



**Location**

18-22 Turnwood Circle

**Project Name**

Schoepp House

**Applicant**

Douglas D. Schoepp & Cornett Properties, LLC/Ronald M. Trachtenberg - Murphy Desmond S.C.

**Existing Use**

Vacant Land

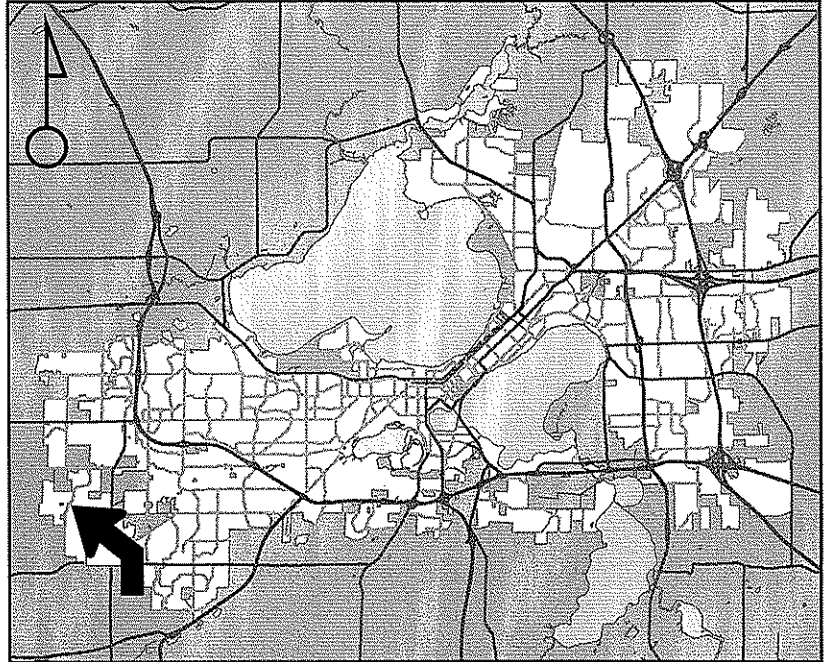
**Proposed Use**

Construction of a Single-Family House in Excess of 10,000 Square Feet

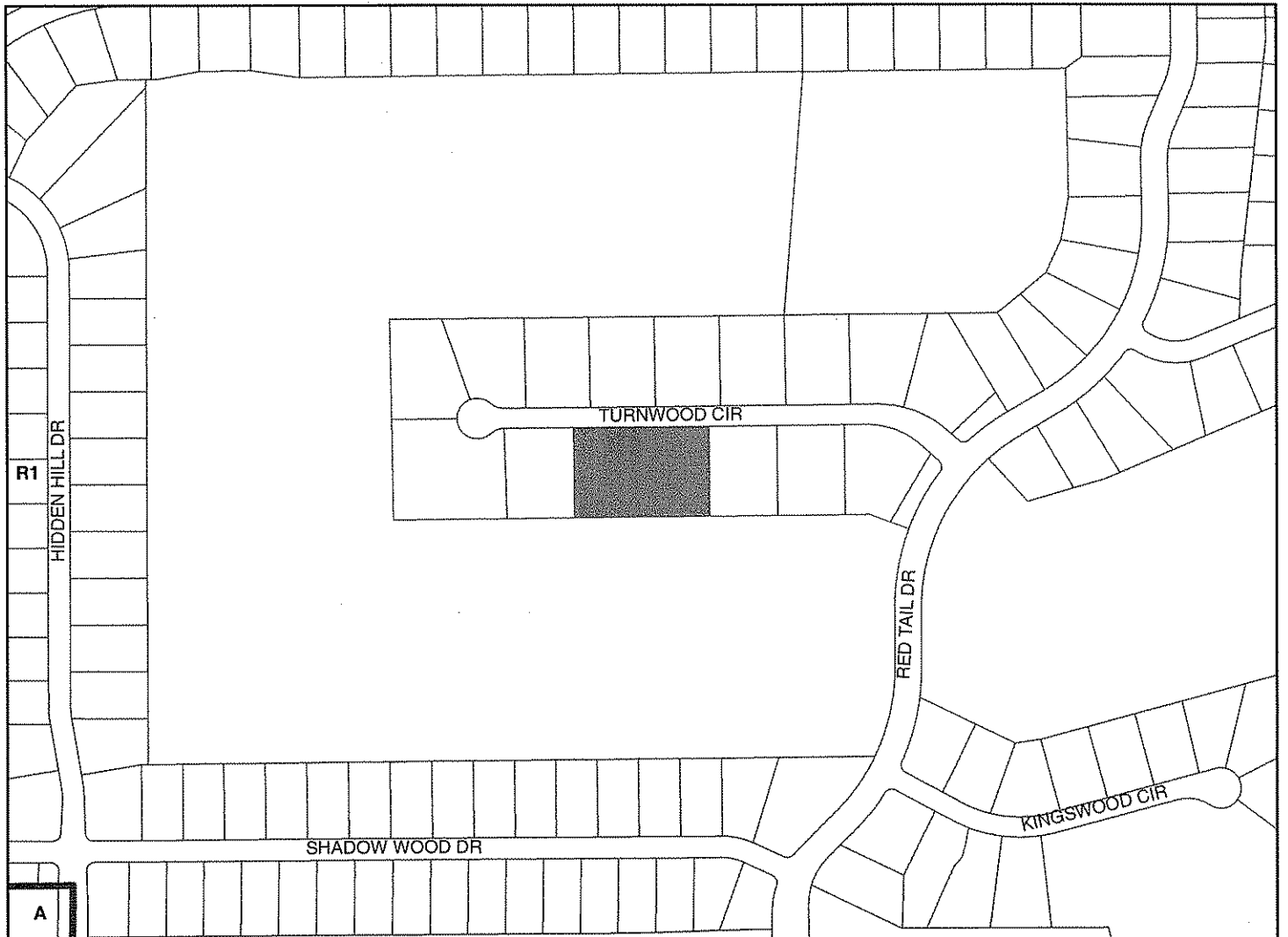
**Public Hearing Date**

Plan Commission

17 November 2008



For Questions Contact: Kevin Firchow at: 267-1150 or [kfirchow@cityofmadison.com](mailto:kfirchow@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 05 November 2008



# LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at [www.cityofmadison.com/planning/plan.html](http://www.cityofmadison.com/planning/plan.html)
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.

0729-6  
0708-333 ~~1330-3~~

**FOR OFFICE USE ONLY:** 95097 - FILING FEE

Amt. Paid 500 - Receipt No. 95096

Date Received 9/30/08

Received By \_\_\_\_\_

Parcel No. 0708-333-0230-3

Aldermanic District 1-5th Sawborn

GQ dn

Zoning District R1

**For Complete Submittal**

Application	<input checked="" type="checkbox"/>	Letter of Intent	<input checked="" type="checkbox"/>
IDUP	<input type="checkbox"/>	Legal Descript.	<input checked="" type="checkbox"/>
Plan Sets	<input checked="" type="checkbox"/>	Zoning Text	<input type="checkbox"/>
Alder Notification	<input checked="" type="checkbox"/>	Waiver	<u>EXCL</u>
Ngrbrhd. Assn Not.	<input type="checkbox"/>	Waiver	<input type="checkbox"/>
Date Sign Issued	<u>09/30/08</u>		

**1. Project Address:** 18 & 22 Turnwood Circle **Project Area in Acres:** 1.7

**Project Title (if any):** Schoepp House

**2. This is an application for:** (check at least one)

Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)

<input type="checkbox"/> Rezoning from _____ to _____	<input type="checkbox"/> Rezoning from _____ to PUD/PCD-SIP
<input type="checkbox"/> Rezoning from _____ to PUD/PCD-GDP	<input type="checkbox"/> Rezoning from PUD/PCD-GDP to PUD/PCD-SIP

Conditional Use     Demolition Permit     Other Requests (Specify): \_\_\_\_\_

**3. Applicant, Agent & Property Owner Information:**

Applicant's Name: Douglas D. Schoepp Company: \_\_\_\_\_

Street Address: 18 East Copper Circle City/State: Madison, WI Zip: 53717

Telephone: ( ) \_\_\_\_\_ Fax: ( ) \_\_\_\_\_ Email: \_\_\_\_\_

Project Contact Person: Ronald M. Trachtenberg Company: Murphy Desmond S.C.

Street Address: P.O. Box 2038 City/State: Madison, WI Zip: 53701-2038

Telephone: (608) 268-5575 Fax: (608) 257-2508 Email: rtrachtenberg@murphydesmond.com

Property Owner (if not applicant): 18 - owner; 22 - Cornett Properties, LLC

Street Address: P.O. Box 45410 City/State: Madison, WI Zip: 53744

**4. Project Information:**

Provide a general description of the project and all proposed uses of the site: House in excess of 10,000 square feet MGO § 28.08(c)25

Development Schedule: Commencement Completion

**5. Required Submittals:**

**Site Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
- **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
- **One (1) copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper

**Letter of Intent: Twelve (12) copies** describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.

**Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor.

**Filing Fee:** \$500.00 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

**IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:**

For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.

A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.

A *Zoning Text* must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

**FOR ALL APPLICATIONS:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to [pcapplications@cityofmadison.com](mailto:pcapplications@cityofmadison.com). The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

**6. Applicant Declarations:**

**Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:

→ The site is located within the limits of \_\_\_\_\_ Plan, which recommends: \_\_\_\_\_ for this property.

**Pre-application Notification:** Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:

→ List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:

Waived by Alder Jed Sanborn. See attached.

If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.

**Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.

Planner Tim Parks Date 9/17/08 | Zoning Staff Matt Tucker Date 9/17/08

**The signer attests that this form has been completed accurately and all required materials have been submitted:**

Printed Name RONALD M. TRACHTENBERG, Esq. Date 9/30/08

Signature [Signature] Relation to Property Owner Attorney

Authorizing Signature of Property Owner [Signature] Date 9/30/08



33 East Main Street  
 Suite 500  
 Madison, WI 53703-3095  
**Mailing Address:**  
 P.O. Box 2038  
 Madison, WI 53701-2038  
**Phone:**  
 608.257.7181  
**Fax:**  
 608.257.2508  
 www.murphydesmond.com

**Ronald M. Trachtenberg**  
 Direct Line 608.268.5575  
 Facsimile 608.257.2508  
 rtrachtenberg@murphydesmond.com

30 September 2008

Plan Commission  
 c/o Department of Planning and Community  
 and Economic Development  
 City of Madison  
 215 Martin Luther King, Jr. Blvd.  
 Madison, WI 53703

Re: Our Client: Douglas D. Schoepp

Project Address: 18 and 22 Turnwood Circle, City of Madison  
 Application for Certified Survey Map and Conditional Use Permit

Dear Chairperson and Members of the City of Madison Plan Commission:

We are the attorneys for Douglas D. Schoepp.

Mr. Schoepp owns 18 Turnwood Circle (Lot 230, Hawk's Landing Golf Club) and as under contract to purchase 22 Turnwood Circle (Lot 229, Hawk's Landing Golf Club) from Cornett Properties, LLC.

Each of the aforementioned two lots is approximately .85 acres with the combined total of the two lots being 1.7 acres.

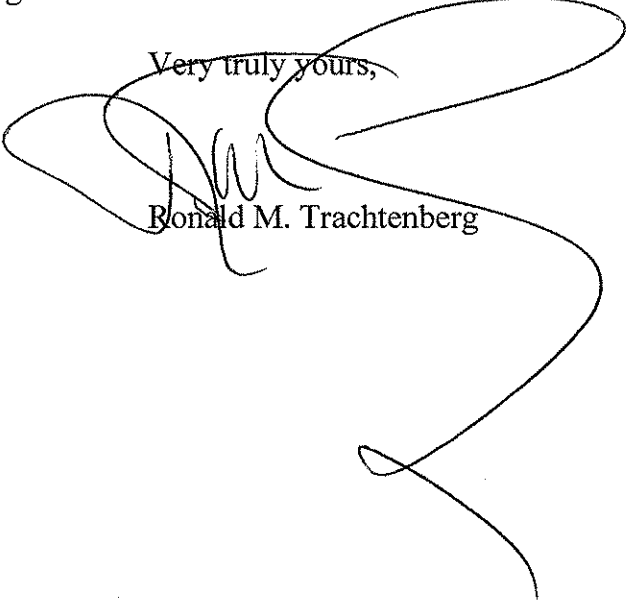
Mr. Schoepp desires to consolidate the two lots into one lot (hence the CSM application) and to construct a new home for himself and his family over 10,000 square feet (hence the CUP application). The new home would be built by Cornett Homes, Inc., a sister entity to Cornett Properties, LLC. Construction is scheduled to commence immediately upon the approval of the CSM and the CUP.

We are hereby attaching a set of plans for the proposed Schoepp house, "green" detail, and a site/landscaping plan incorporating stormwater handling measures.

Plan Commission  
City of Madison  
30 September 2008  
Page 2

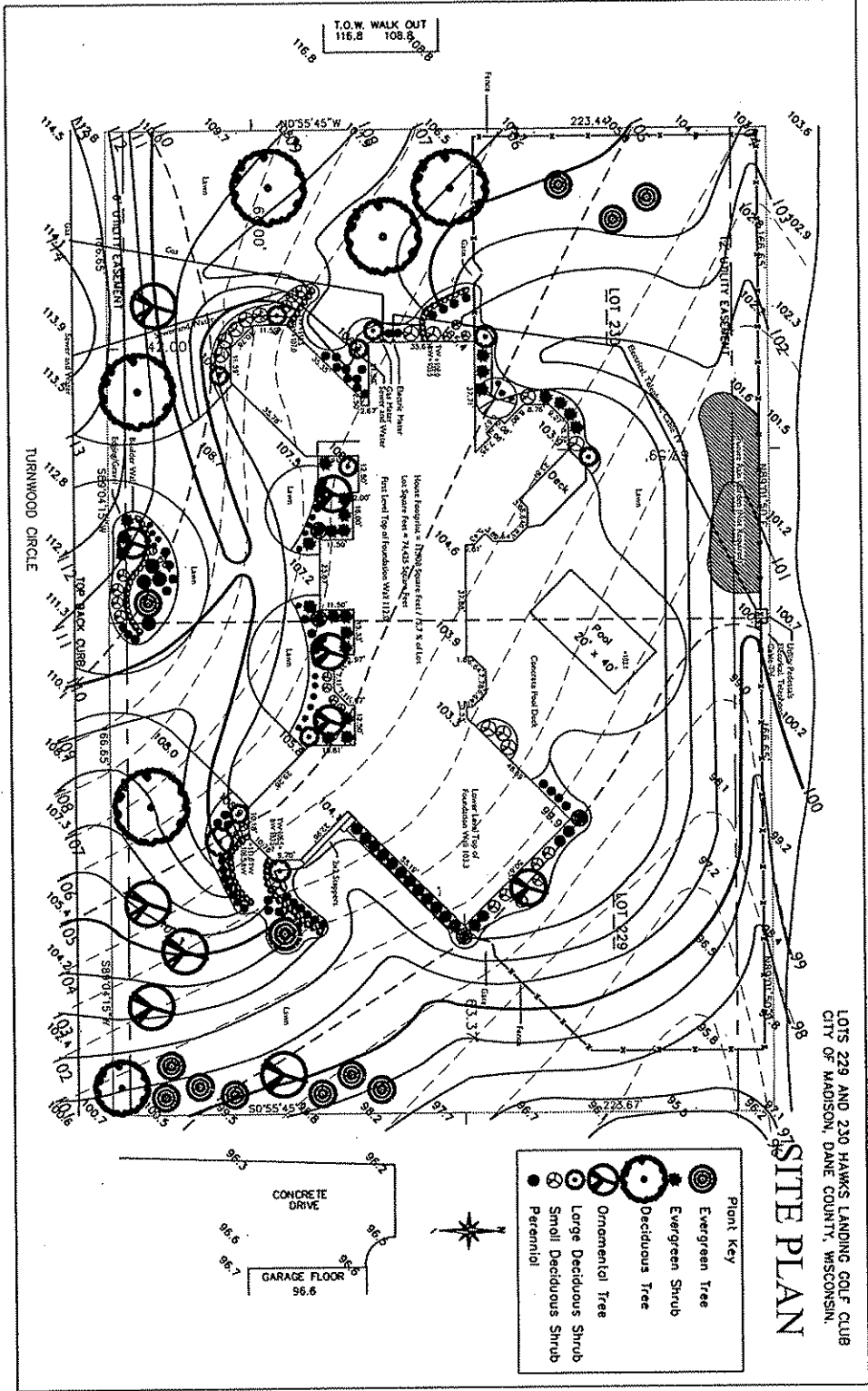
The proposed house has been approved by the subdivision architectural control committee which consists of various professionals who reside in the neighborhood and who have been appointed pursuant to the neighborhood covenants and restrictions.

Very truly yours,



Ronald M. Trachtenberg

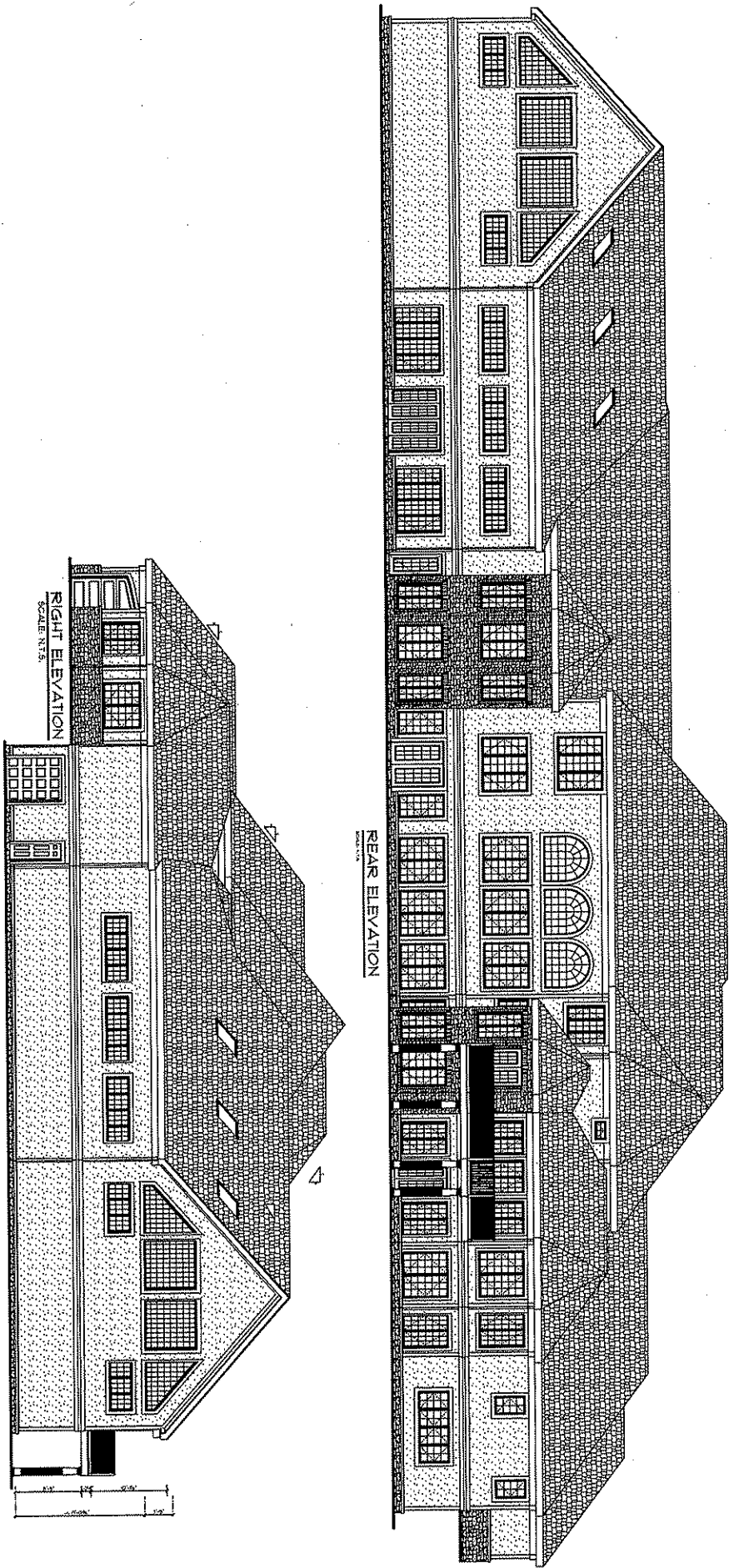
RMT:srp/mem  
082199/docs  
letter of intent  
Attachment



<p>108 #229</p> <p><b>L1</b></p>	<p><b>CORNETT HOMES</b> TURNWOOD CIRCLE MADISON, WISCONSIN</p>	<p>229</p>	<p><b>Blue company</b> LANDSCAPE CONTRACTORS 3450 MADISON STREET MADISON, WI 53704-0000 761.448.1200 FAX 761.448.1201</p>
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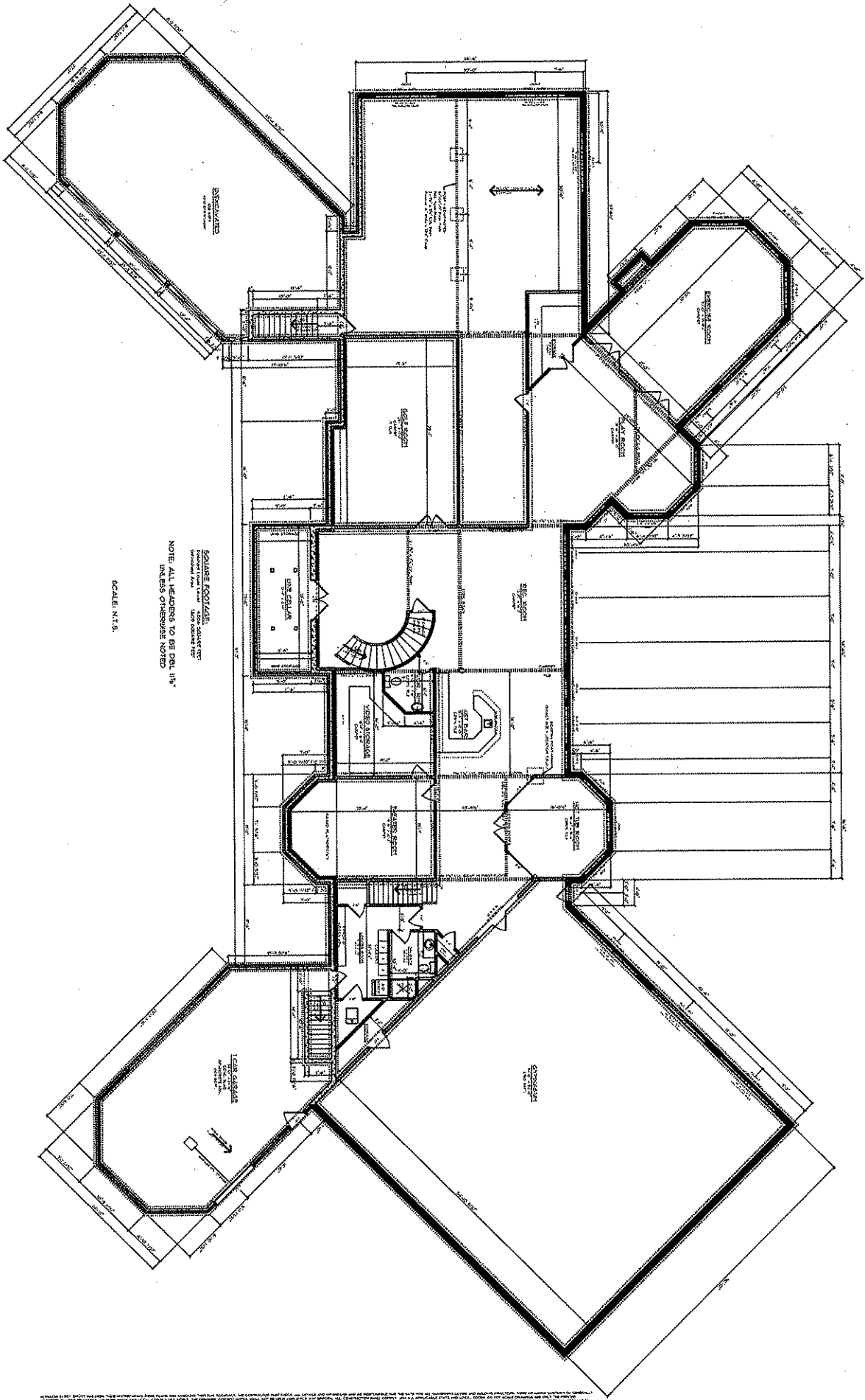




RIGHT ELEVATION  
SCALE 1/8" = 1'-0"

REAR ELEVATION  
SCALE 1/8" = 1'-0"

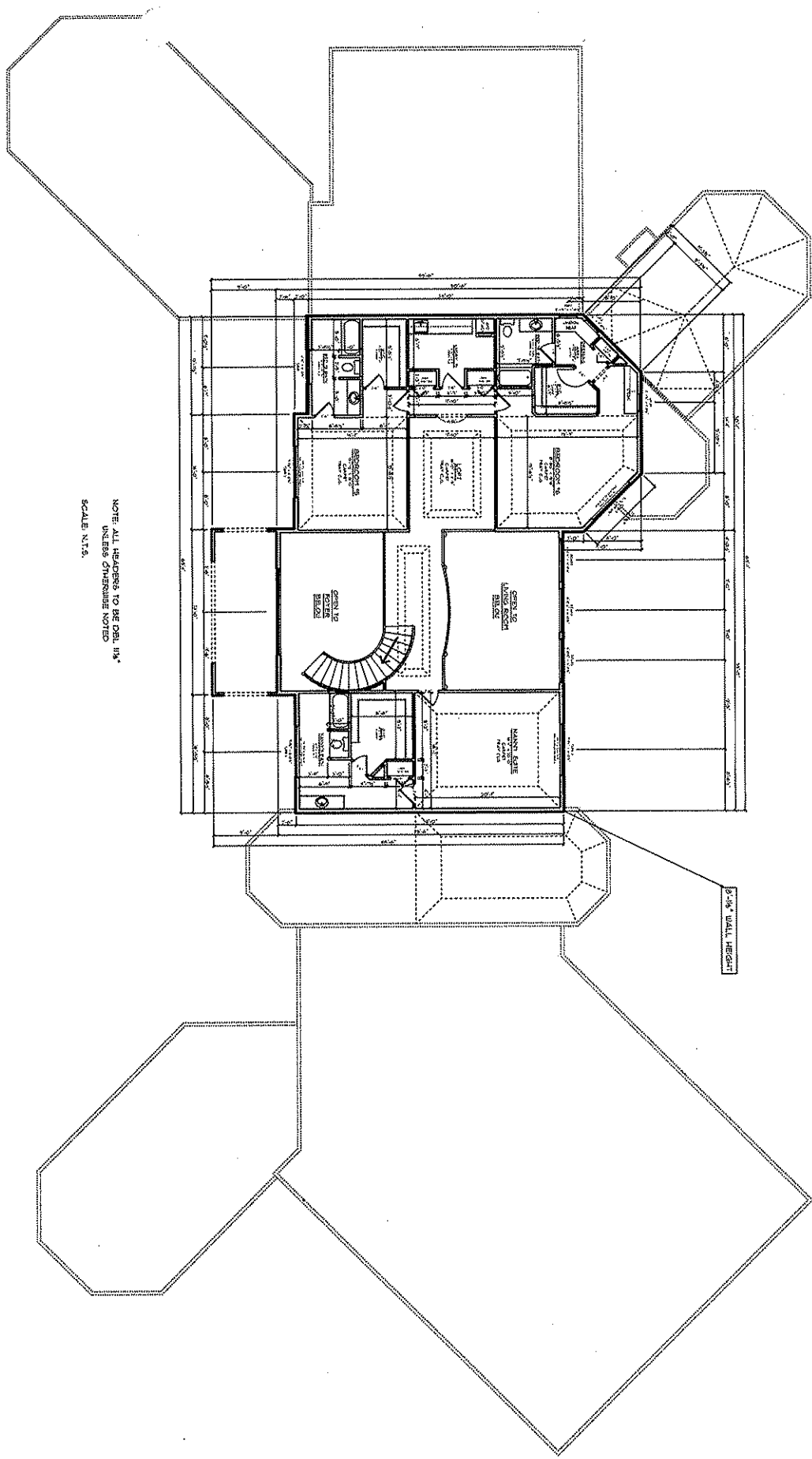
PROJECT NO. 94-0008	SHEET NO. 2 OF 5	DRAWN BY J. W. HARRIS	CHECKED BY J. W. HARRIS	DATE 10/1/84	PROJECT NAME THE COUNTRY CLUB	ADDRESS FOR JOB 1000 W. MADISON ST. MADISON, WI 53706	ARCHITECT CORNETT HIGHER, INC. 1000 W. MADISON ST. MADISON, WI 53706 TEL: 262-771-1111	CONTRACTOR PHOENIX AREA BUILDERS ASSOCIATION	COPYRIGHT NOTICE ALL RIGHTS RESERVED	REVISIONS	
										NO.	DESCRIPTION OF CHANGE



SCALE: N.T.S.  
 NOTE: ALL HEIGHTS TO BE D.B.L. UNLESS OTHERWISE NOTED

PROJECT NO. 229 PLAN DATE: 3/08/5	PREPARED BY: ARCHITECT: CORNETT HOMES, INC. 1000 W. HADSON ST. P.O. BOX 1000 HUNTSVILLE, AL 35894 TEL: 256/833-1111 FAX: 256/833-1112	ALL RIGHTS RESERVED NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CORNETT HOMES, INC.	SHEET NO. 1 OF 1 DESCRIPTION OF SHEET: FLOOR PLAN
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NOTE: ALL HEADERS TO BE PER 11 1/4"  
UNLESS OTHERWISE NOTED  
SCALE: N.T.S.

3'-0" WALL HEIGHT

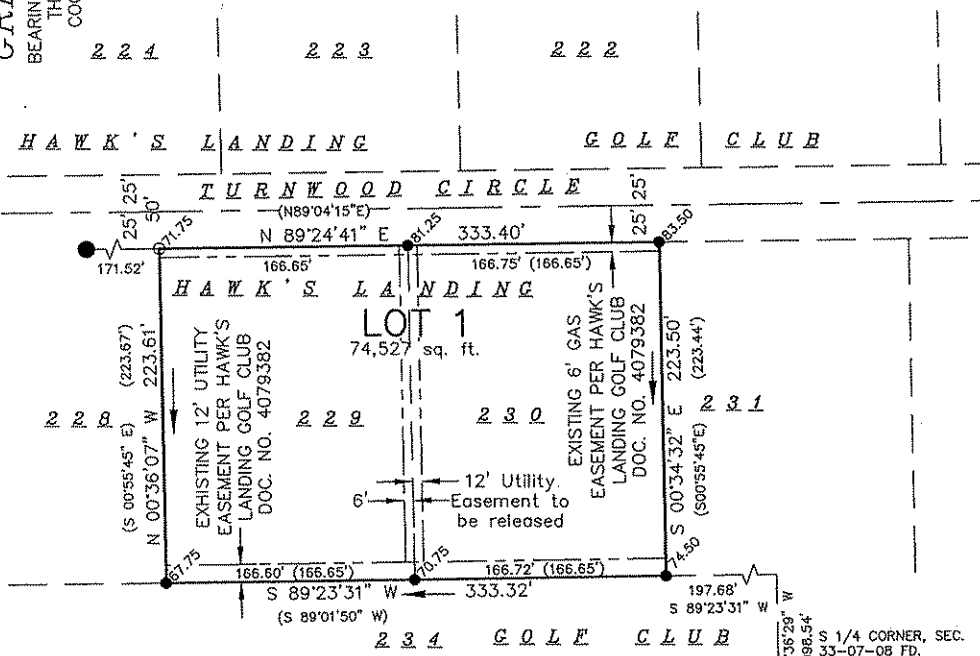
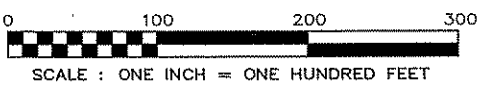
<p>CONNETT ROYER, INC.          10000 W. 10th Ave.          Suite 100          Denver, CO 80202          Tel: 303-751-1111          Fax: 303-751-1112</p>		<p>PROJECT NO. 229          CITY OF PASADENA          PROJECT DESCRIPTION          ARCHITECT          DATE</p>		<p>ALL RIGHTS RESERVED          DATE: 11/11/2008          DESCRIPTION OF CHANGES</p>	
<p>JOB NO. 229          CITY OF PASADENA          PROJECT DESCRIPTION          ARCHITECT          DATE</p>		<p>5 OF 3          JOB NUMBER          229          PLAN DATE          11/11/2008</p>		<p>REVISIONS</p>	

TURNWOOD

# CERTIFIED SURVEY MAP No. \_\_\_\_\_

LOTS 229 AND 230, HAWK'S LANDING GOLF CLUB, AS RECORDED IN VOLUME 57-150B OF PLATS, PAGE 605 THROUGH 614, DANE COUNTY REGISTRY, LOCATED IN THE NORTHEAST QUARTER AND SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 07 NORTH, RANGE 08 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

**GRID NORTH**  
BEARINGS ARE BASED UPON  
THE DANE COUNTY  
COORDINATE SYSTEM

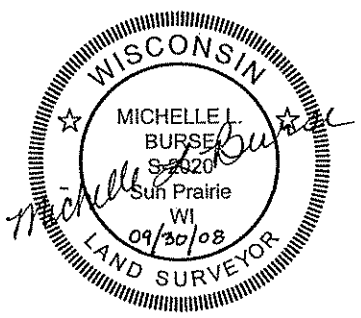


NOTE: SEE SHEET 2 FOR LEGEND AND ADDITIONAL NOTES.

SURVEYED FOR :  
CORNETT PROPERTIES, LLC  
834 HIDDEN CAVE ROAD  
MADISON, WI 53717

SURVEYED BY :  
**Burse**

surveying & engineering Inc.  
1400 E. Washington Ave, Suite 158  
Madison, WI 53703 608.250.9263  
Fax: 608.250.9266  
email: burse@chorus.net  
www.bursesurveyengr.com



MAP NO. \_\_\_\_\_  
DOCUMENT NO. \_\_\_\_\_  
VOLUME \_\_\_\_\_ PAGES \_\_\_\_\_  
Date: September 29, 2008  
Plot View: Sheet1  
PROJECTS\BSE1245\CSM\CSBSE1245.DWG

REC'D 9/14/08

06/12/01 07:28 2908 833 8864 HAEN REAL ESTATE 2002/043

HAWKS LANDING ARCHITECTURAL REVIEW

THE REVIEW COMMITTEE WILL NEED THE FOLLOWING INFORMATION PRIOR TO GRANTING APPROVAL OF SUBMITTED PLANS.

NAME DOUGLAS D. SCHNEPP LOTS 229 & 230  
PRESENT ADDRESS 18 E COPPER CIRCLE 53717  
PHONE# HOME 621-0515 WORK 217-6465  
BUILDER CORNETT HOMES INC. PHONE 608-833-2873

ONE (1) COMPLETE SET OF HOUSE PLANS SHOWING ALL FOUR (4) ELEVATIONS, ALL EXTERIOR DETAIL AND MATERIALS, AND THE COLORS OF THE FOLLOWING ITEMS:

1) EXTERIOR:	TYPE	COLOR	TYPE	COLOR
SIDING	<u>SHINGO</u>	<u>WINDY SAND 10430</u>	BRICK/STONE	<u>FIELD STONE</u>
SOFFIT	<u>ALUM.</u>	<u>ALCOA WOOD</u>	TRIM	<u>1" STOOD</u>
FASCIA	<u>CONCRETE</u>	<u>WIDE GRIT</u>	GARAGE DOOR	<u>COMPOSITE</u>
ROOF	<u>40% DIA</u>	<u>WENTWORTH</u>	SHUTTERS	<u>OF</u>
GUTTERS AND DOWNSPOUTS		<u>ALCOA WOOD</u>		

2) HOUSE STYLE:  
RANCH  RAISED RANCH  TWO STORY  BI/TRI LEVEL   
SQUARE FOOTAGE 15,226 FIRST FLOOR 7325 SECOND FLOOR 2156

- 3) SITE PLAN SHOWING TO SCALE THE PLACEMENT OF:
- (A) THE HOUSE AND DRIVEWAY ON THE LOT
  - (B) FENCES: MATERIAL ALUMINUM DESIGN T&P COLOR BRASS
  - (C) RETAINING WALLS: MATERIAL CONCRETE
  - (D) DRAINAGE PATTERNS
  - (E) ELEVATIONS OF T.O.F. AND BENCHMARK LOT CORNER ALONG WITH THE ELEVATION OF ADJACENT HOUSES.
- 4) LANDSCAPE PLAN SHOWING THE PLANTINGS AND THEIR PLACEMENT SHALL BE FURNISHED AND APPROVED PRIOR TO COMMENCEMENT OF LANDSCAPING.
- 5) IT SHALL BE THE RESPONSIBILITY OF THE LOT OWNER OR BUILDER TO CLEAN UP ANY CONCRETE TRUCK "WASH UP" THAT IS NOT DONE ON LOT OWNERS LOT.
- 6) THE GARAGE FLOOR ELEVATION SHALL BE WITHIN THIRTY (30) INCHES OF THE TOP OF THE CURB OR BUYER/BUILDER SHALL NOTIFY THE REVIEW COMMITTEE AND DISCUSS THE REASONS FOR NOT BEING WITHIN THE THIRTY (30) INCHES.
- 7) CONSTRUCTION FENCING - PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ON ANY LOT ADJACENT TO THE GOLF COURSE, THE OWNER OR THE OWNER'S BUILDER SHALL ERECT ON SAID LOT A TEMPORARY CONSTRUCTION FENCE AT LEAST FIVE (5) FEET FROM THE PROPERTY LINE OF THE GOLF COURSE. THE TEMPORARY CONSTRUCTION FENCE SHALL BE AT LEAST FOUR (4) FEET HIGH AND SHALL BE SUFFICIENT TO STOP SOIL AND CONSTRUCTION MATERIALS FROM ENCRACHING ONTO THE GOLF COURSE. THE TEMPORARY CONSTRUCTION FENCE SHALL BE IN ADDITION TO ANY SOIL EROSION FENCING REQUIRED BY LAW. THE TEMPORARY CONSTRUCTION FENCE SHALL REMAIN IN PLACE UNTIL CONSTRUCTION OF THE HOUSE ON THE LOT IS SUBSTANTIALLY COMPLETE.
- 8) BY APPROVAL OF THE PLANS SUBMITTED TO THE DEVELOPER OR THE ARCHITECTURAL CONTROL COMMITTEE, NEITHER THE DEVELOPER NOR THE ARCHITECTURAL CONTROL COMMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ANY APPROVAL NECESSITATED BY THE ORDINANCES OF THE CITY OF MADISON, AND NEITHER THE DEVELOPER NOR THE ARCHITECTURAL CONTROL COMMITTEE GIVES ANY OPINION NOR MAKES ANY REPRESENTATION AS TO SOIL CONDITIONS THAT A BUILDING BUILT PURSUANT TO THE PLANS WILL BE STRUCTURALLY SOUND; OR THAT THE PLANS MEET ANY CITY, COUNTY OR STATE CODES. NEITHER THE DEVELOPER NOR THE ARCHITECTURAL CONTROL COMMITTEE SHALL HAVE ANY LIABILITY TO ANY BUILDER OR LOT OWNER WITH RESPECT TO THE CONSTRUCTION OF AND MATERIALS USED IN ANY BUILDING ON A LOT WITHIN THE PLAT. IT SHALL BE THE BUILDER AND LOT OWNER'S RESPONSIBILITY TO OBTAIN ALL PERMITS FOR THE CONSTRUCTION OF ANY IMPROVEMENTS ON A LOT IN THE PLAT AND TO VERIFY THE LOCATION OF ALL SURVEY STAKES.

I AGREE TO HAVE MY HOUSE BUILT ACCORDING TO THE PLANS AND INFORMATION HEREIN SUBMITTED.

9-12-08 DATE Douglas D. Schnepf OWNER  
 9-12-08 DATE Cornett Homes Inc. BUILDER  
 9-14-08 DATE Dick Pelton DEVELOPER / ARCHITECTURAL COMMITTEE  
 9-15-08 DATE Jed Sanborn APPROVED w/ #6 ABOVE

*Jed Sanborn*

002/002

TOLKASSOCIATES-KADISON

09/15/2008 08:55 FAX 16082888655

## Cornett Homes Green Built Specifications

These **Green Built Specifications** allow **ALL** Cornett Homes to be certified as Green Built Homes™ and meet the requirements of the Green Built Home checklist, one of the most comprehensive guides for green building in the U.S. Certification is granted based on the assumption that the following checklist items will be incorporated in all homes. Homes must meet a set of Basic Requirements and incorporate items from other checklist categories as listed below to qualify.

The **Basic Requirements** Cornett Homes will meet are **(8 points)**:

- **RESCheck + 15%** -- Home must be at least 15% more efficient than homes built to Wisconsin Uniform Dwelling Code
- Home meets the minimum requirements for **Ventilation Equipment and Combustion Safety** identified in the checklist
- All Appliances are **ENERGY STAR rated** or each appliance performs in the top 50% of its Energy Guide rating or a list of **ENERGY STAR** appliances is provided
- An erosion control plan checklist has been completed or an erosion control plan has been submitted as required by local building regulations
- **Cardboard must be recycled** as required by state law and at least one **recycled-content material** (minimum 50% recycled content) is used
- No uncertified Luan or other tropical hardwoods are used
- Green Built **Homeowner Handbook, certification plaque, and Green Guide Label** must be provided to the homeowner
- No mercury thermostats have been permanently installed
- Home meets the minimum requirements for **Landscape Conservation and Stormwater Management**
- Home meets the minimum requirements for **Materials selection**
- Home meets the minimum requirements for incorporating **Indoor Air Quality**
- The builder has met the minimum requirements for **Waste Reduction, Recycling and Disposal** practices

**Landscape Conservation and Stormwater management (8 points)**

- All site topsoil reused
- Trees and natural features on site protected during construction
- Cut and fill balanced to eliminate earth removal from site
- Concrete trucks washed out on slab or pavement sub-base areas
- Establish and maintain a single stabilized construction entrance
- Provide onsite supervision during site clearing, grading, trenching, paving, and installation of utilities to ensure that green building measures are implemented
- Provide a list of native, non-invasive plants to homeowner
- Provide information to homeowners on how to minimize fertilizer and pesticide use

**Energy Efficiency (18 points)**

- Energy heels of 7" or more on trusses
- Advanced sealing package in addition to basic sealing practices
- Sill plate sealed with caulk
- Gaps between can light housings and drywall sealed with caulk
- Gaps between exhaust fan housings and drywall sealed with caulk
- Windows throughout are **ENERGY STAR** or have a U value < 0.35

- No metal framed windows used in house, including basement
- **ENERGY STAR** labeled or 90% or higher energy efficiency furnace
- Programmable set-back thermostat
- No ductwork installed in unconditioned space or ductwork installed in unconditioned areas insulated to R-13 minimum
- Thermostat with 'on' switch for furnace fan to circulate air
- Ceiling fan pre-wires provided in habitable rooms
- Zoned HVAC system
- Insulate hot and cold water pipes 3 feet from the hot water heater
- Passive or loop hot water delivery system installed
- Furnish 5 compact fluorescent light bulbs to homeowners
- Install a minimum of 4 lighting dimmers, timers, or motion detectors
- Air tight can lights installed

#### **Materials Selection (13 points)**

- Decks and other outdoor structures constructed with sustainable, low toxicity materials
- Minimum 15% recycled fly ash concrete used
- Reusable foundation forms used to reduce waste
- Non-asphalt based damp proofing or water proofing used or no product used
- Weather protection provided for stored materials
- Engineered wood "I" joists or truss joists used for floors
- Trusses or "I" joists used for roofs
- Engineered lumber products used for beams, joists and headers
- Drainage plane behind siding
- Minimum 25% recycled content insulation
- Exterior foundation walls insulated with min. 1" of foam insulation
- OSB subfloor
- Recycled content carpet pad (100% of pad used)

#### **Indoor Air Quality (10 points)**

- Take measures to avoid IAQ problems due to construction dust and debris
- Garage separated from house by a weather-sealed door to reduce carbon monoxide infiltration
- Foundation drainage system tied to sealed sump pit for potential radon mitigation
- Furnace filters are pleated paper filters
- (2 points) Formaldehyde free insulation
- (1 point each) Low -VOC paints used throughout (interior and exterior primer/ finish)

#### **Waste Reduction, Recycling and Disposal (3 points)**

- Posted job site recycling plan.
- Recycle or reuse job site waste (metal and gypsum wallboard)
- Donate excess materials to a non-profit organization or charity

#### **Builder Operations (4 points)**

- At least 80% of homes built to Green Built Home standards
- At least one recent action taken to visibly market Green Built Home program
- Conduct homebuyer orientation
- At least one recent training event conducted for realtors or sales staff



To receive Green Built certification a home must earn at least 60 points from the Green Built Checklist. Incorporating all of the checklist items listed above will result in a home that earns **64 points** from the Green Built Home Checklist. This provides a suitable margin of error to ensure that all homes will meet the minimum standards established in the checklist. If a home is built that significantly differs from this document reasonable attempts must be made to ensure that minimum Green Built Home standards are still met.

Green Built Home and/or its partners will randomly check Green Built Spec homes to maintain quality control and program credibility. At least 10% of registered homes will be checked. Verification may include testing and require that the builder provide information such as: copies of plans, rating certificates, spec sheets, Material Safety Data Sheets (MSDS) as documentation. Builders may also request a site visit of any of their Green Built Homes at any time.

Builders will certify to the home buyer that each registered home meets the minimum standards as set forth by the checklist and this document by providing 1) a signed copy of a completed checklist or 2) a fact sheet which establishes that all Green Built Home requirements have been met.

I agree to the terms, conditions, and standards outlined on this document.

  
SIGNATURE OF COMPANY REPRESENTATIVE

DAVID L. RASMUSSEN  
PRINT REPRESENTATIVE'S NAME

5-5-08  
DATE

608-233-2877  
PHONE NUMBER

CORNETT HOMES INC.  
COMPANY NAME

To learn more about Green Built Home™ or review the Green Built Home™ Checklist, visit [www.greenbuilthome.org](http://www.greenbuilthome.org)

Green Built Home™ is a program of  
Wisconsin Environmental Initiative 16 N. Carroll St. Madison, WI 53703  
(608)280-0360

SEP. 29, 2008

TO: CORNETT HOMES, INC.  
RE: LOT 229 HAWKS LANDING  
DOUG SCHOEPP RESIDENCE

PHARO HEATING CO., INC. IS PROPOSING TO INSTALL THE FOLLOWING HVAC SYSTEM;

- 4-BRYANT 355CAV 95% AFUE VARIABLE SPEED FURNACES  
THESE UNITS ARE EXTREMELY ENERGY EFFICIENT AND QUIET. THEY OPERATE ON AN ECM MOTOR WHICH PROVIDES THE ULTIMATE IN ELECTRICAL EFFICIENCY.
- 4-BRYANT 187A 15-16 SEER 2-STAGE R410A PURON A/C SYSTEMS  
THESE UNITS ARE ALSO EXTREMELY ENERGY EFFICIENT AND QUIET. THEY ARE A 2-STAGE UNIT PROVIDING EXTREME COMFORT. THEY ARE MADE WITH ENVIRONMENTALLY SOUND REFRIGERANT TO PROTECT THE EARTH'S OZONE LAYER.
- 4-BRYANT EVOLUTION ZONE SYSTEMS  
THESE SYSTEMS WORK WITH BOTH THE FURNACE AND AIR CONDITIONING SYSTEMS TO MAKE SURE THAT EACH ZONE REACHES THE SELECTED TEMPERATURE AT SCHEDULED TIMES. THIS NOT ONLY WILL PROVIDE THE CUSTOMER WITH HOME COMFORT, BUT WILL ALSO ENHANCE THE EFFECTIVENESS AND ENERGY EFFICIENCY OF THE HOME SYSTEM.
- 3-AIR TO AIR HEAT EXCHANGERS TO THE SYSTEM  
THESE UNITS HELP PROVIDE NOT ONLY THE RECOMMENDED INDOOR AIR CHANGES PER HOUR BUT ALSO WILL NOT LOWER THE SYSTEMS ENERGY EFFICIENCY. THESE UNITS WILL TRANSFER HEATING OR AIR CONDITIONING ENERGY FROM INSIDE ROOM AIR TO FRESH OUTSIDE AIR.
- RADIANT IN-FLOOR HEAT WITH MUNCHKIN 92% AFUE FULLY MODULATING ULTRA HIGH EFFICIENCY BOILER.  
THIS UNIT IS EXTREMELY EFFICIENT AS IT MODULATES THE FIRING RATE TO MEET THE ENERGY NEEDS OF THE LIVING SPACE BEING WARMED.

THIS PROPOSED HVAC SYSTEM WILL PROVIDE THE CUSTOMER EXTREME COMFORT AS WELL AS BEING ONE OF THE MOST ENERGY EFFICIENT SYSTEMS IN THE HEATING AND AIR CONDITIONING INDUSTRY.

# BUYER'S GUIDE

**SUGGESTED PRIORITIES FOR  
INCORPORATING ENVIRONMENTAL  
RESPONSIBILITY INTO YOUR HOME**



Green Built Home™ is a voluntary green building initiative that reviews and certifies homes that meet sustainable building and energy standards.



WISCONSIN  
ENVIRONMENTAL  
INITIATIVE

Green Built Home is implemented in partnership with the Madison Area Builders Association in cooperation with other participating builders associations, leading utilities and organizations that promote green building.

[www.greenbulthome.org](http://www.greenbulthome.org)

[www.wi-ei.org](http://www.wi-ei.org)

## There's no place like a Green Built Home!

**B**uilding or buying a home is the single largest purchase most people make and requires countless decisions. Shouldn't the choices you make help save you money, improve your family's health, safety, and comfort and protect our natural resources?

Green Built Home certification helps ensure that your home will have reduced energy and maintenance costs, better indoor air quality, improved health, safety and comfort, reduced environmental impact, and market distinction for future resale.

It takes time, however, to research the latest green building design, technology and materials, and deciding which measures are most important can be a difficult task. Green Built Home provides this priority ranking of measures to reduce the negative impacts of homebuilding to you, your family, and the environment.

### Where to begin?

- Look for the Green Built Home logo in new or existing homes
- Choose a builder that participates in the Green Built Home program
- Ask your builder or Realtor® about Green Built Home
- Select products that meet the criteria of the Green Built Home Checklist
- See [www.greenbuilthome.org](http://www.greenbuilthome.org) for more information and resources

This list reflects our sense of where you might get the most positive impact for the money spent. Each item is followed by a few sample strategies you or your builder can use to make your home a Green Built Home.

### 1. Save more than just money

The energy generated to power the typical single-family home results in the production of 26,028 pounds of CO<sub>2</sub> and costs the home owner approximately \$1400 a year<sup>1</sup>

Reducing the amount of energy your home uses will save you a lot of money and will also dramatically affect the environment. Green Built Homes are at least 15% more energy efficient than required by code because they integrate efficient design, high levels of insulation, high performance windows, air tightness, and energy efficient mechanical equipment, lighting, and appliances.

#### Notes

1. U.S. Energy Information Administration, Household Energy Consumption and Expenditures 1993, and Rocky Mountain Institute calculations (1999).
2. November 2, 2000 press release, American College of Allergy, Asthma & Immunology.
3. 1999 Residential Water Use Summary, American Water Works Association.
4. WasteCap Wisconsin, Construction and Demolition Debris, Briefing Paper: Reducing, Reusing and Recycling.

Make sure your new home has the following high performance features:

- Properly installed insulation and thorough air sealing
- High efficiency appliances/furnace/air conditioner/water heater
- ENERGY STAR® labeled windows and light fixtures
- Landscaping that will shade the southern and western exposure of a home during the summer
- Home orientation that maximize solar heat gain during the winter

Ask your builder or Realtor®

See the Green Built Home Checklist for 60 more ideas

### 2. Provide a safe and comfortable home environment

The average American spends more than 90% of his/her time indoors<sup>2</sup>

Discussions about green building usually focus on the impacts of homes on the natural, outdoor environment--what about the environment inside a home? When you consider the amount of time people spend indoors, the importance of indoor air quality becomes apparent.

Make sure your new home has the following healthy features:

- Proper, controlled ventilation
- Sealed combustion, direct vent combustion appliances
- Air cleaners that remove allergens and irritants from HVAC systems
- Hard surface flooring surfaces that are easy to clean
- Building materials that are non-toxic and formaldehyde free

Ask your builder or Realtor®

See the Green Built Home Checklist for 25 more ideas

### 3. Protect Wisconsin's lakes and rivers

With the development of urban and suburban areas comes the introduction of impervious surfaces (roads, driveways, roofs, etc.) The runoff generated by these surfaces often collects pollutants such as oil, fertilizer and bacteria on its way to the storm sewer, which generally channels it directly into a waterway without filtration or treatment. In addition, erosion can occur wherever bare, exposed soil is present.

Make sure your new home has the following runoff management features:

- Permeable surfaces or stormwater infiltration systems
- Rainwater collection system
- Protected existing natural features that will hold soil and save money on landscaping

- Native plantings such as raingardens that will help increase infiltration, are low maintenance, and promote stewardship of natural history

Ask your builder or Realtor®

See the Green Built Home Checklist for 19 more ideas

#### 4. Think outside the box

According to the Worldwatch Institute, the average American adult spends an average of 72 minutes a day behind the wheel of an automobile.

The impacts of your home are not confined within the four walls of your home. Choosing the location of your home presents another opportunity to benefit both the environment and your quality of life and can save you time, money and reduce air pollution. If possible, consider a home built in an existing neighborhood or on an infill lot.

Make sure your new home offers the following:

- Shopping, offices, schools, and recreation within walking or biking distance
- Access to mass transit routes or bike paths

Ask your builder or Realtor®

See the Green Built Home Checklist for 8 more ideas

#### 5. Be water wise

If all US households installed water-saving features, water use would decrease by 30%, resulting in a savings of \$11.3 million per day<sup>3</sup>

Wisconsin is blessed with thousands of streams, lakes, rivers, and other bodies of water including two Great Lakes. However, population growth and industrial development is increasingly creating conflict over these seemingly limitless natural resources.

Make sure your new home has the following water wise features:

- Low flow faucets and showerheads
- Efficient clothes washer and dishwasher

Ask your builder or Realtor®

See the Green Built Home Checklist for 5 more ideas

#### 6. Waste not, want not

Wisconsin generates approximately 1 million tons of construction and demolition debris each year<sup>4</sup>

While a sizeable portion of this debris such as cardboard, lumber, and drywall could be recycled, much of it is sent directly to the landfill. In the case of cardboard, this conflicts with state law. The more materials that are recycled the less demand there is for new raw materials to be extracted, processed, manufactured, and shipped.

Make sure your new home provides the following opportunities for waste reduction and recycling:

- Job site recycling plan posted and followed
- Suppliers who use reusable packing materials

- Committed efforts to recycle construction waste
- Recycled or salvaged building materials
- Kitchen or garage recycling center

Ask your builder or Realtor®

See the Green Built Home Checklist for 6 more ideas

#### 7. Size matters

According to the US Census Bureau, the size of the average home has grown by 105% in the last 50 years (from 1100 sq ft in 1950 to 2250 sq ft in 1999.)

Larger homes utilize more resources than smaller homes — they have larger structures that must be framed, insulated, sided, roofed, heated and lit. You are the best judge of your living space needs. However, when looking at or designing floor plans, give careful thought to how you use your living space and how traffic flows through your home. A well thought-out floor plan will result in more efficient use of space. Money saved by building a smaller house can always be used to make upgrades in flooring, HVAC systems, fixtures and other amenities.

Ask your builder or Realtor®

#### 8. A good green product is (not) hard to find

Most green building materials are neither difficult to find, nor more expensive than conventional building materials. In many cases, these materials are available at your local hardware store, lumberyard or large home center chains.

Make sure your new home includes the following categories of green building materials:

- Recycled-content — a portion of product (or the entire product) is made with materials that might otherwise be bound for the landfill (i.e. carpet made from recycled milk jugs and soda bottles.)
- Durable — the product will last longer, require less maintenance and save you money.
- Made with renewable resources — the resource from which the material is made can be readily replenished (i.e. bamboo, used for flooring, which can be harvested every 3-6 years.)
- Resource efficient — the product was designed to use fewer materials more efficiently, yet perform as well or better than standard products (i.e. engineered lumber, made from small-diameter lumber resulting in a product stronger than standard wood.)
- Healthier — the products are non-toxic or have reduced chemical content compared to other products (i.e. formaldehyde-free insulation, low VOC paints and finishes.)
- Locally-produced materials — long-distance transport of building materials can be very energy intensive.

It is important to note that not all green building materials fall into all these categories. There are often tradeoffs in choosing one material over the other, and there is no one "right" choice for everyone. The right choice for you is the choice that fits your budget/design/aesthetics.

Green building materials are an emerging market, and there are many companies developing labeling schemes that claim their product is green. Some labels are more meaningful than others, so it is important to do a little research on whatever materials you choose. Look for labels from neutral, third-party certification organizations — organizations that exist to verify the environmental claims of companies and their products. An example of a third-party, neutral certification organization is the Forest Stewardship Council, which verifies responsible forest management practices.

**Ask your builder, Realtor®, or product supplier  
See the Green Built Home Checklist for more ideas**

## 9. Green-it-yourself (GIY)

In addition to building or buying a Green Built Home, you can practice resource efficient living in your own home and serve as a model for others in the community.

Make sure your lifestyle minimizes the environmental impacts of owning a home:

- Minimize or eliminate the use of chemical pesticides and fertilizers
- Select, operate, and maintain appliances, equipment, and lighting to reduce energy and water consumption
- Incorporate environmental responsibility into purchasing decisions
- Work with neighbors and community members to encourage sustainable living

**Ask yourself**

**See the Green Built Home Checklist and Web site for more ideas**

## 10. Ask Your Builder, Realtor®, or product supplier

Markets respond to consumer demand. If homeowners request Green Built Homes, builders will build them, Realtor's® will sell them, and retailers will make green building products more available. Green Built Home will work with any builder to develop a set of features that fit their customer's requirements and budget and their current building practices. There are many builders throughout Wisconsin that are already using green techniques and materials. Ask questions. Make demands. Don't accept the typical way of doing things if you want something different--it's your money that's being spent.

## Resources on the Web include:

- Checklist
  - Buyers Guide
  - Brochure
  - Product Directory
  - Waterfront Property Checklist
  - List of participating builders
- And more....

**[www.greenbuilthome.org](http://www.greenbuilthome.org)**



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**THE HOME DEPOT FOUNDATION**

**Building Better Communities**



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