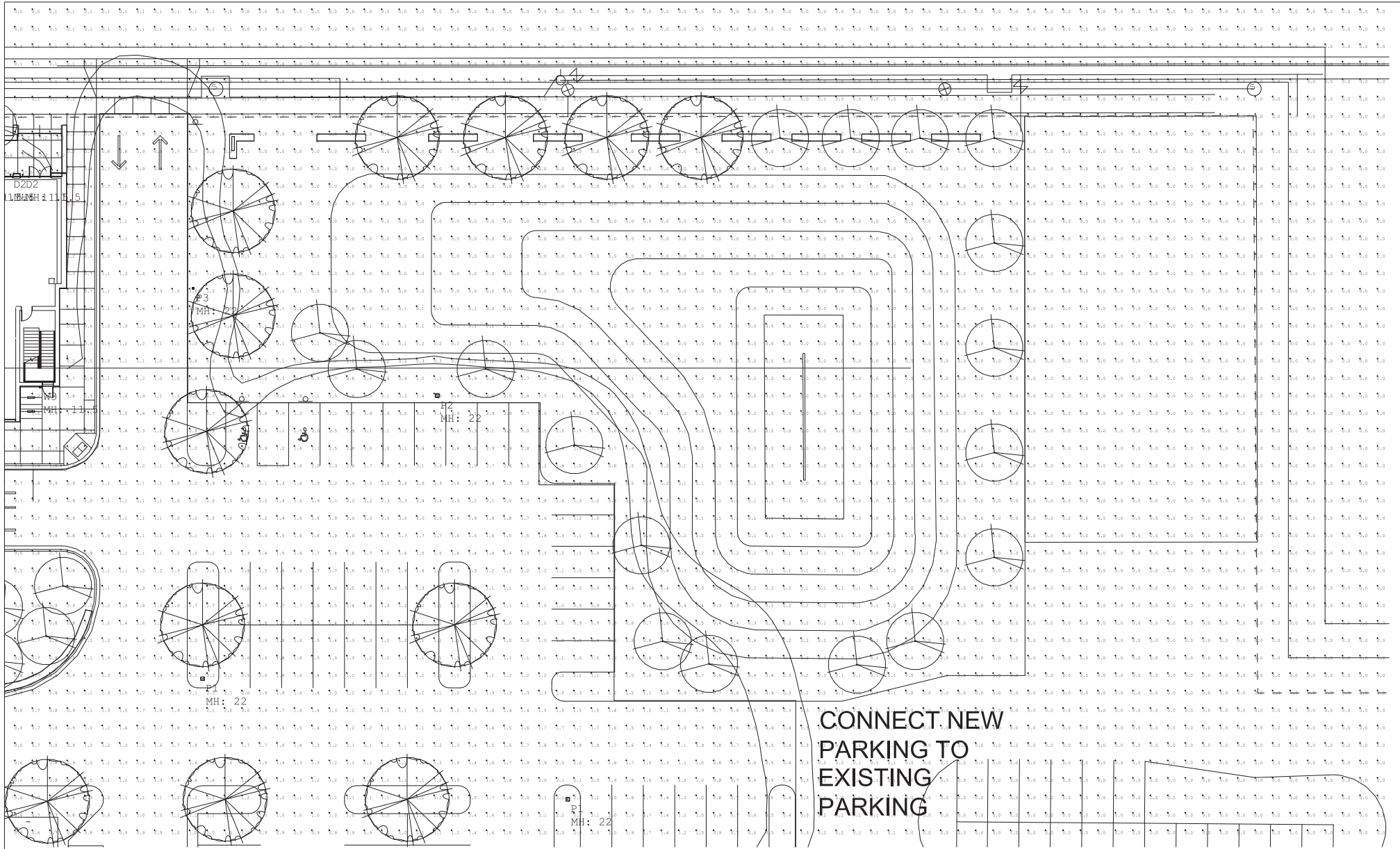


Enterprise Lighting LTD

901 HOTEL

SITE LIGHTING

DATE	SCALE	SHEET NUMBER
Oct 04, 2017	1" = 10'-0"	E1



PARKING LOT AND DRIVES


10' FROM PROPERTY LINE
 Illuminance (Fc)
 Average = 1.22
 Maximum = 16.9
 Minimum = 0.3
 Avg/Min Ratio = 4.07
 Max/Min Ratio = 56.33

10' FROM PROPERTY LINE

Illuminance (Fc)
 Average = 0.05
 Maximum = 0.4
 Minimum = 0.0
 Avg/Min Ratio = N.A.
 Max/Min Ratio = N.A.

Luminaire Schedule							
Symbol	Qty	Tag	Label	Description	Lum. Watts	Lum. Lumens	LLF
○	4	D1	R6NC630K12D-C6322R-CLR	R6NC630K12D-C6322R-CLR	43.3	3539	0.900
○	11	D2	R2RM130RW9S-CST232L-CLR-GLV	R2RM130RW9S-CST232L-CLR	10	809	1.000
○	4	F1	GLEON-AP-03-LED-E1-SW-7030	FULL CUTOFF AREA LIGHT, TYPE 5 DISTRIBUTION, 22' POLE, FLUSH BASE	166	16944	0.900
○	2	F2	GLEON-AP-03-LED-E1-SL4-7030-H	GLEON-AP-03-LED-E1-SL4-7030-HSS	166	13056	0.900
○	1	P3	GLEON-AP-01-LED-E1-SL2-7030	GLEON-AP-01-LED-E1-SL2-7030	59	5404	0.900
○	2	W1	GRWALDDP-UP-3545TLFA	GRWALDDP-UP-3545TLFA RL BRT XT-E	10	1416	0.450
○	2	W2	GW-AP-02-LED-E1-74FT-7030	GW-AP-02-LED-E1-74FT-7030	113	11062	0.900
○	1	W3	ISC-AP-350-LED-E1-74FT-7030	ISC-AP-350-LED-E1-74FT-7030	20.09	2089	0.900

**CONNECT NEW
 PARKING TO
 EXISTING
 PARKING**

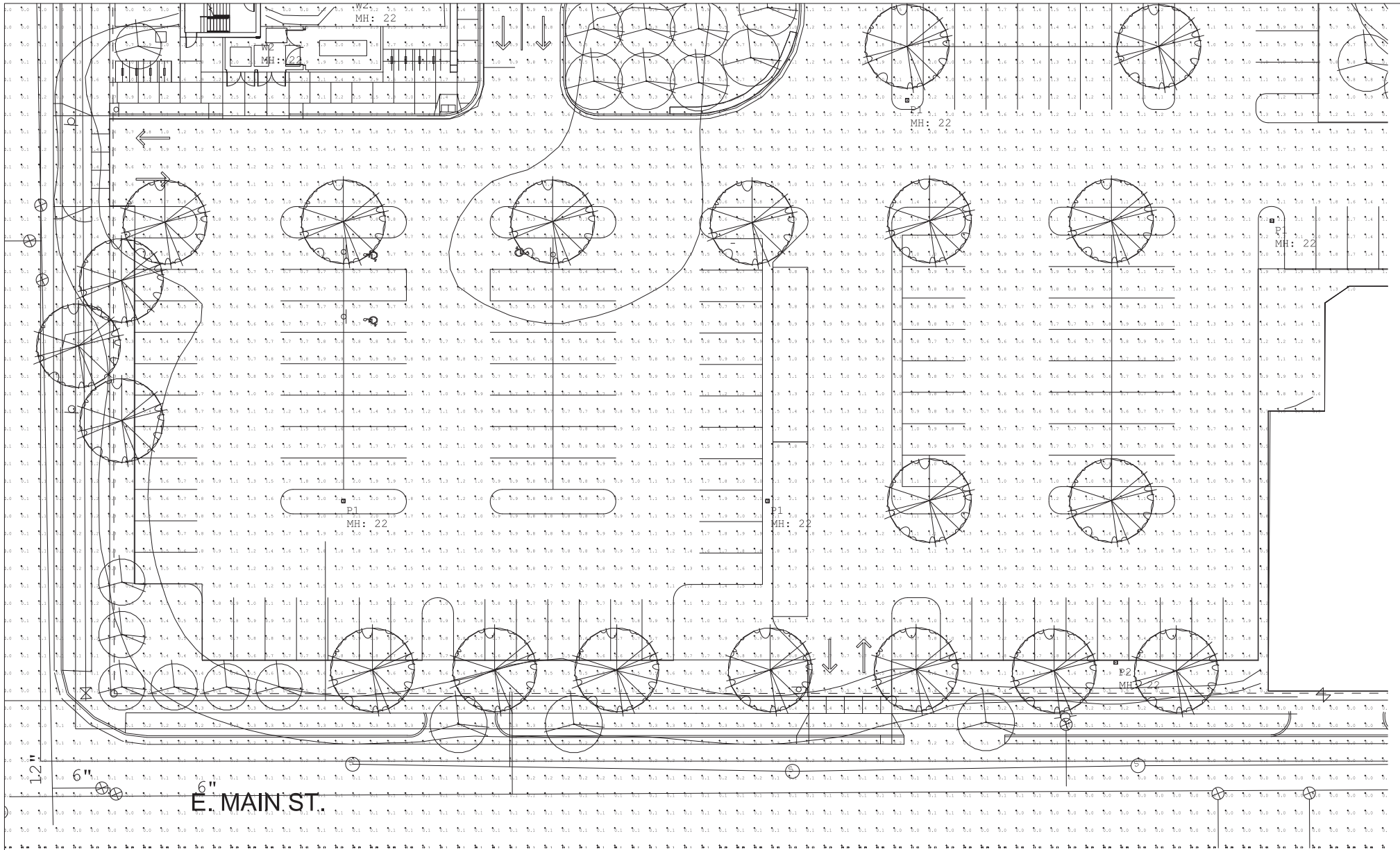


Enterprise Lighting LTD

901 HOTEL

SITE LIGHTING

DATE	SCALE	SHEET NUMBER
Oct 04, 2017	1" = 10'-0"	E2



PARKING LOT AND DRIVES

10' FROM PROPERTY LINE
 Illuminance (Fc)
 Average = 1.22
 Maximum = 16.9
 Minimum = 0.3
 Avg/Min Ratio = 4.07
 Max/Min Ratio = 56.33

Illuminance (Fc)
 Average = 0.05
 Maximum = 0.4
 Minimum = 0.0
 Avg/Min Ratio = N.A.
 Max/Min Ratio = N.A.

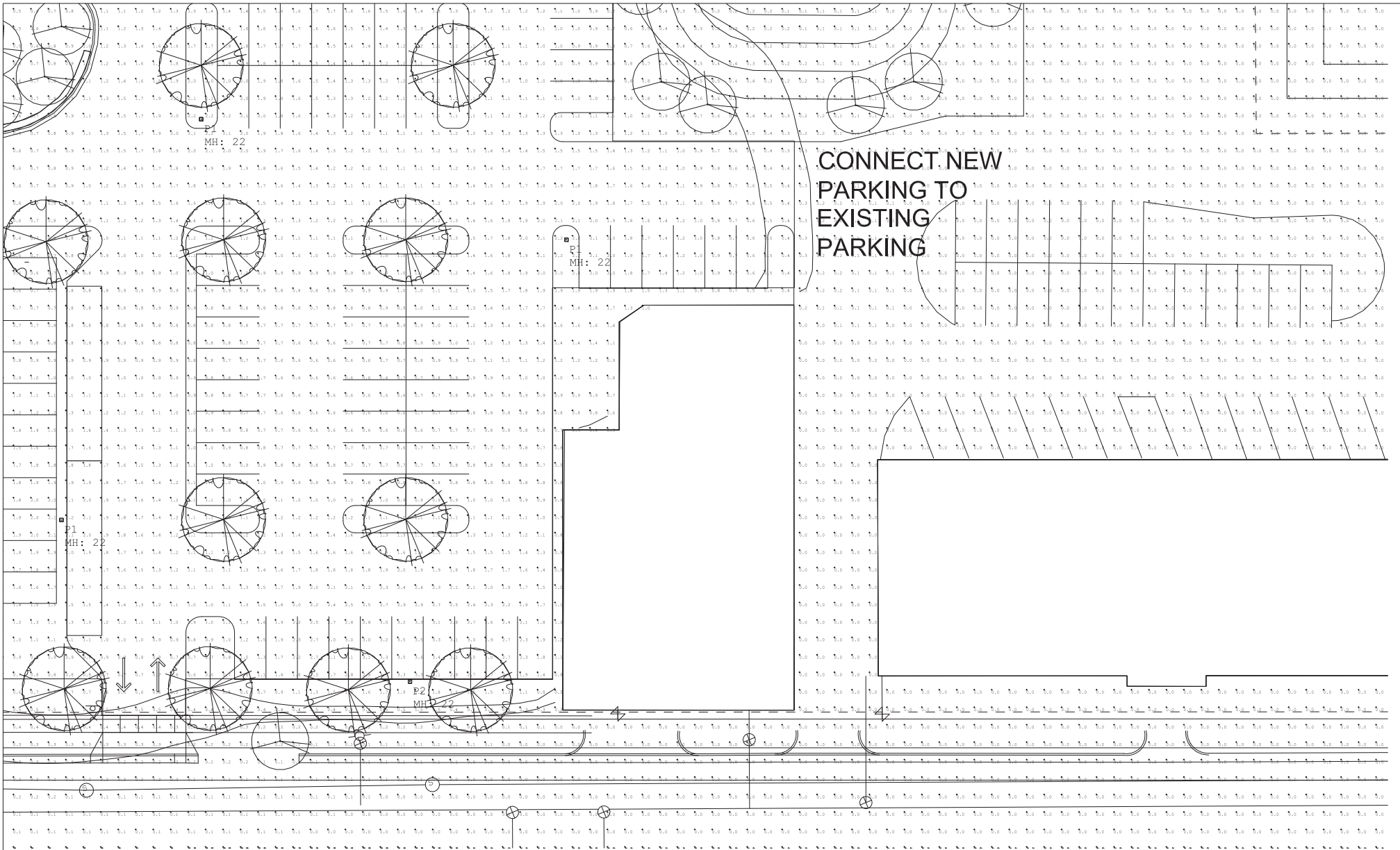
Luminaire Schedule							
Symbol	Qty	Tag	Label	Description	Lum. Watts	Lum. Lumens	LLF
○	4	D1	R6NC630K12D-C6322M-CLR	R6NC630K12D-C6322M-CLR	43.3	3539	0.900
○	11	D2	R2RM130RW9S-C8T232L-CLR-GLV	R2RM130RW9S-C8T232L-CLR	10	809	1.000
○	4	P1	GLEON-AP-03-LED-E1-SL2-7030	FULL CUTOFF AREA LIGHT, TYPE 5 DISTRIBUTION, 22' POLE, FLUSH BASE	166	16944	0.900
○	2	P2	GLEON-AP-03-LED-E1-SL4-7030-H	GLEON-AP-03-LED-E1-SL4-7030-HSS	166	13056	0.900
○	1	P3	GLEON-AP-01-LED-E1-SL2-7030	GLEON-AP-01-LED-E1-SL2-7030	59	5404	0.900
○	2	W1	GRWALDDP-UP-3545TLFA	GRWALDDP-UP-3545TLFA RL BRT XT-E	10	1416	0.450
○	2	W2	GW-AP-02-LED-E1-F4FT-7030	GW-AP-02-LED-E1-F4FT-7030	113	11062	0.900
○	1	W3	ISC-AP-350-LED-E1-F4FT-7030	ISC-AP-350-LED-E1-F4FT-7030	20.09	2089	0.900

Enterprise Lighting LTD

901 HOTEL

SITE LIGHTING

DATE	SCALE	SHEET NUMBER
Oct 04, 2017	1" = 10'-0"	E3



PARKING LOT AND DRIVES

10' FROM PROPERTY LINE

Illuminance (Fc)
 Average = 1.22
 Maximum = 16.9
 Minimum = 0.3
 Avg/Min Ratio = 4.07
 Max/Min Ratio = 56.33

Illuminance (Fc)
 Average = 0.05
 Maximum = 0.4
 Minimum = 0.0
 Avg/Min Ratio = N.A.
 Max/Min Ratio = N.A.

Luminaire Schedule							
Symbol	Qty	Tag	Label	Description	Lum. Watts	Lum. Lumens	LLF
○	4	D1	R6NC630K12D-C6322M-CLR	R6NC630K12D-C6322M-CLR	43.3	3539	0.900
○	11	D2	R2RM130KRW9S-CST232ZL-CLR	R2RM130KRW9S-CST232ZL-CLR	10	809	1.000
○	4	F1	GLEON-AP-03-LED-E1-SW-7030	FULL CUTOFF AREA LIGHT, TYPE 5 DISTRIBUTION, 22' POLE, FLUSH BASE	166	16944	0.900
○	2	F2	GLEON-AP-03-LED-E1-SL4-7030-H	GLEON-AP-03-LED-E1-SL4-7030-HSS	166	13056	0.900
○	1	F3	GLEON-AP-01-LED-E1-SL2-7030	GLEON-AP-01-LED-E1-SL2-7030	59	5404	0.900
○	2	W1	GLWALDDP-UP-3545TLFA	GLWALDDP-UP-3545TLFA HL BRT XT-E	10	1416	0.450
○	2	W2	GW-AP-02-LED-E1-74FT-7030	GW-AP-02-LED-E1-74FT-7030	113	11062	0.900
○	1	W3	ISC-AP-350-LED-E1-74FT-7030	ISC-AP-350-LED-E1-74FT-7030	20.09	2089	0.900

Enterprise Lighting LTD

901 HOTEL

SITE LIGHTING

DATE	SCALE	SHEET NUMBER
Oct 04, 2017	1" = 10'-0"	E4

905 East Washington Ave.

Foundation: Concrete foundation.

Structure: Prefabricated metal frame building.

Roof: Metal panel.

Façade: Concrete masonry units along East Washington and the South-East façade. Metal panel along North-East façade.

Building Description: The building is a single story building and is currently used for on-site storage. The façades are void of openings other than a loading dock located along the North-East façade. A covered loading corridor is located at the rear of the building. This building is an addition to the existing Kleuter building and spans over its basement.



D1. Demolition Context Images

901 E. Washing on Ave Hotel - 2016.36.01

July 25, 2017

**Potter
Lawson**

Success by Design

925 East Washington Ave.

Foundation: Concrete foundation.

Structure: Main Building: Steel columns and beams with a wood floor joist and wood roof rafters.

Loading Addition: Prefabricated steel building.

Roof: Main Building: Flat roof with a rubber roofing membrane.

Loading Addition: Sloped metal roof.

Façade: Brick façade along East Washington. Concrete masonry units along the other three sides. The loading addition is clad in metal panel. The paint finish on the concrete masonry units is peeling off. Minor signs of settlement can be seen in the concrete masonry units.

Building Description: The building is two stories tall. At the street facade the first floor level has storefront glazed openings and a recessed entrance, the second story has a series of punched windows. Along the sides and rear of the building the first floor level remains void of window openings but punched openings at the second floor level are currently boarded. A loading dock occurs at the rear of the building. There is an addition of a single story metal building adjacent to the loading dock, its function is a loading dock as well. The building is abandon and not occupied.



D2. Demolition Context Images

901 E. Washington Ave Hotel - 2016.36.01

July 25, 2017

Potter
Lawson

Success by Design

939 East Washington Ave.

Foundation: Concrete foundation.

Structure: Multiple structural systems occur within this building. Steel beams and columns with steel roof joist and barrel trusses. Concrete columns and beams with a concrete floor slab. Steel columns and beams with wood floor joist.

Roof: Flat and curved roofs composing of rubber roofing membranes and metal panels. Foliage has started to grow on the roof

Façade: Brick and corrugated metal paneling occur along East Washington. The main building has an exposed concrete frame with a brick infill. Along the back sides of the building there are concrete masonry walls, clay block walls and brick facades. Roof top penthouses are composed of metal panels or a concrete frame with a brick infill. The painted finish on the façade is peeling off, signs of brick spalling is present.

Building Description: The building ranges from a one story tall structure to three stories with mechanical and elevator penthouse on the roof. The street façade lacks openings at the first floor. Two recessed entries occur at grade and small windows occur at the second floor level in the corrugated metal panel. Punched openings occur at all other facades. There is a mix of openings that are boarded up and ones that contain the iconic warehouse style window. The building is abandoned and not occupied.



910 East Main St.

Foundation: Concrete foundation.

Structure: Concrete masonry unit bearing walls and piers with a steel barrel vault roof truss. The bearing walls have bowed out and cracked at the center of the building on both sides.

Roof: Curved roof with a rubber roofing membrane.

Façade: Brick façade along East Main St. Concrete masonry units at the other three sides

Building Description: The building is one story and composed of a brick façade along the street and concrete masonry units along the other three sides. The street façade contains a large garage door and pedestrian entrance defined by the brick curving inwards. Two windows occur at the street façade. The building is currently being used as a storage facility.



D4. Demolition Context Images

901 E. Washington Ave Hotel - 2016.36.01

July 25, 2017

Potter
Lawson

Success by Design