

Archipelago

929 E Washington Ave
Madison, Wisconsin
2016.36.02

January 23, 2019 Land Use Application

Drawing Index

C = Issued for Construction
B = Issued for Bidding
R = Issued for Reference Only

DWG #	Drawing Title
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GENERAL

CD-01	COVER DRAWING
G001	SITE CONTEXT IMAGES
G002	SITE CONTEXT IMAGES
G003	SITE MASSING IMAGES / FUTURE DEVELOPMENT

CIVIL

.S1100	EXISTING SITE PLAN
C100	SITE DEMOLITION PLAN
C101	EROSION CONTROL PLAN
C102	SITE LAYOUT PLAN
C103	SITE FIRE PROTECTION PLAN
C104	SITE GRADING PLAN
C105	SITE UTILITY PLAN

LANDSCAPE

L100	OVERALL SITE RESTORATION PLAN
L101	EAST WASHINGTON AVE TERRACE PLAN
L200	PLANTING AND LANDSCAPE RESTORATION PLAN (NORTH)
L201	PLANTING AND LANDSCAPE RESTORATION PLAN (SOUTH)
L300	4th FLOOR GREEN ROOF PLANS
L301	11TH FLOOR GREEN ROOF PLAN

ARCHITECTURAL DEMOLITION

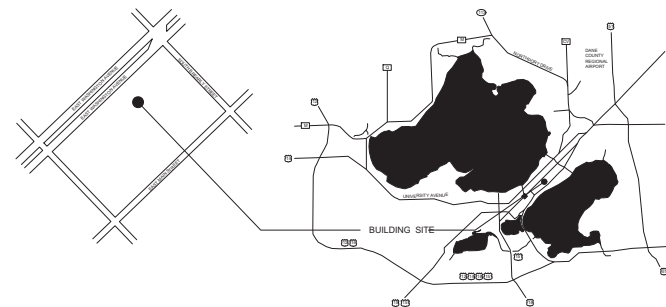
D1	DEMOLITION CONTEXT AERIAL
D2	DEMOLITION CONTEXT IMAGES
D3	DEMOLITION CONTEXT IMAGES

ARCHITECTURAL

A101.	LOWER LEVEL PLAN
A102.	FIRST FLOOR PLAN
A103.	SECOND FLOOR PLAN
A104.	THIRD FLOOR PLAN
A105.	FOURTH FLOOR PLAN
A106.	FIFTH - TENTH FLOOR PLAN
A107.	ELEVENTH FLOOR PLAN
A108.	ROOF PLAN
A201.	BUILDING ELEVATIONS
A202.	BUILDING ELEVATIONS

ELECTRICAL

LD01	LIGHTING PLAN
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Architect:
749 University Row Suite 300
Madison, WI 53705
608-274-2741

PRELIMINARY
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929 E Washington Ave
Madison, Wisconsin

2016.36.02

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01/23/19	ARCHITECTURAL LAND USE APPLICATION	

COVER DRAWING

CD-01

Notes:



Hotel Indigo - East Washington Ave Perspective



Hotel Indigo - East Main St Perspective



924 East Main St - To be Demolished



945 East Washington Ave - To be Demolished



945 East Main St Telephone Building - To Remain



949 East Washington Ave - To Remain

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02/23/19	ARCHITECTURAL USE APPLICATION	

**SITE CONTEXT
IMAGES**



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Date	Issued/Revisions	By/Rev
02/23/19	MADISON LAND USE APPLICATION	

**SITE CONTEXT
IMAGES**



1/G002: East Washington Perspective - Phase 1



2/G002: East Washington Perspective- Phase 2



3/G002: East Main St Perspective - Phase 1



4/G002: East Main St Perspective - Phase 2

Notes:

ELEVATION KEY NOTES

- 1 EXISTING HOTEL
- 2 EXISTING TELEPHONE BUILDING TO REMAIN
- 3 EXISTING BUILDING TO BE DEMOLISHED
- 4 PROPOSED DEVELOPMENT/ PARKING GARAGE
- 5 FUTURE DEVELOPMENT
- 6 FIRST FLOOR RETAIL/ COMMERCIAL
- 7 UPPER FLOOR OFFICE SPACE
- 8 LOWER LEVEL MIXED USE SPACE
- 9 UPPER FLOOR RESIDENTIAL SPACE

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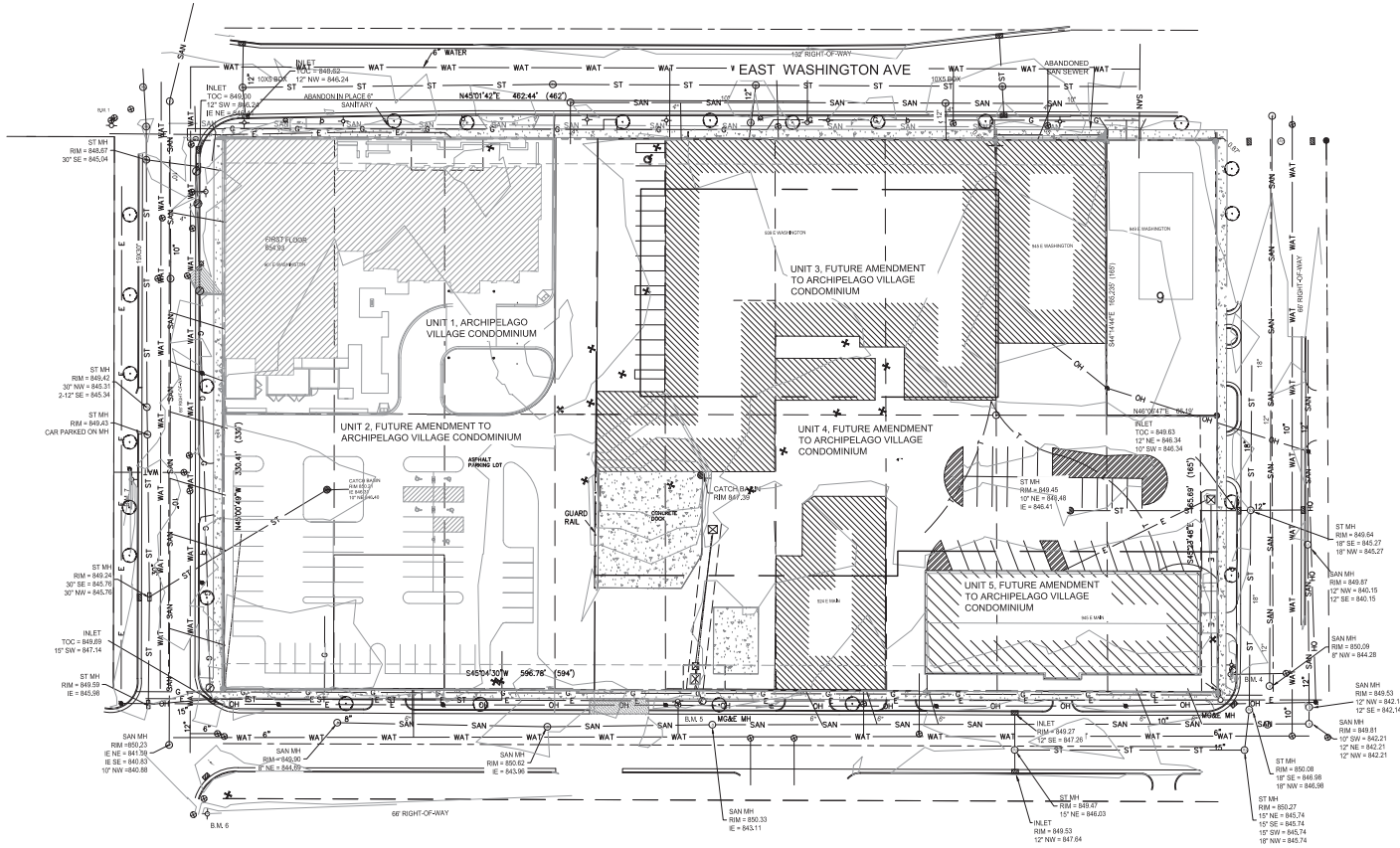
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Madison, Wisconsin

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Date	Issued/Revised	By
02/23/19	ARCHITECTURE APPLICATION	

**SITE MASSING
IMAGES / FUTURE
DEVELOPMENT**

Notes:



- SANITARY MANHOLE
- YARD CLEANOUT
- STORM MANHOLE
- STORM INLET
- STORM CATCH BASIN
- ABOVEGROUND WATER MAIN
- HYDRANT
- WATER VALVE
- GAS WATER
- GAS VALVE
- LIGHT POLE
- TRAFFIC SIGNAL
- MONITORING WELL
- ELECTRICAL OUTLET
- UTILITY POLE
- GUY WIRE / DEAD MAN
- ELECTRIC MANHOLE
- ELECTRIC MANHOLE
- CABLE PEDESTAL
- BOLLARD
- SIGN
- HANDICAP RAMP
- HANDICAP STALL
- STONE WALL

DESCRIPTION:
PARCELS 4, 11, 13, BLOCK 158, ORIGINAL PLAT OF THE CITY OF MADISON, IN THE CITY OF MADISON DANE COUNTY, WISCONSIN, TOGETHER WITH A NON-EXCLUSIVE EASEMENT FOR HIGH ROAD SPUR TRUCK AS SET FORTH IN VOLUME 295 OF DEEDS, PAGE 287, AS DOCUMENT NO. 42868, AND EXCEPT GRANT TO MAITZ PAINT AND GLASS COMPANY AS SET FORTH IN VOLUME 819 OF REC. PAGE 31, AS DOCUMENT NO. 490713.
PARCELS 8, LOTS 1 THROUGH 18 INCLUSIVE, LOTS 19 THROUGH 12 INCLUSIVE, AND LOTS 14 THROUGH 18 INCLUSIVE, BLOCK 158, ORIGINAL PLAT OF MADISON IN THE CITY OF MADISON DANE COUNTY, WISCONSIN.

NOTES:
ALL BENCHMARKS ARE REFERENCED TO THE NORTHWESTERLY CORNER OF BLOCK 158, N45°31'42"E ASSUMED.
GAS AND ELECTRIC INFORMATION IS FROM MADISON GAS AND ELECTRIC COMPANY.
SANITARY SEWER, WATER AND STORM SEWER INFORMATION IS FROM CITY OF MADISON ENGINEERING DEPARTMENT.
ZONING DISTRICT IS TRADITIONAL EMPLOYMENT.

CAUTION:
PROPERTY LINE
UTILITY EASEMENT
SETBACK LINE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE C, AREAS OF MINERAL FLOODING AS INDICATED ON FLOOD INSURANCE RATE MAP - CITY OF MADISON, DANE COUNTY, WISCONSIN, PANEL 19 OF 30, COMMUNITY PANEL NO. 50083 0070-D, MAP REVISED SEPTEMBER 18, 1986.

ALL BENCHMARKS ARE TOP OF HYDRANT AND ARE CITY OF MADISON DATUM

BENCHMARKS
B.M. 1 = HYDRANT AT THE SOUTHWEST CORNER OF EAST WASHINGTON AVE. AND PATERSON STREET
B.M. 2 = HYDRANT AT THE WESTERN CORNER OF EAST WASHINGTON AVE.
B.M. 3 = HYDRANT AT THE WESTERN CORNER OF BROADWAY STREET AND MAIN STREET
B.M. 4 = HYDRANT AT THE EASTERN CORNER OF MAIN STREET AND PATERSON STREET
B.M. 5 = HYDRANT AT THE WESTERN CORNER OF MAIN STREET AND PATERSON STREET
B.M. 6 = HYDRANT AT THE EASTERN CORNER OF MAIN STREET AND PATERSON STREET
B.M. 7 = HYDRANT AT THE WESTERN CORNER OF SOUTH PATERSON STREET



The locations of existing utilities installations as shown on this drawing were obtained from the records of municipality and local utility records. The accuracy of these records cannot be guaranteed or certified to. There may be other underground utility installations within the project area that are not shown.

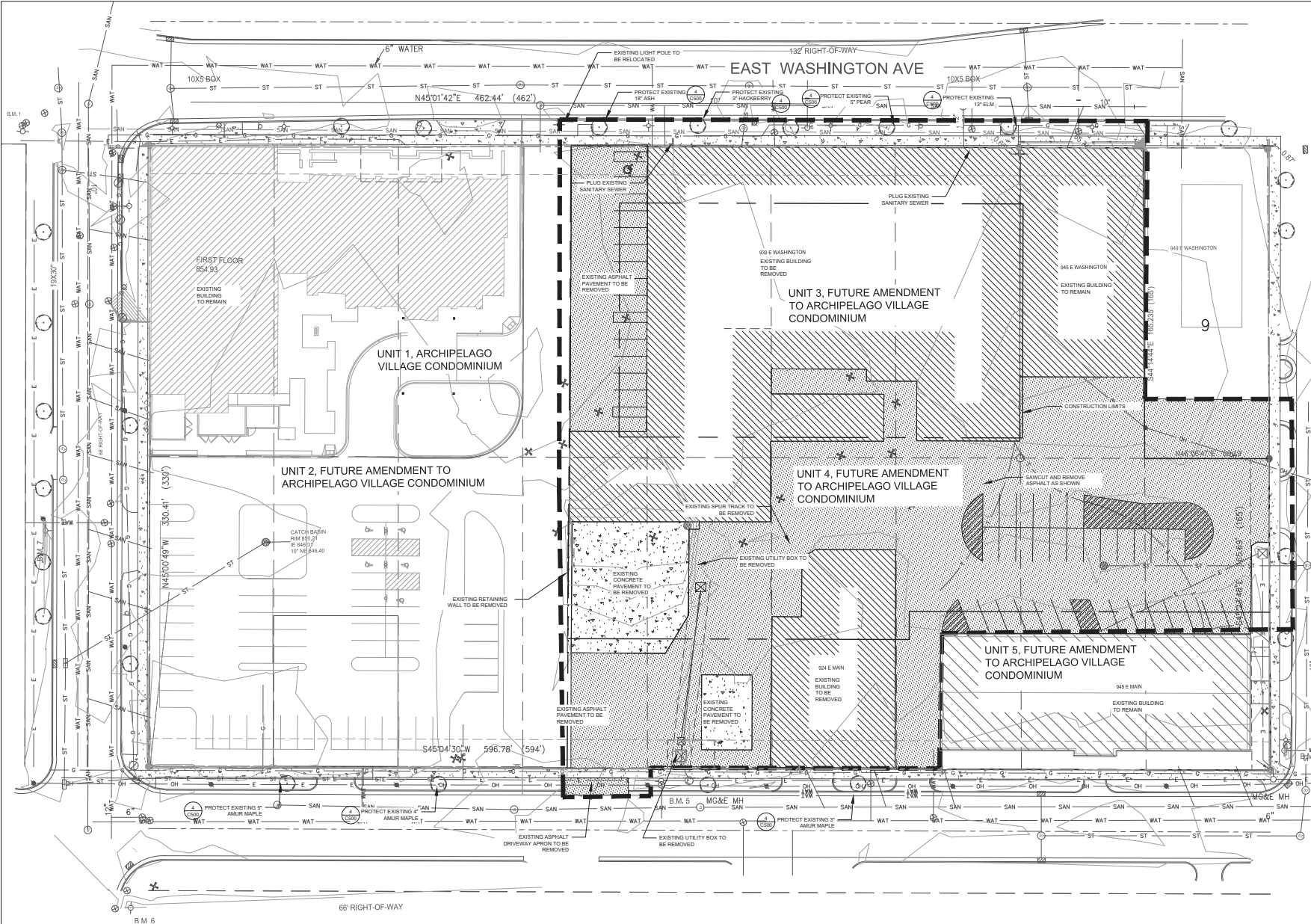
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Date	Issuance/Revisions	Symbol
01/23/19	MADISON LAND USE APPLICATION	

EXISTING
SITE PLAN

SV100



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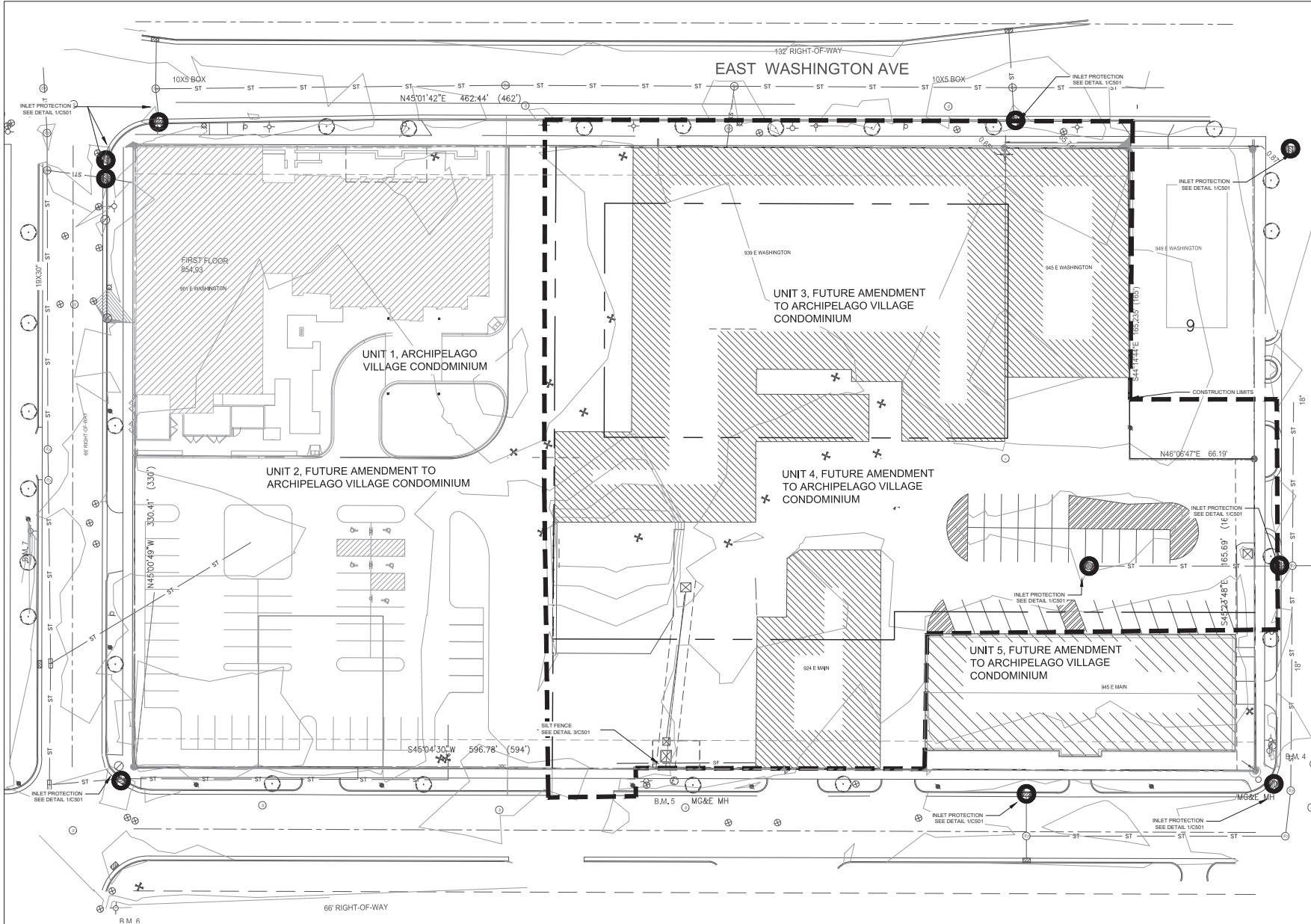
- NOTES:
- CONSTRUCTION FENCING SHALL BE PLACED ALONG THE LIMITS OF CONSTRUCTION LINE.
 - ALL SIDEWALK OR CURB AND GUTTER THAT ABUTS THE PROPERTY AND IS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
 - ALL SIDEWALK OR CURB AND GUTTER THAT ABUTS THE PROPERTY NOT DAMAGED BY THE CONTRACTOR BUT THAT NEEDS TO BE REPLACED AS DETERMINED BY THE CITY ENGINEER SHALL BE REPLACED AT THE OWNER'S EXPENSE.
 - ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
 - ALL DAMAGE TO THE PAVEMENT ON EAST WASHINGTON AVENUE, SOUTH PATERSON STREET, AND EAST MAIN STREET ADJACENT TO THE DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.
 - CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS IMPACT TO THE TREE AND ROOT SYSTEM.
 - TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY.
 - ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72-HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY. TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.
 - FORESTRY WILL ISSUE A REMOVAL PERMIT FOR TWO TREES: 19" ASH AND 22" ASH ON S. PATERSON ST. DUE TO CITY FORESTRY AND CONSTRUCTION IMPACT REQUEST PLEASE CONTACT BRAD HORNBAUM bradhorn@cityofmadison.com OR 608-266-4816 TO OBTAIN THE STREET TREE REMOVAL PERMIT.

The locations of existing utilities installations as shown on this drawing were obtained from the records of municipally and local utility records. The accuracy of these records cannot be guaranteed or certified to. There may be other underground utility installations within the project area that are not shown.

SITE
DEMOLITION PLAN

C100

Notes: _____



- NOTES:
1. INLET PROTECTION PER WDMR TECH. STD 1060 AND SILT FENCE PER WDMR TECH. STD 1066
 2. INSTALL INLET PROTECTION AND SILT FENCES WHERE INDICATED. PERFORM AND DOCUMENT INSPECTIONS OF INLET PROTECTION AND SILT FENCES WEEKLY AND AFTER EACH 1/2-INCH RAIN EVENT. SEE DETAILS 1/C501, 2/C501 AND 3/C501.
 3. INSTALL INLET PROTECTION ON NEWLY INSTALLED INLETS
 4. AFTER CONSTRUCTION IS COMPLETED, REMOVE AND DISPOSE OF ALL INLET PROTECTION AND SILT FENCE MATERIALS.

SCALE 1" = 20'

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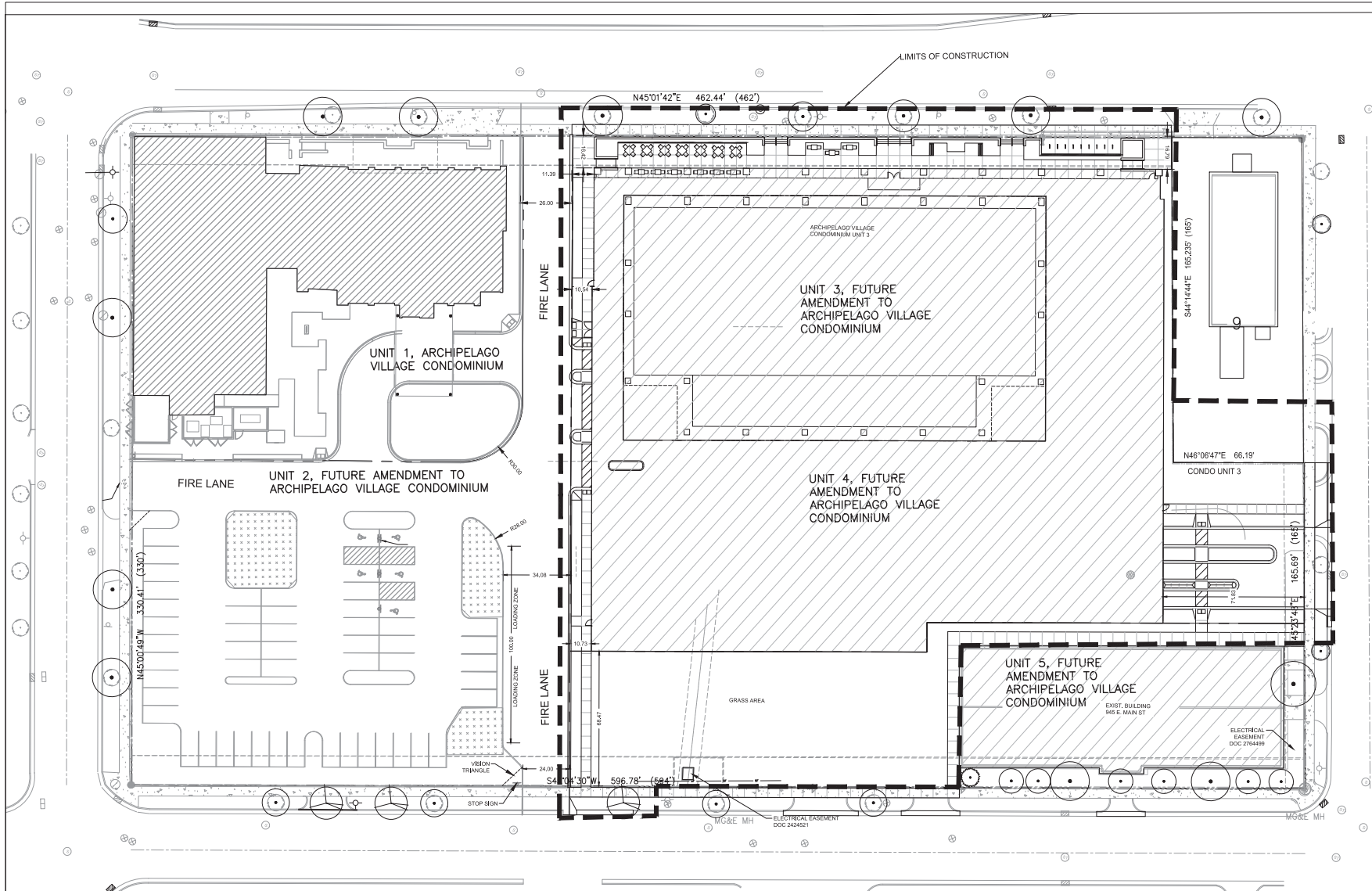
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**EROSION
CONTROL PLAN**

C101



GENERAL

1. THE LOCATION OF ALL STRUCTURES, OBSTACLES, AND EXISTING FACILITIES SHALL NOT BE TAKEN AS CONCLUSIVE. IT SHALL BE ASSUMED THAT THE CONTRACTOR HAS VERIFIED SAID LOCATIONS AS A CONDITION OF HIS BID AND THEREFORE THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES RESULTING FROM HIS ACTIVITIES.
2. ALL ELEVATIONS ARE REFERRED TO THE LOCAL DATUM (AS BASED ON A SURVEY PERFORMED BY HEINERICH AND ASSOCIATES ON NOVEMBER 8, 2007).
3. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO CARRY OUT THEIR WORK.
4. ALL STAKES NECESSARY FOR THE CONTRACTOR TO DETERMINE LOCATION AND/OR GRADE FOR ANY SECTION OF THE WORK HEREBY DESCRIBED SHALL BE SET BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
5. THE CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE OWNER A LIST OF ALL MATERIALS PROPOSED TO BE USED PRIOR TO CONSTRUCTION.
6. MATERIAL TESTS CONDUCTED BY AN INDEPENDENT TESTING LAB MAY BE ORDERED BY THE ENGINEER OR OWNER. IF SUCH TESTING IS ORDERED, THE CONTRACTOR SHALL FURNISH THE SAMPLES AND THE COST OF TESTING SHALL BE PAID BY THE OWNER. RETESTING OF ANY FAILING TESTS SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE.
7. ALL CONTRACTORS SHALL HAVE A COMPETENT FORDMAN, SUPERINTENDENT, OR OTHER REPRESENTATIVE AT THE SITE AT ALL TIMES WHO HAS AUTHORITY TO ACT FOR THE CONTRACTOR.
8. A PRE CONFERENCE MAY BE HELD PRIOR TO CONSTRUCTION START UP.
9. CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATELY BARRICADING AREAS OF CONSTRUCTION AS MAY BE REQUIRED TO PROTECT AGAINST PERSONAL INJURY AS WELL AS WARN TRAFFIC OF THE CONSTRUCTION SITE WHERE NECESSARY. SPINNS SHALL BE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION MANUAL OF TRAFFIC CONTROL DEVICES. ALL OTHER SPINS MUST BE PRE-APPROVED BY OWNER.

10. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING.
11. ALL ROAD AND PAVING CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION - EDITION OF 2008, HEREIN REFERRED TO AS THE STANDARD SPECIFICATIONS, EXCEPT AS MODIFIED HEREIN.
12. WHERE SPECIFIC PORTIONS OF THESE SPECIFICATIONS ARE IN CONFLICT WITH THE STANDARD SPECIFICATIONS, THESE SPECIFICATIONS SHALL GOVERN.
13. THERE ARE NO FRONT OR SIDE YARD SETBACKS.
14. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.
15. CONTRACTOR SHALL REPLACE ANY CURB AND GUTTER WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK, CURB, AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED DUE TO UNDESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
16. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
17. NO USUAL OBSTRUCTIONS TO BE LOCATED WITHIN VISION TRIANGLES BETWEEN THE HEIGHTS OF 2.25 FT. OF BEING THE PROPERTY LINE AT STREETS AND 10 FEET BEHIND THE PROPERTY LINE AT DRIVEWAYS.

Land Use Summary Table	
Site Area	Lot 4.27 Ac / Disturbed 2.55Ac.
Totol Building Sq Ft.	257,288 S.F. (2029)
Building Footprint Sq Ft.	48,041 Sq Ft.
Building Type	Commercial (2029)
Lot Coverage	83%
Quality Open Space	23,294 Sq Ft.
Landscaping Area	24,292 Sq Ft.
Paved Area	61,467 Sq. Ft.

CURB, GRADE BEAM CURB, SIDEWALK AND MISCELLANEOUS

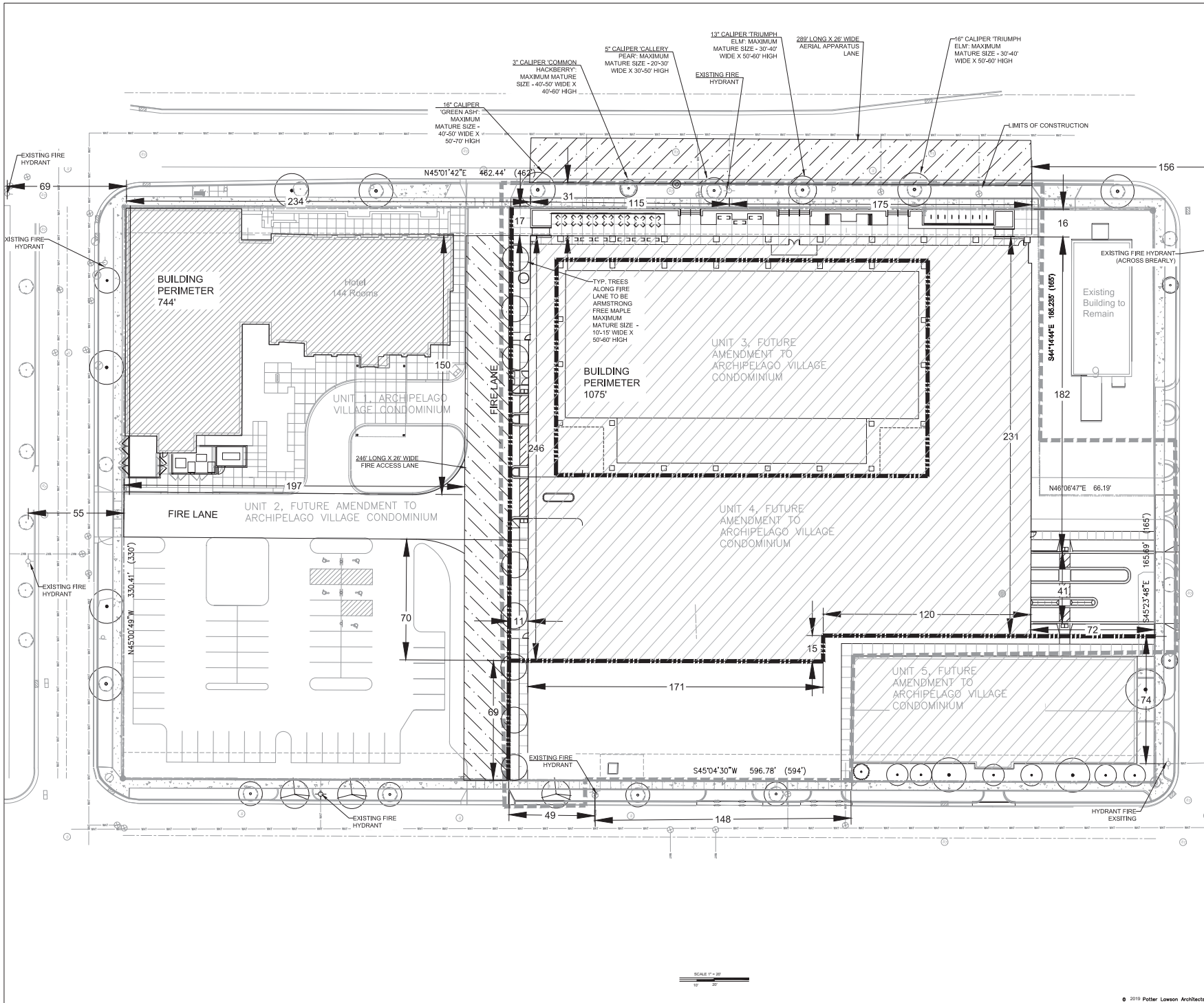
1. WHERE INDICATED ON THE PLANS, INSTALL CONCRETE SIDEWALK IN ACCORDANCE WITH SECTION 602 OF THE STANDARD SPECIFICATIONS.
2. CONCRETE CURB SHALL BE INSTALLED WHERE INDICATED ON THE PLANS. INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 601 OF THE STANDARD SPECIFICATIONS. DIMENSIONS SHALL BE AS SHOWN ON THE DETAIL SHEET.
3. ALL SURPLUS EXCAVATED MATERIAL SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR FOR ITS TEMPORARY LOCATION.
4. ALL ENTRANCES SHALL HAVE THE EXISTING 6" VERTICAL FACE SAVED AND REMOVED ON THE ENTIRE CURB AND GUTTER LENGTH FINISHED AND REPLACED WITH CONCRETE GUTTER SECTION.

Notes: _____

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Date	Issuance/Revisions	Symbol
01/23/19	MADISON LAND USE APPLICATION	



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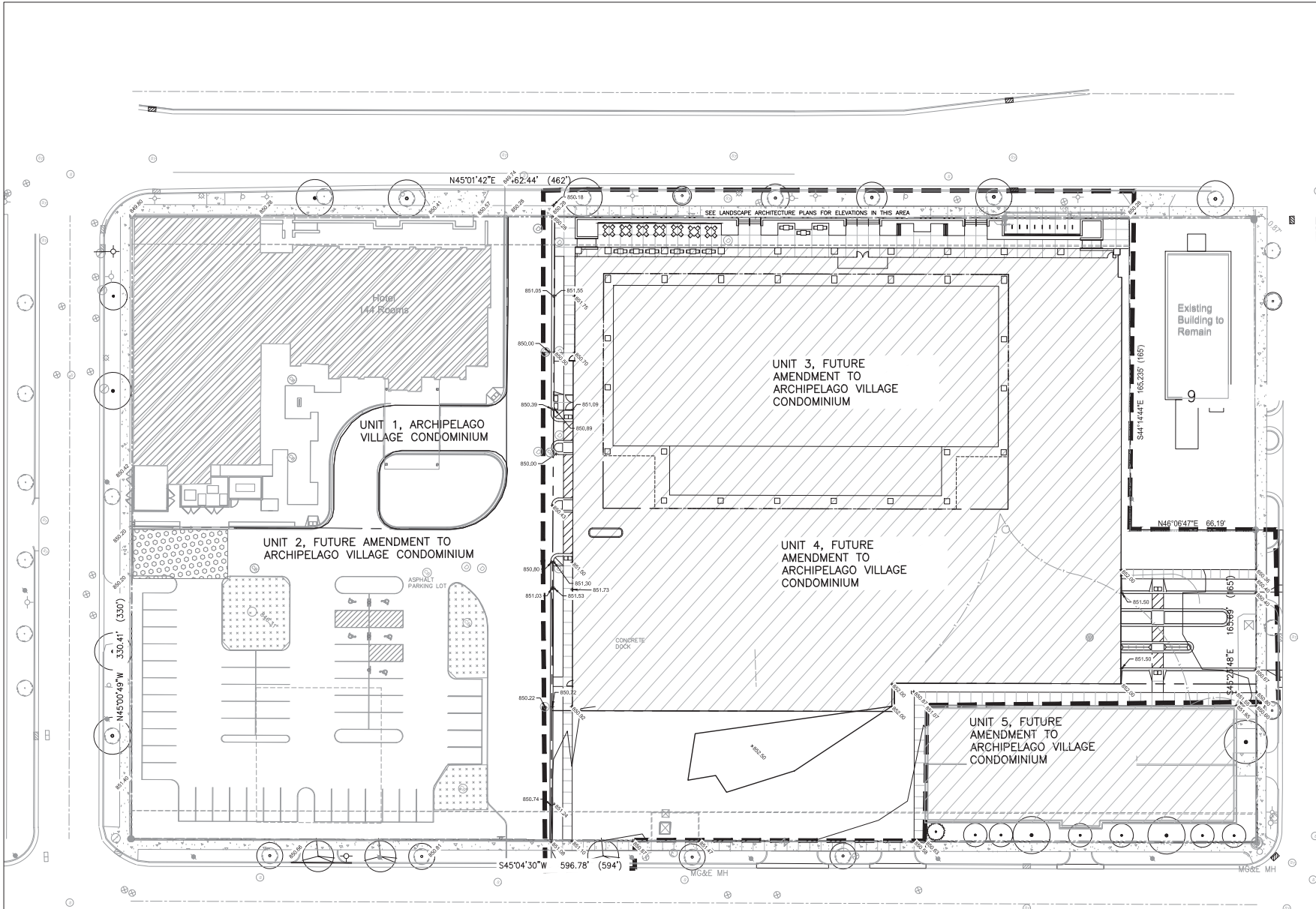
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**SITE FIRE
PROTECTION PLAN**

C103



Notes:

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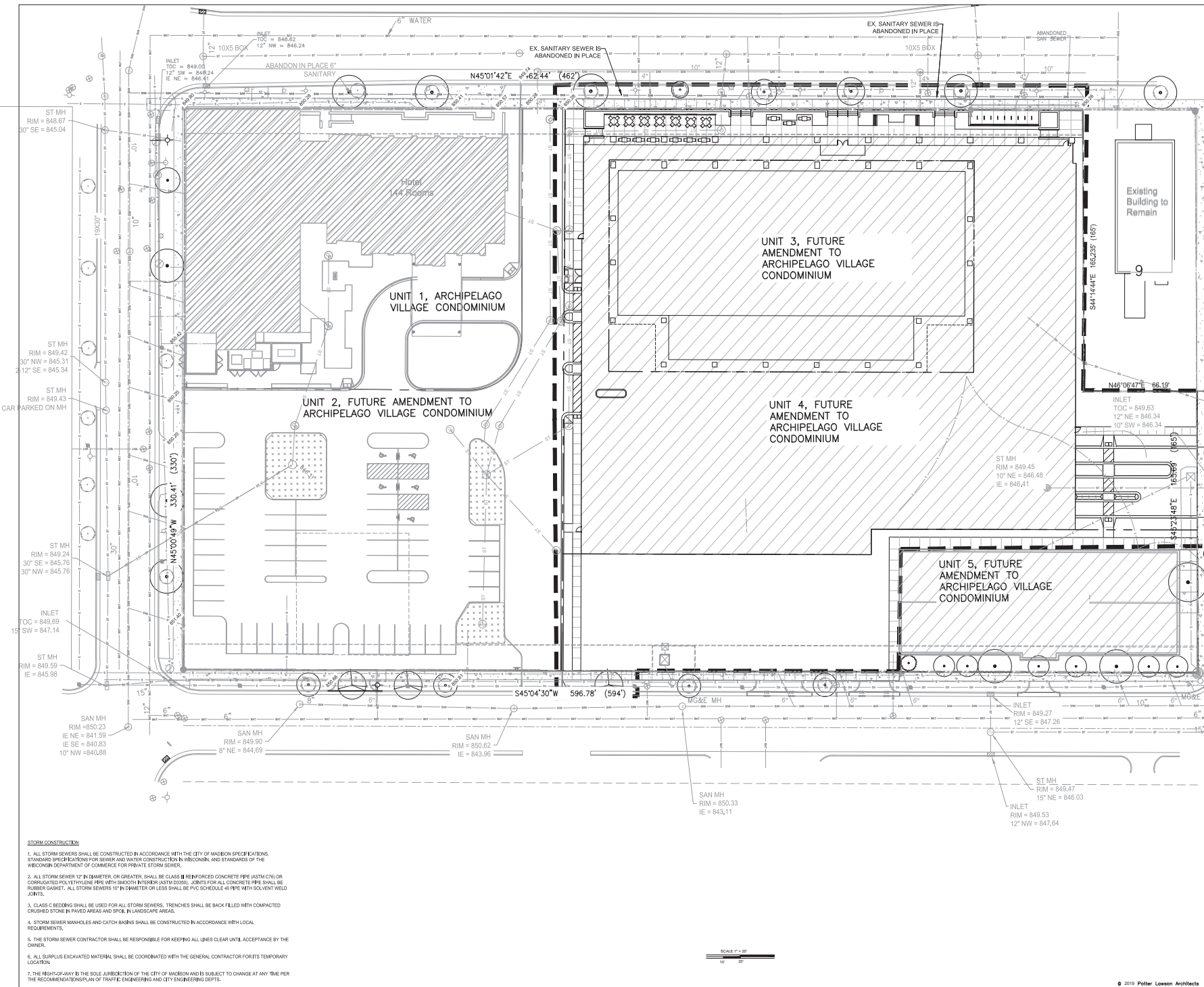
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- GRADING AND EROSION CONTROL**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE PROPOSED ROADS, PARKING AREAS, BUILDING PADS AND EROSION CONTROL DEVICES TO THE PROPOSED GRADE ELEVATIONS AND LOCATIONS SHOWN ON THE GRADING PLAN.
 2. THE CONTRACTOR SHALL STRIP AND REMOVE TOPSOIL AND ORGANIC SOILS FOUND WITHIN THE GRADING LIMITS IN ACCORDANCE WITH SECTION 605 OF THE STANDARD SPECIFICATIONS, GRADE LANDSCAPE AREAS LOW TO ALLOW FOR PLACEMENT OF TOPSOIL, SOD AND PLANTINGS BY LANDSCAPE CONTRACTOR PER THE LANDSCAPE SPECIFICATIONS.
 3. THE SUB GRADE FOR THE ROAD, PARKING AREAS, AND THE BUILDING PADS SHALL BE PREPARED IN ACCORDANCE WITH SECTION 207 OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2009 EDITION. COMPACTION OF THE SUB GRADE IN CUT SECTIONS SHALL BE IN ACCORDANCE WITH SECTION 207.2.3.3. USING MECHANICAL COMPACTION EQUIPMENT. OPERATION OF SPREADING AND HAULING EQUIPMENT WILL NOT BE CONSIDERED AS ADEQUATE COMPACTION.
 4. THE GRANULAR BASE COURSE SHALL BE PLACED ONLY ON SUB GRADE THAT HAS BEEN PROOF-ROLLED AND WITNESSED BY OWNER OR OWNERS REPRESENTATIVE.
 5. GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING PROPERTY CORNERS AND PERTINENT AREAS WITHIN ALL EASEMENTS.
 6. CONTRACTOR IS RESPONSIBLE TO INSTALL ALL EROSION CONTROL DEVICES SHOWN ON THE PLANS IN ACCORDANCE WITH THE WDMR BEST MANAGEMENT PRACTICES.
 7. ELEVATIONS SHOWN ARE FINISHED GROUND PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
 8. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATIONS/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.

SCALE 1" = 20'
10' 20'

Notes: _____



STORM CONSTRUCTION

1. ALL STORM SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MADISON SPECIFICATIONS, STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, AND STANDARDS OF THE WISCONSIN DEPARTMENT OF COMMERCE FOR PRIVATE STORM SEWER.
2. ALL STORM SEWER 12" IN DIAMETER, OR GREATER, SHALL BE CLASS II REINFORCED CONCRETE PIPE (ASTM C75) OR CORRUGATED POLYETHYLENE PIPE WITH SMOOTH INTERIOR (ASTM D3035). JOINTS FOR ALL CONCRETE PIPE SHALL BE RUBBER GASKET. ALL STORM SEWERS 12" IN DIAMETER OR LESS SHALL BE PVC SCHEDULE 40 PIPE WITH SOLVENT WELD JOINTS.
3. CLASS C BEDDING SHALL BE USED FOR ALL STORM SEWERS. TRENCHES SHALL BE BACK FILLED WITH COMPACTED COURSED STONE IN PAVED AREAS AND FILL IN LANDSCAPE AREAS.
4. STORM SEWER MANHOLES AND CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL REQUIREMENTS.
5. THE STORM SEWER CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ALL LINES CLEAR UNTIL ACCEPTANCE BY THE OWNER.
6. ALL SURPLUS EXCAVATED MATERIAL SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR FOR ITS TEMPORARY LOCATION.
7. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATIONS PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.

SCALE 1" = 20'

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SITE
UTILITY PLAN

Material	Plant	Quantity	Notes
Bluegrass Lawn			
Green Roof			
Hardwood Bark Mulch			
Stone Mulch			
Existing Tree			
Shovel-Cut Edge			

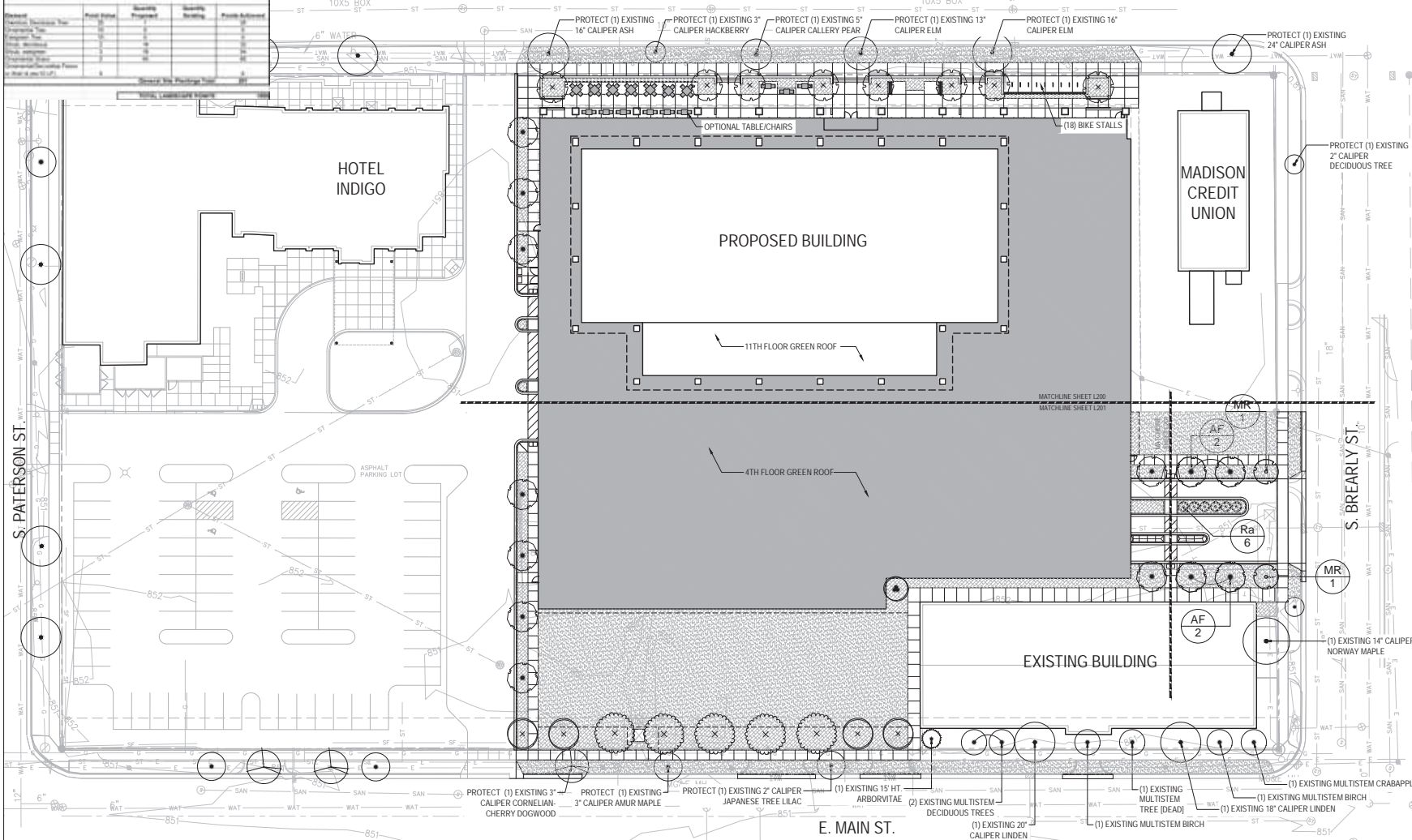
LEGEND

- BLUEGRASS LAWN
- GREEN ROOF
- HARDWOOD BARK MULCH PLANTING BED
- STONE MULCH
- EXISTING TREE
- SHOVEL-CUT EDGE

NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROTECT BENCHMARKS.
- ALL TREES SHOWN TO BE RETAINED WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED WITH TREE PROTECTION FENCING. ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO ANY SITE WORK. SEE SPECIFICATION 31 13 16.
- "SELECTIVE TREE AND SHRUB PROTECTION AND TRIMMING" FOR PROTECTION REQUIREMENTS.
- ALL EXISTING PLANT MATERIAL IS SHOWN AT EXISTING APPROXIMATED SIZE PER CITY OF MADISON STANDARDS.
- ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
- ALL LAWN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE RE-SEEDING AT NO COST TO OWNER.
- CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTENANCE OF PLANT MATERIAL - SEE SPECIFICATIONS FOR MORE INFORMATION.
- FORESTRY WILL ISSUE A REMOVAL PERMIT FOR STREET TREES.
- CONTRACTOR SHALL CONTACT CITY FORESTRY (BRAD HOFFMAN) AT LEAST ONE WEEK PRIOR TO PLANTING TO SCHEDULE INSPECTING THE NURSERY STOCK. REVIEW PLANTING SPECIFICATIONS AND INDICATE PLANTING LOCATIONS WITH THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5-FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5-FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (BRAD HOFFMAN) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST 72-HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY. TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.

E. WASHINGTON AVE.



1 OVERALL SITE RESTORATION PLAN
SCALE: 1" = 20' (AT 30"x42" FULL SIZE SHEET)

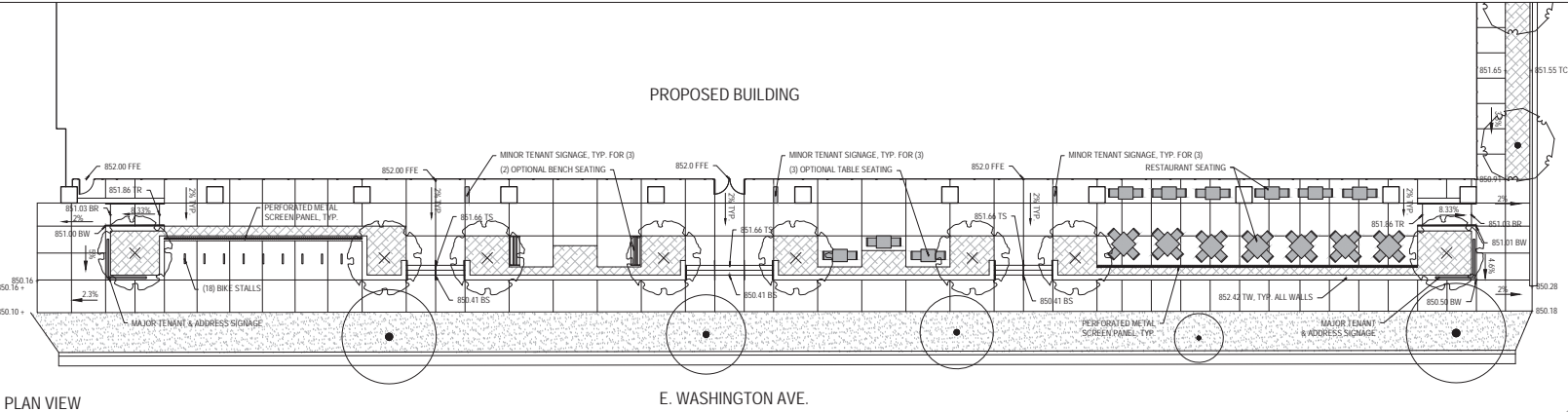


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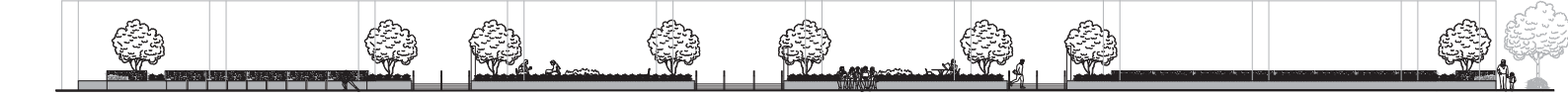
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OVERALL SITE RESTORATION PLAN
L100



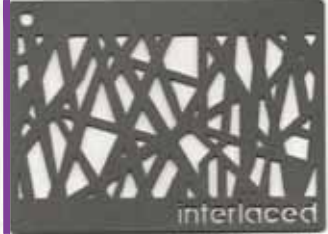
PLAN VIEW

E. WASHINGTON AVE.



ELEVATION VIEW

1 EAST WASHINGTON AVENUE TERRACE
SCALE: 1" = 10'-0" (AT 30"x42" FULL SIZE SHEET)



2 SIGNAGE OPTIONS & INSPIRATION // NOTE: IMAGES AND LOCATIONS ARE CONCEPTUAL, HAVE BEEN PROVIDED FOR INFORMATION ONLY, AND DO NOT CONSTITUTE A SIGNAGE PACKAGE SUBMITTAL
SCALE: N/A

Notes: _____

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929 E Washington Ave
Madison, Wisconsin

Project #: 2016.36.02

Date	Issuance/Revisions	Symbol
01/23/19	MADISON LAND USE APPLICATION	

EAST WASHINGTON
AVENUE TERRACE PLAN

L101

PLANT SCHEDULE PLANT SCHEDULE (NORTH)

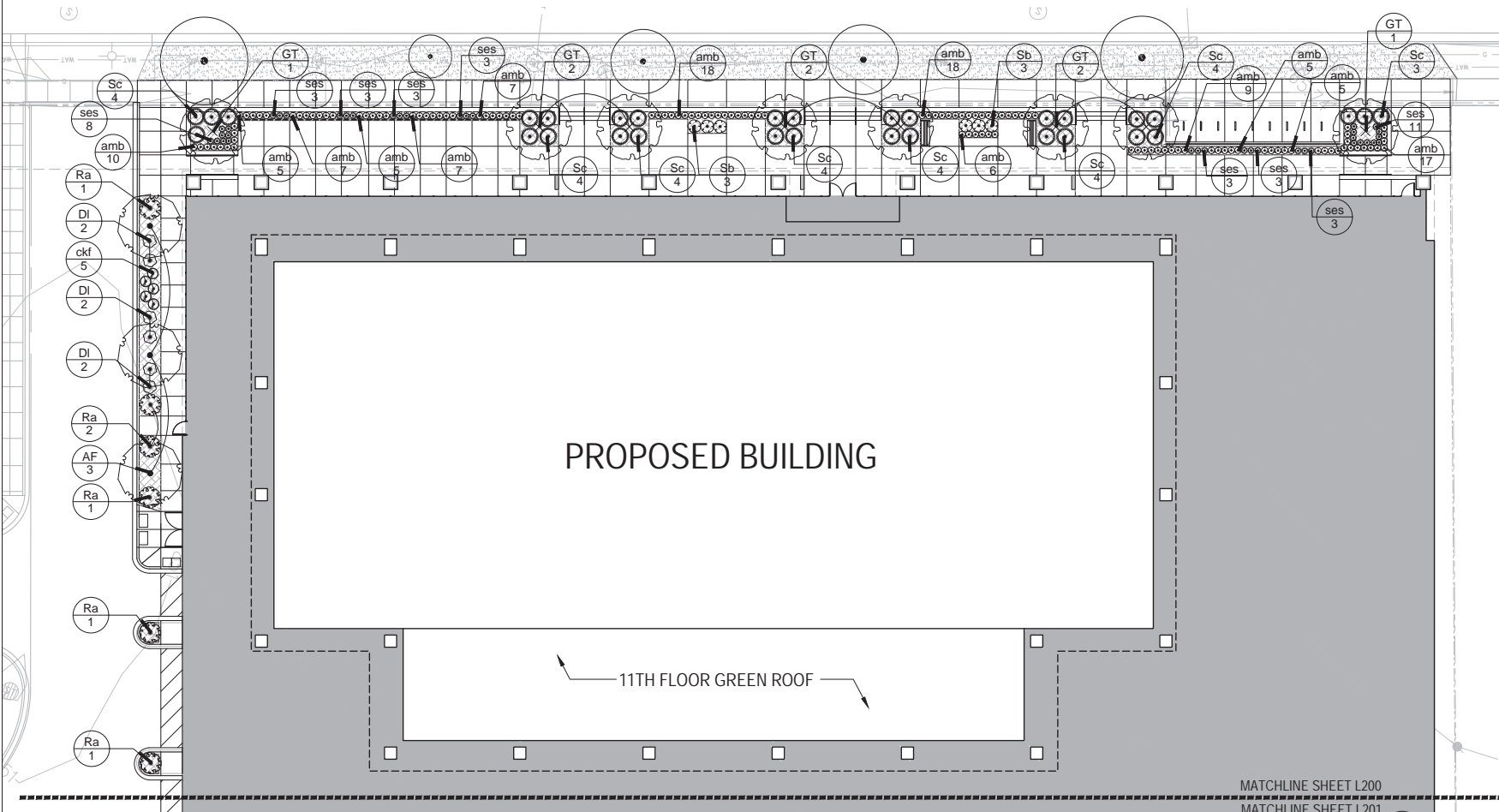
DECIDUOUS TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	HEIGHT	QTY
	AF	Acer x freemanii / Armstrong / Armstrong Freeman Maple	B & B	2.5' Cal		3
	GT	Gleditsia triacanthos / Drives / PP 21638 / Street Keeper Honey Locust	B & B	2.5' Cal		8
DECIDUOUS SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	NOTES	QTY
	DI	Diervilla lonicera / Kodak Black / Kodak Black Dwarf Bush Honeysuckle	3 gal	24" SPR. (MIN.)	Space 60" O.C.	6
	Ra	Rhus aromatica / Gro-Low / Gro-Low Fragrant Sumac	3 gal	24" SPR. (MIN.)		6
	Sb	Spirea betulifolia / Tor / Tor Birchleaf Spirea	3 gal	18" HT (MIN.)	MATCH	6
	Sc	Stephanandra incisa / Crispa / Cutleaf Stephanandra	3 gal	18" SP. (MIN.)	Space 48" o.c.	31
GRASSES	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	NOTES	QTY
	ckf	Calamagrostis x acutiflora / Karl Foerster / Feather Reed Grass	1 gal	CONT.		5
	ses	Setaria autumnalis / Autumn Moor Grass	1 qt	CONT.	Space 18" O.C.	40
PERENNIALS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	NOTES	QTY
	amb	Amsonia tabernaemontana / Blue Ice / Blue Ice Star Flower	1 qt	CONT.	Space 18" O.C.	119

LEGEND

- BLUEGRASS LAWN
- GREEN ROOF
- HARDWOOD BARK MULCH PLANTING BED
- STONE MULCH
- EXISTING TREE
- SHOVEL-CUT EDGE

NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROTECT BENCHMARKS.
- ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
- ALL LAWN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE RE-SEED AT NO COST TO OWNER.
- CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTENANCE OF PLANT MATERIAL - SEE SPECIFICATIONS FOR MORE INFORMATION.



1 PLANTING & LANDSCAPE RESTORATION PLAN (NORTH)
SCALE: 1" = 10' 0" (AT 30"x42" FULL SIZE SHEET)



Notes:

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PLANTING & LANDSCAPE RESTORATION PLAN (NORTH)







L200

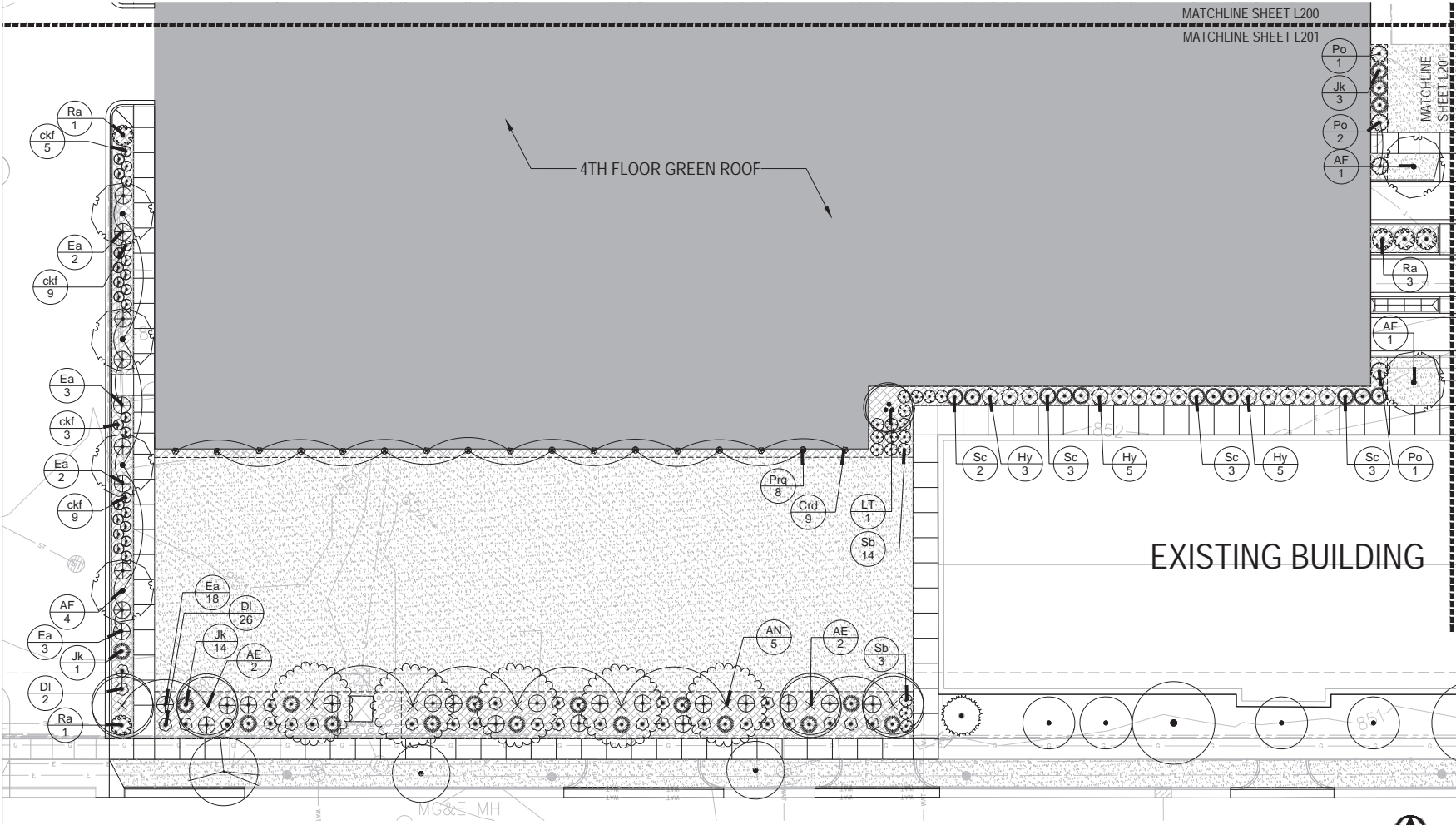
PLANT SCHEDULE PLANT SCHEDULE (SOUTH)

DECIDUOUS TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	HEIGHT	QTY
	AN	Acer truncatum 'Norwegian Sunset' / Maple	B & B	2.5' Cal		5
	AF	Acer x freemanii 'Armstrong' / Armstrong Freeman Maple	B & B	2.5' Cal		10
	LT	Liriodendron tulipifera 'Arnold' / Arnold Tulip Poplar	B & B	2' Cal		1
ORNAMENTAL TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	HEIGHT	QTY
	AE	Aesculus x carnea 'Fort McNair' / Red Horsechestnut	B & B	2' Cal		4
	MR	Malus x 'Red Jewel' / Crab Apple	B & B	2' Cal	SINGLE, STRAIGHT LEADER	2
DECIDUOUS SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	NOTES	QTY
	DI	Diervilla lonicera 'Kodiak Black' / Kodiak Black Dwarf Bush Honeysuckle	3 gal	24" SPR. (MIN)	Space 60" O.C.	28
	Ea	Euronymus alatus 'Rudy Haag' / Rudy Haag Burning Bush	3 gal	24" HT (MIN)	Space 60" O.C.	28
	Hy	Hydrangea arborescens 'Annabelle' / Annabelle Smooth Hydrangea	3 gal	30" HT (MIN)	Space 60" O.C.	13
	Po	Physocarpus opulifolius 'Little Devil' TM / Dwarf Ninebark	3 gal	18" HT. MIN.	Space 48" o.c.	4

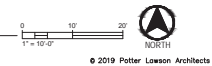
	Ra	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	3 gal	24" SPR. (MIN)		11
	Sb	Spiraea betulifolia 'Tor' / Tor Birtleaf Spirea	3 gal	18" HT (MIN)	MATCH	17
	Sc	Stephanandra indica 'Clipsa' / Cutleaf Stephanandra	3 gal	18" SP. (MIN)	Space 48" o.c.	11
EVERGREEN SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	NOTES	QTY
	JK	Juniperus chinensis 'Kailiys Compact' / Kailay Compact Pitzer Juniper	3 gal	18" SP. (MIN)	Space 60" O.C.	18
GRASSES	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	NOTES	QTY
	cd	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	CONT.		26
VINES	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	NOTES	QTY
	Crd	Campsis radicans / Trumpet Creeper	1 gal	CONT.	36" HT. (MIN)	9
	Prg	Parthenocissus quinquefolia / Virginia Creeper	1 gal	CONT.	36" HT. (MIN)	8

LEGEND

-  BLUEGRASS LAWN
-  GREEN ROOF
-  HARDWOOD BARK MULCH PLANTING BED
-  STONE MULCH
-  EXISTING TREE
-  SHOVEL-CUT EDGE



1 PLANTING & LANDSCAPE RESTORATION PLAN (SOUTH)
SCALE: 1" = 10'-0" (AT 30"x42" FULL SIZE SHEET)



Notes:

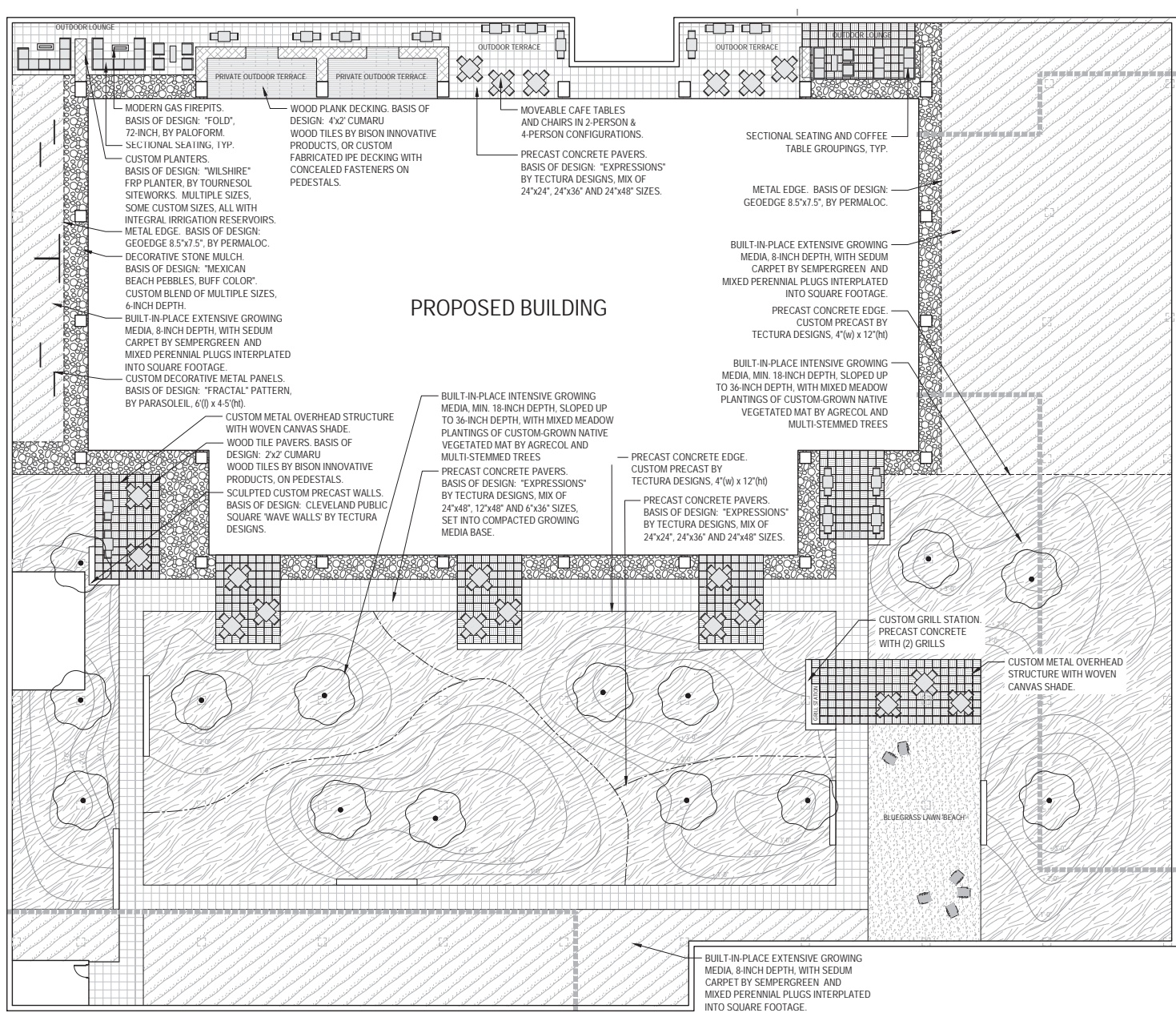
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01/23/19	MADISON LAND USE APPLICATION	

PLANTING & LANDSCAPE RESTORATION PLAN (SOUTH)

L201



- ### LEGEND
- SEDUM CARPET OVER 6-8" OF EXTENSIVE GROWING MEDIA
 - BLUEGRASS LAWN
 - STONE MULCH
 - MEADOW OVER 24" OF INTENSIVE GROWING MEDIA
 - PROPOSED TREE
 - L-SHAPE ALUMINUM EDGE
 - RETAINING / SEAT WALL, 1.5' HT. TYP.
 - PHASE 2 BUILDING EXPANSION LIMITS
 - STRUCTURAL BUILDING COLUMN
 - OVERHEAD SHADE STRUCTURE
 - POTENTIAL WALKING PATH THROUGH MEADOW

1 4TH FLOOR GREEN ROOF PLAN
SCALE: 1" = 10'-0" (AT 30"x42" FULL SIZE SHEET)

Notes:



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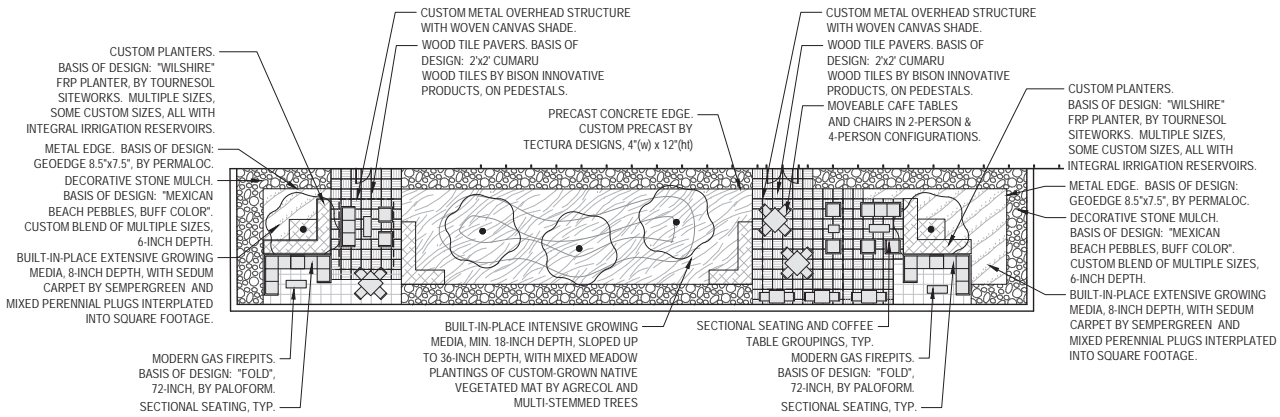
Date	Issuance/Revisions	Symbol
01/23/19	MADISON LAND USE APPLICATION	

4TH FLOOR GREEN
ROOF PLAN
L300

Notes: _____

LEGEND

- SEDUM CARPET OVER 6-8" OF EXTENSIVE GROWING MEDIA
- BLUEGRASS LAWN
- STONE MULCH
- MEADOW OVER 24" OF INTENSIVE GROWING MEDIA
- PROPOSED TREE
- L-SHAPE ALUMINUM EDGE
- RETAINING / SEAT WALL, 1.5' HT. TYP.
- PHASE 2 BUILDING EXPANSION LIMITS
- STRUCTURAL BUILDING COLUMN
- OVERHEAD SHADE STRUCTURE



1 11TH FLOOR GREEN ROOF PLAN
SCALE: 1" = 10'-0" (AT 30"x42" FULL SIZE SHEET)



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Project #: 2016.36.02

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01/23/19	MADISON LAND USE APPLICATION	

11TH FLOOR GREEN ROOF PLAN

L301



D1. Demolition Context Aerial
Archipelago - Madison
January 23, 2019

924 East Main St.

Foundation: Concrete foundation.

Structure: Concrete masonry unit bearing walls and piers with a steel barrel vault roof truss.

Roof: Curved roof with a rubber roofing membrane.

Façade: Brick façade.

Building Description: The building is one story and composed of a brick facades.



D2. Demolition Context Images

Archipelago - Madison

January 23, 2019

Potter
Lawson

Success by Design

945 East Washington Ave.

Foundation: Concrete foundation.

Structure: Concrete masonry unit bearing walls with a steel roof truss.

Roof: Curved roof with a rubber roofing membrane.

Façade: Brick façade.

Building Description: The building is one story and composed of a brick facades.

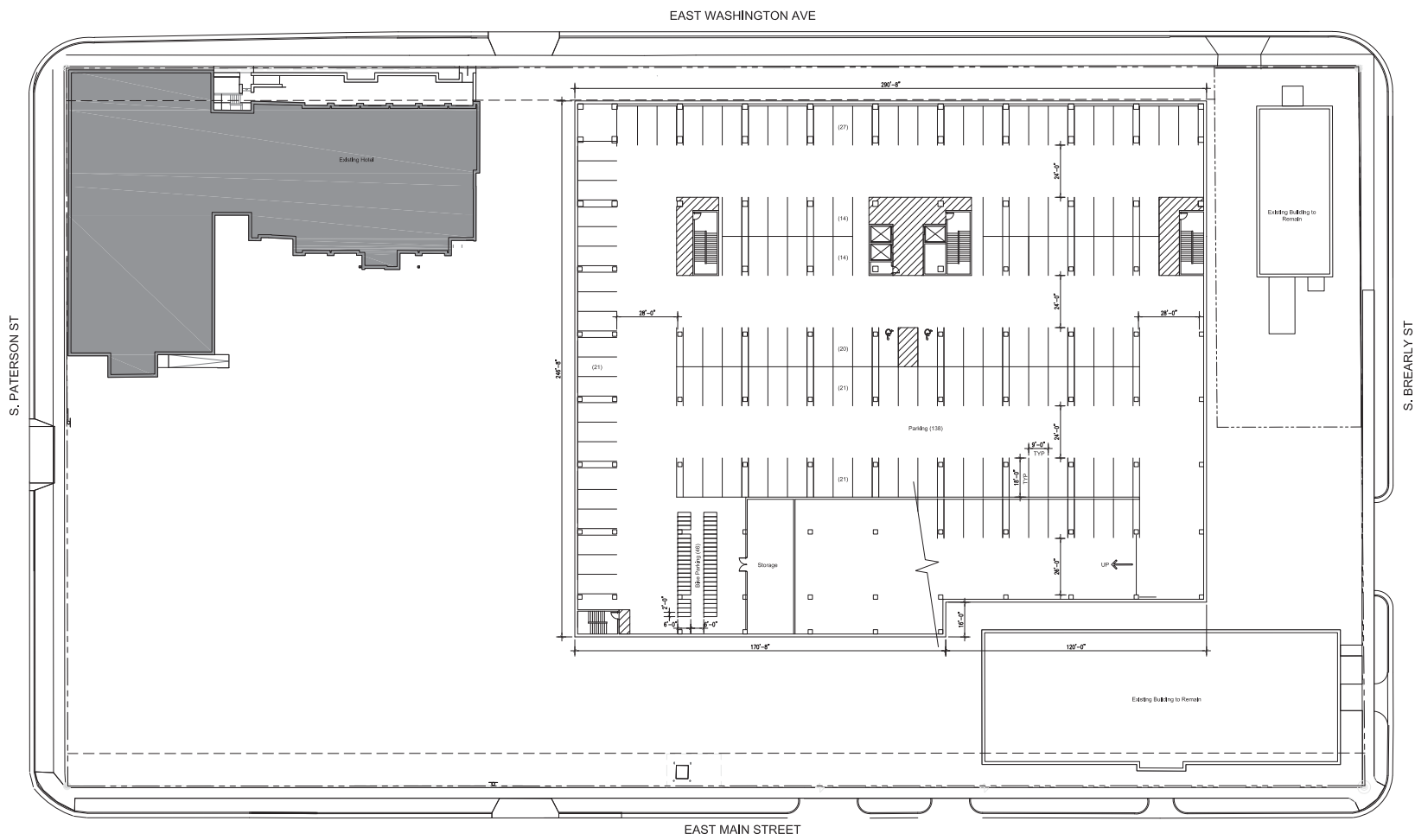


D3. Demolition Context Images

Archipelago - Madison

January 23, 2019

Notes: _____



Archipelago
929 E Washington Ave
Madison, Wisconsin

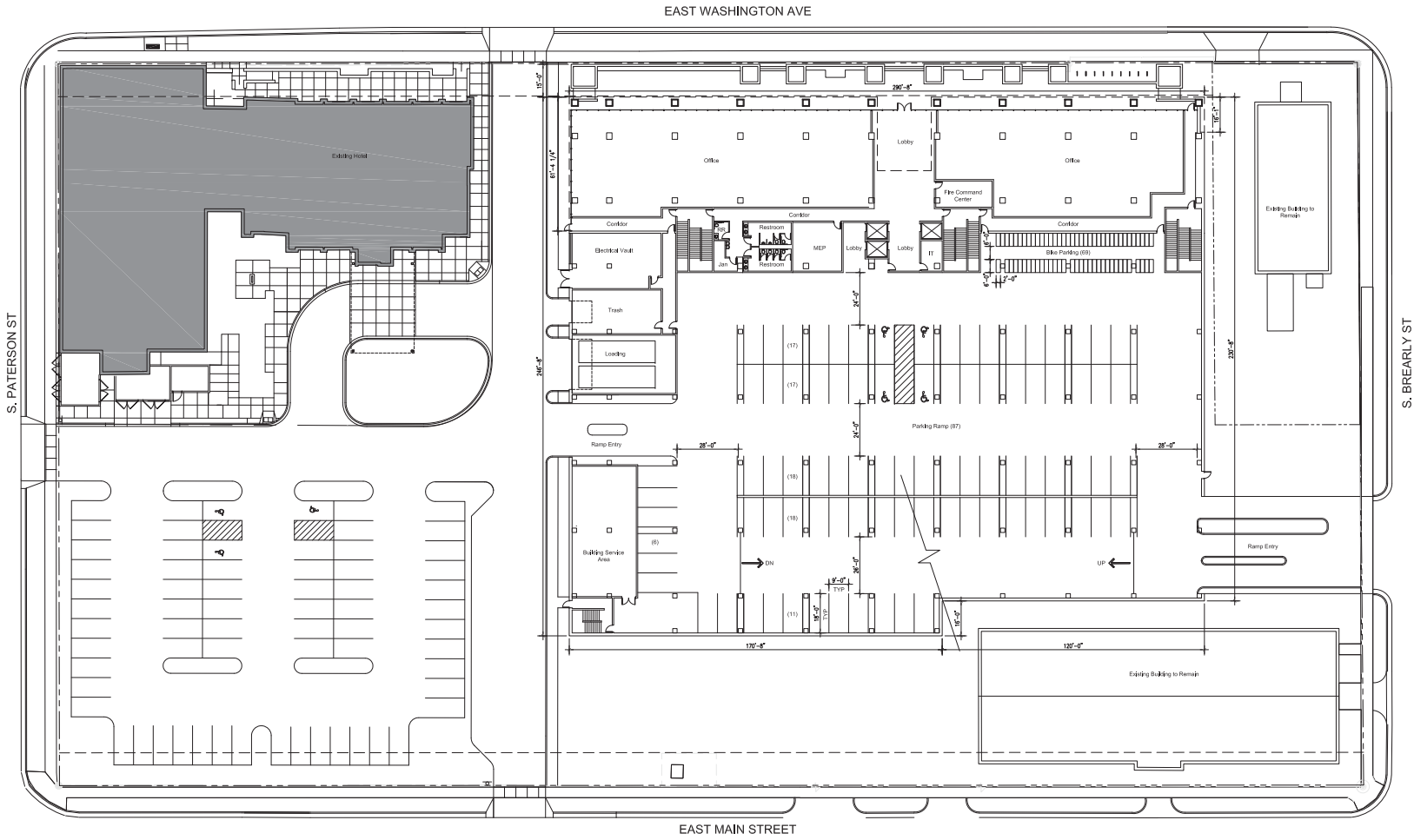
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01/23/19	MADISON LAND USE APPLICATION	

Lower Level Plan

01 Lower Level Plan
A101 1"=20'

Notes: _____



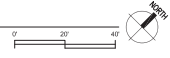
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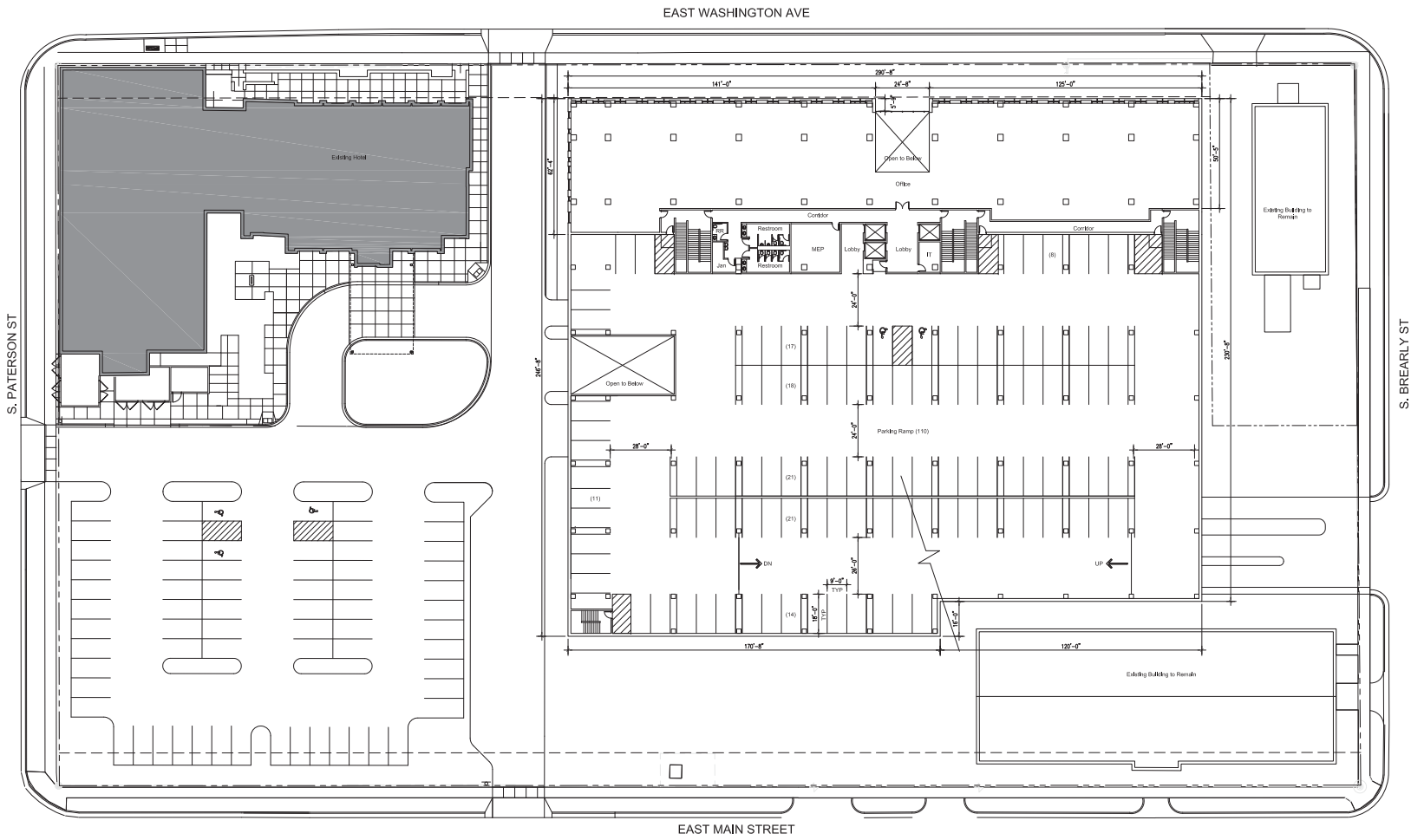
Date	Issuance/Revisions	Symbol
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First Floor Plan

01 First Floor Plan
A102 1"=32'



Notes: _____



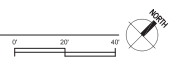
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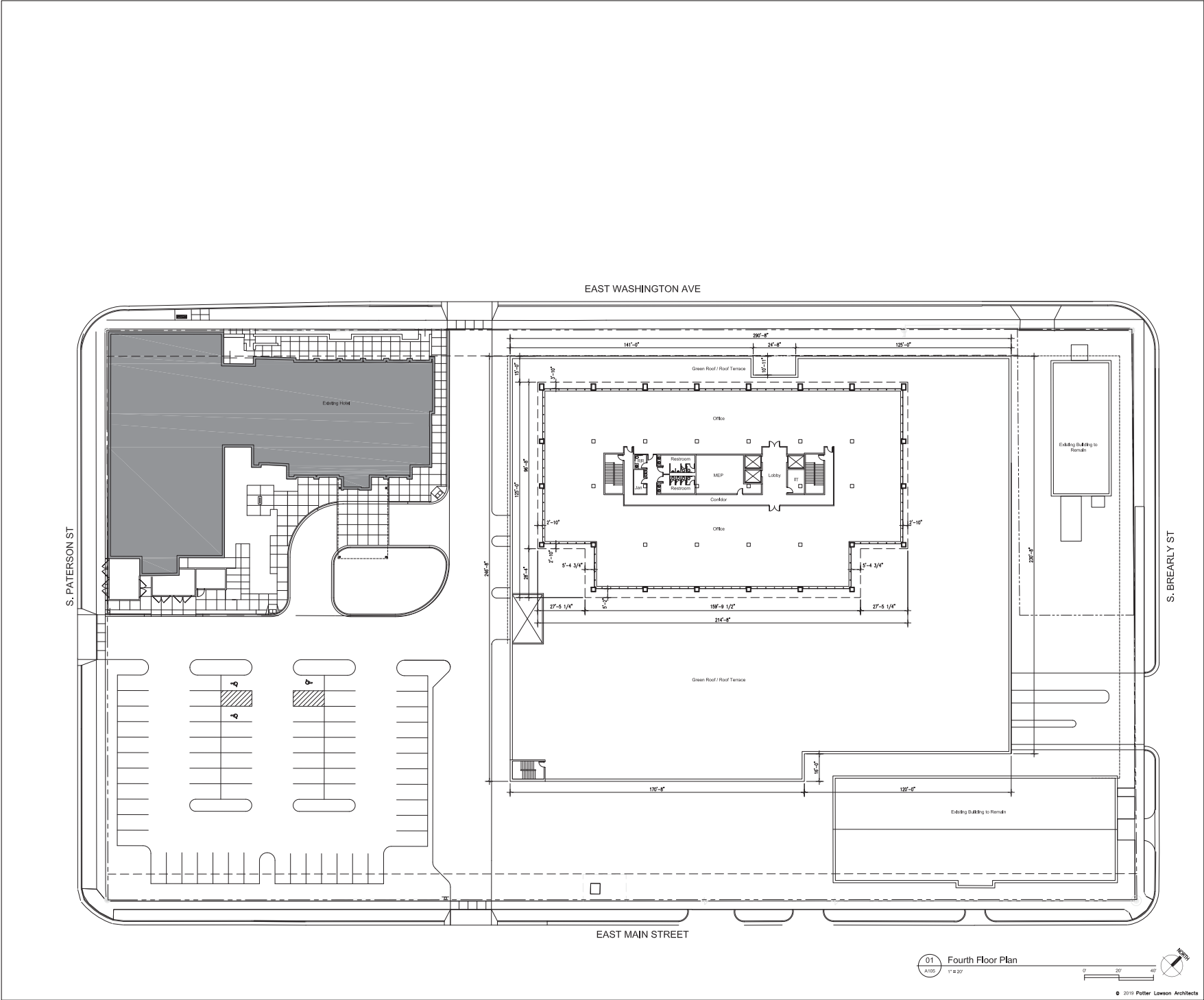
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Second Floor Plan

01 Second Floor Plan
A103 1"=8'-0"



Notes:



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Date	Issuance/Revisions	Symbol
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Fourth Floor Plan



Notes: _____

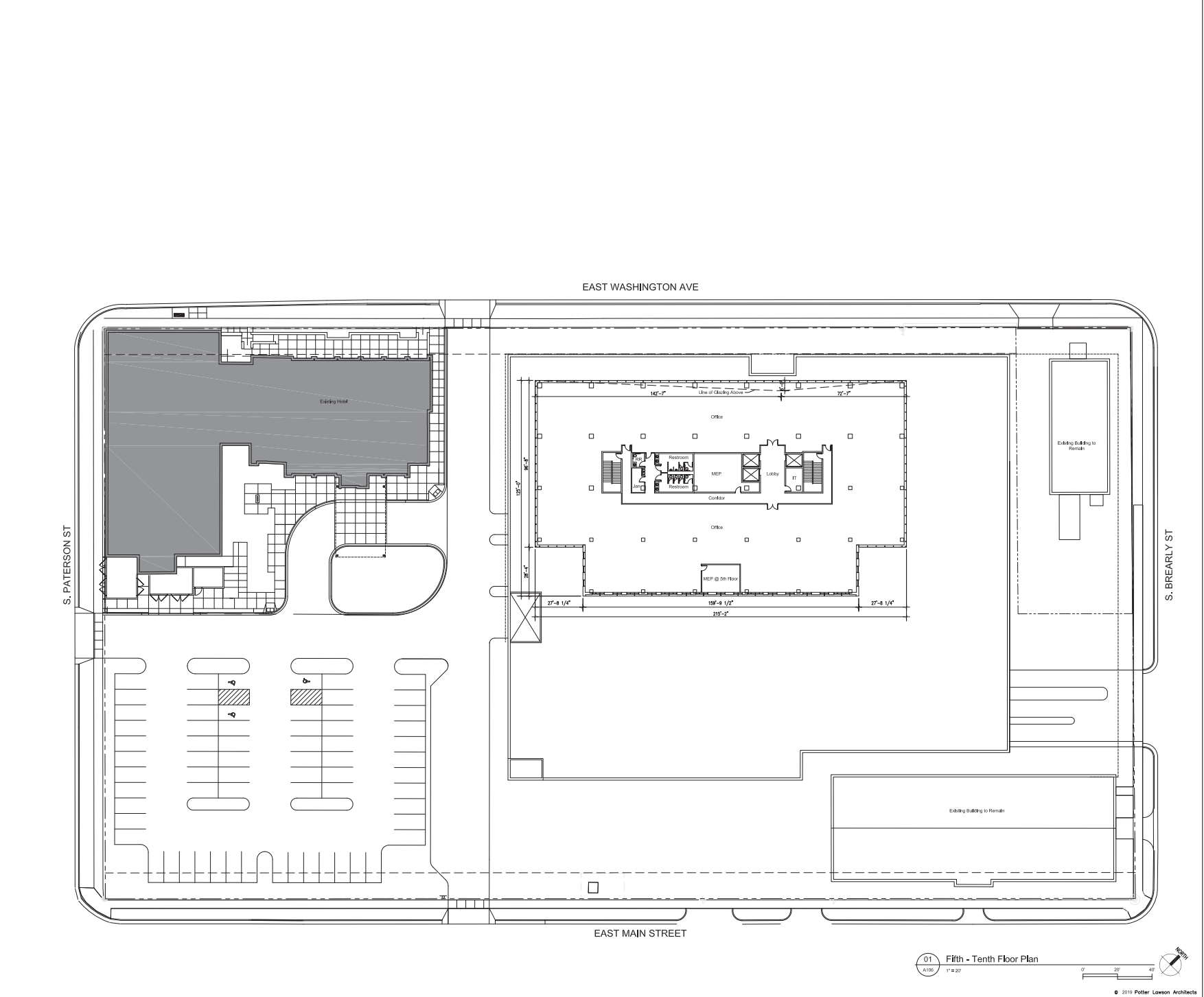
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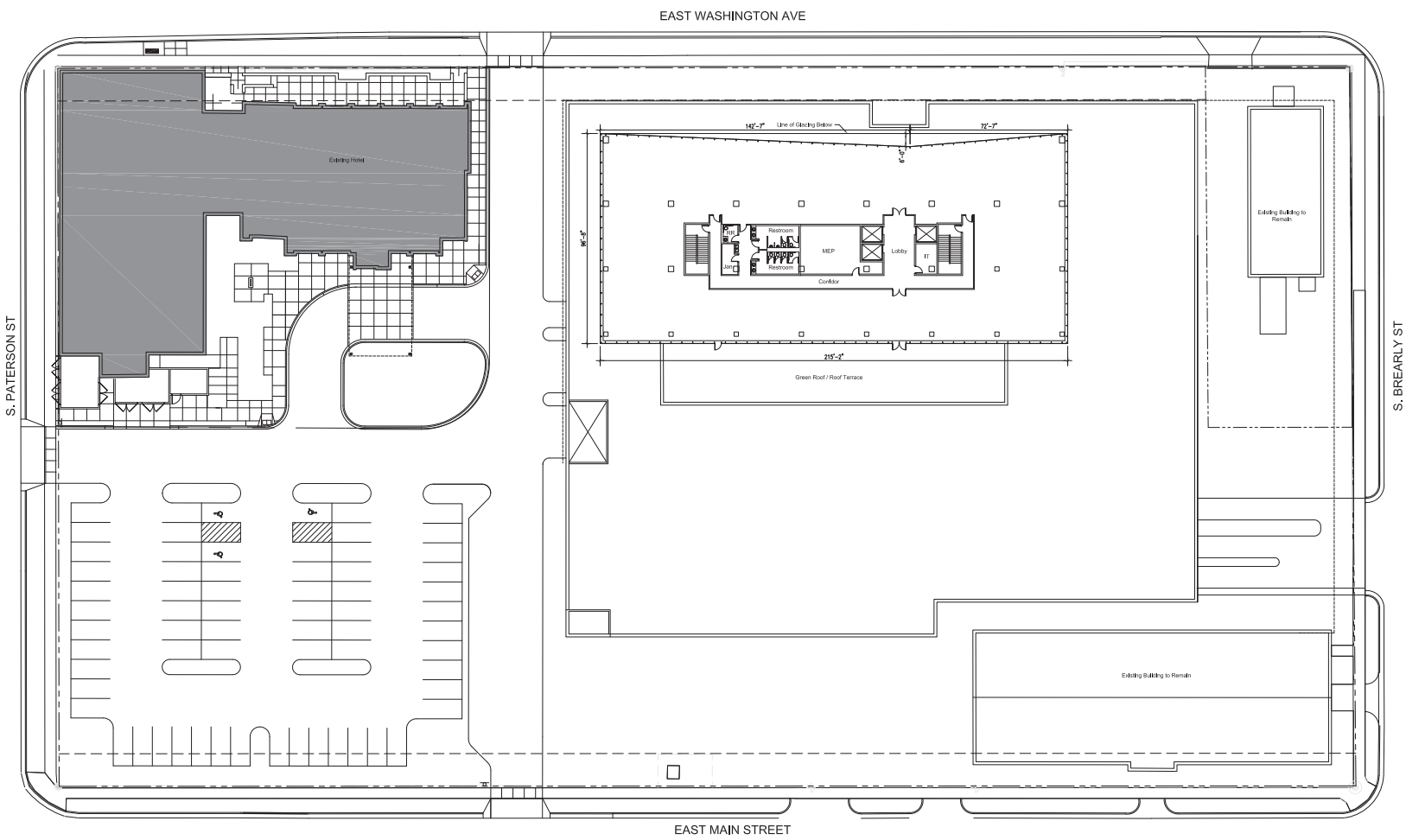
**Fifth - Tenth
Floor Plan**

A106



01 Fifth - Tenth Floor Plan
A106 1"=20'

Notes: _____



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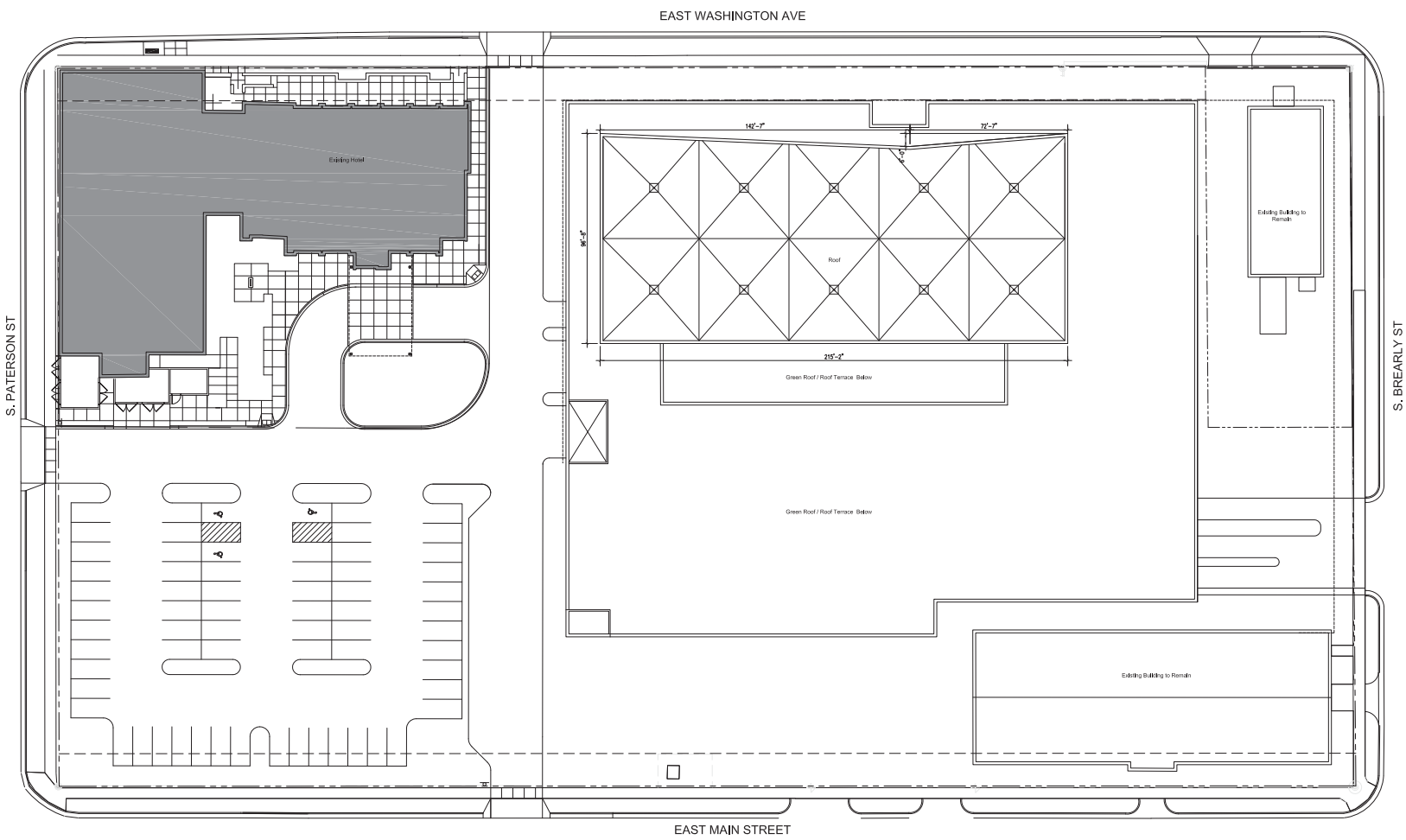
Project #: 2016.36.02

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01/23/19	MADISON LAND USE APPLICATION	

Eleventh Floor Plan

01 Eleventh Floor Plan
A107 1"=20'

Notes: _____



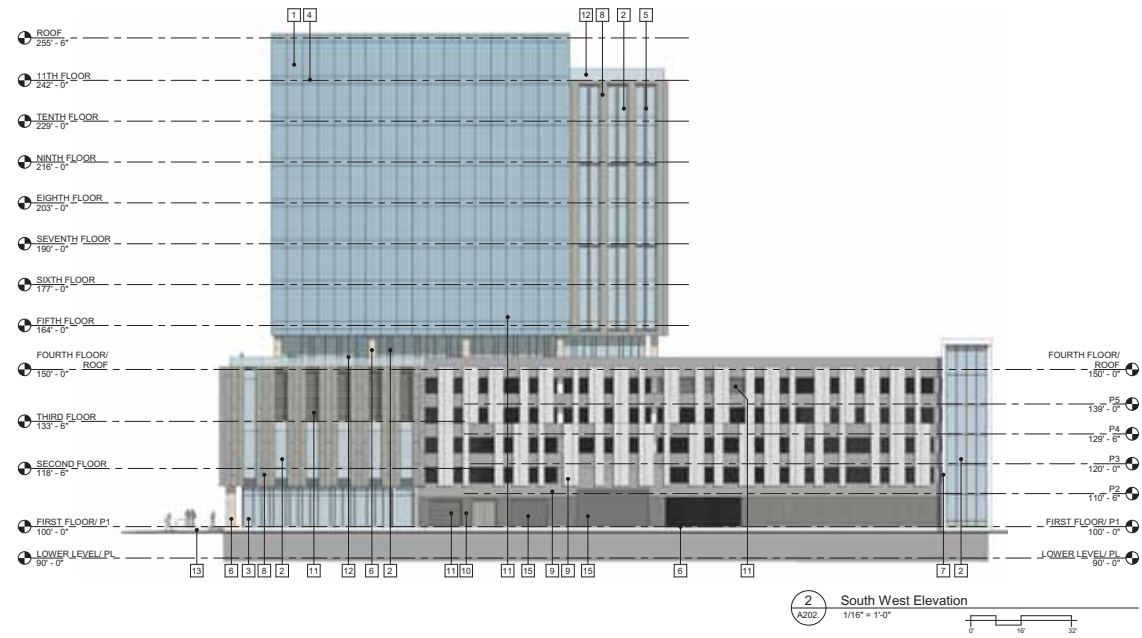
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Project #: 2016.36.02

Date	Issuance/Revisions	Symbol
01/23/19	MADISON LAND USE APPLICATION	

Roof Plan

01 Roof Plan
A10 1"=20'



- Notes:
- ELEVATION KEY NOTES**
- 1 SSG ANODIZED ALUMINUM CURTAIN WALL SYSTEM
 - 2 ANODIZED ALUMINUM CURTAIN WALL SYSTEM
 - 3 ANODIZED ALUMINUM STOREFRONT SYSTEM
 - 4 SPANDREL GLAZING
 - 5 EXTRUDED ANODIZED ALUMINUM MILLION CAP
 - 6 STONE VENEER
 - 7 METAL PANEL
 - 8 STANDING SEAM METAL PANEL
 - 9 PRECAST CONCRETE WALL PANEL
 - 10 BURNISHED BLOCK
 - 11 PAINTED MECHANICAL LOUVER
 - 12 GLASS HANDRAIL
 - 13 RUBBED CONCRETE WALL W PLANTER
 - 14 GREEN SCREEN ON STAINLESS STEEL FRAME
 - 15 OVERHEAD DOOR
 - 16 RAMP ENTRY

PRELIMINARY
NOT FOR CONSTRUCTION

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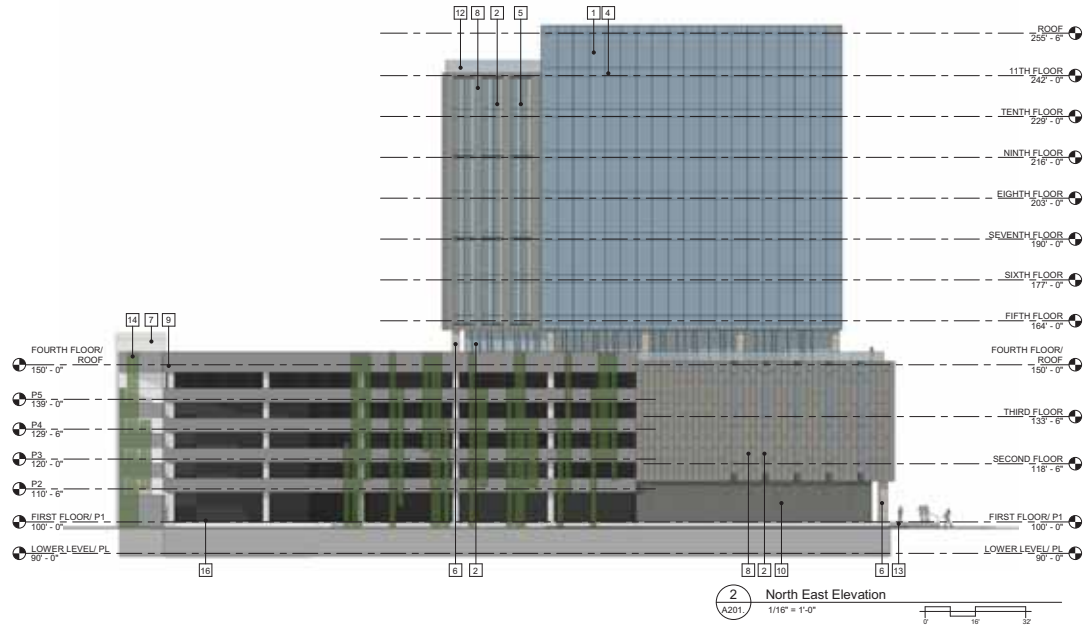
2016.36.02

Date	Issued/Revised	Application	System
02/23/19		WISCONSIN LAND USE APPLICATION	

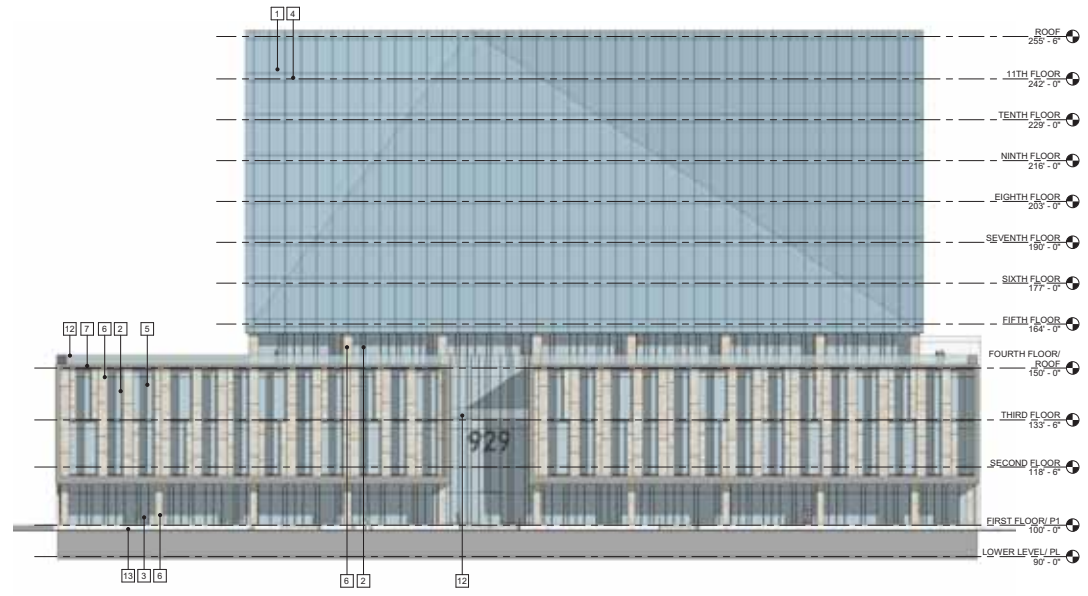


**BUILDING
ELEVATIONS**

A202.



2 North East Elevation
A201 1/16" = 1'-0"



1 North West Elevation
A201 1/16" = 1'-0"

Notes:

- ELEVATION KEY NOTES**
- 1 SISO ANODIZED ALUMINUM CURTAIN WALL SYSTEM
 - 2 ANODIZED ALUMINUM CURTAIN WALL SYSTEM
 - 3 ANODIZED ALUMINUM STOREFRONT SYSTEM
 - 4 SPANDREL GLAZING
 - 5 EXTRUDED ANODIZED ALUMINUM MULLION CAP
 - 6 STONE VENEER
 - 7 METAL PANEL
 - 8 STANDING BEAM METAL PANEL
 - 9 PRECAST CONCRETE WALL PANEL
 - 10 BURNISHED BLOCK
 - 11 PAINTED MECHANICAL LOUVER
 - 12 GLASS HANDRAIL
 - 13 RUBBED CONCRETE WALL W/ PLANTER
 - 14 GREEN SCREEN ON STAINLESS STEEL FRAME
 - 15 OVERHEAD DOOR
 - 16 RAMP ENTRY

Archipelago

929 E Washington Ave
Madison, Wisconsin

2016.36.02

Date	Issued/Revised	By	Checked
02/23/19	ISSUED FOR PERMITS APPLICATION		

**BUILDING
ELEVATIONS**

A201.

Notes:

LIGHTING PLAN LEGEND

CONTROL LEGEND	
TYPE	SUBSTITUTED SUSPENSION POLE
CONTROL	CIRCUITRY/CONTROL OR LOW-VOLTAGE RELAY/ZONE
POWER FR.	HOLLOW CIRCLE - NORMAL POWER
	SOLID CIRCLE - EMERGENCY POWER
	LOCATION OF CIRCLE INDICATES POWER ENTRY POINT TO THE LUMINAIRE
LIGHTING PLAN LEGEND	
□	WALL MOUNTED LUMINAIRE MOUNTING LOCATOR SYMBOL
—	CONCEALED LINEAR LIGHT SOURCE
○	RECESSED MOUNTED LUMINAIRE MOUNTING LOCATOR SYMBOL

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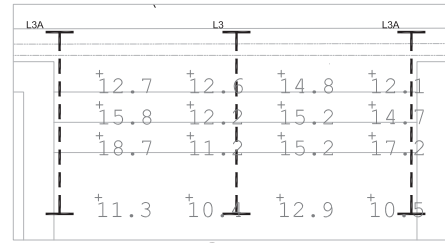
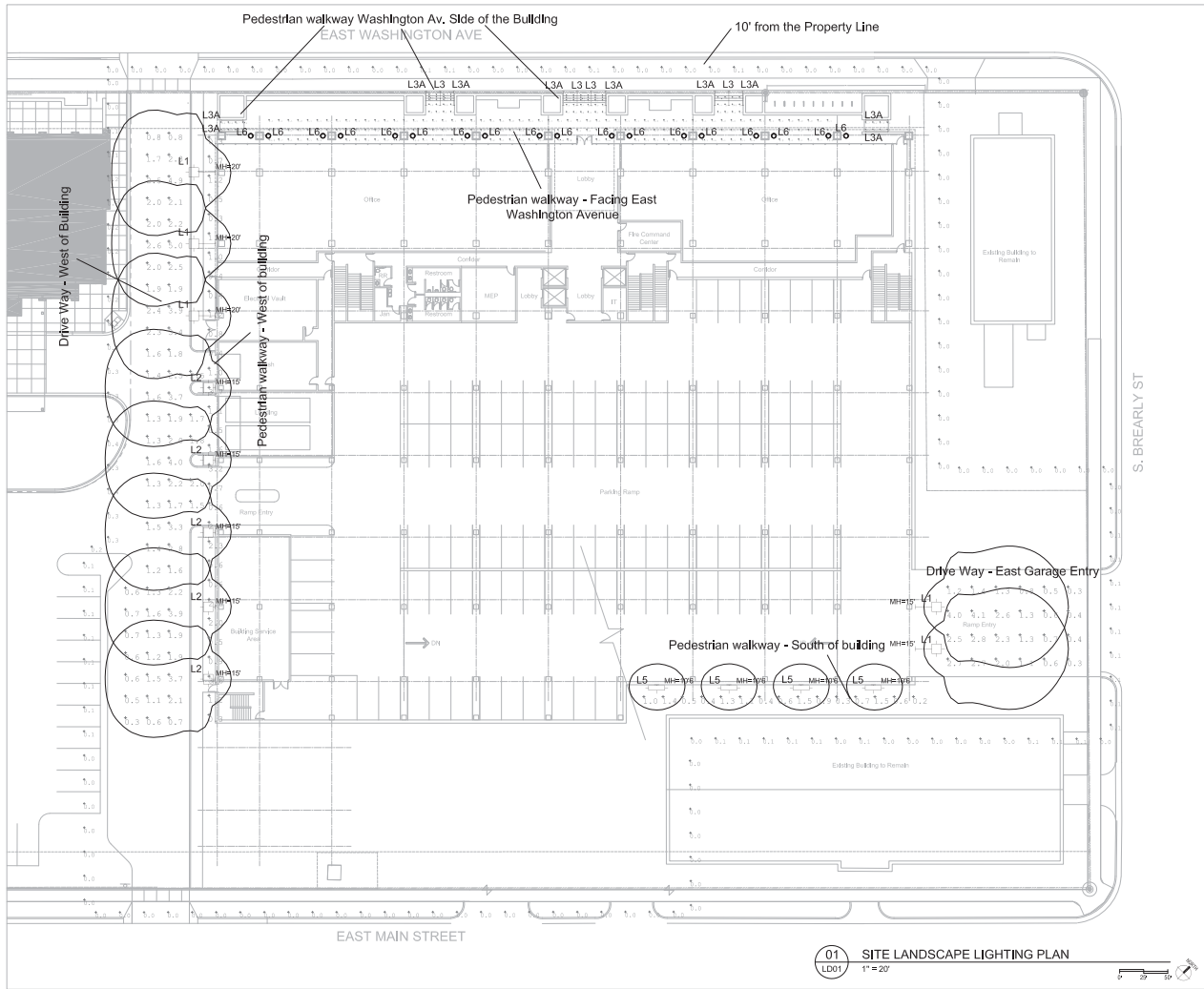
Project #: 2016.36.02

Date: 01/23/19

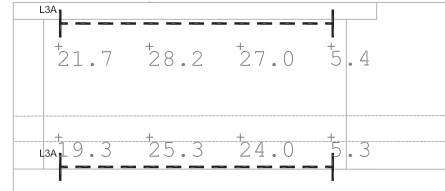
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SITE LANDSCAPE LIGHTING PLAN

LD01



02 TYPICAL STAIR LIGHTING PLAN
LD01 Not to Scale



03 TYPICAL RAMP LIGHTING PLAN
LD01 Not to Scale

01 SITE LANDSCAPE LIGHTING PLAN
LD01 1" = 20'

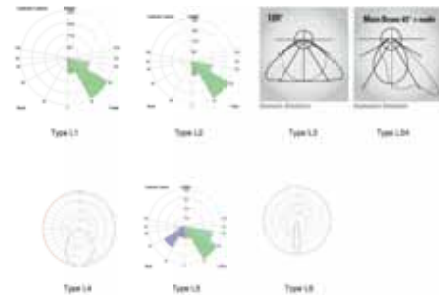
Luminaire Schedule

Luminaire Manufacturer and Luminaire Type	Construction Type	Detailed Luminaire Description	Optics (Beam Distribution, Reflector, Lens, Shielding)	Finish	Manufacturer and Catalog Number Reference	Manufacturer's Technical Literature (Photometric Data Tables)	Ford Luminaire Weight and Luminaire Watt	Control Gear Description	Installation Notes
405	Recessed	Full Cut-Off Designator Adjustable Flood Headlight with 100° Beam Spread and Housing Luminaire with Full Cut-Off Head Housing. Housing and Housing Mounting Capable from Head Mount. Adjustable Luminaire Dimensions: 12.0" H x 11.0" W x 11.0" D	Full Cut-Off Beam with 100° Beam Spread	White Powder Coat	405 Series Luminaire	405 Series Luminaire	12.0 lbs. (11.0 lbs. without control gear)	120V/170W Integrated Electronic Driver Luminaire with 120V/170W LED Driver and 120V/170W LED Driver	Mount on West Facade of Building and 1 on East Facade of Building. 10' Above Finished Grade.
406	Recessed	Full Cut-Off Designator Adjustable Flood Headlight with 100° Beam Spread and Housing Luminaire with Full Cut-Off Head Housing. Housing and Housing Mounting Capable from Head Mount. Adjustable Luminaire Dimensions: 12.0" H x 11.0" W x 11.0" D	Full Cut-Off Beam with 100° Beam Spread	White Powder Coat	406 Series Luminaire	406 Series Luminaire	12.0 lbs. (11.0 lbs. without control gear)	120V/170W Integrated Electronic Driver Luminaire with 120V/170W LED Driver and 120V/170W LED Driver	Mount on West Facade of Building and 1 on East Facade of Building. 10' Above Finished Grade.
407	Recessed	Full Cut-Off Designator Adjustable Flood Headlight with 100° Beam Spread and Housing Luminaire with Full Cut-Off Head Housing. Housing and Housing Mounting Capable from Head Mount. Adjustable Luminaire Dimensions: 12.0" H x 11.0" W x 11.0" D	Full Cut-Off Beam with 100° Beam Spread	White Powder Coat	407 Series Luminaire	407 Series Luminaire	12.0 lbs. (11.0 lbs. without control gear)	120V/170W Integrated Electronic Driver Luminaire with 120V/170W LED Driver and 120V/170W LED Driver	Mount on West Facade of Building and 1 on East Facade of Building. 10' Above Finished Grade.
408	Recessed	Full Cut-Off Designator Adjustable Flood Headlight with 100° Beam Spread and Housing Luminaire with Full Cut-Off Head Housing. Housing and Housing Mounting Capable from Head Mount. Adjustable Luminaire Dimensions: 12.0" H x 11.0" W x 11.0" D	Full Cut-Off Beam with 100° Beam Spread	White Powder Coat	408 Series Luminaire	408 Series Luminaire	12.0 lbs. (11.0 lbs. without control gear)	120V/170W Integrated Electronic Driver Luminaire with 120V/170W LED Driver and 120V/170W LED Driver	Mount on West Facade of Building and 1 on East Facade of Building. 10' Above Finished Grade.
409	Recessed	Full Cut-Off Designator Adjustable Flood Headlight with 100° Beam Spread and Housing Luminaire with Full Cut-Off Head Housing. Housing and Housing Mounting Capable from Head Mount. Adjustable Luminaire Dimensions: 12.0" H x 11.0" W x 11.0" D	Full Cut-Off Beam with 100° Beam Spread	White Powder Coat	409 Series Luminaire	409 Series Luminaire	12.0 lbs. (11.0 lbs. without control gear)	120V/170W Integrated Electronic Driver Luminaire with 120V/170W LED Driver and 120V/170W LED Driver	Mount on West Facade of Building and 1 on East Facade of Building. 10' Above Finished Grade.
410	Recessed	Full Cut-Off Designator Adjustable Flood Headlight with 100° Beam Spread and Housing Luminaire with Full Cut-Off Head Housing. Housing and Housing Mounting Capable from Head Mount. Adjustable Luminaire Dimensions: 12.0" H x 11.0" W x 11.0" D	Full Cut-Off Beam with 100° Beam Spread	White Powder Coat	410 Series Luminaire	410 Series Luminaire	12.0 lbs. (11.0 lbs. without control gear)	120V/170W Integrated Electronic Driver Luminaire with 120V/170W LED Driver and 120V/170W LED Driver	Mount on West Facade of Building and 1 on East Facade of Building. 10' Above Finished Grade.

Photometric Calculation Summary

Space	Average (fc)	Min	Max	Uniformity (Avg/Min)
Off from the Property Line	0.00	0.0	0	0.0
Drive Way - West of Building	0.00	0	0.0	0.0
Drive Way - East Garage Entry	0.00	0.0	0.0	0.0
Pedestrian Walkway - West of Building	0.00	0.0	0.0	0.0
Pedestrian Walkway - South of Building	0.00	0.0	0.0	0.0
Pedestrian Walkway - Facing East Washington Avenue	0.00	0.0	0	0.0
Steps and Ramps on the East Washington Av. Side of the Building	0	0.0	0.0	0.0

Cut-Off Optics Illustration



LED wall luminaire - adjustable gantry system

BEGA

Application

LED wall luminaire with asymmetrical light distribution and adjustable gantry outrigger arm.

Materials

Luminaire housing, faceplate and outrigger arm constructed of die-cast and extruded marine grade, copper free (≤0.3% copper content) A360.0 aluminum alloy

Clear safety glass

Reflector made of pure anodized aluminum

Silicone applied robotically to casting, plasma treated for increased adhesion

High temperature silicone gasket

Mechanically captive stainless steel fasteners

NRTL listed to North American Standards, suitable for wet locations

Protection class IP 65

Weight: 44.1 lbs

Electrical

Operating voltage 120-277V AC

Minimum start temperature -30° C

LED module wattage 55.3 W

System wattage 61.0 W

Controllability 0-10V dimmable

Color rendering index Ra > 80

Luminaire lumens 6,674 lumens (4000K)

Lifetime at Ta = 15° C 232,000 h (L70)

Lifetime at Ta = 35° C 73,000 h (L70)

LED color temperature

4000K - Product number + **K4**

3500K - Product number + **K35**

3000K - Product number + **K3**

2700K - Product number + **K27**

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Finish

All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

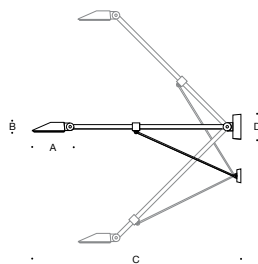
- Available colors Black (BLK) White (WHT) RAL:
 Bronze (BRZ) Silver (SLV) CUS:

Type:

BEGA Product:

Project:

Modified:



LED wall luminaire - adjustable gantry system

	LED	A	B	C	D
24 509	55.3W	16 3/4	4 1/8	90 1/2	8 1/4

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com

Due to the dynamic nature of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com © copyright BEGA 2018 Updated 02/21/18

LED wall luminaire - surface washer

BEGA

Application

LED wall luminaire with asymmetrical light distribution designed for illuminating horizontal surfaces from vertical mounting surfaces.

Materials

Luminaire housing and faceplate constructed of die-cast marine grade, copper free ($\leq 0.3\%$ copper content) A360.0 aluminum alloy
Clear safety glass
Reflector made of pure anodized aluminum
Silicone applied robotically to casting, plasma treated for increased adhesion
High temperature silicone gasket
Mechanically captive stainless steel fasteners

NRTL listed to North American Standards, suitable for wet locations

Protection class IP 65

Weight: 11.5lbs

Electrical

Operating voltage	120-277V AC
Minimum start temperature	-30°C
LED module wattage	55.3W
System wattage	61.0W
Controllability	0-10V dimmable
Color rendering index	Ra > 80
Luminaire lumens	6,674 lumens (4000K)
Lifetime at Ta = 15°C	232,000 h (L70)
Lifetime at Ta = 35°C	73,000 h (L70)

LED color temperature

- 4000K - Product number + **K4**
- 3500K - Product number + **K35**
- 3000K - Product number + **K3**
- 2700K - Product number + **K27**

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Finish

All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

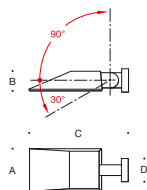
Available colors Black (BLK) White (WHT) RAL:
 Bronze (BRZ) Silver (SLV) CUS:

Type:

BEGA Product:

Project:

Modified:



LED wall luminaire - surface washer

	LED	A	B	C
24816	55.3W	8 7/8"	4"	19 1/4"



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LUMENLINEAR™ SYMMETRIC

PROJECT NAME: _____

REP AGENCY: _____

APPROX. LINEAR FT. _____



SCAN QR CODE for technical information, downloads, instructions, and system configuration guides



LUMENLINEAR™
ANOTHER
LUMENRAIL®
COMPONENT
FOR LIFE SAFETY
AND LIGHT.

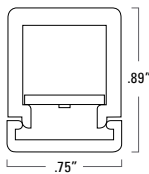
PART NUMBER BUILDER

LULS30K40120TS18	LULS						LENGTH	
EXAMPLE	FIXTURE TYPE	COLOR TEMP		FIXTURE WATTAGE	BEAM ANGLE	LENS OPTION	NOMINAL	ASSEMBLED
	LULS Lumenrail Linear	27K - 2700° K 30K - 3000° K 35K - 3500° K 40K - 4000° K 50K - 5000° K	BLU - Blue GRN - Green RED - Red AMB - Wildlife Amber	20 - 1.85 W/FT 40 - 3.57 W/FT 60 - 5.45 W/FT	70 - 70° Spread 120 - 120° Spread	TS - Transparent Symmetric MS - Matte Symmetric	6 - 7.64" 12 - 13.51" 18 - 19.39" 24 - 25.33" 30 - 31.23" 36 - 37.14" 42 - 43.07"	48 - 48.95" 54 - 54.89" 60 - 60.83" 66 - 67.20" 72 - 73.20" 78 - 79.20" 84 - 85.20"

ELECTRICAL SPECIFICATIONS

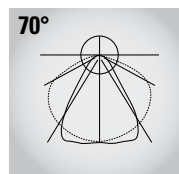
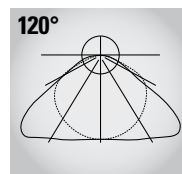
<p>All electrical connections to be made by a qualified electrician in accordance with all national, state and local electrical codes.</p>	24VDC	ETL LISTED WET, UL 1598/CSA 22.2	0-10V INPUT (PWM)	-40°F TO +120°F
	INPUT VOLTAGE	CERTIFICATIONS	DIMMING	OPERATING TEMP
CLASS 2 REQUIRED	5 YEARS	UP TO 77 LM/W LED	UP TO 88 (95+ AVAIL. UPON REQUEST)	
DRIVER	WARRANTY	EFFICIENCY	CRI	

CONSTRUCTION



An extruded aluminum housing and fully gasketed assembly insure heat dissipation and ingress protection to IP67. Stainless steel hardware and mechanical attachment promote easy installation and longevity

PHOTOMETRICS



The symmetric output can be specified in narrow (70°) or industry leading wide (120°) beam spreads. Installed in Wagner Lumenrail®, Lumenlinear achieves full IES cutoff. Reports to view or download are available by scanning the QR code or visiting our website.

LUMENGEAR™ - LED DRIVER & NEMA ENCLOSURE OPTIONS

Wagner offers multiple ETL listed options for both 24VDC power supplies and NEMA enclosures. Quantities and types will be configured based on your specifications and design. Additional specification options are available by request. Not all options apply to all products, please verify compatibility with the factory.

CLASS II DRIVERS:

- *STD 100W Non Dim
- 0-10V (PWM)
- Multiple Wattages
- 24VDC

NEMA ENCLOSURES:

4X, 6

LUMENPOST™:

Integrated 100W, 0-10V DIM

Specifications may change without prior notice, verify data at time of order, all rights reserved



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10600 West Brown Deer Road // Milwaukee, WI 53224, USA

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LULS SUBM R4

LUMENLINEAR™ ASYMMETRIC

PROJECT NAME: _____

REP AGENCY: _____

APPROX. LINEAR FT. _____



SCAN QR CODE for technical information, downloads, instructions, and system configuration guides



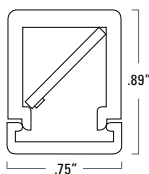
PART NUMBER BUILDER

LULS40K6070TA24	LULS							
EXAMPLE	FIXTURE TYPE	COLOR TEMP		FIXTURE WATTAGE	BEAM ANGLE	LENS OPTION	LENGTH NOMINAL - ASSEMBLED	
	LULS Lumenrail Linear	27K - 2700° K 30K - 3000° K 35K - 3500° K 40K - 4000° K 50K - 5000° K	BLU Blue GRN Green RED Red AMB Wildlife Amber	20 - 1.85 W/FT 40 - 3.57 W/FT 60 - 5.45 W/FT	70 - 70° Spread Main Beam @ 45° above nadir	TA - Transparent Asymmetric MA - Matte Asymmetric	6 - 7.64" 12 - 13.51" 18 - 19.39" 24 - 25.33" 30 - 31.23" 36 - 37.14" 42 - 43.07"	48 - 48.95" 54 - 54.89" 60 - 60.83" 66 - 67.20" 72 - 73.20" 78 - 79.20" 84 - 85.20"

ELECTRICAL SPECIFICATIONS

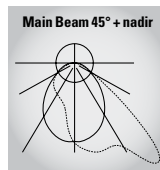
<p>All electrical connections to be made by a qualified electrician in accordance with all national, state and local electrical codes.</p>	24VDC	ETL LISTED WET, UL 1598/CSA 22.2	0-10V INPUT (PWM)	-40°F TO +120°F
	INPUT VOLTAGE	CERTIFICATIONS	DIMMING	OPERATING TEMP
	CLASS 2 REQUIRED	5 YEARS	UP TO 77 LM/W LED	UP TO 88 (95+ AVAIL. UPON REQUEST)
	DRIVER	WARRANTY	EFFICIENCY	CRI

CONSTRUCTION



An extruded aluminum housing and fully gasketed assembly insure heat dissipation and ingress protection to IP67. Stainless steel hardware and mechanical attachment promote easy installation and longevity.

PHOTOMETRICS



The asymmetric output has industry leading performance with a (70°) beam spread, focused on 45° above nadir. Installed in Wagner Lumenrail®, Lumenlinear performs with full IES cutoff. Reports to view or download are available by scanning the QR code or visiting our website.

LUMENGEAR™ - LED DRIVER & NEMA ENCLOSURE OPTIONS

Wagner offers multiple ETL listed options for both 24VDC power supplies and NEMA enclosures. Quantities and types will be configured based on your specifications and design. Additional specification options are available by request. Not all options apply to all products, please verify compatibility with the factory.

CLASS II DRIVERS:

- *STD 100W Non Dim
- 0-10V (PWM)
- Multiple Wattages
- 24VDC

NEMA ENCLOSURES:

4X, 6

LUMENPOST™:

Integrated 100W, 0-10V DIM

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LULA SUBM R4

LED wall luminaire - light output on one side

BEGA

Application

The LED wall mounted luminaire has light output on one side. Arranged individually or in groups, this is a great design element for a host of lighting applications. For downlight applications only.

Materials

Luminaire housing constructed of die-cast and extruded marine grade, copper free ($\leq 0.3\%$ copper content) A360.0 aluminum alloy
 Matte safety glass
 High temperature silicone gasket
 Mechanically captive stainless steel fasteners

NRTL listed to North American Standards, suitable for wet locations
 Protection class IP 65
 Weight: 10.8 lbs

Electrical

Operating voltage 120-277VAC
 Minimum start temperature -30°C
 LED module wattage 9.6W
 System wattage 13W
 Controllability 0-10V dimmable
 Color rendering index $Ra > 80$
 Luminaire lumens 587 lumens (3000K)
 Lifetime at $Ta = 15^{\circ}\text{C}$ $> 500,000$ h (L70)
 Lifetime at $Ta = 50^{\circ}\text{C}$ 212,000 h (L70)

LED color temperature

- 4000K - Product number + **K4**
- 3500K - Product number + **K35**
- 3000K - Product number + **K3**
- 2700K - Product number + **K27**

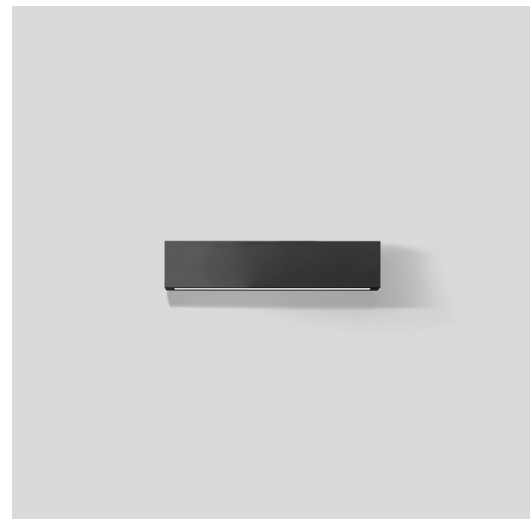
BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Finish

All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

- Available colors Black (BLK) White (WHT) RAL:
 Bronze (BRZ) Silver (SLV) CUS:

Type:
 BEGA Product:
 Project:
 Modified:



LED wall luminaire - light output on one side					
	LED	A	B	C	Required wiring box
44417	9.6W	24 $\frac{3}{8}$	4 $\frac{1}{8}$	5	19537

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LED recessed ceiling downlight - narrow beam

Application

Designed for down lighting atriums, canopies, passages, and other interior and exterior locations featuring a symmetrical narrow beam light distribution.

Materials

Luminaire housing constructed of die-cast marine grade, copper free ($\leq 0.3\%$ copper content) A360.0 aluminum alloy
Faceplate constructed of 316 grade machined stainless steel
Clear safety glass
Reflector made of pure anodized aluminum
High temperature silicone gasket
Stainless steel screw clamps
Galvanized steel rough in ceiling pan with through wiring box

NRTL listed to North American Standards, suitable for wet locations
Protection class IP65
Weight: 0.9 lbs

Electrical

Operating voltage	120-277VAC
Minimum start temperature	-20° C
LED module wattage	8.7 W
System wattage	11 W
Controllability	0-10V dimming down to 0.1%
Color rendering index	Ra > 85
Luminaire lumens	921 lumens (3000K)
Lifetime at Ta = 15° C	250,000 h (L70)
Lifetime at Ta = 40° C	140,000 h (L70)

LED color temperature

- 4000K - Product number + **K4**
- 3500K - Product number + **K35**
- 3000K - Product number + **K3**
- 2700K - Product number + **K27**

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Finish

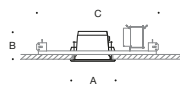
#4 brushed stainless steel.
Custom colors are not available.
Stainless steel requires regular cleaning and maintenance, much like household appliances to maintain its luster and prevent tarnishing or the appearance of rust like stains.

Type:

BEGA Product:

Project:

Modified:



LED recessed ceiling downlight · narrow beam

	LED	β	A	B	C
55823	8.7 W	19°	4 ³ / ₈	3 ¹ / ₄	18

β = Beam angle

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