



City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506
 Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: N Whitney Way & Tokay Blvd

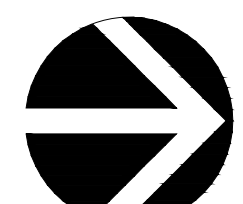
Contact Name & Phone #: Kevin Burow 608-836-3690

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered , fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? <i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A

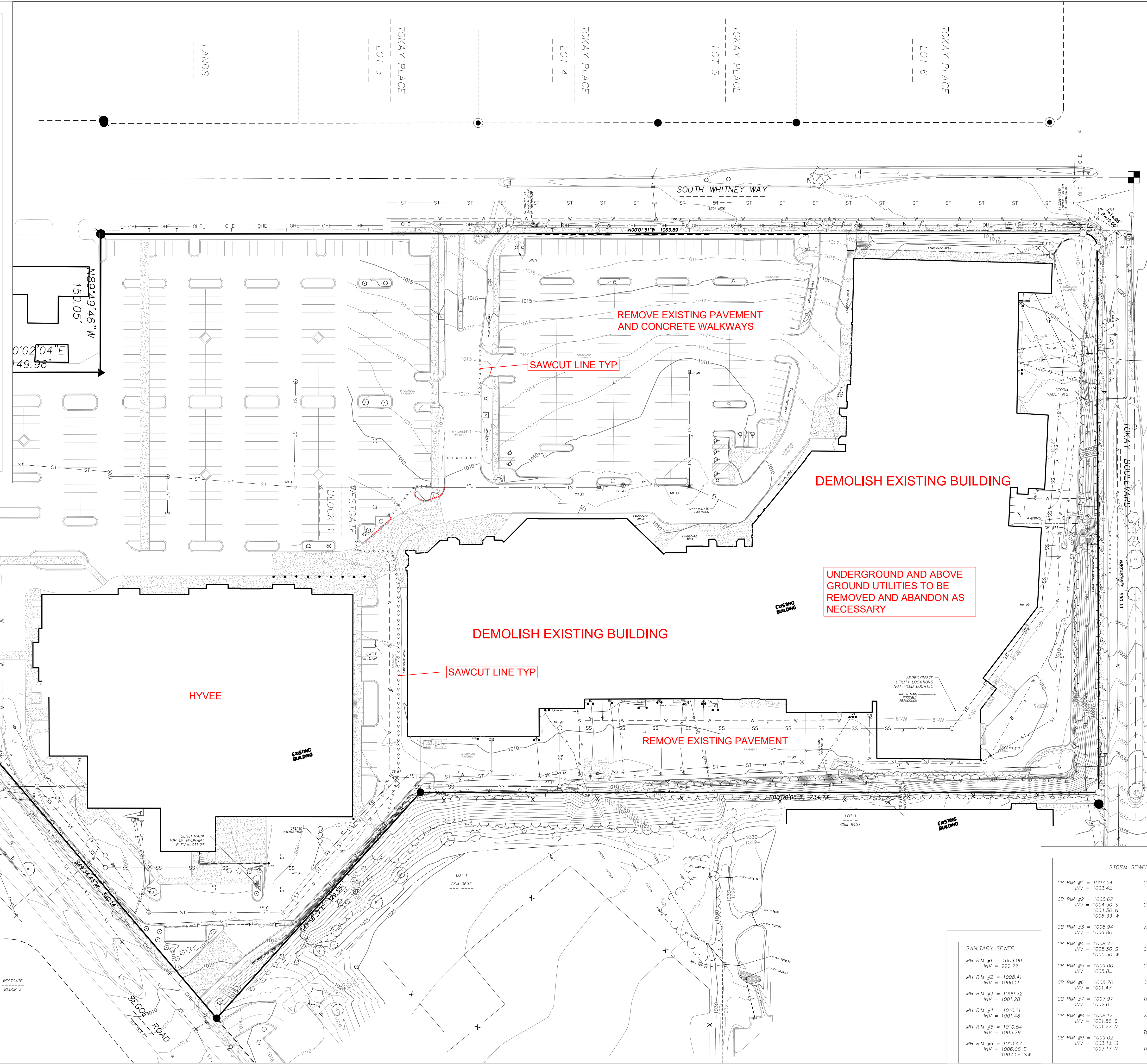
Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.



LEGEND

	FOUND PLS MONUMENT
	FOUND 3/4" RED CAPPED REBAR
	FOUND 3/4" REBAR
	FOUND PK NAIL
	FOUND CHISELED \" IN CONCRETE
	PLACED 3/4"x18" REBAR (WT=1.5 LBS/FT)
	SANITARY SEWER
	WATER MAIN
	STORM SEWER
	GAS MAIN
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	UNDERGROUND FIBER OPTIC
	UNDERGROUND TELECOMMUNICATION
	ELECTRIC TRANSFORMER
	TELEPHONE PEDESTAL/VAULT
	MANHOLE
	CATCH BASIN/INLET
	POWER POLE
	POWER POLE w/LIGHT
	TRAFFIC SIGNAL
	GAS METER
	VALVE
	HYDRANT
	GUARD POST
	SIGN
	GUY WIRE
	DECIDUOUS TREE
	BUSH
	CONIFEROUS TREE
	TREE/SHRUB LINE
	FLAGPOLE
	GUARD RAIL
	CONCRETE
	BOULDER RETAINING WALL
	CONCRETE RETAINING WALL
	FENCE
	CONCRETE CURB AND GUTTER
	EXISTING CONTOUR
	BACK OF WALK SPOT ELEVATION (@ +)
	"RECORDED AS" INFORMATION



SANITARY SEWER

MH RIM #1 = 1009.00 INV = 999.77	MH RIM #2 = 1008.41 INV = 1000.11	MH RIM #3 = 1009.72 INV = 1001.28	MH RIM #4 = 1010.11 INV = 1001.48	MH RIM #5 = 1010.54 INV = 1003.78	MH RIM #6 = 1013.47 INV = 1006.08 E 1007.1 E SW
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STORM SEWER

CB RIM #1 = 1007.54 INV = 1003.4±	CB RIM #2 = 1008.62 INV = 1004.50 S 1004.50 N 1006.33 W	CB RIM #3 = 1008.94 INV = 1006.80	CB RIM #4 = 1008.72 INV = 1005.50 S 1005.50 W	CB RIM #5 = 1009.00 INV = 1005.8±	CB RIM #6 = 1008.70 INV = 1001.47	CB RIM #7 = 1007.97 INV = 1002.0±	CB RIM #8 = 1008.17 INV = 1001.86 S 1001.77 N	CB RIM #9 = 1009.02 INV = 1003.1± S 1003.17 N	CB RIM #10 = 1009.19 INV = 1004.86 SE 1007.88 NW	CB RIM #11 = 1009.70 INV = 1007.78 E 1007.81 S	VAULT RIM #12 = 1016.78 INV = 1010.91 SE 1011.51 SW	CB RIM #13 = 1013.00 INV = 1009.8± NE	CB RIM #14 = 1022.25 INV = 1010.19 S	CB RIM #15 = 1022.32 INV = 1010.39 S	TC INL #16 = 1016.68 INV = 1012.22 NW	VAULT RIM #17 = 1019.54 INV = 1014.14	TC INL #18 = 1018.99 INV = 1014.38 NW	TC INL #19 = 1021.04 INV = 1018.13 N
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CHORD = 69.36'
RADIUS = 100.00'

150.05' W
149.96' E

SAWCUT LINE TYP

REMOVE EXISTING PAVEMENT
AND CONCRETE WALKWAYS

SAWCUT LINE TYP

DEMOLISH EXISTING BUILDING

UNDERGROUND AND ABOVE
GROUND UTILITIES TO BE
REMOVED AND ABANDON AS
NECESSARY

DEMOLISH EXISTING BUILDING

SAWCUT LINE TYP

REMOVE EXISTING PAVEMENT

ODANA ROAD

SECOR ROAD

WESTGATE

SOUTH WHITNEY WAY

TOKAY PLACE
LOT 3

TOKAY PLACE
LOT 4

TOKAY PLACE
LOT 5

TOKAY PLACE
LOT 6

LOT 22

LOT 23

FIRST ADDITION

TOWN

WESTGATE
BLOCK

LOT 1
CSM 3697

LOT 1
CSM 8457

GOLF GREEN
SUBDIVISION

WESTGATE
BLOCK



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Phone: 7601 University Ave., Ste 201
608.836.3690 Middleton, WI 53562

SHEET INDEX

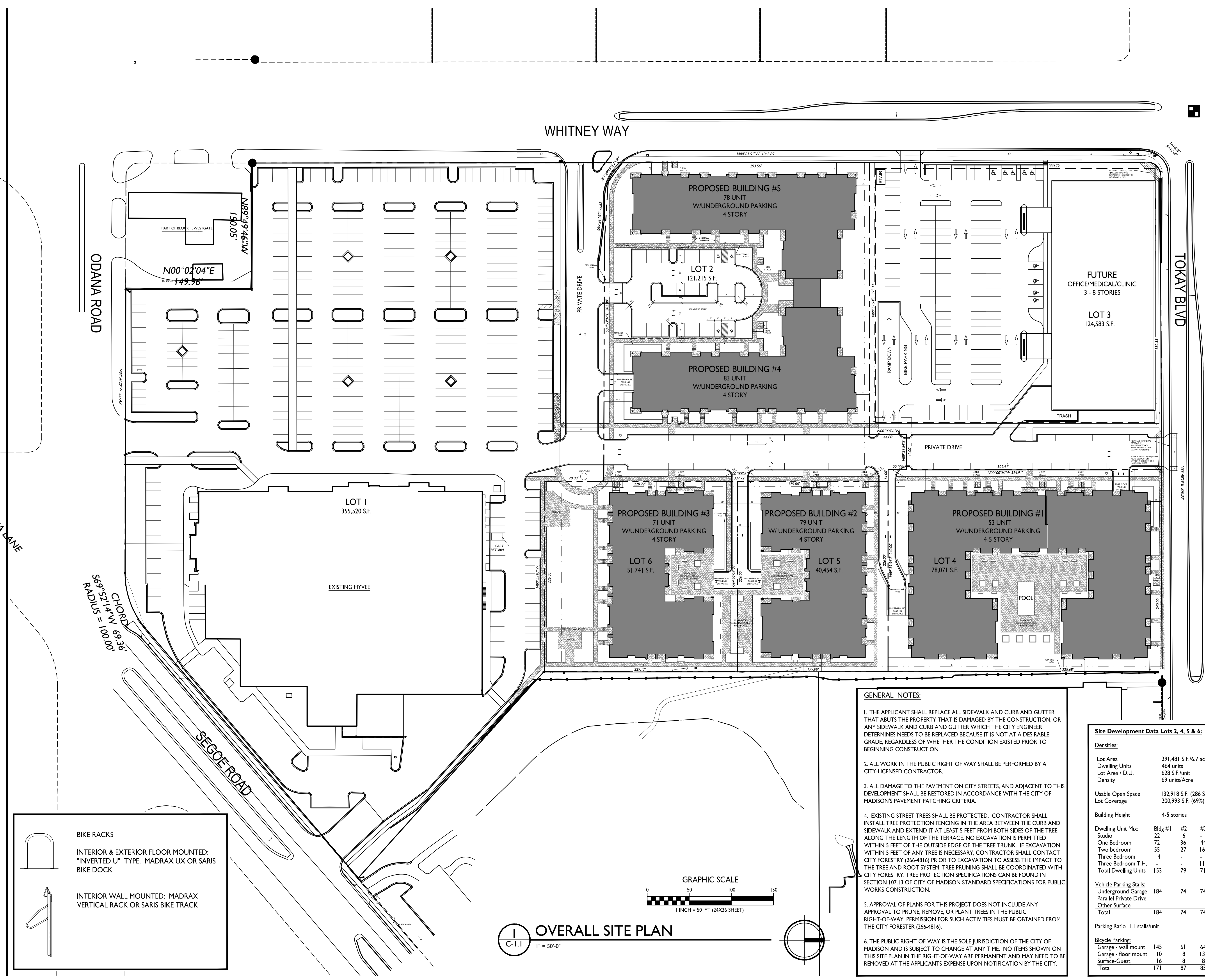
SITE	SITE PLAN
C-1.1	ENLARGED SITE PLAN
C-1.1a	ENLARGED SITE PLAN
C-1.1b	ENLARGED SITE PLAN
C-1.1c	ENLARGED SITE PLAN
C-1.2	OVERALL SITE LIGHTING
C-1.2a	ENLARGED SITE LIGHTING
C-1.2b	ENLARGED SITE LIGHTING
C-1.2c	ENLARGED SITE LIGHTING
C-1.3	FIRE DEPARTMENT ACCESS
C-1.4	LOT COVERAGE
C-1.5	USABLE OPEN SPACE
C-1.0	EXISTING CONDITIONS
C-1.1	DEMOLITION PLAN
C-2.0	OVERALL SITE PLAN
C-3.0	OVERALL GRADING PLAN
C-3.1	GRADING PLAN NORTH
C-3.2	GRADING PLAN SOUTH
C-4.0	OVERALL UTILITY PLAN
L-1.0	LANDSCAPE MASTER PLAN
L-1.1	LANDSCAPE GREEN SPACE PLAN
BUILDING #1	BUILDING #1
A-1.0	BASEMENT PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	THIRD FLOOR PLAN
A-1.4	FOURTH FLOOR PLAN
A-1.5	FIFTH FLOOR
A-1.6	ROOF PLAN
A-2.1	ELEVATIONS
A-2.2	ELEVATIONS
A-2.3	ELEVATIONS
A-2.4	ELEVATIONS
A-2.5	ELEVATIONS
A-2.6	ELEVATIONS-COLORED
A-2.7	ELEVATIONS-COLORED
A-2.8	ELEVATIONS-COLORED
A-2.9	ELEVATIONS-COLORED
A-2.10	ELEVATIONS-COLORED
A-2.11	RENDERED PERSPECTIVE
A-2.12	RENDERED PERSPECTIVE
BUILDING #2	BUILDING #2
A-1.0	BASEMENT PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	THIRD FLOOR PLAN
A-1.4	FOURTH FLOOR PLAN
A-1.5	ROOF PLAN
A-2.1	ELEVATIONS
A-2.2	ELEVATIONS
A-2.3	ELEVATIONS - COLOR
A-2.4	ELEVATIONS - COLOR
A-2.5	RENDERED PERSPECTIVE
A-2.6	RENDERED PERSPECTIVE
BUILDING #3	BUILDING #3
A-1.0	BASEMENT PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	THIRD FLOOR PLAN
A-1.4	FOURTH FLOOR PLAN
A-1.5	ROOF PLAN
A-2.1	ELEVATIONS
A-2.2	ELEVATIONS
A-2.3	ELEVATIONS - COLOR
A-2.4	ELEVATIONS - COLOR
A-2.5	RENDERED PERSPECTIVE
A-2.6	RENDERED PERSPECTIVE
BUILDING #4 & #5 (SENIORS)	BUILDING #4 & #5 (SENIORS)
A-1.0	BASEMENT PLAN
A-1.1	BASEMENT PLAN
A-1.2	FIRST FLOOR PLAN
A-1.3	FIRST FLOOR PLAN
A-1.4	SECOND FLOOR PLAN
A-1.5	SECOND FLOOR PLAN
A-1.6	THIRD FLOOR PLAN
A-1.7	THIRD FLOOR PLAN
A-1.8	FOURTH FLOOR PLAN
A-1.9	FOURTH FLOOR PLAN
A-1.10	ROOF PLAN
A-1.11	ROOF PLAN
A-2.1	ELEVATIONS
A-2.2	ELEVATIONS
A-2.3	ELEVATIONS
A-2.4	ELEVATIONS
A-2.5	ELEVATIONS
A-2.6	ELEVATIONS
A-2.7	ELEVATIONS-COLORED
A-2.8	ELEVATIONS-COLORED
A-2.9	ELEVATIONS-COLORED
A-2.10	ELEVATIONS-COLORED
A-2.11	ELEVATIONS-COLORED
A-2.12	ELEVATIONS-COLORED
A-2.13	RENDERED PERSPECTIVE
A-2.14	RENDERED PERSPECTIVE

ISSUED
Issued for Land Use & UDC - May 20, 2020

PROJECT TITLE
WESTGATE REDEVELOPMENT
JT Klein

Whitney Way & Tokay Blvd.
Madison, Wisconsin
SHEET TITLE
Overall Site Plan

SHEET NUMBER
C-1.1
PROJECT NO. **1925**
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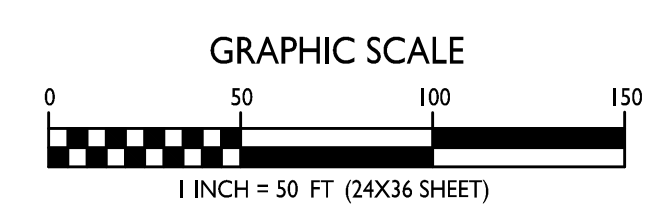


GENERAL NOTES:

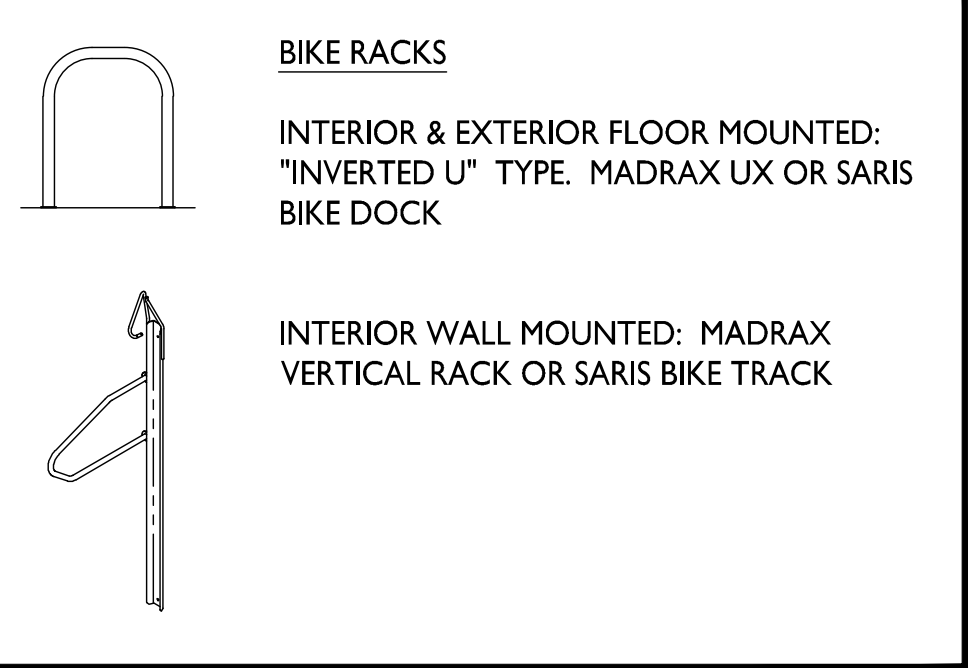
- THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ADJUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
- ALL DAMAGE TO THE PAVEMENT ON CITY STREETS, AND ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
- EXISTING STREET TREES SHALL BE PROTECTED. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF THE TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER (266-4816).
- THE PUBLIC RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME. NO ITEMS SHOWN ON THIS SITE PLAN IN THE RIGHT-OF-WAY ARE PERMANENT AND MAY NEED TO BE REMOVED AT THE APPLICANTS EXPENSE UPON NOTIFICATION BY THE CITY.

Site Development Data Lots 2, 4, 5 & 6:

Densities:	
Lot Area	291,481 S.F./6.7 acres
Dwelling Units	464 units
Lot Area / D.U.	628 S.F./unit
Density	69 units/Acre
Usable Open Space	132,918 S.F. (286 S.F./unit)
Lot Coverage	200,993 S.F. (69%)
Building Height	4-5 stories
Dwelling Unit Mix:	
Studio	22 16 - 38
One Bedroom	72 36 44 51 48 251
Two bedroom	55 27 16 32 30 160
Three Bedroom	4 - - - - 4
Three Bedroom T.H.	- - 11 - - 11
Total Dwelling Units	153 79 71 83 78 464
Vehicle Parking Stalls:	
Underground Garage	184 74 74 56 57 445
Parallel Private Drive	- - - - - 37
Other Surface	- - - 15 15 30
Total	184 74 74 71 72 512
Parking Ratio	1.1 stalls/unit
Bicycle Parking:	
Garage - wall mount	145 61 64 58 67 395
Garage - floor mount	10 18 13 18 18 77
Surface-Guest	16 8 8 8 8 48
Total	171 87 85 84 93 520



OVERALL SITE PLAN
C-1.1
1" = 50'-0"





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Issued for Land Use & UDC - May 20, 2020

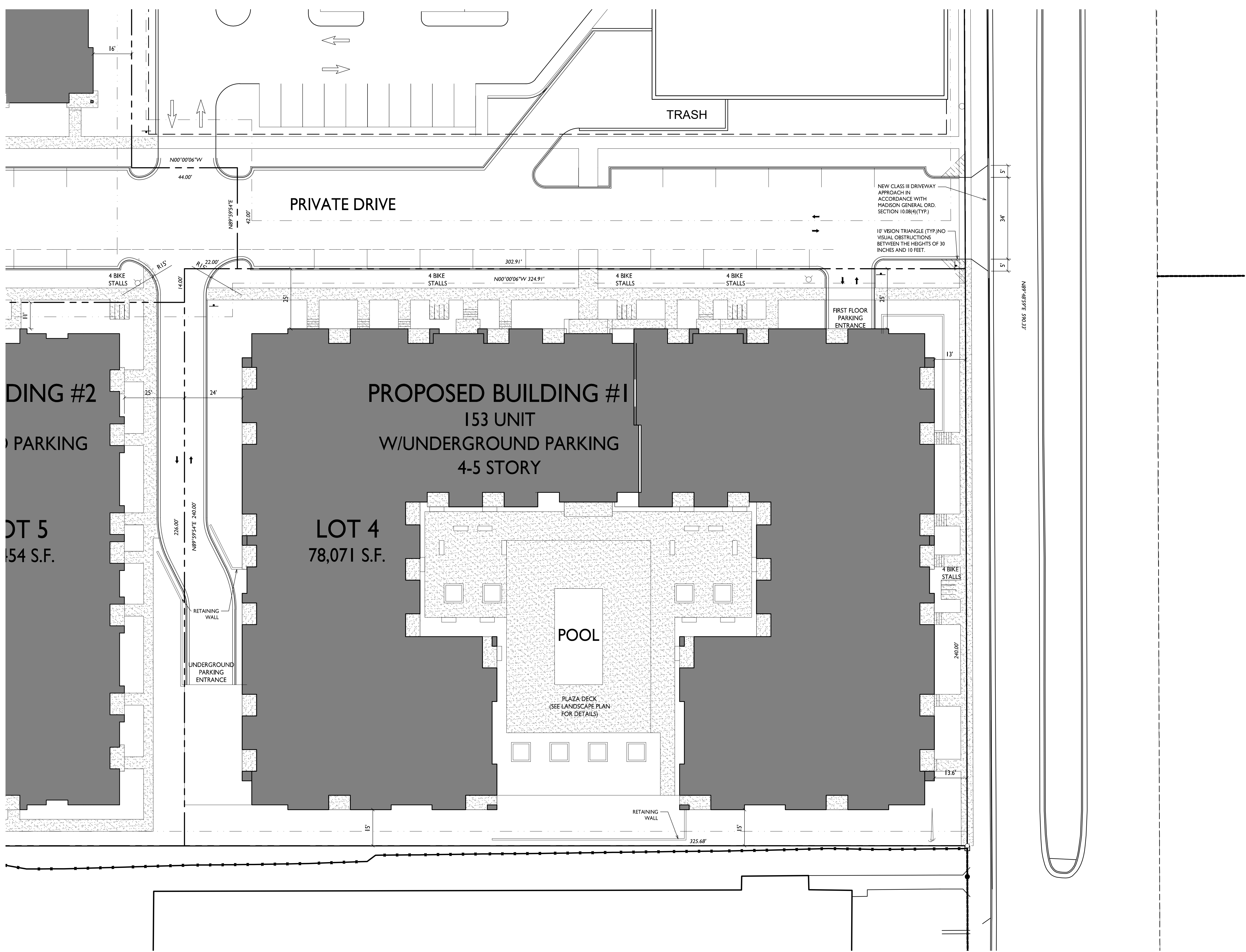
PROJECT TITLE
**WESTGATE
REDEVELOPMENT**
JT Klein

Whitney Way &
Tokay Blvd.
Madison, Wisconsin
SHEET TITLE
Enlarged Site Plan

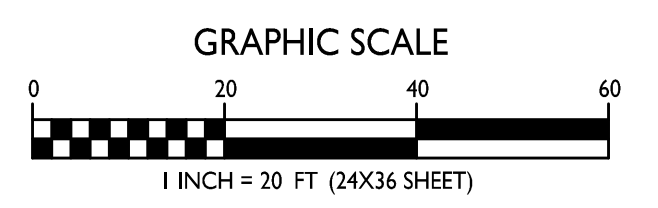
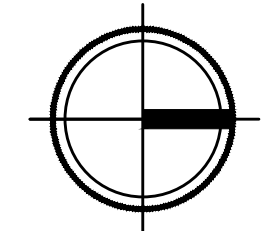
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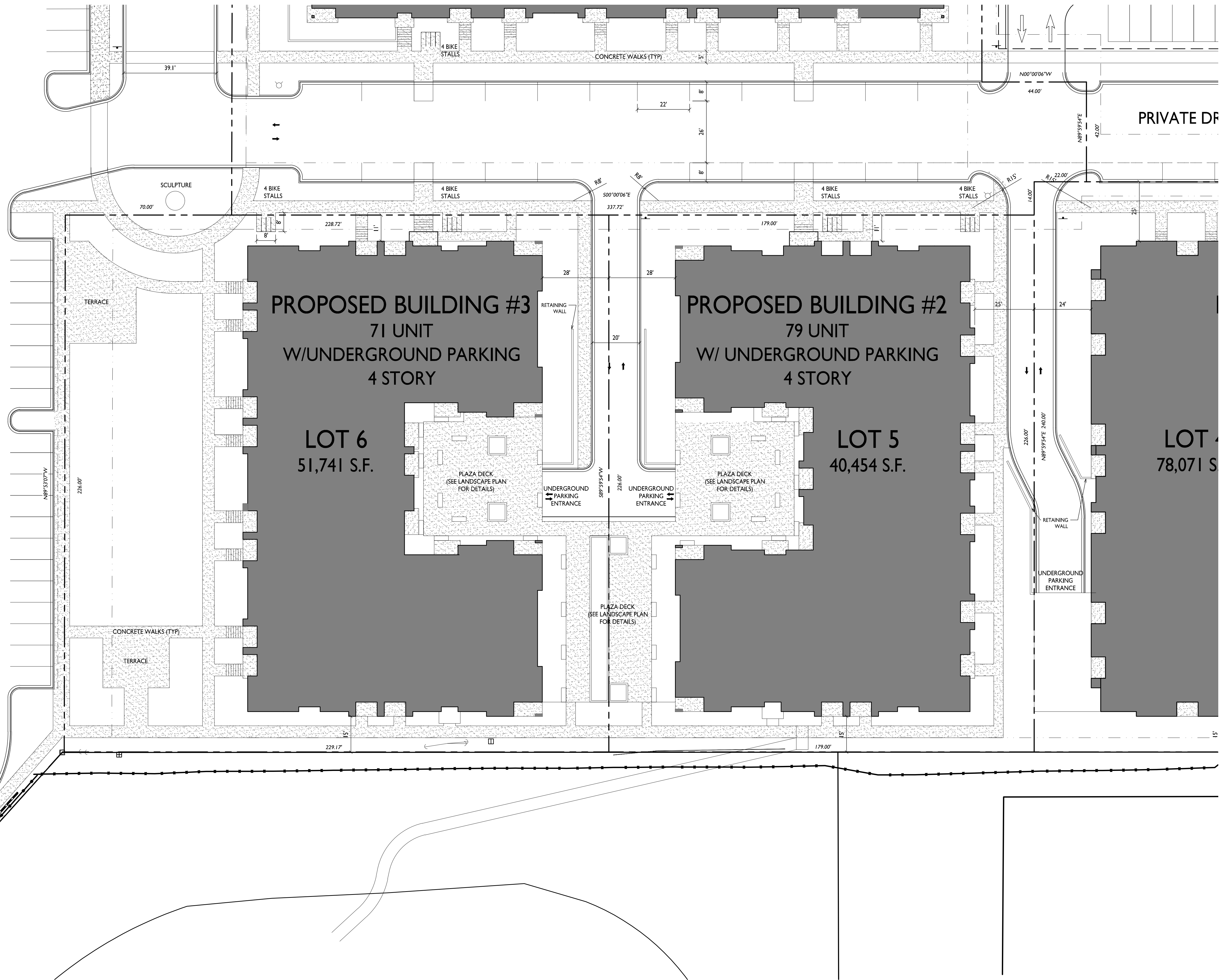
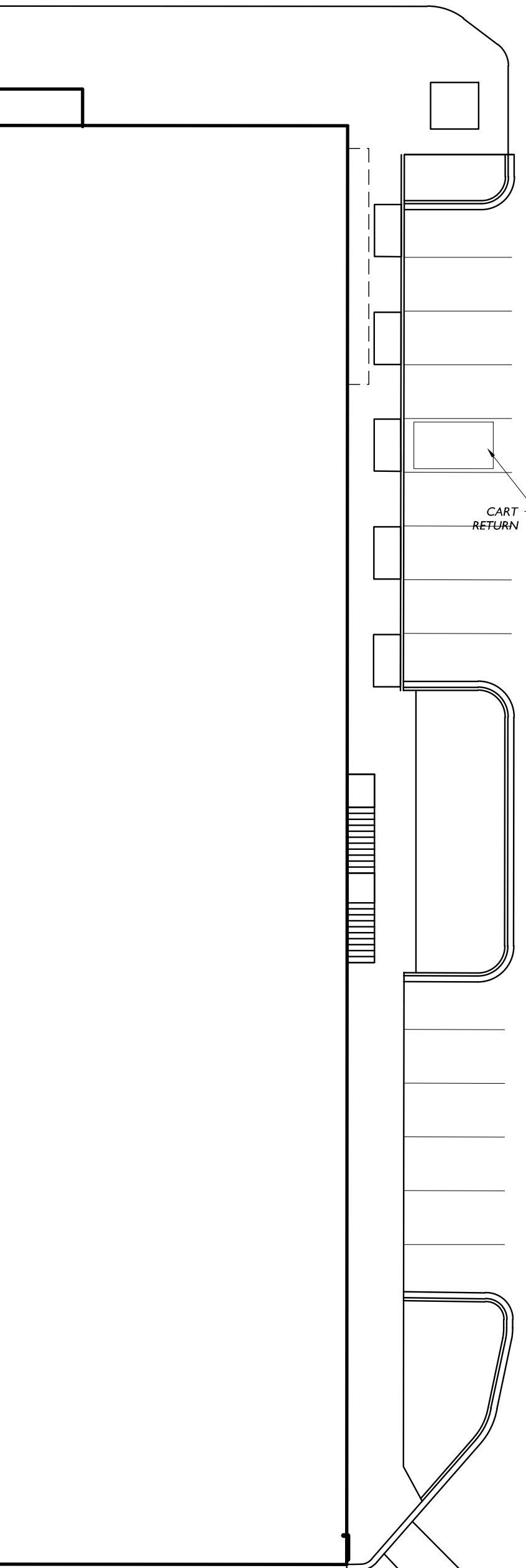
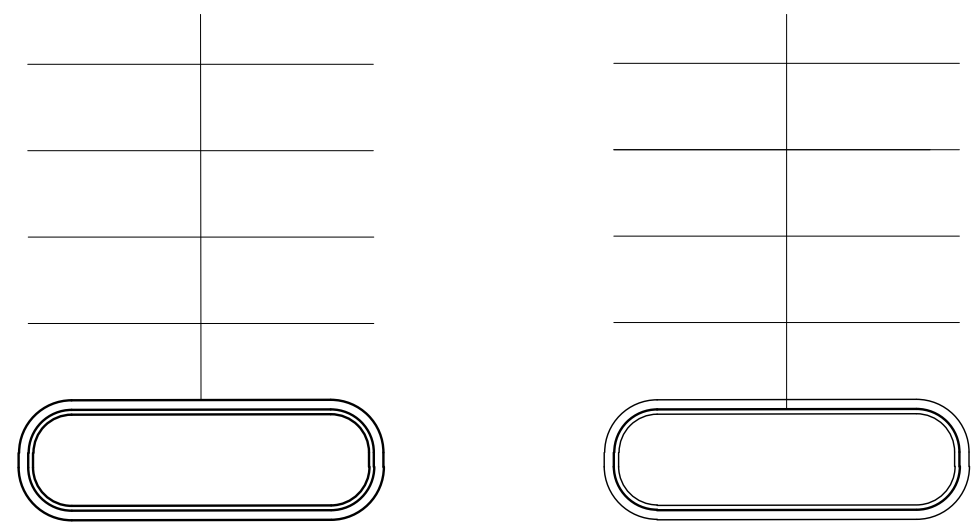
C-1.1a

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ENLARGED SITE PLAN
1" = 20'-0"





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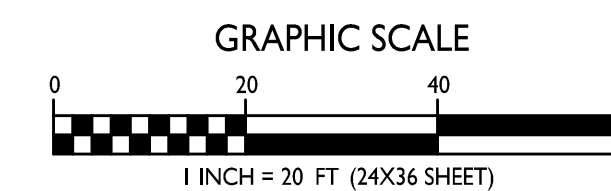
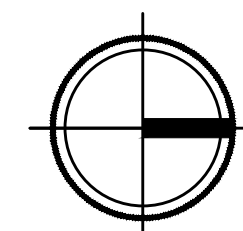
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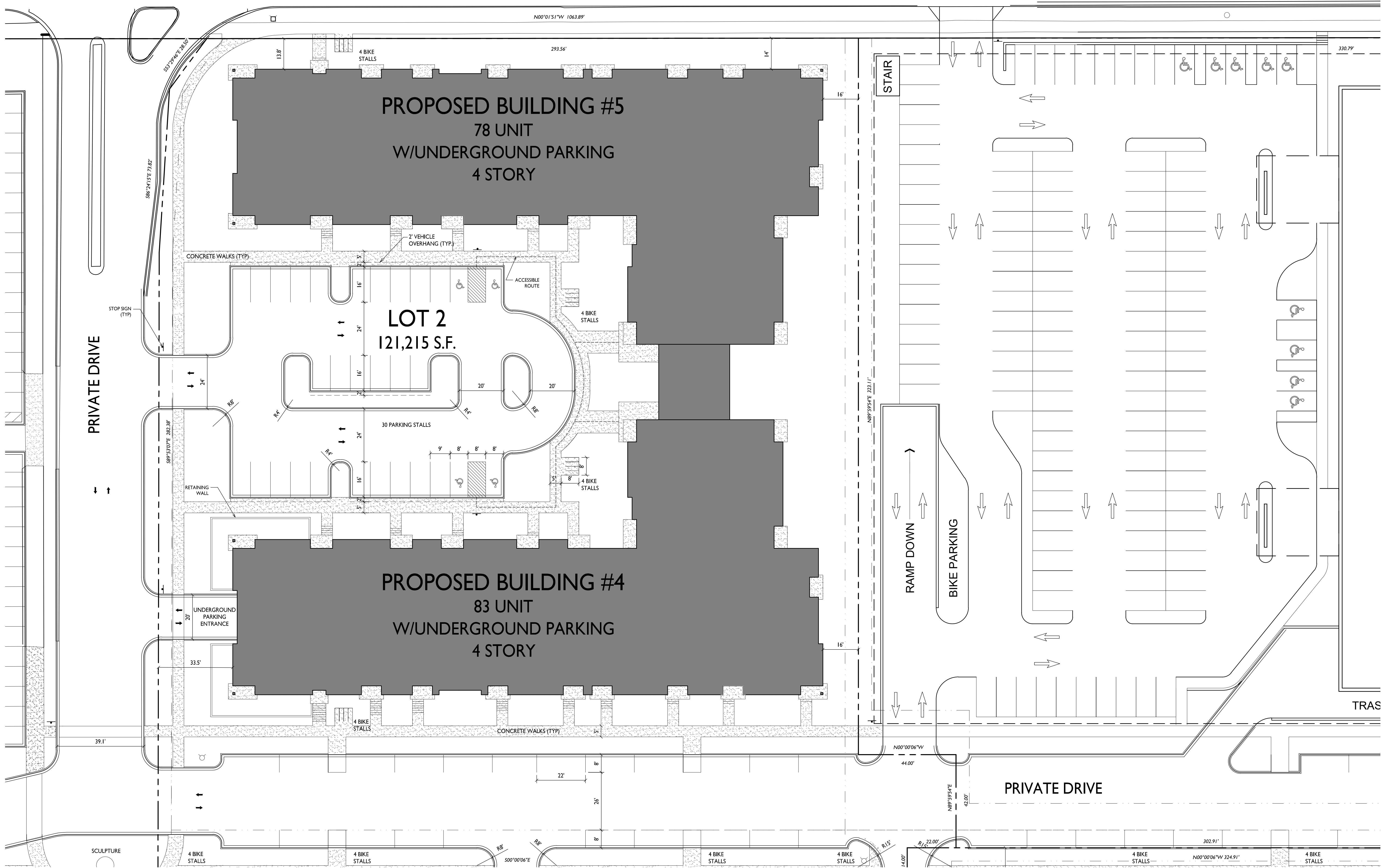
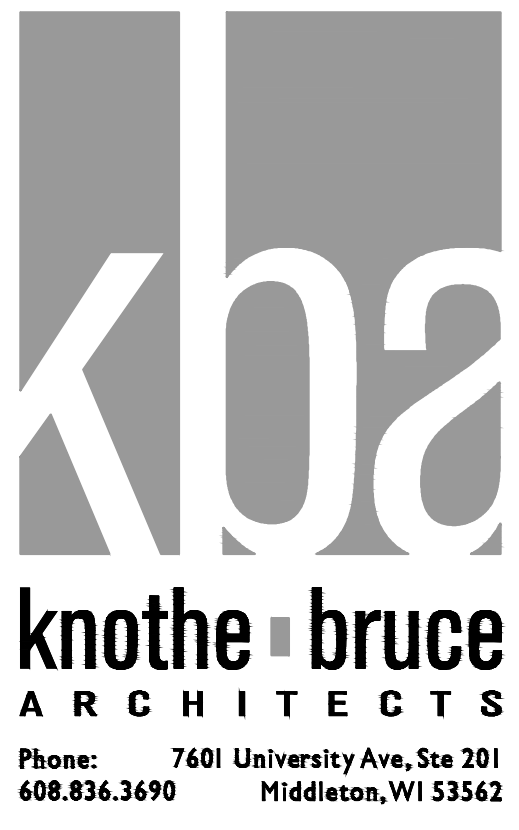
PROJECT NO. 1925

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ENLARGED SITE PLAN
C-1.1b 1" = 20'-0"



WHITNEY WAY



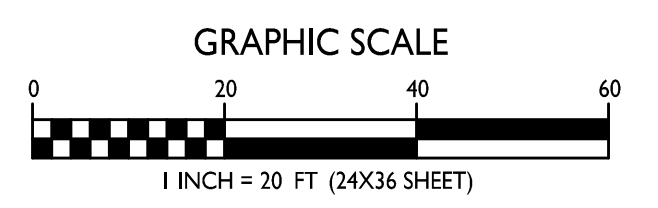
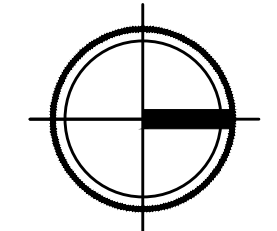
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JT Klein

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SHEET TITLE
Enlarged Site Plan

SHEET NUMBER

ENLARGED SITE PLAN
C-1.1c 1" = 20'-0"





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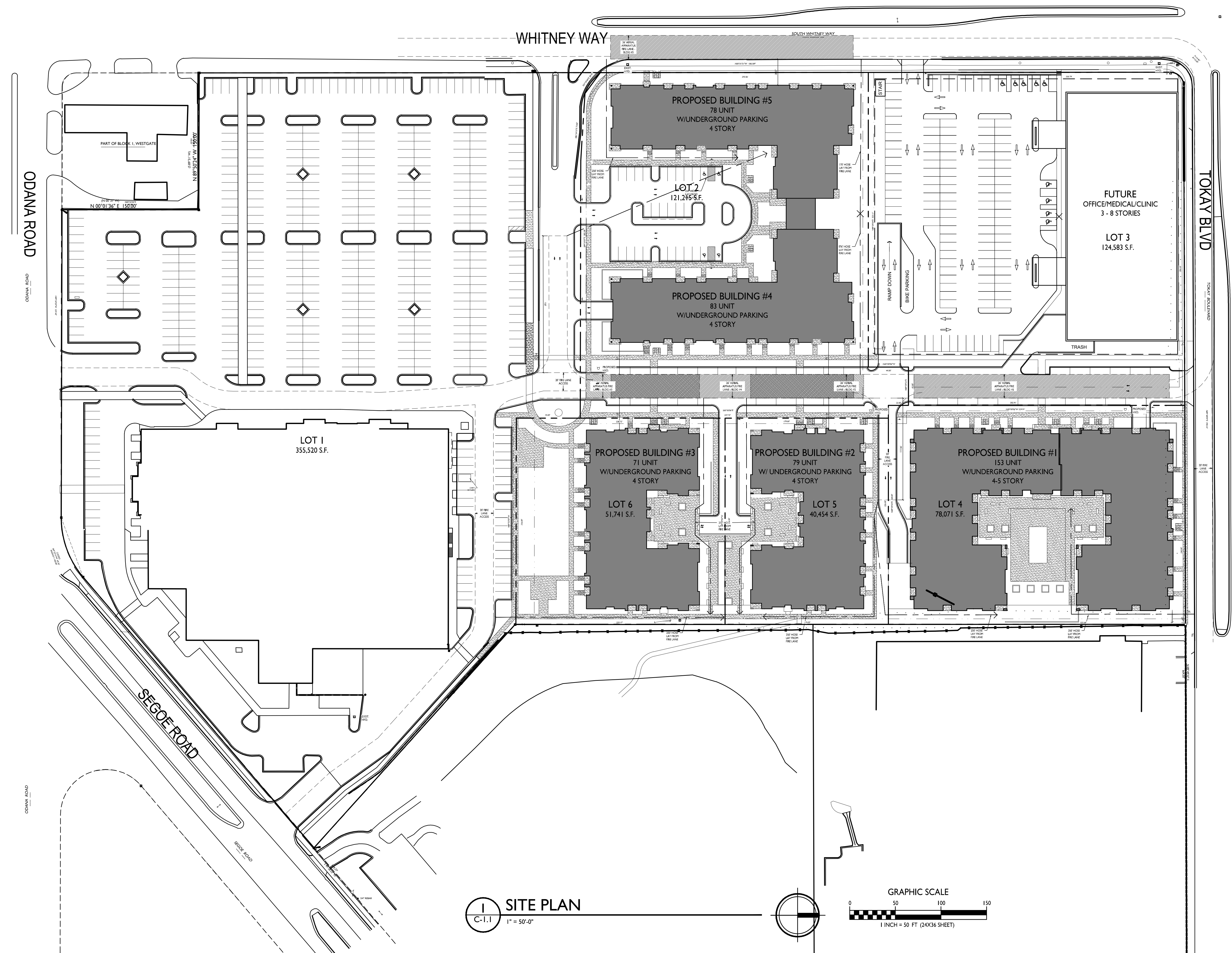
PROJECT TITLE
**WESTGATE
REDEVELOPMENT**
JT Klein

Whitney Way &
Tokay Blvd.
Madison, Wisconsin
SHEET TITLE
**Fire Department
Access Plan**

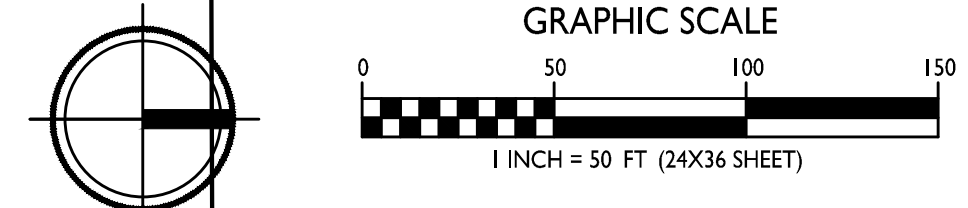
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C-1.3

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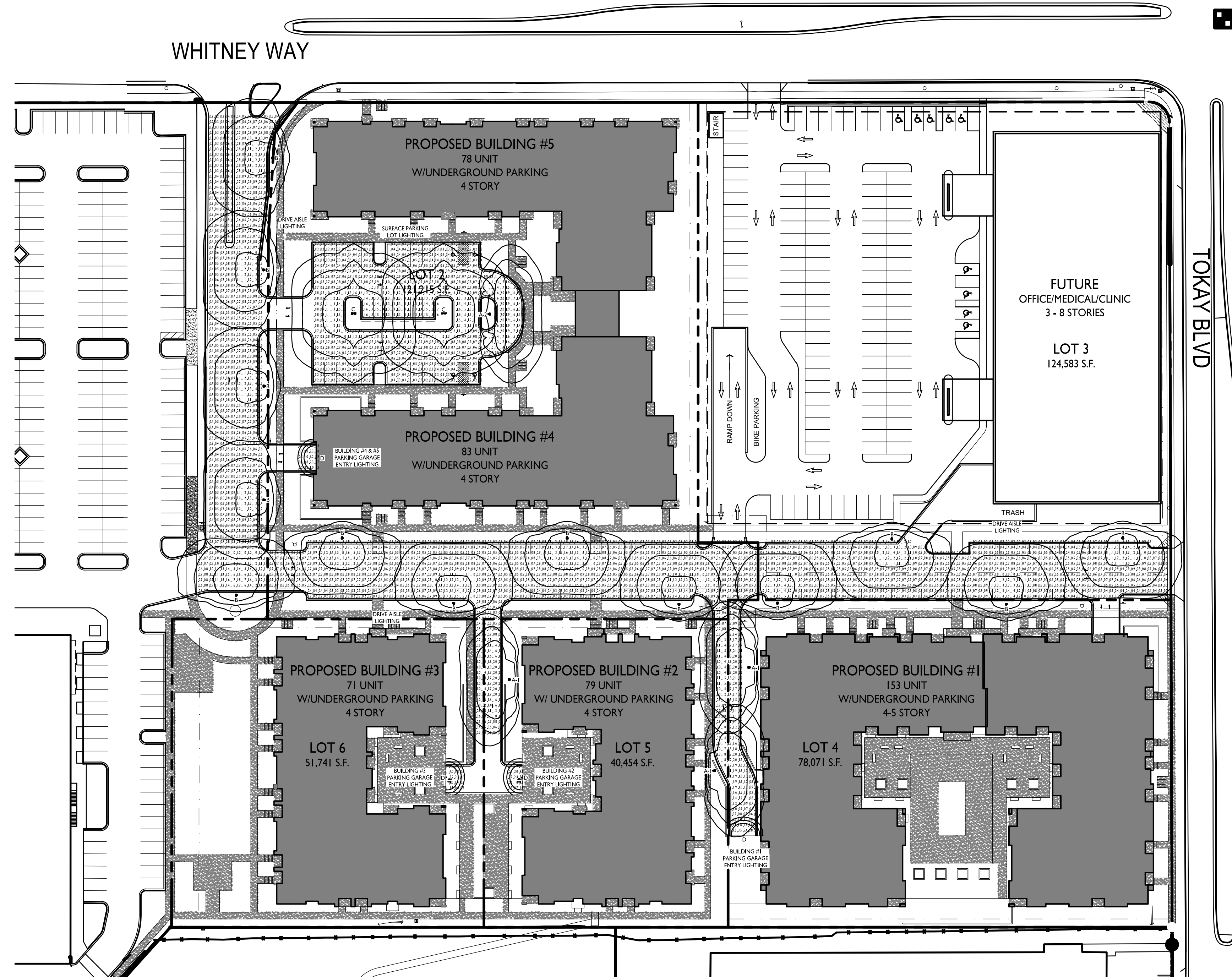
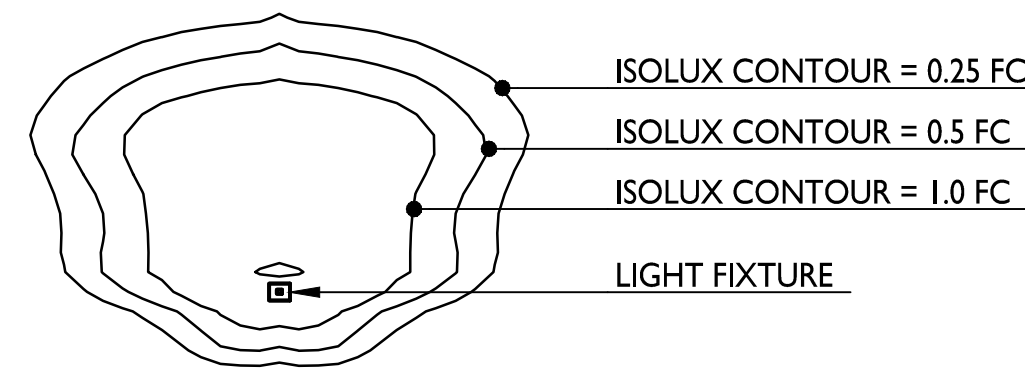
1 SITE PLAN
C-1.1 1" = 50'-0"



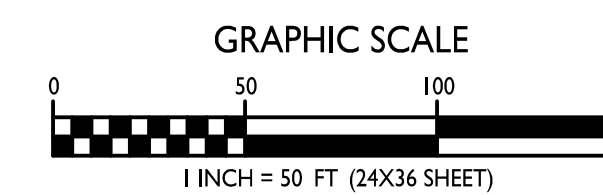
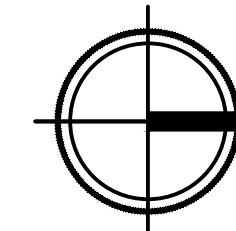
STATISTICS						
DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX. / MIN.	AVG. / MIN.
Surface Parking Lot Lighting	+	0.8 fc	2.0 fc	0.2 fc	10.0:1	4.0:1
Private Drive Aisle Lighting	+	0.8 fc	2.2 fc	0.2 fc	11.0:1	4.0:1
Building #1 Parking Garage Lighting	+	1.6 fc	5.4 fc	0.5 fc	10.8:1	3.2:1
Building #2 Parking Garage Lighting	+	1.7 fc	5.5 fc	0.3 fc	18.3:1	5.7:1
Building #3 Parking Garage Lighting	+	1.6 fc	5.2 fc	0.3 fc	17.3:1	5.3:1
Building #4 & #5 Parking Garage Lighting	+	1.5 fc	5.9 fc	0.2 fc	29.5:1	7.5:1

LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QTY.	MANUF.	CATALOG	DESCRIPTION	FILE	MOUNTING
□	A-1	3	LITHONIA LIGHTING	DSX0 LED P1 30K BLC MVOLT	DSX0 LED P1 30K BLC MVOLT	DSX0_LED_P1_30K_BLC_MVOLT.ies	18'-0" POLE ON FLUSH CONC. BASE
□	A-2	1	LITHONIA LIGHTING	DSX0 LED P1 30K BLC MVOLT	DSX0 LED P1 30K BLC MVOLT	DSX0_LED_P1_30K_BLC_MVOLT.ies	20'-0" POLE ON FLUSH CONC. BASE
□	B	13	LITHONIA LIGHTING	DSX0 LED P1 30K T4M MVOLT HS	DSX0 LED P1 30K T4M MVOLT WITH HOUSE SIDE SHIELD	DSX0_LED_P1_30K_T4M_MVOLT_HS.ies	20'-0" POLE ON FLUSH CONC. BASE
□	C	2	LITHONIA LIGHTING	DSX0 LED P1 30K T4M MVOLT HS	DSX0 LED P1 30K T4M MVOLT WITH HOUSE SIDE SHIELD	DSX0_LED_P1_30K_T4M_MVOLT_HS.ies	20'-0" POLE ON FLUSH CONC. BASE
□	D	4	LITHONIA LIGHTING	LIL LED 30K MVOLT	LIL WALLPACK (STANDARD)	LIL_LED_30K_MVOLT_HS.ies	ON BUILDING 8'-0" ABOVE GRADE

EXAMPLE LIGHT FIXTURE DISTRIBUTION



OVERALL SITE LIGHTING PLAN
1" = 50'-0"



ISSUED
Issued for Land Use & UDC - May 20, 2020

PROJECT TITLE
WESTGATE REDEVELOPMENT
JT Klein

Whitney Way & Tokay Blvd.
Madison, Wisconsin
SHEET TITLE
Overall Site Lighting Plan

SHEET NUMBER

C-1.2

PROJECT NO. **1925**
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ARCHITECTS

Phone: 7601 University Ave., Ste 201
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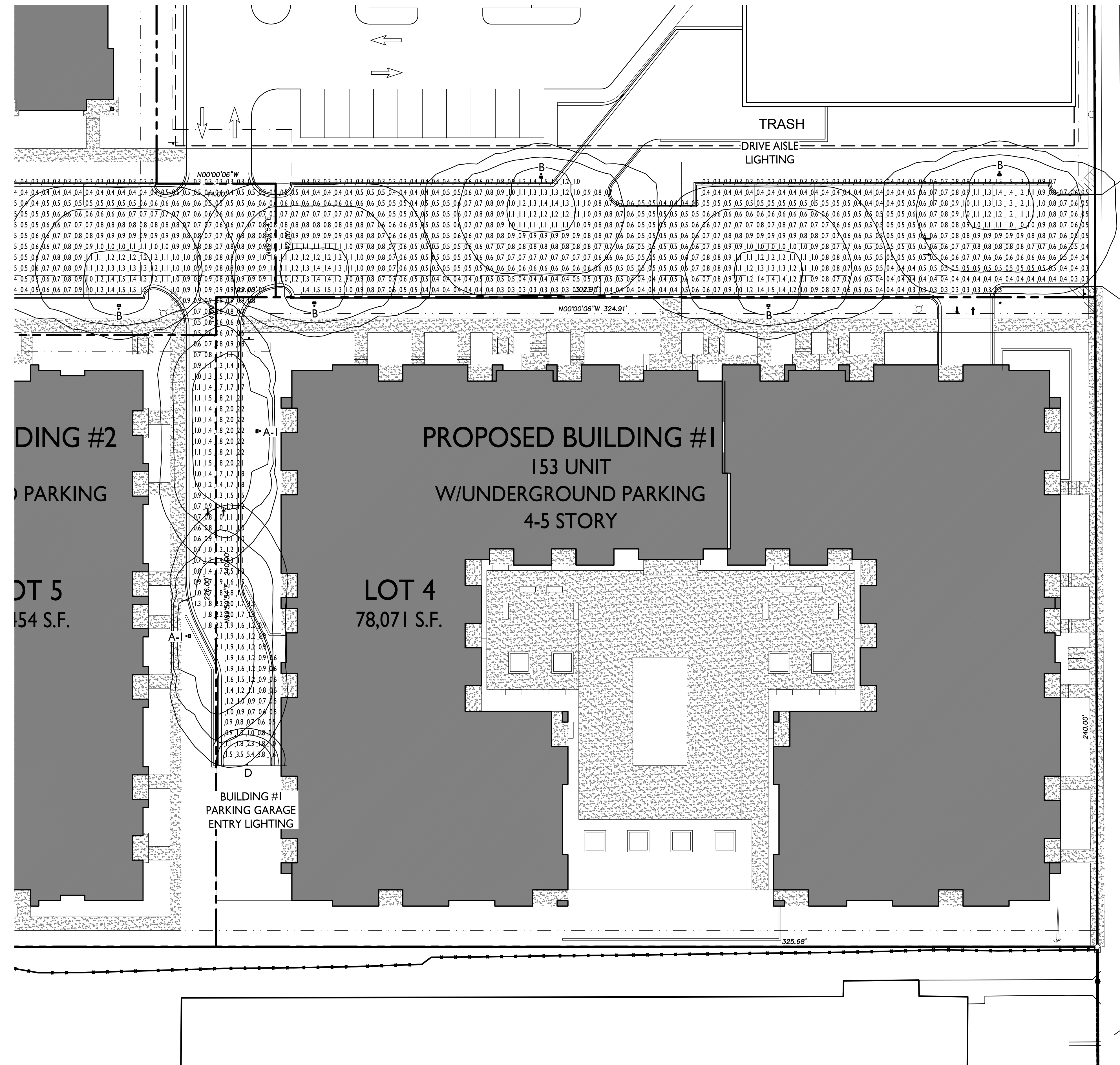
PROJECT TITLE
**WESTGATE
REDEVELOPMENT**
JT Klein

Whitney Way &
Tokay Blvd.
Madison, Wisconsin
SHEET TITLE
**Enlarged Site
Lighting Plan**

SHEET NUMBER

C-1.2a

PROJECT NO. 1925
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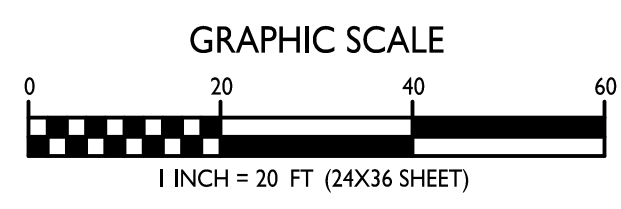
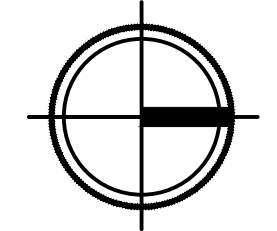


N89°48'59"E 590.33'

240.00'

325.68'

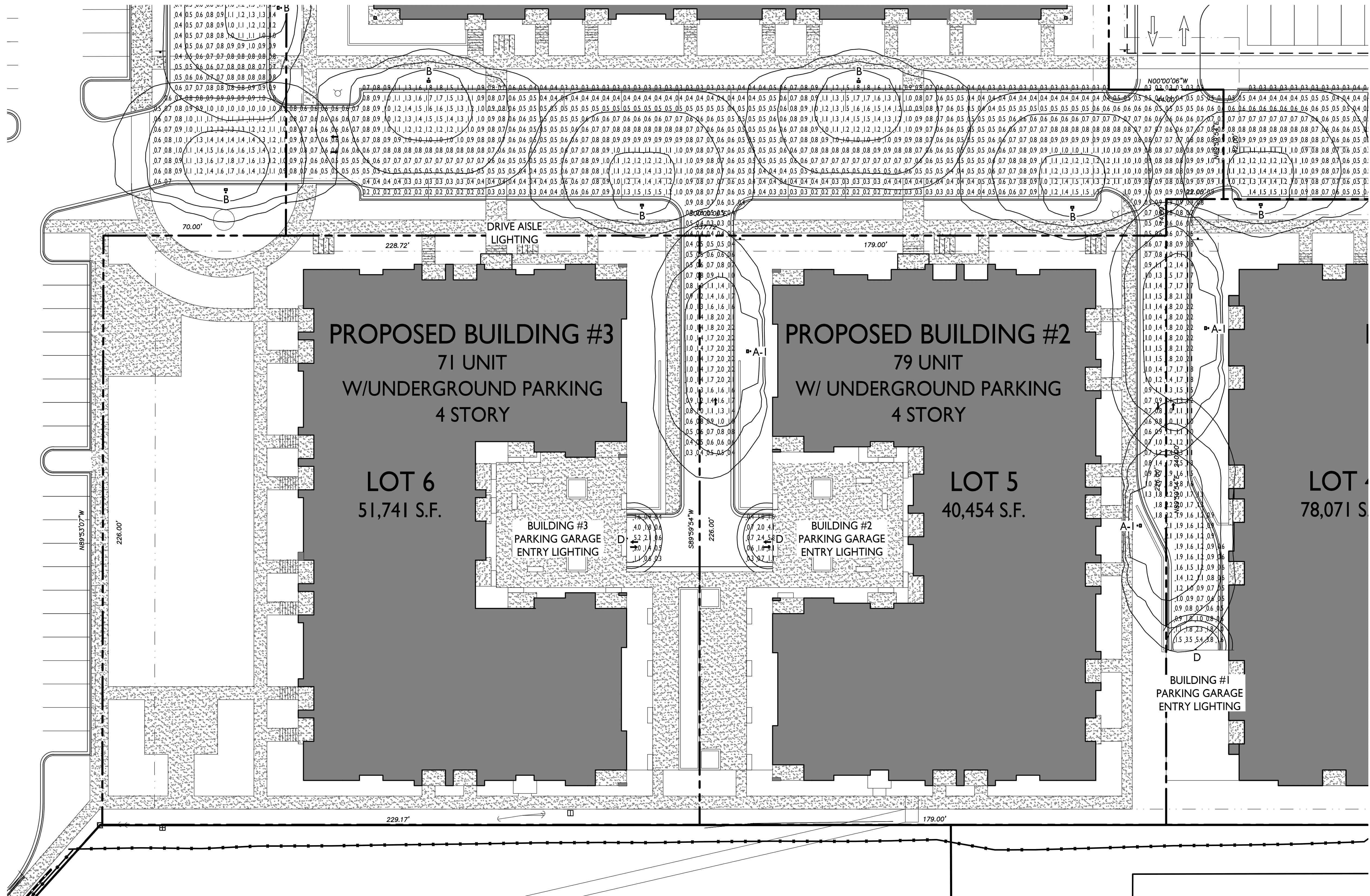
ENLARGED SITE LIGHTING PLAN
C-1.2a 1" = 20'-0"



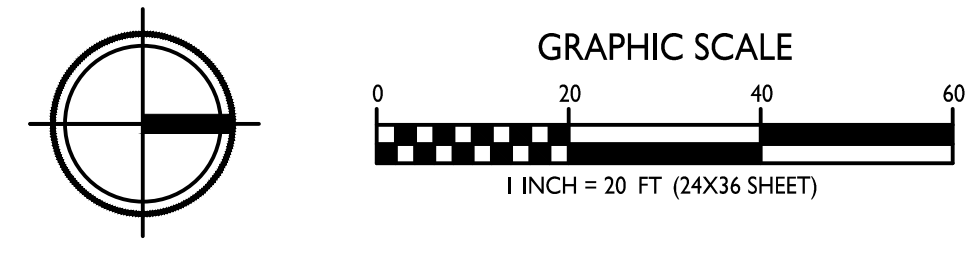
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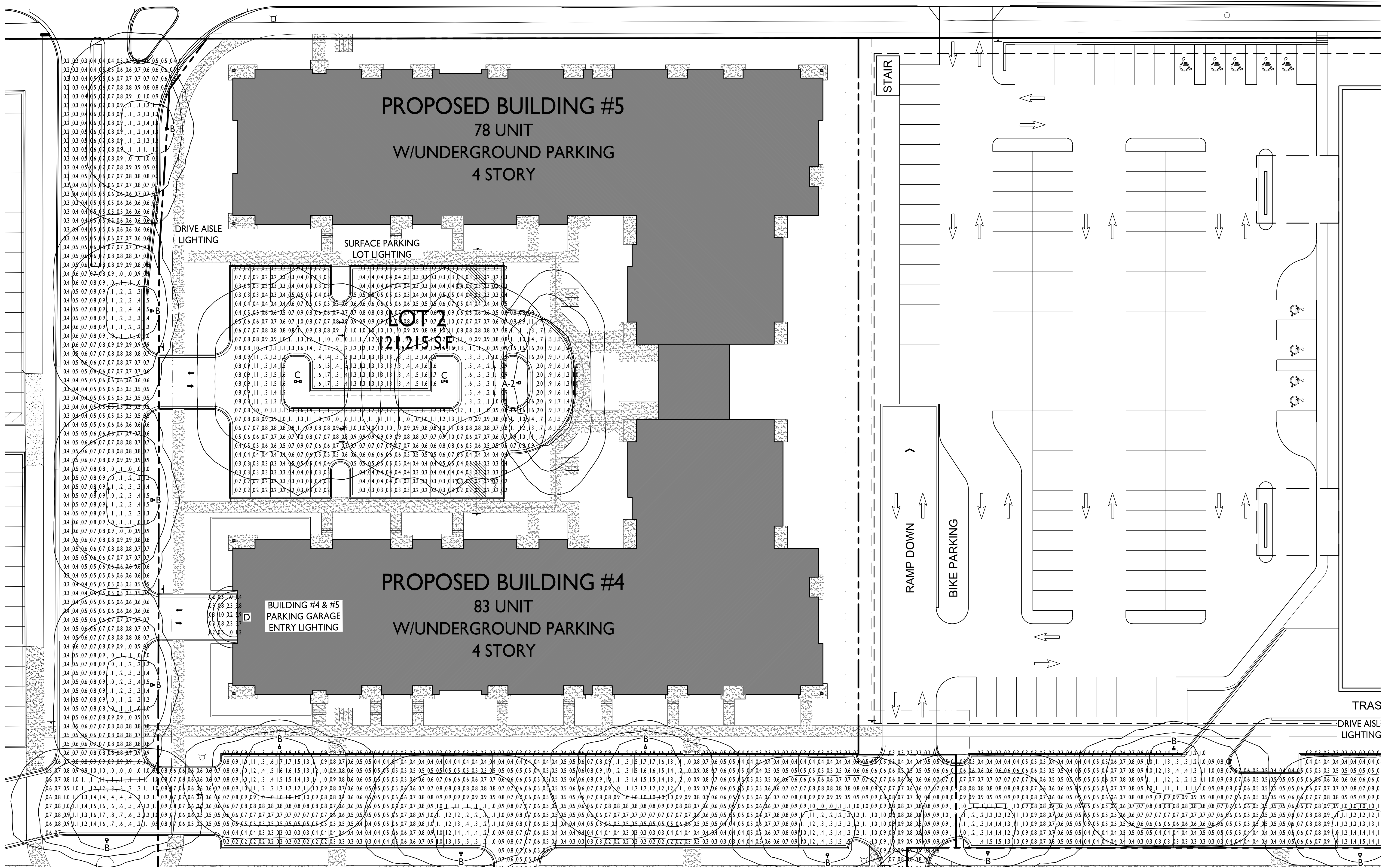
C-1.2a

PROJECT NO. 1925
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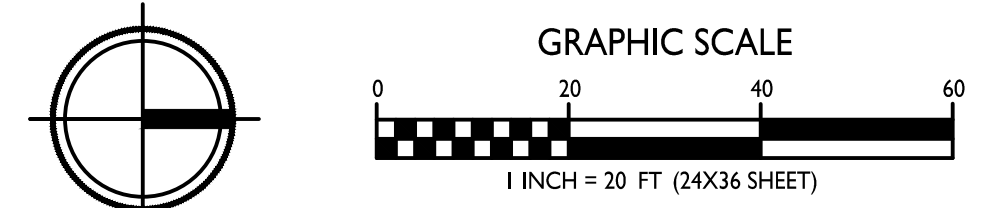


ENLARGED SITE LIGHTING PLAN
C-1.2b 1" = 20'-0"





ENLARGED SITE LIGHTING PLAN
C-1.2c 1" = 20'-0"





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PROJECT TITLE
**WESTGATE
REDEVELOPMENT**
JT Klein

Whitney Way &
Tokay Blvd.
Madison, Wisconsin
SHEET TITLE
Lot Coverage

SHEET NUMBER

C-1.4

PROJECT NO. **1925**

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WHITNEY WAY

SOUTH WHITNEY WAY

ODANA ROAD

TOKAY BLVD
TOKAY BOULEVARD

ODANA ROAD

PART OF BLOCK L, WESTGATE

N 00°01'36" E 150.00'

N 89°52'24" W 150.00'

LOT 1
355,520 S.F.

PROPOSED BUILDING #3
71 UNIT
W/ UNDERGROUND PARKING
4 STORY

LOT 6
51,741 S.F.

PROPOSED BUILDING #2
79 UNIT
W/ UNDERGROUND PARKING
4 STORY

LOT 5
40,454 S.F.

PROPOSED BUILDING #1
153 UNIT
W/ UNDERGROUND PARKING
4-5 STORY

LOT 4
78,071 S.F.

PROPOSED BUILDING #5
78 UNIT
W/ UNDERGROUND PARKING
4 STORY

LOT 2
121,215 S.F.

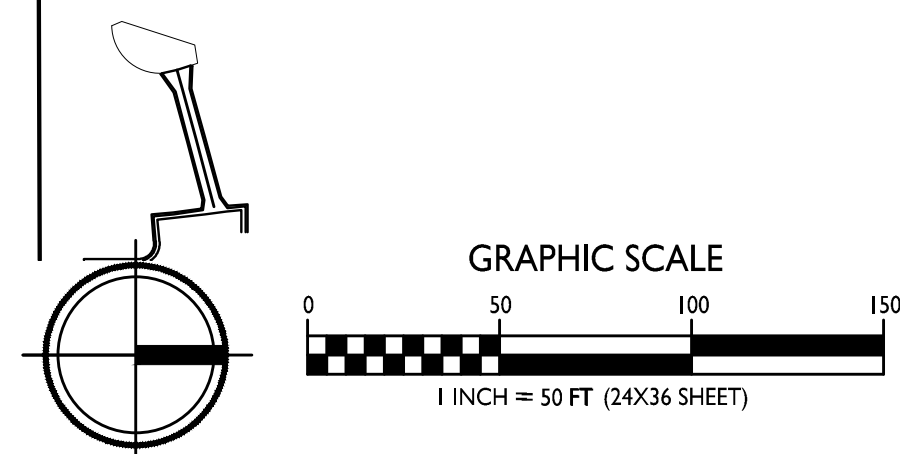
PROPOSED BUILDING #4
83 UNIT
W/ UNDERGROUND PARKING
4 STORY

FUTURE
OFFICE/MEDICAL/CLINIC
3 - 8 STORIES

LOT 3
124,583 S.F.

LOTS 2,4,5 & 6 COVERAGE
TOTAL LOT AREA 291,481 S.F.
PROPOSED COVERAGE 200,993 S.F. / 69%

LOT COVERAGE
C-1.4 1" = 50'-0"





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ARCHITECTS

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ISSUED
Issued for Land Use & UDC - May 20, 2020

PROJECT TITLE
**WESTGATE
REDEVELOPMENT**
JT Klein

Whitney Way &
Tokay Blvd.
Madison, Wisconsin
SHEET TITLE
**Usable Open
Space**

SHEET NUMBER

C-1.5

PROJECT NO. 1925

© Knothe & Bruce Architects, LLC

WHITNEY WAY

ODANA ROAD

TOKAY BLVD

PRIVATE DRIVE

PRIVATE DRIVE

VIA DANE

SEGOE ROAD

PROPOSED BUILDING #5
78 UNIT
W/UNDERGROUND PARKING
4 STORY

LOT 2
121,215 S.F.

PROPOSED BUILDING #4
83 UNIT
W/UNDERGROUND PARKING
4 STORY

LOT 1
355,520 S.F.

EXISTING HYVEE

PROPOSED BUILDING #3
71 UNIT
W/UNDERGROUND PARKING
4 STORY

LOT 6
51,741 S.F.

PROPOSED BUILDING #2
79 UNIT
W/ UNDERGROUND PARKING
4 STORY

LOT 5
40,454 S.F.

PROPOSED BUILDING #1
153 UNIT
W/UNDERGROUND PARKING
4-5 STORY

LOT 4
78,071 S.F.

FUTURE
OFFICE/MEDICAL/CLINIC
3 - 8 STORIES

LOT 3
124,583 S.F.

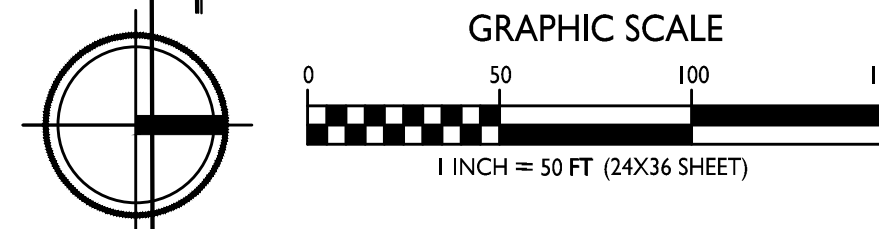
POOL

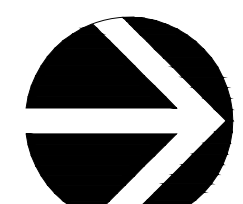
USABLE OPEN SPACE

Lots 2, 4, 5 & 6

OPEN SPACE PROVIDED:	
BALCONIES, PATIOS 465 (54 S.F.)	25,110 S.F.
PLAZA DECKS	23,124 S.F.
SURFACE/AT GRADE	84,684 S.F.
TOTAL	132,918 S.F.

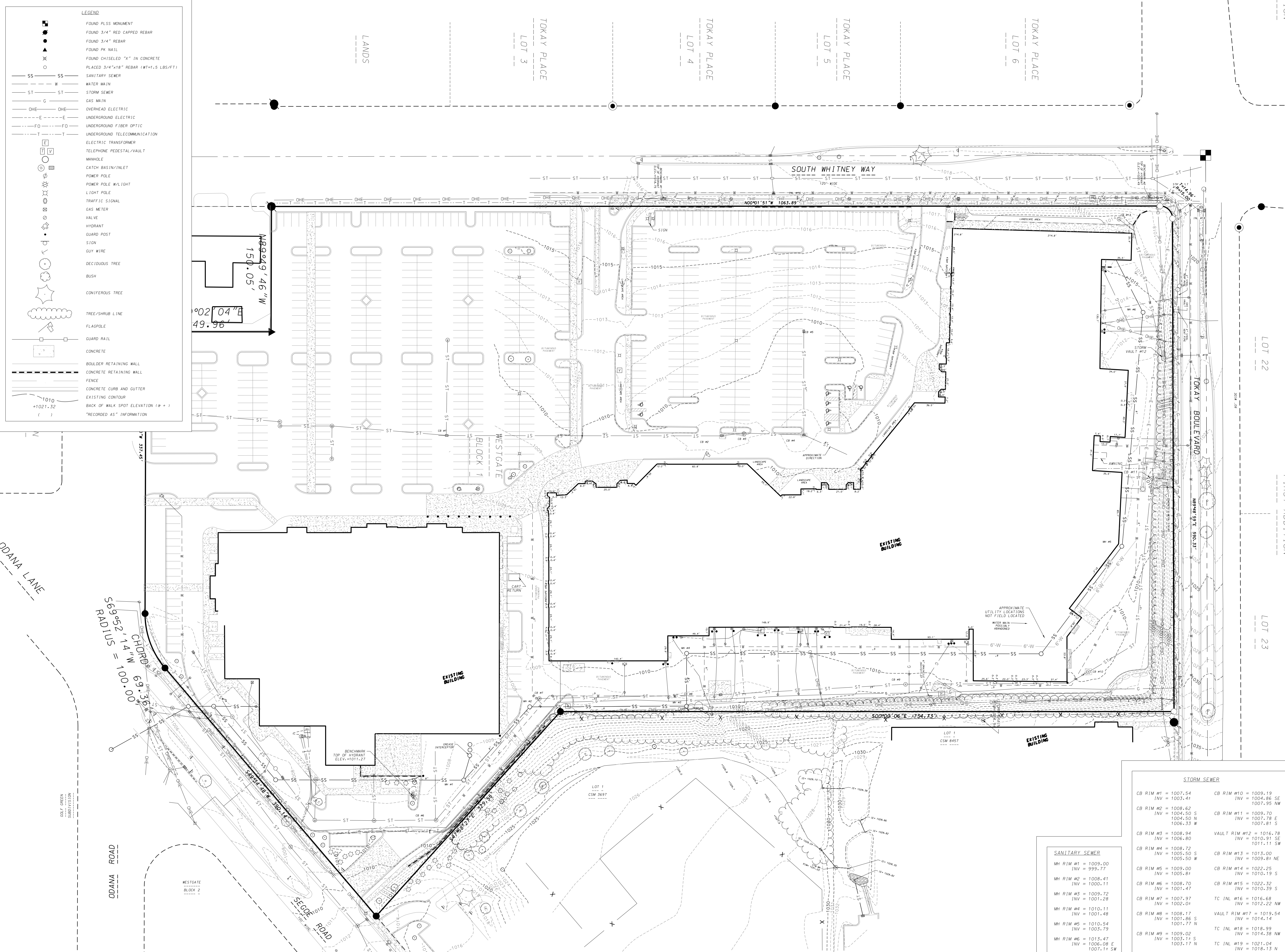
1 USABLE OPEN SPACE
C-1.5 1" = 50'-0"





SCALE: 1" = 50'
(PAGE SIZE: 24x36)

GRID NORTH
WISCONSIN COUNTY COORDINATE
SYSTEM (DAKE ZONE)



SANITARY SEWER

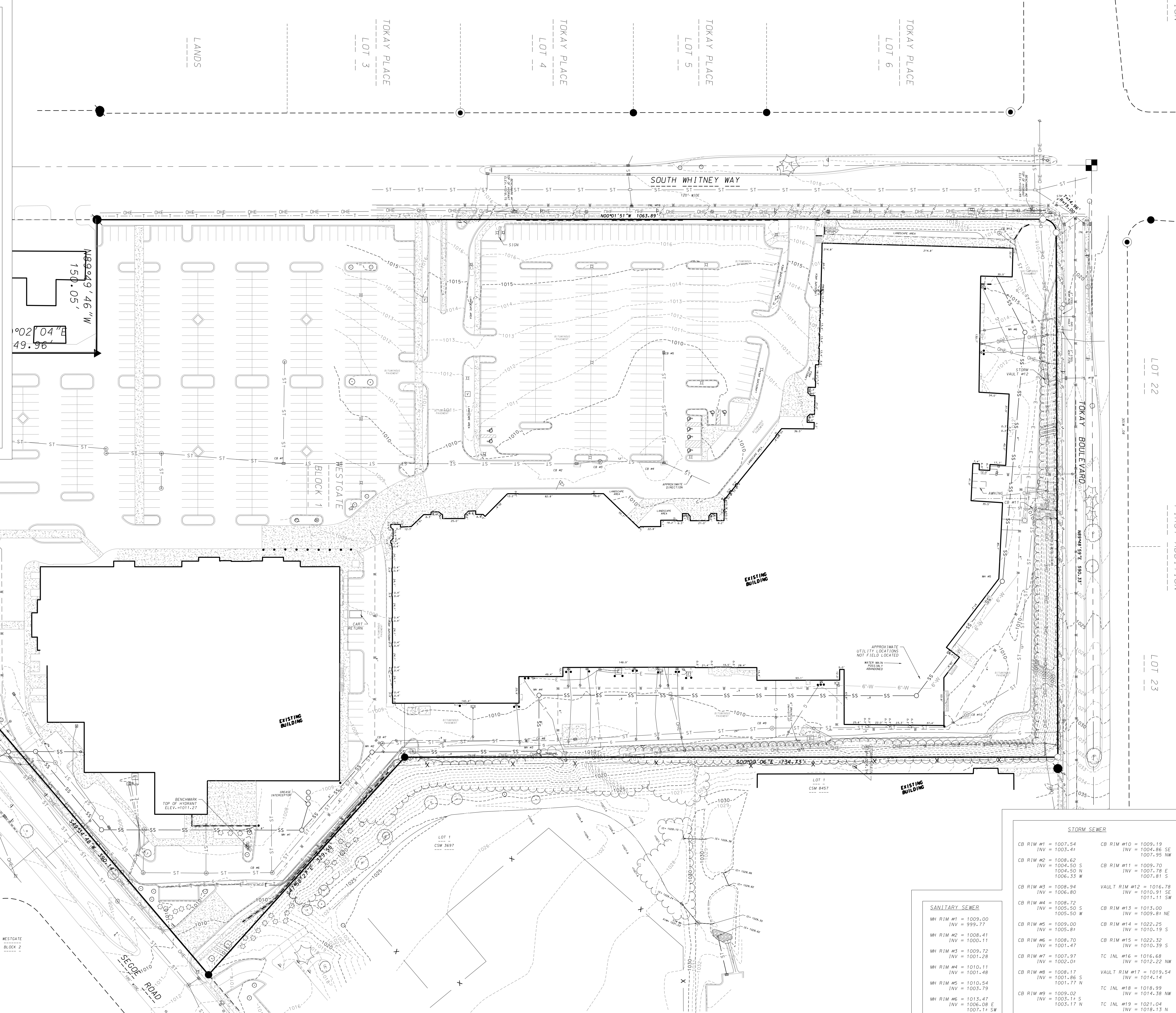
MH RIM #1 = 1009.00 INV = 999.77	MH RIM #2 = 1008.41 INV = 1000.11	MH RIM #3 = 1009.72 INV = 1001.28	MH RIM #4 = 1010.11 INV = 1001.48	MH RIM #5 = 1010.54 INV = 1003.79	MH RIM #6 = 1013.47 INV = 1007.15 S 1007.17 S
-------------------------------------	--------------------------------------	--------------------------------------	--------------------------------------	--------------------------------------	---

STORM SEWER

CB RIM #1 = 1007.54 INV = 1003.47	CB RIM #2 = 1008.62 INV = 1004.50 S 1004.50 N 1006.33 W	CB RIM #3 = 1008.94 INV = 1006.80	CB RIM #4 = 1008.72 INV = 1005.50 S 1005.50 W	CB RIM #5 = 1009.00 INV = 1005.81	CB RIM #6 = 1008.70 INV = 1001.47	CB RIM #7 = 1007.97 INV = 1002.04	CB RIM #8 = 1008.17 INV = 1001.86 S 1001.77 N	CB RIM #9 = 1009.02 INV = 1003.15 S 1003.17 N	CB RIM #10 = 1009.19 INV = 1004.86 SE 1007.95 NW	CB RIM #11 = 1009.70 INV = 1007.78 E 1007.81 S	VAULT RIM #12 = 1016.78 INV = 1010.91 SE 1011.17 SW	CB RIM #13 = 1013.00 INV = 1003.81 NE	CB RIM #14 = 1022.25 INV = 1010.19 S	CB RIM #15 = 1022.32 INV = 1010.39 S	TC INL #16 = 1016.68 INV = 1012.22 NW	VAULT RIM #17 = 1019.54 INV = 1014.14	TC INL #18 = 1018.99 INV = 1014.38 NW	TC INL #19 = 1021.04 INV = 1018.13 N
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LEGEND

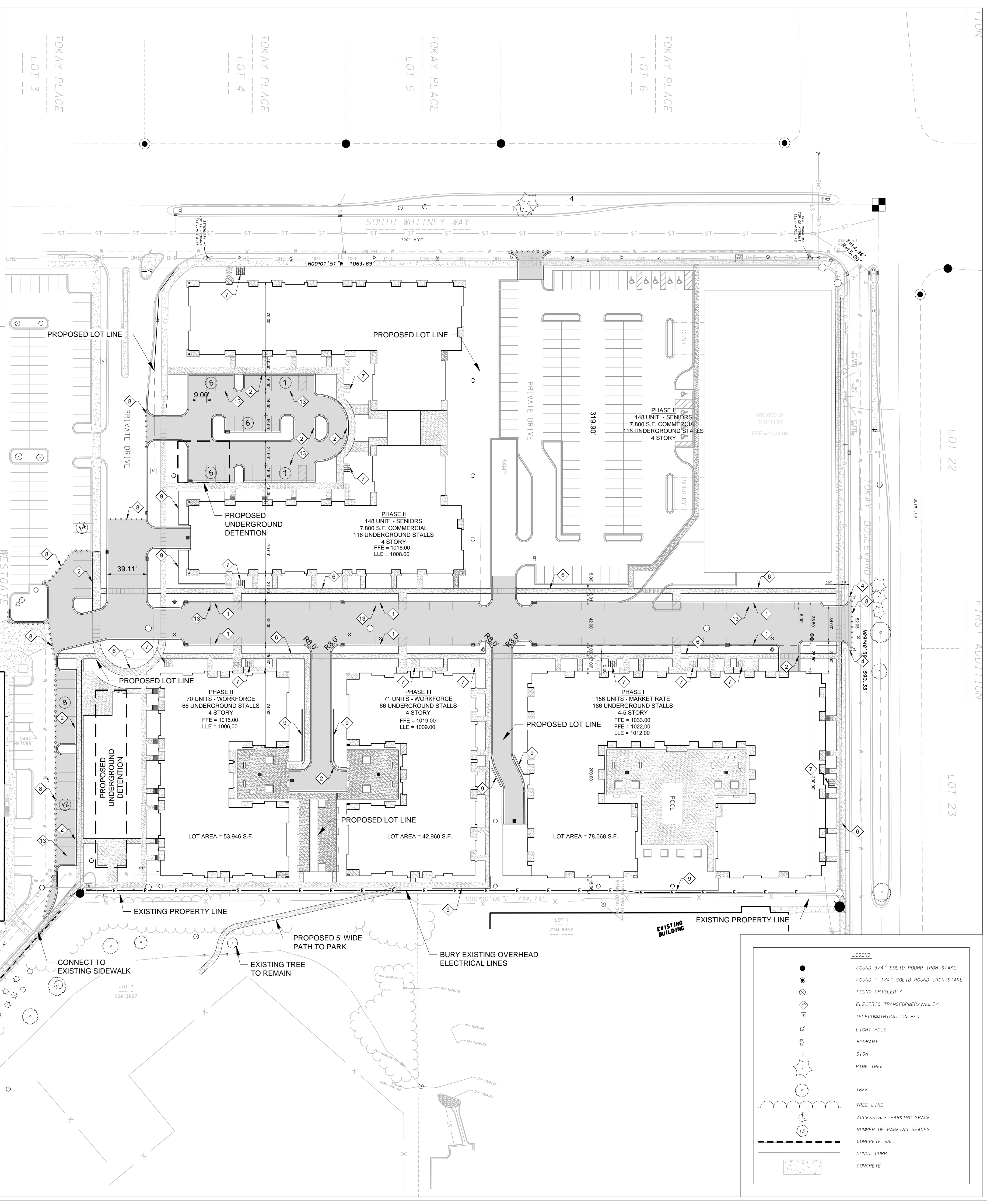
- FOUND PLSS MONUMENT
- FOUND 3/4" RED CAPPED REBAR
- FOUND 3/4" REBAR
- FOUND PK NAIL
- FOUND CHISELED "X" IN CONCRETE
- PLACED 3/4"x18" REBAR (WT=1.5 LBS/FT)
- SANITARY SEWER
- WATER MAIN
- STORM SEWER
- GAS MAIN
- OHE OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- UNDERGROUND FIBER OPTIC
- UNDERGROUND TELECOMMUNICATION
- ELECTRIC TRANSFORMER
- TELEPHONE PEDESTAL/VAULT
- MANHOLE
- CATCH BASIN/INLET
- POWER POLE
- POWER POLE W/LIGHT
- LIGHT POLE
- TRAFFIC SIGNAL
- GAS METER
- VALVE
- HYDRANT
- GUARD POST
- STON
- GUY WIRE
- DECIDUOUS TREE
- BUSH
- CONIFEROUS TREE
- TREE/SHRUB LINE
- FLAGPOLE
- GUARD RAIL
- CONCRETE
- BOULDER RETAINING WALL
- CONCRETE RETAINING WALL
- FENCE
- CONCRETE CURB AND OUTER
- EXISTING CONTOUR
- BACK OF WALK SPOT ELEVATION (+ # +)
- "RECORDED AS" INFORMATION



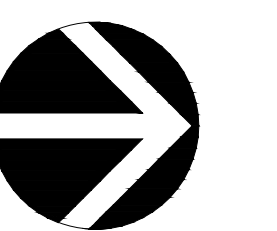
- SEE GRADING PLAN TO DETERMINE LOCATIONS OF HOLDING OR REJECT CURBS.
- PROVIDE CONTROL JOINTS 10'+/- O.C. PROVIDE EXPANSION JOINTS 50' O.C.
- EARTHWORK CONTRACTOR TO SUBGRADE AND STONE 12" BEYOND BACK OF CURB TO PROVIDE COMPACTED LEVELING BASE FOR CURB AND GUTTER.
- EARTHWORK CONTRACTOR TO REMOVE ALL EXCESS STONE BEHIND BACK OF CURB IN LANDSCAPE ISLANDS. THIS APPLIES TO EXCESS STONE BEYOND 12" AT BACK OF CURB.
- PAVING CONTRACTOR SHALL PROVIDE FLUSH ASPHALT PAVING TO CONCRETE CURB. IF SURFACE COURSE IS RAISED AFTER PAVING, PAVING CONTRACTOR SHALL HEAT UP, REMOVE AND COMPACT EXCESS PAVEMENT.
- IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT. IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
- ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED
- CONTRACTOR SHALL REPLACE CURB AND GUTTER AND PAVEMENT WHICH ABUTS THE PROJECT AND IS DAMAGED BY CONSTRUCTION OR CURB AND GUTTER WHICH THE ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE.
- ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
- CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
- ALL PARCELS WITHIN THIS DEVELOPMENT ARE BOUND BY THE CROSS ACCESS AGREEMENT ON FILE WITH THE REGISTER OF DEEDS.
- UPON CONSULTATION, THE CITY TRAFFIC ENGINEER MAY DETERMINE A DELAY IN CONSTRUCTION OF THE STREETS IS APPROPRIATE.
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.

- KEYNOTES**
- 1 18-INCH CURB & GUTTER (TYPE D - ACCEPTING PAN)
 - 2 18-INCH CURB & GUTTER (TYPE D - REJECTING PAN)
 - 3 30-INCH CURB & GUTTER
 - 4 TRANSITION FROM 18" TO 30" CURB
 - 5 2' CURB TERMINUS
 - 6 CONCRETE SIDEWALK
 - 7 BIKE STALL PARKING
 - 8 MEET EXISTING ASPHALT PAVEMENT
 - 9 RETAINING WALL BY OTHERS
 - 10 ACCESSIBLE PARKING SIGN
 - 11 TRAFFIC STOP SIGN
 - 12 STOP BAR STRIPING
 - 13 PARKING SPACE STRIPING - TYP

- PROPOSED IMPROVEMENTS LEGEND**
- ON-SITE ASPHALT PAVEMENT
 - 4" ASPHALT (2.25" BINDER, 1.75" SURFACE)
 - 9" STONE (3" BASE AGG, 6" SUBBASE AGG)
 - CONCRETE PAVEMENT
 - PROPOSED PARKING SPACE COUNT
 - DEPRESSED CURB



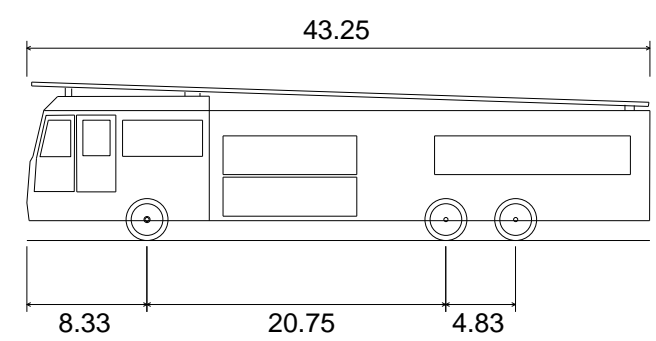
- LEGEND**
- FOUND 3/4" SOLID ROUND IRON STAKE
 - FOUND 1-1/4" SOLID ROUND IRON STAKE
 - ✕ FOUND CHISLED X
 - ⊕ ELECTRIC TRANSFORMER/VAULT
 - ⊞ TELECOMMUNICATION PED
 - ⊙ LIGHT POLE
 - ⊕ HYDRANT
 - ⊞ SIGN
 - ⊙ PINE TREE
 - TREE
 - TREE LINE
 - ♿ ACCESSIBLE PARKING SPACE
 - 16 NUMBER OF PARKING SPACES
 - ▨ CONCRETE WALL
 - ▬ CONC. CURB
 - ▭ CONCRETE



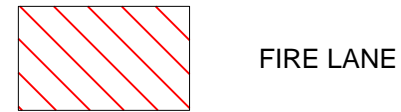
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(PAGE SIZE: 24x36)

GRID NORTH
WISCONSIN COUNTY COORDINATE
SYSTEM (DAKE ZONE)

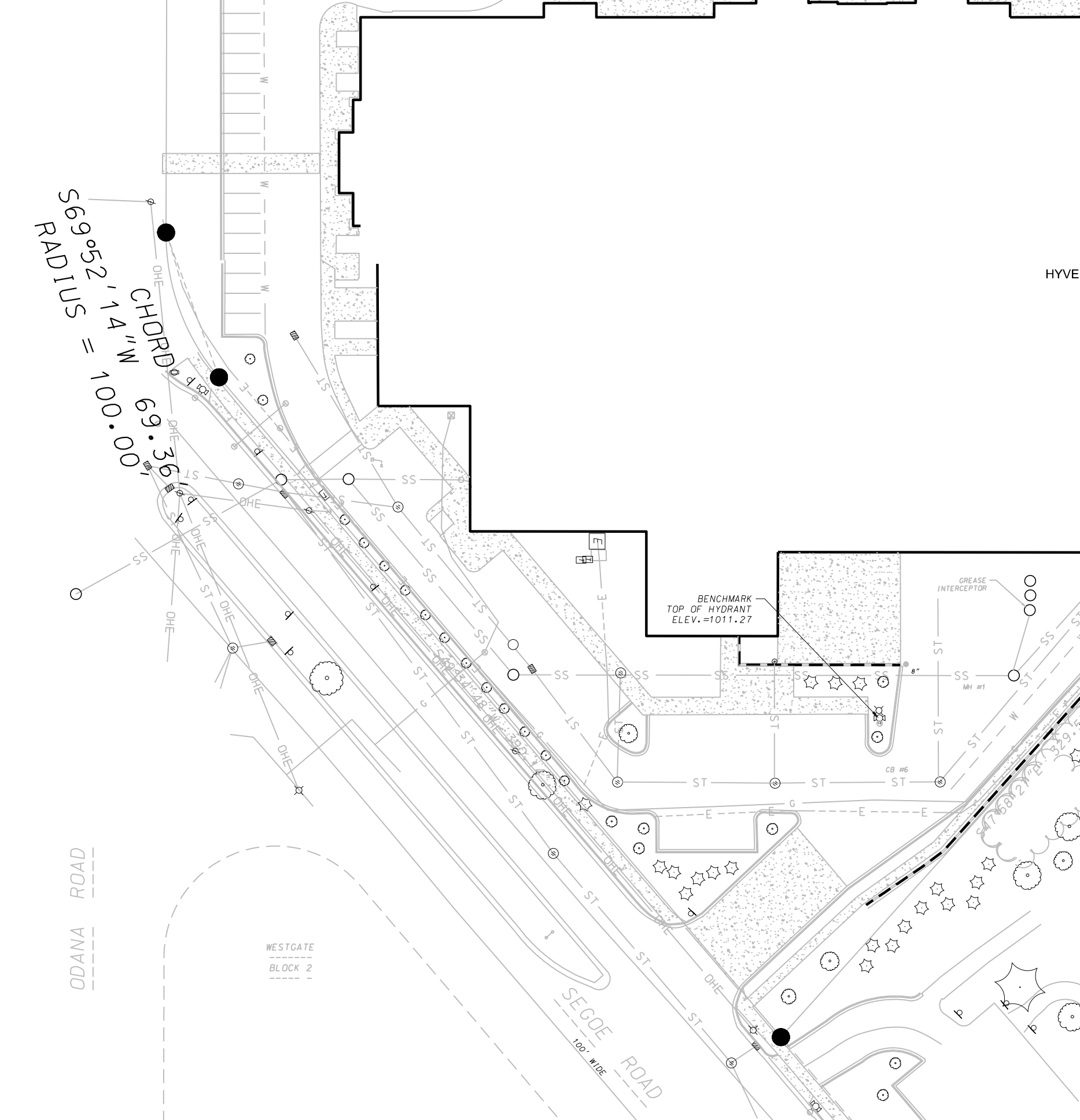
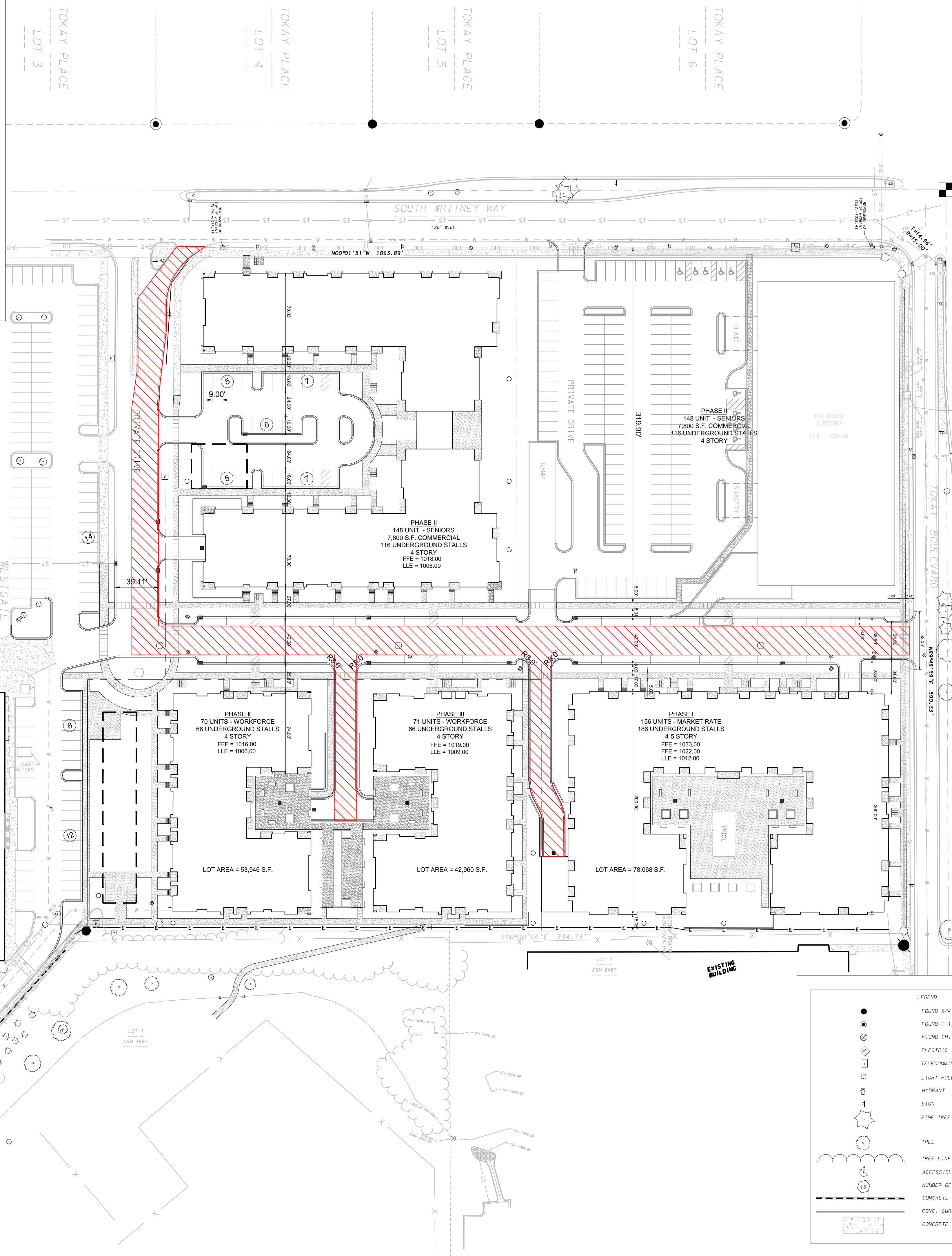
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FIRE RESCUE VEHICLE
 Overall Length 43.25ft
 Overall Width 8.33ft
 Overall Body Height 11.00ft
 Min Body Ground Clearance 1.38ft
 Track Width 8.33ft
 Lock-to-lock time 6.00s
 Max Wheel Angle 45.00°



FIRE LANE



LEGEND

●	FOUND 3/4" SOLID ROUND IRON STAKE
○	FOUND 1-1/4" SOLID ROUND IRON STAKE
⊗	FOUND CHISLED X
⊕	ELECTRIC TRANSFORMER/VALVE
⊞	TELECOMMUNICATION PED
⊙	LIGHT POLE
⊕	HYDRANT
⊞	SIGN
⊙	PINE TREE
⊙	TREE
⊙	TREE LINE
⊙	ACCESSIBLE PARKING SPACE
⊙	NUMBER OF PARKING SPACES
⊙	CONCRETE WALL
⊙	CONC. CURB
⊙	CONCRETE



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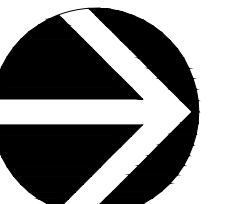
Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.

7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

ISSUED
Land Use Submittal – May 20, 2020

PROJECT TITLE
WESTGATE MALL REDEVELOPMENT



SCALE: 1" = 50'
(PAGE SIZE: 24x36)

GRID NORTH
WISCONSIN COUNTY COORDINATE
SYSTEM (DAKE ZONE)

SHEET TITLE
FIRE ACCESS PLAN

SHEET NUMBER
C-2.3

PROJECT NO. 19-05-151
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GRADING & EROSION CONTROL NOTES

1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DNR TECHNICAL STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WISCONSIN TECHNICAL STANDARDS.
3. EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS. IF DETERMINED NECESSARY DURING CONSTRUCTION ADDITIONAL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
4. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
5. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
6. NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE
7. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER
8. INSTALL INLET PROTECTION IN ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS. CONTRACTOR SHALL REMOVE THE TYPE D INLET PROTECTION DURING THE TIME PERIOD BETWEEN NOV. 15 AND MARCH 15, AND INSTALL A FRAME TYPE INLET PROTECTION BAG THAT WILL NOT PROJECT ABOVE THE INLET GRATE SUCH AS FLEX STORM BRAND OR EQUIVALENT.
9. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1
10. SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING.
11. INSTALL TEMPORARY DITCH CHECKS THAT ARE APPROVED ON THE WisDOT PAL LIST.
12. ALL INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT PUBLIC THOROUGHFARES SHALL BE CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
13. ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 DAYS SHALL BE STABILIZED WITH TEMPORARY STABILIZATION METHODS SUCH AS TEMPORARY SEEDING, SOIL TREATMENT, EROSION MATTING, OR MULCH
14. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
15. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
16. AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL FERTILIZER, SEED AND MULCH. SEED MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1000 SQFT ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 1 1/2 POUNDS PER 1000 SQFT SHALL BE ADDED TO THE MIXTURE. FERTILIZER SHALL BE PLACED PER A SOIL TEST.
17. DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WISCONSIN STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.

GENERAL NOTES

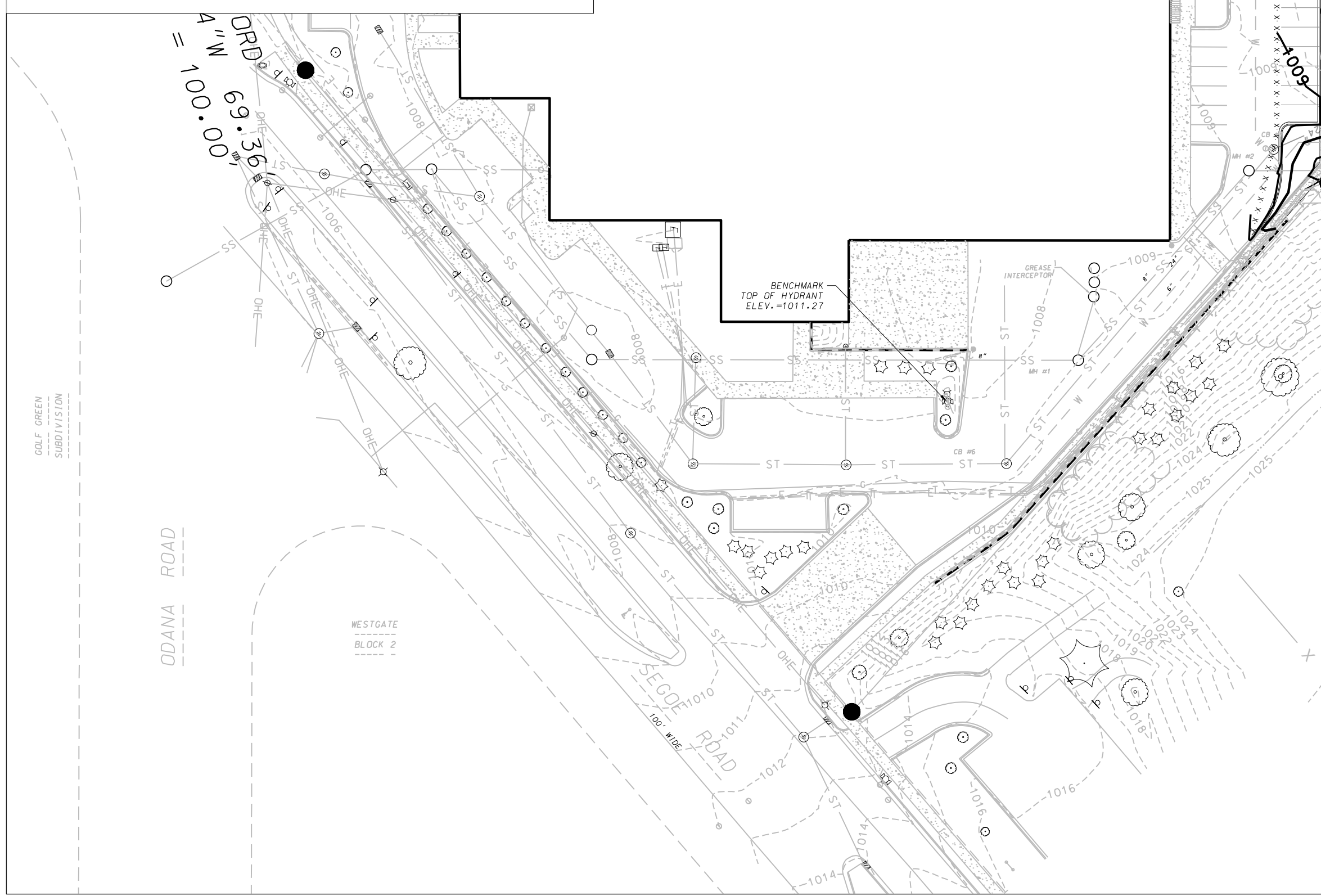
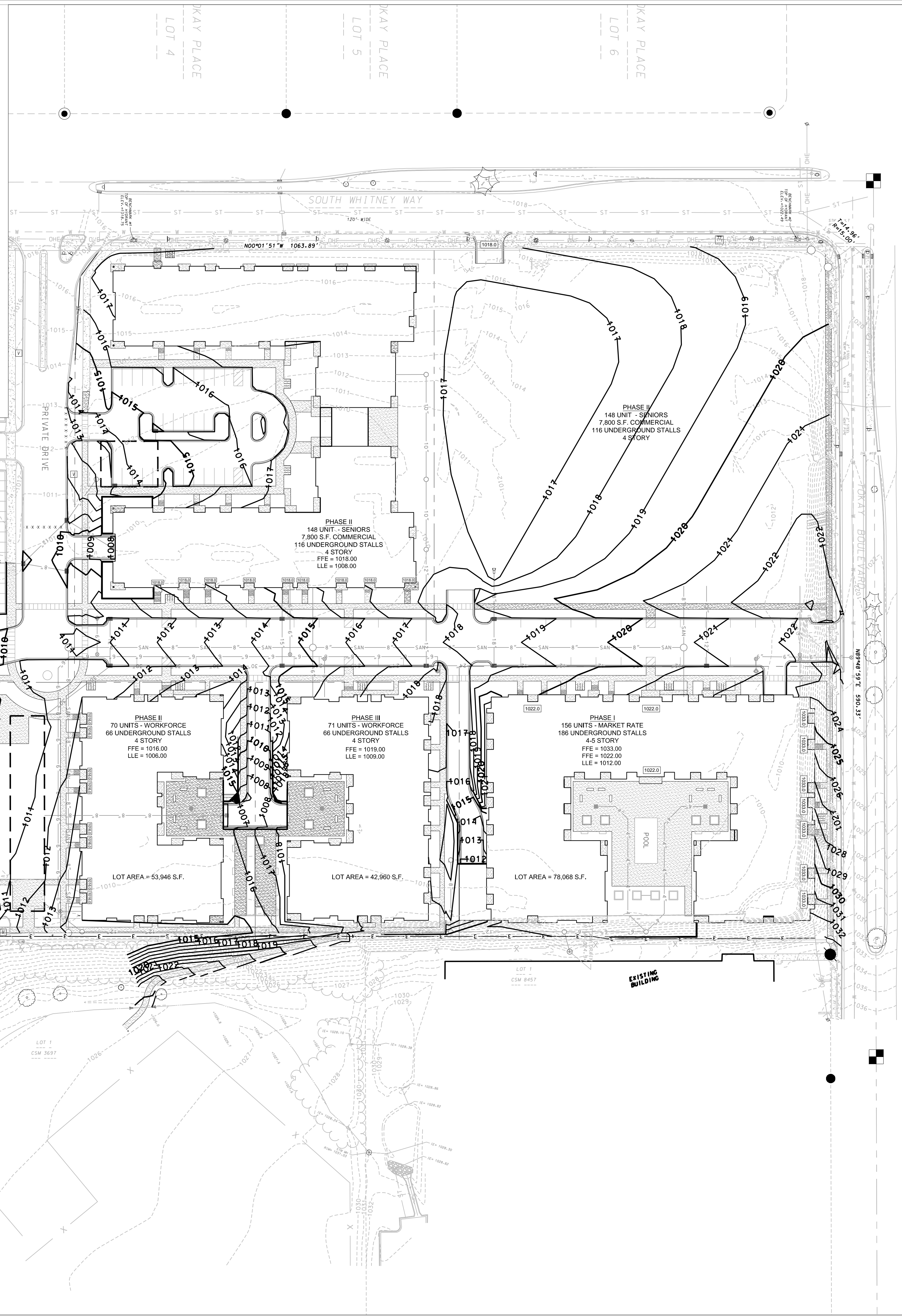
1. ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY
4. IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION
6. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED
7. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY AND IS DAMAGED BY CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE.

SEQUENCE OF CONSTRUCTION

1. INSTALL EROSION CONTROL
2. ROUGH SITE GRADING.
3. FINE GRADING, CONCRETE CURB AND GUTTER, ASPHALT, CONCRETE, AND UTILITIES.
4. STORM BASIN CONSTRUCTION
5. RE-SPREAD TOPSOIL AND FINAL RESTORATION
6. REMOVE EROSION CONTROL WHEN SITE HAS BECOME STABILIZED.

LEGEND

- PROPOSED CONTOUR
- EXISTING CONTOUR



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 608.836.3690 Middleton, WI 53562

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 7530 Westward Way, Madison, WI 53717
 Phone: 608.833.7530 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

ISSUED
 Land Use Submittal - May 20, 2020

PROJECT TITLE
WESTGATE MALL REDEVELOPMENT

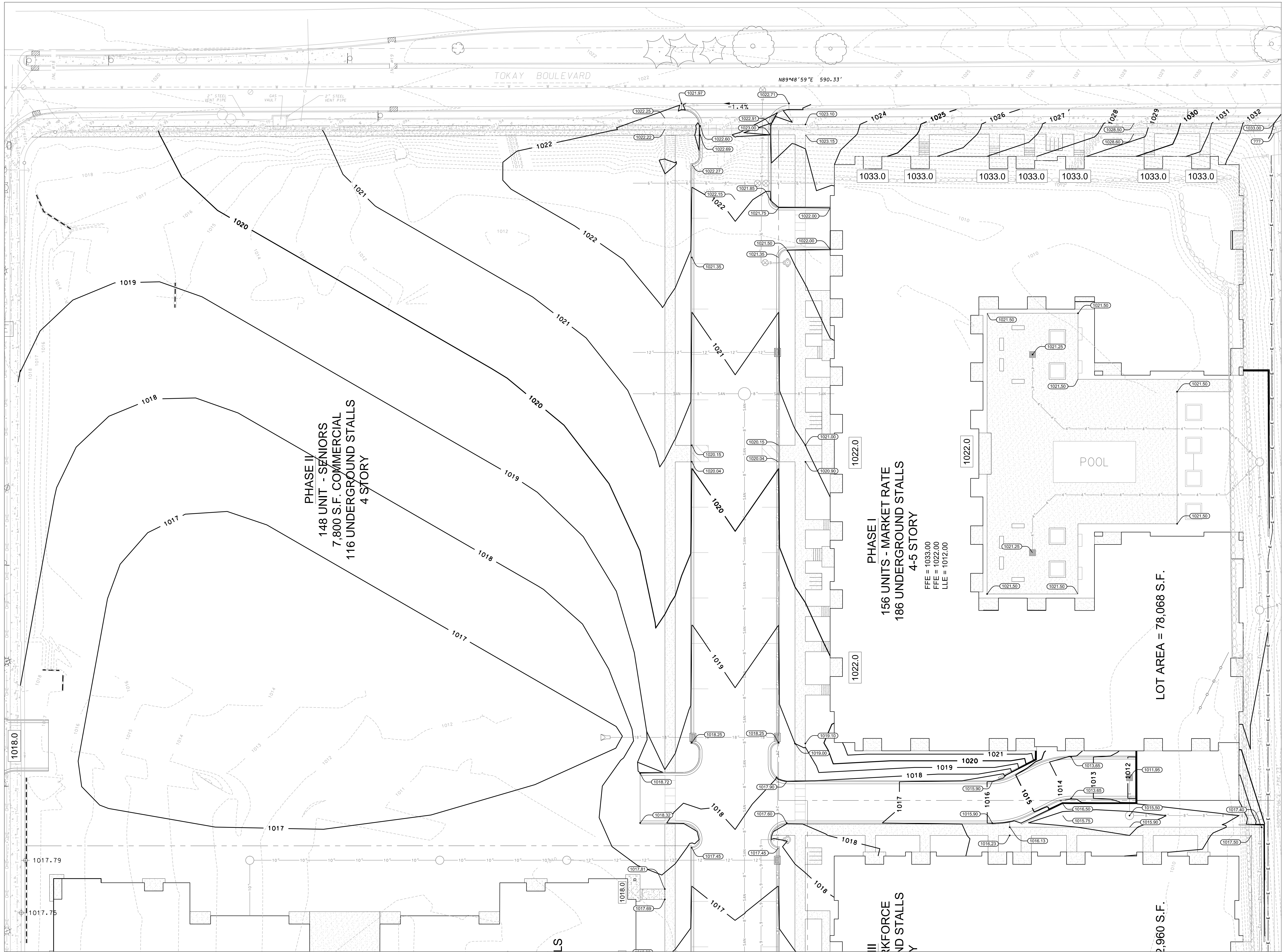
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 (PAGE SIZE: 24x36)

 GRID NORTH
 WISCONSIN COUNTY COORDINATE
 SYSTEM (DAKE ZONE)

SHEET TITLE
OVERALL GRADING PLAN

SHEET NUMBER
C-3.0

PROJECT NO. 19-05-151
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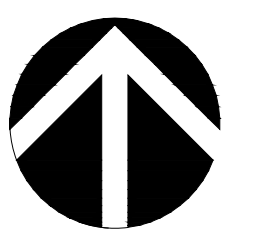
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2020

PROJECT TITLE
**WESTGATE MALL
REDEVELOPMENT**



SCALE: 1" = 20'
(PAGE SIZE: 24x36)

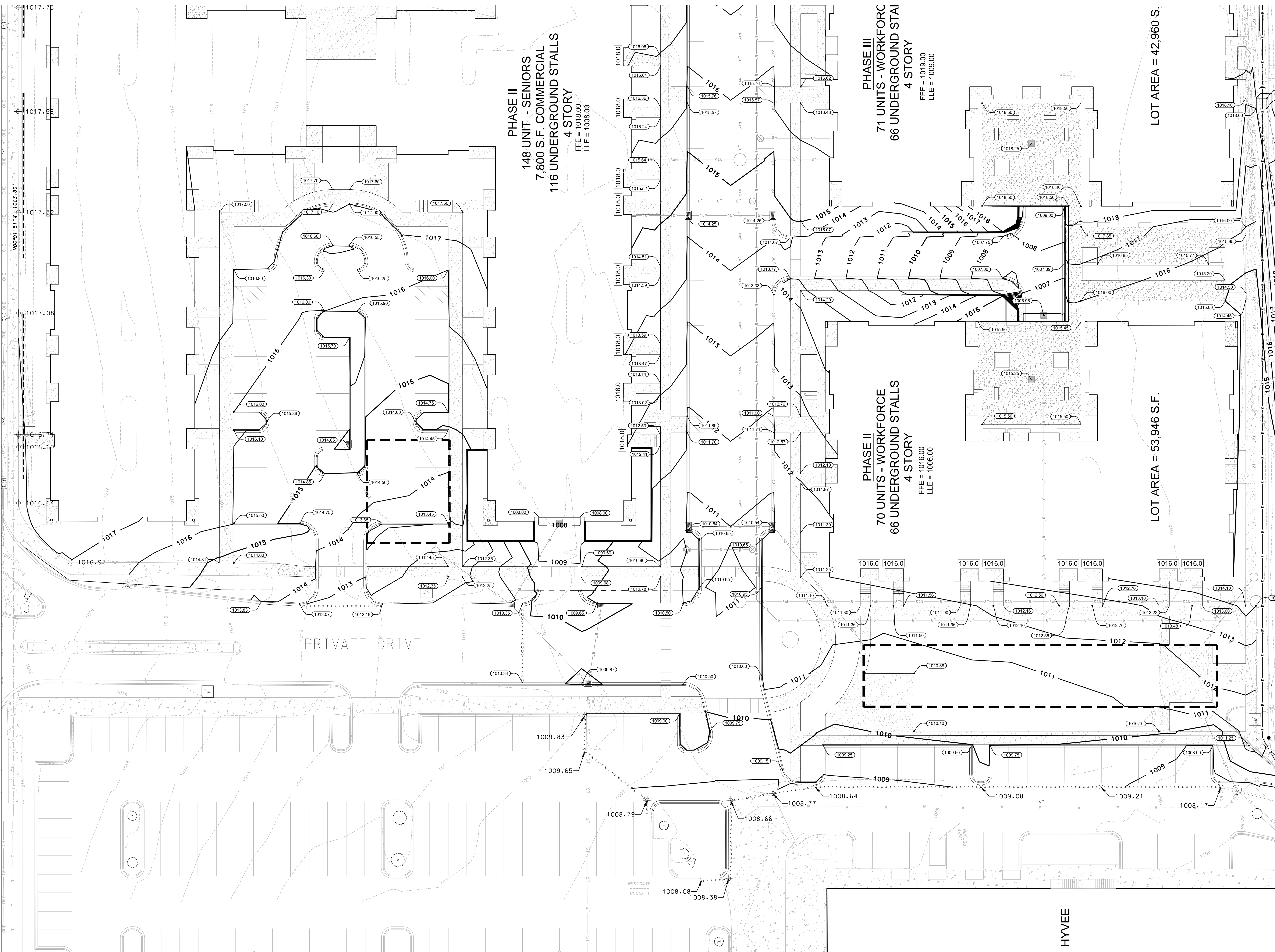
GRID NORTH
WISCONSIN COUNTY COORDINATE
SYSTEM (DANE ZONE)

SHEET TITLE
GRADING PLAN NORTH

SHEET NUMBER

C-3.1

PROJECT NO. 19-05-151
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LLC

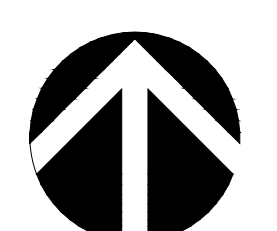


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Land Use Submittal - May 20, 2020

PROJECT TITLE
WESTGATE MALL REDEVELOPMENT



SCALE: 1" = 20'
(PAGE SIZE: 24x36)

GRID NORTH
WISCONSIN COUNTY COORDINATE
SYSTEM (DANE ZONE)

SHEET TITLE
GRADING PLAN SOUTH

SHEET NUMBER

C-3.2

PROJECT NO. 19-05-151
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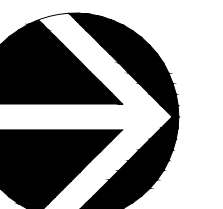
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PROJECT TITLE
WESTGATE MALL REDEVELOPMENT



SCALE: 1" = 40'
(PAGE SIZE: 24x36)

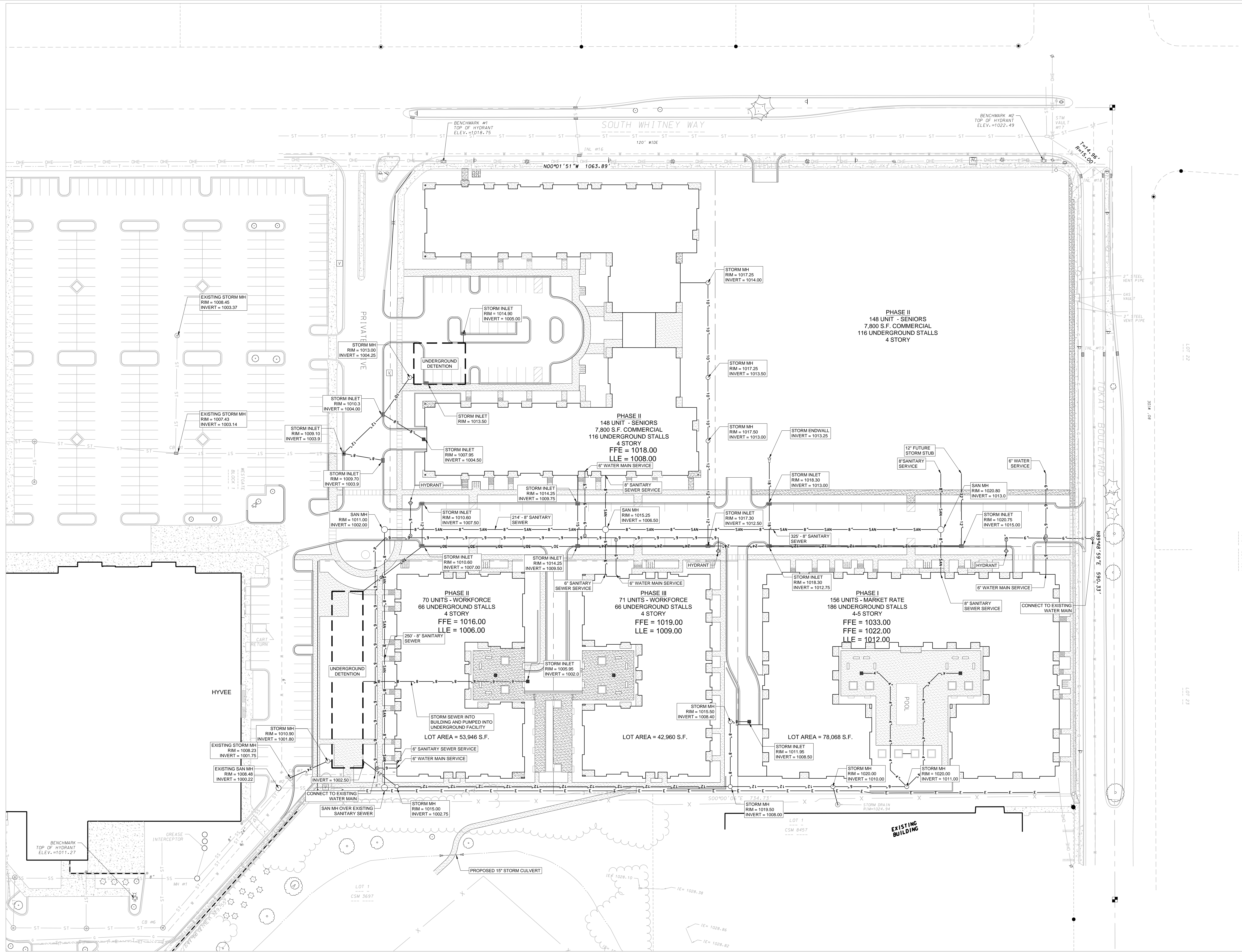
GRID NORTH
WISCONSIN COUNTY COORDINATE
SYSTEM (DANE ZONE)

SHEET TITLE
OVERALL UTILITY PLAN

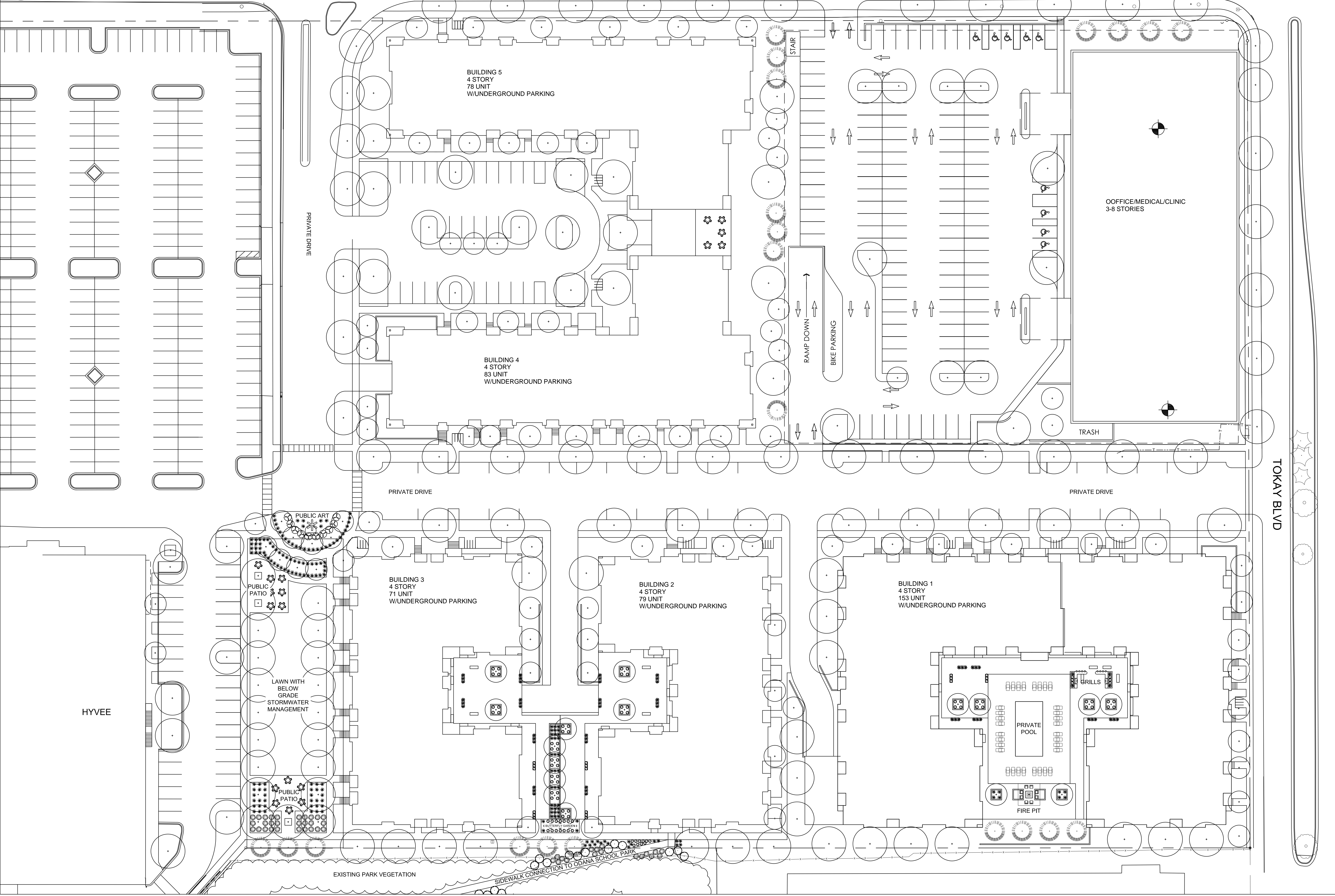
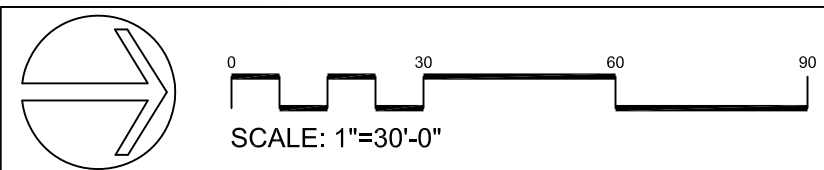
SHEET NUMBER

C-4.0

PROJECT NO. 19-05-151
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UNIVERSITY RESEARCH PARK
UNIVERSITY OF WISCONSIN - MADISON
FIRST ADDITION



**OLSON TOON
LANDSCAPING**
3570 Pioneer Road
Verona, WI 53593
PH: (608) 827-9401
FAX: (608) 827-9402
WEB: www.olsontoon.com

WESTGATE REDEVELOPMENT
Whitney Way and Tokay Boulevard
Madison, Wisconsin

Date: 2020.05.19
Scale: 1"=30'-0"
Designer:BNF
Job #

Seal:
To protect against legal liability,
the plans presented herein are
"schematic," and should not be
outsourced as "biddable" or
"construction documents" unless
approved by the Landscape
Designer. This is not an original
document unless stamped in
red, as ORIGINAL.

Revisions:

L 1.0
**LANDSCAPE
MASTER PLAN**

Reference Name:
JT Klein

WESTGATE REDEVELOPMENT

Whitney Way and Tokay Boulevard
Madison, Wisconsin

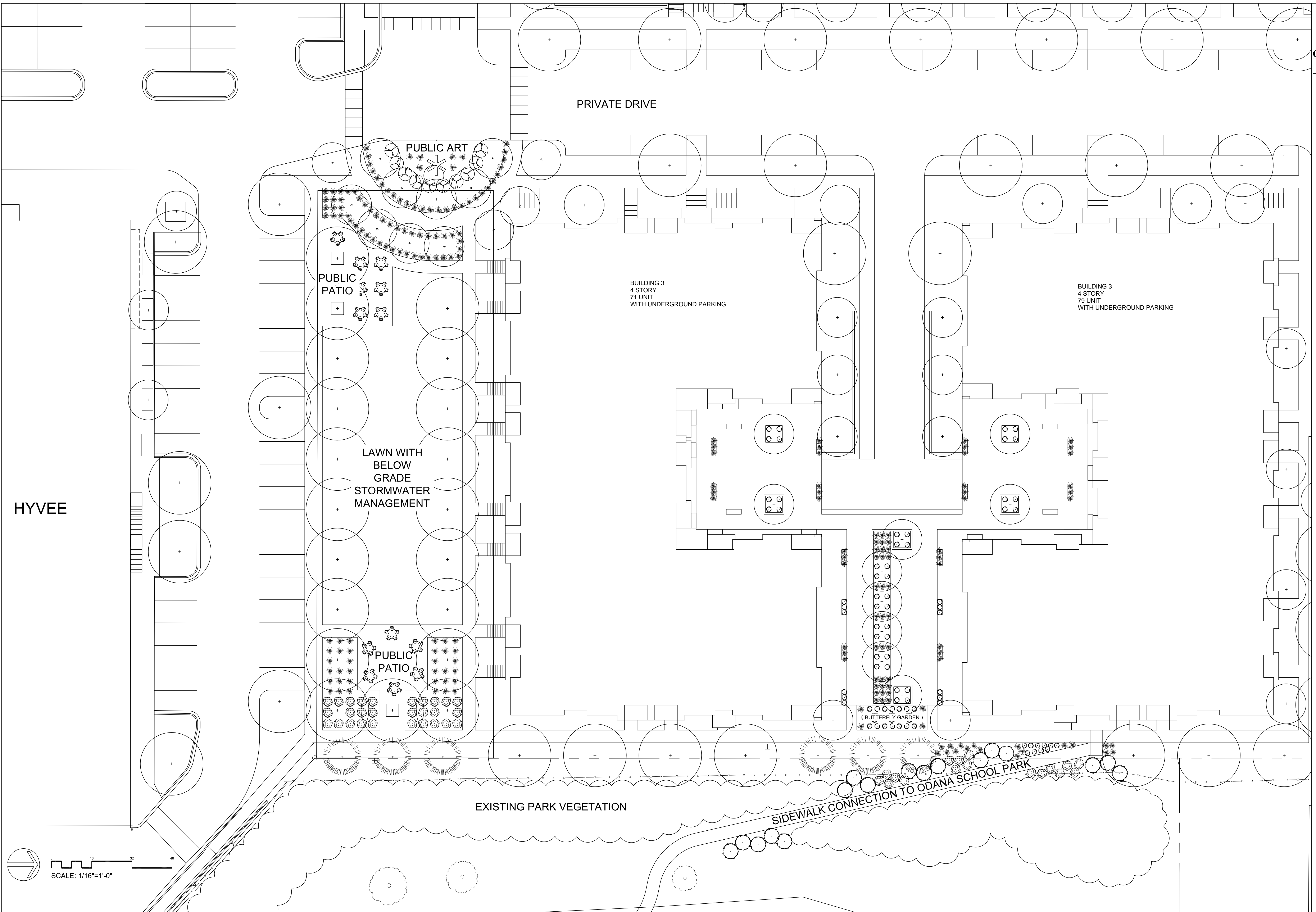
Date: 2020.05.19
Scale: 1/16"=1'-0"
Designer: BNF
Job #

Seal:
To protect against legal liability,
the plans presented herein are
"schematic," and should not be
outsourced as "biddable" or
"construction documents" unless
approved by the Landscape
Designer. This is not an original
document unless stamped in
red, as ORIGINAL.

Revisions:

L 1.1
GREEN SPACE
LANDSCAPE
PLAN

Reference Name:
JT Klein



HYVEE

PRIVATE DRIVE

PUBLIC ART

PUBLIC PATIO

BUILDING 3
4 STORY
71 UNIT
WITH UNDERGROUND PARKING

BUILDING 3
4 STORY
79 UNIT
WITH UNDERGROUND PARKING

LAWN WITH
BELOW
GRADE
STORMWATER
MANAGEMENT

PUBLIC PATIO

(BUTTERFLY GARDEN)

EXISTING PARK VEGETATION

SIDEWALK CONNECTION TO ODANA SCHOOL PARK

SCALE: 1/16"=1'-0"



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KEY PLAN

ISSUED
May 20, 2020

PROJECT TITLE
**WESTGATE
REDEVELOPMENT
BUILDING #1**

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Tokay Blvd.
Madison,
Wisconsin

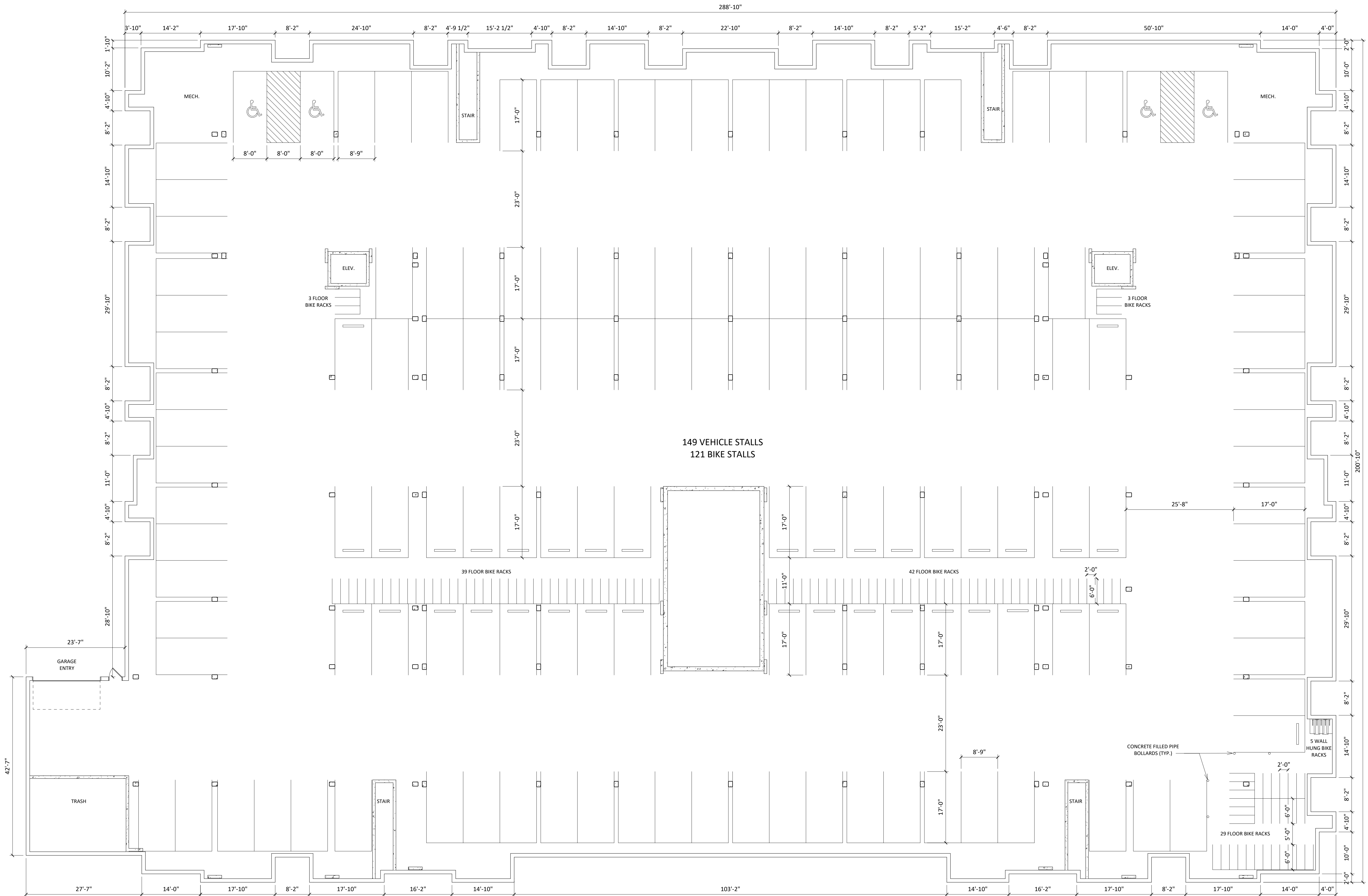
SHEET TITLE
**BASEMENT
FLOOR PLAN**

SHEET NUMBER

A-1.0

PROJECT NUMBER 1925

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1
A-1.0
00 - BASEMENT
3/32" = 1'-0"



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May 20, 2020

PROJECT TITLE
**WESTGATE
REDEVELOPMENT
BUILDING #1**

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Tokay Blvd.
Madison,
Wisconsin

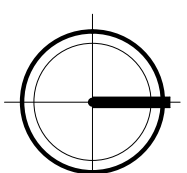
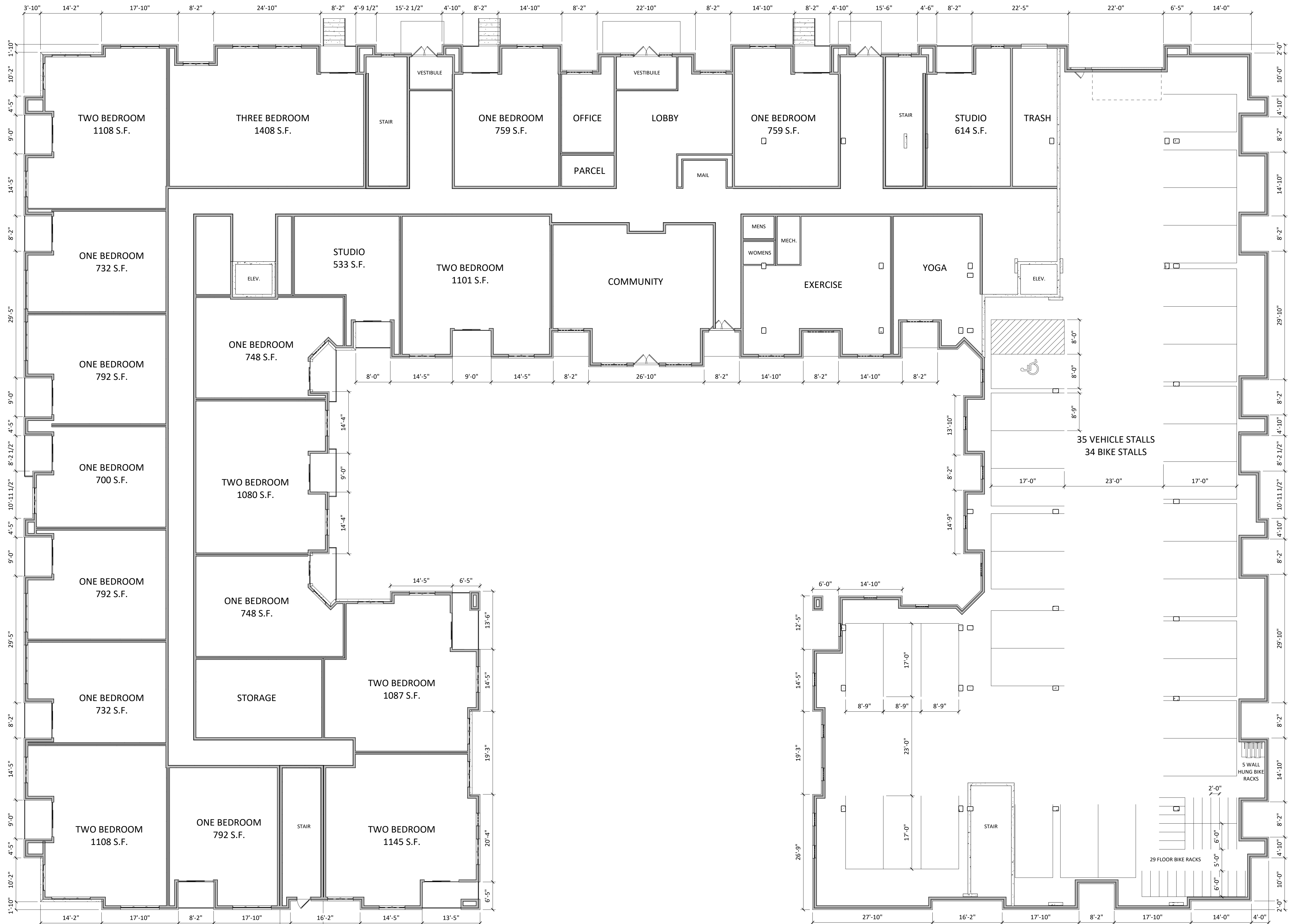
SHEET TITLE
**FIRST FLOOR
PLAN**

SHEET NUMBER

A-1.1

PROJECT NUMBER 1925

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1 01 - FIRST FLOOR
A-1.1 3/32" = 1'-0"



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Wisconsin

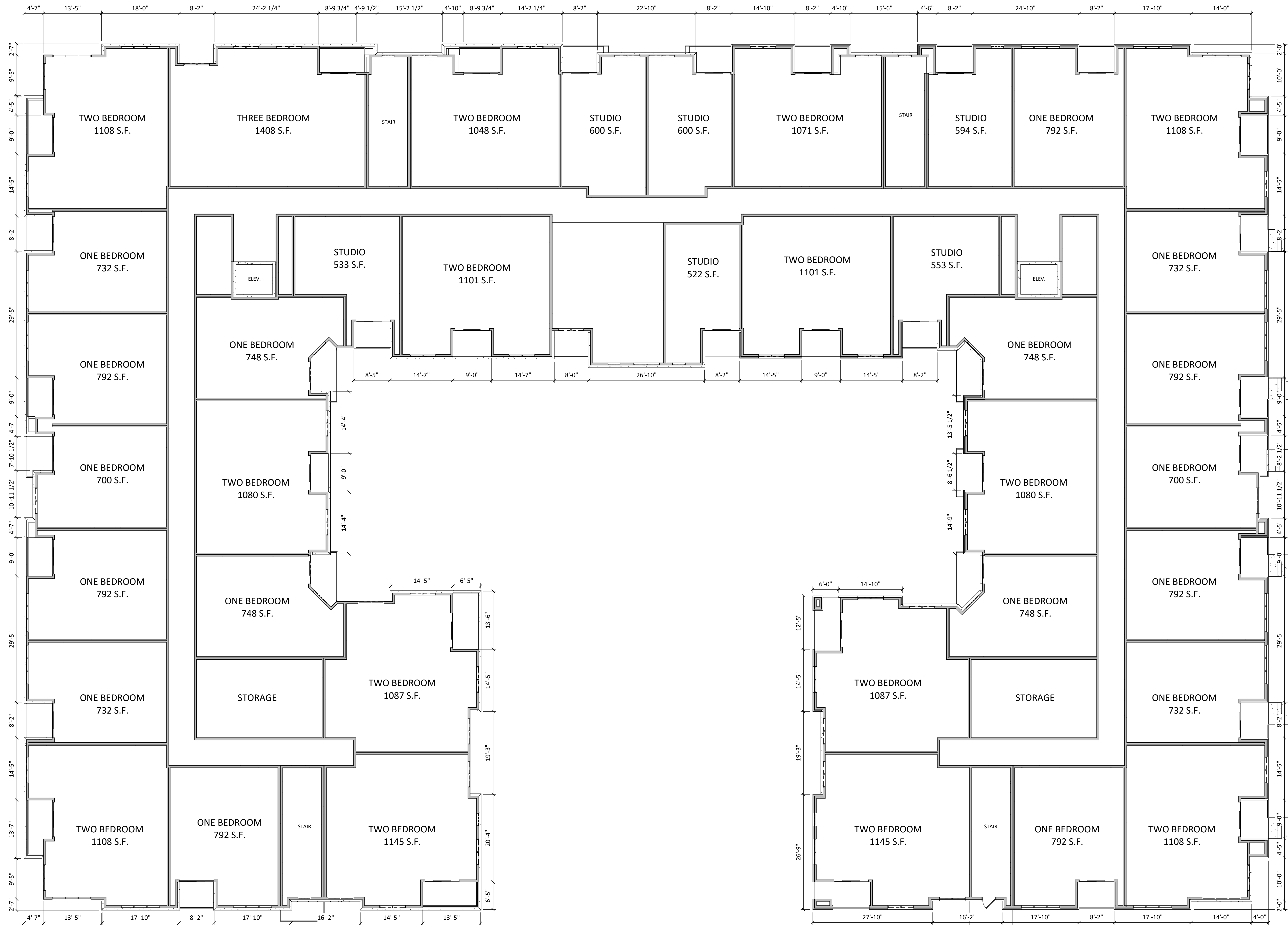
SHEET TITLE
**SECOND FLOOR
PLAN**

SHEET NUMBER

A-1.2

PROJECT NUMBER **1925**

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02 - SECOND FLOOR
3/32" = 1'-0"



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KEY PLAN

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PROJECT TITLE
**WESTGATE
REDEVELOPMENT
BUILDING #1**

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Tokay Blvd.
Madison,
Wisconsin

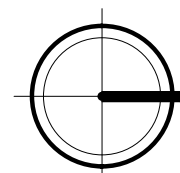
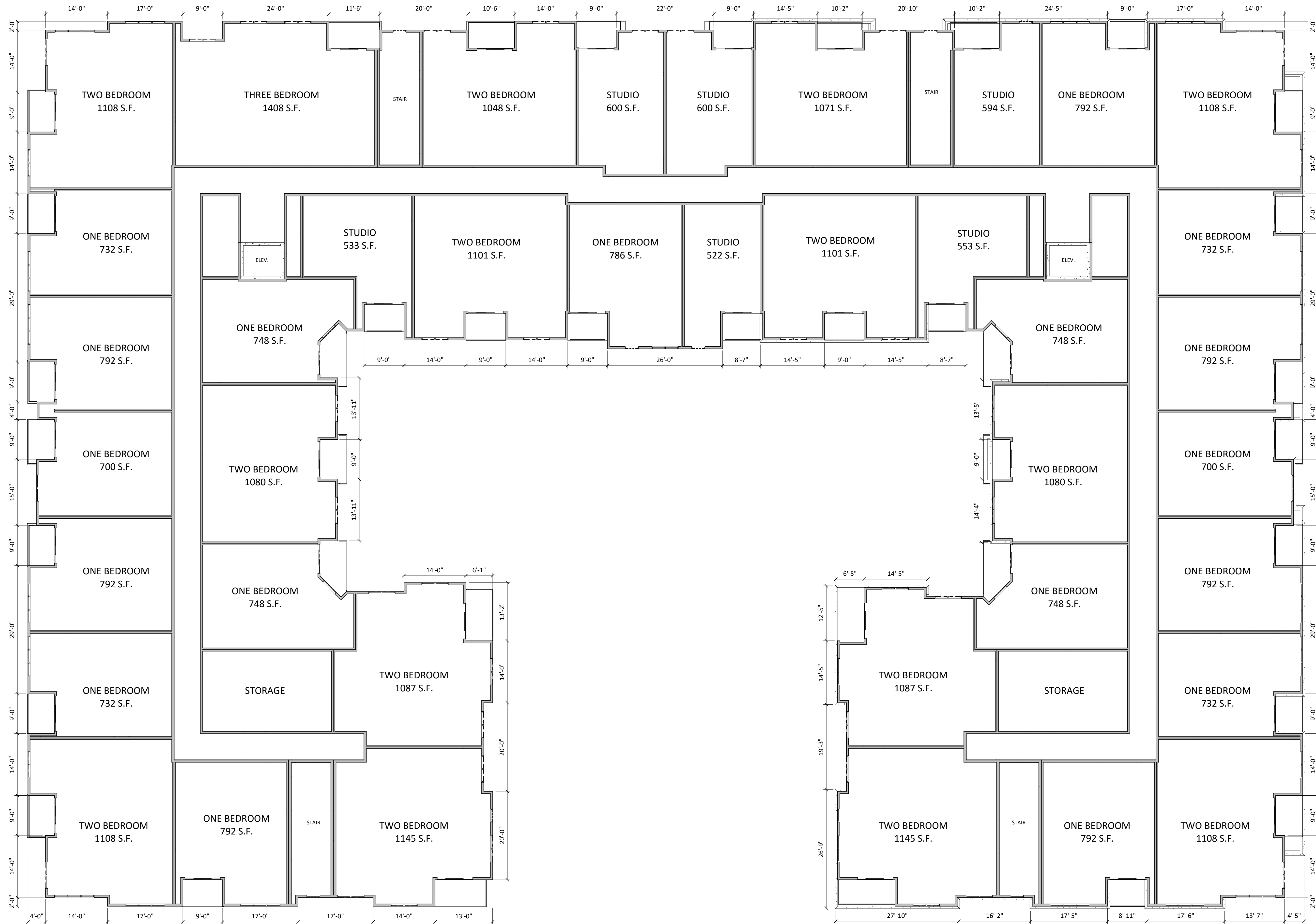
SHEET TITLE
**THIRD FLOOR
PLAN**

SHEET NUMBER

A-1.3

PROJECT NUMBER 1925

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03 - THIRD FLOOR

1
A-1.3 3/32" = 1'-0"



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KEY PLAN

ISSUED
May 20, 2020

PROJECT TITLE
**WESTGATE
REDEVELOPMENT
BUILDING #1**

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Wisconsin

SHEET TITLE
**FOURTH FLOOR
PLAN**

SHEET NUMBER

A-1.4

PROJECT NUMBER 1925

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1
A-1.4 04 - FOURTH FLOOR
3/32" = 1'-0"



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KEY PLAN

ISSUED
May 20, 2020

PROJECT TITLE
**WESTGATE
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Wisconsin

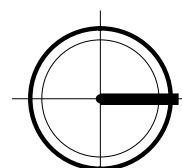
SHEET TITLE
**FIFTH FLOOR
PLAN**

SHEET NUMBER

A-1.5

PROJECT NUMBER 1925

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05 - FIFTH FLOOR
1
A-1.5
3/32" = 1'-0"



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KEY PLAN

ISSUED
May 20, 2020

PROJECT TITLE
**WESTGATE
REDEVELOPMENT
BUILDING #1**

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Tokay Blvd.
Madison,
Wisconsin

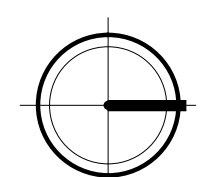
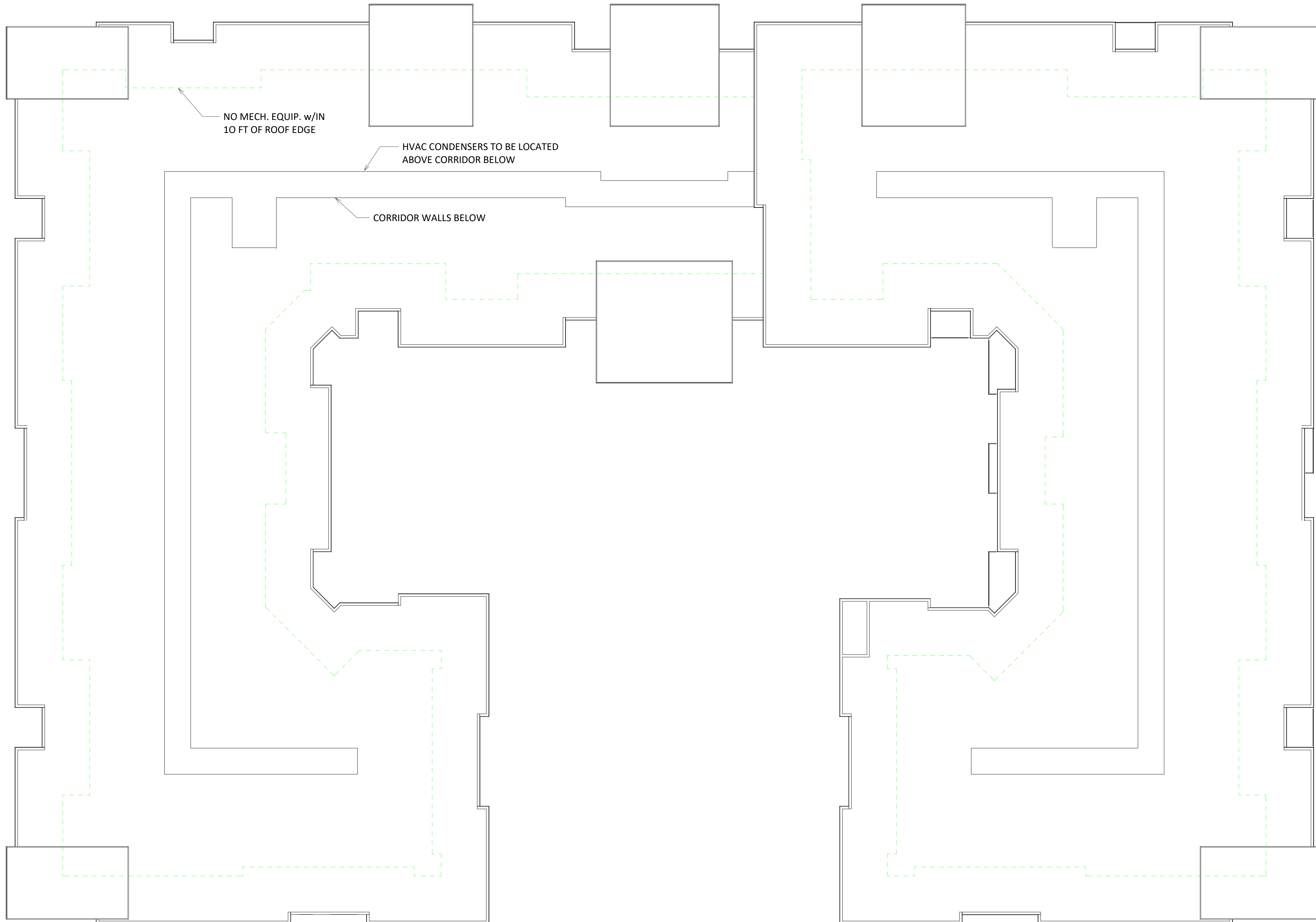
SHEET TITLE
ROOF PLAN

SHEET NUMBER

A-1.6

PROJECT NUMBER 1925

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1 TOP OF ROOF
A-1.6 3/32" = 1'-0"



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KEY PLAN



1 North
A-2.1 1/8" = 1'-0"

ISSUED
May 20, 2020



2 South
A-2.1 1/8" = 1'-0"

PROJECT TITLE
**WESTGATE
REDEVELOPMENT
BUILDING #1**

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Madison,
Wisconsin

SHEET TITLE
**EXTERIOR
ELEVATIONS**

SHEET NUMBER

A-2.1

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PROJECT TITLE
**WESTGATE
REDEVELOPMENT
BUILDING #1**

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Wisconsin

SHEET TITLE
**EXTERIOR
ELEVATIONS**

SHEET NUMBER

A-2.2

PROJECT NUMBER 1925

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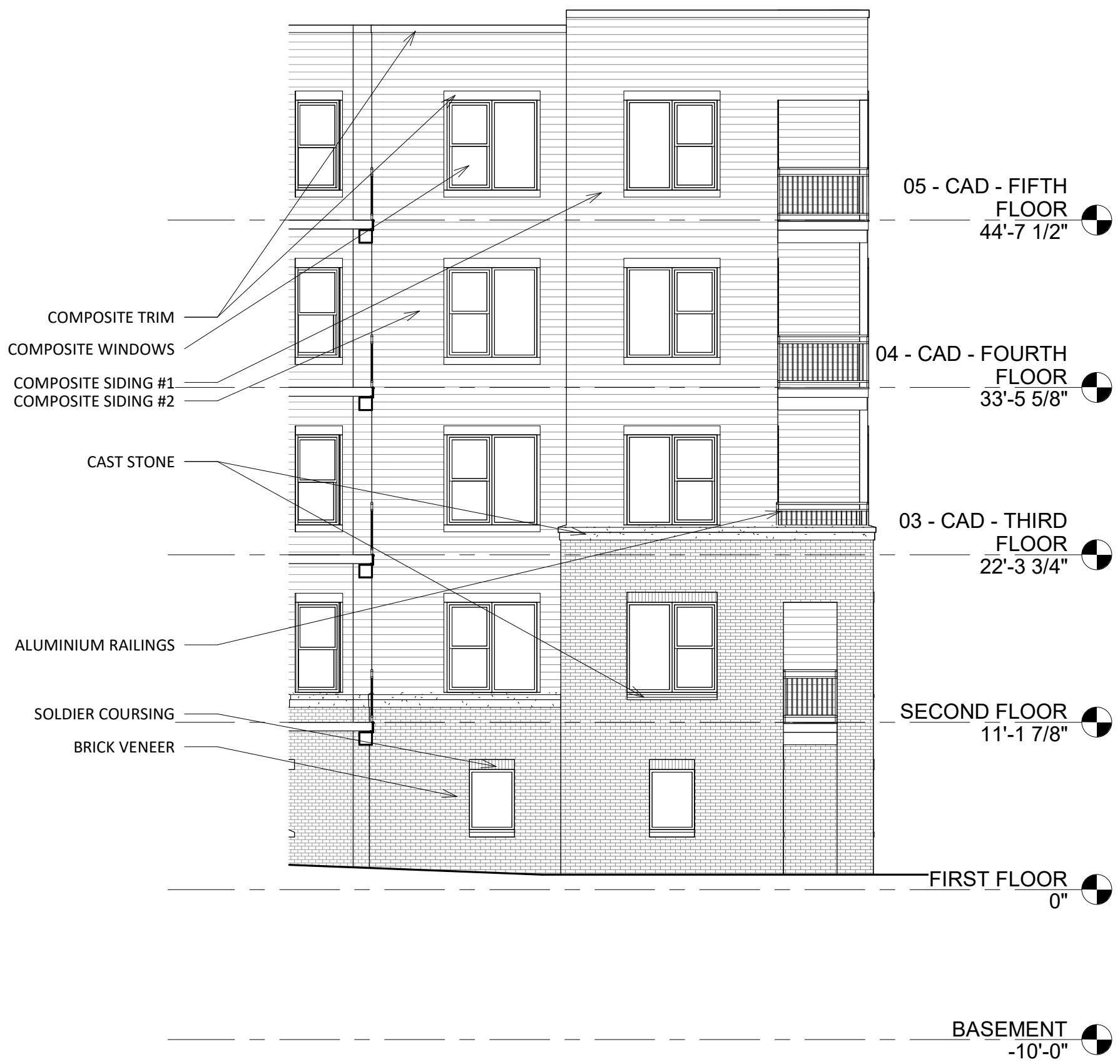
1 West 2
A-2.2 1/8" = 1'-0"



2 West 1
A-2.2 1/8" = 1'-0"



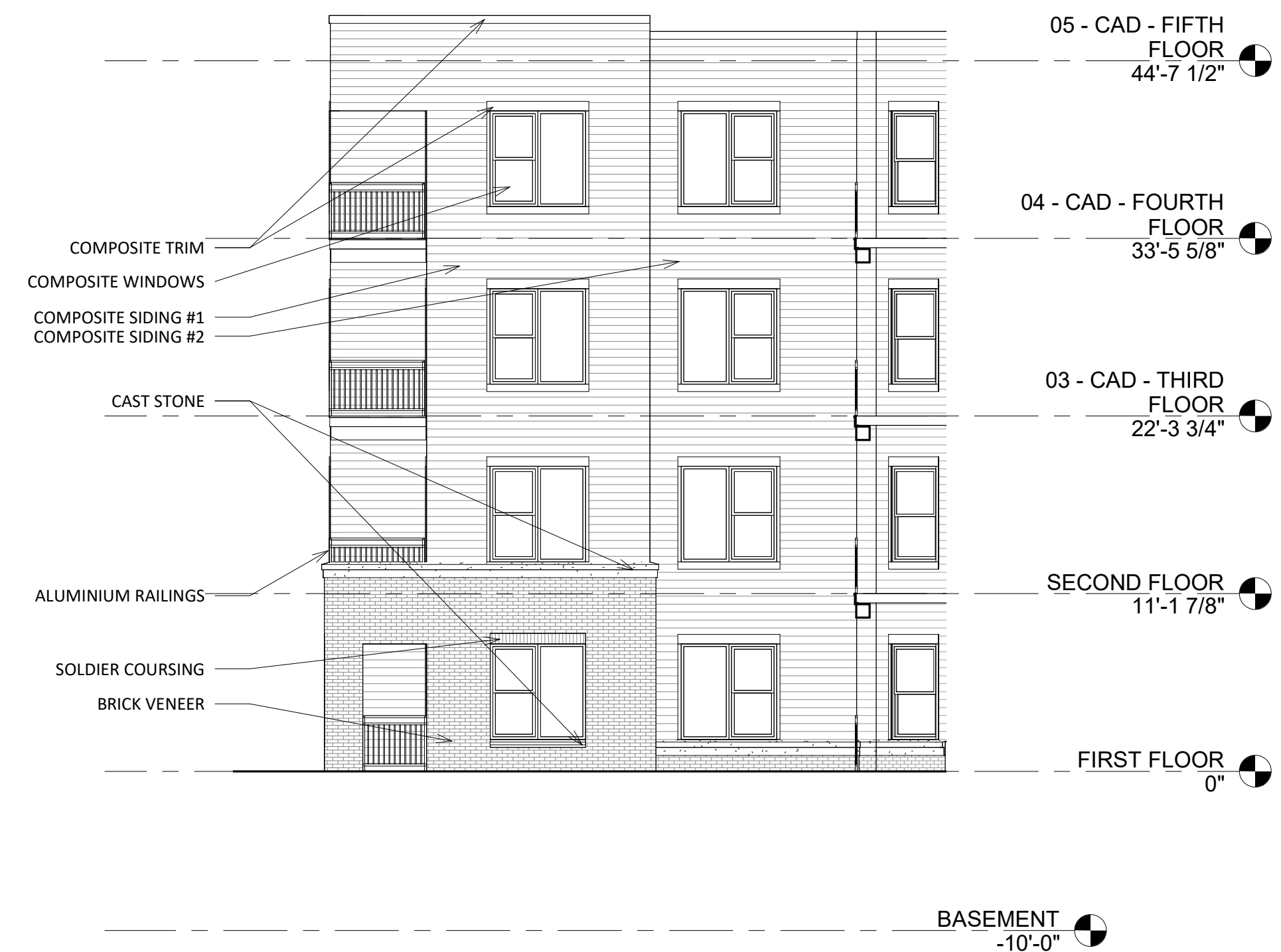
1 East 1
A-2.3 1/8" = 1'-0"



3 West Interior 1
A-2.3 1/8" = 1'-0"



2 East 2
A-2.3 1/8" = 1'-0"



4 West Interior 2
A-2.3 1/8" = 1'-0"



1 North Interior
A-2.4 1/8" = 1'-0"



2 South Interior
A-2.4 1/8" = 1'-0"

PROJECT TITLE
**WESTGATE
REDEVELOPMENT
BUILDING #1**

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Wisconsin

SHEET TITLE
**EXTERIOR
ELEVATIONS**

SHEET NUMBER

A-2.4

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KEY PLAN



1 East Interior
A-2.5 1/8" = 1'-0"

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May 20, 2020

PROJECT TITLE
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REDEVELOPMENT
BUILDING #1**

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SHEET TITLE
**EXTERIOR
ELEVATIONS**

SHEET NUMBER

A-2.5

PROJECT NUMBER 1925

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1 COLORED - North
A-2.6 1/8" = 1'-0"



2 COLORED - South
A-2.6 1/8" = 1'-0"

PROJECT TITLE
**WESTGATE
REDEVELOPMENT
BUILDING #1**

Whitney Way &
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Madison,
Wisconsin

SHEET TITLE
**EXTERIOR
ELEVATIONS -
COLORED**

SHEET NUMBER

A-2.6

PROJECT NUMBER 1925

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1
A-2.7
COLORED - West 2
1/8" = 1'-0"



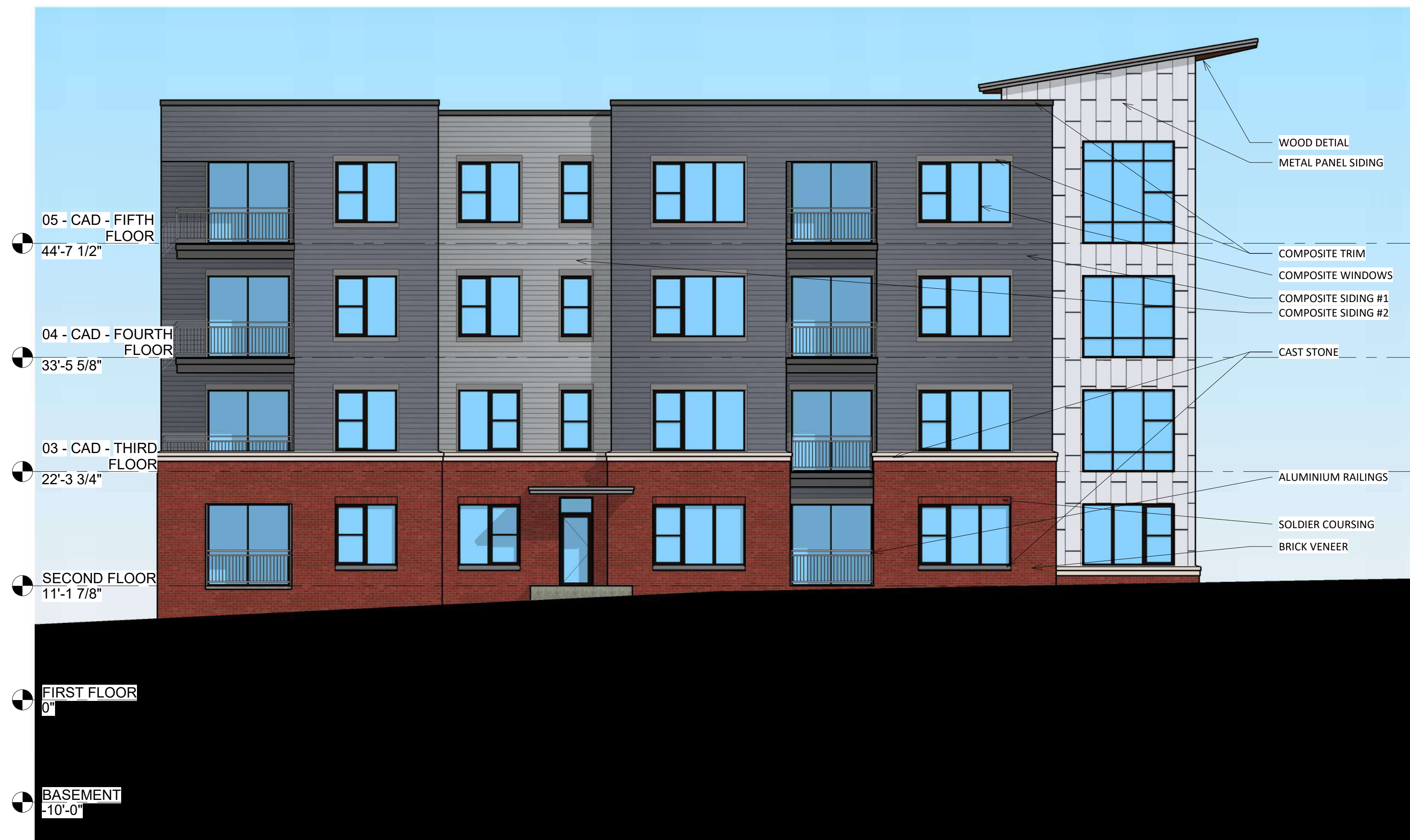
2
A-2.7
COLORED - West 1
1/8" = 1'-0"



1
A-2.8
COLORED - East 1
1/8" = 1'-0"



3
A-2.8
COLORED - West Interior 1
1/8" = 1'-0"



2
A-2.8
COLORED - East 2
1/8" = 1'-0"



4
A-2.8
COLORED - West Interior 2
1/8" = 1'-0"



1
A-2.9 1/8" = 1'-0"

COLORED - North Interior



2
A-2.9 1/8" = 1'-0"

COLORED - South Interior



1 COLORED - East Interior
A-2.10 1/8" = 1'-0"



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KEY PLAN

ISSUED
May 20, 2020

PROJECT TITLE
**WESTGATE
REDEVELOPMENT
#2**

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Madison,
Wisconsin

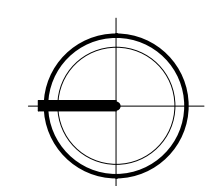
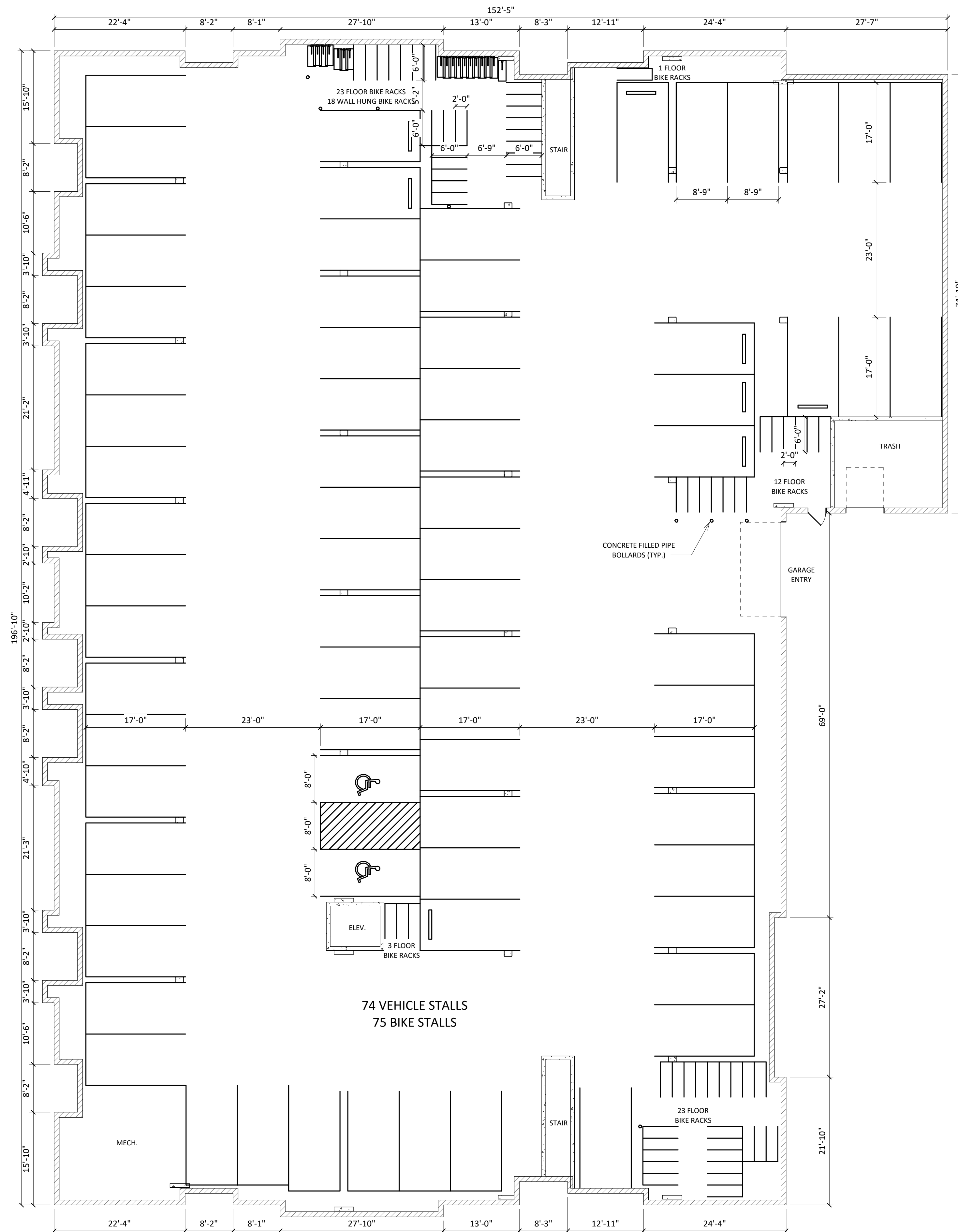
SHEET TITLE
**BASEMENT
FLOOR PLAN**

SHEET NUMBER

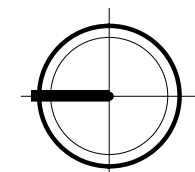
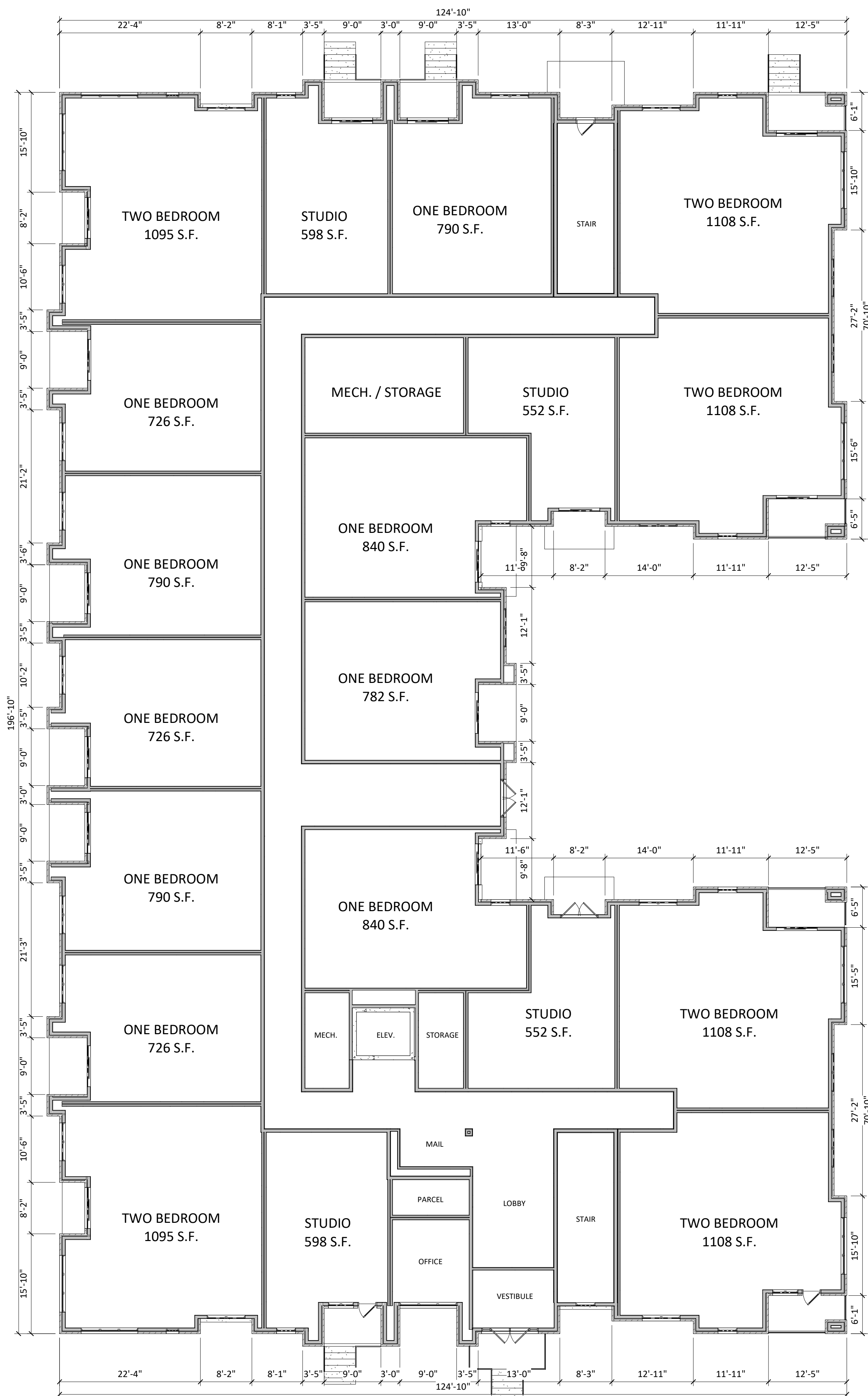
A-1.0

PROJECT NUMBER 1925

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1
A-1.0
00 - BASEMENT
3/32" = 1'-0"



1
A-1.1
01 - FIRST FLOOR
3/32" = 1'-0"



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KEY PLAN

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May 20, 2020

PROJECT TITLE
**WESTGATE
REDEVELOPMENT
#2**

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Wisconsin

SHEET TITLE
**FIRST FLOOR
PLAN**

SHEET NUMBER

A-1.1

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May 20, 2020

PROJECT TITLE
**WESTGATE
REDEVELOPMENT
#2**

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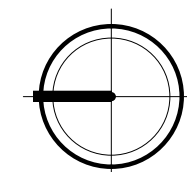
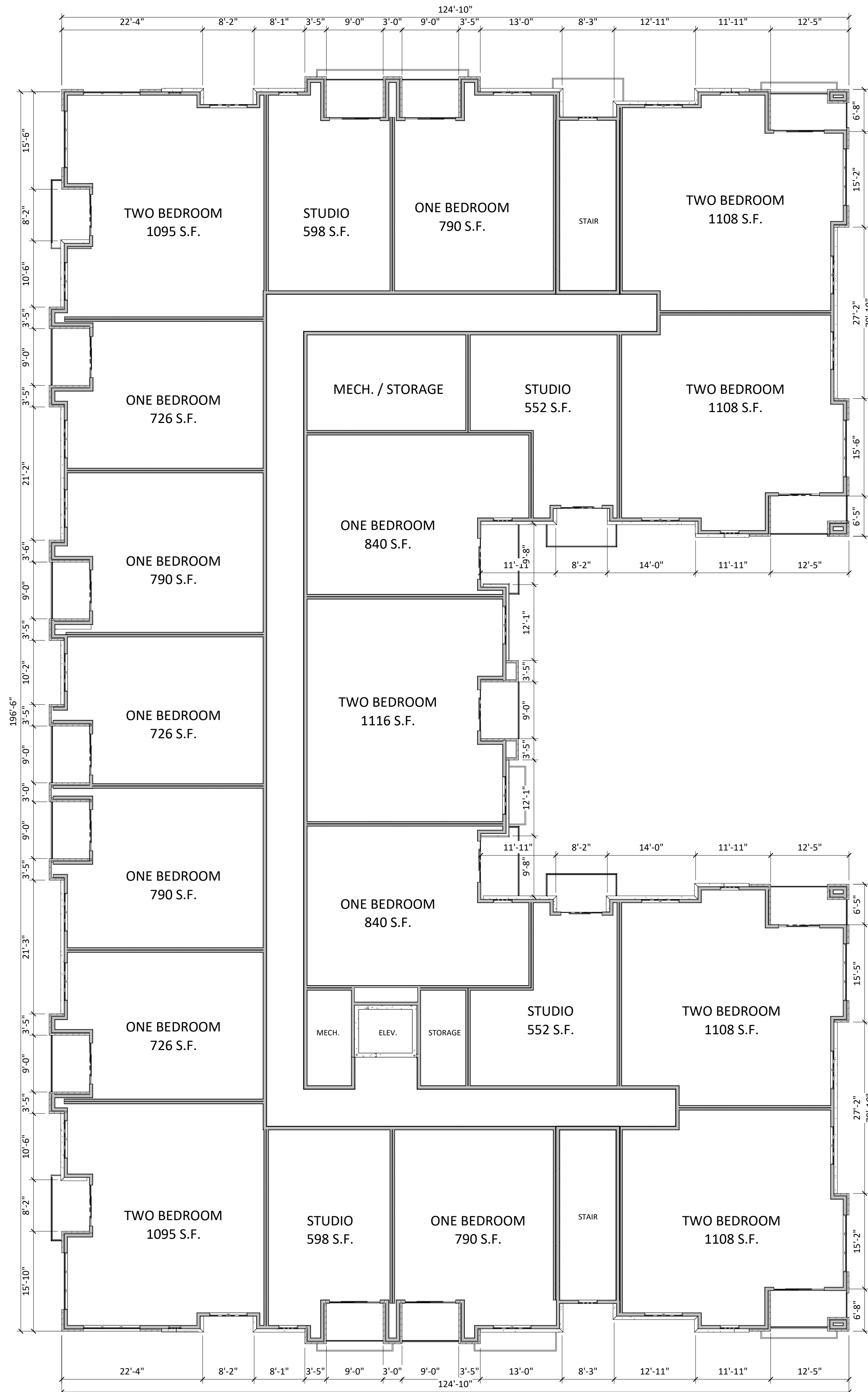
SHEET TITLE
**SECOND FLOOR
PLAN**

SHEET NUMBER

A-1.2

PROJECT NUMBER 1925

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1
A-1.2
02 - SECOND FLOOR
3/32" = 1'-0"



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KEY PLAN

ISSUED
May 20, 2020

PROJECT TITLE
**WESTGATE
REDEVELOPMENT
#2**

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Tokay Blvd.
Madison,
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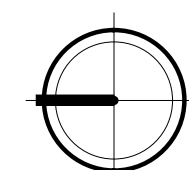
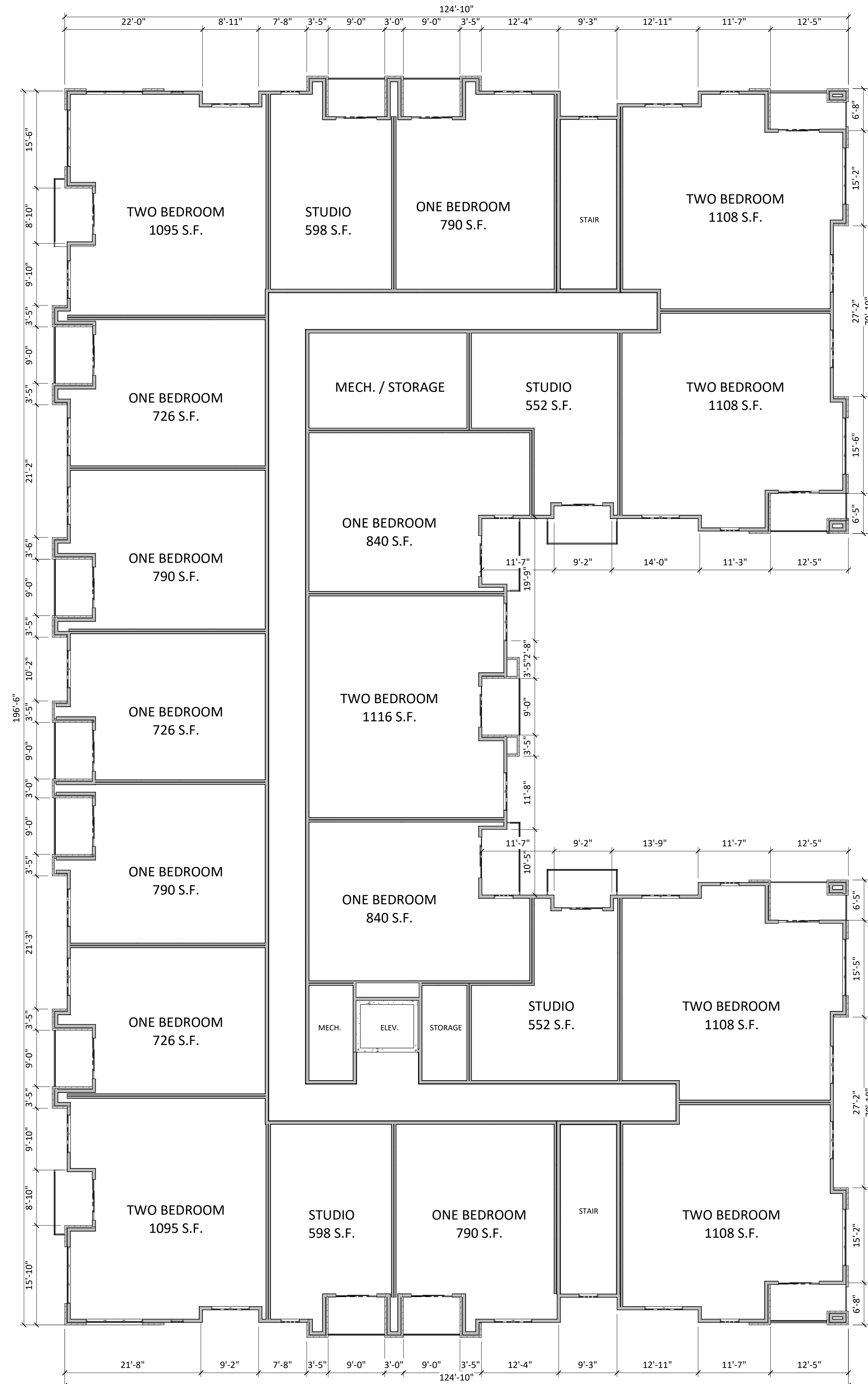
SHEET TITLE
**THIRD FLOOR
PLAN**

SHEET NUMBER

A-1.3

PROJECT NUMBER 1925

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03 - THIRD FLOOR

1
A-1.3
3/32" = 1'-0"



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Wisconsin

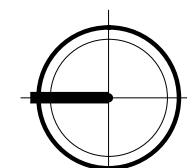
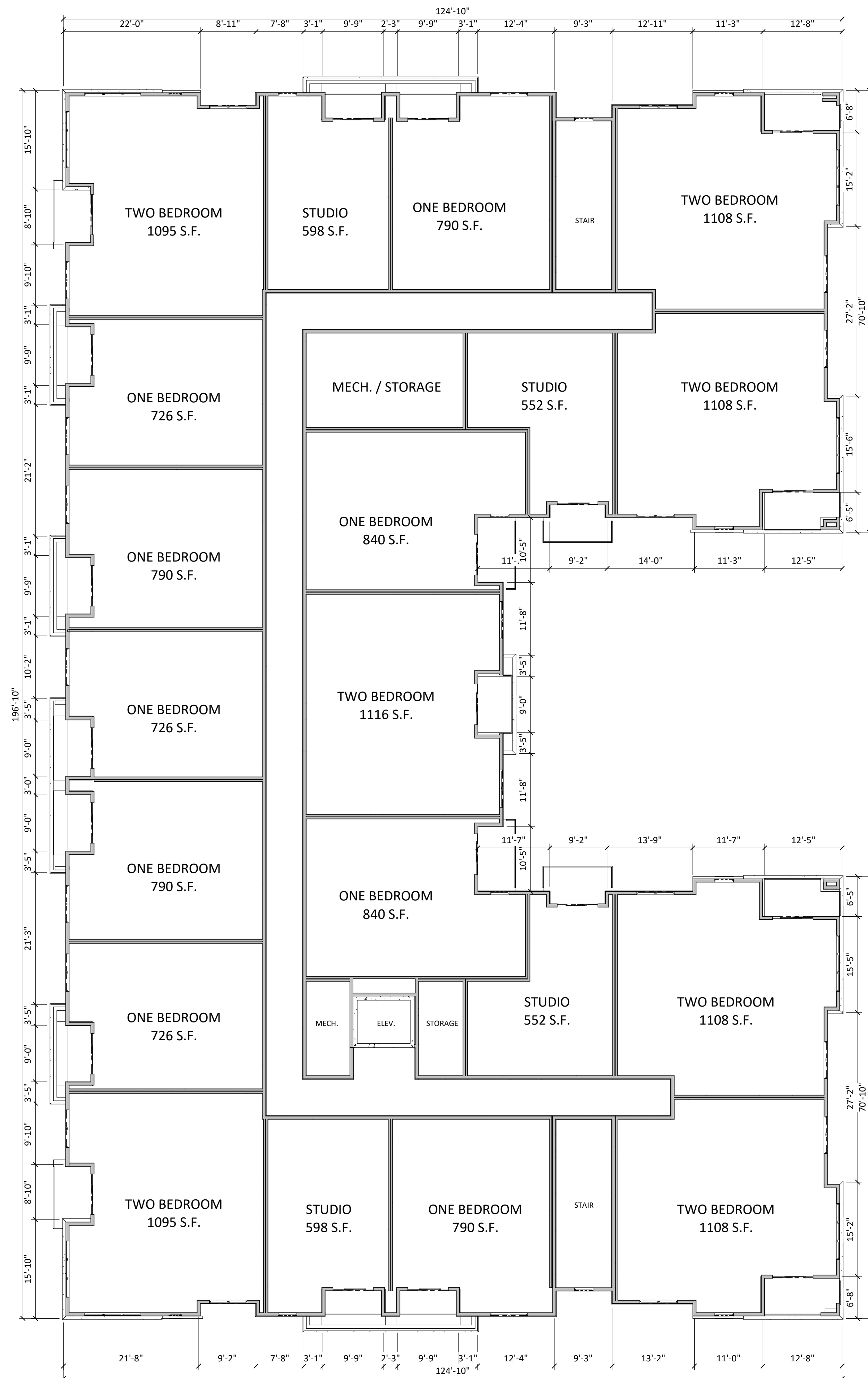
SHEET TITLE
**FOURTH FLOOR
PLAN**

SHEET NUMBER

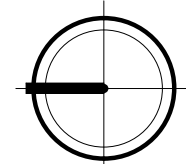
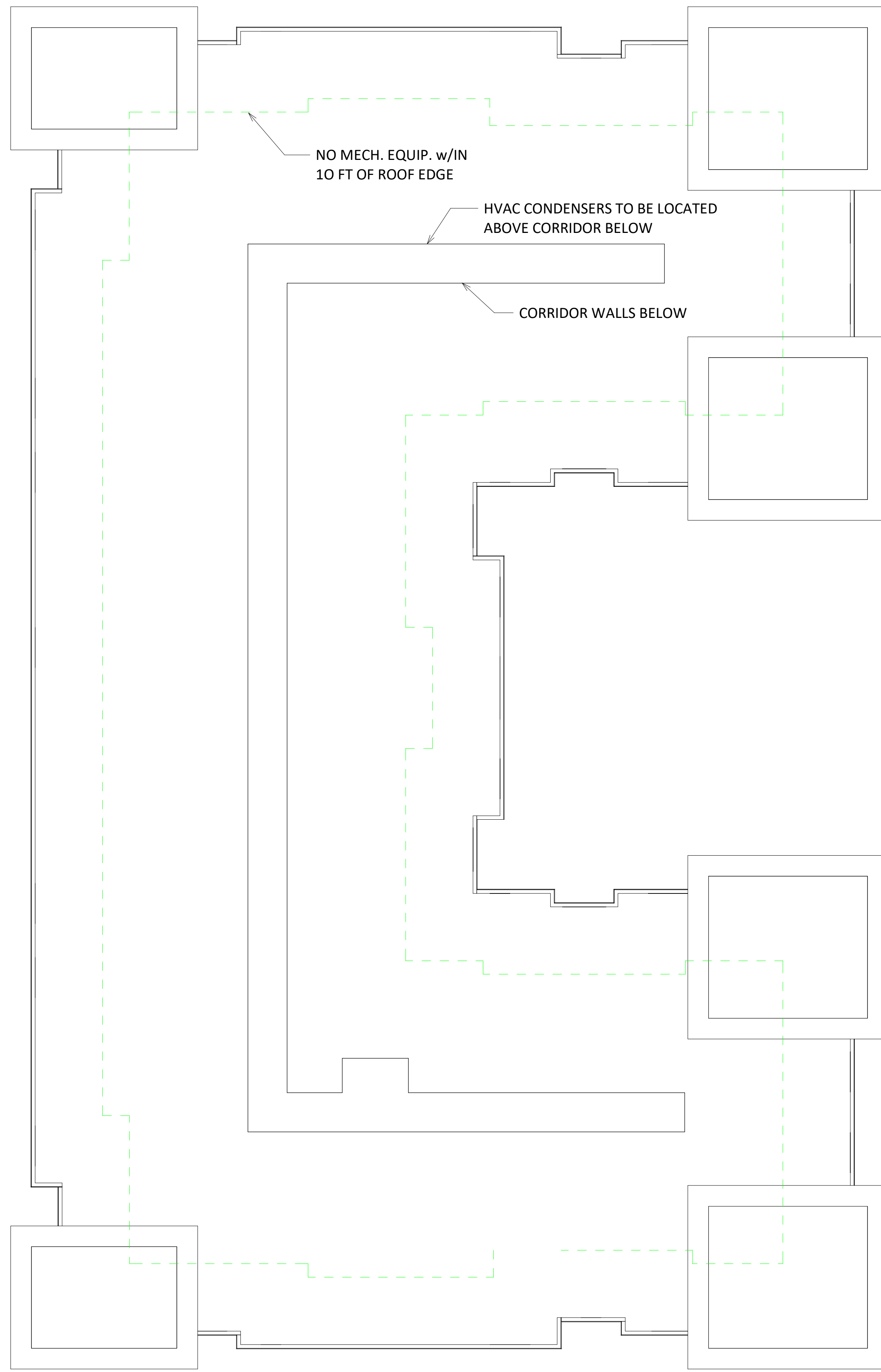
A-1.4

PROJECT NUMBER 1925

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1
A-1.4
04 - FOURTH FLOOR
3/32" = 1'-0"



1
A-1.5 TOP OF ROOF
3/32" = 1'-0"



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ARCHITECTS

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KEY PLAN

ISSUED
May 20, 2020

PROJECT TITLE
**WESTGATE
REDEVELOPMENT
#2**

Whitney Way &
Tokay Blvd.
Madison,
Wisconsin

SHEET TITLE
ROOF PLAN

SHEET NUMBER

A-1.5

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1 **East**
A-2.1 1/8" = 1'-0"

3 **Interior East**
A-2.1 1/8" = 1'-0"



2 **West**
A-2.1 1/8" = 1'-0"

4 **Interior West**
A-2.1 1/8" = 1'-0"



1 North
A-2.2 1/8" = 1'-0"



2 South
A-2.2 1/8" = 1'-0"



1
A-2.3
COLORED - East
1/8" = 1'-0"

3
A-2.3
COLORED - Interior East
1/8" = 1'-0"



2
A-2.3
COLORED - West
1/8" = 1'-0"

4
A-2.3
COLORED - Interior West
1/8" = 1'-0"

PROJECT TITLE
**WESTGATE
REDEVELOPMENT
#2**

Whitney Way &
Tokay Blvd.
Madison,
Wisconsin

SHEET TITLE
**EXTERIOR
ELEVATIONS -
COLORED**

SHEET NUMBER

A-2.3

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1 COLORED - North
A-2.4 1/8" = 1'-0"



2 COLORED - South
A-2.4 1/8" = 1'-0"

PROJECT TITLE
**WESTGATE
REDEVELOPMENT
#2**

Whitney Way &
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SHEET TITLE
**EXTERIOR
ELEVATIONS -
COLORED**

SHEET NUMBER

A-2.4

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